

OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$381.00
39 PGS
2004101163
09/29/2004 03:47 PM



PLAT IDENTIFICATION SHEET

✓ Castle Rock Development Company

GRANTOR(owner)

✓ Meadows Filing 18 Preliminary Plat and Final PD Site Plan

GRANTEE(name of plat)

Meadows, The

Subdivision/Condo Name

18

Filing

Phase

Lot

Building

Block

Unit

✓ 33, 34

7

67

OLD LEGAL(Section)

(Township)

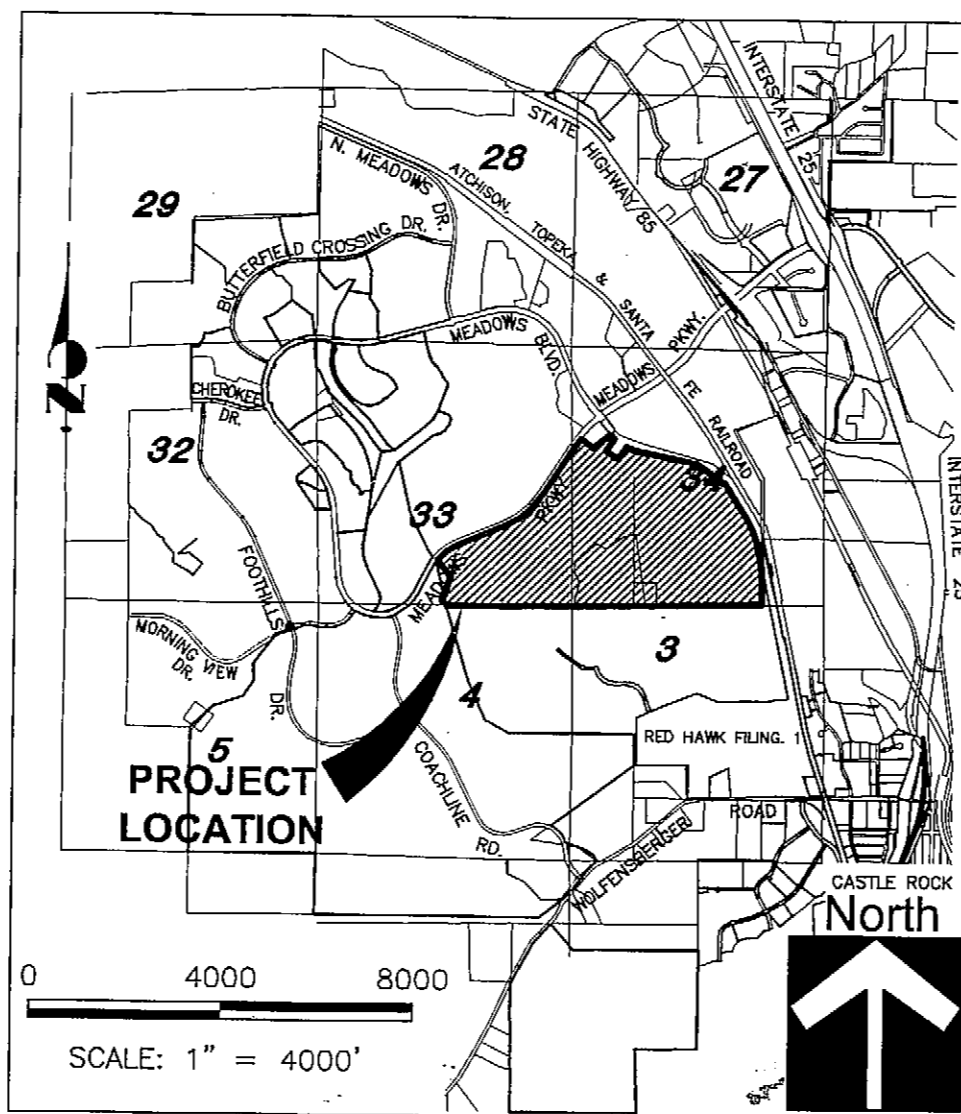
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THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE 1/4, NE 1/4, AND NW 1/4 OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE 1/4, SE 1/4 AND SW 1/4 OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 1 OF 38



VICINITY MAP

MORTGAGEES

CASTLE ROCK LAND COMPANY, LLC,
A COLORADO LIMITED LIABILITY COMPANY
3033 E. 1ST AVENUE / SUITE 200
DENVER, COLORADO 80206
PHONE NUMBER: (303) 394-5500

CALIFORNIA BANK AND TRUST
2000 SOUTH COLORADO BLVD.
#2-1200
DENVER, CO 80222

OWNERS/DEVELOPERS

CASTLE ROCK DEVELOPMENT COMPANY,
A COLORADO CORPORATION
3033 E. 1ST AVENUE / SUITE 410
DENVER, COLORADO 80206
PHONE NUMBER: (303) 394-5500

THE UNDERSIGNED ARE ALL OF THE OWNERS AND/OR MORTGAGEES OF CERTAIN LANDS KNOWN HEREIN AS THE MEADOWS FILING 18 PRELIMINARY PLAT/FINAL PD SITE PLAN IN THE TOWN OF CASTLE ROCK.

OWNER:

CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION

BY: James M. Bailey AS President

NOTARY CERTIFICATE

STATE OF COLORADO } ss

COUNTY OF Denver

SUBSCRIBED AND SWORN BEFORE ME THIS 14th DAY OF September 2004
BY James M. Bailey AS President OF CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES 9/6/09

NOTARY PUBLIC Scott Pease

MORTGAGEES:

CASTLE ROCK LAND COMPANY, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: Alm Fox AS Authorized Agent

NOTARY CERTIFICATE

STATE OF COLORADO } ss

COUNTY OF Denver

SUBSCRIBED AND SWORN BEFORE ME THIS 14th DAY OF September 2004
BY Alm Fox AS Authorized Agent OF CASTLE ROCK LAND COMPANY, A COLORADO LIMITED LIABILITY COMPANY

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES 9/6/09

NOTARY PUBLIC Scott Pease

CALIFORNIA BANK AND TRUST

BY: Kyle R. Monroe AS SENIOR VICE PRESIDENT

NOTARY CERTIFICATE

STATE OF COLORADO } ss

COUNTY OF Denver

SUBSCRIBED AND SWORN BEFORE ME THIS 14th DAY OF September 2004
BY Kyle R. Monroe AS SENIOR VICE PRESIDENT OF CALIFORNIA BANK AND TRUST

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES 2/11/007

NOTARY PUBLIC Allyson Chace



MEADOWS FILING 18 SITE DATA

SITE DATA - 380.562 AC

1. NUMBER OF DU BLK. 1	TBD MF DU
2. NUMBER OF DU/LOTS BLKS. 2&5	644 SF DU
3. NUMBER OF DU BLK. 3	TBD MF DU
4. NUMBER OF DU/LOTS BLK. 4	TBD MF DU
5. NUMBER OF DU/LOTS BLK. 6-33	826 SF DU
TOTAL DU FILING 18	1,470 DU & FUTURE TBD

6. NUMBER OF DU BLK 34	TBD MF DU
7. NUMBER OF DU FINAL PD SITE PLAN	826
8. NUMBER OF LOTS PRELIM. PLAT	832
9. GROSS DENSITY	3.86 DU/AC(1470/380.562)
10. LOT AREA BLKS 1-5	89,883 AC = 26.62%
11. LOT AREA BLKS 6-33	135,487 AC = 35.60%
12. LOT AREA BLK 34	3,027 AC = 0.800%
13. RIGHT OF WAY AREA	55,860 AC = 14.68%
14. PRIVATE OPEN SPACE AREA *	27,996 AC(25.138 AC OR 10% REQ)=11.28%**
15. PUBLIC OPEN SPACE AREA	45,432 AC (28.6 REQ) = 11.94%
16. PUBLIC LAND DEDICATION AREA	22,732 AC (22.500 REQ) = 5.97%
17. (SFE) SINGLE FAMILY EQUIVALENT UNITS	2336 INCLUDING IRRIGATION ***
18. MINIMUM LOT AREA	4000 SQFT
19. MAXIMUM LOT AREA	29,210 SQFT
20. AVERAGE LOT AREA	7148 SQFT

TBD - TO BE DETERMINED IN THE FUTURE
* - PRIVATE OPEN SPACE IS NOT REQUIRED FOR BLOCKS 1,3 AND 4 DUE TO THEIR TC ZONING DESIGNATION.

** - DENOTES A PERCENTAGE OF OVERALL AREA LESS THE FOLLOWING:
-BLOCKS 1,3 & 4
-COLLECTOR STREETS
-ADDITIONAL R/W DEDICATION IN MEADOWS PARKWAY
-PUBLIC OPEN SPACE DEDICATION
-PUBLIC LAND DEDICATION

*** - DENOTES ALL LOTS (FUTURE & PROP. PER THIS PLAN) & BLOCKS WITHIN FILING 18

SHEET INDEX

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SHEET 38	FENCING, TRAILS AND MAIL KIOSK PLAN

GENERAL NOTES:

- THE EXISTING TOPOGRAPHY, SHOWN ON THE PRELIMINARY PLAT, WAS PRODUCED FROM AERIAL PHOTOGRAPHY WITH CONTOUR INTERVALS OF ONE (1) FOOT.
- THE PRELIMINARY DRAINAGE STUDY FOR THIS AREA WAS PREPARED BY ENGINEERING PARTNERS INC AND IS INCLUDED AS A PART OF THIS SUBMITTAL.
- ALL STREETS SHOWN HEREON, IF NOT ALREADY DEDICATED, WILL BE DEDICATED TO THE TOWN OF CASTLE ROCK AS PUBLIC STREET RIGHT-OF-WAY.
- ALL THE LOTS SHALL HAVE NON-EXCLUSIVE UTILITY EASEMENTS ALONG THE REAR LOT LINES AND ALONG LOCAL STREET RIGHT-OF-WAYS AS SHOWN HEREON, AND SHALL HAVE SIDE LOT EASEMENTS ONLY WHERE SHOWN HEREON, AND ARE FOR THE USE OF GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, AND POSTAL FACILITIES, AND ARE LOCATED AS FOLLOWS: FRONT LOT AT ROW 7'; SIDE LOT AT ROW 15'; SIDE LOT BETWEEN LOTS (ONLY WHERE SHOWN) MINIMUM 3'; REAR LOT 10', TOGETHER KNOWN AS THE UTILITY EASEMENTS. OTHER UTILITIES SHALL HAVE THE RIGHT TO CROSS AT SUBSTANTIALLY RIGHT ANGLES, BUT IN NO EVENT SHALL ANY WATER METERS OR OTHER STRUCTURES BE ALLOWED IN THE ABOVE DESCRIBED AREAS. CONCRETE DRIVEWAYS ARE PERMISSIBLE AS LONG AS THEY CROSS AT SUBSTANTIALLY RIGHT ANGLES AND DO NOT EXCEED TWENTY-SIX (26) FEET IN WIDTH. ADDITIONALLY, CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION, SHALL RETAIN THE RIGHT TO GRANT NON-EXCLUSIVE EASEMENTS, UNDER, ALONG, AND ACROSS THE AREAS OF SUCH UTILITY EASEMENTS, AND SUCH SEWER, WATER, AND STORM DRAIN EASEMENTS AS ARE SHOWN HEREON. SUCH EASEMENTS SHALL BE FOR THE INSTALLATION, OPERATION, MAINTENANCE, AND REPLACEMENT OF FIBER OPTIC, DATA TRANSMISSION AND OTHER TELECOMMUNICATIONS SERVICES.
- ALL FILING 18 PRIVATE OPEN SPACE TRACTS, AS SHOWN IN THE SUMMARY TABLE ON SHEET 2, ARE TO BE DEDICATED AS PRIVATE OPEN SPACE TO THE HOMEOWNERS ASSOCIATION, (HOA), AND WILL BE USED FOR UTILITIES, DRAINAGE, OPEN SPACE, PUBLIC ACCESS, TRAILS, SIGNAGE, ENTRY FEATURES AND PARK FACILITIES.
- ALL FILING 18 PUBLIC OPEN SPACE TRACTS ARE TO BE DEDICATED TO THE TOWN OF CASTLE ROCK AND WILL BE USED FOR UTILITIES, DRAINAGE, OPEN SPACE, PUBLIC ACCESS, TRAILS AND PARK FACILITIES.
- ALL PRIVATE TRACTS WITH PROPOSED TOWN FACILITIES (I.E. STORM, SEWER, WATER) SHALL HAVE SPECIFIC EASEMENTS GRANTED TO THE TOWN.
- SIGNAGE: IDENTIFICATION SIGNS AND STREET SIGNS WILL COMPLY WITH THE TOWN OF CASTLE ROCK'S SIGN CODE.
- STREET LIGHTING WILL CONFORM TO THE TOWN REQUIREMENTS.
- UTILITY LINES REFLECT PRELIMINARY UTILITY STUDIES. ALIGNMENT AND SIZES MAY CHANGE DURING FINAL CONSTRUCTION DESIGN.
- ALL INTERSECTIONS WILL HAVE HANDICAP SIDEWALK RAMP. ALL 'T' INTERSECTIONS SHALL HAVE THREE (3) HANDICAP RAMP.
- WATER LINE SERVICES ARE GENERALLY LOCATED 5' UP FROM THE LOW SIDE LOT LINE.
- SANITARY SEWER SERVICES ARE GENERALLY LOCATED 15' FROM THE LOW SIDE LOT LINE.
- THE MEADOWS FILING NO. 18 IS CROSSED BY THE FLOOD PLAIN FOR THE 6400 SOUTH TRIBUTARY TO EAST PLUM CREEK. THE FLOOD INSURANCE RATE MAP (FIRM), DOUGLAS COUNTY, COLORADO, COMMUNITY PANEL NUMBER 080050 0170 C, REVISION DATE SEPTEMBER 30, 1987, SHOWS THE 6400 WEST FORK TRIBUTARY IN ZONE A. A LETTER OF MAP REVISION WILL BE SUBMITTED TO FEMA. FIRM PANEL NUMBER 080050 0170 C SHOWS FLOOD HAZARD IN PORTIONS OF THE FOLLOWING LOTS/BLOCKS/TRACTS:

BLOCKS 1-3, TRACTS B AND C, LOTS 82,83 OF BLOCK 17.
NO WETLANDS EXIST WITHIN FILING 18.
- ZONING IS PER THE MEADOWS PRELIMINARY PD SITE PLAN - FOURTH AMENDMENT - RECORDED JULY 10, 2003, RECEPTION NUMBER 2003102969.
- ALL WATER AND SANITARY SEWER MAINS LOCATED WITHIN FILING 18 SHALL BE OWNED AND MAINTAINED BY THE TOWN OF CASTLE ROCK.
- LOTS WITHIN THIS SUBDIVISION SHALL BE SUBJECT TO LOT DESIGN CRITERIA SET FORTH ON THE SUBSEQUENT MEADOWS FILING NO. 18 FINAL PD SITE PLAN.
- THIS PROJECT WILL BE CONSTRUCTED IN 9 PHASES IN ACCORDANCE WITH MARKET REQUIREMENTS.
- ALL EASEMENTS (ACCESS, UTILITY, ETC.) LOCATED OUTSIDE OF THE MEADOWS FILING NO. 18 WILL BE DEDICATED TO THE TOWN OF CASTLE ROCK BY SEPARATE DOCUMENT.
- MAXIMUM BUILDING HEIGHT FOR BLOCKS 2, 5-33, SHALL NOT EXCEED 35'.
- FENCE INFORMATION AND DETAILS ARE ON SHEET 31 OF 38.
- AT "T" INTERSECTIONS HOMES SHALL BE SITED SO GARAGES OR OTHER NON-WINDOWED AREAS WILL BE SITUATED IN THE LINE OF SIGHT FROM ONCOMING TRAFFIC.
- THE FOLLOWING LOTS ARE WITHIN THE MINOR SKYLINE AREAS OF THE SKYLINE/RIDGELINE MITIGATION AREAS AND MUST ADHERE TO THE PROVISIONS WITHIN CHAPTER 17.14 OF THE SKYLINE/RIDGELINE PROTECTION REGULATIONS:
BLOCK 7, LOTS 61, 65, 66, 75-79, 88; BLOCK 8, LOTS 1, 4-8, 11, 18, 19; BLOCK 13, LOTS 11, 12, 14; BLOCK 14, LOTS 1, 10, 25, 27-29; BLOCK 15, LOTS 4, 9-12, 18-20, 23; BLOCK 16, LOTS 2, 17, 25; BLOCK 17, LOTS 1, 32-35, 39-46, 53, 54, 60; BLOCK 19, LOTS 46-49, 57, 58; BLOCK 20, LOTS 5-7; BLOCK 21, LOTS 24, 30; BLOCK 23, LOTS 7, 14, 15, 19-21; BLOCK 24, LOTS 4, 5, 12-14, 25-27; BLOCK 25, LOTS 21-24, 29; BLOCK 27, LOTS 1, 31.
- THE FOLLOWING LOTS ARE WITHIN THE MODERATE SKYLINE AREAS OF THE SKYLINE/RIDGELINE MITIGATION AREAS AND MUST ADHERE TO THE PROVISIONS WITHIN CHAPTER 17.14 OF THE SKYLINE/RIDGELINE PROTECTION REGULATIONS:
BLOCK 7, LOTS 57-60, 80-87; BLOCK 9, LOTS 9-11, 15-23; BLOCK 10, LOTS 14-17;
BLOCK 12, LOTS 6-10, 12-17; BLOCK 13, LOTS 1-10, 13, 15-23; BLOCK 15, LOTS 5-8, 21, 22, 24; BLOCK 16, LOTS 3-16, 18-24; BLOCK 17, LOTS 22-31, 36-38, 55-59, 61-75; BLOCK 18, LOTS 1-20; BLOCK 19, LOTS 1-45; BLOCK 20, LOTS 1-4, 8-17; BLOCK 21, LOTS 1-23, 25, 26-29; BLOCK 22, LOTS 1-15; BLOCK 23, LOTS 1-6, 16-18; BLOCK 24, LOTS 6-11; BLOCK 25, LOTS 30-33; BLOCK 33 LOTS 2-9.
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
- PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE MNC, AS APPLICABLE.
LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE FINAL CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO, BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS AS SHOWN ON THIS PLAN, EXCEPT THAT TREES WHICH ARE PLANTED IN MEDIAN ISLANDS MUST BE LIMBED UP A MINIMUM OF 8' ABOVE FLOWLINE AT MATURITY AND OTHER PLANT MATERIAL SHALL NOT EXCEED 24" IN HEIGHT ABOVE TRAVELED WAY IN AND AROUND MEDIAN INTERSECTIONS TO FACILITATE ADEQUATE SIGHT DISTANCE.
- THE SLOPE ANALYSIS FOR THIS PROJECT HAS BEEN SUBMITTED WITH THE L.S.A.R.
- BLOCKS 1-5, AND BLOCK 34 ARE SUBMITTED FOR PRELIMINARY PLAT APPROVAL ONLY. A FINAL PD/SITE PLAN WILL BE SUBMITTED FOR APPROVAL AT A LATER DATE. TOTAL PERMITTED UNITS FOR BLOCKS 1,3,4, AND 34 ARE NOT TO EXCEED THE MAXIMUM NUMBER OF UNITS SPECIFIED IN THE MEADOWS PRELIMINARY PD SITE PLAN, FOURTH AMENDMENT TOWN CENTER (TC) ZONING CLASSIFICATION (3679 DU'S). TOTAL PERMITTED UNITS FOR BLOCKS 2 AND 5 ARE NOT TO EXCEED 644 DU'S. LANDSCAPING FROM BACK OF CURB TO RIGHT OF WAY ADJACENT TO THESE BLOCKS WILL BE SUBMITTED WITH THE FINAL PD SITE PLAN.
- RETAINING WALLS AND FENCES ARE PERMITTED WITHIN ALL SETBACKS.
- ALL STRUCTURES THAT ARE NOT CONSIDERED PART OF THE PRIMARY STRUCTURE (WITH THE EXCEPTION OF DETACHED GARAGES) (E.G. DOG HOUSES, STORAGE SHEDS, PLAY EQUIPMENT) ARE PERMITTED WITHIN THE REAR AND SIDE SETBACKS.

TITLE CERTIFICATION

Lorayne L. Nitsch AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIEN HOLDER SUBORDINATION CERTIFICATE

SIGNED THIS 16th DAY OF September 2004

Lorayne L. Nitsch
AUTHORIZED REPRESENTATIVE
Site Officer
LAND TITLE GUARANTEE COMPANY

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 16th DAY OF September 2004
BY Lorayne L. Nitsch

WITNESS MY HAND AND OFFICIAL SEAL

Cheri Dunbar

NOTARY PUBLIC

MY COMMISSION EXPIRES 3/13/2006

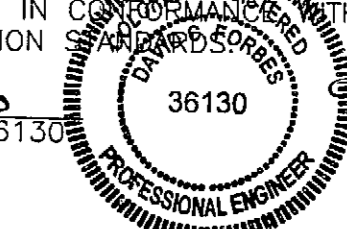
KARI JURCZEWSKY
NOTARY PUBLIC
STATE OF COLORADO

My Commission Expires March 13, 2006

CIVIL ENGINEER'S STATEMENT

I, DAVID C. FORBES, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THE PRELIMINARY PLAT HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

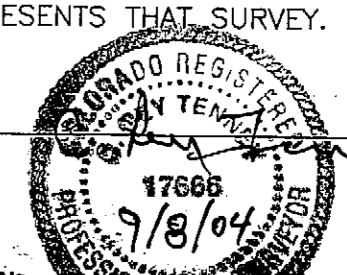
David C. Forbes
DAVID C. FORBES P.E. # 36130
DATE 9/9/04



SURVEYOR'S STATEMENT

I, C. REY TENNEY, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE MEADOWS FILING 18 WAS MADE UNDER SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

C. REY TENNEY
PLS NO. 17666



TOWN CERTIFICATION

A. PLANNING COMMISSION RECOMMENDATION:

THE MEADOWS FILING 18 PRELIMINARY PLAT AND FINAL PD SITE PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 8th DAY OF July, 2004.

Chairman 21 Sept 04
DATE

DIRECTOR OF DEVELOPMENT SERVICES

B. TOWN COUNCIL APPROVAL

THE MEADOWS FILING 18 PRELIMINARY PLAT AND FINAL PD SITE PLAN WERE APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 27th DAY OF July, 2004.

Mayor 9-24-04
DATE

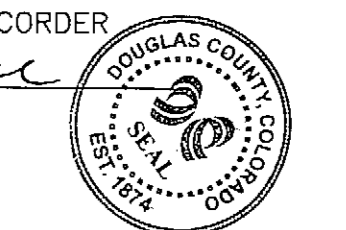
City Clerk 9-24-04
DATE

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PRELIMINARY PLAT AND FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY, COLORADO, ON THE 29th DAY OF Sept. 2004. AT RECEPTION NO. 200410103

DOUGLAS COUNTY CLERK AND RECORDER

BY: Tulsya Lou DEPUTY



CIVIL ENGINEER

ENGINEERING PARTNERS, INC.



26 W. Dry Creek Circle, Suite 600
Littleton, Colorado 80120
Tel. (303) 703-4444
Fax (303) 703-4530

CONTACT:
SCOTT PEASE

LAND PLANNER/LANDSCAPE ARCHITECT



Planning
Landscape Architecture
710 West Colfax Avenue
Denver, Colorado 80204
Fax: 303.892.1186
Phone: 303.892.1166
www.norrisdullea.com

CONTACT:
MITCH BLACK/
SEAN MALONE
CERTIFICATE NO. 322

SURVEYOR

AzTEC CONSULTANTS, inc.
A LAND SURVEYING COMPANY

8000 South Lincoln Street, Unit 5 Littleton, Colorado 80122
Ph. (303) 713-1898 Fx. (303) 713-1897

SUBMITTAL DATE: November 14, 2003
REVISED: JULY 28, 2004

MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
COVER SHEET AND NOTES
SHEET 1 OF 38

THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE 1/4, NE 1/4, AND NW 1/4 OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE 1/4, SE 1/4 AND SW 1/4 OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 2 OF 38

RESIDENTIAL DEVELOPMENT STANDARDS

1. THE FOLLOWING ENCROACHMENTS WILL BE PERMITTED IN THE SETBACKS:
 A. BOX OR BAY WINDOWS, FIREPLACES, EAVES, ROOF OVERHANGS, CANTILEVERS, SIDE, REAR AND FRONT COVERED PORCHES, ETC. MAY OCCUR UP TO 24" IN ANY SIDE SETBACK AND UP TO 48" IN ANY FRONT & REAR SETBACKS.

B. REAR YARD DECKS (COVERED AND UNCOVERED) AND PORCHES AT GRADE OR UP TO 30" ABOVE GRADE MAY ENCROACH IN THE REAR SETBACK UP TO 12'.

C. REAR YARD DECKS (COVERED AND UNCOVERED) AND PORCHES ELEVATED GREATER THAN 5' ABOVE THE GROUND MAY ENCROACH 6' INTO THE REAR YARD SETBACK.

2. MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:

A. FRONT - 15'; MAY BE REDUCED TO 10' IF ALL OF THE BUILDING IN THE FRONT 20' OF THE LOT IS SINGLE STORY OR IF THERE IS A SIDE LOADED GARAGE ORIENTATION. AT NO TIME SHALL THE MINIMUM FOR A FRONT LOADED GARAGE BE LESS THAN 18'.

B. REAR - 18': IF THE GARAGE IS LOCATED AT THE REAR OF THE LOT, THE REAR SETBACK FOR THE GARAGE MAY BE REDUCED TO A MINIMUM OF 3' IF AN ALTERNATIVE UTILITY EASEMENT IS PROVIDED.

C. SIDE - 3' PROVIDED THAT THERE IS A MINIMUM 10' SEPARATION BETWEEN THE FOUNDATION OF ADJACENT BUILDINGS. SIDE ABUTTING PUBLIC RIGHT OF WAY - 15'.

3. ALL SINGLE FAMILY PLOT PLANS AND LANDSCAPE PLANS MUST SECURE WRITTEN APPROVAL BY THE CASTLE ROCK DEVELOPMENT COMPANY ARCHITECTURAL REVIEW COMMITTEE PRIOR TO SUBMITTAL FOR A BUILDING PERMIT FOR ANY LOT INCLUDED IN FILING NO. 18. THE ARCHITECTURAL REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR CERTIFYING TO THE TOWN THAT THE FOLLOWING ITEMS HAVE BEEN COMPLIED WITH:

A. FENCING TO BE PROVIDED AS SHOWN ON THESE FINAL PD PLANS.

B. STREET TREES AS SHOWN ON THESE FINAL PD PLANS ARE TO BE INSTALLED BY THE INITIAL BUILDER OF THE HOME ON THE LOT AND MAINTAINED BY THE OWNER OF THE LOT. THESE TREES ARE IN ADDITION TO THE TREES REQUIRED BY TOWN MUNICIPAL CODE, TITLE 17, CHAPTER 17.62.

C. LOTS DESIGNATED WITH A (R) SYMBOL REPRESENT "REAR CONDITION" LOTS AND ARE REQUIRED TO HAVE ENHANCED REAR ELEVATION ARCHITECTURAL DETAILS INCLUDING A MINIMUM OF AT LEAST TWO ARCHITECTURAL DETAILS WHICH BREAK THE MAIN PLANE OF THE REAR ELEVATION.

D. LOTS DESIGNATED WITH A (C) SYMBOL REPRESENT "CORNER CONDITION" LOTS AND ARE REQUIRED TO HAVE ENHANCED CORNER ARCHITECTURAL DETAILS INCLUDING AN ARCHITECTURAL FEATURE, SUCH AS A WRAP-AROUND FRONT PORCH DETAIL, BAY WINDOW, ETC. ON BOTH THE FRONT AND SIDE ELEVATIONS FACING BOTH STREETS.

E. LOTS DESIGNATED WITH A (H) REPRESENT "HIGH VISIBILITY CONDITION" LOTS. HIGH VISIBILITY CONDITION LOTS MAY ALSO BE CORNER CONDITION LOTS AND REAR CONDITION LOTS AND ARE REQUIRED TO HAVE ENHANCED ARCHITECTURAL DETAILS THAT ARE JUDGED BY THE CASTLE ROCK DEVELOPMENT COMPANY ARCHITECTURAL COMMITTEE TO BE SUBSTANTIAL AND APPROPRIATE FOR A HIGH VISIBILITY CONDITION LOT.

F. NOT MORE THAN TWO FRONT BUILDING ELEVATIONS MAY BE THE SAME IF SIDE BY SIDE OR ACROSS THE STREET FROM EACH OTHER. NO TWO REAR ELEVATIONS MAY BE THE SAME IF SIDE-BY-SIDE AND VISIBLE FROM A COLLECTOR STREET OR OPEN SPACE TRACT.

G. IF MASONRY IS PROVIDED ON THE FRONT ELEVATION OF A BUILDING, MASONRY SHALL EXTEND AND WRAP AROUND THE SIDE ELEVATIONS BY AT LEAST 2 FEET.

H. HOUSES ADJACENT TO EACH OTHER AND DIRECTLY ACROSS THE STREET FROM EACH OTHER SHALL NOT USE THE SAME COLOR OF PAINT FOR THE BODY OF THE HOUSE.

I. NOT MORE THAN THREE ADJACENT HOMES SHALL HAVE THE SAME FRONT SETBACK AND SAID FRONT SETBACK WHERE VARIED, WILL BE VARIED BY AT LEAST 3 FEET.

J. THE LANDSCAPE EASEMENT SHALL BE RESTRICTED TO NATURALIZED GRASSES COMPRISED OF GRASS SPECIES AND SEEDS AS IDENTIFIED IN THESE PLANS UNDER NON-IRRIGATED TALL GRASS SEED MIX (SHEET 30). THESE GRASSES MAY BE IRRIGATED FOR ESTABLISHMENT. ADDITIONAL TREES, SHRUBS AND WILDFLOWERS MAY BE PLANTED IN THIS EASEMENT AND MAY BE DRIP IRRIGATED. USE OF NATURAL ROCK BOULDERS FOR LANDSCAPE ACCENTS ARE PERMITTED. RETAINING WALLS WITHIN THE LANDSCAPE EASEMENT ALONG THE REAR OF LOTS 1-20 BLOCK 15 AND WITHIN TRACT I, SHALL BE RESTRICTED TO THE LOWER (EASTERLY) 15'. ROCK OR WOOD MULCH MAY BE UTILIZED WHEN ASSOCIATED WITH PLANTING BEDS AT A MINIMUM DEPTH OF 3" OVER WEED CONTROL FABRIC. NO MORE THAN 15% OF THE MULCH MAY BE EXPOSED AT PLANT MATURITY.

TRACT SUMMARY

TRACT	AREA (SF)	OWNERSHIP	MAINTENANCE	USAGE	USAGE TYPE
A	385,927	TOCR	HOA	PUB. O.S.	O.S./U/D/P.A.
B	239,523	TOCR	TOCR	PLD	PARK/SCHOOL
C	435,520	TOCR	TOCR	PLD	PARK/SCHOOL
E	782,757	TOCR	HOA	PUB. O.S.	O.S./U/D/P.A.
F	241,574	TOCR	HOA	PUB. O.S.	O.S./U/D/P.A.
G	149,318	TOCR	HOA	PUB. O.S.	O.S./U/D/P.A.
H	44,831	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
I	97,194	TOCR	TOCR	PLD	WELL SITE
J	4,857	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
K	9,671	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
L	30,880	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
M	73,424	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
N	133,112	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
O	419,416	TOCR	HOA	PUB. O.S.	O.S./U/D/P.A.
P	60,260	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
Q	95,491	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
R	217,783	TOCR	TOCR	PLD	WATER STORAGE TANK
S	150,391	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
T	14,913	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
V	3,501	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
W	2,983	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
X	18,639	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
Y	48,341	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
Z	38,698	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
AA	378,990	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
BB	29,898	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
CC	27,289	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
DD	8,507	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
EE	53,386	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.

TRACT LEGEND

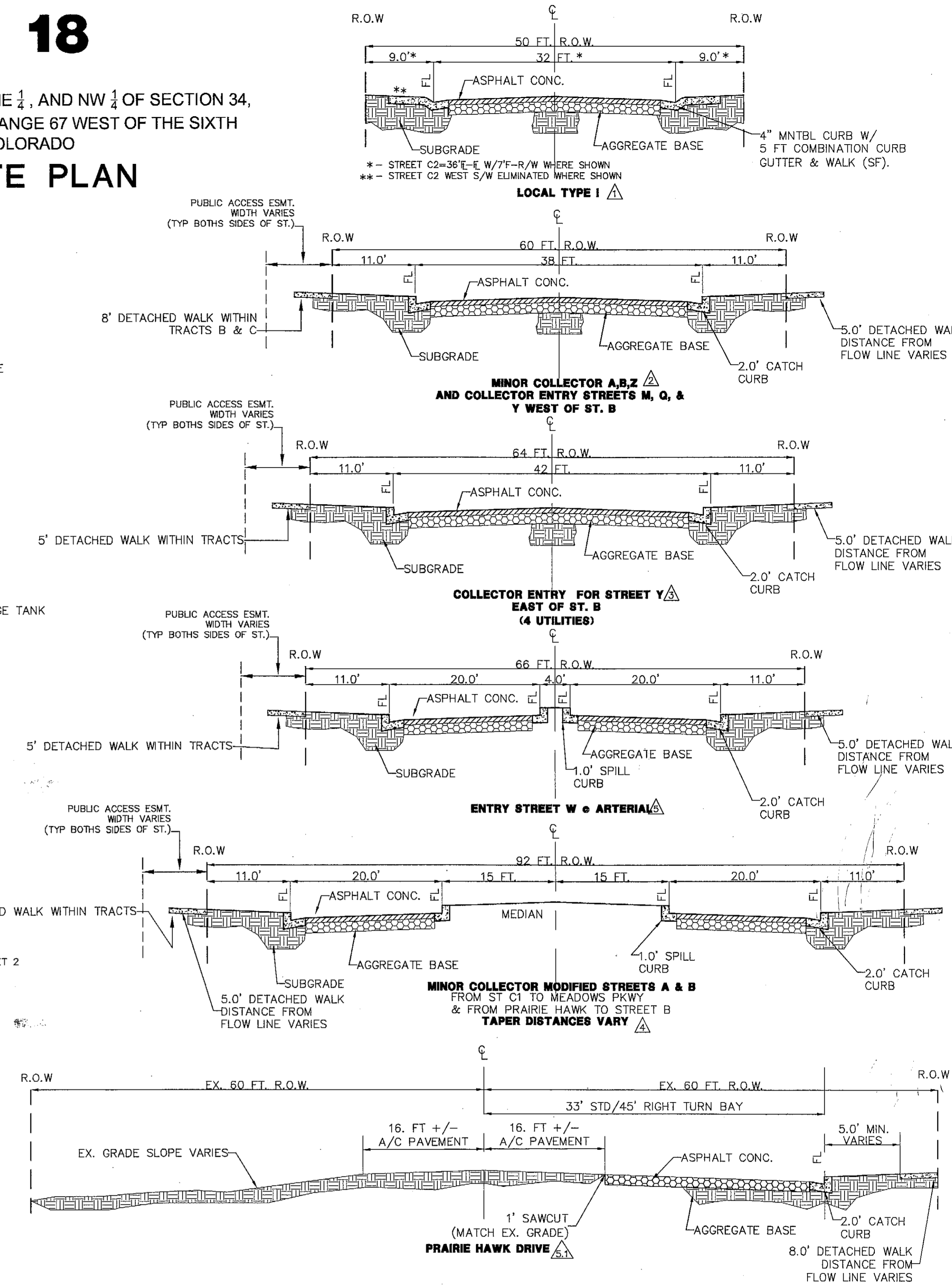
TOCR - TOWN OF CASTLE ROCK
 HOA - HOMEOWNERS ASSOCIATION
 U - UTILITY
 P.A. - PUBLIC ACCESS
 O.S. - OPEN SPACE
 PLD - PUBLIC LAND DEDICATION
 D - DRAINAGE

STREET LEGEND

A	Low Meadow Boulevard	P	Minstrel Court
B	Copperstone Road	Q	Riverwood Way
C1	Night Song Way	R	Youngheart Way
C2	Black Canyon Way	S	Wandering Way
D	Open Sky Way	T	Riding Hood Court
E	Shadow Dance Drive	U	Footprint Court
F	Deerfoot Way	V	Prairie High Road
G	Warmstone Court	W	Fencepost Drive
H	Badlands Court	X	Skyword Way
I	Robin Song Court	Y	Melting Snow Way
J	Wind Dance Court	Z	Morningbird Lane
K	Treetop Drive	AA	Gentle Rain Drive
L	Setting Sun Avenue	BB	Keepsake Way
M	Moonfire Way	CC	Eagle Wing Way
N	Quick Fox Court	DD	Sunlit Drive
O	Rising Moon Way	EE	Fiddle Road
		FF	Sky Rock Way
		GG	Bright Dawn
		HH	Chinaberry

SYMBOL LEGEND

(---)	EXISTING CONTOURS	(---)	LOCAL TYPE I-50' R.O.W. 32' E-E PER SHEET 2
(---)	PROPOSED CONTOURS	(---)	MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
(---)	BOUNDARY LINE	(---)	ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
(---)	TOO-NR FEMA FLD.	(---)	COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
(---)	RIGHT OF WAY LINE	(---)	ARTERIAL ENTRY STREET-66' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
(---)	LOT LINE	(---)	MINOR ARTERIAL STREET-120' R.O.W. 45' FL-CL 1/2 STREET-SHEET 2
(---)	EASEMENT	(---)	UTILITY EASEMENT (20' WIDTH)
(---)	LINE OF SIGHT	(---)	UTILITY EASEMENT (30' WIDTH)
(---)	CENTER LINE OF ROAD	(---)	DRAINAGE EASEMENT (25' WIDTH)
(---)	FLOWLINE	(---)	DRAINAGE EASEMENT (30' WIDTH)
(---)	CROSS PAN	(---)	DRAINAGE AND UTILITY EASEMENT (AS DIMENSIONED)
(---)	BLOCK NUMBER	(---)	BLANKET UTILITY EASEMENT (AS DIMENSIONED)
(---)	EXISTING FENCE	(---)	0'-4' SINGLE RETAINING WALL
(---)	EXISTING CABLE TV	(---)	CONNECT TO EXISTING WATER LINE OFFSITE
(---)	EXISTING ELECTRIC	(---)	CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
(---)	EXISTING GAS	(---)	FUTURE WATER LINE STUB W/2" B.O.
(---)	EXISTING TELEPHONE	(---)	CONNECT TO EXISTING / FUTURE SEWER MAIN
(---)	EXIST. STREET LIGHT	(---)	SIGHT TRIANGLE EASEMENT
(---)	PROP. STREET LIGHT	(---)	TYPICAL CUL-DE-SAC SEE SHEET 3
(---)	EXISTING SANITARY SEWER W/ MANHOLE	(---)	TYPICAL KNUCKLE SEE SHEET 3
(---)	PROPOSED SANITARY SEWER W/ MANHOLE	(---)	FLOOD PLAIN REVISIONS REQUIRED PER FUTURE CLOMR
(---)	EXISTING WATER LINE W/ FIRE HYDRANT	(---)	5' DETACHED CONCRETE WALK
(---)	PROPOSED WATER LINE W/ FIRE HYDRANT	(---)	8' CONCRETE WALK/REGIONAL TRAIL
(---)	EXISTING GATE VALVE	(---)	EXISTING FIRE HYDRANT
(---)	PROPOSED GATE VALVE	(---)	PROPOSED FIRE HYDRANT
(---)	PROPOSED BLOW OFF	(---)	IRRIGATION TAP W/ BACK FLOW PREVENTION
(---)	EXISTING STORM SEWER	(---)	LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)
(---)	PROPOSED STORM SEWER	(---)	PEDESTRIAN ACCESS ESMT. (WIDTH VARIES)
(---)	WATER ZONE BOUNDARY	(---)	
(---)	EXISTING INLET	(---)	
(---)	PROPOSED INLETS	(---)	
(---)	PROPOSED HEADWALL	(---)	
(---)	EXISTING RIPRAP	(---)	
(---)	PROPOSED FLARED END SECTION W/ RIP RAP	(---)	
(---)	PROP MAIL KIOSK	(---)	
(---)	SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666	(---)	
(---)	CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	(---)	
(---)	KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	(---)	
(---)	HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	(---)	



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MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
TRACT SUMMARY / DEV. STANDARDS
SHEET 2 OF 38

THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE 1/4, NE 1/4, AND NW 1/4 OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE 1/4, SE 1/4 AND SW 1/4 OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 3 OF 38

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF SECTIONS 33 AND 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 33 AND CONSIDERING THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33 TO BEAR NORTH 89°29'14" EAST AND ALL BEARINGS ARE MADE AS A REFERENCE HEREON;

THENCE NORTH 44°10'42" WEST 145.20 FEET TO THE MOST SOUTHERLY CORNER OF THE MEADOWS FILING NO. 11 - PARCEL 14 AS RECORDED UNDER RECEPTION NO. 00037900 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER;

THENCE ALONG THE SOUTHERLY AND EASTERLY BOUNDARIES OF SAID MEADOWS FILING NO. 11 - PARCEL 14 THE FOLLOWING THREE (3) COURSES:

1. NORTH 18°48'34" EAST 536.43 FEET;
2. NORTH 43°01'10" WEST 76.68 FEET;
3. NORTH 38°41'24" WEST 373.21 FEET TO THE SOUTHEASTERLY RIGHT-OF-WAY OF MEADOWS BOULEVARD AS RECORDED UNDER RECEPTION NO. 8727783 OF SAID DOUGLAS COUNTY RECORDS, BEING ALSO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 1045.00 FEET AND A RADIAL BEARING OF SOUTH 52°20'55" EAST;

THENCE DEPARTING SAID SOUTHERLY AND EASTERLY BOUNDARIES AND ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY THE FOLLOWING FIVE (5) COURSES:

1. NORTHEASTERLY ALONG SAID CURVE 536.48 FEET THROUGH A CENTRAL ANGLE OF 29°24'52";
2. TANGENT TO SAID CURVE, NORTH 67°03'57" EAST 1045.49 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 1805.00 FEET;
3. NORTHEASTERLY ALONG SAID CURVE 1079.23 FEET THROUGH A CENTRAL ANGLE OF 34°15'28";
4. TANGENT TO SAID CURVE, NORTH 32°48'29" EAST 1091.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 2945.00 FEET;
5. NORTHEASTERLY ALONG SAID CURVE 321.54 FEET THROUGH A CENTRAL ANGLE OF 06°15'20" TO THE MOST WESTERLY CORNER OF THE MEADOWS FILING NO. 3 AS RECORDED UNDER RECEPTION NO. 8802433 OF SAID DOUGLAS COUNTY RECORDS;

THENCE DEPARTING SAID SOUTHEASTERLY RIGHT-OF-WAY OF MEADOWS PARKWAY AND ALONG THE WESTERLY AND SOUTHERLY BOUNDARIES OF SAID MEADOWS FILING NO. 3 THE FOLLOWING TWO (2) COURSES:

1. SOUTH 50°56'10" EAST 325.43 FEET;
2. NORTH 50°40'11" EAST 467.00 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY OF PRAIRIE HAWK DRIVE AS RECORDED UNDER RECEPTION NO. 9726790 OF SAID DOUGLAS COUNTY RECORDS;

THENCE DEPARTING SAID WESTERLY AND SOUTHERLY BOUNDARIES AND ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1. SOUTH 39°19'44" EAST 15.38 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 960.00 FEET;
2. SOUTHEASTERLY ALONG SAID CURVE 115.95 FEET THROUGH A CENTRAL ANGLE OF 06°55'12" TO THE NORTHEASTERLY CORNER OF THAT PARCEL OF LAND DESCRIBED UNDER RECEPTION NO. DC9733595 IN SAID DOUGLAS COUNTY RECORDS;

THENCE DEPARTING SAID SOUTHWESTERLY RIGHT-OF-WAY OF PRAIRIE HAWK DRIVE AND ALONG THE NORTHERLY, WESTERLY AND SOUTHERLY BOUNDARIES OF SAID PARCEL THE FOLLOWING THREE (3) COURSES:

1. NON-TANGENT TO SAID CURVE, SOUTH 34°54'33" WEST 302.78 FEET;
2. SOUTH 55°05'27" EAST 295.16 FEET;
3. NORTH 34°54'33" EAST 302.79 FEET TO SAID SOUTHWESTERLY RIGHT-OF-WAY OF PRAIRIE HAWK DRIVE, BEING ALSO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 960.00 FEET AND A RADIAL BEARING OF NORTH 26°03'53" EAST;

THENCE DEPARTING SAID NORTHERLY, WESTERLY AND SOUTHERLY BOUNDARIES AND ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY THE FOLLOWING SIX (6) COURSES:

1. SOUTHEASTERLY ALONG SAID CURVE 245.78 FEET THROUGH A CENTRAL ANGLE OF 14°40'08";
2. TANGENT TO SAID CURVE, SOUTH 78°36'15" EAST 1262.01 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 940.00 FEET;
3. SOUTHEASTERLY ALONG SAID CURVE 771.09 FEET THROUGH A CENTRAL ANGLE OF 47°00'00";
4. TANGENT TO SAID CURVE, SOUTH 31°36'15" EAST 893.31 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 1440.00 FEET;
5. SOUTHEASTERLY ALONG SAID CURVE 498.72 FEET THROUGH A CENTRAL ANGLE OF 19°50'37";
6. TANGENT TO SAID CURVE, SOUTH 11°45'38" EAST 552.28 FEET TO THE EASTERLY LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 34;

THENCE DEPARTING SAID SOUTHWESTERLY RIGHT-OF-WAY OF PRAIRIE HAWK DRIVE AND ALONG SAID EASTERLY LINE, SOUTH 00°47'11" EAST 764.46 FEET TO THE SOUTHEAST CORNER OF SAID WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 34;

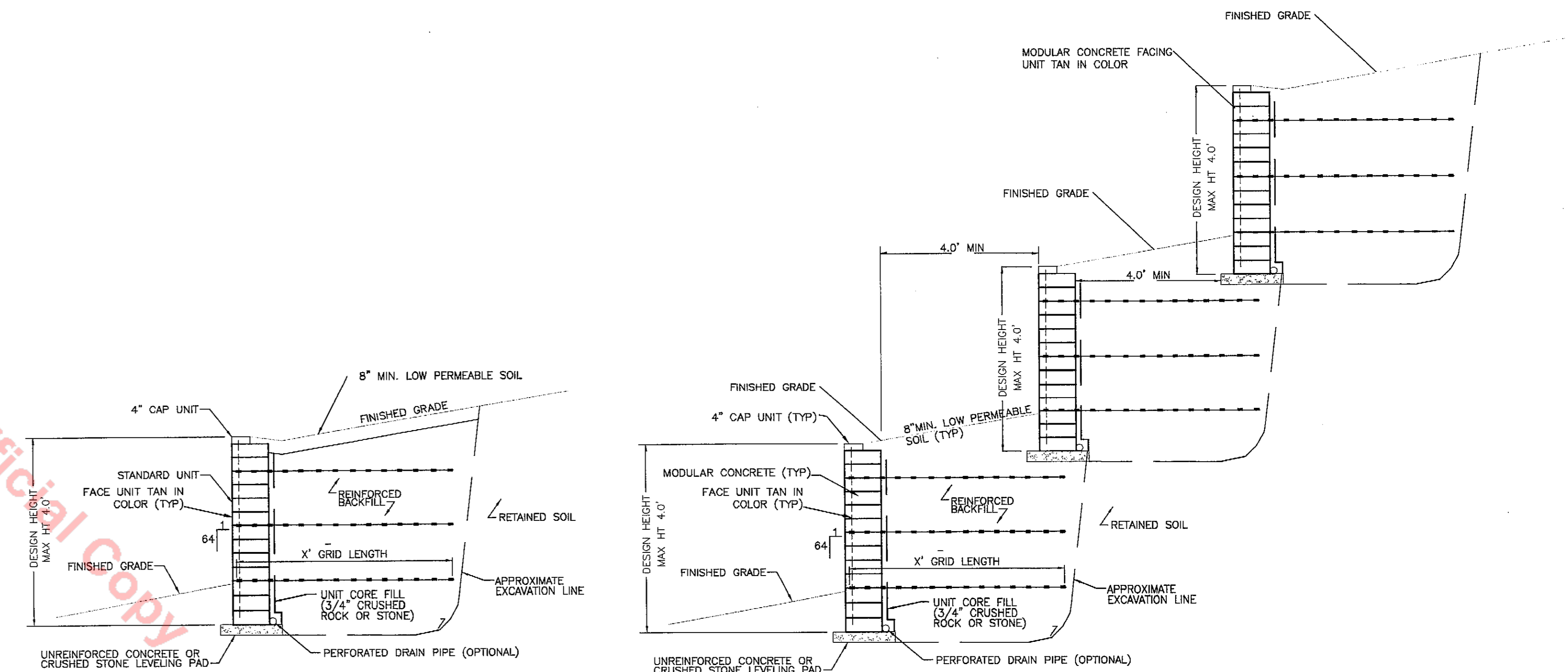
THENCE ALONG THE SOUTHERLY LINE OF SAID WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 33, SOUTH 88°58'40" WEST 1313.21 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 34;

THENCE ALONG THE SOUTHERLY LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 34, SOUTH 88°58'38" WEST 2626.10 FEET TO THE SOUTHEAST CORNER OF SECTION 33;

THENCE ALONG SAID SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 33, SOUTH 89°29'14" WEST 2627.14 FEET TO THE POINT OF BEGINNING.

CONTAINING 380.562 ACRES (16,577,274 SQ. FT.), MORE OR LESS.

Unofficial Copy

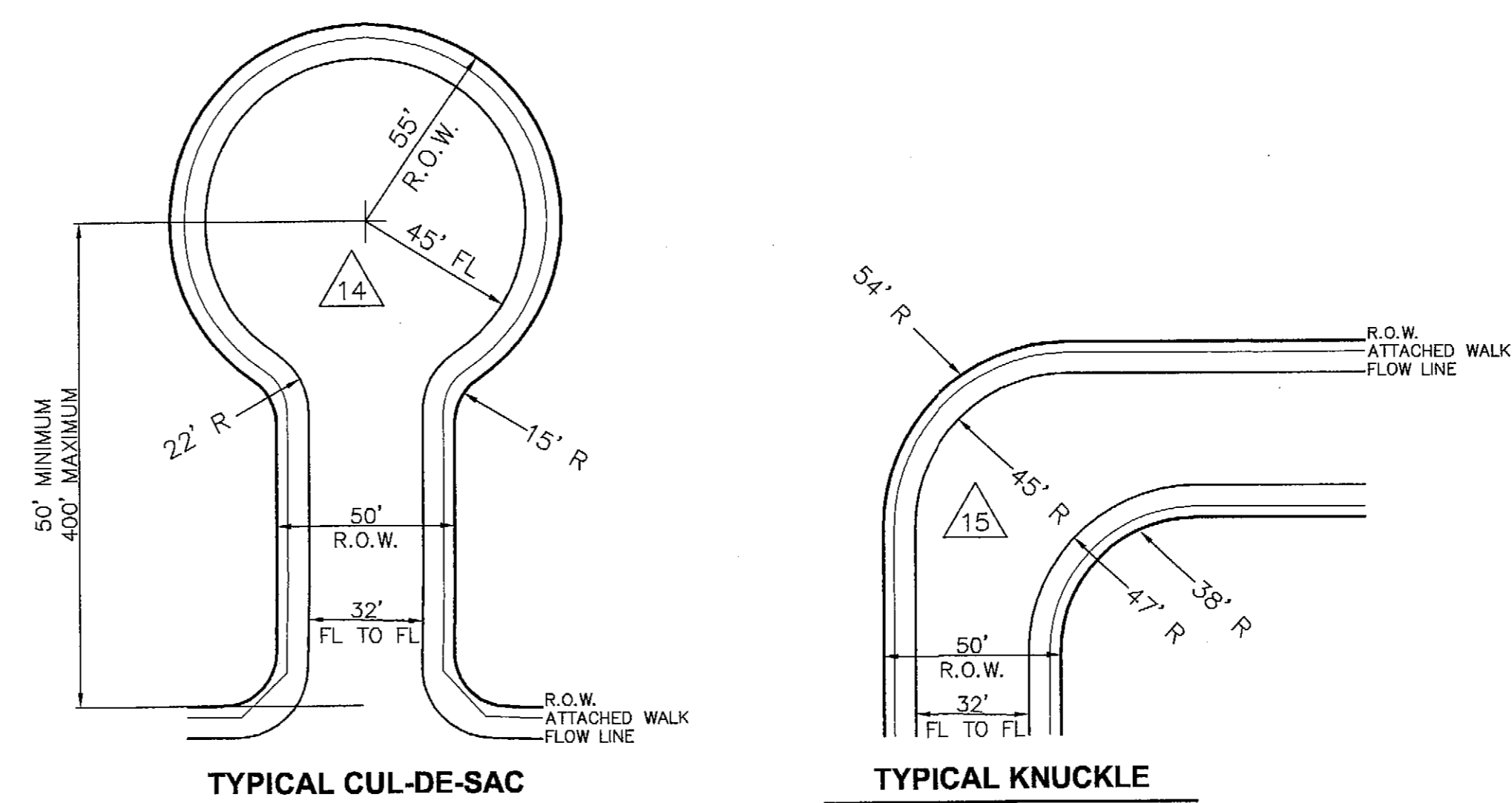


TYPICAL RETAINING WALL
STANDARD UNIT - NEAR VERTICAL SETBACK
FINAL DESIGN BY MANUFACTURER
TO BE COMPRISED OF MASONRY MATERIAL
THAT RESEMBLE NATURAL MATERIAL (EQUIV TO ALLAN BLOCK)

RETAINING WALL

NOTE:
ALL RETAINING WALLS EXCEEDING 4' IN HEIGHT AND OR SUBJECT TO TRAFFIC LOADS MUST BE ENGINEERED.

NOT TO SCALE



TYPICAL CUL-DE-SAC

TYPICAL KNUCKLE

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MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
LEGAL DESCRIPTION AND DETAILS
SHEET 3 OF 38

THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE 1/4, NE 1/4, AND NW 1/4 OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE 1/4, SE 1/4 AND SW 1/4 OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 4 OF 38

BENCHMARK INFORMATION—THE MEADOWS FILING NO. 18

ORIGIN BENCHMARK NGS POINT K-23

FOUND BRASS DISK SET IN CONCRETE POST 0.4' ABOVE THE GROUND LOCATED 0.15 MILES NORTHWEST OF THE INTERSECTION OF HAPPY CANYON ROAD AND U.S. HIGHWAY 85. STATION IS 75+-- FEET SOUTH OF THE CENTERLINES OF HIGHWAY 85. ELEVATION IS 5981.61 FEET, (NGVD 1929 DATUM)

PROJECT BENCHMARK NO. 1

SET #5 REBAR WITH ALUMINUM CAP MARKED "AZTEC-145" SET FLUSH WITH GROUND ON THE NORTH SIDE OF MEADOWS PARKWAY APPROXIMATELY 190 FEET NORTHERLY OF THE CENTERLINE OF MEADOWS PARKWAY. ELEVATION IS 6232.19 FEET (NGVD 1929 DATUM).

PROJECT BENCHMARK NO. 2

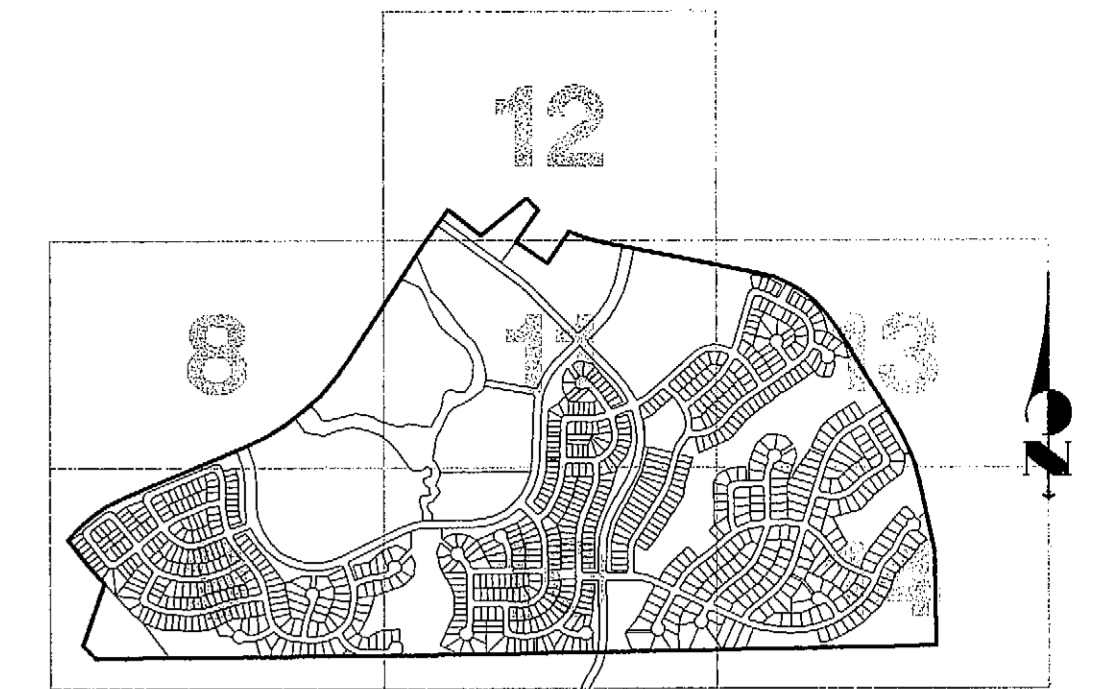
SET #5 REBAR WITH ALUMINUM CAP MARKED "AZTEC-123" SET FLUSH WITH GROUND ON THE SOUTH SIDE OF MEADOWS BOULEVARD APPROXIMATELY 530 FEET SOUTHERLY OF THE CENTERLINE OF MEADOWS BOULEVARD AND 633 FEET WESTERLY OF THE CENTERLINE OF MEADOWS BOULEVARD. ELEVATION IS 6083.34 FEET (NGVD 1929 DATUM).

PROJECT BENCHMARK NO. 3

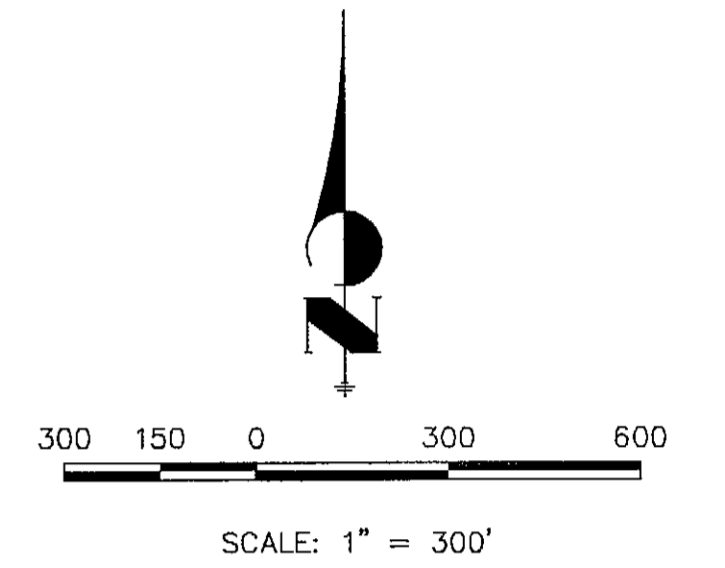
SET #5 REBAR WITH ALUMINUM CAP MARKED "AZTEC-145" SET FLUSH WITH GROUND ON THE NORTH SIDE OF MEADOWS PARKWAY APPROXIMATELY 190 FEET NORTHERLY OF THE CENTERLINE OF MEADOWS PARKWAY. ELEVATION IS 6232.19 FEET (NGVD 1929 DATUM).

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS PLAT ARE BASED UPON THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH. P.M. AS BEING ASSUMED TO BEAR NORTH 89°29'14" EAST AND IS MONUMENTED AS SHOWN HEREON.



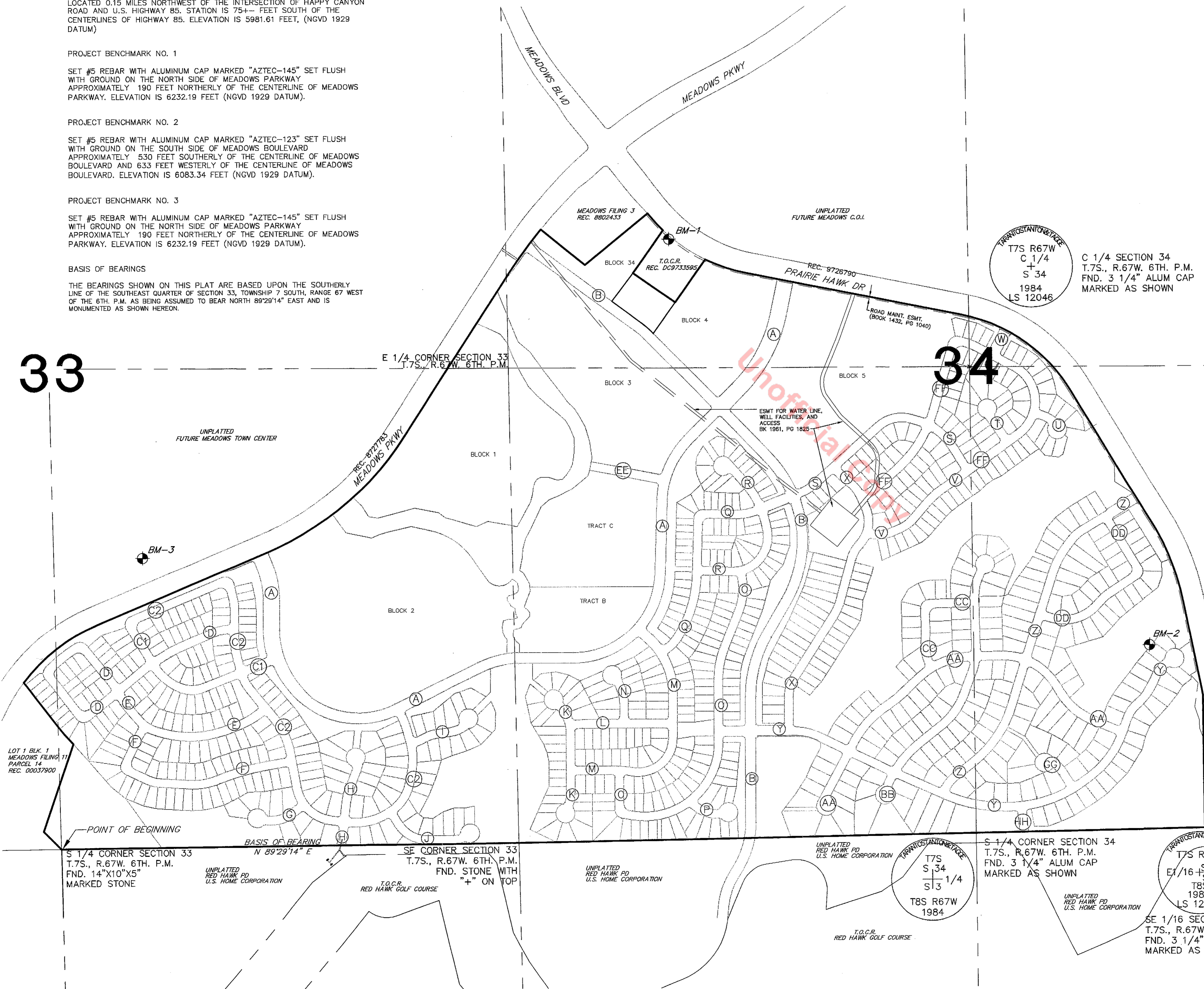
KEYMAP
N.T.S.



STREET LEGEND

(A) - PROPOSED STREET NAME

- | | |
|------------------------|----------------------|
| A Low Meadow Boulevard | P Minstrel Court |
| B Copperstone Road | Q Riverwood Way |
| C1 Night Song Way | R Youngheart Way |
| C2 Black Canyon Way | S Wandering Way |
| D Open Sky Way | T Riding Hood Court |
| E Shadow Dance Drive | U Footprint Court |
| F Deerfoot Way | V Prairie High Road |
| G Warmstone Court | W Fencepost Drive |
| H Badlands Court | X Skyward Way |
| I Robin Song Court | Y Melting Snow Way |
| J Wind Dance Court | Z Morningbird Lane |
| K Treetop Drive | AA Gentle Rain Drive |
| L Setting Sun Avenue | BB Keepsake Way |
| M Moonfire Way | CC Eagle Wing Way |
| N Quick Fox Court | DD Sunlit Drive |
| O Rising Moon Way | EE Fiddle Road |
| | FF Sky Rock Way |
| | GG Bright Dawn |
| | HH Chinaberry |



E 1/4 SECTION 34
T.7S., R.67W. 6TH. P.M.
FND. 3 1/4" ALUM CAP
MARKED AS SHOWN

TRANSISTANT SURFACE
1/4 34+35
LS 12046
1984

TRANSISTANT SURFACE
T7S R67W
C 1/4
S 34
1984
LS 12046

TRANSISTANT SURFACE
T7S
S 34
1/4
S 13
T8S R67W
1984

TRANSISTANT SURFACE
T7S R67W
E 1/16 S 34
S 3
T8S
1984
LS 12046

1998
T7S R67W
S 34, S 35
S 3'S 2
T8S R67W

DEVELOPER LAND PLANNER/LANDSCAPE ARCHITECT

SE CORNER SECTION 34
T.7S., R.67W. 6TH. P.M.
FND. 3 1/4" ALUM CAP
MARKED AS SHOWN

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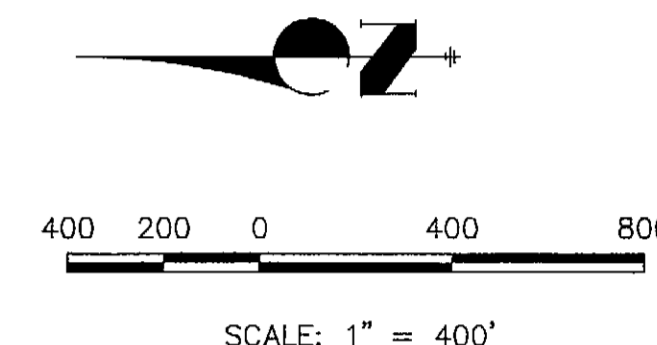
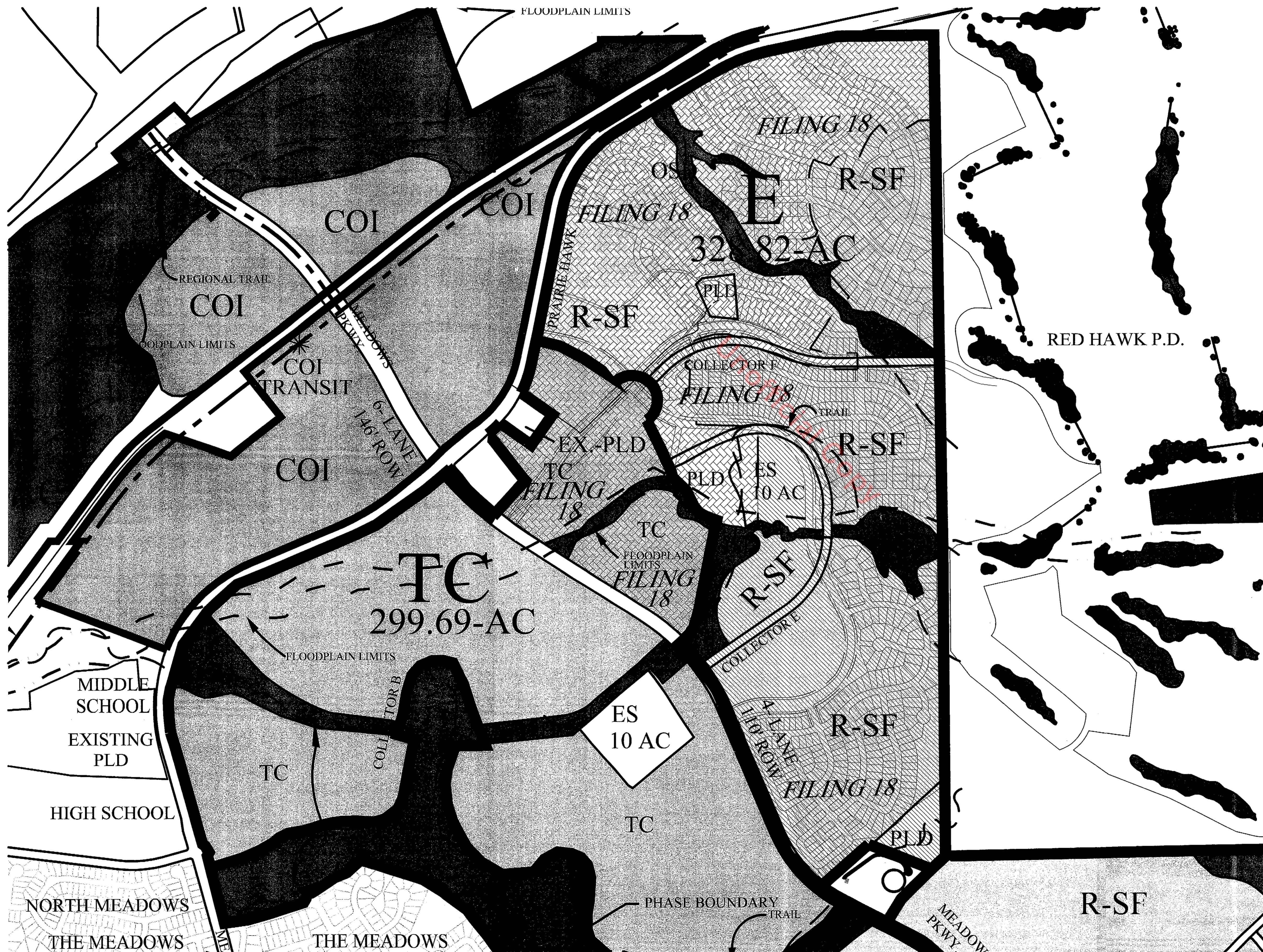
**MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
OVERALL BOUNDARY AND PARCEL MAP
SHEET 4 OF 38**

THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW $\frac{1}{4}$ OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE $\frac{1}{4}$, NE $\frac{1}{4}$, AND NW $\frac{1}{4}$ OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE $\frac{1}{4}$, SE $\frac{1}{4}$ AND SW $\frac{1}{4}$ OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 5 OF 38



LEGEND

R-SF SINGLE FAMILY 1-8 DU/AC	
TC TOWN CENTER	
COI COMMERCIAL OFFICE	
OSD OPEN SPACE	
PLD PUBLIC LAND DEDICATION	
ES ELEMENTARY SCHOOL	

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 SCOTT PEASE

MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
EXISTING PRELIMINARY PD ZONING
SHEET 5 OF 38

THE MEADOWS FILING 18

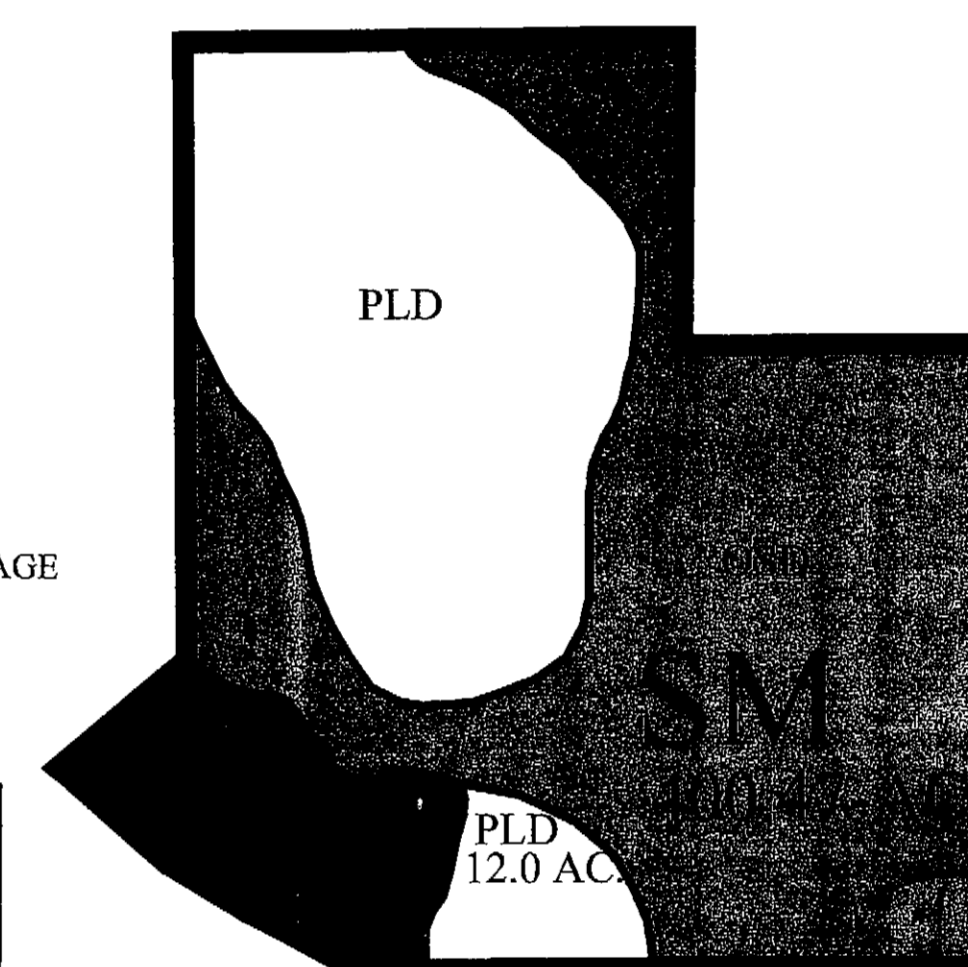
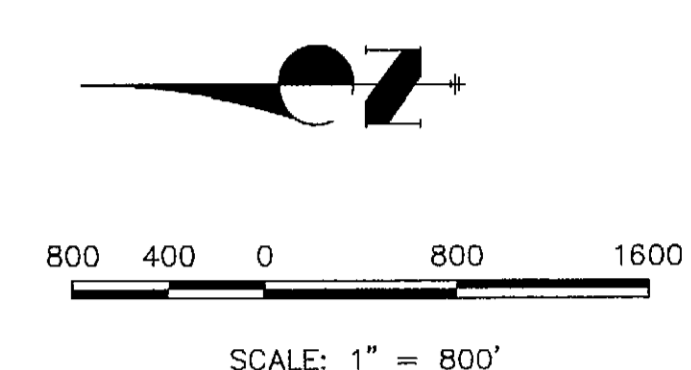
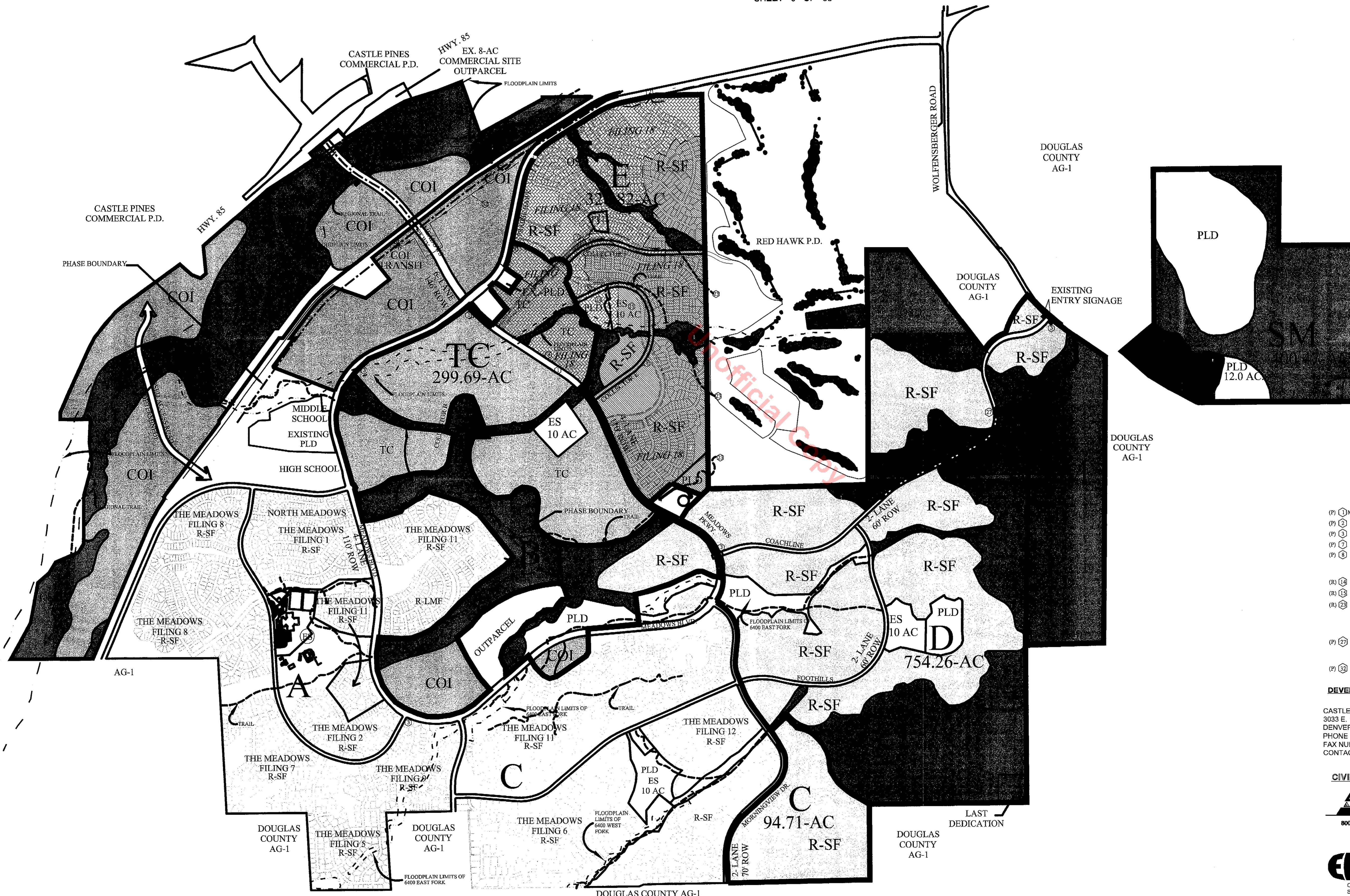
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 6 OF 38

LEGEND

- R-SF SINGLE FAMILY 1-4 DU/AC
- TC TOWN CENTER
- COI COMMERCIAL OFFICE
- OSD OPEN SPACE
- PLD PUBLIC LAND DEDICATION
- ES ELEMENTARY SCHOOL



- NOTES:
1. ALL PHASE NUMBERS CORRESPOND TO THE MEADOWS PRELIMINARY PD SITE PLAN 4TH AMENDMENT PHASING. ALL UNLISTED PHASES ARE DESCRIBED ON THE 4TH AMENDMENT PHASE MAP.
 2. (P) DENOTES A PROGRESSIVE IMPROVEMENT.
 3. (R) DENOTES A REGIONAL IMPROVEMENT.

TRANSPORTATION IMPROVEMENTS

- (P) ① MEADOWS PARKWAY WIDENING - REQ'D AT 15K VPD OR 25K VPD PER 4TH AMD.
- (P) ② WIDENING OF PRAIRIE HAWK DR. - REQ'D AT 14K VPD OR 50% DBV PER 4TH AMD.
- (P) ③ TRAFFIC LIGHTS - REQ'D AS WARRANTED
- (P) ④ COLLECTOR F - REQ'D AT FIRST PLAT ADJACENT NEIGHBORHOOD E
- (P) ⑤ COLLECTOR E - REQ'D AT FIRST PLAT ADJACENT NEIGHBORHOOD E

PARKS AND OPEN SPACE

- (R) ⑬ DEDICATION OF NEIGHBORHOOD PARK - REQ'D AT FIRST PLAT IN NEIGHBORHOOD E
- (R) ⑭ DEDICATION OF ELEMENTARY SCHOOL - REQ'D AT FIRST PLAT IN NEIGHBORHOOD E
- (R) ⑮ TRAIL CONSTRUCTION - REQ'D WITHIN 2 YRS OF LAND DEDICATION

WATER FACILITIES

- (P) ⑫ WATER STORAGE - REQ'D PER PLAT DEDICATIONS

SEWER FACILITIES

- (P) ⑬ 21" EAST BASIN INTERCEPTOR - REQ'D PRIOR TO BLDG PERMIT AREA TC, E

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MEADOWS FILING 18
 PRELIMINARY PLAT AND FINAL PD SITE PLAN
 REGIONAL AND PROGRESSIVE PHASING
 SHEET 6 OF 38

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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 7 OF 38

PHASE A

UTILITY IMPROVEMENTS

- WATER**
- 1) INSTALL 24" MAIN FROM RED HAWK PD NORTH TO MEADOWS PKWY AND CONNECT TO EX 16"W.
 - 2) INSTALL 8"/12" STUBS TO FUTURE DEVELOPED AREAS EAST AND WEST.
 - 3) REGRADE EX WELL SITE AND REPLACE EX FACILITIES.
 - 4) REMOVE EX 8" RAW WATER LINE FROM WELL SITE AND REPLACE WITH 12" LINE IN ROADWAY.
 - 5) INSTALL PRV YELLOW/BLUE IN VICINITY OF WELL SITE ADJACENT TO ROADWAY.

SANITARY

- 1) INSTALL STUB CROSSINGS AND MAIN WITHIN ROADWAY AS NEEDED TO SERVE FUTURE PHASES.

STORM

- 1) INSTALL INLETS AT FUTURE STREET INTERSECTIONS AND STORM PIPE WITHIN ROADWAY TO OUTFALL.
- 2) INSTALL 72" RCP CULVERT CROSSING.

LANDSCAPING

- 1) SIDEWALK AND TRACT LANDSCAPING WITHIN ADJACENT TRACTS.

LAND DEDICATION

- 1) DEDICATE TRACTS Q, P, Z, Y, N.

PHASE B

UTILITY IMPROVEMENTS

- WATER**
- 1) INSTALL 24" MAIN FROM RED HAWK PD NORTH TO MEADOWS PKWY AND CONNECT TO EX 16"W.
 - 2) INSTALL 8" STUBS TO FUTURE DEVELOPED AREAS EAST AND WEST.
 - 3) REMOVE EX 8" RAW WATER LINE FROM WELL SITE AND REPLACE WITH 12" LINE IN ROADWAY.

SANITARY

- 1) NONE

STORM

- 1) INSTALL INLETS AT MEADOWS PARKWAY AND OUTFALL PIPE TO THE WEST.

LANDSCAPING

- 1) SIDEWALK AND TRACT LANDSCAPING WITHIN ADJACENT TRACTS.

LAND DEDICATION

- 1) DEDICATE R.O.W. ONLY

PHASE C

EACH PHASE MAY BE FURTHER SUBDIVIDED IN RESPONSE TO MODEL HOME CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE PUBLIC WORKS REGULATIONS.

STREET IMPROVEMENTS

- 1) PROVIDE SECONDARY ACCESS VIA COLLECTOR RD B AND COLLECTOR RD A TO PRAIRIE HAWK.
- 2) LOCAL ROAD IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

UTILITY IMPROVEMENTS

- WATER**
- 1) INSTALL 12" MAIN IN PRAIRIE HAWK FROM NORTH ENTRY ROAD OF RED HAWK PD NORTH TO ENTRY ROAD THIS PARCEL.
 - 2) INSTALL PRV BLUE/YELLOW ZONE ON 12" PRAIRIE HAWK MAIN.
 - 3) INSTALL 24" MAIN FROM RED HAWK PD NORTH TO ENTRY STREET THIS PARCEL. INCLUDE PRV YELLOW/BLUE ZONE.
 - 4) LOCAL WATER IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.
 - 5) RE-ESTABLISH EXISTING WELL FACILITIES AT NEW GRADE.

SANITARY

- 1) INSTALL PLUM CREEK INTERCEPTOR TO PROVIDE OUTFALL.
- 2) LOCAL SEWER IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

STORM

- 1) INSTALL INLETS AT STREET INTERSECTIONS AND STORM PIPE WITHIN PRAIRIE HAWK TO OUTFALL.
- 2) LOCAL STORM DRAINAGE IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

LANDSCAPING

- 1) SIDEWALK AND TRACT LANDSCAPING ADJACENT TO PRAIRIE HAWK.

LAND DEDICATION

- 1) DEDICATE TRACTS BB, I.

PHASE D

EACH PHASE MAY BE FURTHER SUBDIVIDED IN RESPONSE TO MODEL HOME CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE PUBLIC WORKS REGULATIONS.

STREET IMPROVEMENTS

- 1) PROVIDE SECONDARY ACCESS VIA COLLECTOR RD B AND COLLECTOR RD A TO PRAIRIE HAWK.
- 2) LOCAL ROAD IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

UTILITY IMPROVEMENTS

- WATER**
- 1) INSTALL 12" MAIN IN PRAIRIE HAWK FROM NORTH ENTRY ROAD OF RED HAWK PD NORTH TO NORTH ENTRY ROAD THIS PARCEL.
 - 2) INSTALL PRV BLUE/YELLOW ZONE ON 12" PRAIRIE HAWK MAIN.
 - 3) INSTALL 24" MAIN FROM RED HAWK PD NORTH TO ENTRY STREET THIS PARCEL. INCLUDE PRV YELLOW/BLUE ZONE.
 - 4) LOCAL WATER IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

SANITARY

- 1) INSTALL PLUM CREEK INTERCEPTOR TO PROVIDE OUTFALL.
- 2) LOCAL SEWER IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

STORM

- 1) INSTALL INLETS AT STREET INTERSECTIONS AND STORM PIPE WITHIN PRAIRIE HAWK TO OUTFALL.
- 2) LOCAL STORM DRAINAGE IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

LANDSCAPING

- 1) SIDEWALK AND TRACT LANDSCAPING ADJACENT TO PRAIRIE HAWK.

LAND DEDICATION

- 1) DEDICATE TRACTS E, CC, F, AA, G.

NOTE: THE PHASES AS IDENTIFIED HEREON ARE NOT PRESENTED IN ANY SPECIFIC ORDER OF CONSTRUCTION. THEY ARE INSTEAD PRESENTED AS IF EACH ONE OF THEM MAY OCCUR FIRST.

PHASE E

EACH PHASE MAY BE FURTHER SUBDIVIDED IN RESPONSE TO MODEL HOME CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE PUBLIC WORKS REGULATIONS.

STREET IMPROVEMENTS

- 1) PROVIDE SECONDARY ACCESS VIA COLLECTOR RD B AND COLLECTOR RD A TO PRAIRIE HAWK.
- 2) LOCAL ROAD IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

UTILITY IMPROVEMENTS

- WATER**
- 1) INSTALL 24" MAIN FROM RED HAWK PD NORTH TO COLLECTOR ST. B. INCLUDE PRV YELLOW/BLUE ZONE.
 - 2) LOCAL WATER IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.
 - 3) RE-ESTABLISH EXISTING WELL FACILITIES AT NEW GRADE.

SANITARY

- 1) INSTALL PLUM CREEK INTERCEPTOR TO PROVIDE OUTFALL.
- 2) LOCAL SEWER IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

STORM

- 1) LOCAL STORM DRAINAGE IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

LANDSCAPING

- 1) TRAIL INSTALLATION ALONG REAR LOTS.

LAND DEDICATION

- 1) DEDICATE TRACTS E, I.

PHASE F

EACH PHASE MAY BE FURTHER SUBDIVIDED IN RESPONSE TO MODEL HOME CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE PUBLIC WORKS REGULATIONS.

STREET IMPROVEMENTS

- 1) COLLECTOR RD A FROM WEST ENTRY NORTH AND EAST TO PRAIRIE HAWK DR.
- 2) COLLECTOR RD B SOUTH FROM COLLECTOR RD A TO FIRST ENTRANCE TO PARCEL.
- 3) LOCAL ROAD IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

UTILITY IMPROVEMENTS

- WATER**
- 1) INSTALL 24" MAIN FROM RED HAWK PD NORTH TO TIE TO EX 16" IN MEADOWS PKWY. INCLUDE PRV YELLOW/BLUE ZONE.
 - 2) LOCAL WATER IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

SANITARY

- 1) INSTALL PLUM CREEK INTERCEPTOR TO PROVIDE OUTFALL TO SE PORTION OF SITE.
- 2) INSTALL SEWER OUTFALL TO NORTH THROUGH TOWN CENTER PARCEL NORTH OF MEADOWS PKWY.
- 3) LOCAL SEWER IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

STORM

- 1) LOCAL STORM DRAINAGE IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.
- 2) CONSTRUCTION OF REGIONAL DOWNSTREAM DETENTION FACILITY PER TOWN CENTER.

LANDSCAPING

- 1) TRACT LANDSCAPING ADJACENT TO COLLECTORS, WITHIN PRIVATE PARK.

LAND DEDICATION

- 1) DEDICATE TRACTS E, O, Y, N, M, L, W.

PHASE G

EACH PHASE MAY BE FURTHER SUBDIVIDED IN RESPONSE TO MODEL HOME CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE PUBLIC WORKS REGULATIONS.

STREET IMPROVEMENTS

- 1) COLLECTOR RD A FROM MEADOWS PARKWAY TO PRAIRIE HAWK DR.
- 2) LOCAL ROAD IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

UTILITY IMPROVEMENTS

- WATER**
- 1) INSTALL 24" MAIN FROM RED HAWK PD NORTH TO TIE TO EX 16" IN MEADOWS PKWY. INCLUDE PRV YELLOW/BLUE ZONE.
 - 2) LOCAL WATER IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.
 - 3) INSTALL SECONDARY SUPPLY FROM TOWN CENTER, WEST OF MEADOWS PKWY.

SANITARY

- 1) INSTALL SEWER OUTFALL TO NORTH THROUGH TOWN CENTER PARCEL NORTH OF MEADOWS PKWY.
- 2) LOCAL SEWER IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.

STORM

- 1) LOCAL STORM DRAINAGE IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF THIS PARCEL.
- 2) CONSTRUCTION OF REGIONAL DOWNSTREAM DETENTION FACILITY PER TOWN CENTER.

LANDSCAPING

- 1) TRACT LANDSCAPING ADJACENT TO COLLECTORS, WITHIN PRIVATE PARK, TRAIL ALONG WEST LIMITS.

LAND DEDICATION

- 1) DEDICATE TRACTS E, O, P, Q, U, S, R, Z, T, V.

PHASE H

EACH PHASE MAY BE FURTHER SUBDIVIDED IN RESPONSE TO MODEL HOME CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE PUBLIC WORKS REGULATIONS.

STREET IMPROVEMENTS

- 1) COLLECTOR RD A FROM MEADOWS PARKWAY TO PRAIRIE HAWK DR.

UTILITY IMPROVEMENTS

- WATER**
- 1) INSTALL 24" MAIN FROM RED HAWK PD NORTH TO TIE TO EX 16" IN MEADOWS PKWY.
 - 3) INSTALL SECONDARY SUPPLY OF 12" LINE ACROSS NORTH LIMITS, WEST TO MEADOWS PARKWAY.

SANITARY

- 1) INSTALL SEWER OUTFALL TO NORTH THROUGH TOWN CENTER PARCEL NORTH OF MEADOWS PKWY.

STORM

- 1) CONSTRUCTION OF LOCAL STREET CROSSING AND CULVERT INSTALLATION.
- 2) CONSTRUCTION OF REGIONAL DOWNSTREAM DETENTION FACILITY PER TOWN CENTER.

LANDSCAPING

- 1) TRACT LANDSCAPING ADJACENT TO COLLECTORS, TRAIL ALONG WEST LIMITS.

LAND DEDICATION

- 1) DEDICATE TRACT A.

PHASE I

UTILITY IMPROVEMENTS

- WATER**
- 1) INSTALL 12" MAIN FROM NORTH ENTRY ROAD OF RED HAWK PD NORTH TO EXISTING MAIN AT FIRE STATION, ALL WITHIN R/W OF PRAIRIE HAWK.
 - 2) INSTALL 8" STUBS TO FUTURE DEVELOPED AREAS EAST AND WEST.
 - 3) INSTALL PRV BLUE/YELLOW ZONE SOUTH OF FUTURE SOUTH CUL-DE-SAC.

SANITARY

- 1) INSTALL STUB CROSSINGS AND MAIN WITHIN ROADWAY AS NEEDED TO SERVE FUTURE PHASES TO THE WEST.

STORM

- 1) REMOVE EX CULVERTS AND REPLACE AND LOWER TO SERVE FUTURE PHASES TO WEST.
- 2) INSTALL INLETS AT FUTURE STREET INTERSECTIONS AND STORM PIPE WITHIN ROADWAY TO OUTFALL.

LANDSCAPING

- 1) SIDEWALK AND TRACT LANDSCAPING WITHIN ADJACENT WEST SIDE TRACTS.

LAND DEDICATION

- 1) DEDICATE TRACTS BB, CC.

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MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
MEADOWS FILING 18 SITE PHASING
SHEET 7 OF 38

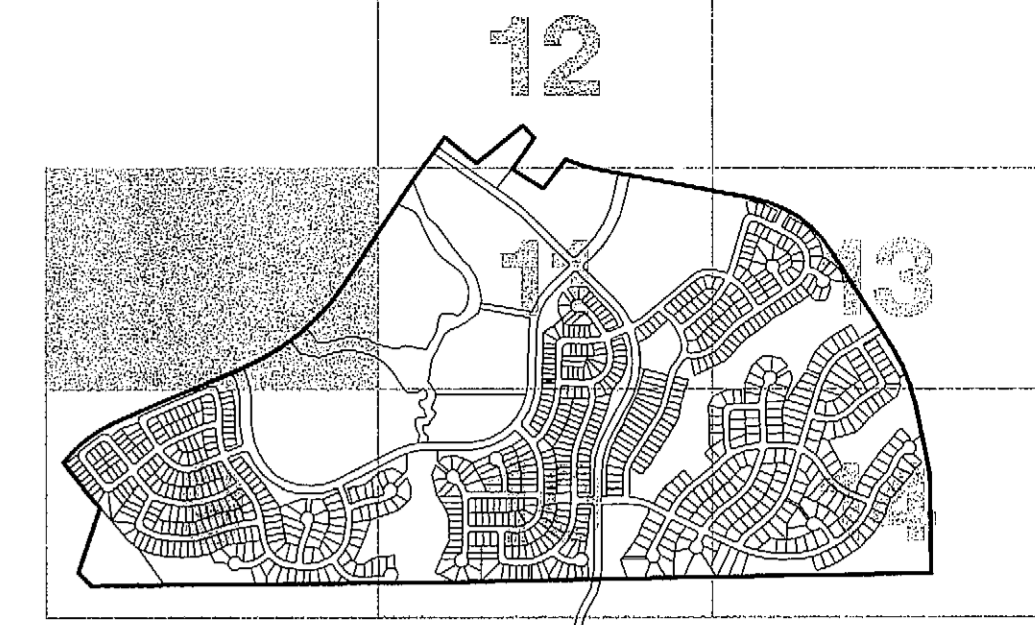
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 8 OF 38

KEYMAP

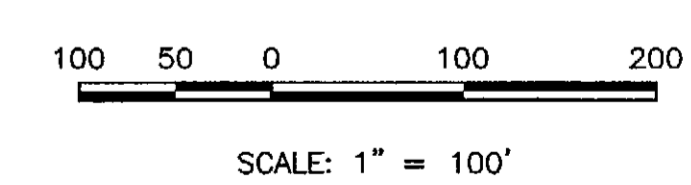


LEGEND

	EXISTING CONTOURS		LOCAL TYPE 1-50' R.O.W. 32' E-E PER SHEET 2
	PROPOSED CONTOURS		MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
	BOUNDARY LINE		ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
	100-YR FEMA FLP.		COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
	RIGHT OF WAY LINE		ARTERIAL ENTRY STREET-66' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
	LOT LINE		MINOR ARTERIAL STREET-120' R.O.W. 45' FL-CL 1/2 STREET-SHEET 2
	EASEMENT		UTILITY EASEMENT (20' WIDTH)
	LINE OF SIGHT		UTILITY EASEMENT (30' WIDTH)
	CENTER LINE OF ROAD		DRAINAGE EASEMENT (25' WIDTH)
	FLOWLINE		DRAINAGE EASEMENT (30' WIDTH)
	CROSS PAN		DRAINAGE AND UTILITY EASEMENT (AS DIMENSIONED)
	BLOCK NUMBER		BLANKET UTILITY EASEMENT (AS DIMENSIONED)
	EXISTING FENCE		0'-4' SINGLE RETAINING WALL
	EXISTING CABLE TV		CONNECT TO EXISTING WATER LINE OFFSITE
	EXISTING ELECTRIC		CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
	EXISTING GAS		FUTURE WATER LINE STUB W/2" B.O.
	EXISTING TELEPHONE		CONNECT TO EXISTING / FUTURE SEWER MAIN
	EXIST. STREET LIGHT		SIGHT TRIANGLE EASEMENT
	PROP. STREET LIGHT		TYPICAL CUL-DE-SAC SEE SHEET 3
	EXISTING SANITARY SEWER W/ MANHOLE		TYPICAL KNUCKLE SEE SHEET 3
	PROPOSED SANITARY SEWER W/ MANHOLE		FLOOD PLAIN REVISIONS REQUIRED PER FUTURE CLOMR
	EXISTING WATER LINE W/ FIRE HYDRANT		PROP MAIL KIOSK
	PROPOSED WATER LINE W/ FIRE HYDRANT		SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666
	EXISTING GATE VALVE		CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
	PROPOSED GATE VALVE		KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
	PROPOSED BLOW OFF		HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
	EXISTING STORM SEWER		LANDSCAPE EASEMENT (SEE SHEET 2, NOTE 3-0)
	PROPOSED STORM SEWER		PEDESTRIAN ACCESS ESMT. (WIDTH VARIES)
	WATER ZONE BOUNDARY		
	EXISTING INLET		
	PROPOSED INLETS		
	PROPOSED HEADWALL		
	EXISTING RIPRAP		
	PROPOSED FLARED END SECTION W/ RIP RAP		
	PROP MAIL KIOSK		
	SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666		
	CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.		
	KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.		
	HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.		

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UNPLATTED TOWN CENTER PD



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MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
SITE PLAN AND GRADING PLAN
SHEET 8 OF 38

SEE SHEET 9

SEE SHEET 11

THE MEADOWS FILING 18

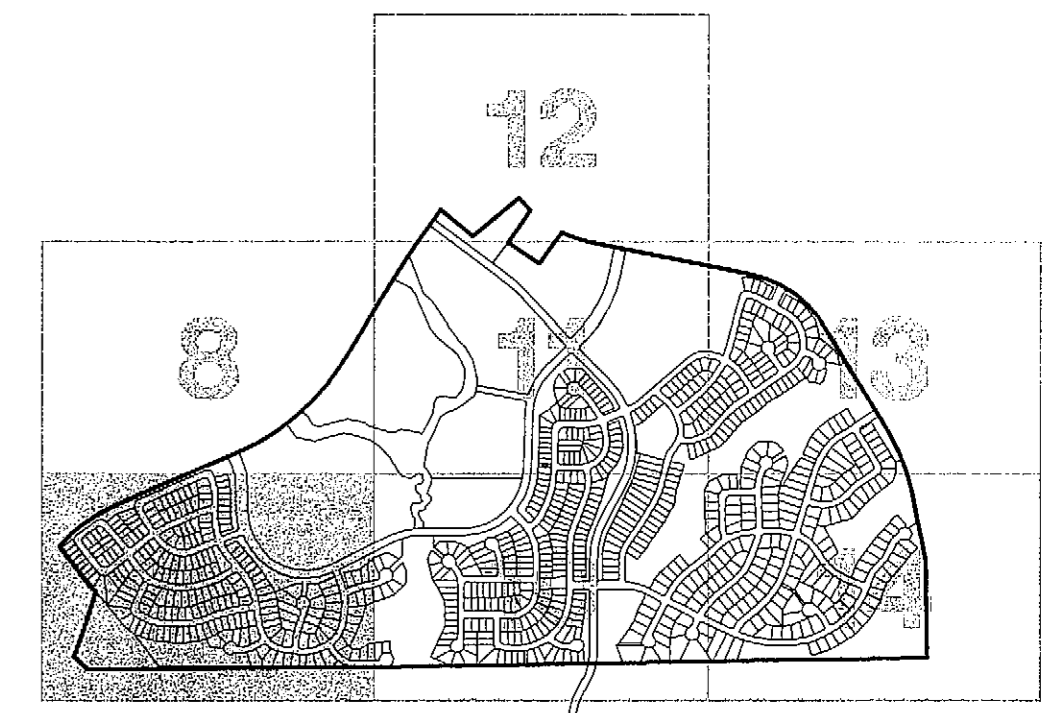
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 9 OF 38

CURVE TABLE		
CURVE	RADIUS	LENGTH
C1	250.00'	26.03'
C2	550.00'	12.93'
C3	325.00'	10.81'
C4	350.00'	5.33'
C5	200.00'	8.86'
C6	400.00'	19.52'
C7	250.00'	7.57'
C8	200.00'	27.75'
C9	500.00'	19.78'

KEYMAP



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- BOUNDARY LINE
- 100-YR FEMA FLD.P.
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD
- FLOWLINE
- CROSS PAN
- BLOCK NUMBER
- EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING TELEPHONE
- EXIST. STREET LIGHT
- PROP. STREET LIGHT
- EXISTING SANITARY SEWER W/ MANHOLE
- PROPOSED SANITARY SEWER W/ MANHOLE
- EXISTING WATER LINE W/ FIRE HYDRANT
- PROPOSED WATER LINE W/ FIRE HYDRANT
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- PROPOSED SLOFF
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER ZONE BOUNDARY
- EXISTING INLET
- PROPOSED INLETS
- PROPOSED HEADWALL
- EXISTING RIPRAP
- PROPOSED FLARED END SECTION W/ RIP RAP
- PROP MAIL KIOSK
- SET SURVEY MONUMENT #5 REBAR W/CAP
- LS 17665
- CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- LOCAL TYPE I-50' R.O.W. 32' E-E PER - SHEET 2
- MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
- ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
- COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
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- UTILITY EASEMENT (20' WIDTH)
- UTILITY EASEMENT (30' WIDTH)
- DRAINAGE EASEMENT (25' WIDTH)
- DRAINAGE EASEMENT (30' WIDTH)
- DRAINAGE AND UTILITY EASEMENT (AS DIMENSIONED)
- BLANKET UTILITY EASEMENT (AS DIMENSIONED)
- 0'-4' SINGLE RETAINING WALL
- CONNECT TO EXISTING WATER LINE OFFSITE
- CONNECT TO EXISTING WATER LINE W/ WET PAND VALVE
- FUTURE WATER LINE STUB W/2'B.O.
- CONNECT TO EXISTING / FUTURE SEWER MAIN
- SIGHT TRIANGLE EASEMENT
- TYPICAL CUL-DE-SAC SEE SHEET 3
- TYPICAL KNUCKLE SEE SHEET 3
- FLOOD PLAIN REVISIONS REQUIRED PER FUTURE CLOMR
- 5' DETACHED CONCRETE WALK
- 8' CONCRETE WALK/REGIONAL TRAIL
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- IRRIGATION TAP W/ BACK FLOW PREVENTION
- LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)
- PEDESTRIAN ACCESS ESM.T. (WIDTH VARIES)

100 50 0 100 200

SCALE: 1" = 100'

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MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
SITE PLAN AND GRADING PLAN
SHEET 9 OF 38

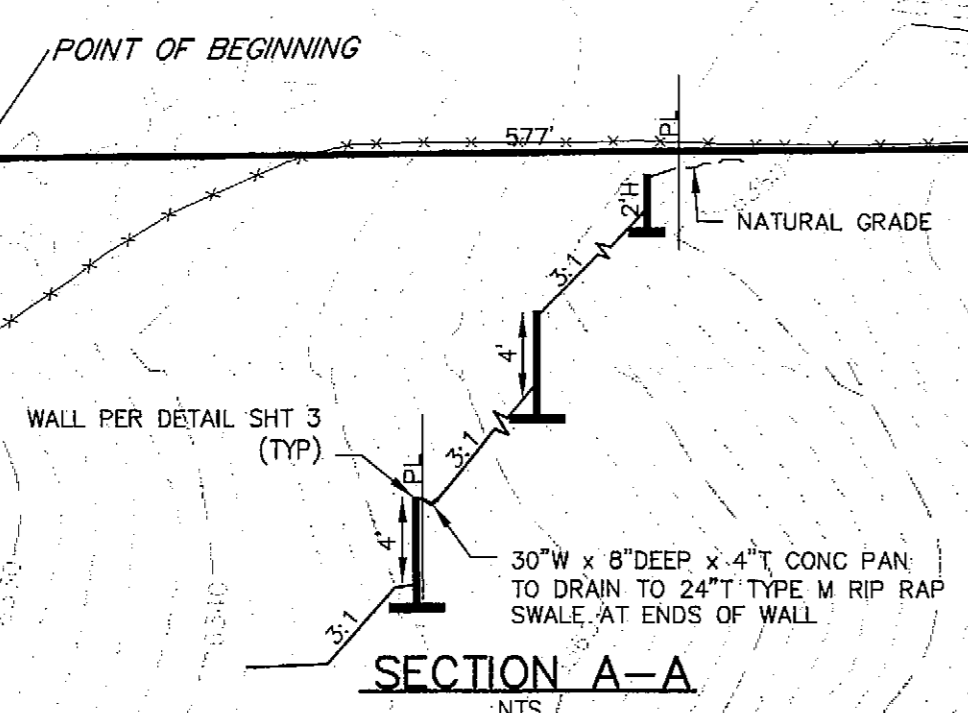
SEE SHEET 8

UNPLATTED
TOWN CENTER PD

LOT 1 BLK. 1
MEADOWS FILING 11
PARCEL 14
REC. 00037900

UNPLATTED
RED HAWK PD
U.S. HOME CORPORATION

T.O.C.R.
RED HAWK GOLF COURSE



SEE SHEET 10

THE MEADOWS FILING 18

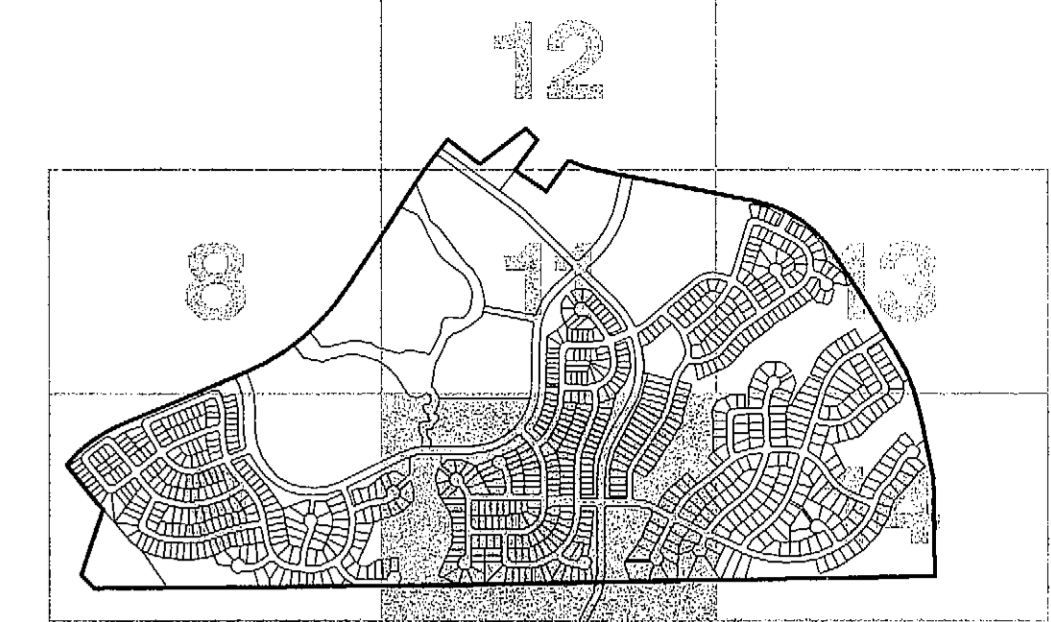
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 10 OF 38

CURVE TABLE		
CURVE	RADIUS	LENGTH
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C2	350.00'	12.93'
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KEYMAP



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- EXISTING CONTOURS
- PROPOSED CONTOURS
- BOUNDARY LINE
- 100-YR FEMA FLOP.
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD
- FLOWLINE
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- BLOCK NUMBER
- EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- EXISTING GAS
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- PROPOSED INLETS
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- PROPOSED FLARED END SECTION W/ RIP RAP
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- EXISTING FIRE HYDRANT
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- LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)
- PEDESTRIAN ACCESS ESMT. (WIDTH VARIES)
- LOCAL TYPE I-50' R.O.W. 32' E-E PER SHEET 2
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- FLOOD PLAIN REVISIONS REQUIRED PER FUTURE CLOMR
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- 8' CONCRETE WALK/REGIONAL TRAIL
- EXISTING FIRE HYDRANT

100 50 0 100 200
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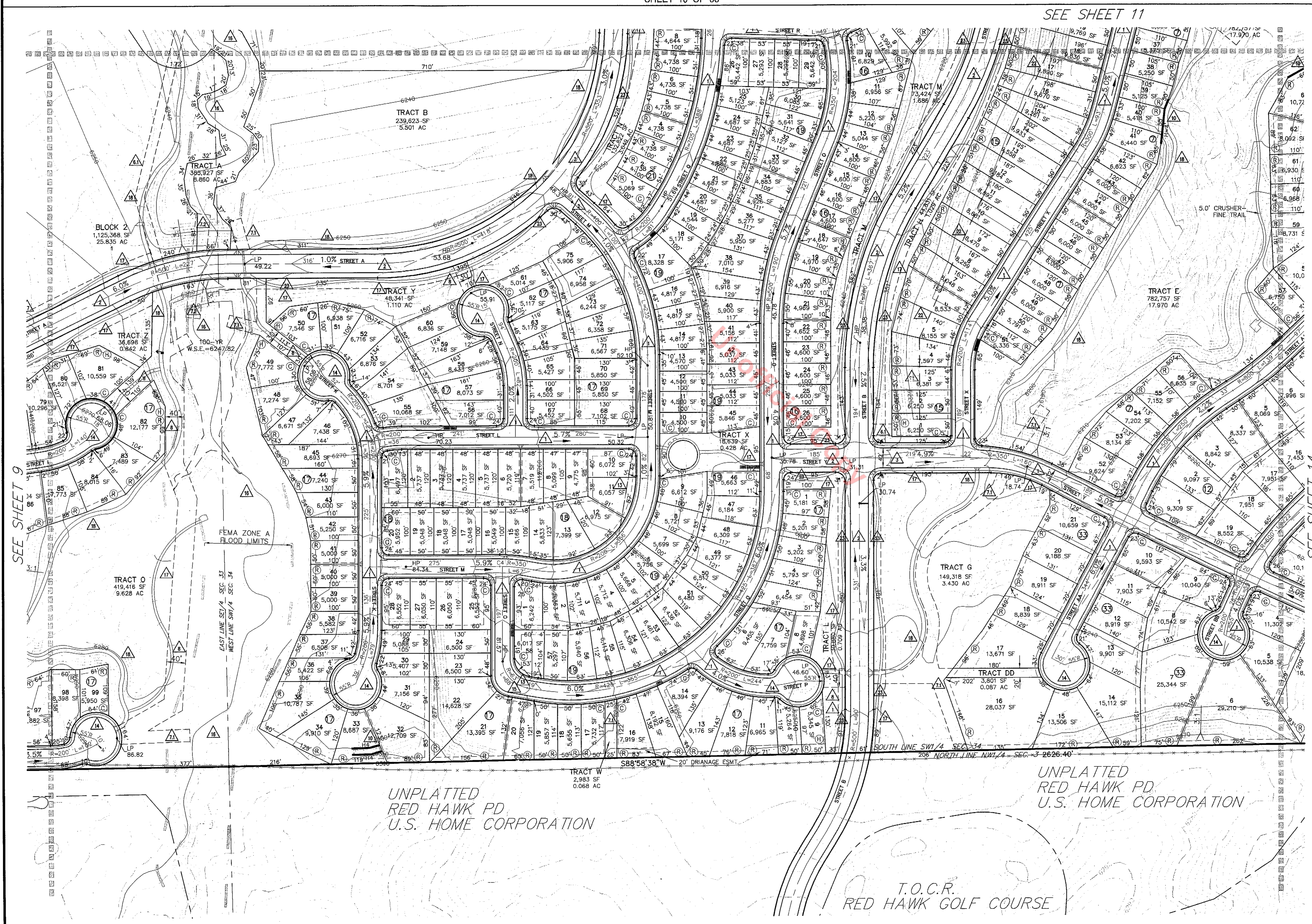
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CONTACT:
SCOTT PEASE

MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
SITE PLAN AND GRADING PLAN
SHEET 10 OF 38



UNPLATTED
RED HAWK PD
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THE MEADOWS FILING 18

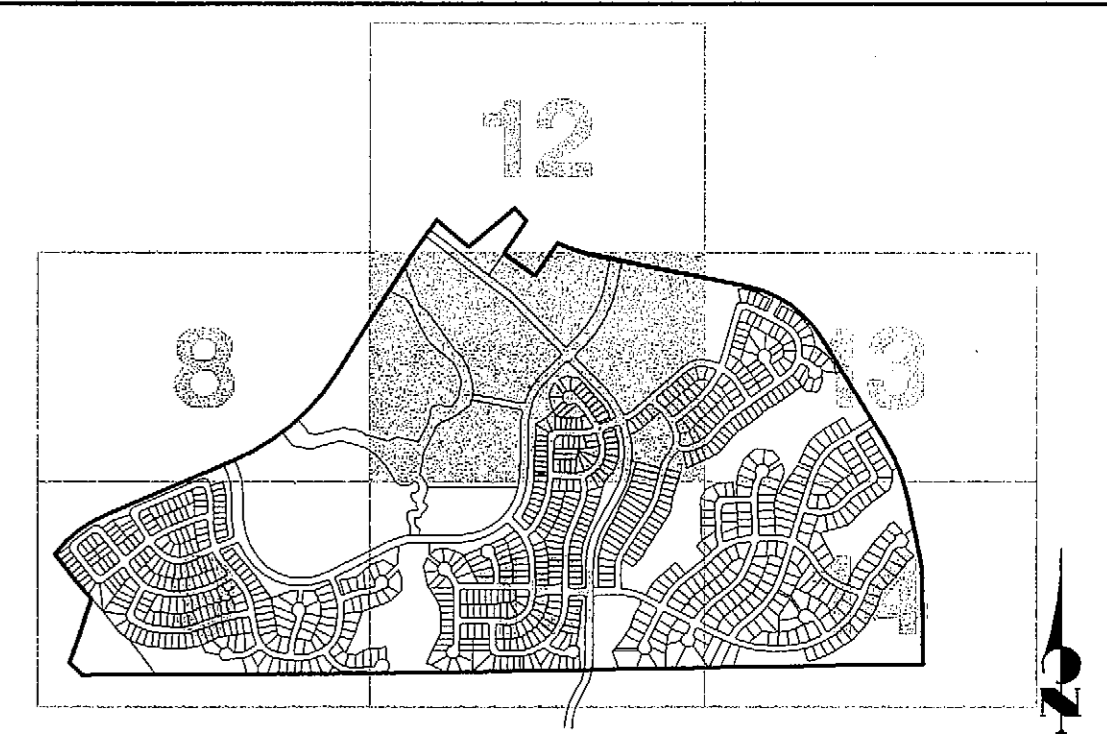
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 11 OF 38

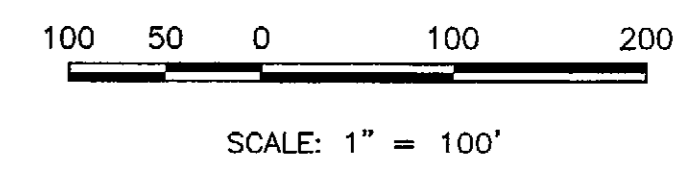
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KEYMAP



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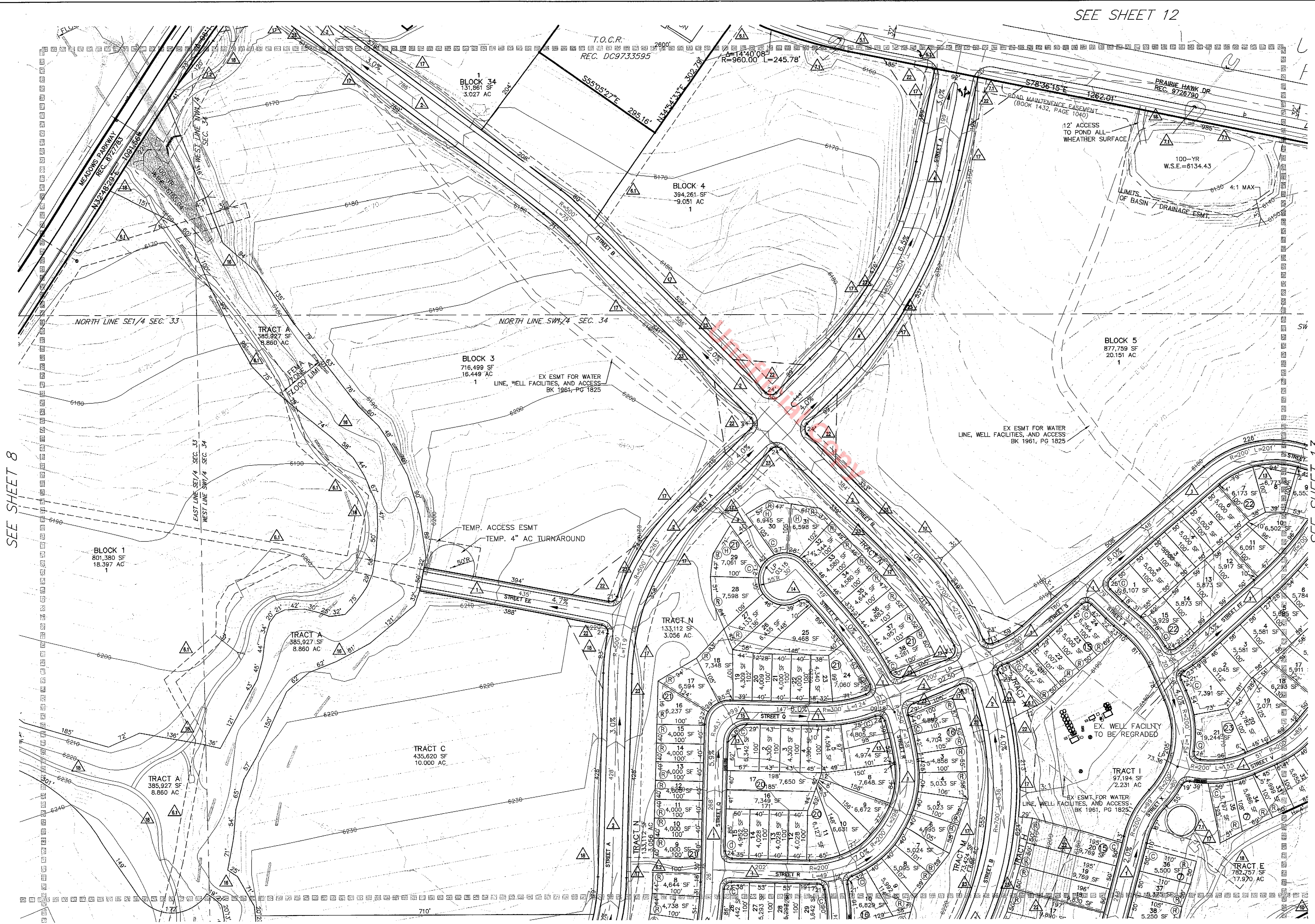
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MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
SITE PLAN AND GRADING PLAN
SHEET 11 OF 38



SEE SHEET 10

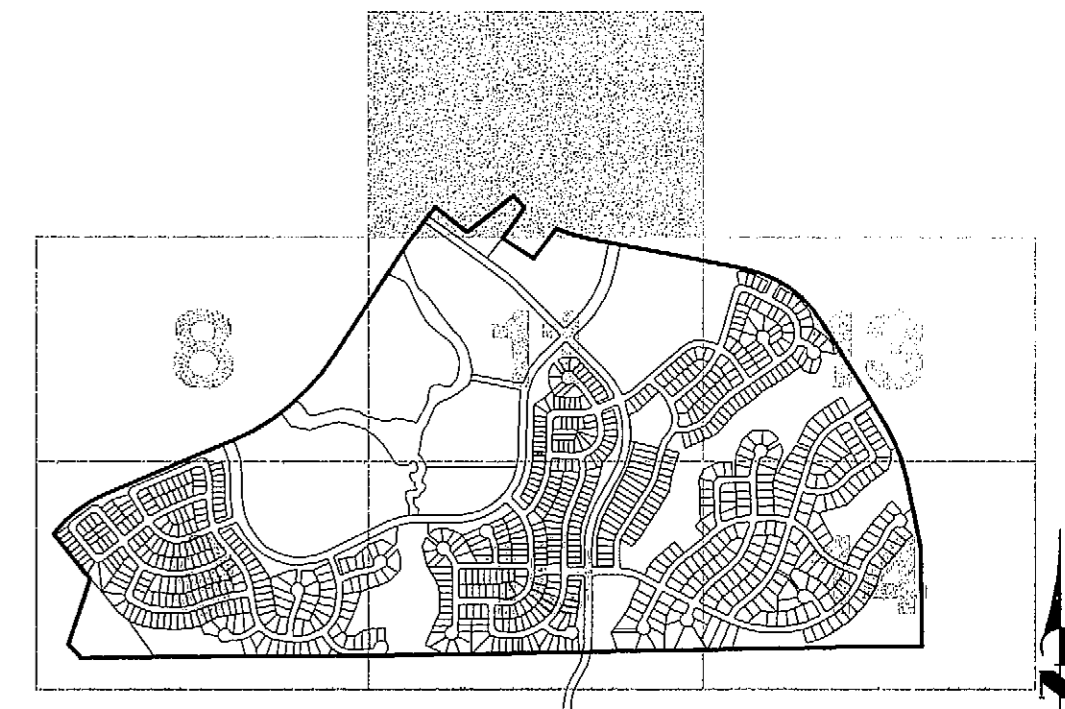
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

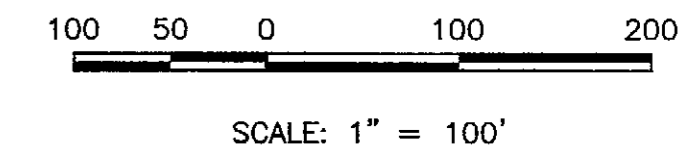
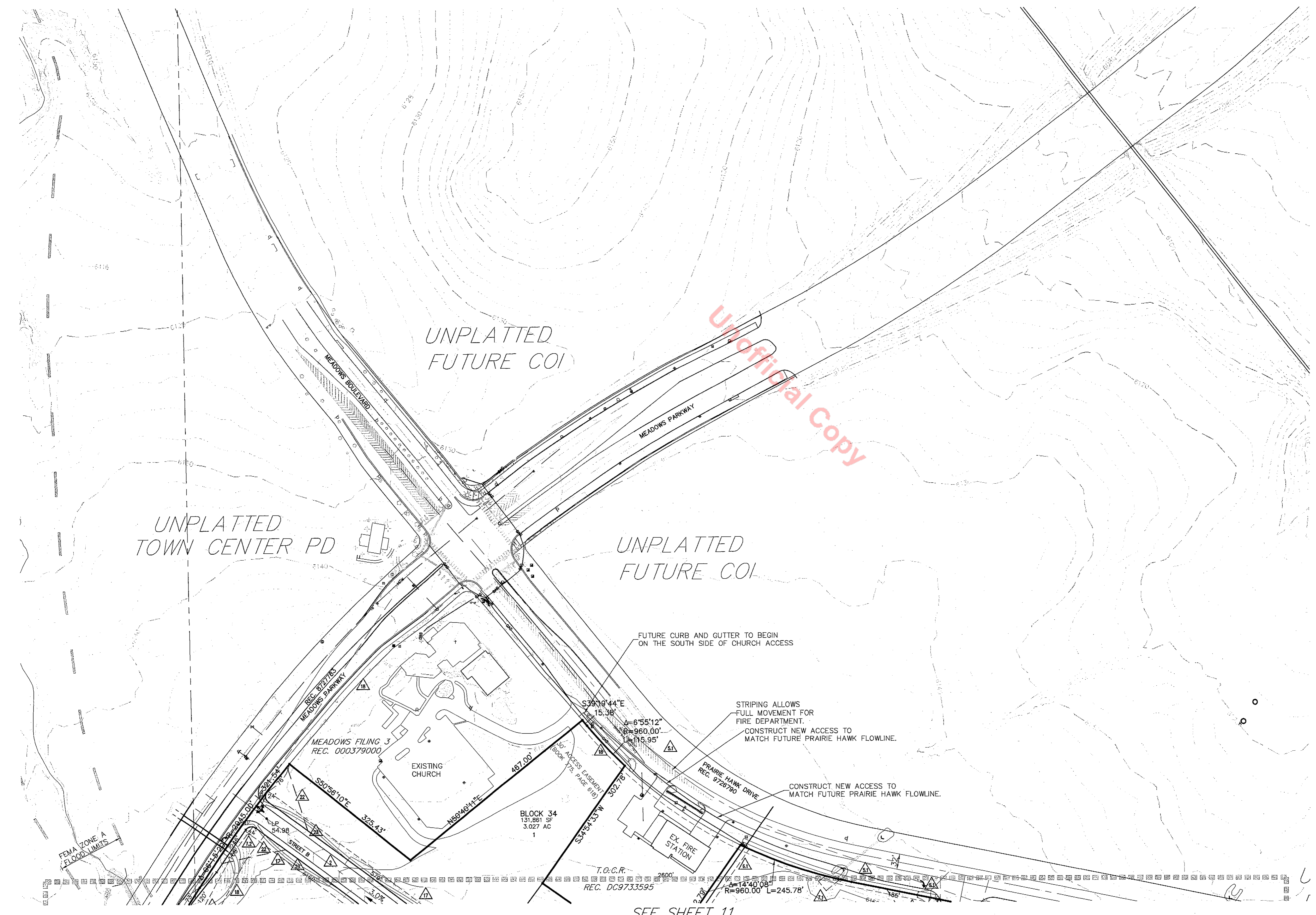
SHEET 12 OF 38

KEYMAP



LEGEND

---	EXISTING CONTOURS	△	LOCAL TYPE 1-50' R.O.W. 32' E-E PER SHEET 2
---	PROPOSED CONTOURS	△	MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
---	BOUNDARY LINE	△	ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
---	100-YR FEMA FLDP. RIGHT OF WAY LINE LOT LINE	△	COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
---	EASEMENT	△	ARTERIAL ENTRY STREET-66' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
---	LINE OF SIGHT	△	MINOR ARTERIAL STREET-120' R.O.W. 45' FL-CL 1/2 STREET-SHEET 2
---	CENTER LINE OF ROAD FLOWLINE	△	UTILITY EASEMENT (20' WIDTH)
---	CROSS PAN	△	UTILITY EASEMENT (30' WIDTH)
---	BLOCK NUMBER	△	DRAINAGE EASEMENT (25' WIDTH)
---	EXISTING FENCE	△	DRAINAGE EASEMENT (30' WIDTH)
---	EXISTING CABLE TV	△	DRAINAGE AND UTILITY EASEMENT (AS DIMENSIONED)
---	EXISTING ELECTRIC	△	BLANKET UTILITY EASEMENT (AS DIMENSIONED)
---	GAS	△	0'-4' SINGLE RETAINING WALL
---	EXISTING TELEPHONE	△	CONNECT TO EXISTING WATER LINE OFFSITE
---	EXIST. STREET LIGHT	△	CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
---	PROP. STREET LIGHT	△	FUTURE WATER LINE STUB W/2"B.O.
---	EXISTING SANITARY SEWER W/ MANHOLE	△	CONNECT TO EXISTING / FUTURE SEWER MAIN
---	PROPOSED SANITARY SEWER W/ MANHOLE	△	SIGHT TRIANGLE EASEMENT
---	EXISTING WATER LINE W/ FIRE HYDRANT	△	TYPICAL CUL-DE-SAC SEE SHEET 3
---	PROPOSED WATER LINE W/ FIRE HYDRANT	△	TYPICAL KNUCKLE SEE SHEET 3
---	EXISTING GATE VALVE	△	FLOOD PLAIN REVISIONS REQUIRED PER FUTURE CLOMR
---	PROPOSED GATE VALVE	△	5' DETACHED CONCRETE WALK
---	PROPOSED BLOW OFF	△	8' CONCRETE WALK/REGIONAL TRAIL
---	EXISTING STORM SEWER	△	CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
---	PROPOSED STORM SEWER	△	KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
---	WATER ZONE BOUNDARY	△	HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
---	EXISTING INLET	△	DEVELOPMENT STANDARDS NOTE: 3.
---	PROPOSED INLETS	△	
---	PROPOSED HEADWALL	△	
---	EXISTING RIPRAP	△	
---	PROPOSED FLARED END SECTION W/ RIP RAP	△	
---	PROP MAIL KIOSK	△	
---	SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666	△	
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 PRELIMINARY PLAT AND FINAL PD SITE PLAN
 SITE PLAN AND GRADING PLAN
 SHEET 12 OF 38**

SEE SHEET 11

THE MEADOWS FILING 18

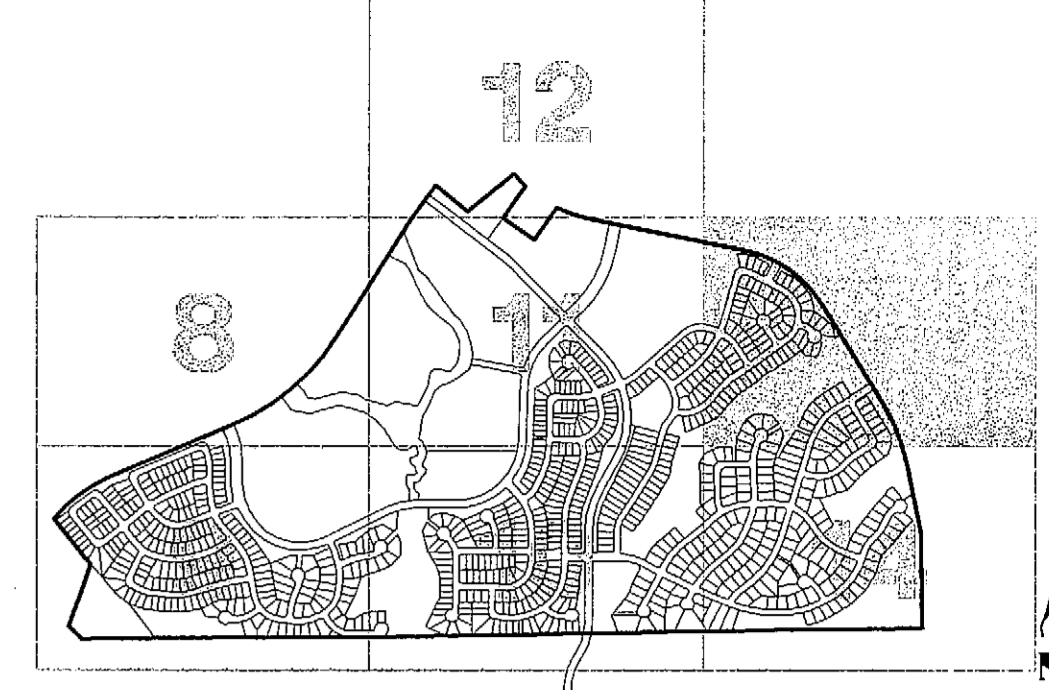
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 13 OF 38

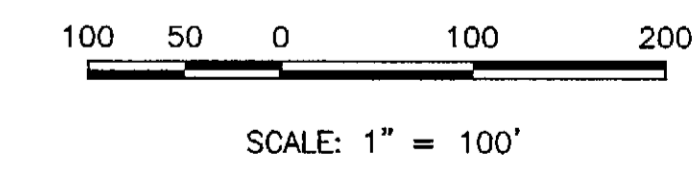
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- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD
- FLOWLINE
- CROSS PAN
- BLOCK NUMBER
- EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING TELEPHONE
- EXIST. STREET LIGHT
- EXISTING SANITARY SEWER W/ MANHOLE
- PROPOSED SANITARY SEWER W/ MANHOLE
- EXISTING WATER LINE W/ FIRE HYDRANT
- PROPOSED WATER LINE W/ FIRE HYDRANT
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- PROPOSED BLOW OFF
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER ZONE BOUNDARY
- EXISTING INLET
- PROPOSED INLETS
- PROPOSED HEADWALL
- EXISTING RIPRAP
- PROPOSED FLARED END SECTION W/ RIP RAP
- PROP MAIL KIOSK
- SET SURVEY MONUMENT #5 REBAR W/CAP LS 17656
- CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- LOCAL TYPE I-50' R.O.W. 32' E-L PER SHEET 2
- MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
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- BLANKET UTILITY EASEMENT (AS DIMENSIONED)
- 0'-4' SINGLE RETAINING WALL
- CONNECT TO EXISTING WATER LINE OFFSITE
- CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
- FUTURE WATER LINE STUB W/2" B.O.
- CONNECT TO EXISTING / FUTURE SEWER MAIN
- SIGHT TRIANGLE EASEMENT
- TYPICAL CUL-DE-SAC SEE SHEET 3
- TYPICAL KNUCKLE SEE SHEET 3
- FLOOD PLAIN REVISIONS REQUIRED PER FUTURE CLOM
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- EXISTING FIRE HYDRANT
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- IRRIGATION TAP W/ BACK FLOW PREVENTION
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- PEDESTRIAN ACCESS ESMT. (WIDTH VARIES)



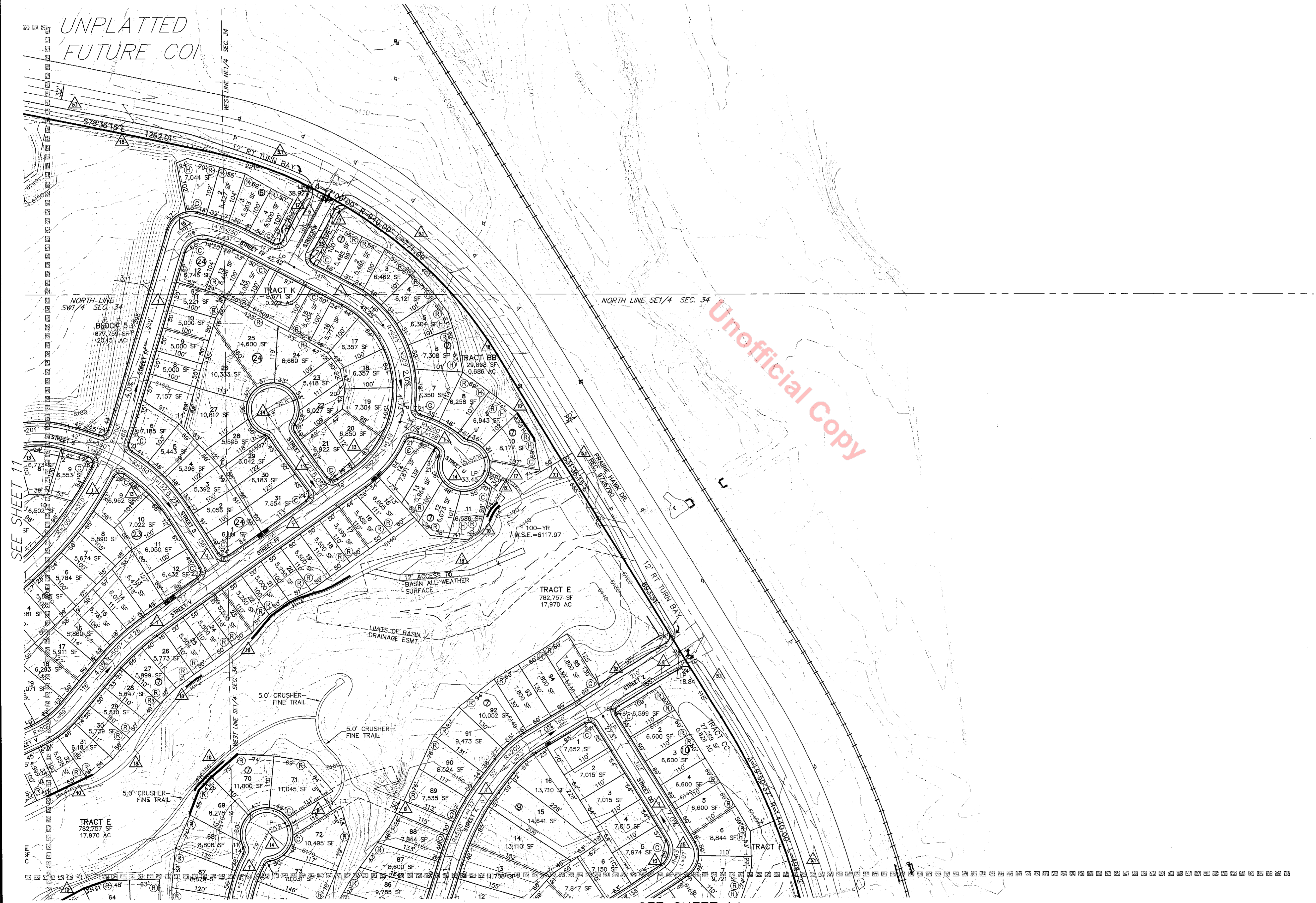
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MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
SITE PLAN AND GRADING PLAN
SHEET 13 OF 38



UNPLATTED
 FUTURE CO

SEE SHEET 11

SEE SHEET 14

THE MEADOWS FILING 18

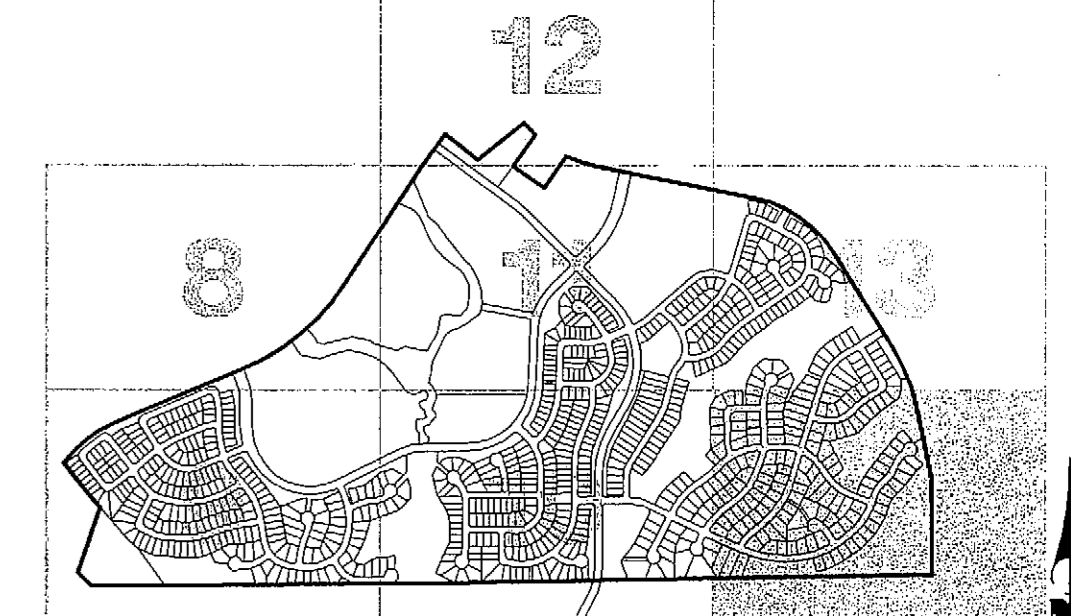
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 14 OF 38

CURVE	RADIUS	LENGTH
C1	250.00'	26.03'
C2	550.00'	12.93'
C3	325.00'	10.81'
C4	350.00'	5.33'
C5	200.00'	8.88'
C6	400.00'	19.52'
C7	250.00'	7.57'
C8	200.00'	27.75'
C9	500.00'	19.78'

KEYMAP



LEGEND

- EXISTING CONTOURS
- 6210 PROPOSED CONTOURS
- BOUNDARY LINE
- 100-YR FEMA FLOP.
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD
- FLOWLINE
- CROSS PAN
- BLOCK NUMBER
- EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING TELEPHONE
- EXIST. STREET LIGHT
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- PROPOSED STORM SEWER
- WATER ZONE BOUNDARY
- EXISTING INLET
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- PROPOSED HEADWALL
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100 50 0 100 200

SCALE: 1" = 100'

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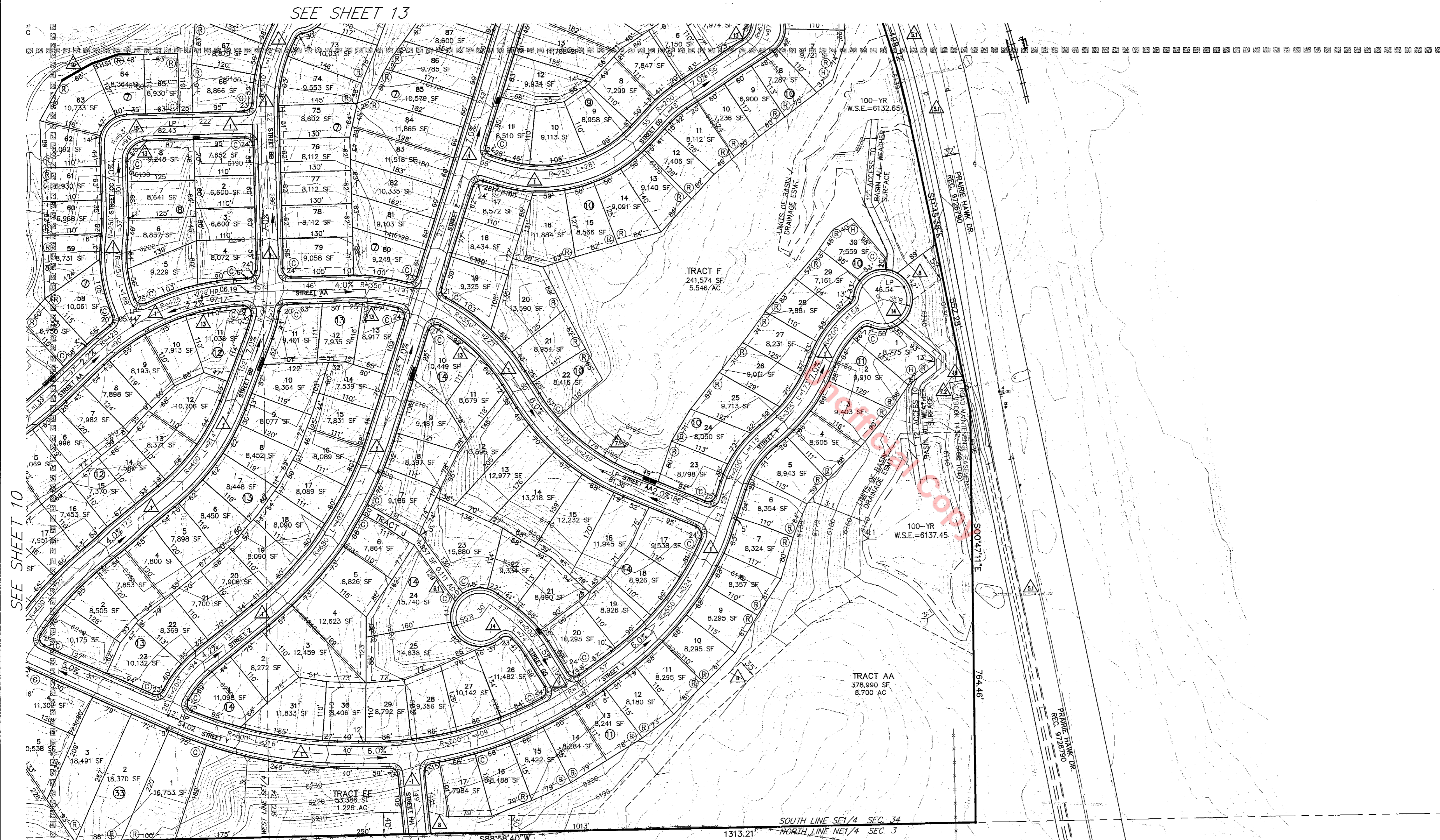
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**MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
SITE PLAN AND GRADING PLAN
SHEET 14 OF 38**



SEE SHEET 10

SEE SHEET 13

UNPLATTED
RED HAWK PD
U.S. HOME CORPORATION

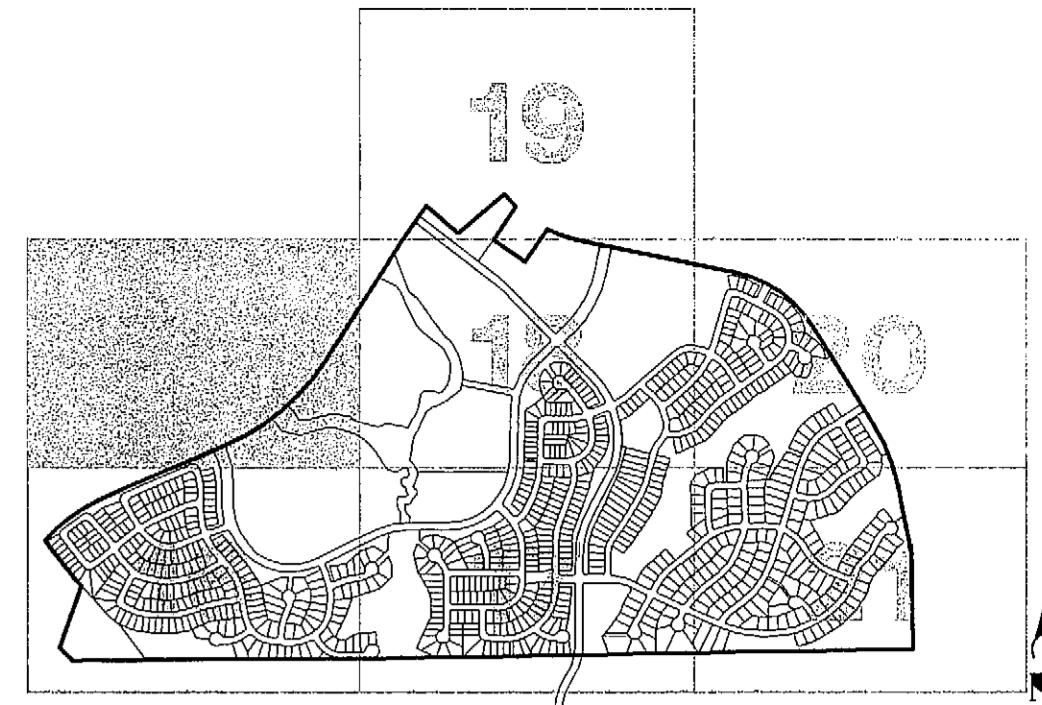
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 15 OF 38

KEYMAP



LEGEND

--- EXISTING CONTOURS	▲ LOCAL TYPE I-50' R.O.W. 32' E-E PER SHEET 2
--- PROPOSED CONTOURS	▲ MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET
--- BOUNDARY LINE	▲ ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
--- 100-YR FEMA FLDP. RIGHT OF WAY LINE	▲ COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
--- LOT LINE	▲ ARTERIAL ENTRY STREET-66' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
--- EASEMENT	▲ MINOR ARTERIAL STREET-120' R.O.W. 45' FL-CL 1/2 STREET-SHEET 2
--- LINE OF SIGHT	▲ UTILITY EASEMENT (20' WIDTH)
--- CENTER LINE OF ROAD FLOWLINE	▲ UTILITY EASEMENT (30' WIDTH)
--- CROSS PAN	▲ DRAINAGE EASEMENT (25' WIDTH)
--- BLOCK NUMBER	▲ DRAINAGE EASEMENT (30' WIDTH)
--- EXISTING FENCE	▲ DRAINAGE AND UTILITY EASEMENT (AS DIMENSIONED)
--- EXISTING CABLE TV	▲ BLANKET UTILITY EASEMENT (AS DIMENSIONED)
--- EXISTING ELECTRIC	▲ 0'-4' SINGLE RETAINING WALL
--- EXISTING GAS	▲ CONNECT TO EXISTING WATER LINE OFFSITE
--- EXISTING TELEPHONE	▲ CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
--- EXIST. STREET LIGHT	▲ FUTURE WATER LINE STUB W/2" B.O.
--- PROP. STREET LIGHT	▲ CONNECT TO EXISTING / FUTURE SEWER MAIN
--- EXISTING SANITARY SEWER W/ MANHOLE	▲ SIGHT TRIANGLE EASEMENT
--- PROPOSED SANITARY SEWER W/ MANHOLE	▲ TYPICAL CUL-DE-SAC SEE SHEET 3
--- EXISTING WATER LINE W/ FIRE HYDRANT	▲ TYPICAL KNUCKLE SEE SHEET 3
--- PROPOSED WATER LINE W/ FIRE HYDRANT	▲ FLOOD PLAIN REVISIONS REQUIRED PER FUTURE CLOMR
--- EXISTING GATE VALVE	▲ 5' DETACHED CONCRETE WALK
--- PROPOSED GATE VALVE	▲ 8' CONCRETE WALK/REGIONAL TRAIL
--- PROPOSED BLOW OFF	▲ EXISTING FIRE HYDRANT
--- EXISTING STORM SEWER	▲ PROPOSED FIRE HYDRANT
--- PROPOSED STORM SEWER	▲ IRRIGATION TAP W/ BACK FLOW PREVENTION
--- WATER ZONE BOUNDARY	▲ LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)
--- EXISTING INLET	▲ PEDESTRIAN ACCESS ESMT. (WIDTH VARIES)
--- PROPOSED INLETS	
--- PROPOSED HEADWALL	
--- EXISTING RIPRAP	
--- PROPOSED FLARED END SECTION W/ RIP RAP	
--- PROP MAIL KIOSK	
--- SET SURVEY MONUMENT #3 REBAR W/CAP LS 17655	
--- CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	
--- KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	
--- HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	

NOTE: ALL WATER AND SANITARY MAINS SHALL BE 8" PVC UNLESS OTHERWISE NOTED.

SCALE: 1" = 100'

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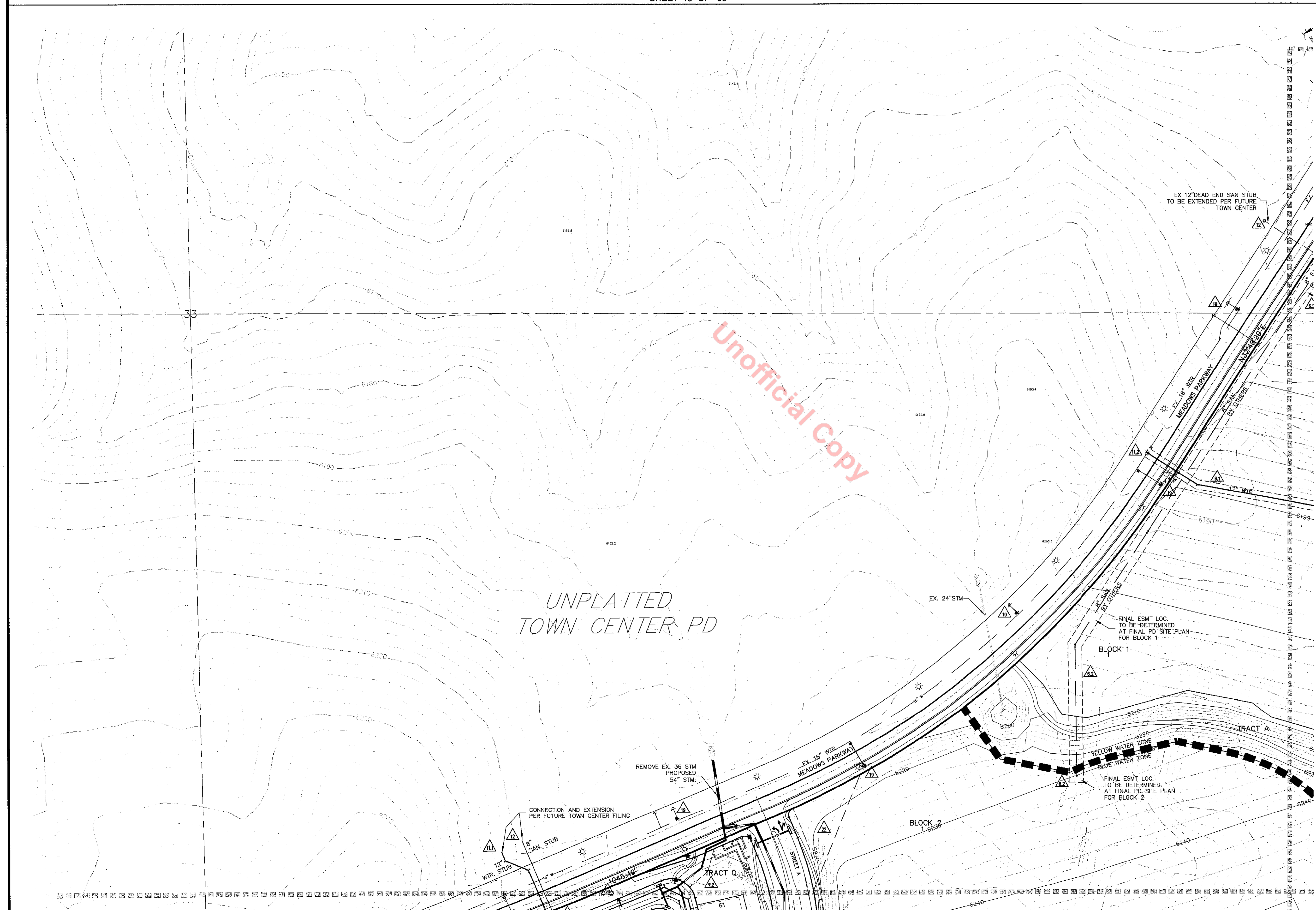
MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
UTILITY PLAN AND PHASING PLAN
SHEET 15 OF 38

Unofficial Copy

UNPLATTED
 TOWN CENTER PD

SEE SHEET 16

SEE SHEET 18



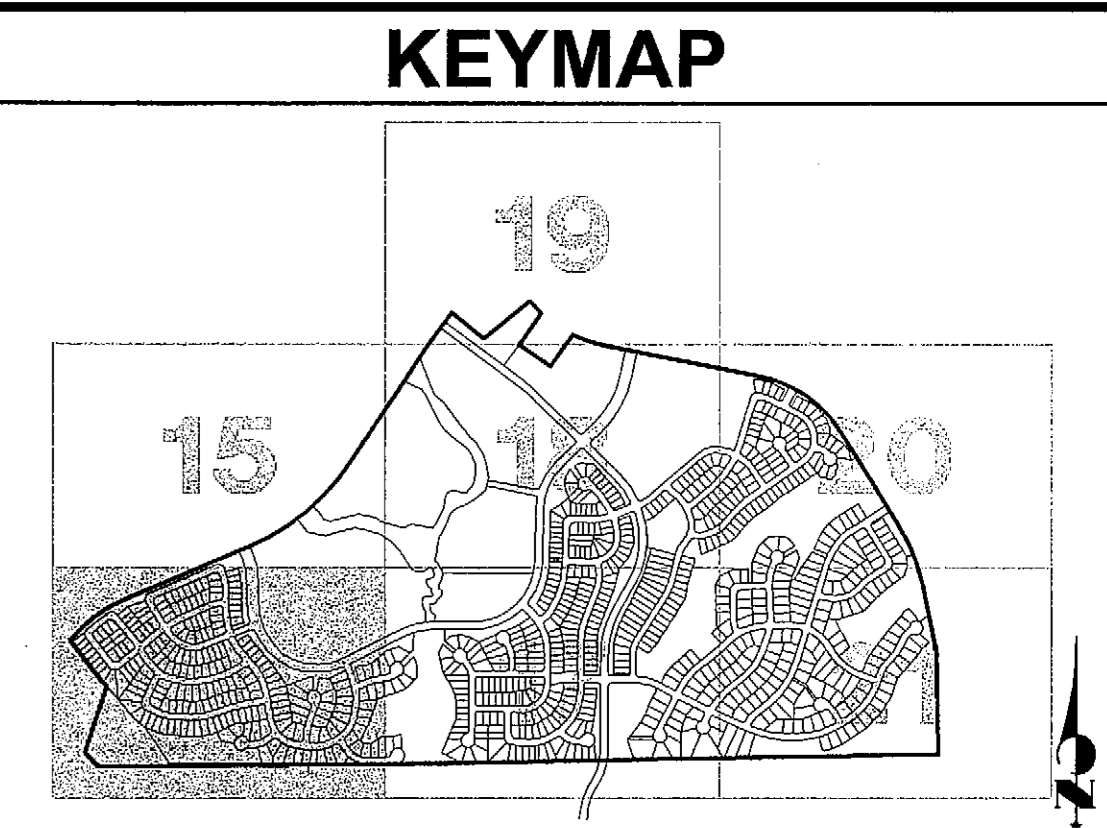
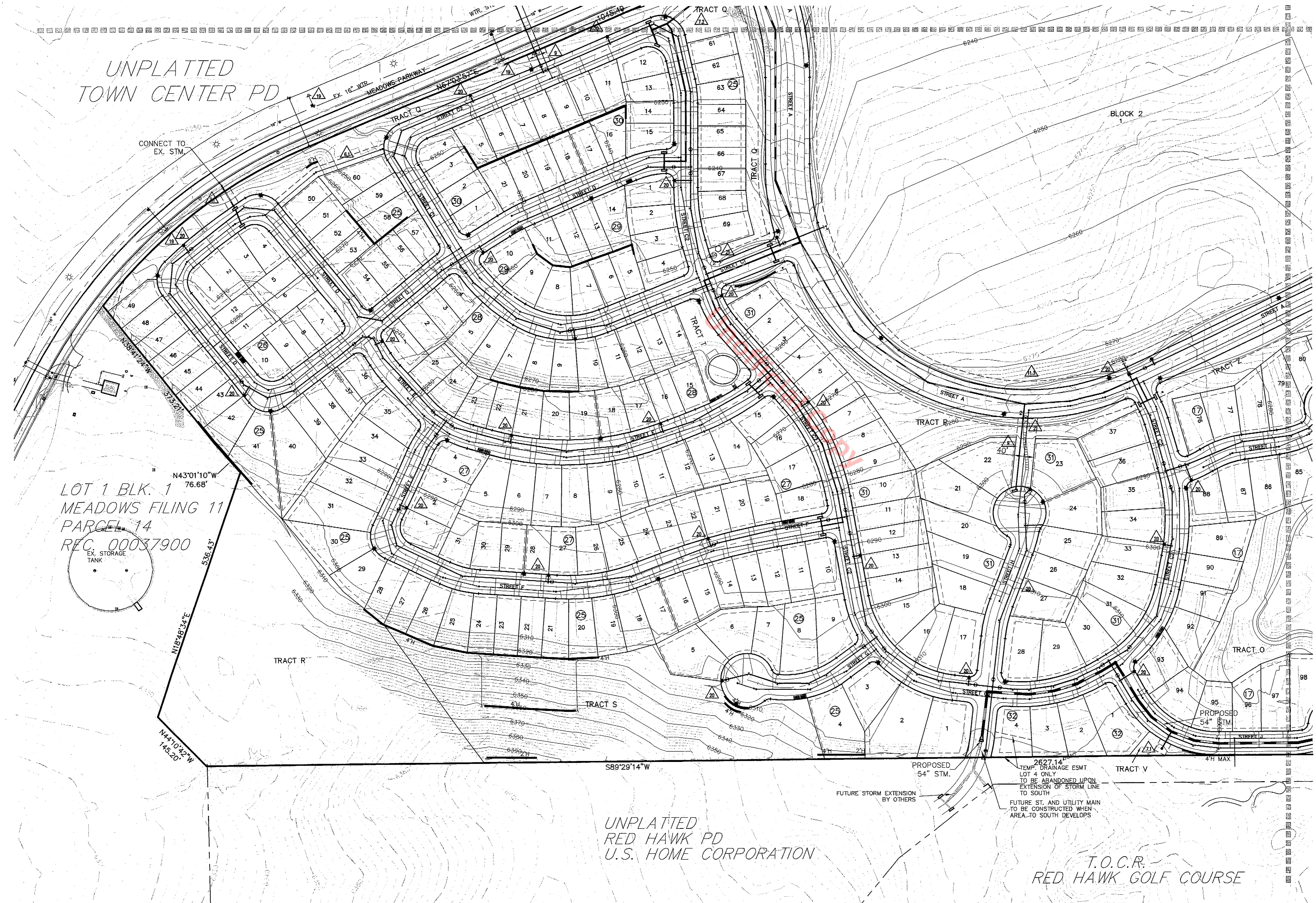
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

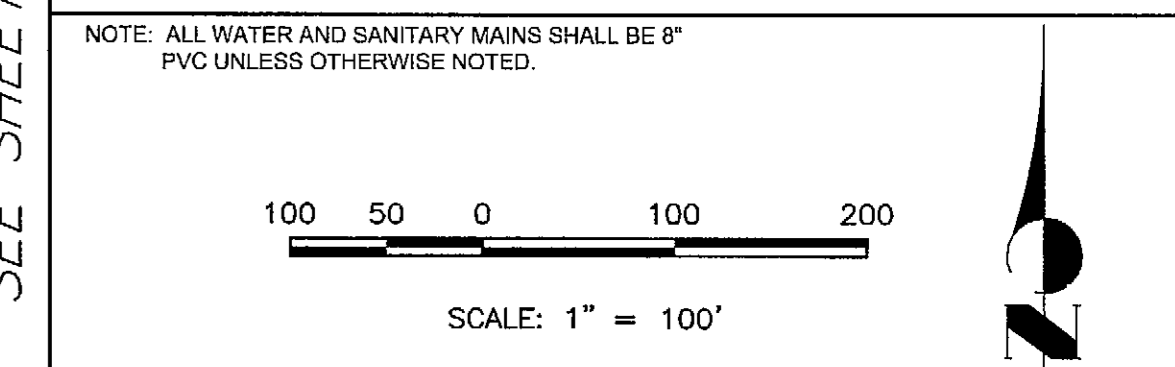
SHEET 16 OF 38

SEE SHEET 15



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- 100-YR FEMA FDP.
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD
- FLOWLINE
- CROSS PAN
- ⑤ BLOCK NUMBER
- X-X-X EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING TELEPHONE
- EXIST. STREET LIGHT
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- EXISTING INLET
- PROPOSED INLETS
- PROPOSED HEADWALL
- EXISTING RIPRAP
- PROPOSED FLARED END SECTION W/ RIP RAP
- PROP MAIL KIOSK
- SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666
- CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
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PRELIMINARY PLAT AND FINAL PD SITE PLAN
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SHEET 16 OF 38

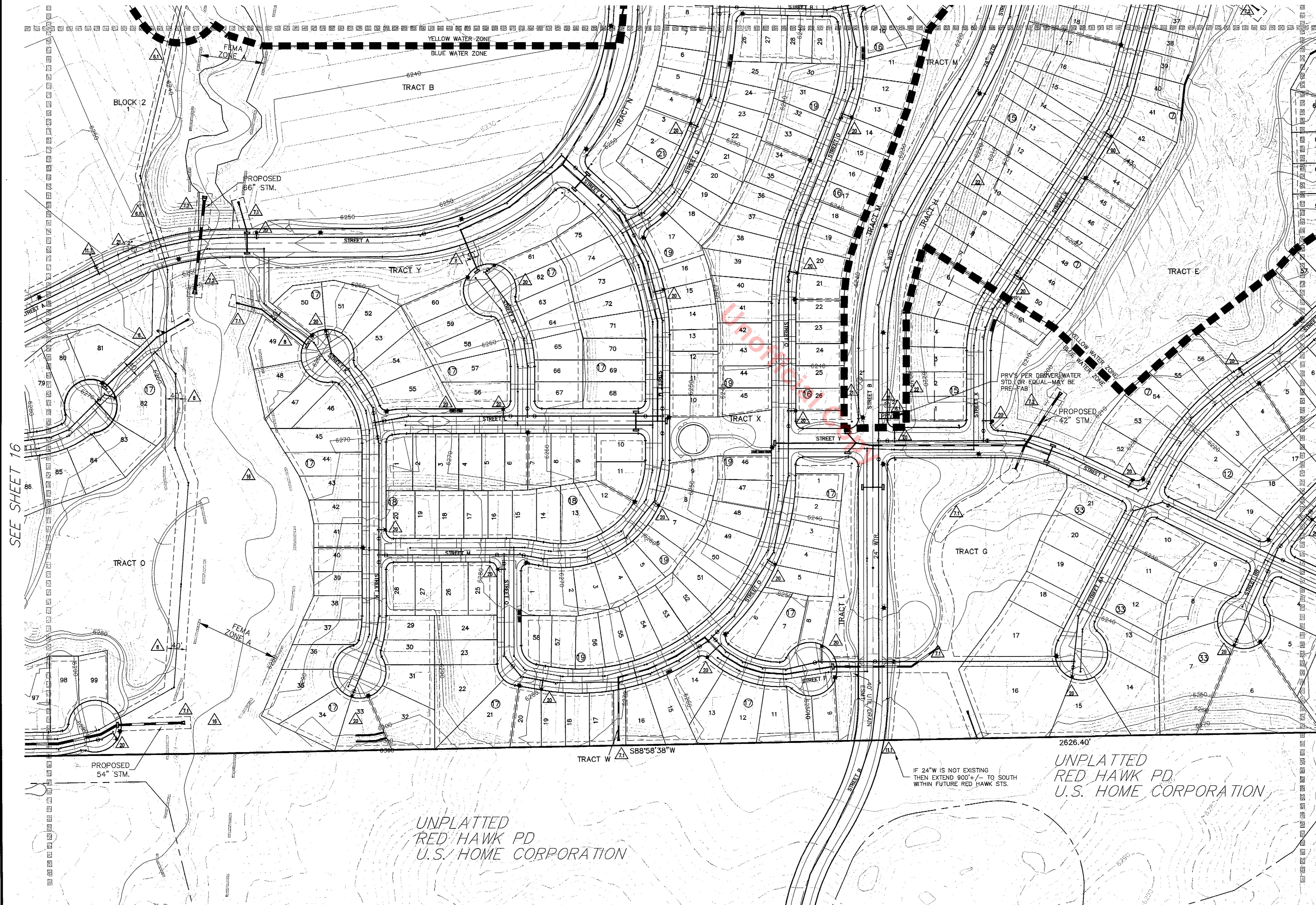
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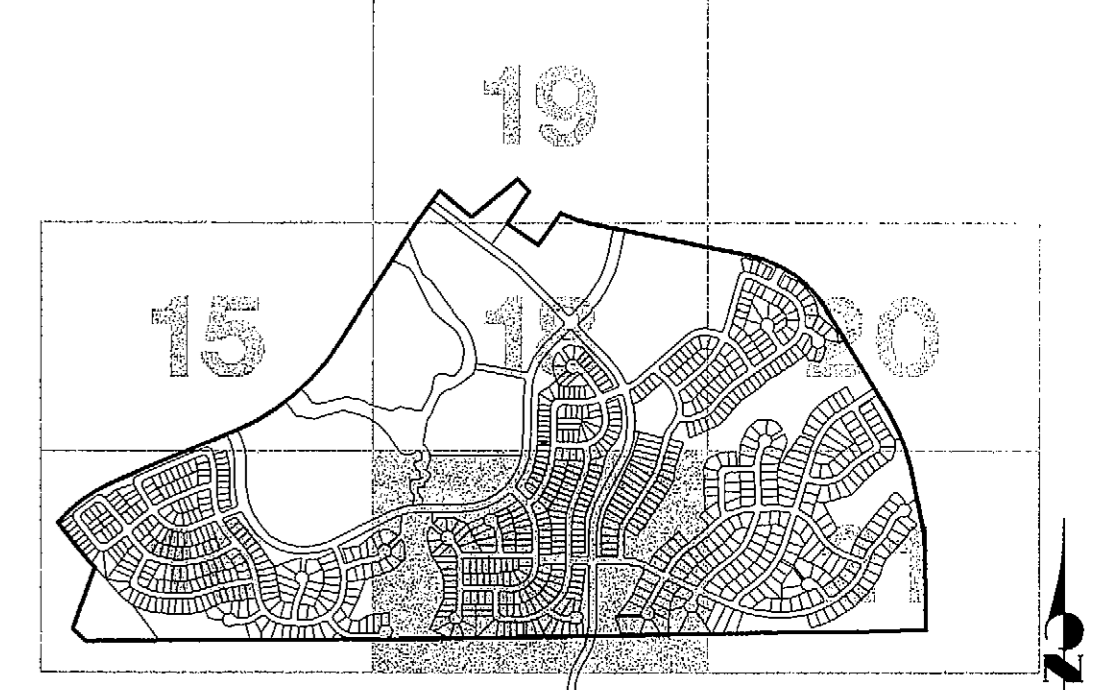
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SHEET 17 OF 38

SEE SHEET 18

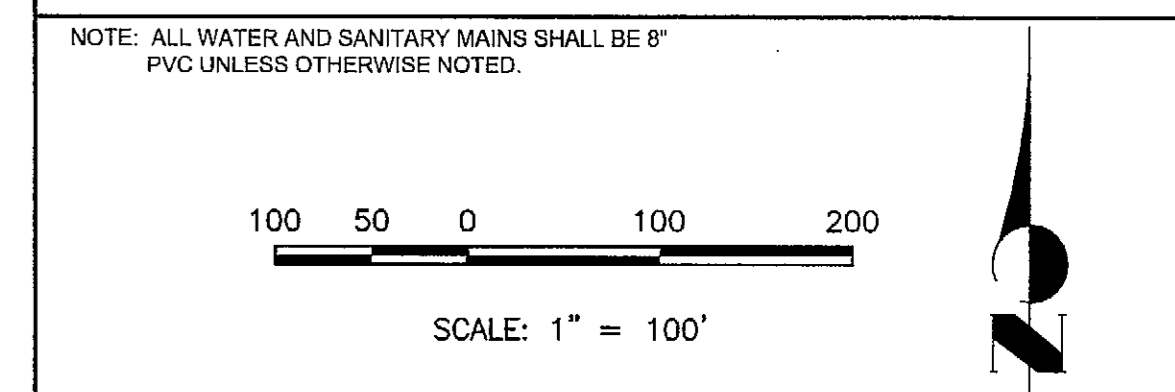


KEYMAP



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- BOUNDARY LINE
- 100-YR FEMA FLOP.
- RIGHT OF WAY LINE
- LOT LINE
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- 8' CONCRETE WALK/REGIONAL TRAIL
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- IRRIGATION TAP W/ BACK FLOW PREVENTION
- LANDSCAPE EASEMENT (SEE SHIT 2, NOTE 3-J)
- PEDESTRIAN ACCESS ESMT. (WIDTH VARIES)



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 SCOTT FEASE

MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
UTILITY PLAN AND PHASING PLAN
SHEET 17 OF 38

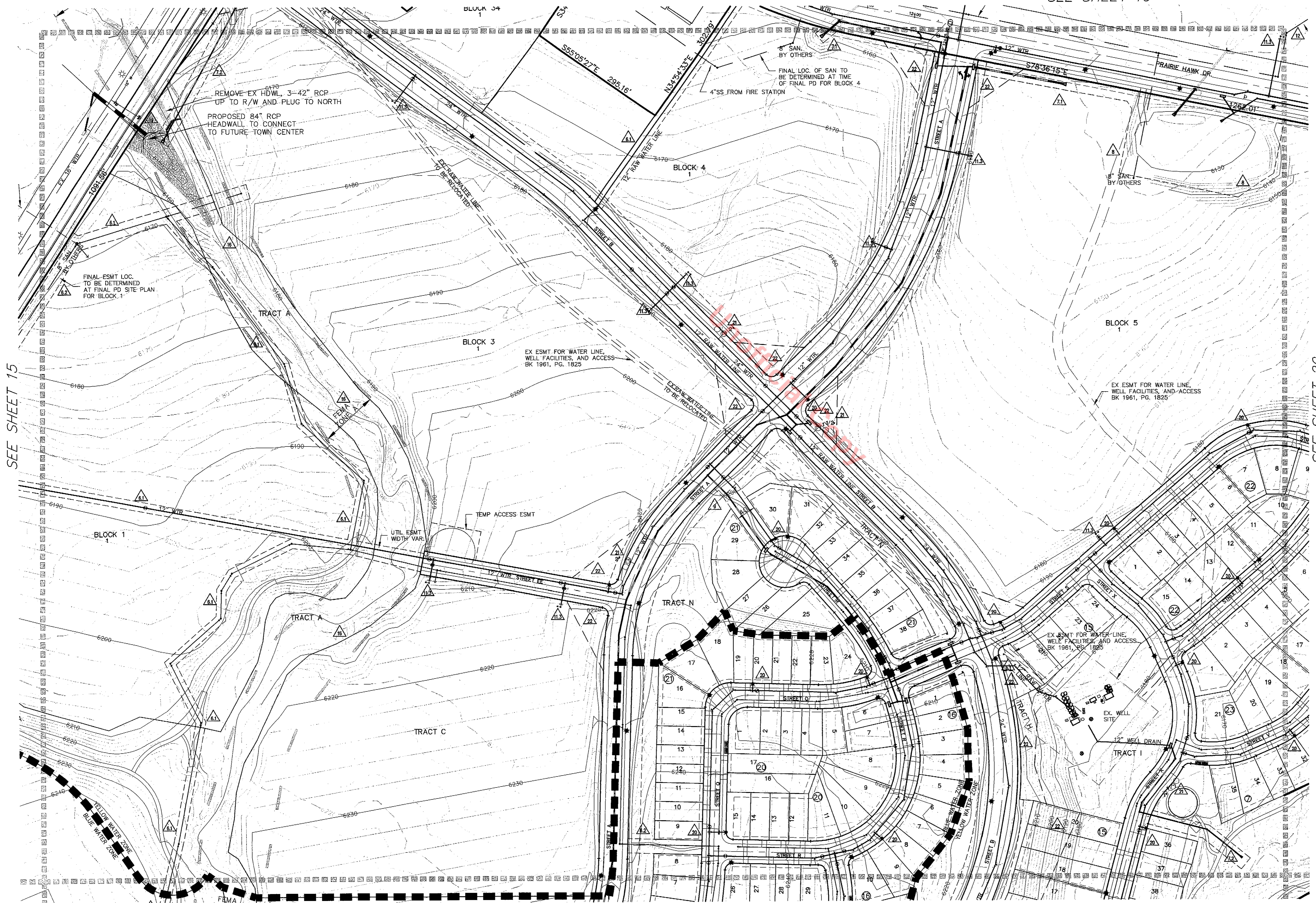
THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW $\frac{1}{4}$ OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE $\frac{1}{4}$, NE $\frac{1}{4}$, AND NW $\frac{1}{4}$ OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE $\frac{1}{4}$, SE $\frac{1}{4}$ AND SW $\frac{1}{4}$ OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 87 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

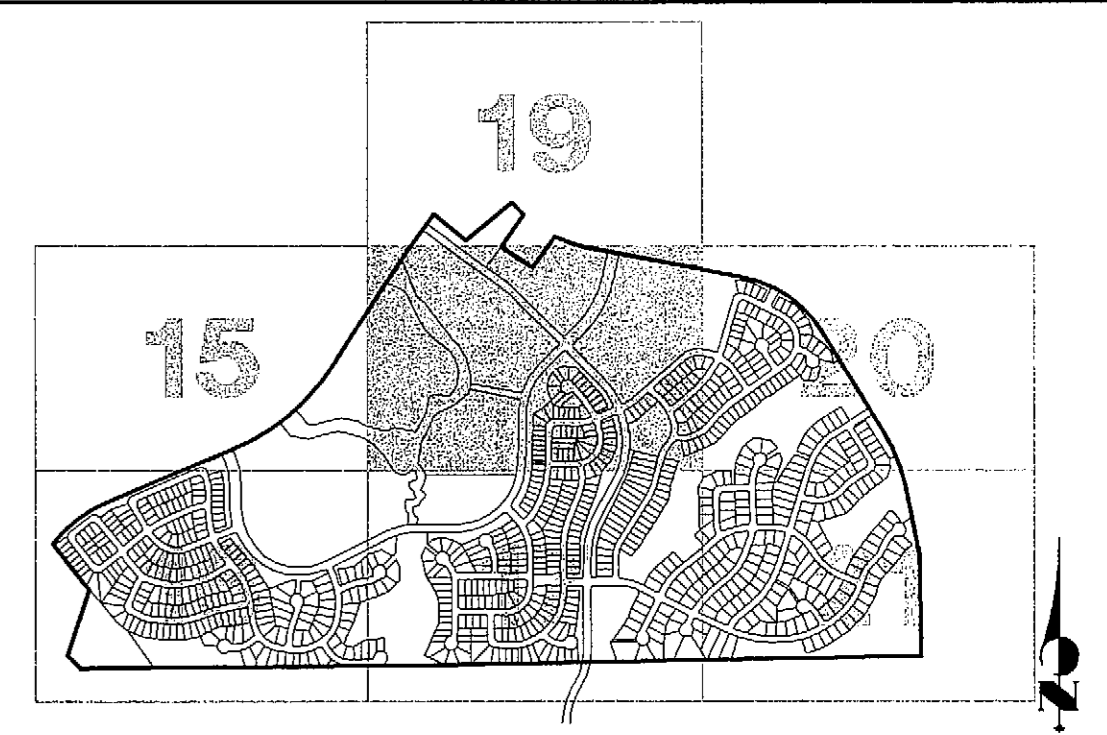
PRELIMINARY TOWN PLAT AND FINAL PD SITE PLAN

SHEET 18 OF 38

SEE SHEET 19



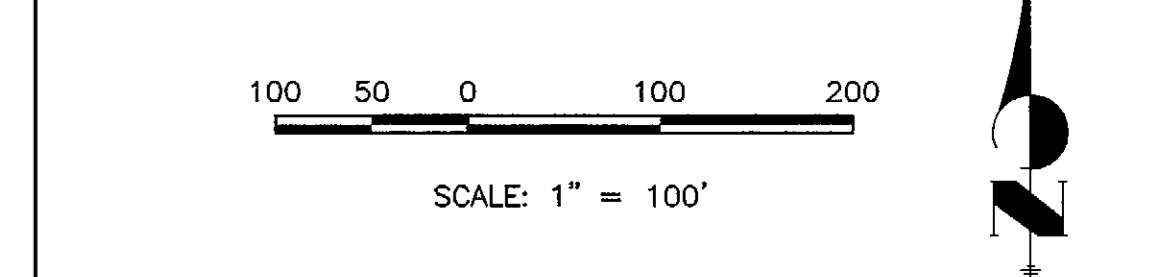
KEYMAP



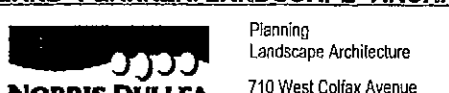
LEGEND


- EXISTING CONTOURS
- - - - PROPOSED CONTOURS
- BOUNDARY LINE
- 100-YR FEMA FLOP.
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD
- FLOWLINE
- CROSS PAN
- BLOCK NUMBER
- EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING TELEPHONE
- EXIST. STREET LIGHT
- PROP. STREET LIGHT
- EXISTING SANITARY SEWER W/ MANHOLE
- PROPOSED SANITARY SEWER W/ MANHOLE
- EXISTING WATER LINE W/ FIRE HYDRANT
- PROPOSED WATER LINE W/ FIRE HYDRANT
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER ZONE BOUNDARY
- EXISTING INLET
- PROPOSED INLETS
- PROPOSED HEADWALL
- EXISTING RIPRAP
- PROPOSED FLARED END SECTION W/ RIP RAP
- PROP MAIL KIOSK
- SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666
- CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- LOCAL TYPE 1-50' R.O.W. 32' E-E PER - SHEET 2
- MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
- ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
- COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
- ARTERIAL ENTRY STREET-66' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
- MINOR ARTERIAL STREET-120' R.O.W. 45' FL-CL 1/2 STREET-SHEET 2
- UTILITY EASEMENT (20' WIDTH)
- UTILITY EASEMENT (30' WIDTH)
- DRAINAGE EASEMENT (25' WIDTH)
- DRAINAGE EASEMENT (30' WIDTH)
- DRAINAGE AND UTILITY EASEMENT (AS DIMENSIONED)
- BLANKET UTILITY EASEMENT (AS DIMENSIONED)
- 0'-4' SINGLE RETAINING WALL
- CONNECT TO EXISTING WATER LINE OFFSITE
- CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
- FUTURE WATER LINE STUB W/2" B.O.
- CONNECT TO EXISTING / FUTURE SEWER MAIN
- SIGHT TRIANGLE EASEMENT
- TYPICAL CUL-DE-SAC SEE SHEET 3
- TYPICAL KNUCKLE SEE SHEET 3
- FLOOD PLAIN REVISIONS REQUIRED PER FUTURE CLOMR
- 5' DETACHED CONCRETE WALK
- 8' CONCRETE WALK/REGIONAL TRAIL
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- IRRIGATION TAP W/ BACK FLOW PREVENTION
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- PEDESTRIAN ACCESS ESMT. (WIDTH VARIES)

NOTE: ALL WATER AND SANITARY MAINS SHALL BE 8" PVC UNLESS OTHERWISE NOTED.



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MEADOWS FILING 18
PRELIMINARY TOWN PLAT AND FINAL PD SITE PLAN
UTILITY PLAN AND PHASING PLAN
SHEET 18 OF 38

SEE SHEET 15

SEE SHEET 20

SEE SHEET 17

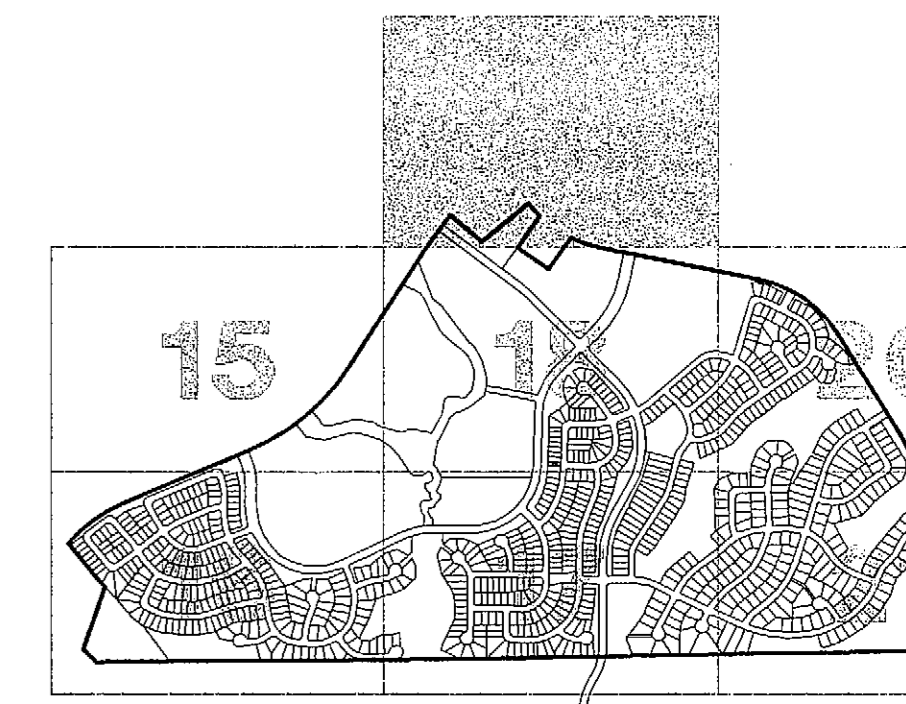
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 19 OF 38

KEYMAP



LEGEND

--- 6210 ---	EXISTING CONTOURS	①	LOCAL TYPE I-50' R.O.W. 32' E-E PER - SHEET 2
---	PROPOSED CONTOURS	②	MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET
---	BOUNDARY LINE	③	ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
---	100-YR FEMA FLOP.	④	COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
---	RIGHT OF WAY LINE	⑤	ARTERIAL ENTRY STREET-66' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
---	LOT LINE	⑥	MINOR ARTERIAL STREET-120' R.O.W. 45FL-CL 1/2 STREET-SHEET 2
---	EASEMENT	⑦	UTILITY EASEMENT (20' WIDTH)
---	LINE OF SIGHT	⑧	UTILITY EASEMENT (30' WIDTH)
---	CROSS PAN	⑨	DRAINAGE EASEMENT (25' WIDTH)
---	BLOCK NUMBER	⑩	DRAINAGE EASEMENT (30' WIDTH)
X X X	EXISTING FENCE	⑪	DRAINAGE AND UTILITY EASEMENT (AS DIMENSIONED)
---	EXISTING CABLE TV	⑫	BLANKET UTILITY EASEMENT (AS DIMENSIONED)
---	EXISTING ELECTRIC	⑬	0'-4' SINGLE RETAINING WALL
---	EXISTING GAS	⑭	CONNECT TO EXISTING WATER LINE OFFSITE
---	EXISTING TELEPHONE	⑮	CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
---	EXIST. STREET LIGHT	⑯	FUTURE WATER LINE STUB W/2"B.O.
---	PROP. STREET LIGHT	⑰	CONNECT TO EXISTING / FUTURE SEWER MAIN
---	EXISTING SANITARY SEWER W/ MANHOLE	⑱	SIGHT TRIANGLE EASEMENT
---	PROPOSED SANITARY SEWER W/ MANHOLE	⑲	TYPICAL CUL-DE-SAC SEE SHEET 3
---	EXISTING WATER LINE W/ FIRE HYDRANT	⑳	TYPICAL KNUCKLE SEE SHEET 3
---	PROPOSED WATER LINE W/ FIRE HYDRANT	㉑	FLOOD PLAIN REVISIONS REQUIRED PER FUTURE CLOMR
---	EXISTING GATE VALVE	㉒	5' DETACHED CONCRETE WALK
---	PROPOSED GATE VALVE	㉓	8' CONCRETE WALK/REGIONAL TRAIL
---	PROPOSED BLOW OFF	㉔	EXISTING FIRE HYDRANT
---	EXISTING STORM SEWER	㉕	PROPOSED FIRE HYDRANT
---	PROPOSED STORM SEWER	㉖	IRRIGATION TAP W/ BACK FLOW PREVENTION
---	WATER ZONE BOUNDARY	㉗	LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)
---	EXISTING INLET	㉘	PEDESTRIAN ACCESS ESMT. (WIDTH VARIES)
---	PROPOSED INLETS		
---	PROPOSED HEADWALL		
---	EXISTING RIPRAP		
---	PROPOSED FLARED END SECTION W/ RIP RAP		
---	PROP MAIL KIOSK		
---	SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666		
---	CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.		
---	KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.		
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SCALE: 1" = 100'

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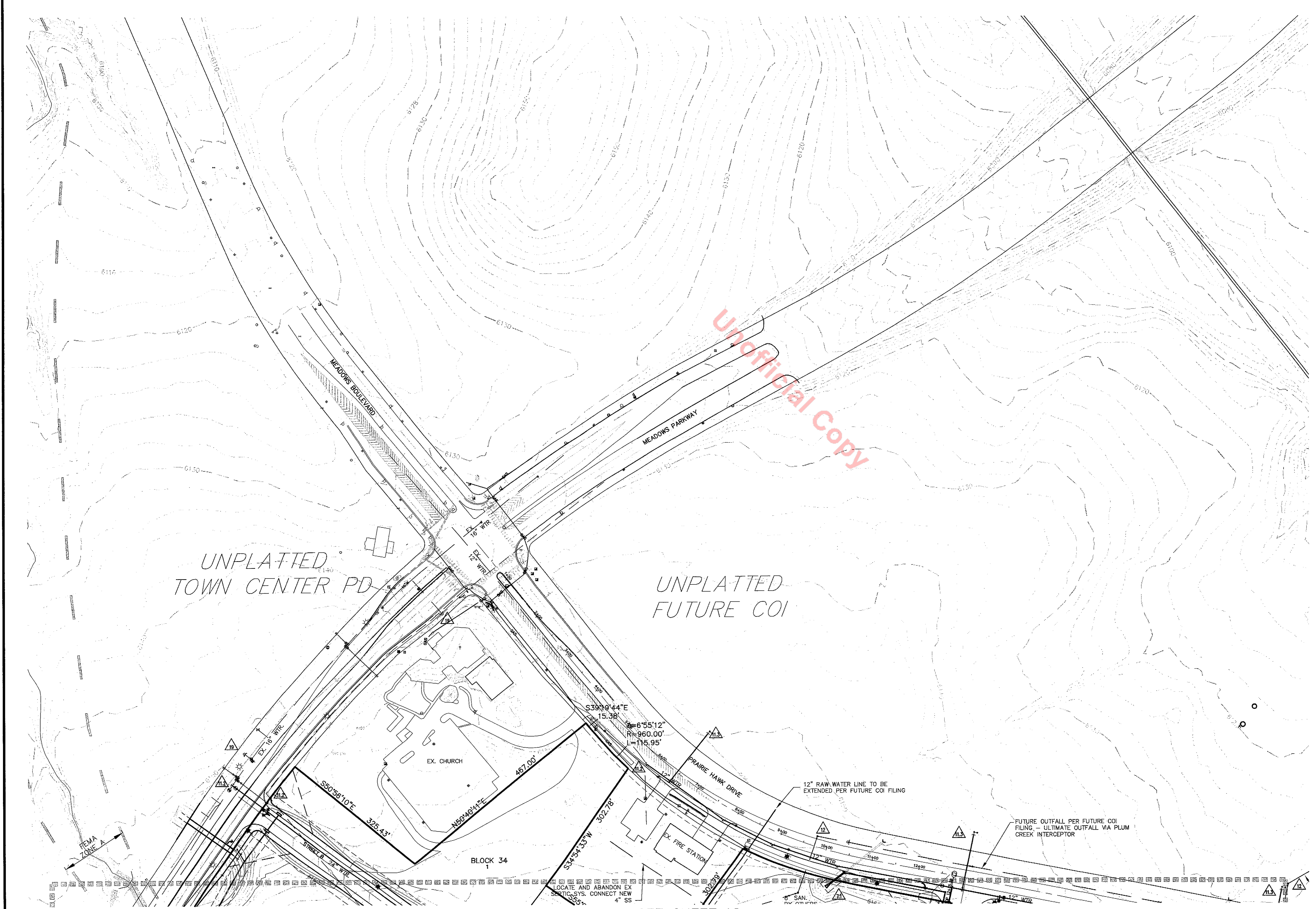
**MEADOWS FILING 18
 PRELIMINARY PLAT AND FINAL PD SITE PLAN
 UTILITY PLAN AND PHASING PLAN
 SHEET 19 OF 38**

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UNPLATTED
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UNPLATTED
 FUTURE COI

SEE SHEET 18



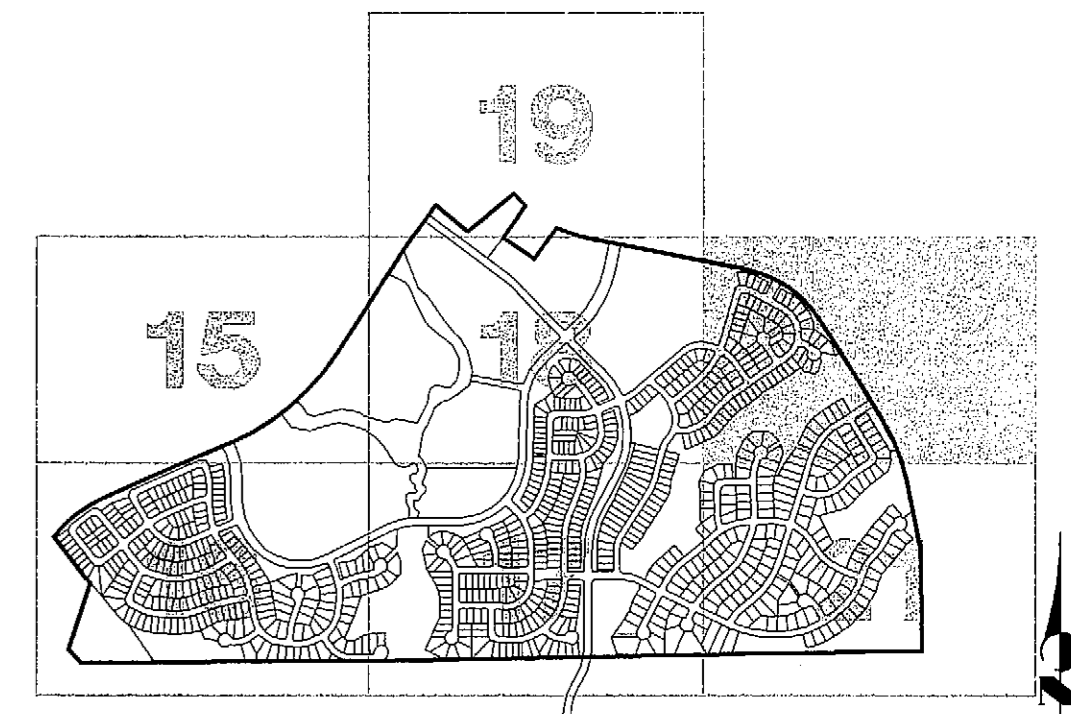
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 20 OF 38

KEYMAP



LEGEND

---	EXISTING CONTOURS	▲	LOCAL TYPE I-50' R.O.W. 32' E-E PER SHEET 2
---	PROPOSED CONTOURS	▲	MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET
---	BOUNDARY LINE	▲	ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
---	100-YR FEMA FLOP.	▲	COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
---	RIGHT OF WAY LINE	▲	ARTERIAL ENTRY STREET-66' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
---	LOT LINE	▲	MINOR ARTERIAL STREET-120' R.O.W. 45' FL-CL 1/2 STREET-SHEET 2
---	EASEMENT	▲	UTILITY EASEMENT (20' WIDTH)
---	LINE OF SIGHT	▲	UTILITY EASEMENT (30' WIDTH)
---	CENTER LINE OF ROAD	▲	DRAINAGE EASEMENT (25' WIDTH)
---	FLOWLINE	▲	DRAINAGE EASEMENT (30' WIDTH)
---	CROSS PAN	▲	DRAINAGE AND UTILITY EASEMENT (AS DIMENSIONED)
○	BLOCK NUMBER	▲	BLANKET UTILITY EASEMENT (AS DIMENSIONED)
---	EXISTING FENCE	▲	0'-4' SINGLE RETAINING WALL
---	EXISTING CABLE TV	▲	CONNECT TO EXISTING WATER LINE OFFSITE
---	EXISTING ELECTRIC	▲	CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
---	EXISTING GAS	▲	FUTURE WATER LINE STUB W/2" B.O.
---	EXISTING TELEPHONE	▲	CONNECT TO EXISTING / FUTURE SEWER MAIN
---	EXIST. STREET LIGHT	▲	SIGHT TRIANGLE EASEMENT
---	PROP. STREET LIGHT	▲	TYPICAL CUL-DE-SAC SEE SHEET 3
---	EXISTING SANITARY SEWER W/ MANHOLE	▲	TYPICAL KNUCKLE SEE SHEET 3
---	PROPOSED SANITARY SEWER W/ MANHOLE	▲	FLOOD PLAIN REVISIONS REQUIRED PER FUTURE CLOMR
---	EXISTING WATER LINE W/ FIRE HYDRANT	▲	5' DETACHED CONCRETE WALK
---	PROPOSED WATER LINE W/ FIRE HYDRANT	▲	8' CONCRETE WALK/REGIONAL TRAIL
---	EXISTING GATE VALVE	▲	EXISTING FIRE HYDRANT
---	PROPOSED GATE VALVE	▲	PROPOSED FIRE HYDRANT
---	PROPOSED BLOW OFF	▲	IRRIGATION TAP W/ BACK FLOW PREVENTION
---	EXISTING STORM SEWER	▲	LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)
---	PROPOSED STORM SEWER	▲	PEDESTRIAN ACCESS ESMT. (WIDTH VARIES)
---	WATER ZONE BOUNDARY	▲	
---	EXISTING INLET	▲	
---	PROPOSED INLETS	▲	
---	PROPOSED HEADWALL	▲	
---	EXISTING RIPRAP	▲	
---	PROPOSED FLARED END SECTION W/ RIP RAP	▲	
---	PROP MAIL KIOSK	▲	
---	SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666	▲	
○	CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	▲	
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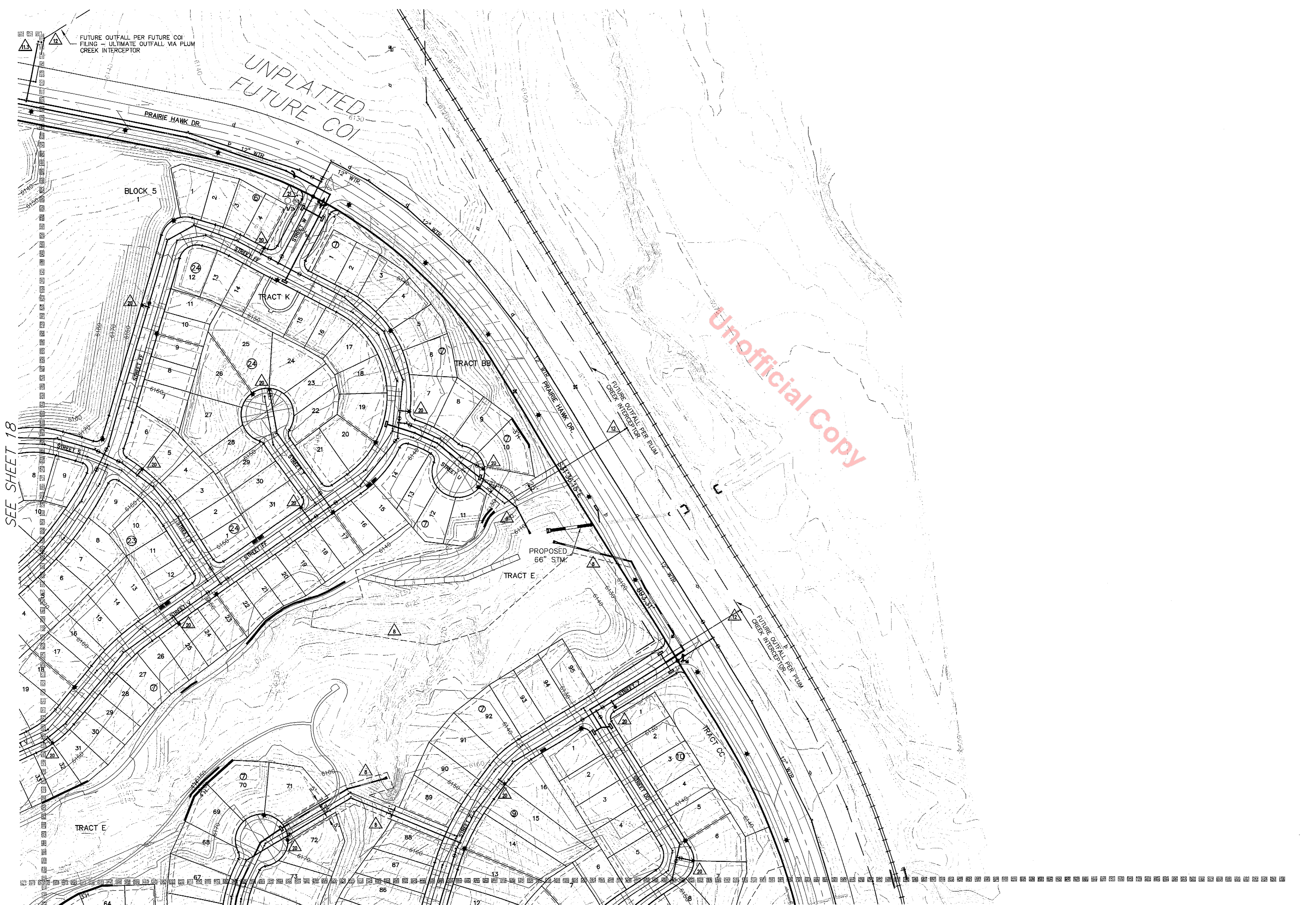
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PRELIMINARY PLAT AND FINAL PD SITE PLAN
UTILITY PLAN AND PHASING PLAN
SHEET 20 OF 38



SEE SHEET 18

SEE SHEET 21

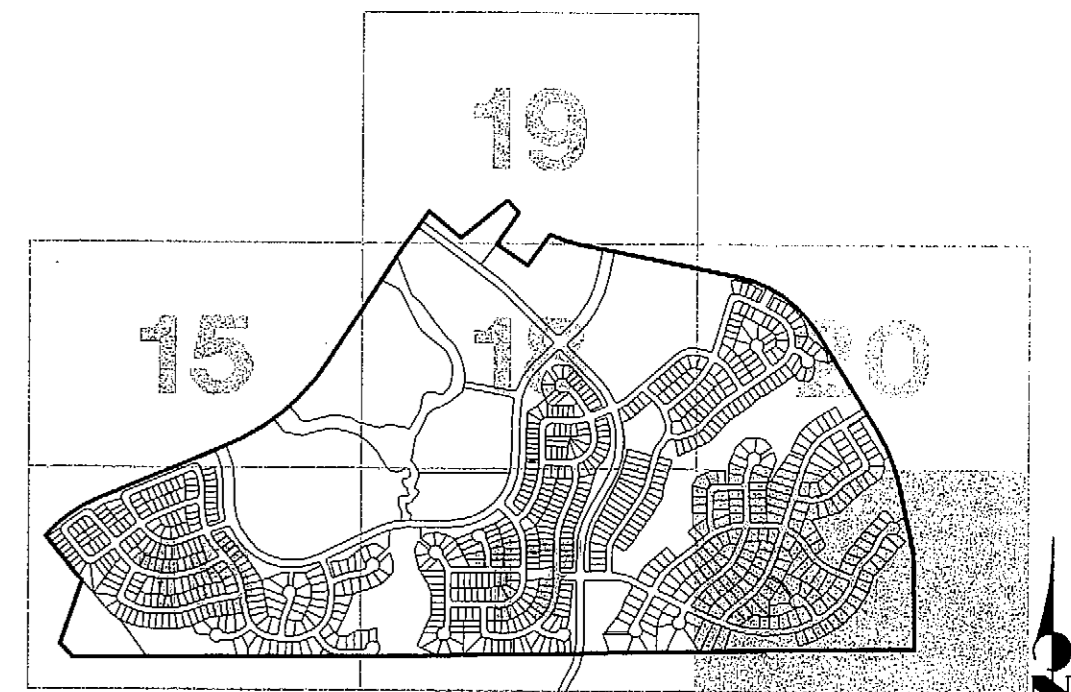
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 21 OF 38

KEYMAP



LEGEND

- EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- BOUNDARY LINE
- 100-YR FEMA FLDP.
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD
- FLOWLINE
- CROSS PAN
- ⑤ BLOCK NUMBER
- X-X-X EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- GAS
- EXISTING TELEPHONE
- EXIST. STREET LIGHT
- PROP. STREET LIGHT
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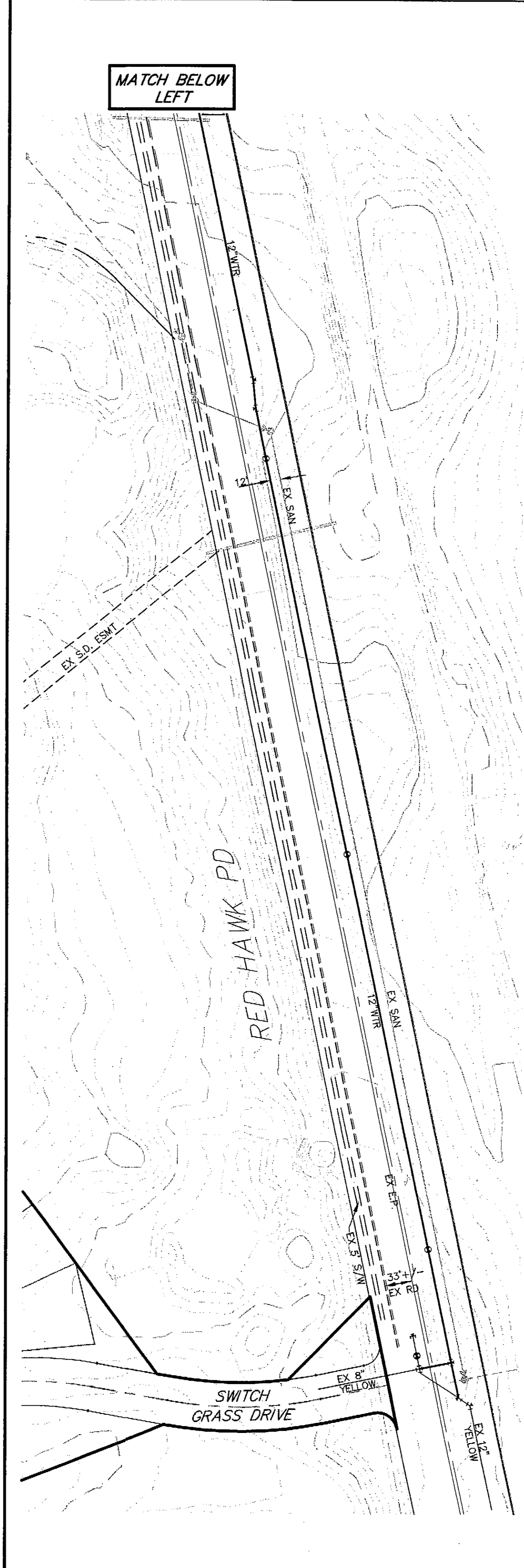
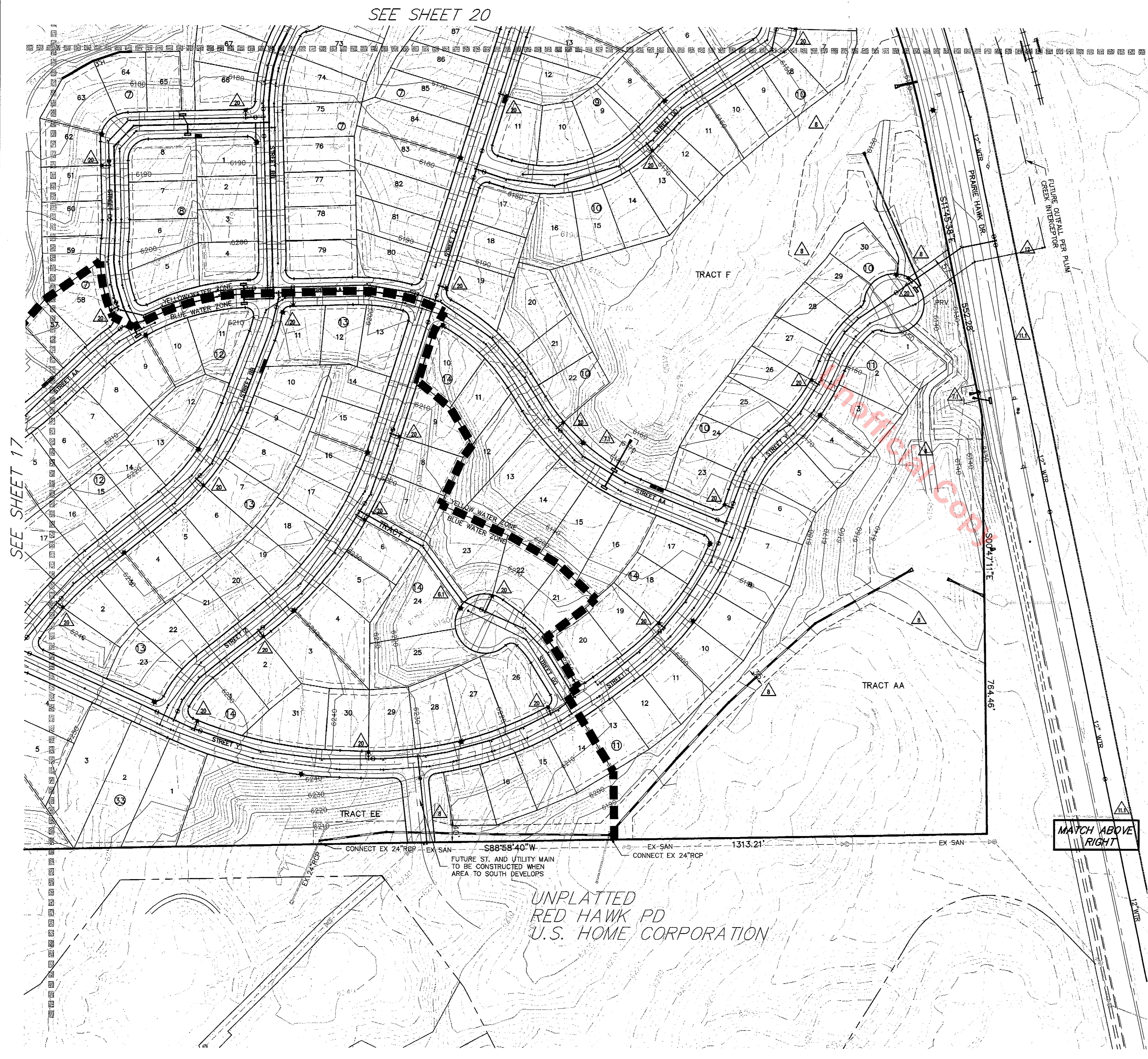
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UTILITY PLAN AND PHASING PLAN
SHEET 21 OF 38



SEE SHEET 17

SEE SHEET 20

MATCH BELOW LEFT

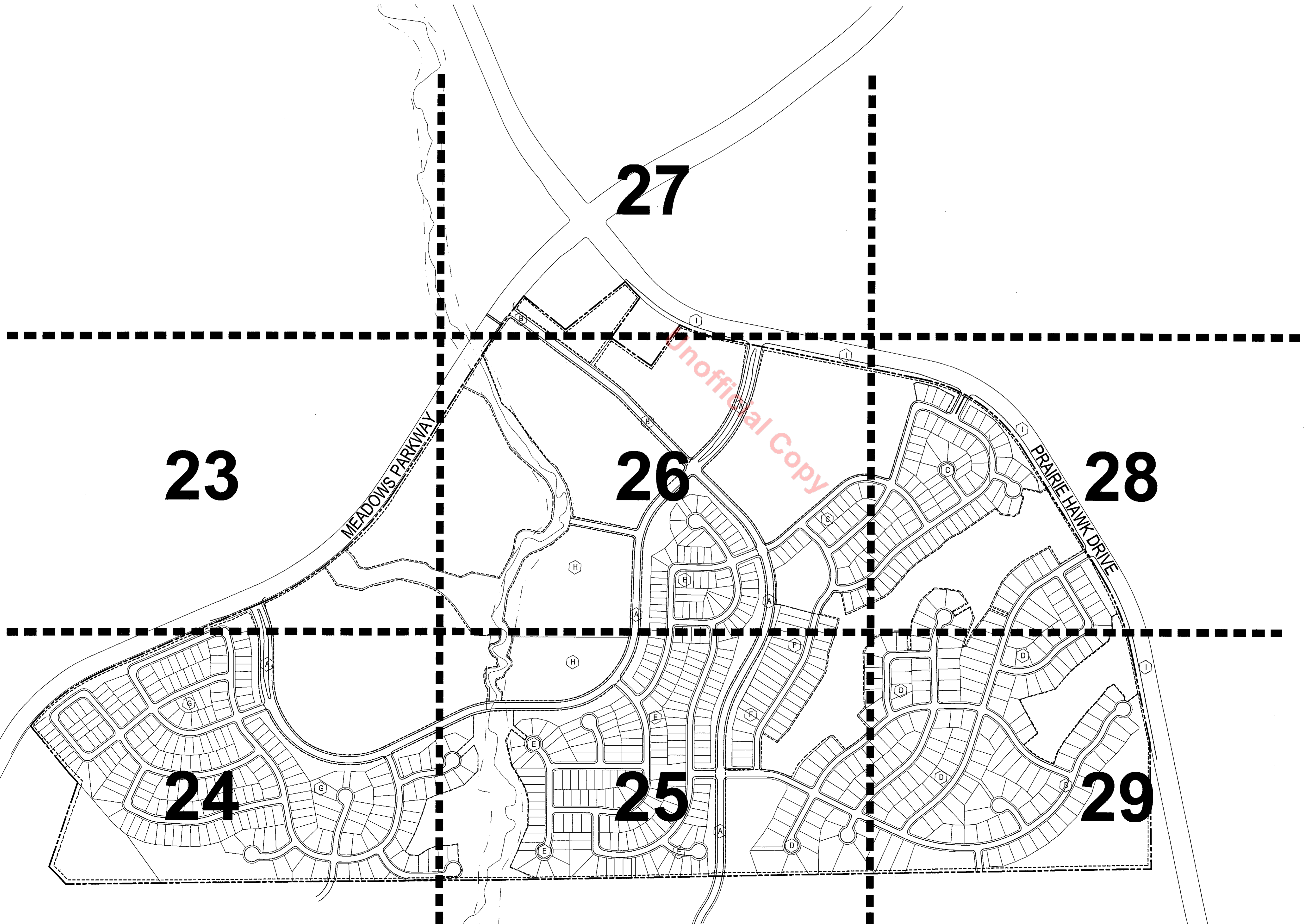
MATCH ABOVE RIGHT

THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW $\frac{1}{4}$ OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE $\frac{1}{4}$, NE $\frac{1}{4}$, AND NW $\frac{1}{4}$ OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE $\frac{1}{4}$, SE $\frac{1}{4}$ AND SW $\frac{1}{4}$ OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 22 OF 38



PHASING NOTES

- (A) PHASE A
STREETSCAPE IMPROVEMENTS
TRAIL IMPROVEMENTS
DESTINATION POINT
- (B) PHASE B
STREETSCAPE IMPROVEMENTS
- (C) PHASE C
PARK IMPROVEMENTS
TRAIL IMPROVEMENTS
- (D) PHASE D
PARK IMPROVEMENTS
TRAIL IMPROVEMENTS
DESTINATION POINT
- (E) PHASE E
TRAIL IMPROVEMENTS
- (F) PHASE F
PARK IMPROVEMENTS
TRAIL IMPROVEMENTS
DESTINATION POINT
- (G) PHASE G
PARK IMPROVEMENTS
TRAIL IMPROVEMENTS
- (H) PHASE H
FUTURE SCHOOL/PARK SITE
PARK IMPROVEMENTS
TRAIL IMPROVEMENTS
DESTINATION POINT
- (I) PHASE I
STREETSCAPE IMPROVEMENTS
PARK IMPROVEMENTS
TRAIL IMPROVEMENTS



SCALE: 1" = 300'





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CONTACT:
SCOTT PEASE

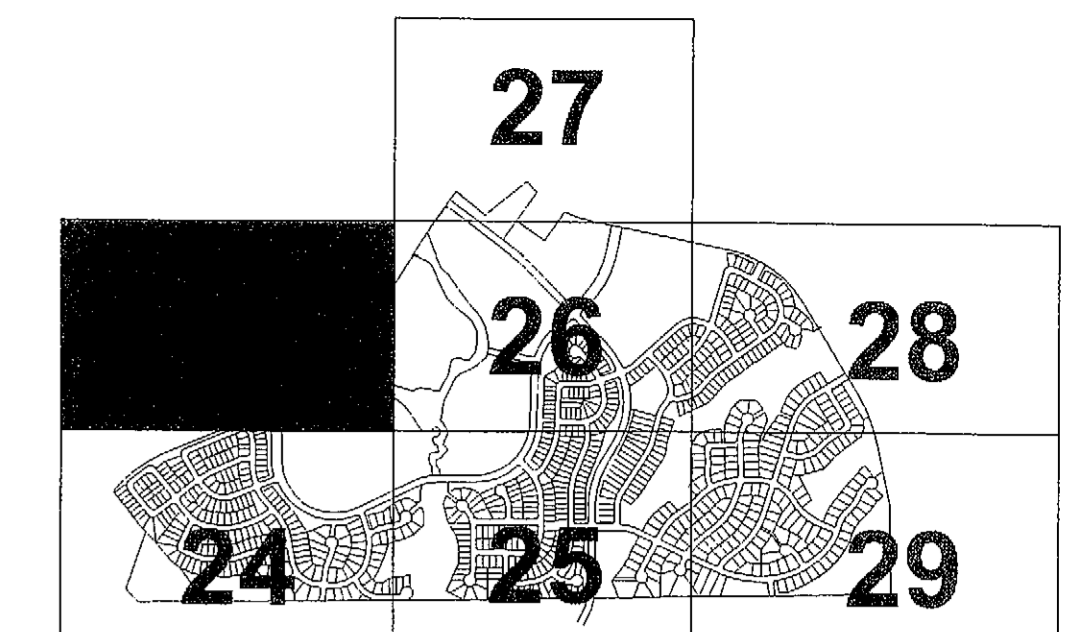
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 23 OF 38

KEYMAP



LEGEND

	Deciduous Canopy Trees		Existing Vegetation To Remain
	Evergreen Trees		Proposed Street Light
	Deciduous Ornamental Trees		Fire Hydrant
	Shrubs and Ornamental Grasses		Mail Kiosk
	Irrigated Fescue Turf Grass		2-Rail Fence
	Irrigated Tall Grass		3-Rail Fence
	Non-Irrigated Tall Grass		6' Privacy Fence
	Wildflower Mix		Irrigation Mainline
	Erosion Control Mix		Retaining Wall
	Perennial Bed		

SLEEVING LEGEND

- (A)** (1)4" AND (1)2" CL 200 PVC SLEEVE AT 24" DEPTH
- (B)** (1)8" AND (1)4" CL 200 PVC SLEEVE AT 24" DEPTH
- (C)** (1)4" CL 200 PVC SLEEVE AT 24" DEPTH

NOTES:

1. ANY LANDSCAPE REVISIONS MAY BE ADMINISTRATIVELY APPROVED BY THE TOWN STAFF AS LONG AS IT MEETS THE COMPOSITE IRRIGATED LANDSCAPE RATING IDENTIFIED IN THE IRRIGATED PUBLIC AREA WATER CONSERVATION CODE IN EFFECT AS OF FEBRUARY 2004.
2. ALL LANDSCAPE AREAS SHOWN ON THIS SHEET, WITH THE EXCEPTION OF DROUGHT TOLERANT TREES, SHRUBS AND AREAS LABELED AS "NON-IRRIGATED TALL GRASS SEED" WILL BE IRRIGATED WITH A FULLY AUTOMATIC DRIP IRRIGATION SYSTEM DESIGNED AND INSTALLED TO MEET THE IRRIGATION SPECIFICATIONS OF THE MEADOWS METROPOLITAN DISTRICT #1. IRRIGATION TAPS WITH BACK FLOW PREVENTORS WILL BE LOCATED, SIZED AND INSTALLED IN CONJUNCTION WITH THE OVERALL IRRIGATION DESIGN. NATIVE PLANTS WILL BE HAND WATERED DURING INITIAL ESTABLISHMENT.
3. ALL AREAS ADJACENT TO OPEN SPACE AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED IN NON-IRRIGATED TALL GRASS UNLESS OTHERWISE INDICATED ON PLAN.
4. ALL WALKS TO BE 5' WIDE UNLESS OTHERWISE NOTED ON PLAN.



SCALE: 1" = 100'



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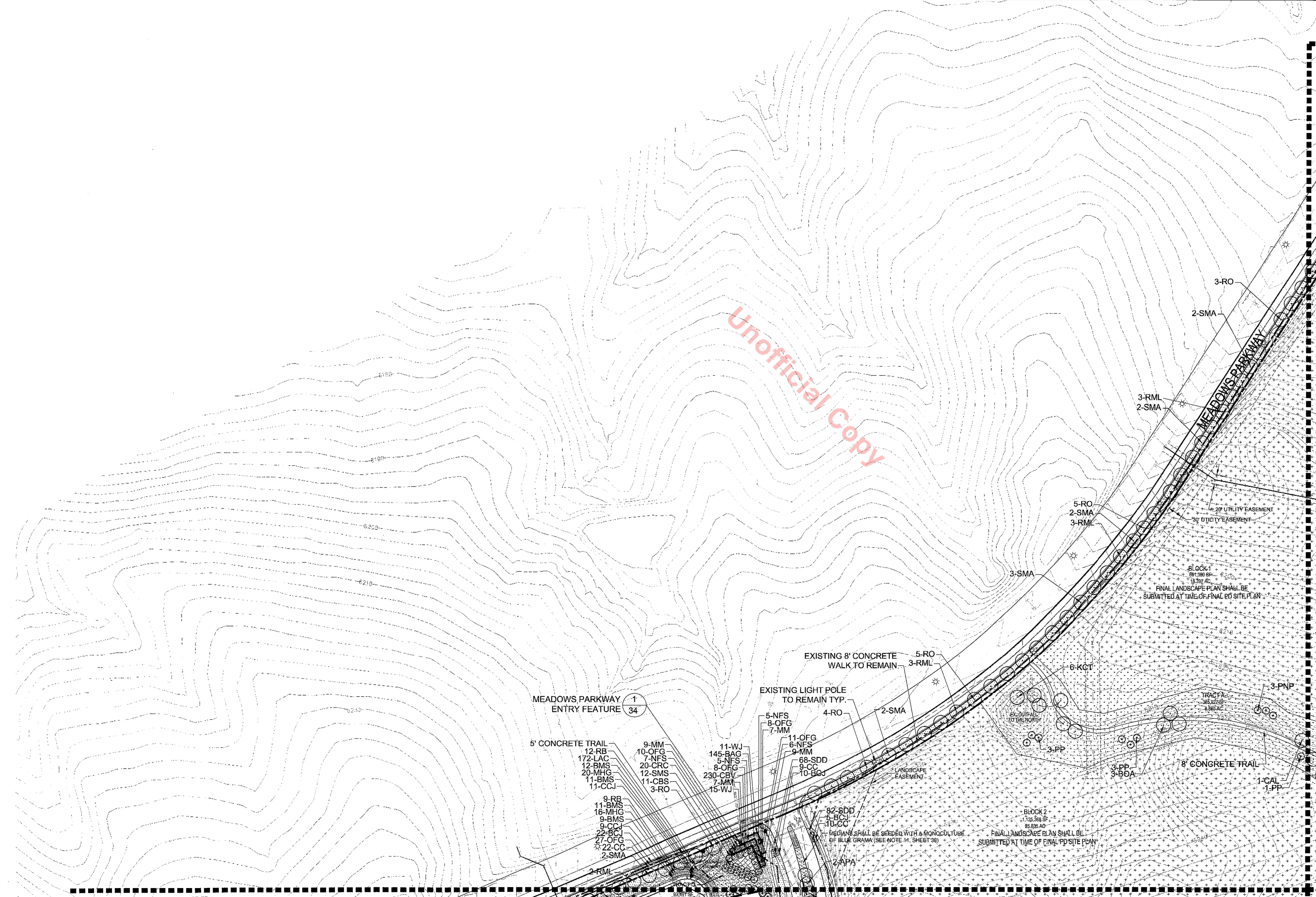
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 CONTACT:
 SEAN MALONE
 CERTIFICATE NO. 322

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**MEADOWS FILING 18
 PRELIMINARY PLAT AND FINAL PD SITE PLAN
 LANDSCAPE PLAN
 SHEET 23 OF 38**



SEE SHEET 24

SEE SHEET 26

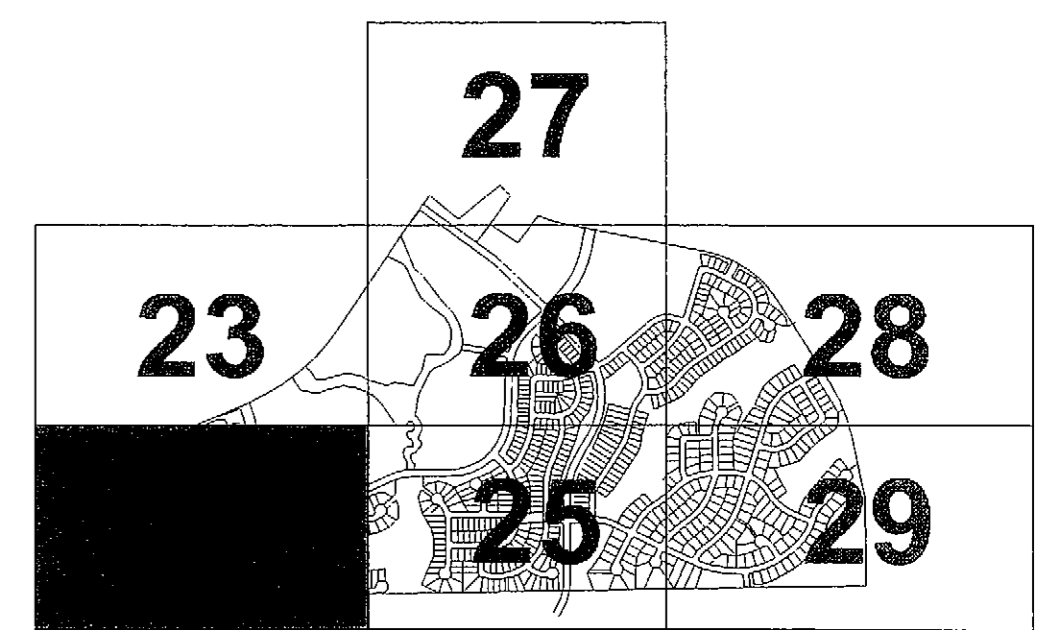
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 24 OF 38

KEYMAP

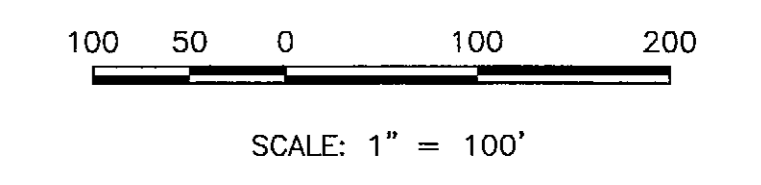


LEGEND

- | | | | |
|--|-------------------------------|--|-------------------------------|
| | Deciduous Canopy Trees | | Existing Vegetation To Remain |
| | Evergreen Trees | | Proposed Street Light |
| | Deciduous Ornamental Trees | | Fire Hydrant |
| | Shrubs and Ornamental Grasses | | Mail Kiosk |
| | Irrigated Fescue Turf Grass | | 2-Rail Fence |
| | Irrigated Tall Grass | | 3-Rail Fence |
| | Non-Irrigated Tall Grass | | 6' Privacy Fence |
| | Wildflower Mix | | Irrigation Mainline |
| | Erosion Control Mix | | Retaining Wall |
| | Perennial Bed | | |

- ### SLEEVING LEGEND
- (A)** (1)4" AND (1)2" CL 200 PVC SLEEVE AT 24" DEPTH
 - (B)** (1)8" AND (1)4" CL 200 PVC SLEEVE AT 24" DEPTH
 - (C)** (1)4" CL 200 PVC SLEEVE AT 24" DEPTH

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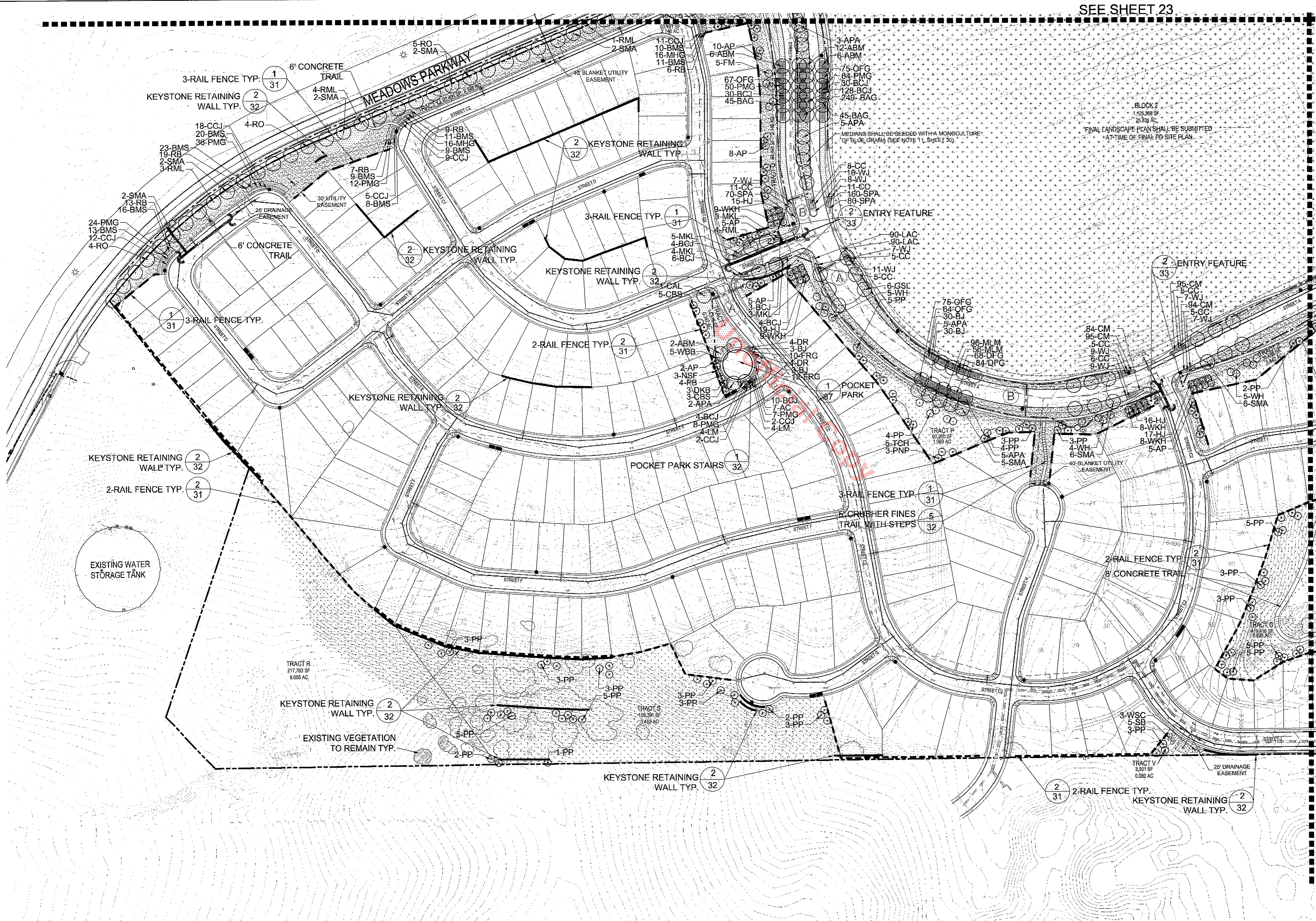
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**MEADOWS FILING 18
 PRELIMINARY PLAT AND FINAL PD SITE PLAN
 LANDSCAPE PLAN
 SHEET 24 OF 38**



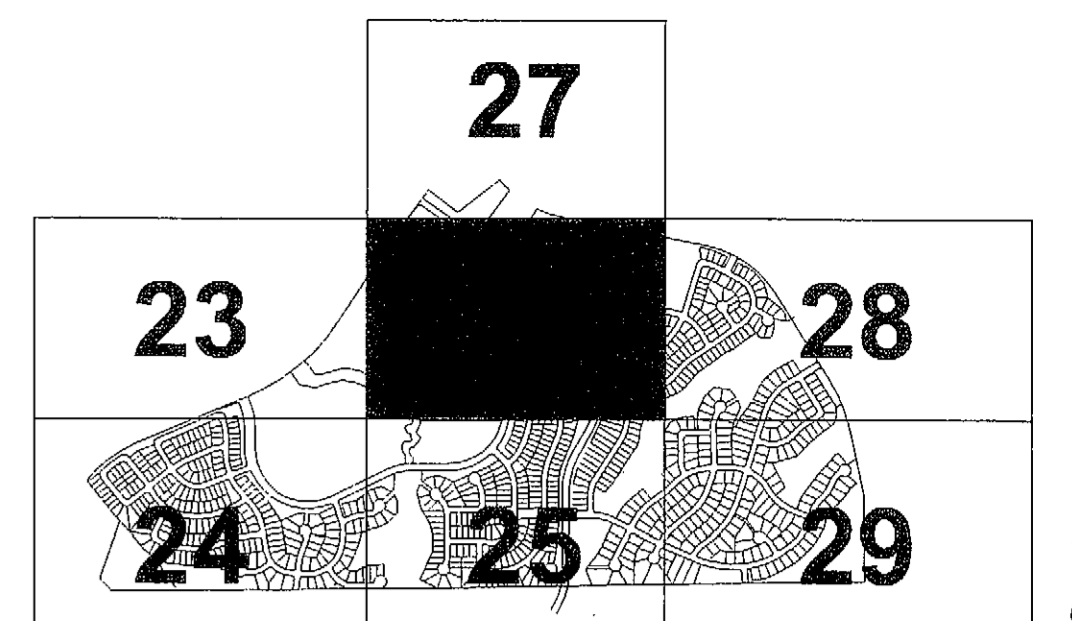
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 26 OF 38

KEYMAP



LEGEND

- | | | | |
|--|-------------------------------|--|-------------------------------|
| | Deciduous Canopy Trees | | Existing Vegetation To Remain |
| | Evergreen Trees | | Proposed Street Light |
| | Deciduous Ornamental Trees | | Fire Hydrant |
| | Shrubs and Ornamental Grasses | | Mail Kiosk |
| | Irrigated Fescue Turf Grass | | 2-Rail Fence |
| | Irrigated Tall Grass | | 3-Rail Fence |
| | Non-Irrigated Tall Grass | | 6' Privacy Fence |
| | Wildflower Mix | | Irrigation Mainline |
| | Erosion Control Mix | | Retaining Wall |
| | Perennial Bed | | |

SLEEVING LEGEND

- | | |
|--|--|
| | (1)4" AND (1)2" CL 200 PVC SLEEVE AT 24" DEPTH |
| | (1)8" AND (1)4" CL 200 PVC SLEEVE AT 24" DEPTH |
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100 50 0 100 200

SCALE: 1" = 100'

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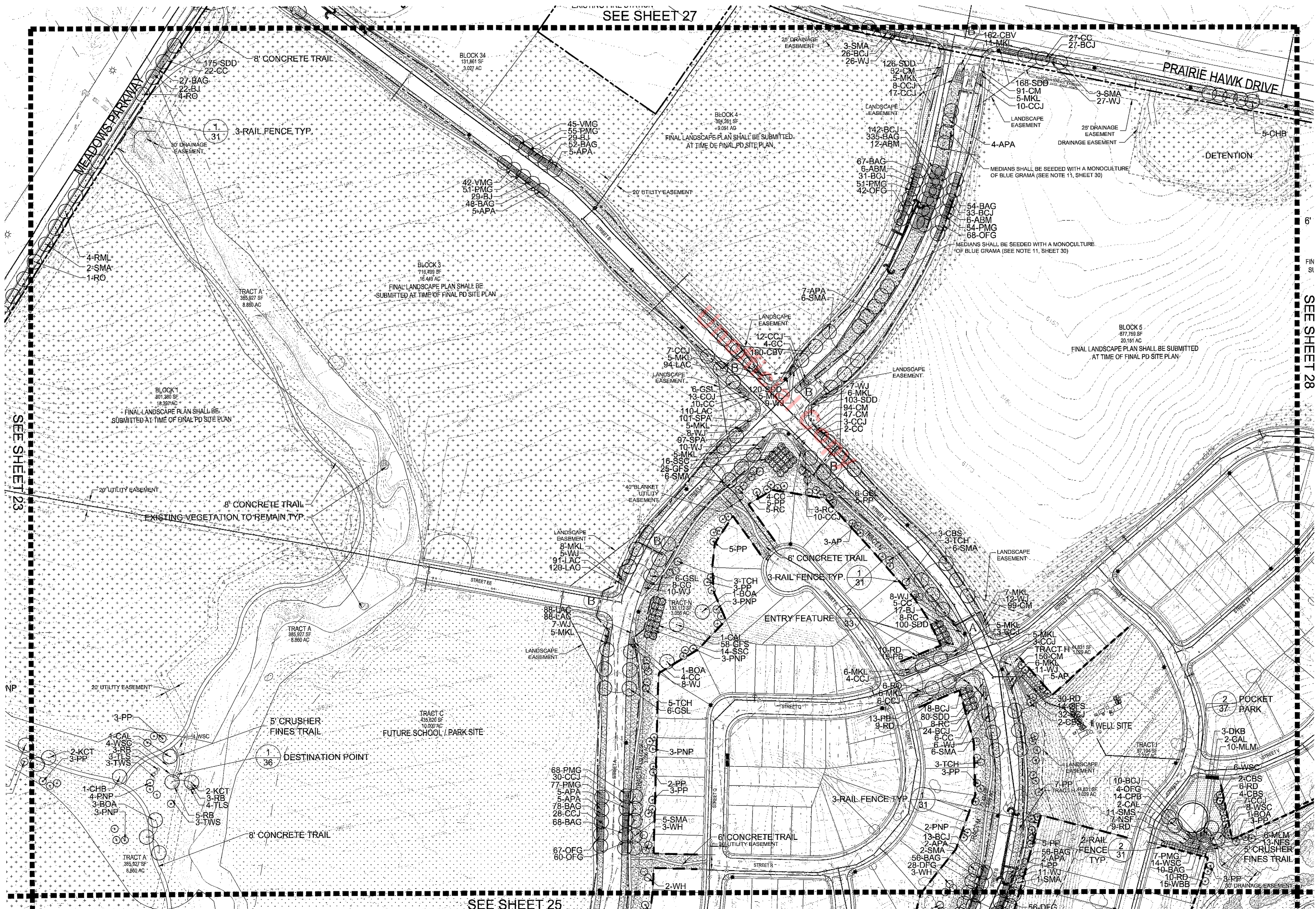
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**MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
LANDSCAPE PLAN
SHEET 26 OF 38**



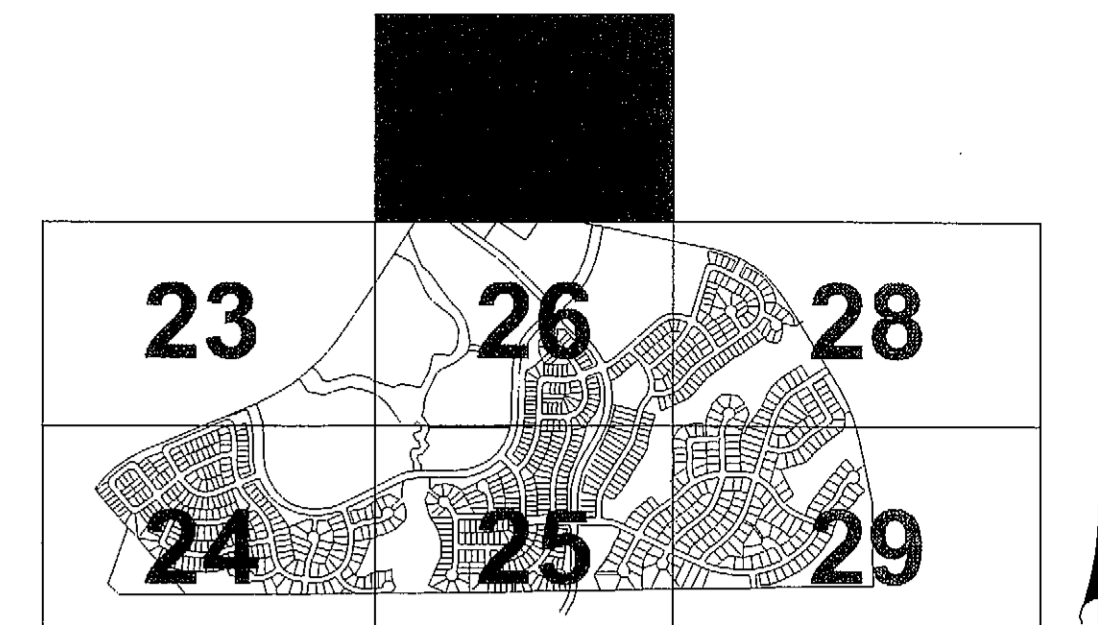
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 27 OF 38

KEYMAP



LEGEND

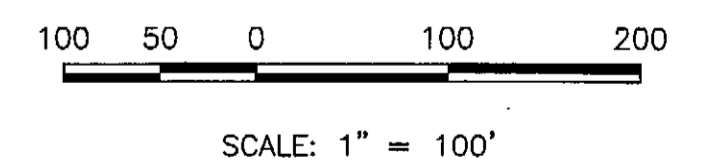
	Deciduous Canopy Trees		Existing Vegetation To Remain
	Evergreen Trees		Proposed Street Light
	Deciduous Ornamental Trees		Fire Hydrant
	Shrubs and Ornamental Grasses		Mail Kiosk
	Irrigated Fescue Turf Grass		2-Rail Fence
	Irrigated Tall Grass		3-Rail Fence
	Non-Irrigated Tall Grass		6' Privacy Fence
	Wildflower Mix		Irrigation Mainline
	Erosion Control Mix		Retaining Wall
	Perennial Bed		

SLEEVING LEGEND

	(1)1/4" AND (1)1/2" CL 200 PVC SLEEVE AT 24" DEPTH
	(1)8" AND (1)1/4" CL 200 PVC SLEEVE AT 24" DEPTH
	(1)1/4" CL 200 PVC SLEEVE AT 24" DEPTH

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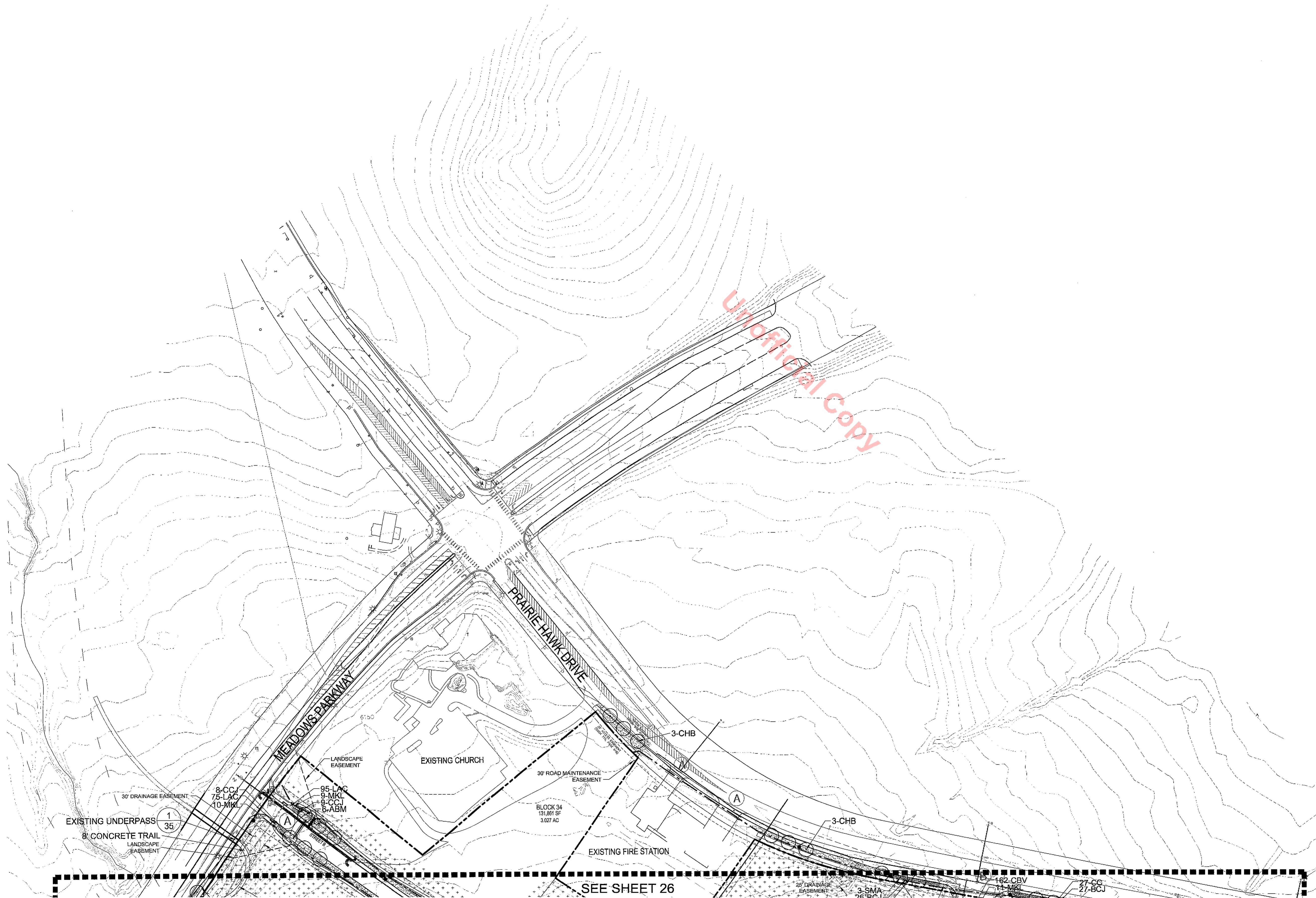
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CONTACT:
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**MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
LANDSCAPE PLAN
SHEET 27 OF 38**

UNOFFICIAL COPY

SEE SHEET 26



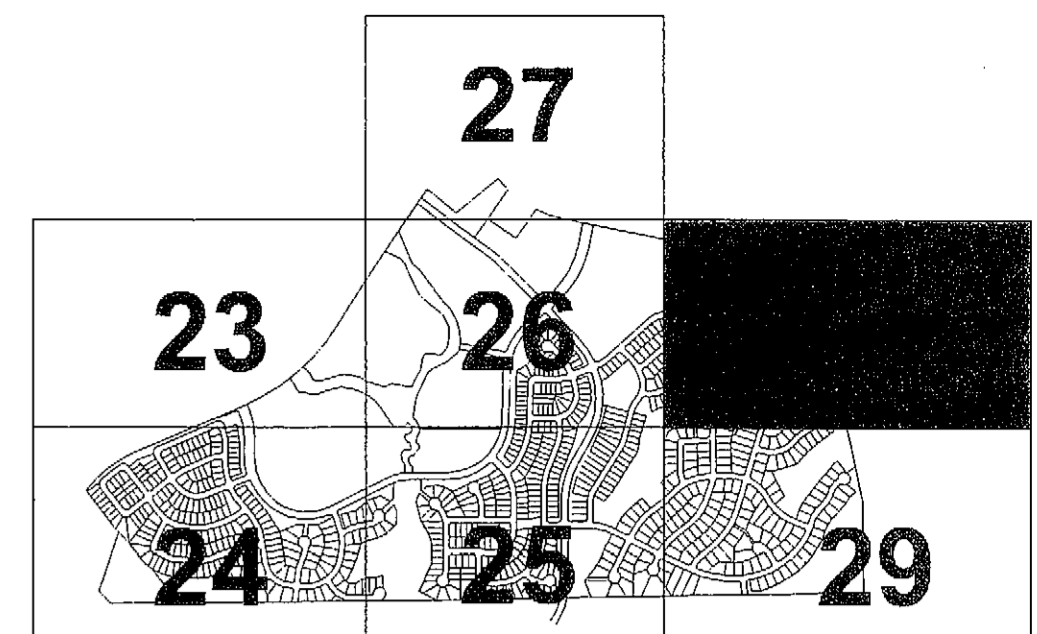
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 28 OF 38

KEYMAP



NTS

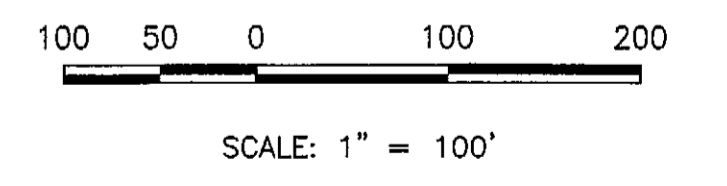
LEGEND

- | | | | |
|--|-------------------------------|--|-------------------------------|
| | Deciduous Canopy Trees | | Existing Vegetation To Remain |
| | Evergreen Trees | | Proposed Street Light |
| | Deciduous Ornamental Trees | | Fire Hydrant |
| | Shrubs and Ornamental Grasses | | Mail Kiosk |
| | Irrigated Fescue Turf Grass | | 2-Rail Fence |
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| | Non-Irrigated Tall Grass | | 6' Privacy Fence |
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| | Erosion Control Mix | | Retaining Wall |
| | Perennial Bed | | |

SLEEVING LEGEND

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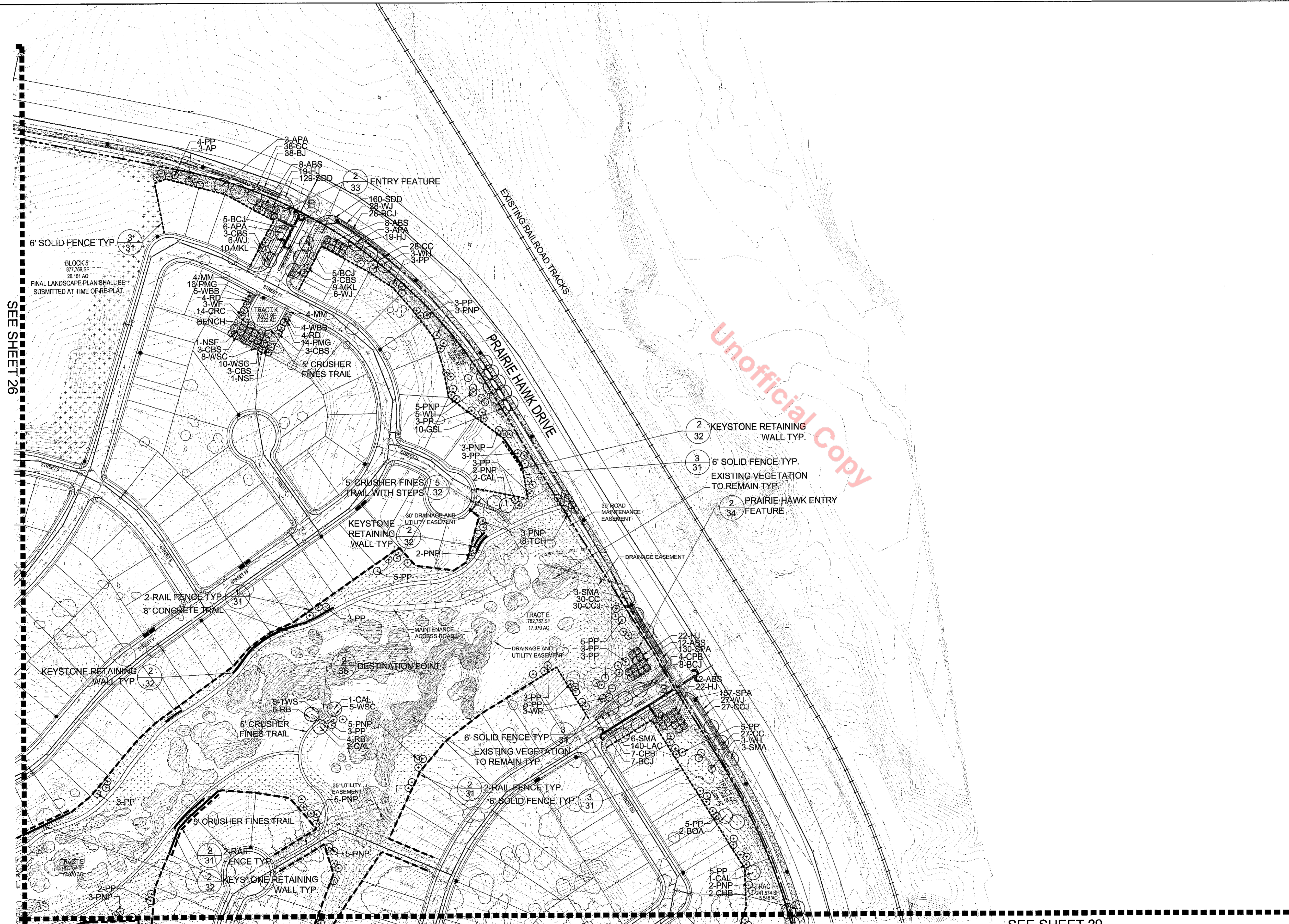
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MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
LANDSCAPE PLAN
SHEET 28 OF 38



SEE SHEET 26

SEE SHEET 29

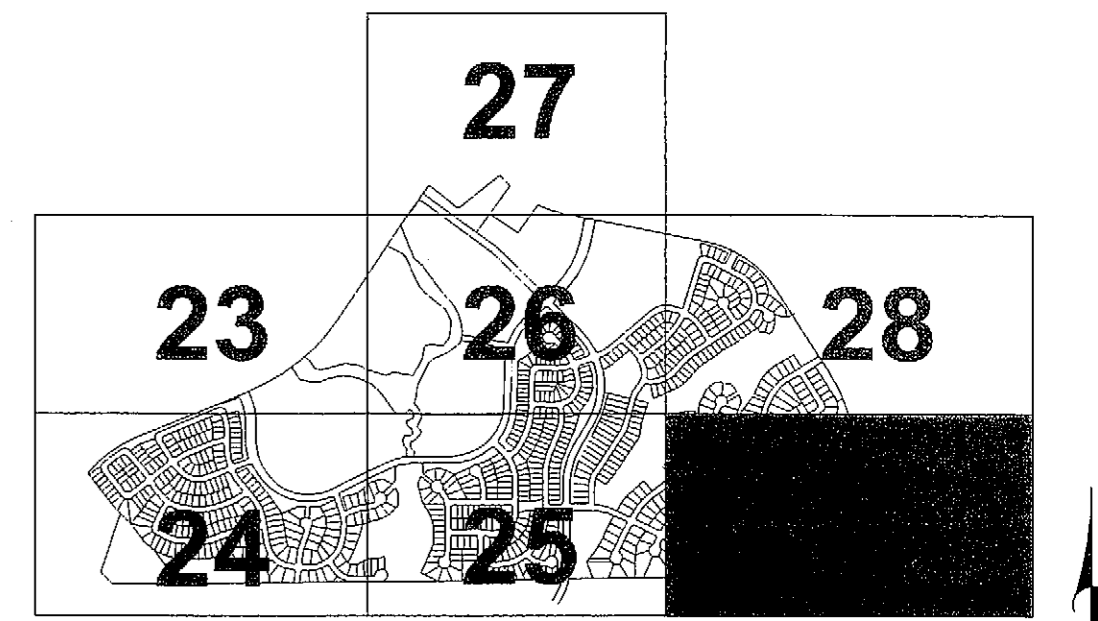
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 29 OF 38

KEYMAP



NTS

LEGEND

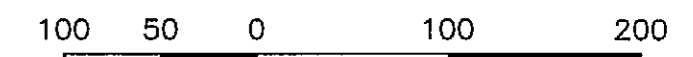
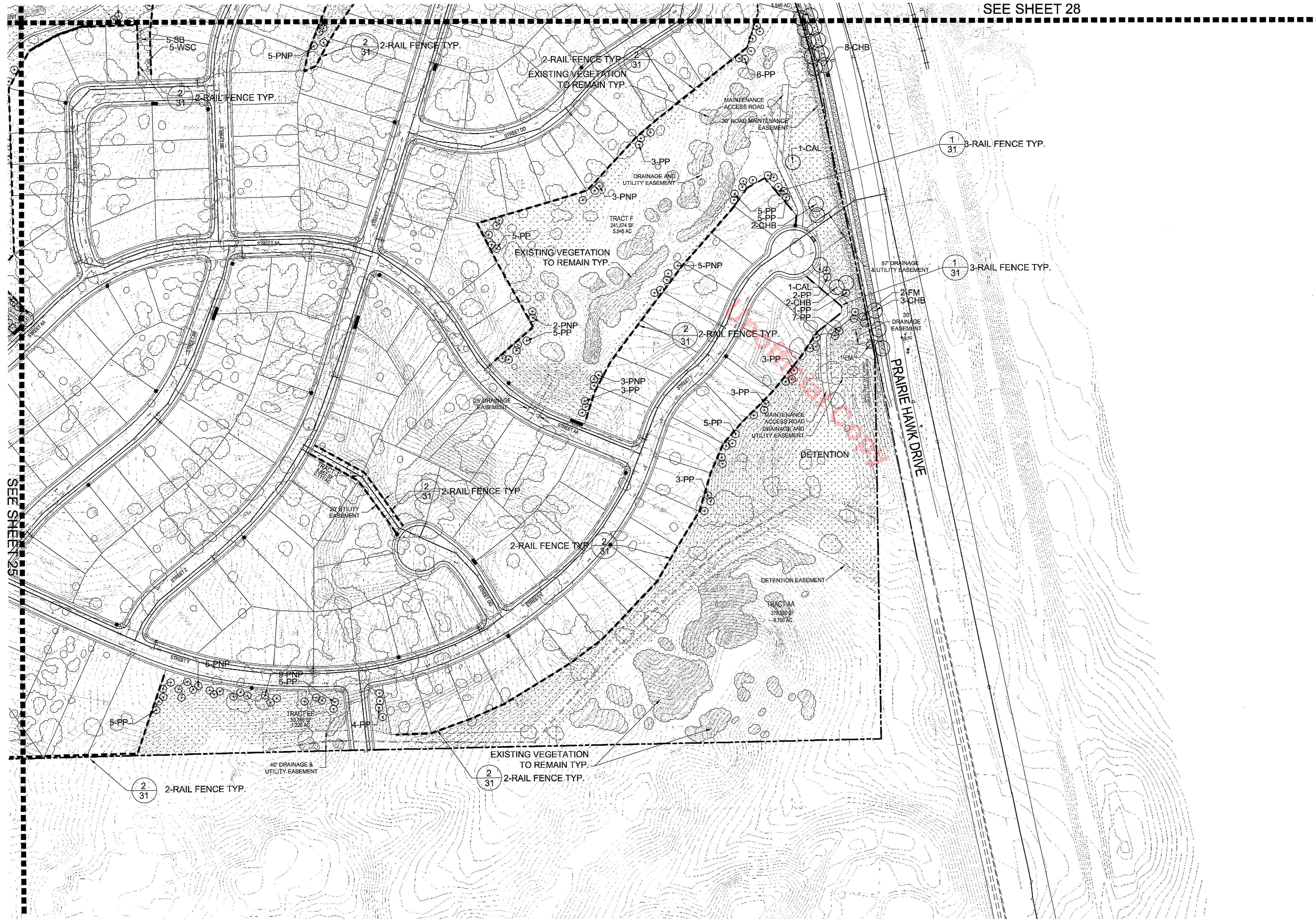
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SLEEVING LEGEND

- (A)** (1)4" AND (1)2" CL 200 PVC SLEEVE AT 24" DEPTH
- (B)** (1)8" AND (1)4" CL 200 PVC SLEEVE AT 24" DEPTH
- (C)** (1)4" CL 200 PVC SLEEVE AT 24" DEPTH

NOTES:

1. ANY LANDSCAPE REVISIONS MAY BE ADMINISTRATIVELY APPROVED BY THE TOWN STAFF AS LONG AS IT MEETS THE COMPOSITE IRRIGATED LANDSCAPE RATING IDENTIFIED IN THE IRRIGATED PUBLIC AREA WATER CONSERVATION CODE IN EFFECT AS OF FEBRUARY 2004.
2. ALL LANDSCAPE AREAS SHOWN ON THIS SHEET, WITH THE EXCEPTION OF DROUGHT TOLERANT TREES, SHRUBS AND AREAS LABELED AS "NON-IRRIGATED TALL GRASS SEED" WILL BE IRRIGATED WITH A FULLY AUTOMATIC DRIP IRRIGATION SYSTEM DESIGNED AND INSTALLED TO MEET THE IRRIGATION SPECIFICATIONS OF THE MEADOWS METROPOLITAN DISTRICT #1. IRRIGATION TAPS WITH BACK FLOW PREVENTORS WILL BE LOCATED, SIZED AND INSTALLED IN CONJUNCTION WITH THE OVERALL IRRIGATION DESIGN. NATIVE PLANTS WILL BE HAND WATERED DURING INITIAL ESTABLISHMENT.
3. ALL AREAS ADJACENT TO OPEN SPACE AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED IN NON-IRRIGATED TALL GRASS UNLESS OTHERWISE INDICATED ON PLAN.
4. ALL WALKS TO BE 5' WIDE UNLESS OTHERWISE NOTED ON PLAN.



SCALE: 1" = 100'

DEVELOPER
 CASTLE ROCK DEVELOPMENT COMPANY
 3033 E. 1ST AVENUE / SUITE 410
 DENVER, COLORADO 80206
 PHONE NUMBER: (303) 394-5500
 FAX NUMBER: (303) 394-9508
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 www.norrisdullea.com
 CONTACT: SEAN MALONE
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 SCOTT PEASE

**MEADOWS FILING 18
 PRELIMINARY PLAT AND FINAL PD SITE PLAN
 LANDSCAPE PLAN
 SHEET 29 OF 38**

THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE 1/4, NE 1/4, AND NW 1/4 OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE 1/4, SE 1/4 AND SW 1/4 OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 30 OF 38

PLANT PALETTE

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS CANOPY TREES				
77	ABM	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'	2 1/2" CAL. B&B
34	CAL	NORTHERN CATALPA	CATALPA SPECIOSA	2 1/2" CAL. B&B
40	CHB	COMMON HACKBERRY	CELTIS OCCIDENTALIS	2 1/2" CAL. B&B
72	APA	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	2 1/2" CAL. B&B
109	SMA	SUMMIT ASH	FRAXINUS PENNSYLVANICA 'SUMMIT'	2 1/2" CAL. B&B
14	KCT	KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICA	2 1/2" CAL. B&B
15	BOA	BUR OAK	QUERCUS MACROCARPA	2 1/2" CAL. B&B
50	RO	RED OAK	QUERCUS RUBRA	2 1/2" CAL. B&B
27	RML	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2 1/2" CAL. B&B
70	GSL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2 1/2" CAL. B&B
511	TOTAL DECIDUOUS CANOPY TREES			
EVERGREEN TREES				
12	WF	WHITE FIR	ABIES CONCOLOR	6-8' HT. (ALL)
55	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS	6-8' HT. (ALL)
115	PNP	PINYON PINE	PINUS EDULIS	6-8' HT. (ALL)
57	AP	AUSTRIAN PINE	PINUS NIGRA	6-8' HT. (ALL)
399	PP	PONDEROSA PINE	PINUS PONDEROSA	6-8' HT. (ALL)
638	TOTAL EVERGREEN TREES			
DECIDUOUS ORNAMENTAL TREES				
16	FM	FLAME MAPLE	ACER GINNALA 'FLAME'	5' HIGH MULTI-STEM ¹
56	ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	5' HIGH MULTI-STEM ¹
43	WH	WASHINGTON HAWTHORNE	CRATAEGUS PHAENOPYRUM	5' HIGH MULTI-STEM ¹
38	TCH	THORNLESS COCKSPUR HAWTHORNE	CRATAEGUS CRUS-GALLI INERMIS	5' HIGH MULTI-STEM ¹
26	WKH	WINTER KING HAWTHORNE	CRATAEGUS VIRIDIS 'WINTER KING'	5' HIGH MULTI-STEM ¹
30	SSC	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	2" CAL., B&B
62	RC	RADIANT CRABAPPLE	MALUS 'RADIANT'	2" CAL., B&B
63	CRC	CANADA RED CHERRY	PRUNUS VIRGINIANA MELANOCARPA 'SHUBERT'	5' HIGH MULTI-STEM ¹
334	TOTAL DECIDUOUS ORNAMENTAL TREES			
DECIDUOUS SHRUBS				
31	SB	SASKATOON SERVICEBERRY	AMELANCHIER ALNIFOLIA	5 GAL. CONT.
37	CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	5 GAL. CONT.
35	PB	COMPACT PURPLE BUTTERFLY BUSH	BUDDLEIA DAVIDII NANHOENSIS 'PETITE PLUM'	5 GAL. CONT.
9	DKB	DARK KNIGHT BUTTERFLY BUSH	BUDDLEIA DAVIDII 'DARK KNIGHT'	5 GAL. CONT.
42	WBB	WHITE BOQUET BUTTERFLY BUSH	BUDDLEIA DAVIDII 'WHITE BOQUET'	5 GAL. CONT.
174	BMS	BLUE MIST SPIREA	C. X CLANDONENSIS 'BLUE MIST'	5 GAL. CONT.
13	LM	LITTLE LEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS INTRICATUS	5 GAL. CONT.
105	RB	RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS	5 GAL. CONT.
4	DR	DWARF BLUE RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS 'DW. BLUE'	5 GAL. CONT.
123	RD	RED TWIG DOGWOOD	CORNUS STOLONIFERA 'BAILEY'	5 GAL. CONT.
359	CC	CRANBERRY COTONEASTER	COTONEASTER APICULATUS	5 GAL. CONT.
25	NSF	NORTHERN SUN FORSYTHIA	FORSYTHIA X 'NORTHERN SUN'	5 GAL. CONT.
3	RS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL. CONT.
22	WVP	McKAY'S WHITE POTENTILLA	POTENTILLA FRUTICOSA 'McKAY'S WHITE'	5 GAL. CONT.
94	WSC	WESTERN SANDCHERRY	PRUNUS BESSEYI	5 GAL. CONT.
7	AC	ALPINE CURRANT	RIBES ALPINUM	5 GAL. CONT.
7	TLS	THREE LEAF SUMAC	RHUS TRILOBATA	5 GAL. CONT.
32	TWS	TALL WESTERN SAGEBRUSH	SERIPHIDIUM TRIDENTATUM	5 GAL. CONT.
97	GFS	GOLDEN FLAME SPIREA	SPIRAEA JAPONICA 'GOLD FLAME'	5 GAL. CONT.
36	NFS	NEON FLASH SPIREA	SPIRAEA JAPONICA 'NEON FLASH'	5 GAL. CONT.
23	SMS	SNOWMOUND SPIREA	SPIRAEA JAPONICA 'SNOWMOUND'	5 GAL. CONT.
170	MKL	MISS KIM LILAC	SYMPHORICARPOS X CHENALTI 'HANCOCK'	5 GAL. CONT.
1593	TOTAL DECIDUOUS SHRUBS			
EVERGREEN SHRUBS				
602	BCJ	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL. CONT.
166	HJ	HUGHES JUNIPER	JUNIPERUS HORIZONTALIS 'HUGHES'	5 GAL. CONT.
458	WJ	WILTON CARPET JUNIPER	JUNIPERUS HORIZONTALIS 'WILTONII'	5 GAL. CONT.
309	BJ	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL. CONT.
391	CCJ	CAL GARARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	5 GAL. CONT.
40	MM	MOPS MUGO PINE	PINUS MUGO 'MOPS'	5 GAL. CONT.
1988	TOTAL EVERGREEN SHRUBS			
GRASSES				
22	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL. CONT.
1216	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL. CONT.
233	MHG	MAIDEN HAIR GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	1 GAL. CONT.
294	MLM	MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	1 GAL. CONT.
601	PMG	PURPLE MAIDEN GRASS (FLAME GRASS)	MISCANTHUS 'PURPURASCENS'	1 GAL. CONT.
172	VMG	VARIEGATED MOORE GRASS	MOLINA CAERULEA 'VARIEGATA'	1 GAL. CONT.
411	DFG	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	1 GAL. CONT.
892	OFG	ORIENTAL FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'ORIENTAL'	1 GAL. CONT.
3829	TOTAL GRASSES			
NOTES: ¹ DENOTES DROUGHT TOLERANT PLANT MATERIAL ² DENOTES 3 STEMS MINIMUM				

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
PERENNIALS & GROUND COVER				
1783	SDD	STELLA DE ORO DAYLILY	HEMEROCALLIS 'STELLA DE ORO'	1 GAL. CONT.
833	SPA	SEA PINK ARMERIA	ARMERIA MARITIMA 'SPLENDENS'	1 GAL. CONT.
378	CM	CATMINT PRAIRIE FIRE	NEPETA X 'PRAIRIE FIRE'	1 GAL. CONT.
1523	LAC	LANCE COREOPSIS	COREOPSIS LANCEOLATA	1 GAL. CONT.
582	CBV	CRATER BLUE VERONICA	VERONICA AUSTRIACA 'CRATER BLUE'	1 GAL. CONT.
SEED TYPES				
IRRIGATED FESCUE TURF GRASS SEED				
CONSISTS OF TRIATHALON MIX AS SUPPLIED BY ARKANSAS VALLEY SEED CO. OR APPROVED EQUAL. APPLY AT 5 LBS PLS PER 1000 SQ. FT.				
IRRIGATED TALL GRASS SEED MIX				
BOTANICAL NAME COMMON NAME VARIETY PLS/LB				
AGROPYRON TRICHOPHORUM PUBESCENT WHEATGRASS LUNA 2.0 LBS.				
AGROPYRON SMITHII WESTERN WHEATGRASS ARRIBA 5.0 LBS.				
ANDROPOGON GERARDI BIG BLUESTEM KAW 2.0 LBS.				
BOUTELLOUA CURTIPENDULA SIDEOATS GRAMA VAUGHN OR EL RENO 2.0 LBS.				
CALAMOVILFA LONGIFOLIA PRAIRIE SANDWEED GOSHEN .5 LBS.				
PANICUM VIRGATUM SWITCHGRASS BLACKWELL 1.0 LBS.				
SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM PASTURA 2.0 LBS.				
SORGHASTRUM NUTANS INDIAN GRASS CHEYENNE 2.0 LBS.				
APPLY AT A RATE OF 16.5 PLS LBS. PER ACRE				
NON-IRRIGATED TALL GRASS SEED MIX				
BOTANICAL NAME COMMON NAME VARIETY PLS/LB				
AGROPYRON TRICHOPHORUM PUBESCENT WHEATGRASS LUNA 2.0 LBS.				
AGROPYRON SMITHII WESTERN WHEATGRASS ARRIBA 5.0 LBS.				
ANDROPOGON GERARDI BIG BLUESTEM KAW 2.0 LBS.				
BOUTELLOUA CURTIPENDULA SIDEOATS GRAMA VAUGHN OR EL RENO 2.0 LBS.				
CALAMOVILFA LONGIFOLIA PRAIRIE SANDWEED GOSHEN .5 LBS.				
PANICUM VIRGATUM SWITCHGRASS BLACKWELL 1.0 LBS.				
SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM PASTURA 2.0 LBS.				
SORGHASTRUM NUTANS INDIAN GRASS CHEYENNE 2.0 LBS.				
APPLY AT A RATE OF 16.5 PLS LBS. PER ACRE				
WILDFLOWER SEED MIXTURE				
BOTANICAL NAME COMMON NAME BOTANICAL NAME COMMON NAME				
CENTAUREA CYANUS CORNFLOWER GYPSOPHILA PANICULATA BABY'S BREATH				
CHEIRANTHUS ALLIONII WALLFLOWER LINARIA MAROCCANA SPURRED SNAPDRAGON				
CHRYSANTHEMUM MAXIMUM SHASTA DAISY LINUM LEWISII BLUE FLAX				
DIANTHUS BARBATUS SWEET WILLIAM LOBULARIA MARITIMA SWEET ALYSSUM				
DIMORPHOTHECA AURANTIACA AFRICAN DAISY OENOTHERA MISSOURENSIS EVENING PRIMROSE				
ECHINACEA PURPUREA PURPLE CONEFLOWER PAPAVER RHOEAS CORN POPPY				
ESCHSCHOLZIA CALIFORNICA CALIFORNIA POPPY PENSTEMON STRICTUS ROCKY MT. PENSTEMON				
GAILLARDIA PULCHELLA ANNUAL GAILLARDIA RUDBECKIA HIRTA BLACKEYED SUSAN				
GAILLARDIA X GRANDIFLORA PERENNIAL GAILLARDIA SILENE ARMERIA CATCHFLY				
AS SUPPLIED BY APPLEWOOD SEED COMPANY AND ARKANSAS VALLEY SEEDS UNDER THE NAME OF ROCKY MOUNTAIN WILDFLOWER MIX. BROADCAST SEED AT 24 LBS PLS MIX PER ACRE.				

NOTES

- ALL 'IRRIGATED LANDSCAPE' AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM DESIGNED AND INSTALLED TO MEET THE IRRIGATION SPECIFICATIONS OF THE MEADOWS METROPOLITAN DISTRICT #1 AND TOWN OF CASTLE ROCK REQUIREMENTS. IRRIGATION TAPS WITH BACKFLOW PREVENTORS WILL BE LOCATED, SIZED, AND INSTALLED IN CONJUNCTION WITH THE OVERALL IRRIGATION DESIGN.
- HYDRO-MULCH NATIVE SEED AREAS WITH SLOPES GREATER THAN 4:1 SLOPE, DRILL SEED THE REMAINDER OF THE NATIVE SEED AREAS.
- INTERIOR REAR YARD FENCES (NOT SHOWN ON THESE DRAWINGS) ARE THE RESPONSIBILITY OF THE HOMEOWNER.
- ALL PUBLIC AND PRIVATE LANDSCAPING AND IRRIGATION MAINTENANCE, INSTALLATION, AND INSPECTIONS SHALL BE SUBJECT TO THE PROVISIONS CONTAINED WITHIN THE SUBDIVISION IMPROVEMENT AGREEMENT.
- STREET TREE LOCATIONS MAY BE MODIFIED SLIGHTLY TO ACCOMMODATE DRIVEWAY AND UTILITY LOCATIONS. TOTAL TREES TO BE PLANTED WILL NOT BE REDUCED.
- REFER TO TOWN OF CASTLE ROCK'S STANDARD SPECIFICATIONS FOR MORE INFORMATION REGARDING CURB AND GUTTER, CONCRETE WORK, TRAILS, WALKS, & HC RAMPS.
- IT IS THE INTENT TO SAVE AS MUCH OF THE EXISTING VEGETATION AS POSSIBLE. CONTRACTOR SHALL AVOID UNNECESSARY DISTURBANCE OF NATIVE VEGETATION DURING THE CONSTRUCTION PROCESS. TRAILS SHALL BE FIELD LOCATED BY OWNER'S AUTHORIZED REPRESENTATIVE TO ACHIEVE THIS END.
- MINIMUM SOIL AMENDMENT FOR TURF AREAS SHALL BE THREE CUBIC YARDS OF ORGANIC MATTER PER 1,000 SQUARE FEET AND LANDSCAPE PLANTING AREAS SHALL BE FILLED TO A MINIMUM DEPTH OF FOUR (4) INCHES.
- PRIOR TO ISSUE OF BUILDING PERMIT, A SOIL ANALYSIS SHALL BE CONDUCTED BY A PROFESSIONAL SOIL SCIENTIST FOR THE PROPERTY TO DETERMINE SOIL CONDITIONS AND PROPER SOIL AMENDMENT FOR THE LANDSCAPE AREA.
- THE LANDSCAPE PLAN SHALL MEET TOCR LANDSCAPE REGULATIONS AND PRINCIPLES AT TIME OF FINAL PD APPROVAL AND IRRIGATION PLANS MEET REGULATIONS AND WATER USE MANAGEMENT PLAN AT TIME OF CONSTRUCTION.
- MONOCULTURE BLUE GRAMA SEED AREAS SEEDED AT 22 LBS/ACRE.

IRRIGATION SYSTEM NOTES

- IRRIGATION SHALL OCCUR DURING REGULAR LARGE IRRIGATOR HOURS BETWEEN 11 P.M. AND 4 A.M. EVERY THIRD DAY USING THE CIRCLE, DIAMOND, AND SQUARE SYSTEM.
- THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
- THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 80-90 GPM (AS NOTED ON PLANS). THE STATIC PRESSURE AVAILABLE AT THE SITE IS 90 PSI MIN. NO BOOSTER PUMP WILL BE REQUIRED.

IRRIGATION DESIGN APPROACH:

TURF AREAS

SMALL AREAS (10 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH DRIP OR SUB-SURFACE IRRIGATION. NO ABOVE GROUND SPRAYS ARE ACCEPTABLE.

LARGE TURF AREAS (10.01' WIDE TO 25 FEET WIDE) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZED TO PROVIDE HEAD TO HEAD COVERAGE.

SHRUB BED AREAS

SHRUB BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.

PERENNIAL AND ANNUAL BED AREAS

PERENNIAL AND ANNUAL BED AREAS SHALL BE SPRAY IRRIGATED WITH 12" POP-UP SPRAY HEADS WITH A MAXIMUM SPACING OF 10'-0" O.C.

EROSION CONTROL SEED NOTES

I. SEED QUALITY

A. ALL BRANDS FURNISHED SHALL BE FREE FROM SUCH NOXIOUS WEEDS AS RUSSIAN OR CANADIAN THISTLE, COURSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAWEED, AND LEAFY SPURGE.

THE SUBCONTRACTOR SHALL FURNISH TO THE CONTRACTOR A SIGNED STATEMENT CERTIFYING THAT THE SEED FURNISHED IS FROM A LOT THAT HAS BEEN TESTED BY A RECOGNIZED LABORATORY. SEED THAT HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR IN STORAGE WILL NOT BE ACCEPTABLE.

II. MATERIALS

A. SEED (DRILLED ONLY, NO HYDROSEED)
1. SEED TYPE AND AMOUNT OF PURE LIVE SEED (PLS) REQUIRED PER ACRE SHALL BE AS FOLLOWS:

SPECIES	VARIETY	% OF MIX	#PLS/ACRE	#PLS/ACRE
WESTERN WHEATGRASS	ARRIBA	40%	13.7	27.5
SIDE OATS GRAMA	NATIVE	20%	3.9	7.8
SWITCHGRASS	BLACKWELL	10%	1.1	2.2
BLUE GRAMA	NATIVE	10%	0.7	1.3
GREEN NEEDLEGRASS	LORDORN	10%	2.1	4.3
BUFFALO GRASS	SHARP'S IMP.	10%	3.5	6.9

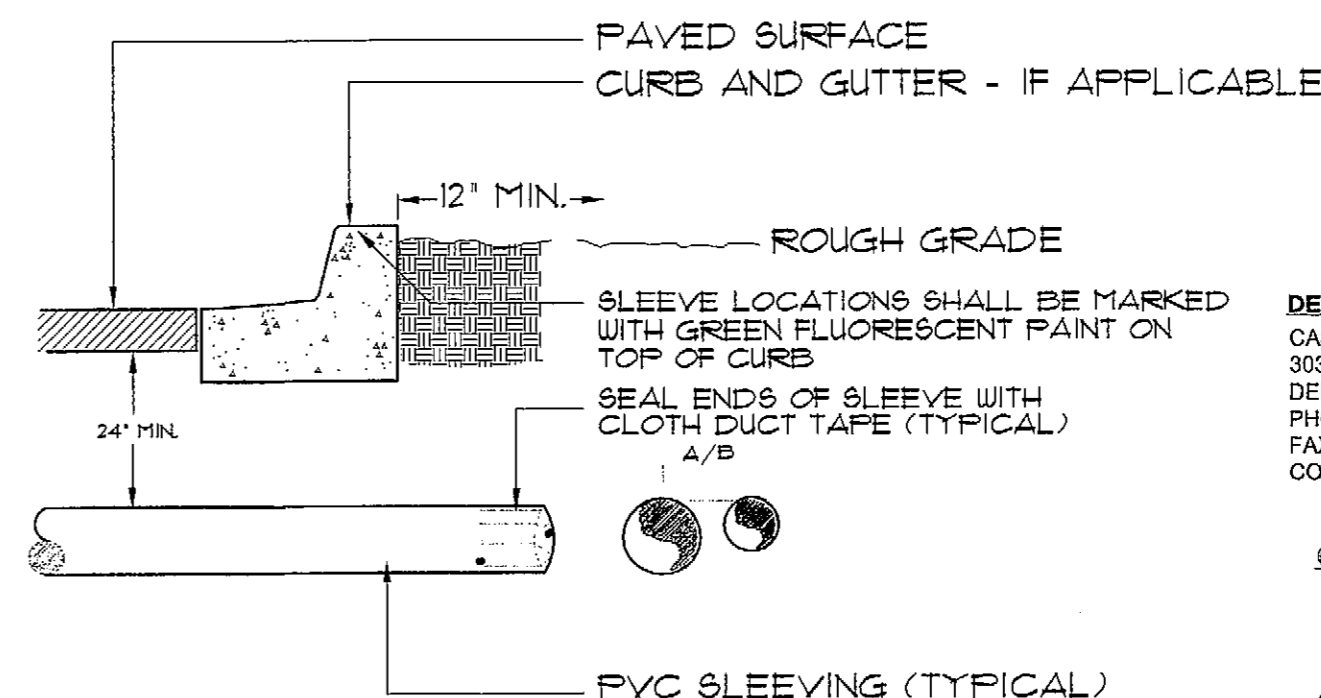
IF A SPECIES IS NOT AVAILABLE, INCREASE THE OTHER SPECIES IN THE MIX PROPORTIONATELY. IF THE VARIETY LISTED ABOVE IS NOT AVAILABLE, ANOTHER VARIETY MAY BE SUBSTITUTED.

THE STANDARD SEEDING RATE SHALL BE 25 LBS OF PURE LIVE SEED PER ACRE FOR DRILL SEEDING. FOR SLOPES 3:1 OR GREATER OR WHEN HAND BROADCASTING THE HIGH SEEDING RATE OF 50 LBS PER ACRE SHALL BE USED.

2. IF THE SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE SUBCONTRACTOR MUST COMPENSATE FOR A LESSER PERCENTAGE OF PURITY OR GERMINATION BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT. THE TAGS FROM THE SEED MIXES MUST BE SUPPLIED TO THE CONTRACTOR AND FORWARDED TO A DOUGLAS COUNTY EROSION INSPECTOR.

3. THE FORMULA USED FOR DETERMINING THE QUALITY OF PURE LIVE SEED (PLS) SHALL BE: (SEED) x (PURITY) x (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS).

SLEEVING DETAIL



NOTE: ALL SLEEVING TO BE CLASS 200 PVC, SIZE AS NOTED.

IRRIGATION DESIGNER:

HydroSystems-KDI, Inc.
300 Union Blvd Suite 400
Littleton, Colorado 80120
303-980-3232
303-980-5584

LANDSCAPE SUMMARY TABLE

	SQUARE FOOTAGE	PERCENTAGE
IRRIGATED FINE FESCUE TURF	174,999	6%
IRRIGATED BLUEGRASS TURF	31,187	1%
IRRIGATED TALL GRASS	540,520	16%
IRRIGATED WILDFLOWERS	24,824	0.8%
NON-IRRIGATED TALL GRASS	2,450,840	74%
IRRIGATED PERENNIALS	6,895	0.2%
IRRIGATED SHRUBS	75,864	2%
TOTAL AREA LANDSCAPE	3,305,129	100%
NON-DISTURBED AREAS	905,728 SF	
REQUIRED TREES/SHRUBS:	N/A	
PROVIDED TREES/SHRUBS:	1483 TREES 7410 SHRUBS	

NOTES

1. LANDSCAPE SUMMARY TABLE EXCLUDES AREAS OF EROSION CONTROL SEED.

2. POCKET PARKS AREA SUMMARY

TRACT E: 8,705 SF IRRIGATED BLUEGRASS TURF

TRACT T: 10,235 SF IRRIGATED BLUEGRASS TURF

TRACT X: 9,380 SF IRRIGATED BLUEGRASS TURF

3. THE FORMULA USED FOR DETERMINING THE QUALITY OF PURE LIVE SEED (PLS) SHALL BE: (SEED) x (PURITY) x (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS).

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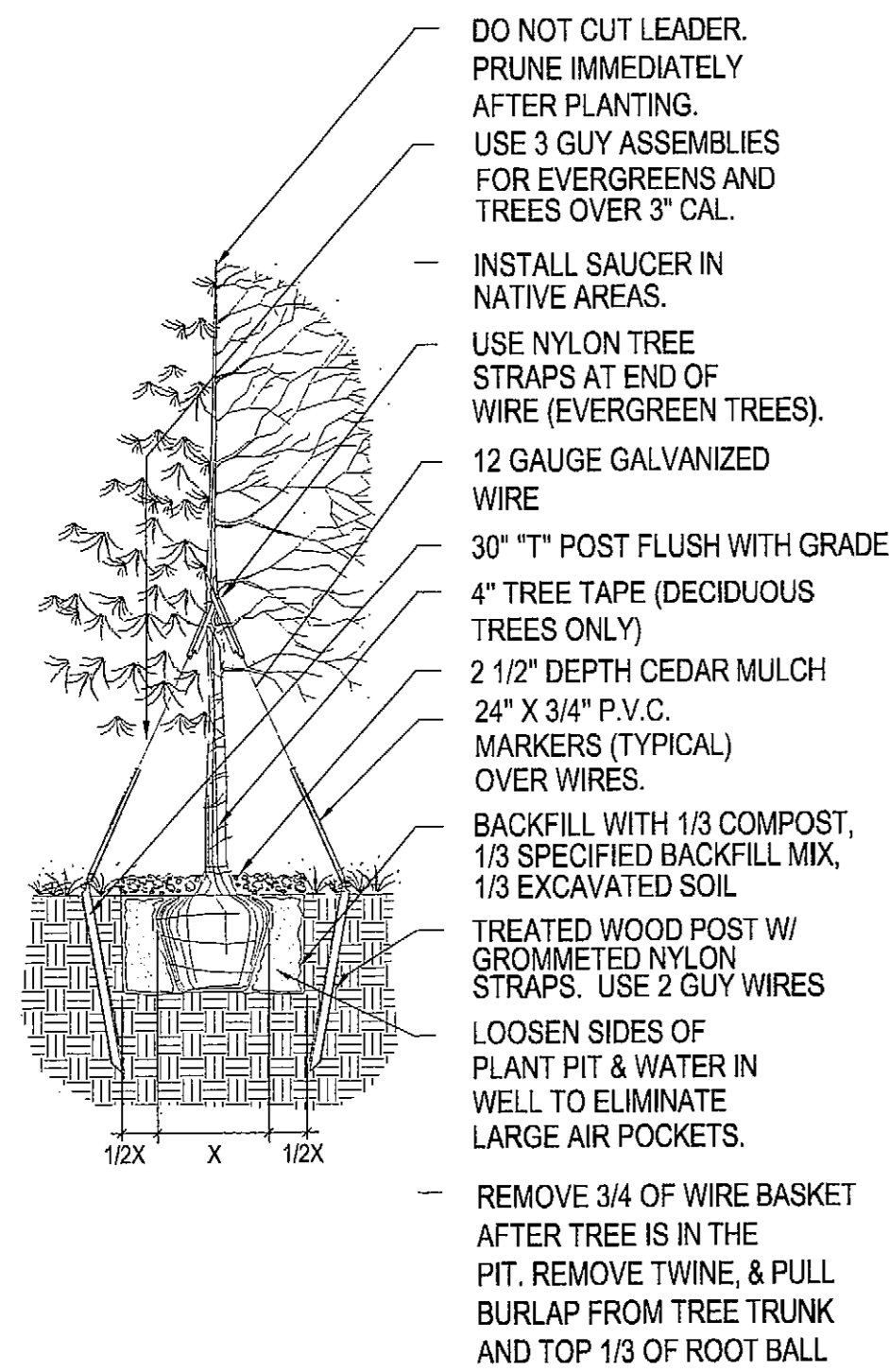
MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
LANDSCAPE NOTES AND PLANT SCHEDULE
SHEET 30 OF 38

THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE 1/4, NE 1/4, AND NW 1/4 OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE 1/4, SE 1/4 AND SW 1/4 OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

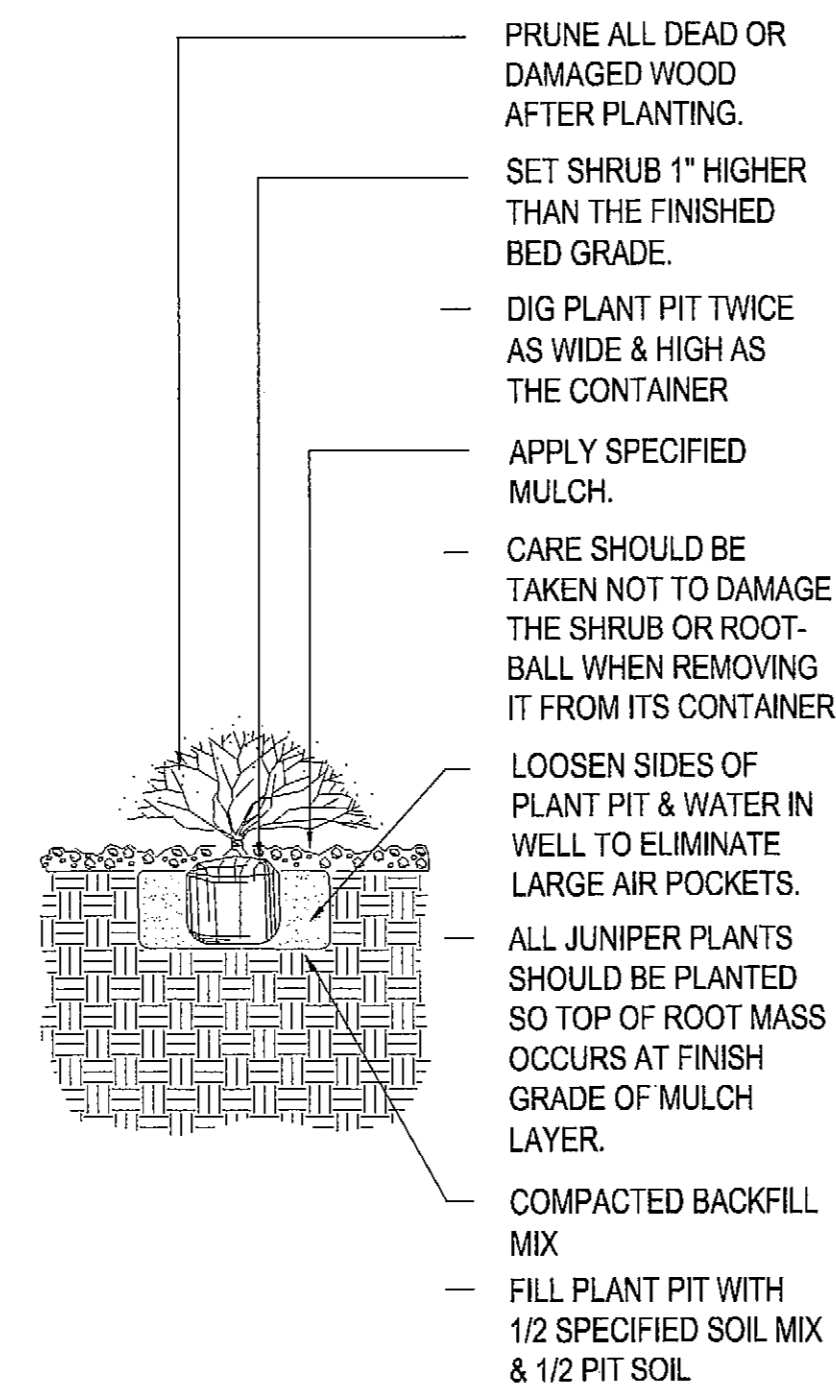
PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 31 OF 38



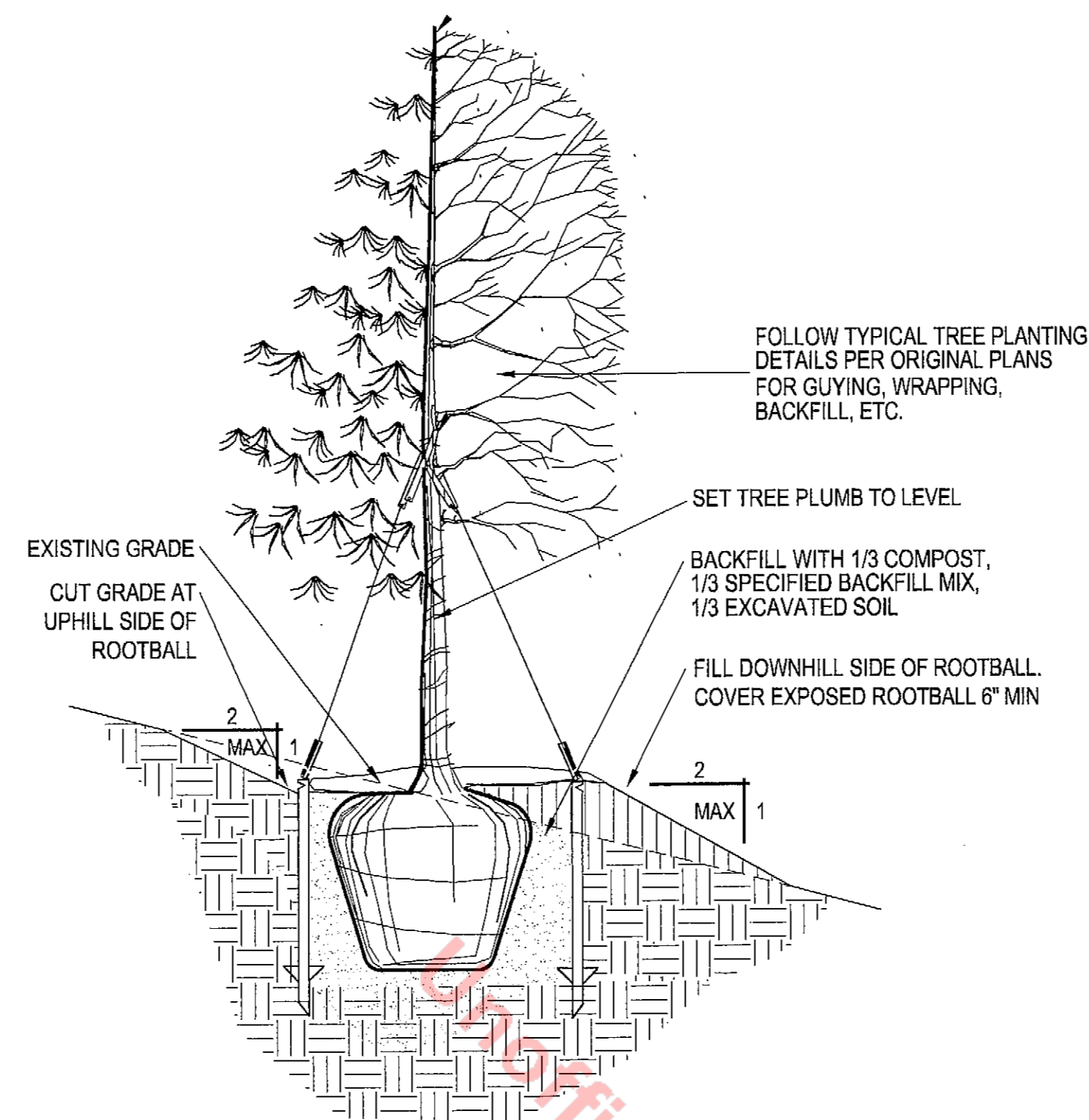
NOTE: SET TOP OF ROOT BALL 2" TO 3" ABOVE SURROUNDING FINISH GRADE.

TREE PLANTING DETAIL



NOTE: BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.

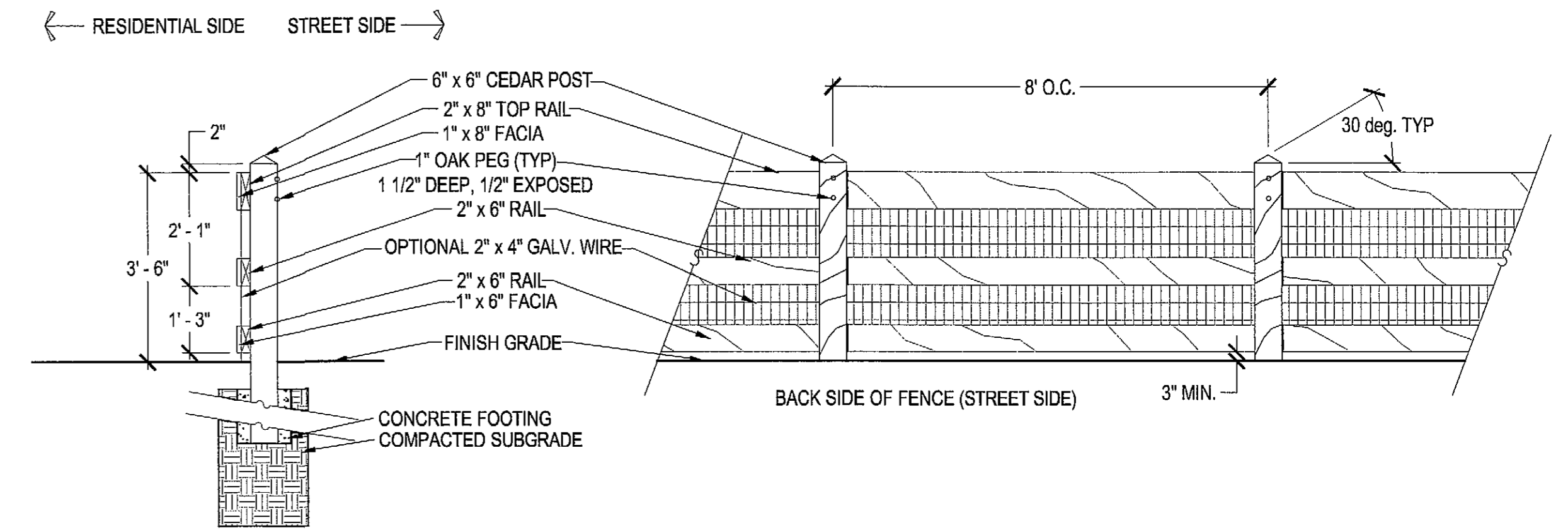
SHRUB PLANTING DETAIL



NOTE: THIS INSTALLATION SHALL APPLY TO ALL TREE TYPES AND SIZES PLANTED ON SLOPES LESS THAN 2:1

TREE PLANTING ON SLOPE

NOT TO SCALE



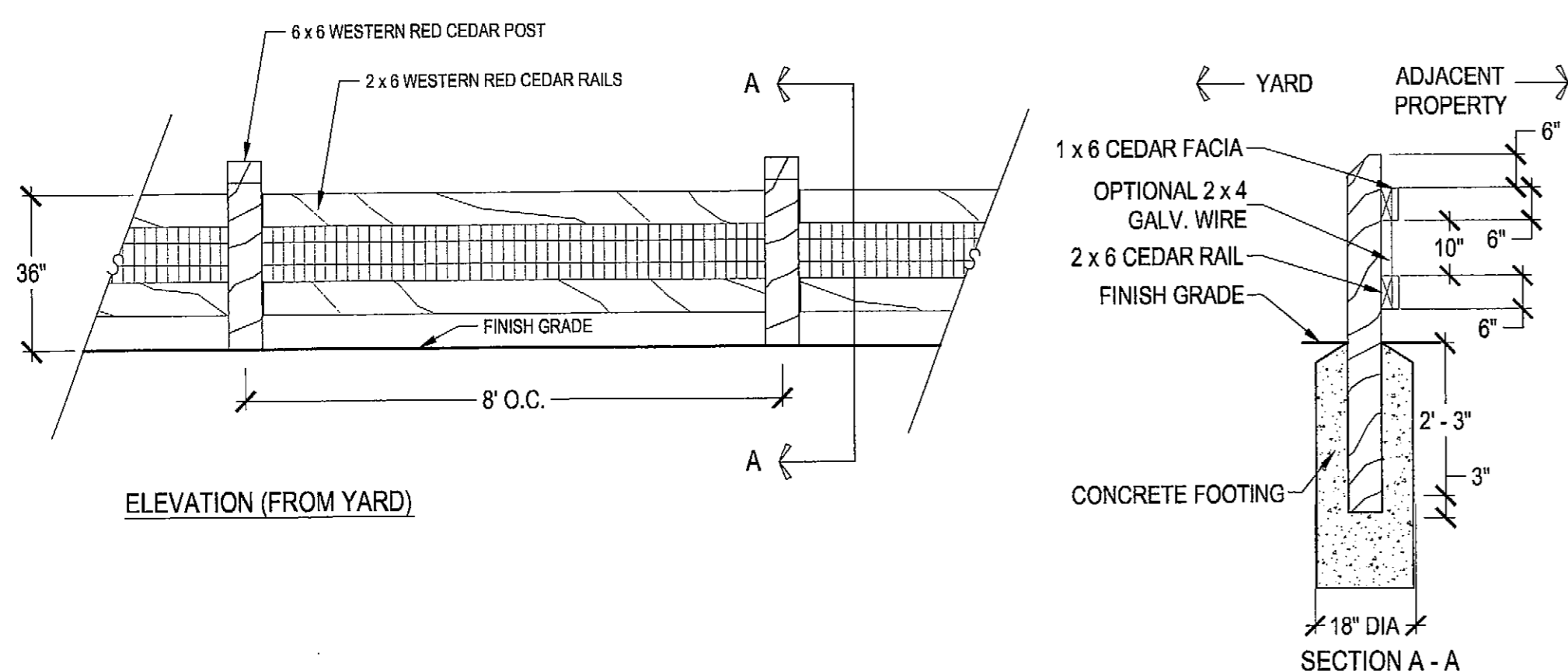
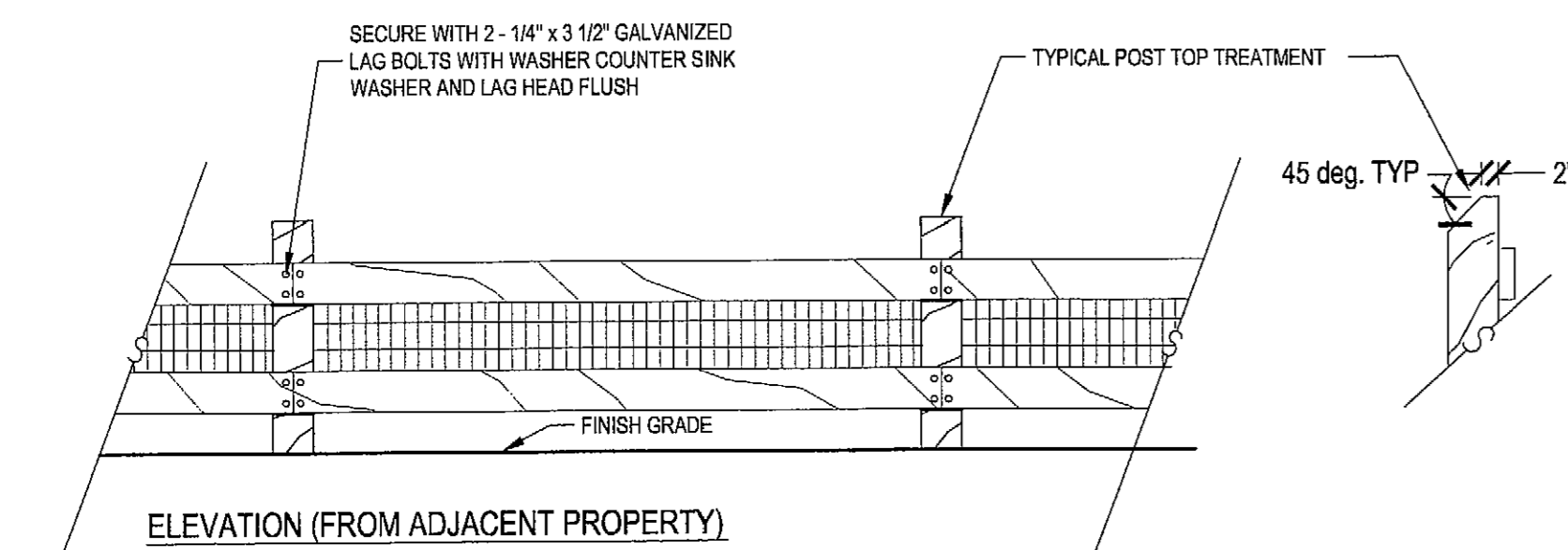
1 3-RAIL OPEN FENCE

31

NOT TO SCALE

FENCE NOTES:

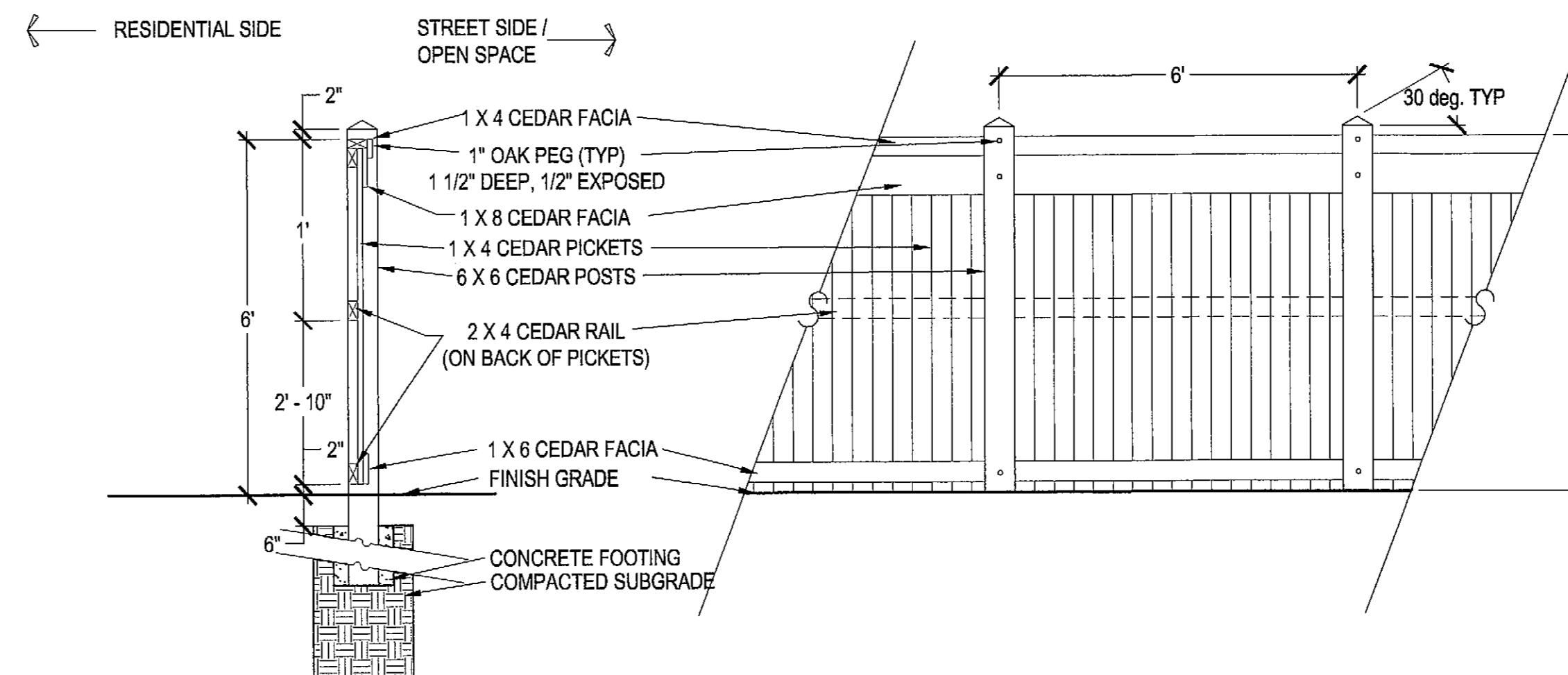
1. INTERIOR REAR YARD FENCES (NOT SHOWN ON THESE DRAWINGS) ARE THE RESPONSIBILITY OF THE HOMEOWNER.
2. ALL TRANSITIONS FROM OPEN RAIL FENCE TO PRIVACY FENCE SHALL BE GRADUAL & AT LEAST 8 FEET IN LENGTH.
3. FENCES SHALL BE OF WESTERN RED CEDAR NO.2, DRY ROUGH SAWN, 4 SIDES W/ OLYMPIC WEATHERSCREEN SEMITRANSSPARENT STAIN #716 NATURAL TONE CEDAR.
4. FENCES TO BE SET BACK A MINIMUM OF 3' FROM WALK.
5. REFER TO THE APPROVED ARCHITECTURAL GUIDELINES FOR MORE INFORMATION REGARDING FENCE CONSTRUCTION.
6. GALVANIZED WIRE MESH IS OPTIONAL ON ALL 2-RAIL AND 3-RAIL FENCES FOR PET ENCLOSURE.



2 2-RAIL OPEN FENCE

31

NOT TO SCALE



3 6' PRIVACY FENCE

31

NOT TO SCALE

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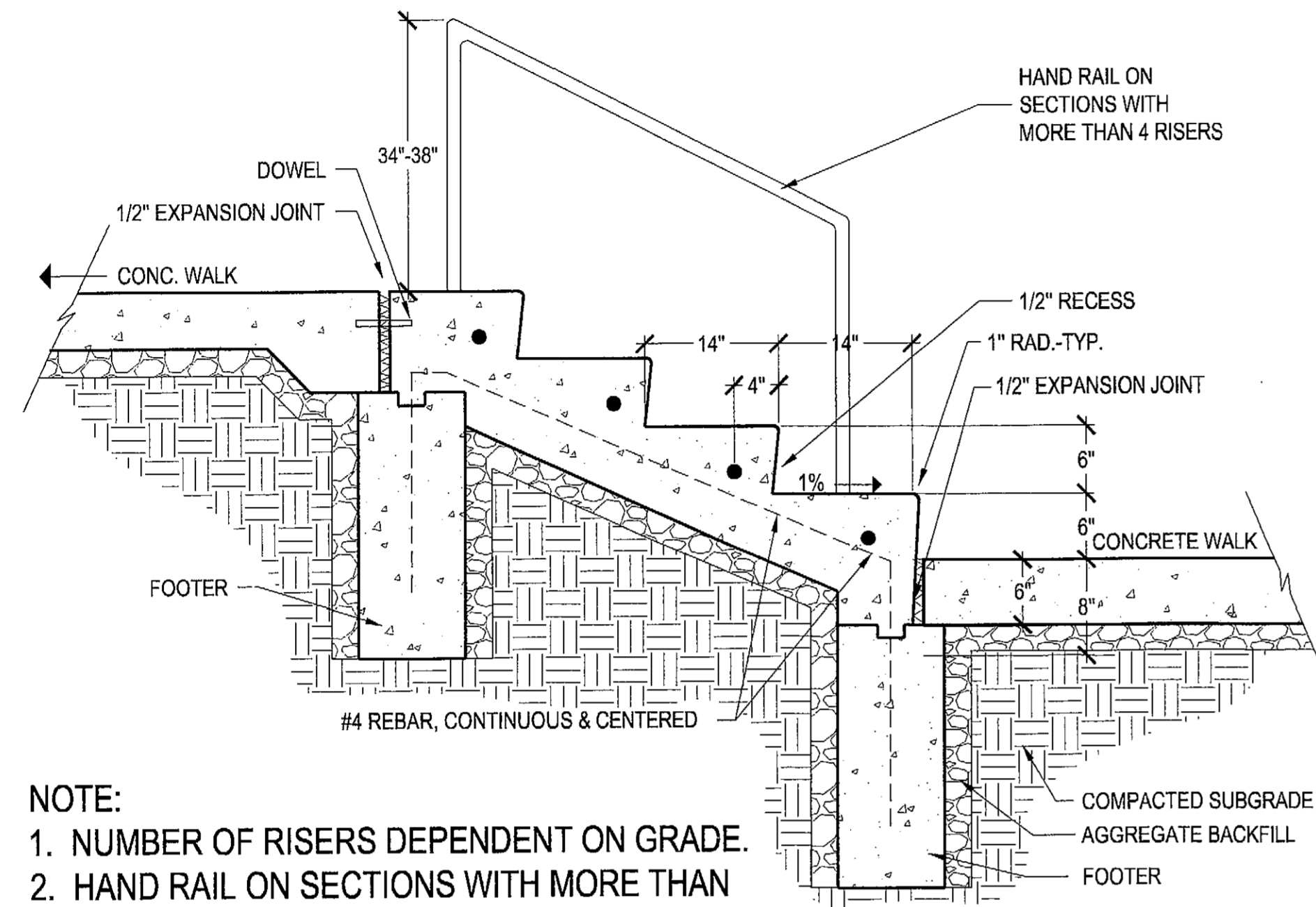
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CONTACT:
SCOTT PEASE

THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE 1/4, NE 1/4, AND NW 1/4 OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE 1/4, SE 1/4 AND SW 1/4 OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT AND FINAL PD SITE PLAN

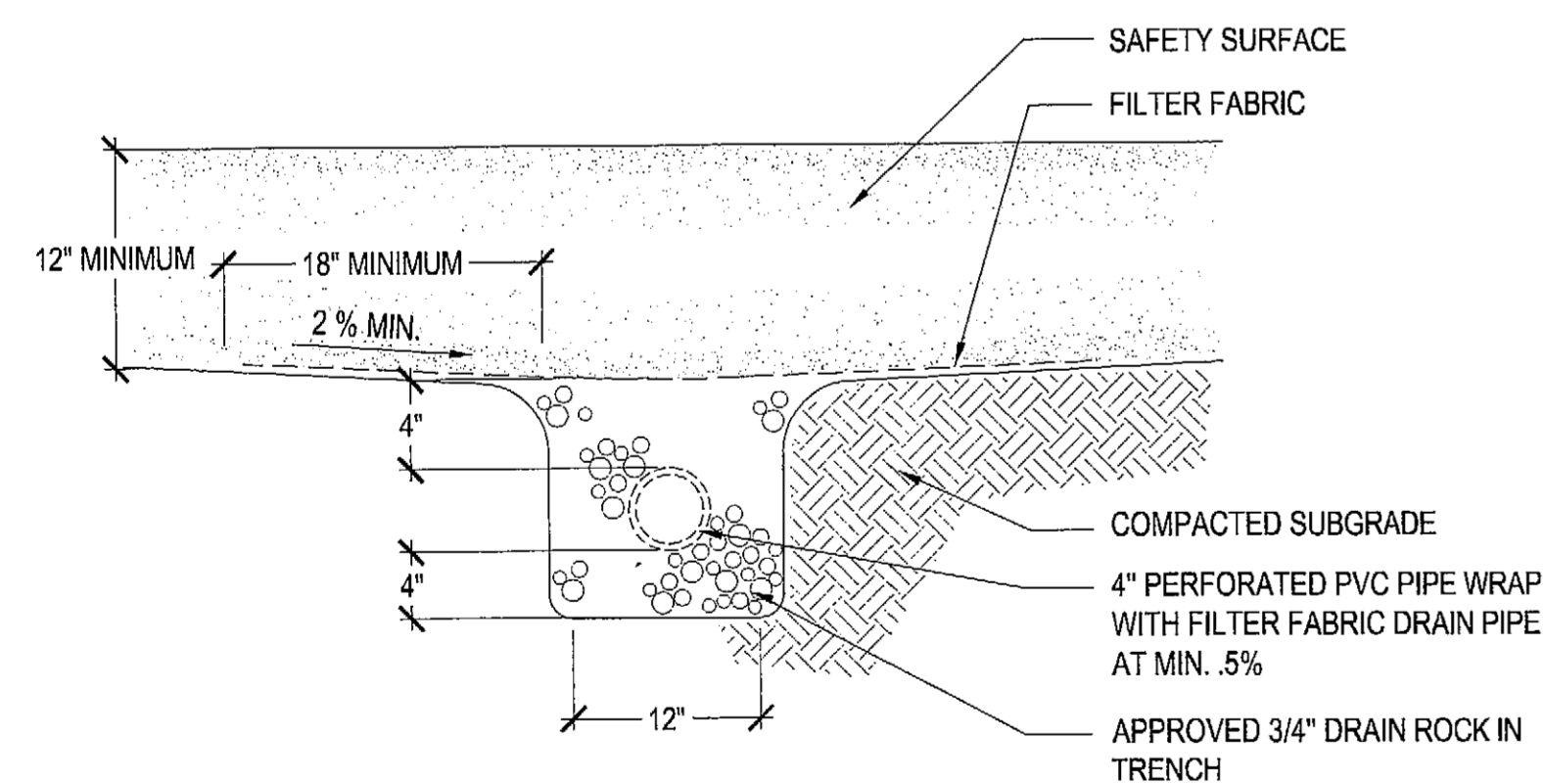
SHEET 32 OF 38



- NOTE:
 1. NUMBER OF RISERS DEPENDENT ON GRADE.
 2. HAND RAIL ON SECTIONS WITH MORE THAN 4 RISERS

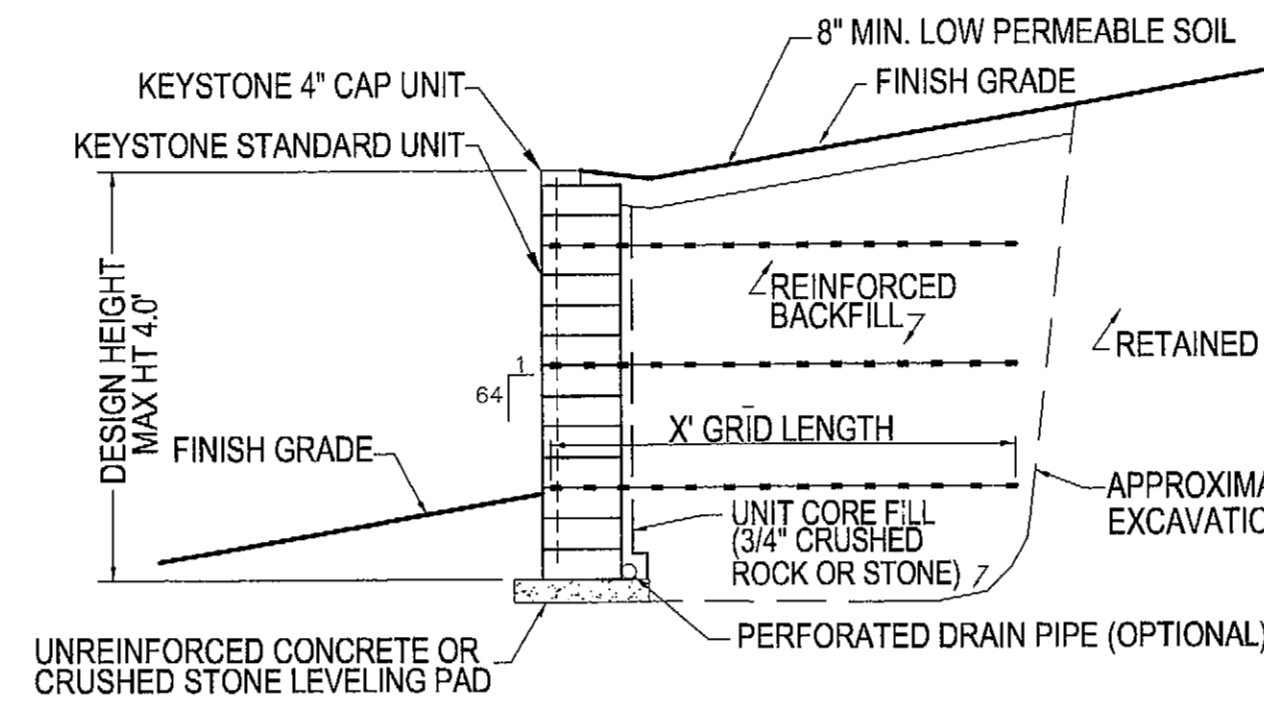
1 TYPICAL STAIRS DETAIL

32 NOT TO SCALE



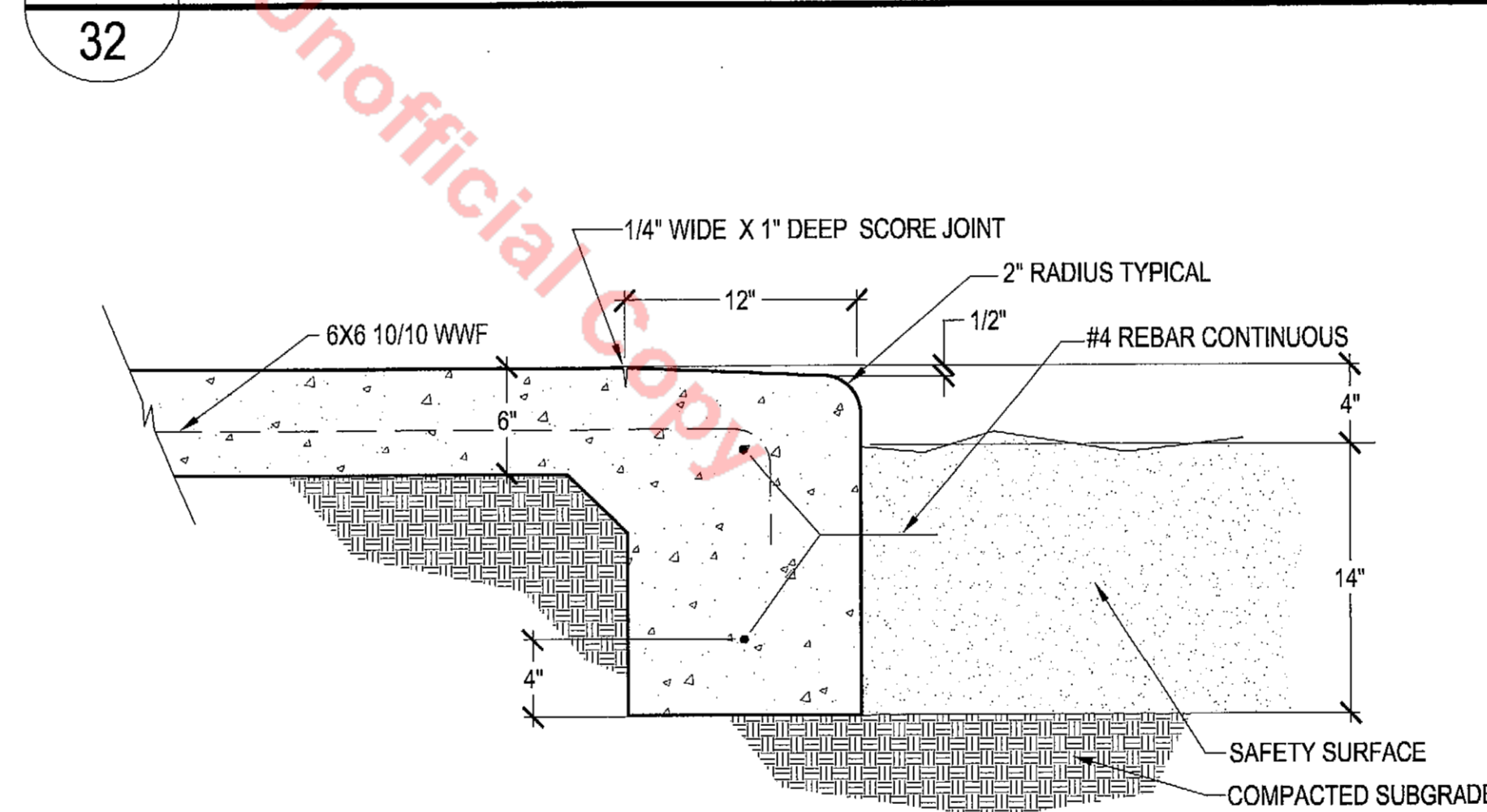
3 PLAYGROUND DRAIN

32 NOT TO SCALE



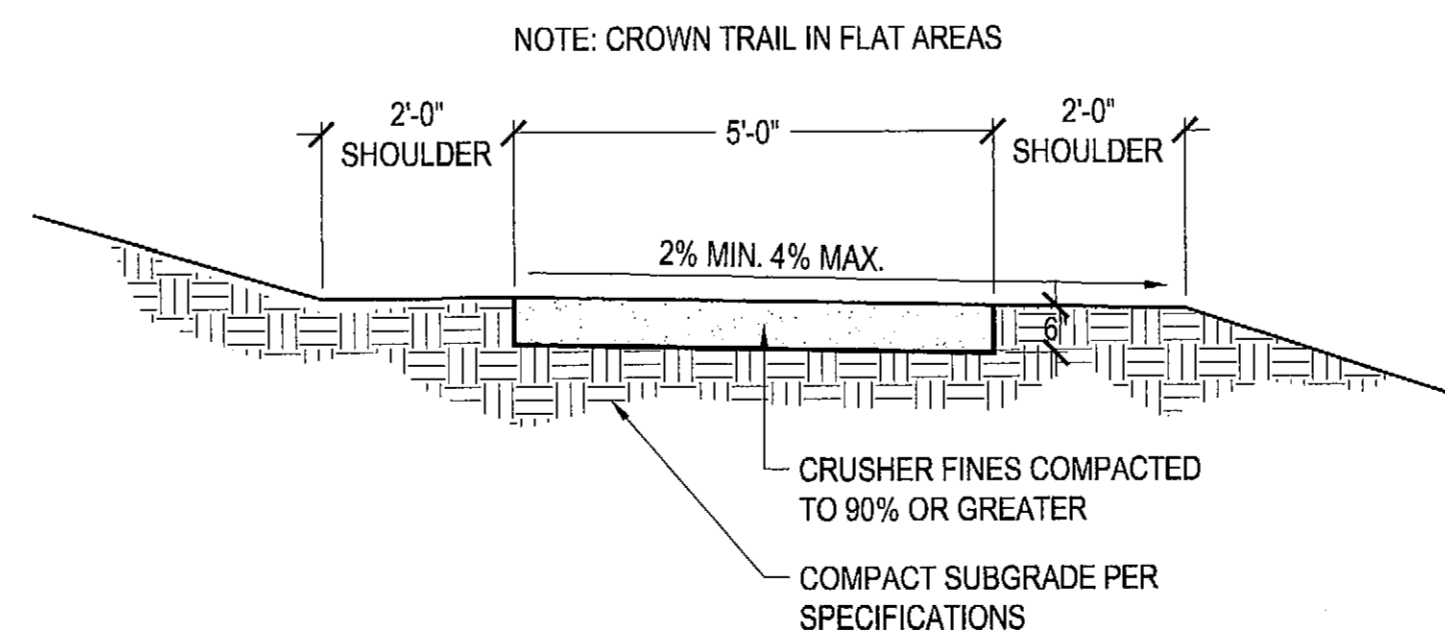
TYPICAL RETAINING WALL
 STANDARD UNIT - NEAR VERTICAL SETBACK
 FINAL DESIGN BY MANUFACTURER

2 KEYSTONE RETAINING WALL



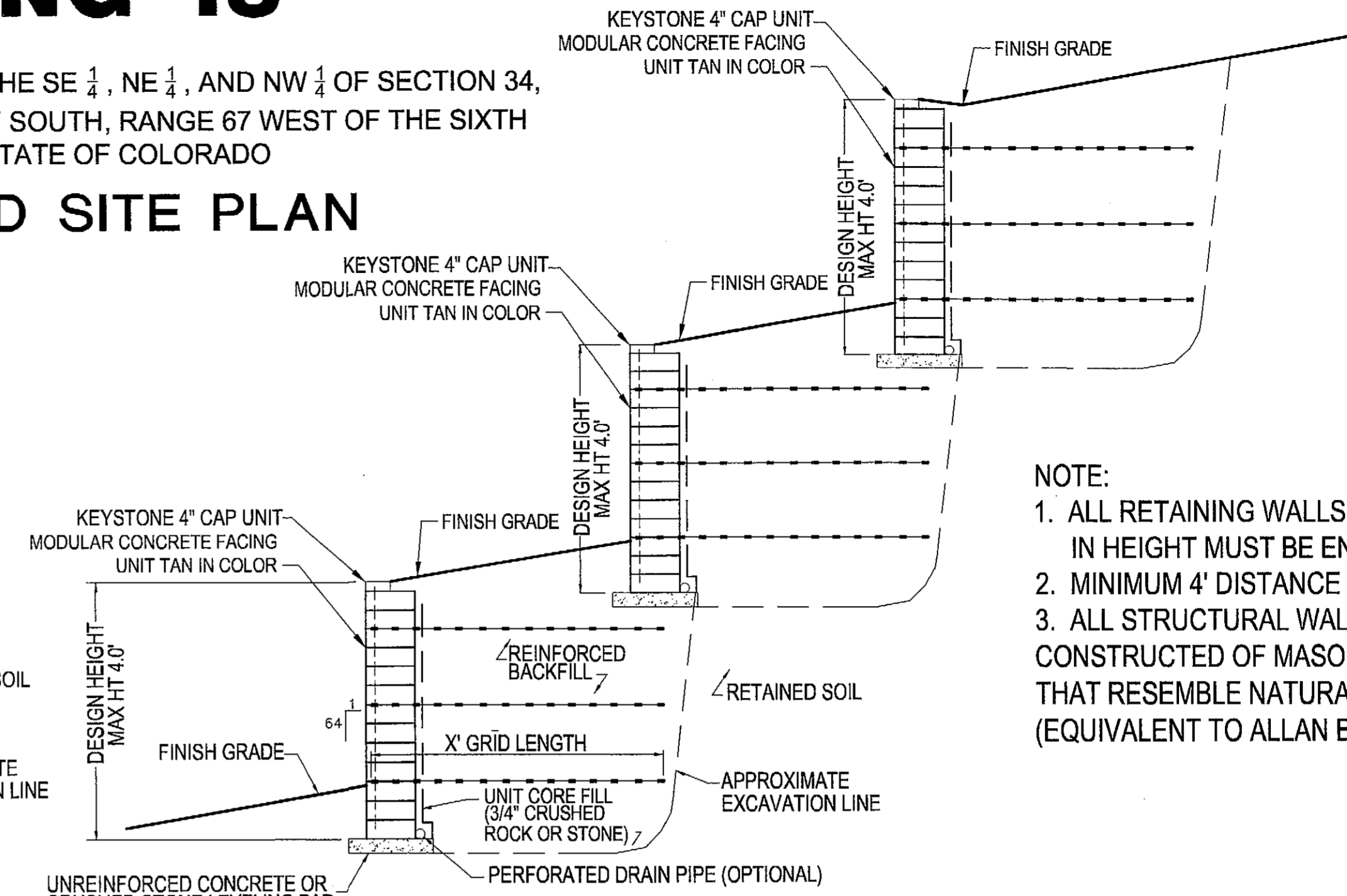
4 PLAYGROUND EDGE @ SIDEWALK

32 NOT TO SCALE

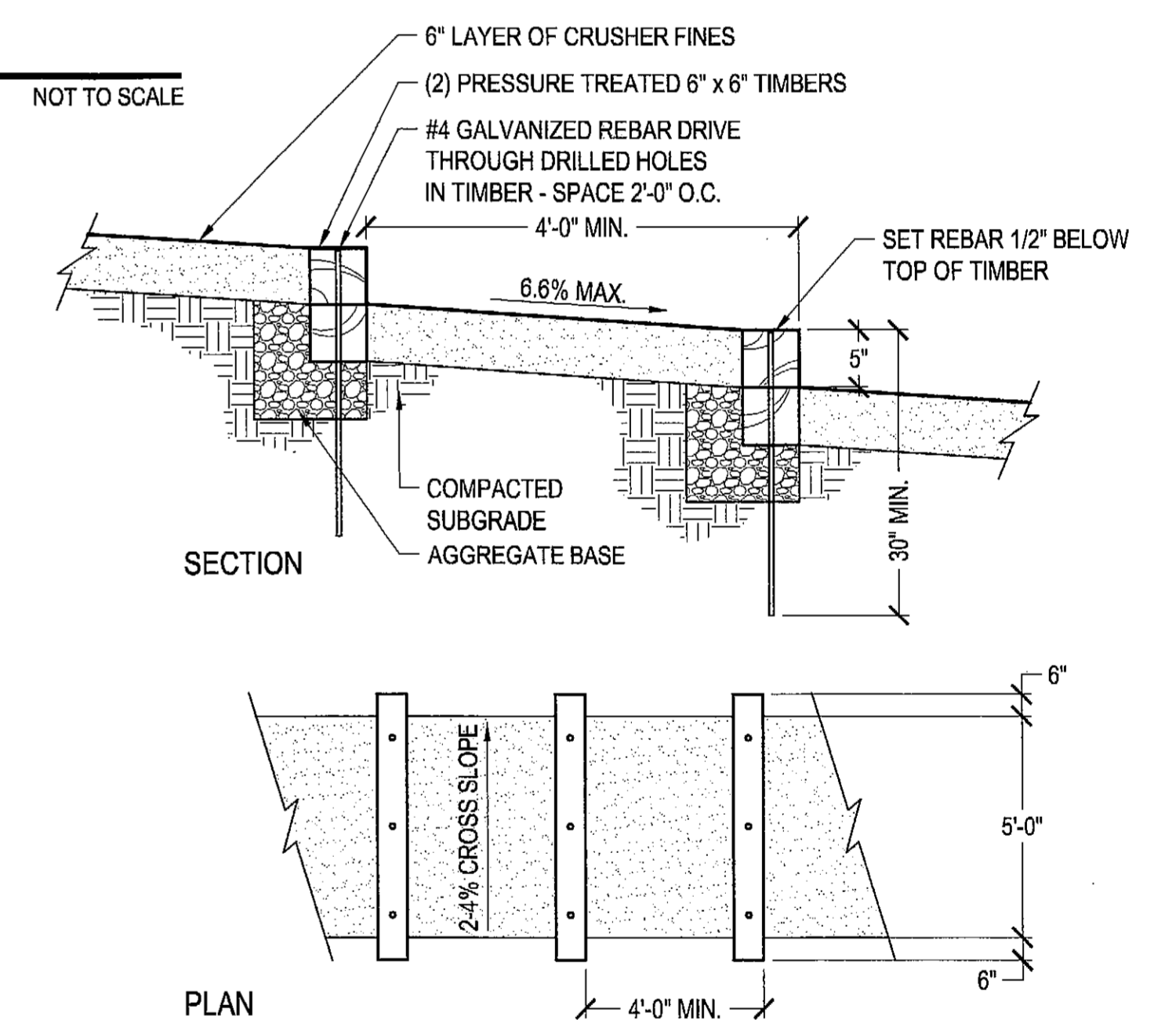


6 CRUSHER FINES TRAIL

32 NOT TO SCALE



- NOTE:
 1. ALL RETAINING WALLS EXCEEDING 4' IN HEIGHT MUST BE ENGINEERED.
 2. MINIMUM 4' DISTANCE BETWEEN WALLS.
 3. ALL STRUCTURAL WALLS WILL BE CONSTRUCTED OF MASONRY MATERIALS THAT RESEMBLE NATURAL MATERIALS- (EQUIVALENT TO ALLAN BLOCK WALL MATERIALS.)



5 TYPICAL TRAIL STAIRS DETAIL

32 NOT TO SCALE

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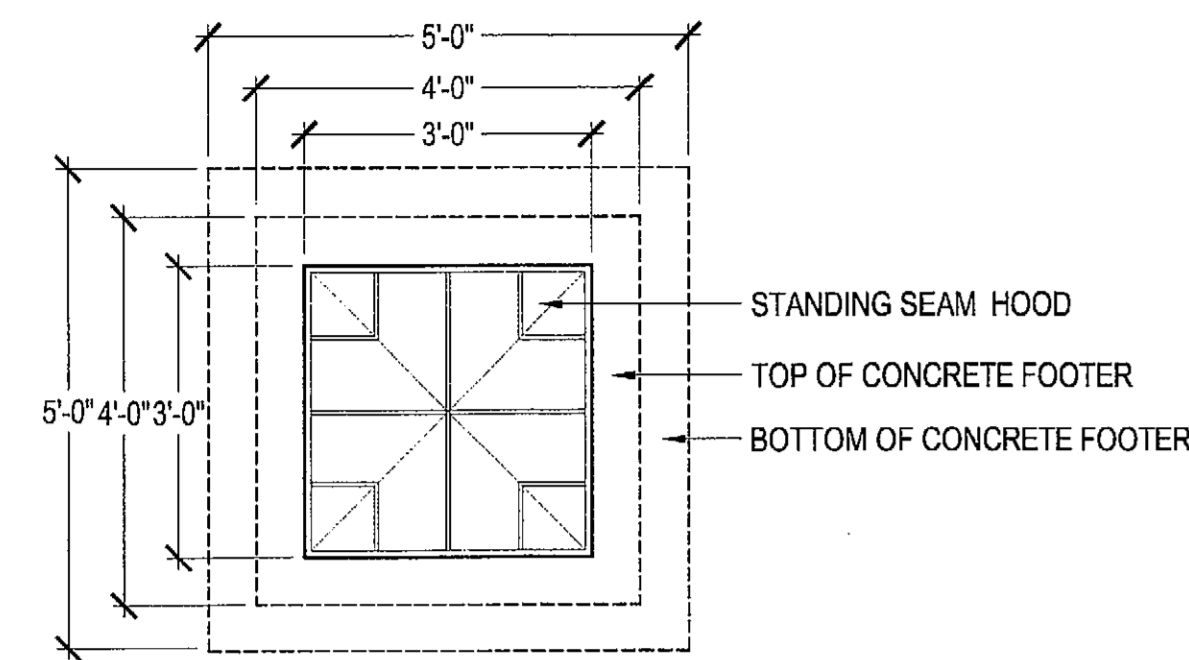
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THE MEADOWS FILING 18

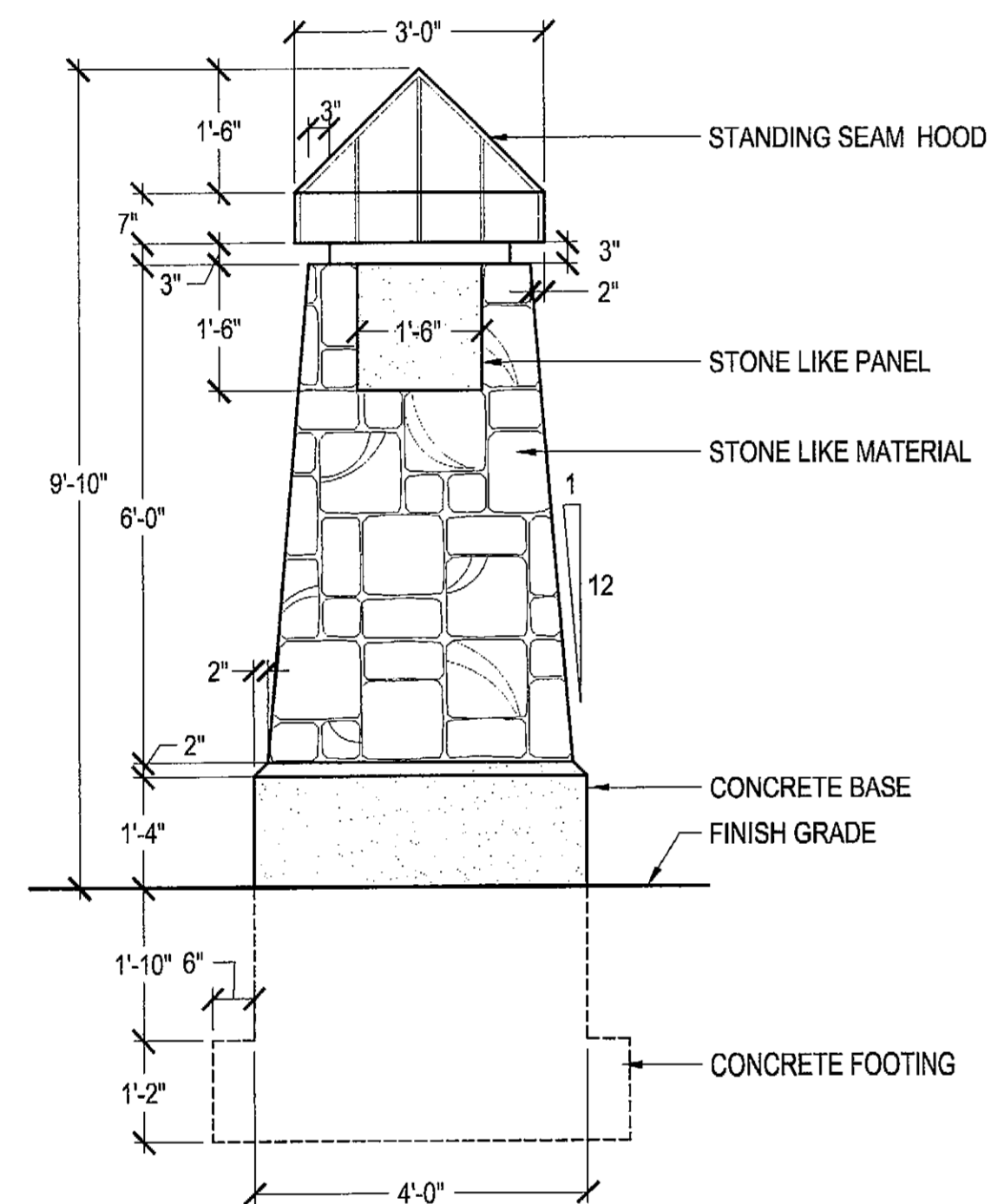
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PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 33 OF 38

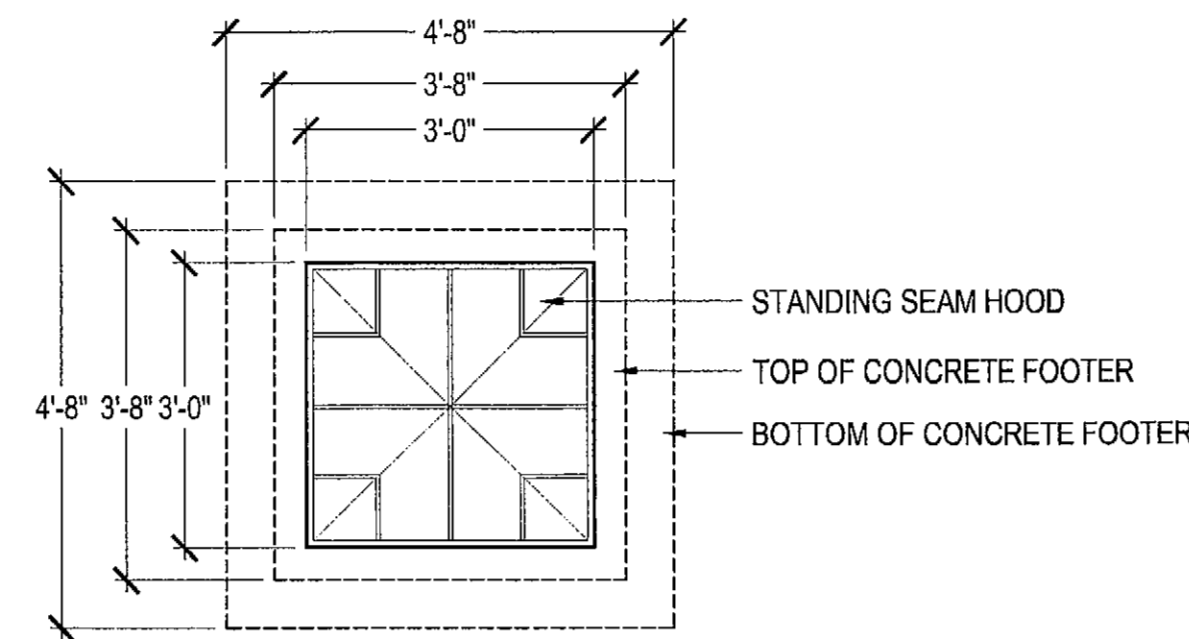


TOP VIEW

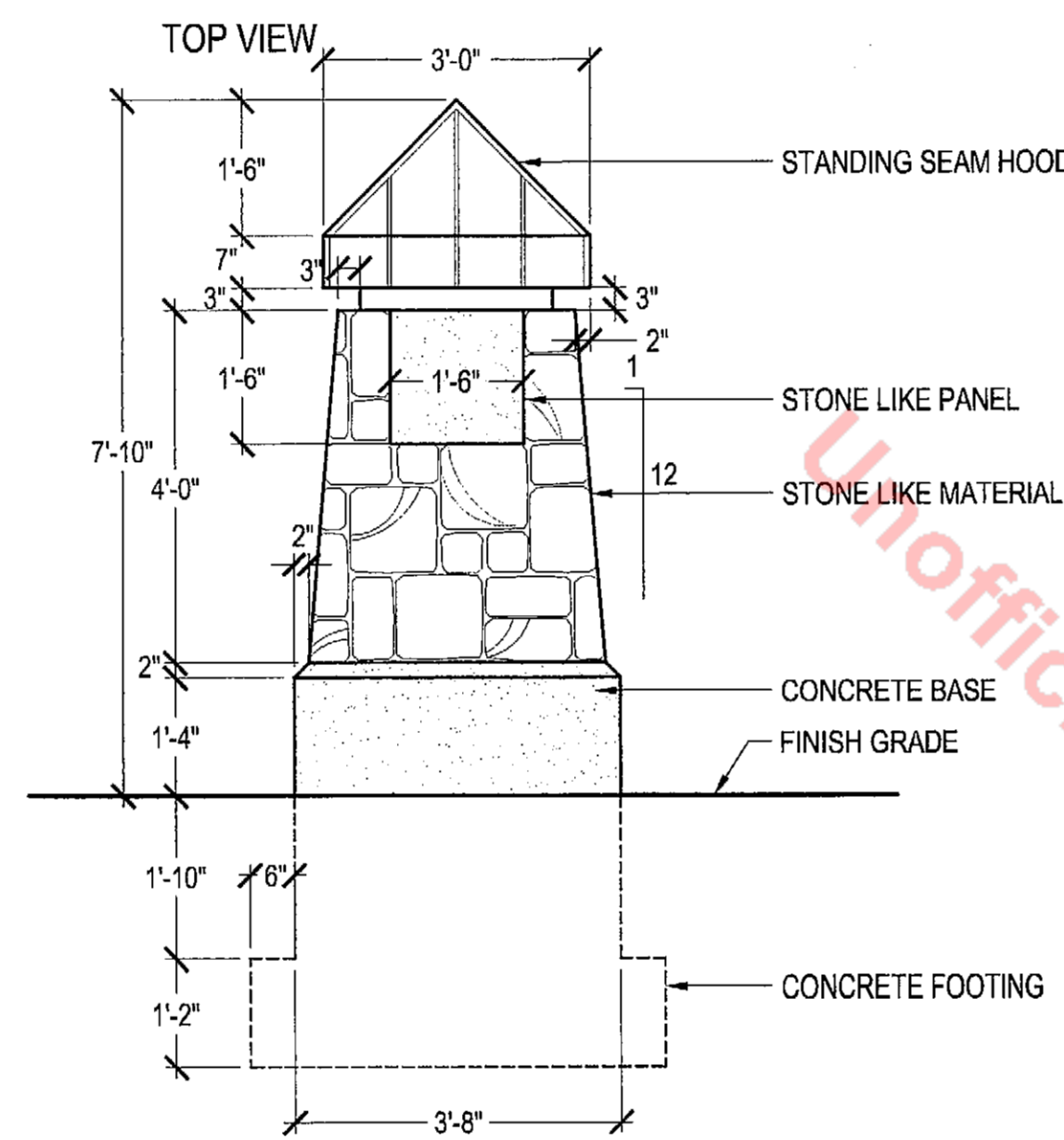


FRONT VIEW

1 LARGE COLUMN
33 Scale: 1/2" = 1'

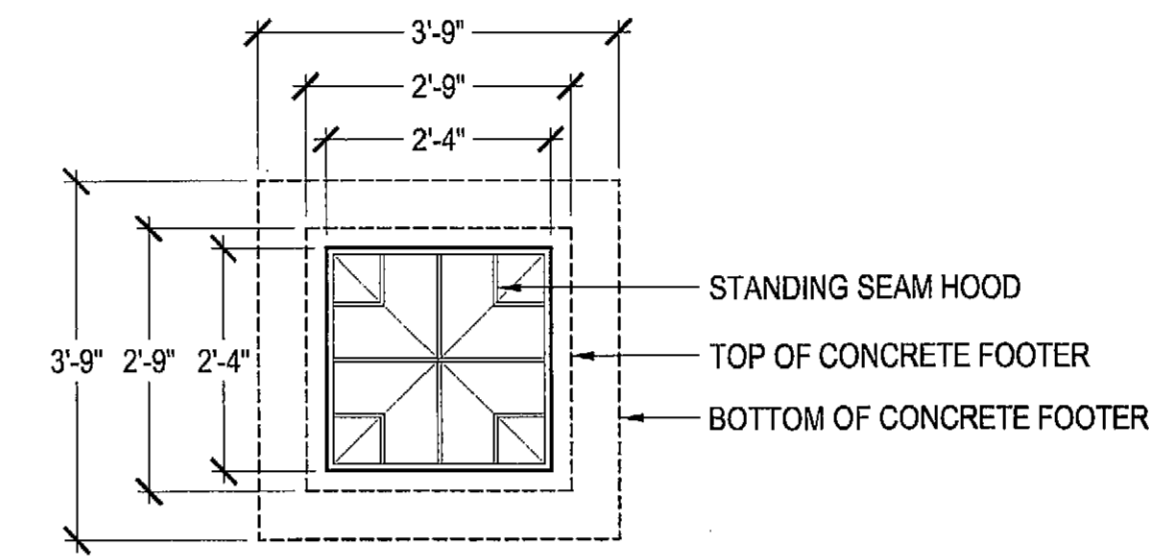


TOP VIEW

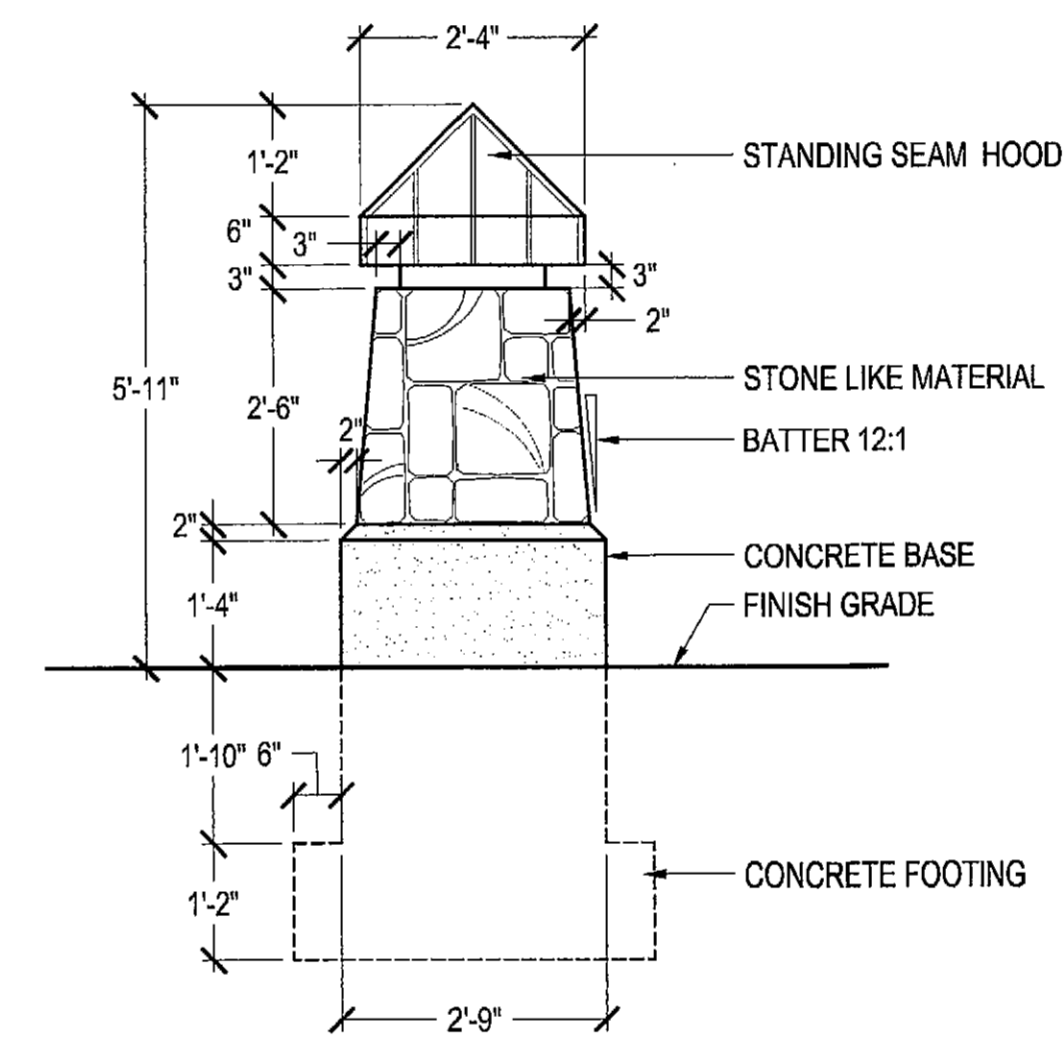


FRONT VIEW

2 MEDIUM COLUMN
33 Scale: 1/2" = 1'



TOP VIEW

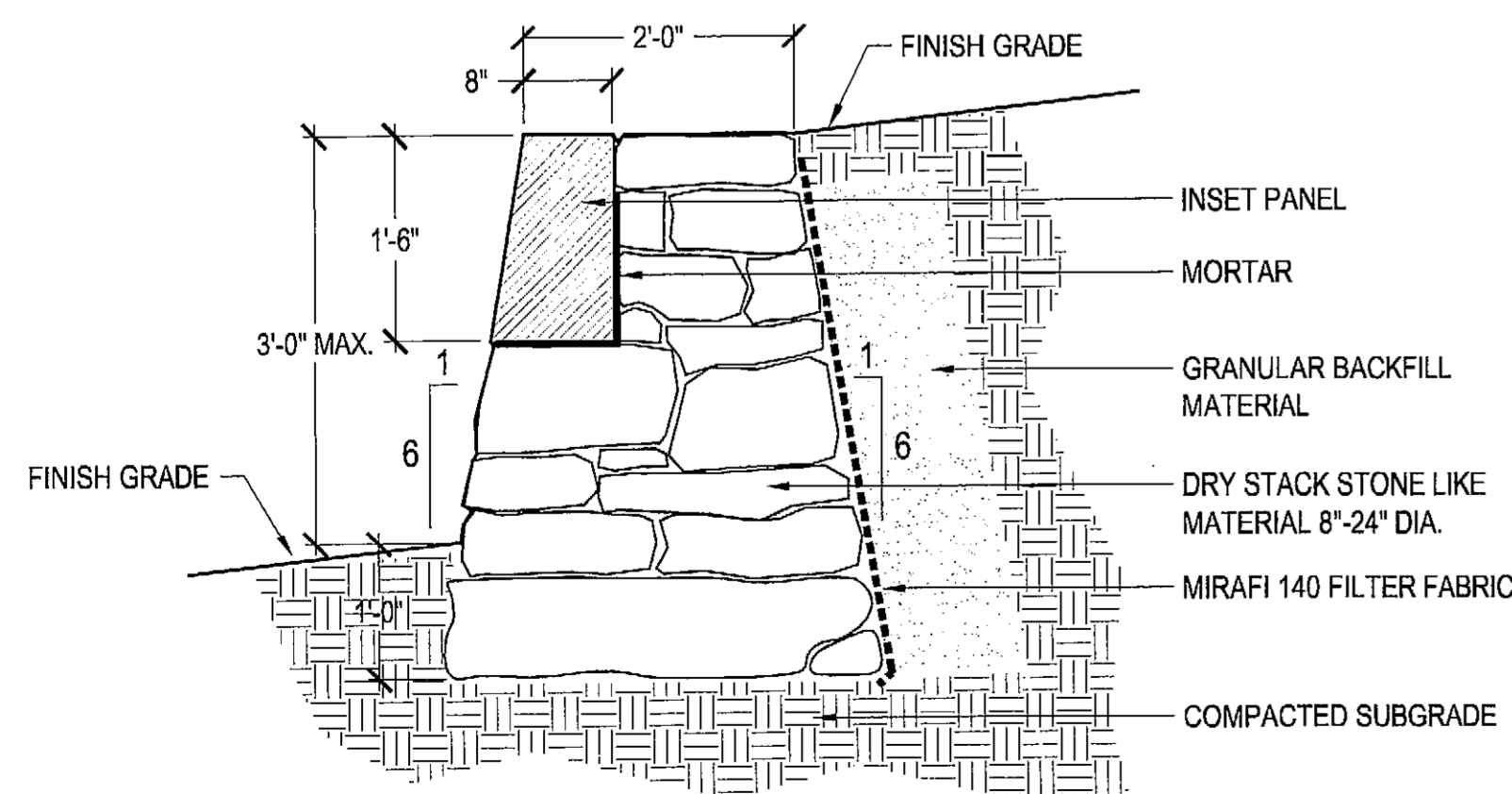


FRONT VIEW

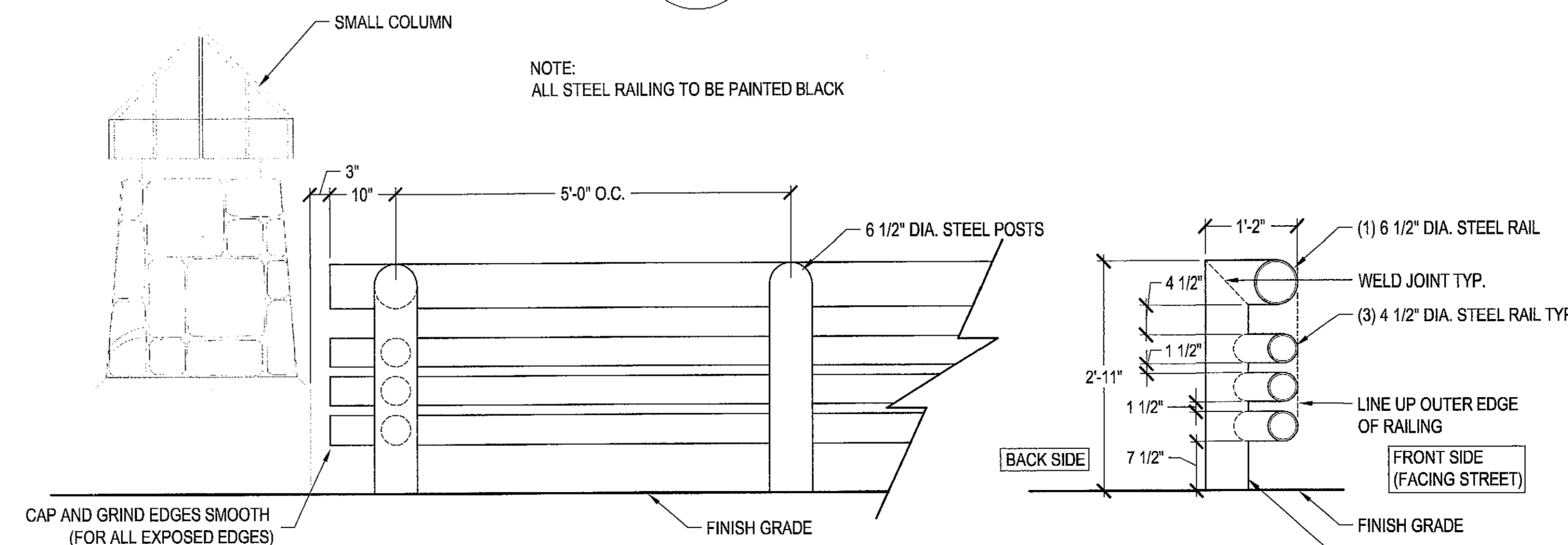
3 SMALL COLUMN
33 Scale: 1/2" = 1'

NOTES:

1. ALL STONE OR STONE LIKE MATERIAL SHALL BE SOUND, DURABLE, FREE FROM REEDS, RIFTS, SEAMS, LAMINATIONS, AND MINERALS WHICH WOULD CAUSE DISCOLORATION OR DETERIORATION FROM WEATHERING.
2. THE MINIMUM SIZE OF STONE LIKE MATERIAL TO BE USED SHALL BE FOUR INCHES IN DEPTH OR RISE, NINE INCHES IN WIDTH AND TWELVE INCHES LONG. STONE LIKE MATERIAL SIZE SHALL BE ACCEPTABLE TO THE OWNER AND THE ENGINEER.
3. WALLS ARE TO BE CONSTRUCTED ON COMPACTED SUBGRADE TO 95 % AASHTO.
4. SUBGRADE BELOW WALL IS TO BE LEVEL IN TRAVERSE DIRECTION. SUBGRADE SHALL NOT EXCEED 5% LONGITUDINAL DIRECTION (STEP SUBGRADE IF GREATER THAN 5 %).
5. ROCK WEIGHT IS NOT TO BE LESS THAN 130 POUNDS PER CUBIC FOOT.
6. THE STONE LIKE MATERIAL FOR THE WALL SHALL BE LAID TO FORM SUBSTANTIAL MASONRY PRESENTING A NEAT, FINISHED APPEARANCE.



4 DRY STACK WALL
33 Scale: 3/4" = 1'



5 STEEL RAILING
33 Scale: 3/4" = 1'

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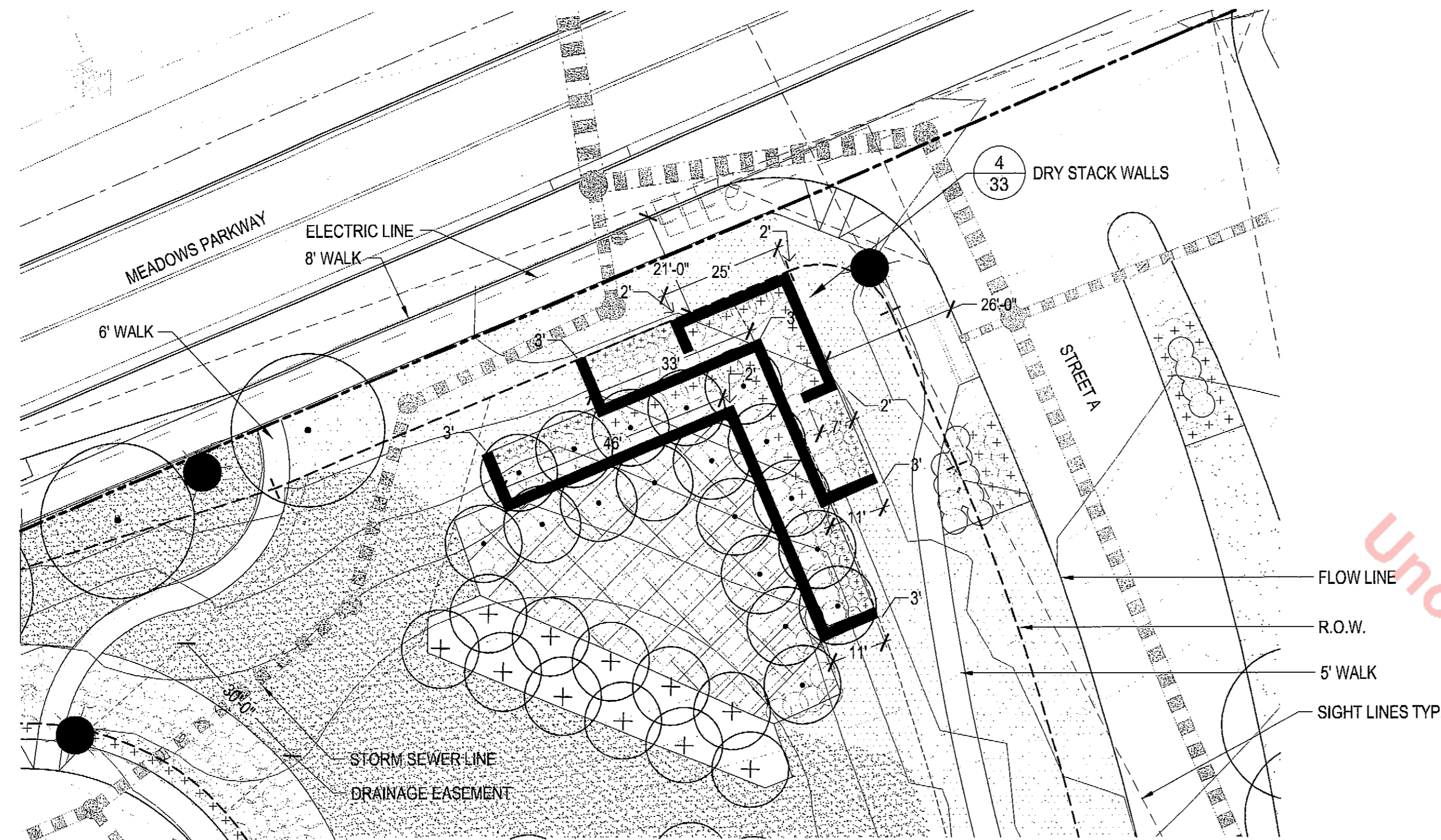
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THE MEADOWS FILING 18

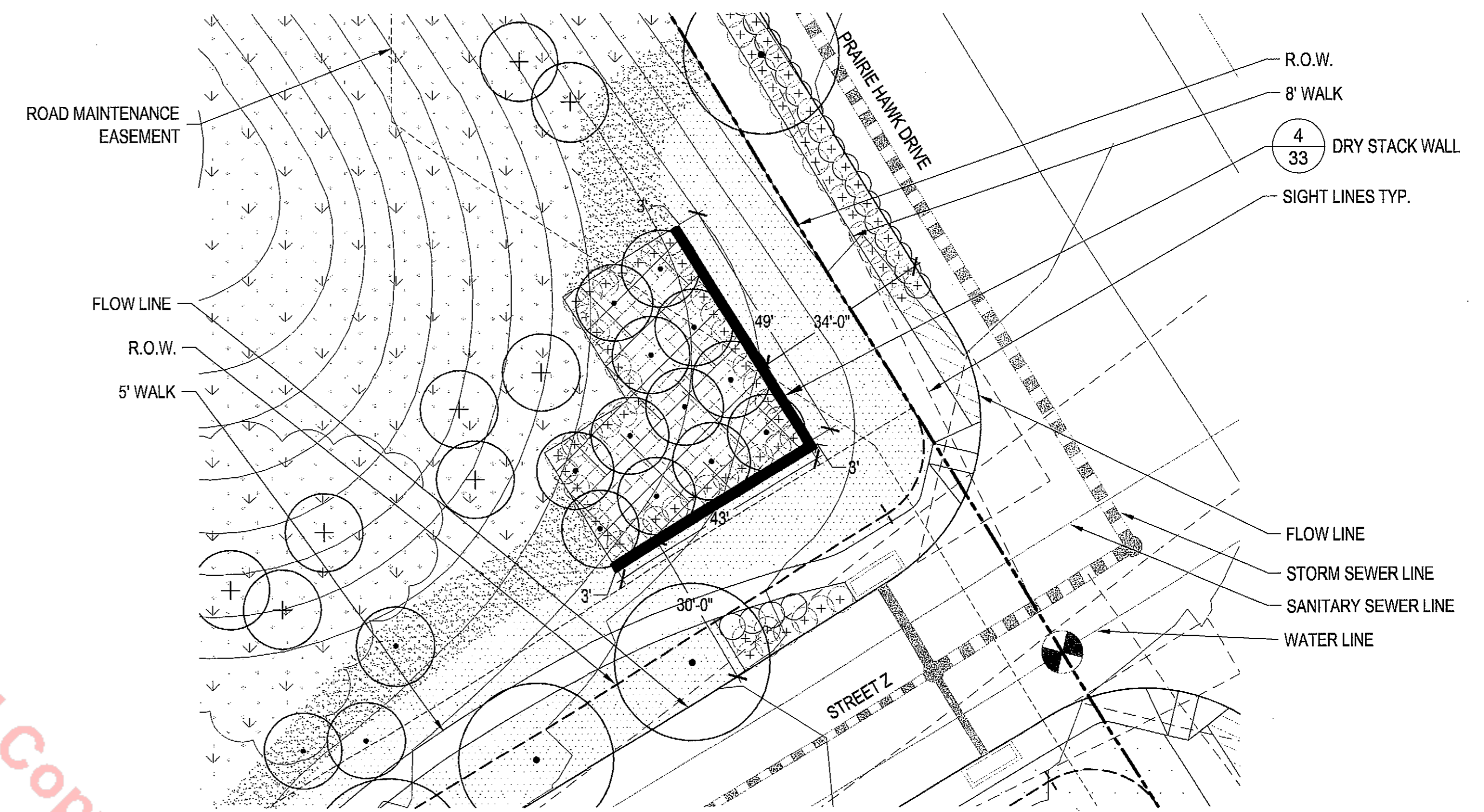
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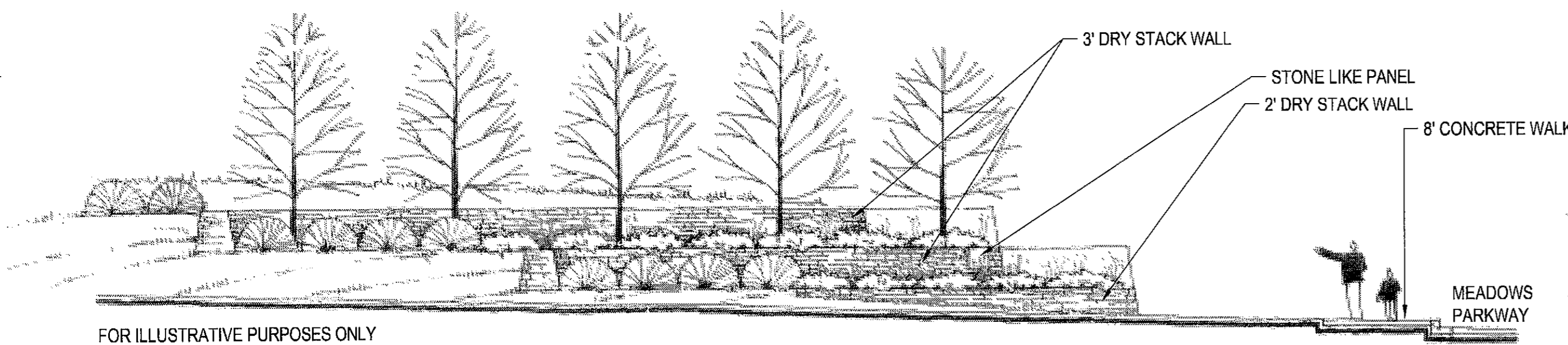
SHEET 34 OF 38



1 MEADOWS PARKWAY ENTRY FEATURE - PLAN
34 Scale: 1"= 20'



2 PRAIRIE HAWK ENTRY FEATURE - PLAN
34 Scale: 1"= 20'



MEADOWS PARKWAY ENTRY FEATURE - ELEVATION
Scale: 1/8"= 1'



PRAIRIE HAWK ENTRY FEATURE - ELEVATION
Scale: 1/8"= 1'

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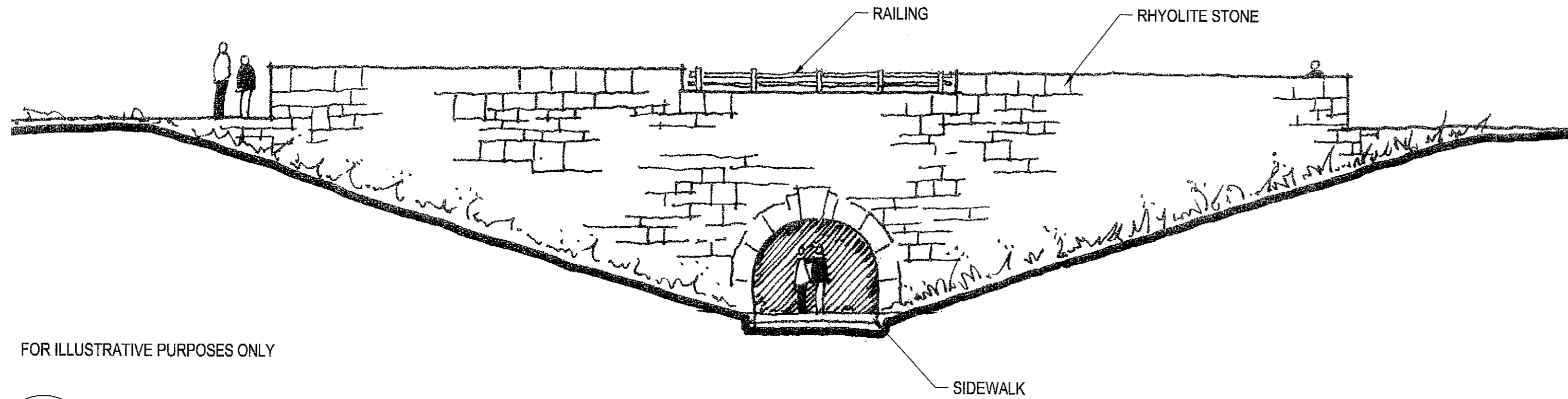
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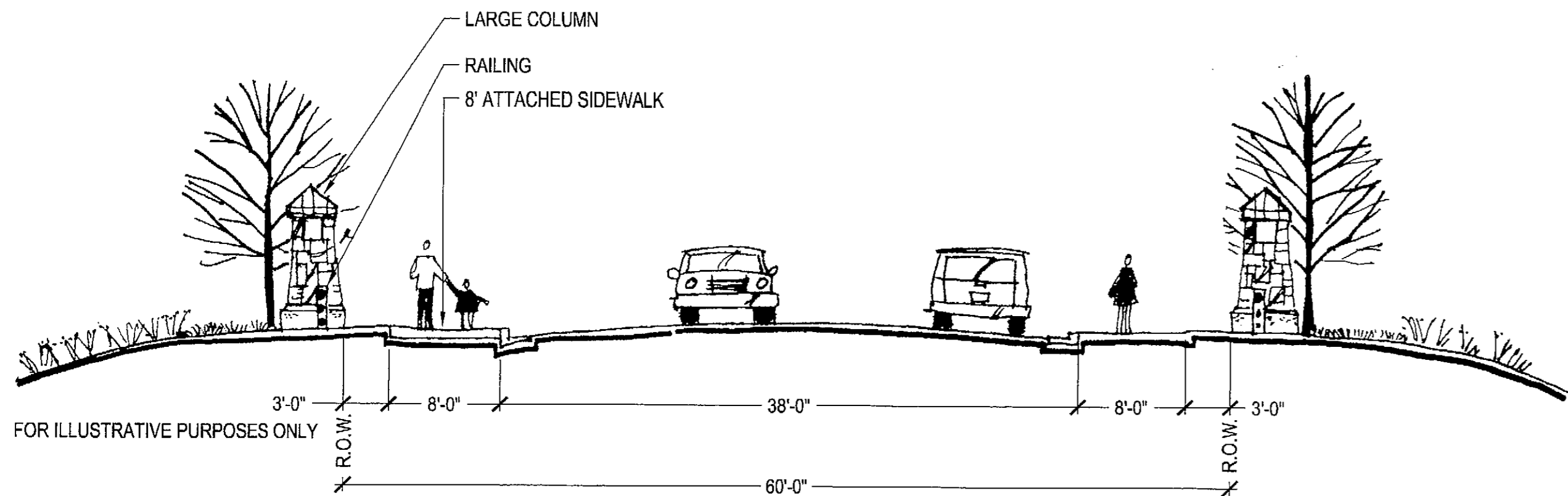
SHEET 35 OF 38



FOR ILLUSTRATIVE PURPOSES ONLY

1 EXISTING PEDESTRIAN UNDERPASS -MEADOWS PARKWAY

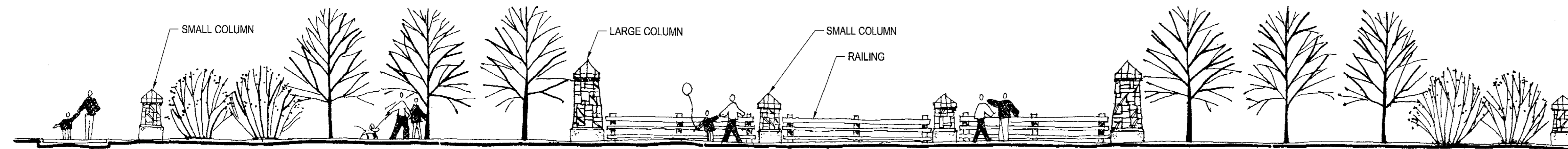
35 Scale: 1/8" = 1'



FOR ILLUSTRATIVE PURPOSES ONLY

2 CULVERT CROSSING -STREET A- SECTION

35 Scale: 1/8" = 1'



FOR ILLUSTRATIVE PURPOSES ONLY

3 CULVERT CROSSING -STREET A- ELEVATION

35 Scale: 1/8" = 1'

SITE USE ANALYSIS

THE LANDSCAPE DESIGN FOR FILING 18 REPRESENTS AN INNOVATIVE APPROACH THAT USES STATE OF THE ART WATER CONSERVING MEASURES IN AN ATTRACTIVE AND FUNCTIONAL MANNER. LOCATED SOUTH OF MEADOWS PARKWAY AND WEST OF PRAIRIE HAWK DRIVE, FILING 18 IS IN CLOSE PROXIMITY TO THE MAIN ENTRY FOR THE OVERALL MEADOWS COMMUNITY. THE DEFINING WALLS AND FORMALIZED STREETSCAPE OF THE MEADOWS ENTRY EXPERIENCE SET THE TONE AND CHARACTER FOR THIS FILING.

ARTERIAL AND COLLECTOR STREETSCAPES

MEADOWS PARKWAY
THE SOUTH SIDE OF MEADOWS PARKWAY IS DESIGNED AS PART OF FILING 18. THE DESIGN IS INTENDED TO TRANSITION THE PLANTING AND LANDSCAPING THEMES CURRENTLY EXISTING IN THE MEADOWS COMMUNITY AND COMPLIMENT THE LANDSCAPE DESIGN FOR THE MEDIAN AND NORTH SIDE OF MEADOWS PARKWAY WHICH IS INCLUDED IN THE FILING 20 SUBMITTAL. THIS WILL INCLUDE A WIDE SIDEWALK THAT IS DETACHED FROM THE ROAD, FORMALIZED STREET TREE PLANTINGS, FINE FESCUE TURF BETWEEN THE BACK OF CURB AND THE SIDEWALK AND IRRIGATED TALL GRASSES BEHIND THE WALK WHEN HOMES ARE PROPOSED TO FRONT THE PARKWAY.

PRAIRIE HAWK DRIVE
THE PORTION OF PRAIRIE HAWK DRIVE THAT SERVES AS THE EASTERN BORDER OF FILING 18 IS A SECONDARY ENTRY INTO THE OVERALL MEADOWS COMMUNITY. MUCH OF THIS DRIVE IS ADJACENT TO NATURAL DRAINAGE WAYS THAT CONTAIN UNDISTURBED NATIVE VEGETATION. THEREFORE, THE LANDSCAPE DESIGN REFLECTS A MORE NATURAL CHARACTER THAN WHAT IS PROPOSED FOR MEADOWS PARKWAY. THIS GENERALLY INCLUDES LIGHTLY IRRIGATED TALL GRASSES AND LIMITED FINE FESCUE TURF AREAS THAT HIGHLIGHT ROADWAY INTERSECTIONS.

COLLECTOR ROAD STREETSCAPES

STREETS A & B
THE LANDSCAPE DESIGN FOR THE AREAS ADJACENT TO THE COLLECTOR ROADS (BETWEEN THE BACK OF CURB AND SIDEWALK) CONSIST PRIMARILY OF LOW WATER USE TALL GRASSES AND FINE FESCUE TURF AT ROADWAY INTERSECTIONS. THE AREAS BETWEEN THE SIDEWALK AND PRIVATE PROPERTY LINE GENERALLY CONSIST OF NON-IRRIGATED TALL GRASS AND NATURALIZED TREES.

ENTRY LANDSCAPES

PRIMARY ENTRIES-MEADOWS PARKWAY AND PRAIRIE HAWK
THE PRIMARY ENTRY POINTS INTO FILING 18 HAVE WIDE LANDSCAPE MEDIANS WHICH ARE DESIGNED TO HELP TRAFFIC CIRCULATION, PEDESTRIAN SAFETY AND PROVIDE A VISUAL CUE TO THE DRIVER OF WHERE TO ENTER INTO FILING 18 FROM MEADOWS PARKWAY AND PRAIRIE HAWK DRIVE.

LANDSCAPE ZONE	LWU RATING RANGE
Very Low Water Use	0.0 to 1.5
Low Water Use	+1.5 to 3.0
Moderate Water Use	+3.0 to 4.5
High Water Use	+4.5

NOTE: THE IRRIGATION WATER REQUIREMENTS (IWRs) ARE BASED ON POST ESTABLISHMENT WATERING SCHEDULES.

COMPOSITE LANDSCAPE WATER USE RATING: WITH THE USE OF IRRIGATED TALL GRASS SEED ALONG THE COLLECTOR AND ARTERIAL ROAD STREETSCAPES AND FINE FESCUE SOD AT PROMINENT ENTRY POINTS. PARKS SEEDED WITH BLUEGRASS TURF. MONOCULTURE TALL GRASS SEED AND SHRUB BEDS IN MEDIANS.

LANDSCAPE TYPE	LANDSCAPE ZONE	LANDSCAPE USE	IRRIGATION	IRRIGATION WATER REQUIREMENT	LWU RATING (IWR/5.0) (LWUR)	QUANTITY & UNIT	IRRIGATED AREA (sq)	COMPOSITE LWU RATING	TOTAL AREA
Bluegrass Turf (Seed)	High	Parks	Spray	25 IN/YR	5		31,187	155,935	31,187
Fine Fescue Grass (Sod)	Low	Entries	Spray	15 IN/YR	3		174,889	524,967	174,999
Irrigated Tall Grass (Seed)	Low	Back of Walk > 30'	Spray	7 IN/YR	1.4		271,775	380,485	271,775
Irrigated Tall Grass (Seed)	Low	Streetscapes	Spray	7 IN/YR	1.4		245,768	344,072	245,766
Irrigated Monoculture Grass	Low	Medians	Spray	12 IN/YR	2.4		22,978	55,147	22,978
Wildflower (Seed)	Moderate	Accent Areas	Spray	20 IN/YR	4		24,823	99,292	24,823
Shrub Bed (Irrigation, Fabric Mulch and Edger)	Low	Entries	Spray	10 IN/YR	2		75,884	151,728	75,884
Ornamental Tree Irrigation	Low	Streetscapes	Drip	10 IN/YR	2	59 ea.	11,858	23,712	
Evergreen Tree Irrigation	Low	Streetscapes	Drip	10 IN/YR	2	39 ea.	7,837	15,674	
Canopy Tree Irrigation	Low	Streetscapes	Drip	10 IN/YR	2	270 ea.	190,755	381,510	
Non-Irrigated Tall Grass (Seed)	No	Open Space	None	0 IN/YR	0		2,450,839	N/A	
Perennials	Low	Accent Areas	Spray	10 IN/YR	2		6,885	13,790	6,885
Undisturbed Open Space	No	Open Space	None	0 IN/YR	0		905,728	N/A	
TOTAL							2,148,343		958,341
TOTAL COMPOSITE LAND USE WATER RATING (CLWUR: sum LWUR (A/TA))									2.50

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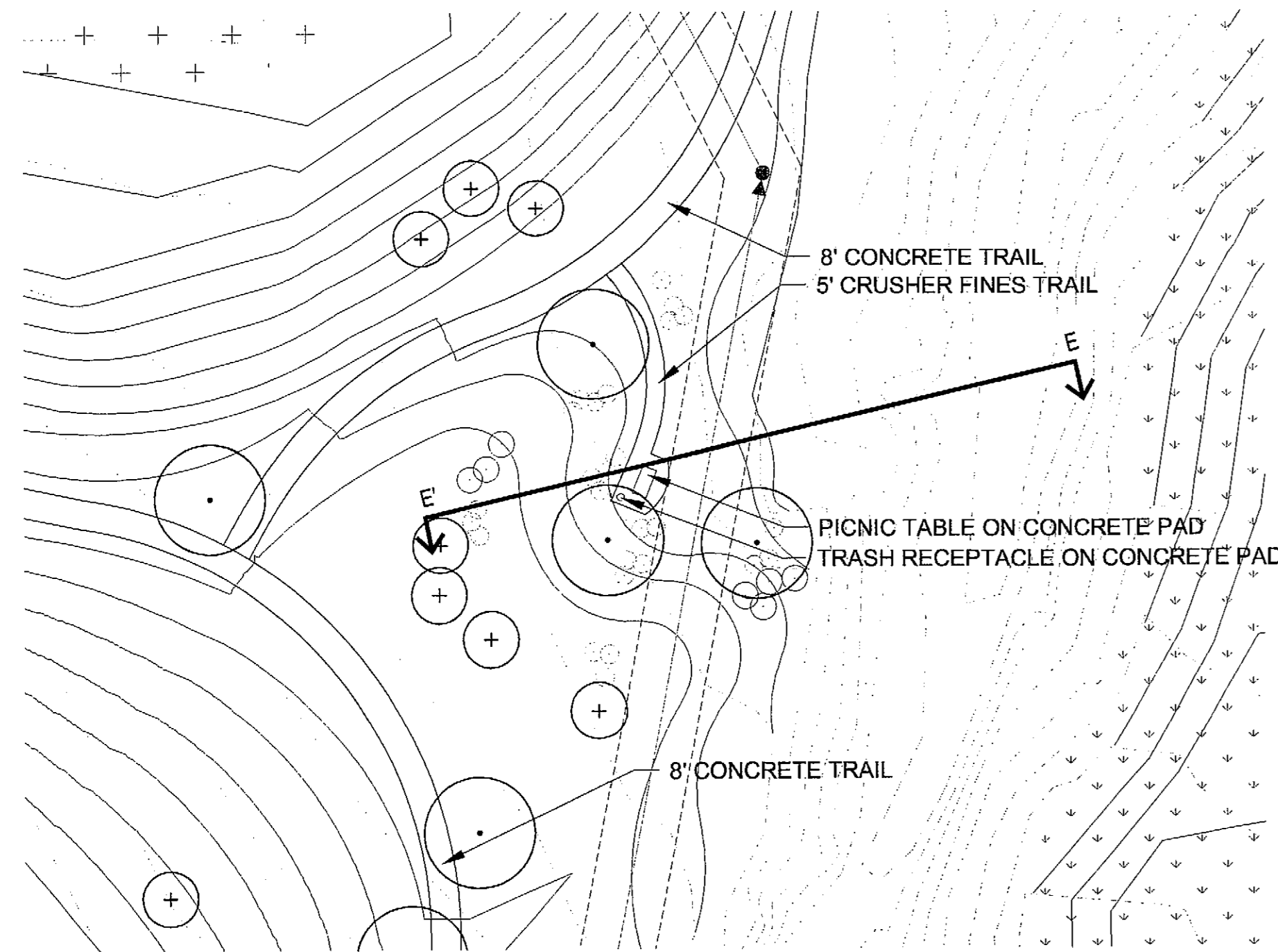
**MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
LANDSCAPE DETAILS
SHEET 35 OF 38**

THE MEADOWS FILING 18

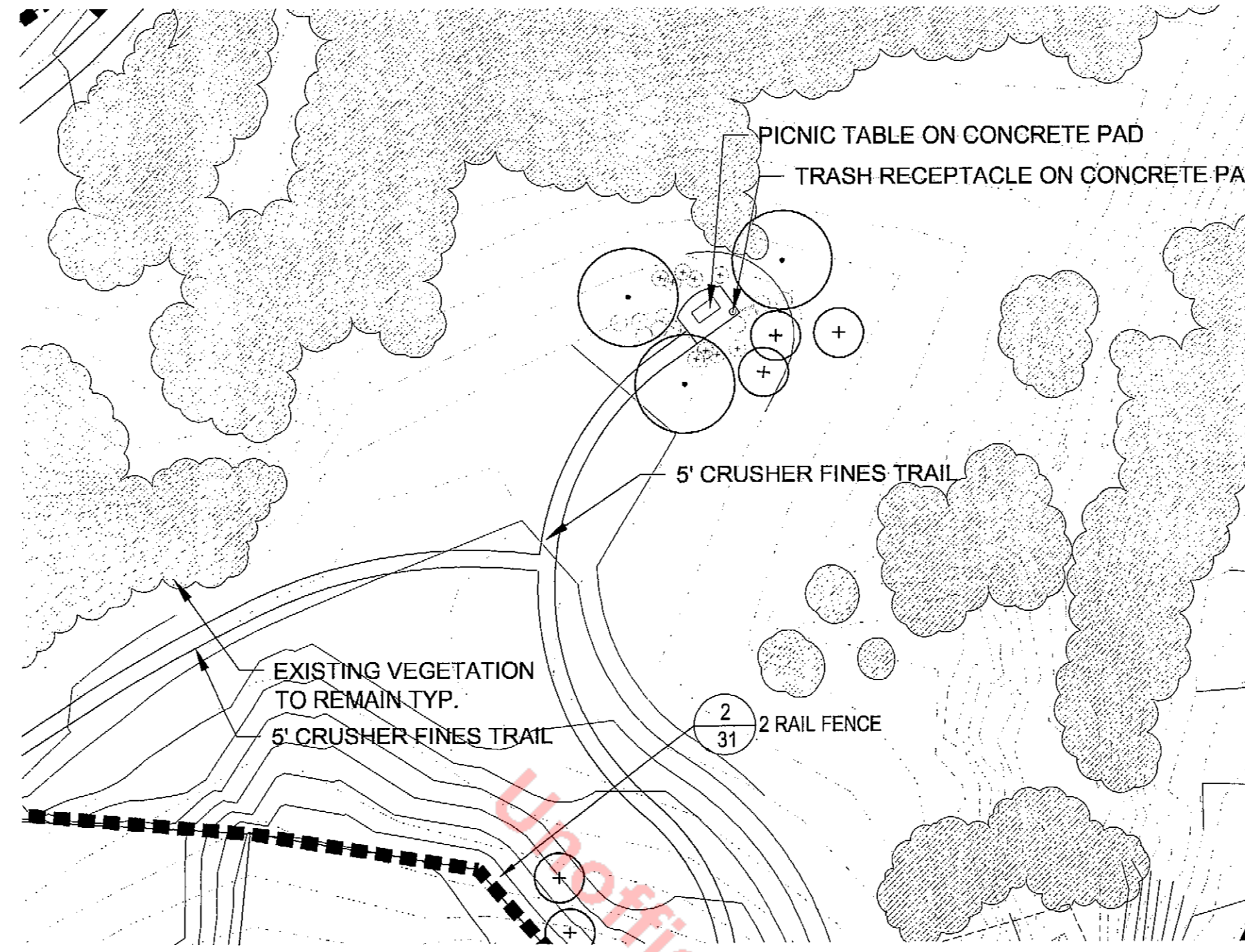
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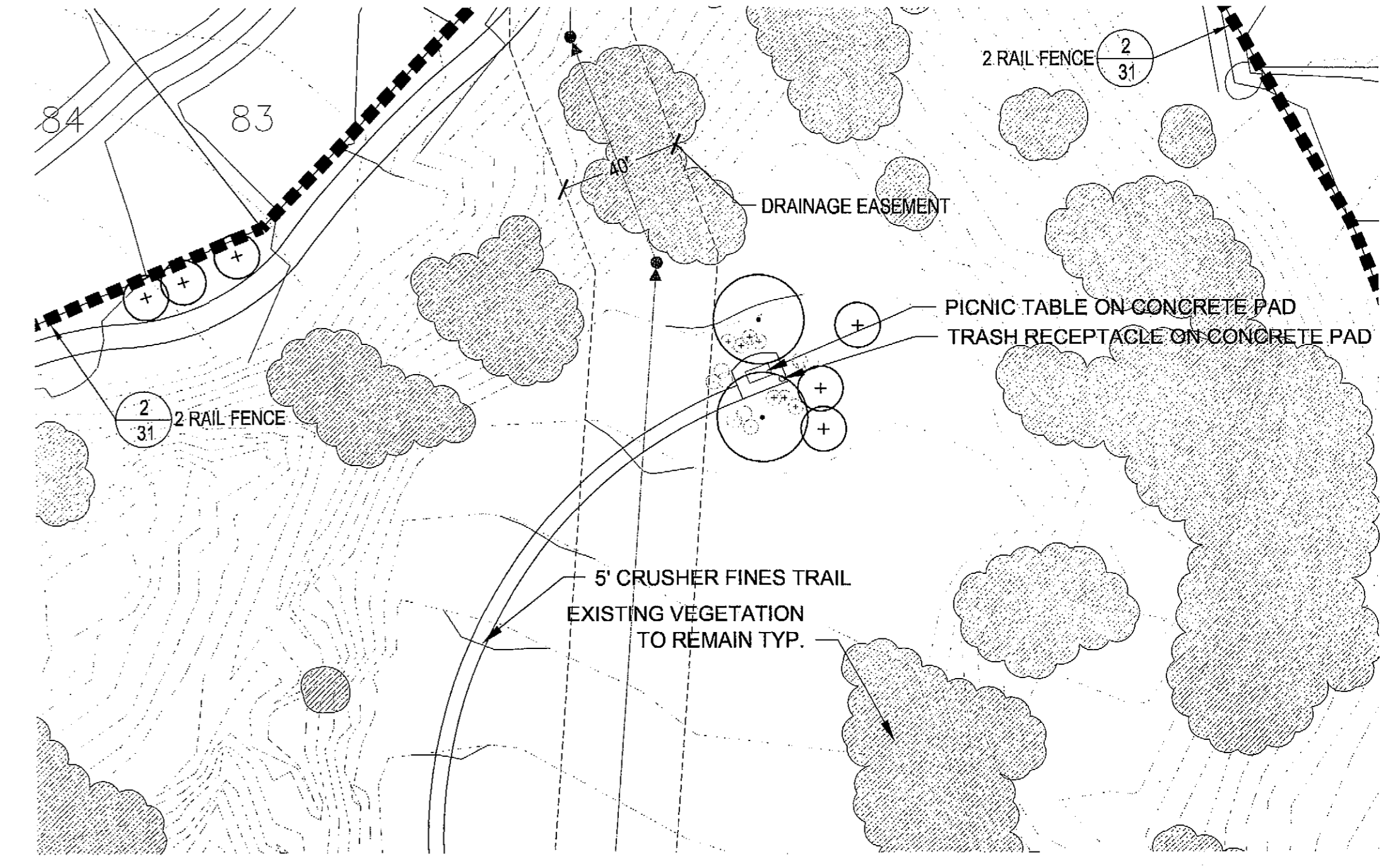
SHEET 36 OF 38



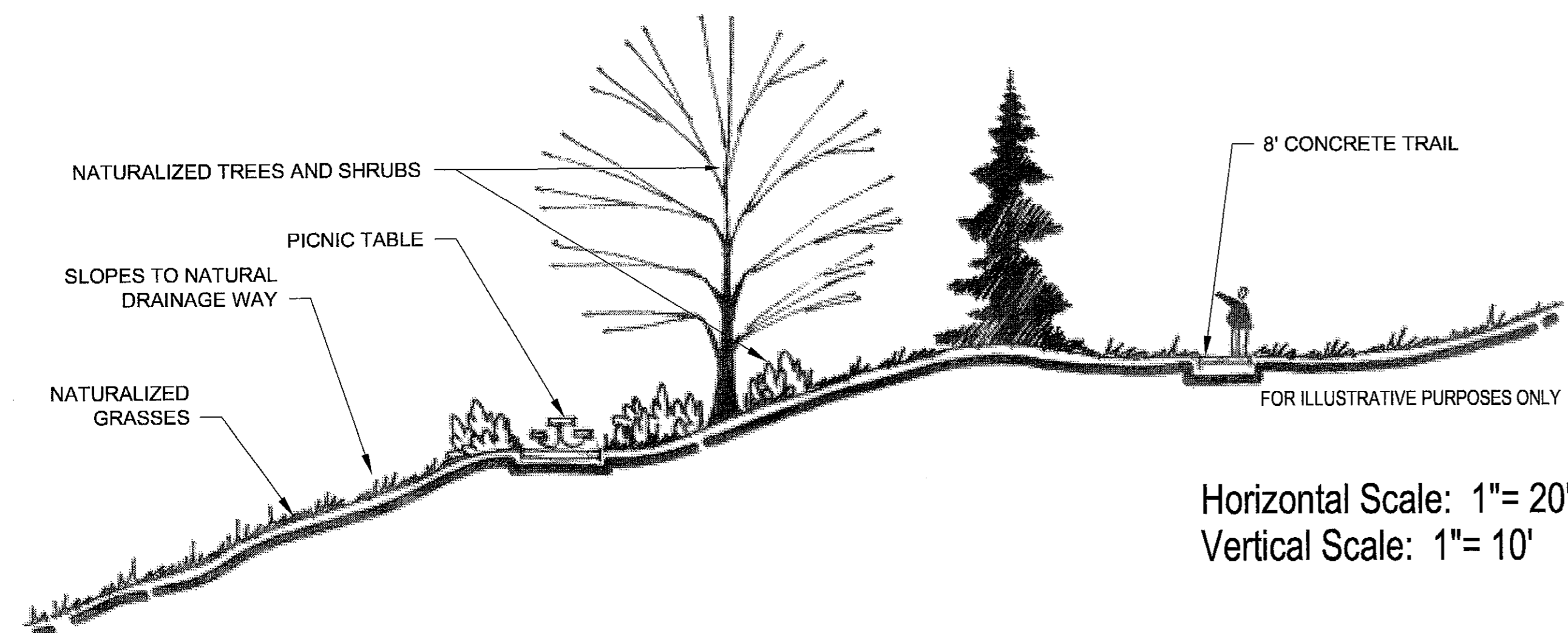
1 DESTINATION POINT
36 Scale: 1"= 40'



2 DESTINATION POINT
36 Scale: 1"= 40'

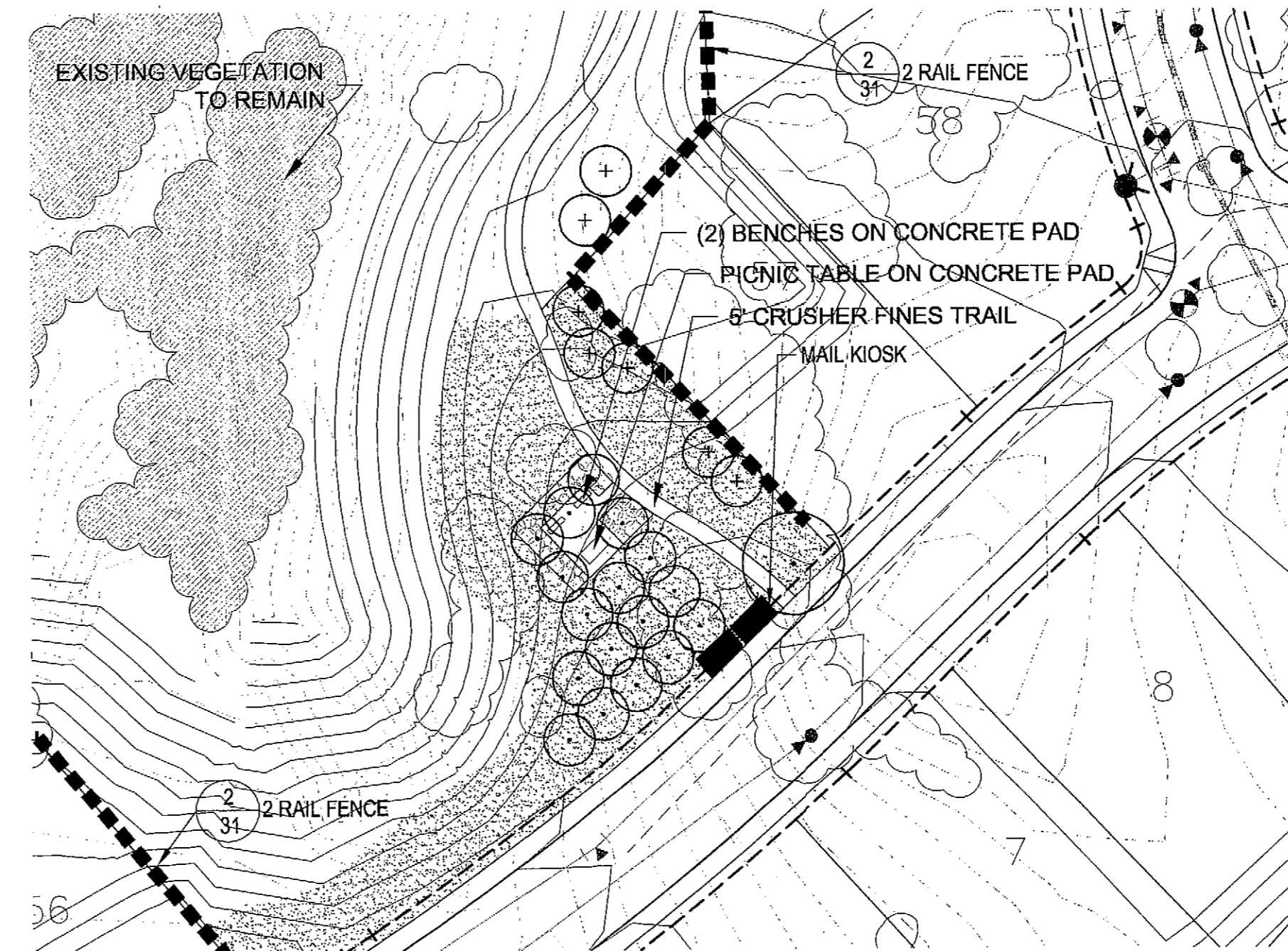


3 DESTINATION POINT
36 Scale: 1"= 40'



SECTION E-E'

Horizontal Scale: 1"= 20'
Vertical Scale: 1"= 10'



4 DESTINATION POINT
36 Scale: 1"= 40'



NOTE:
DESTINATION POINTS TO BE
FIELD LOCATED BY OWNER'S
REPRESENTATIVE.

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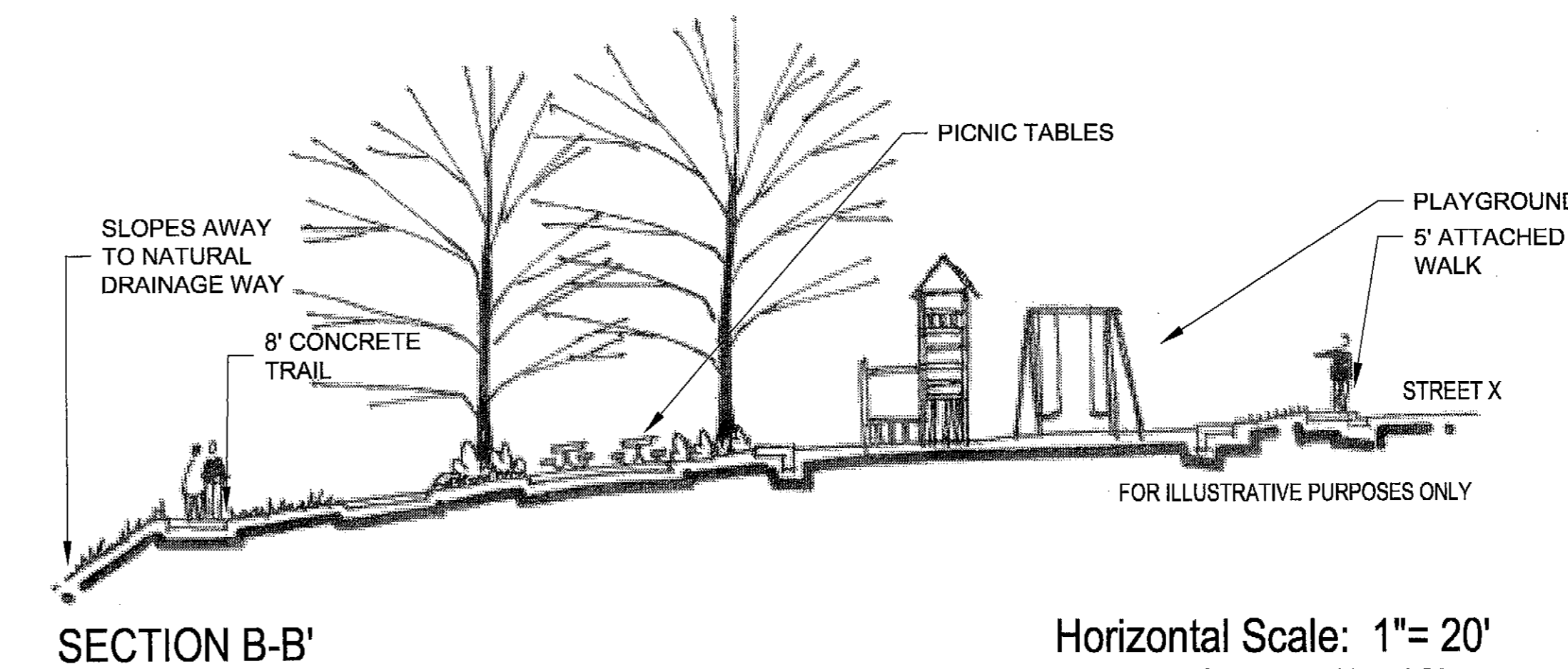
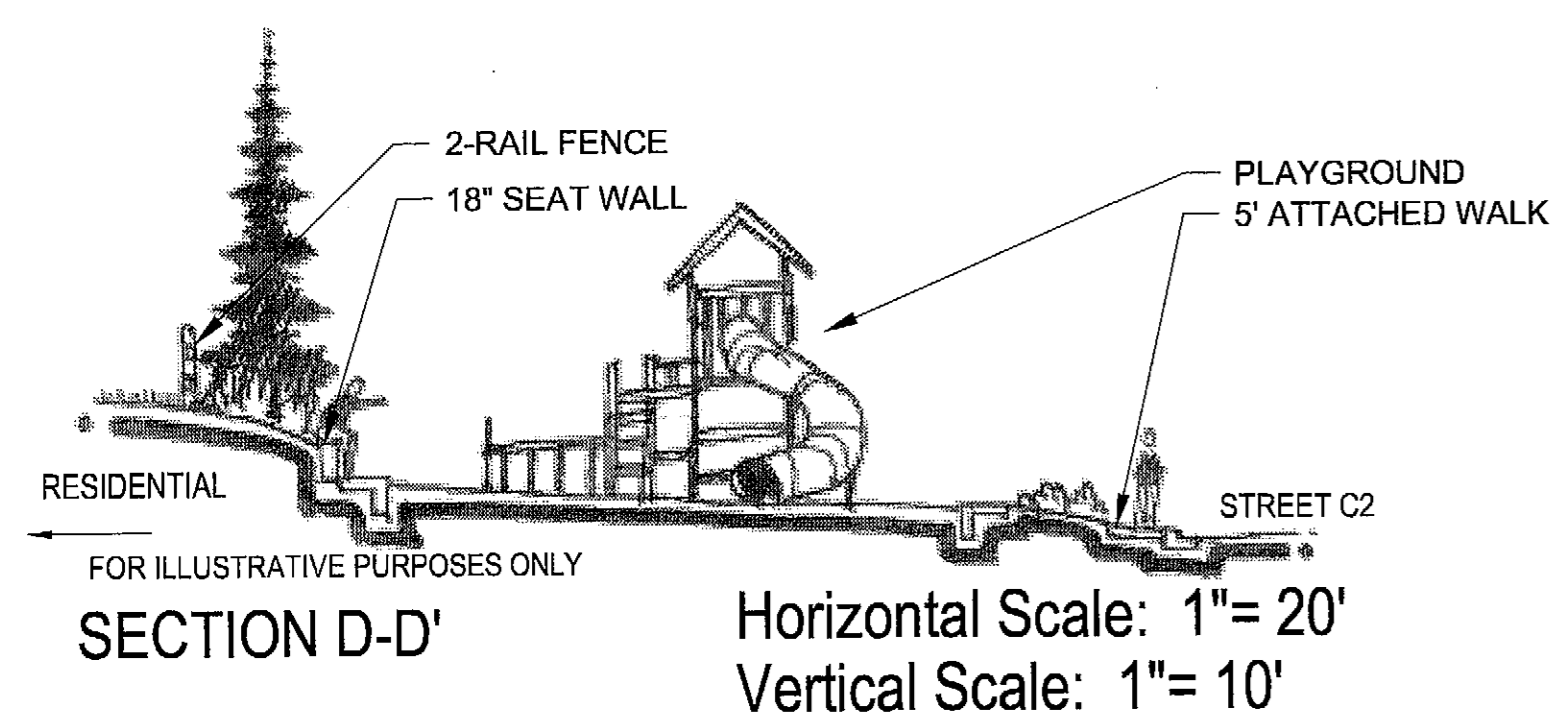
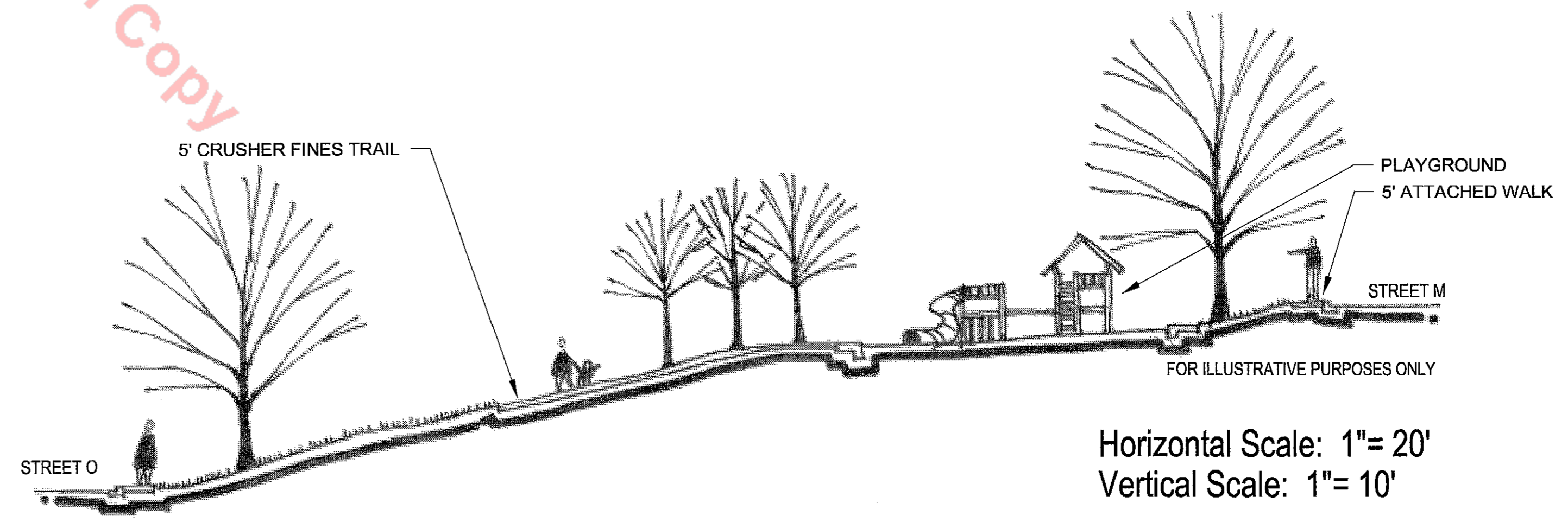
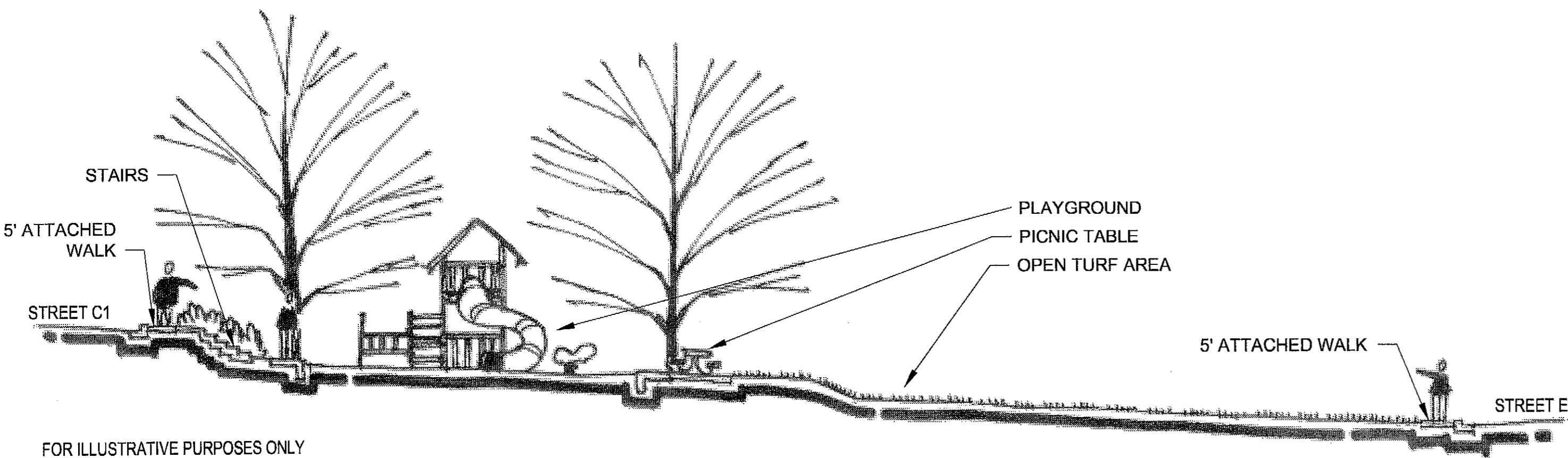
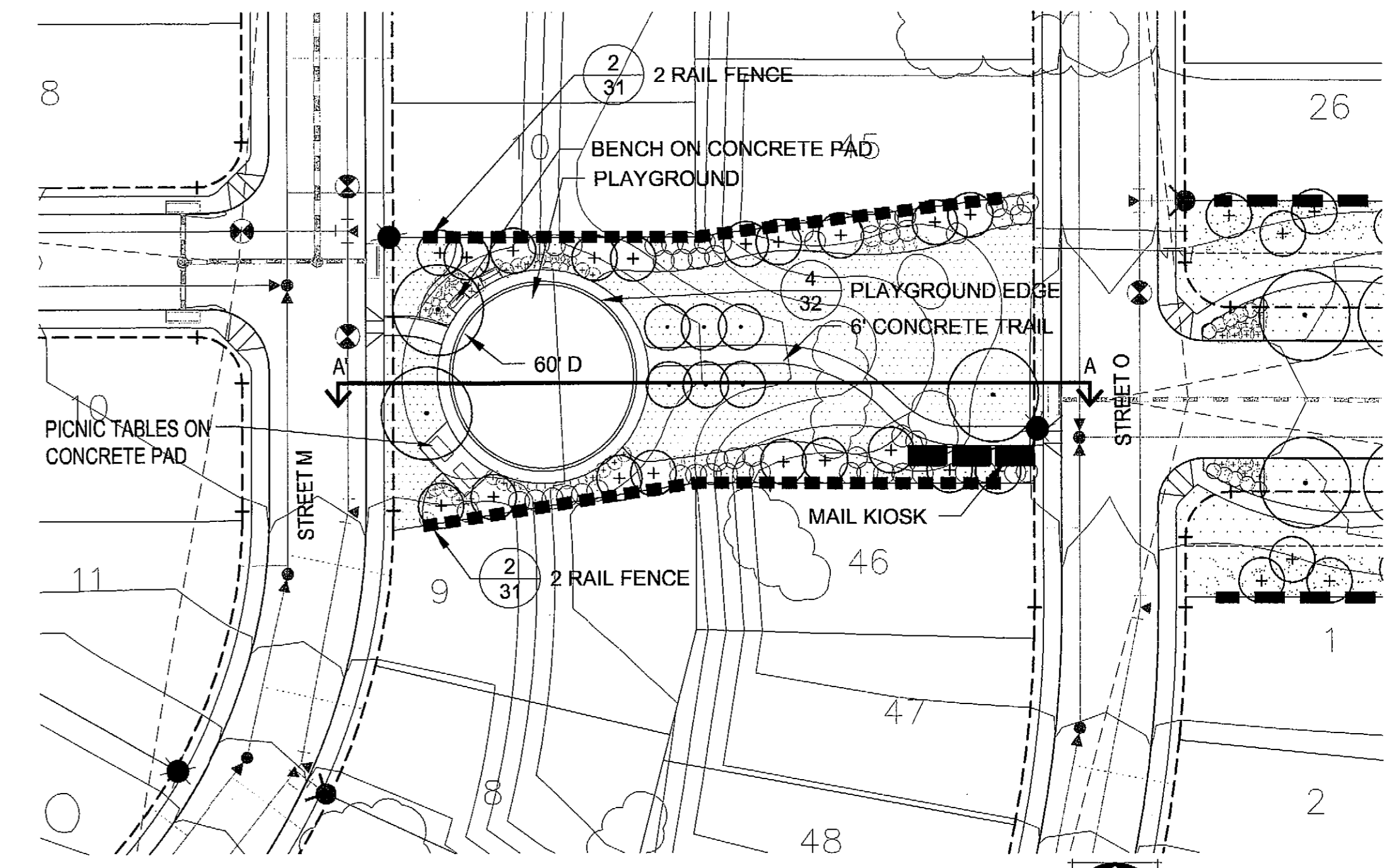
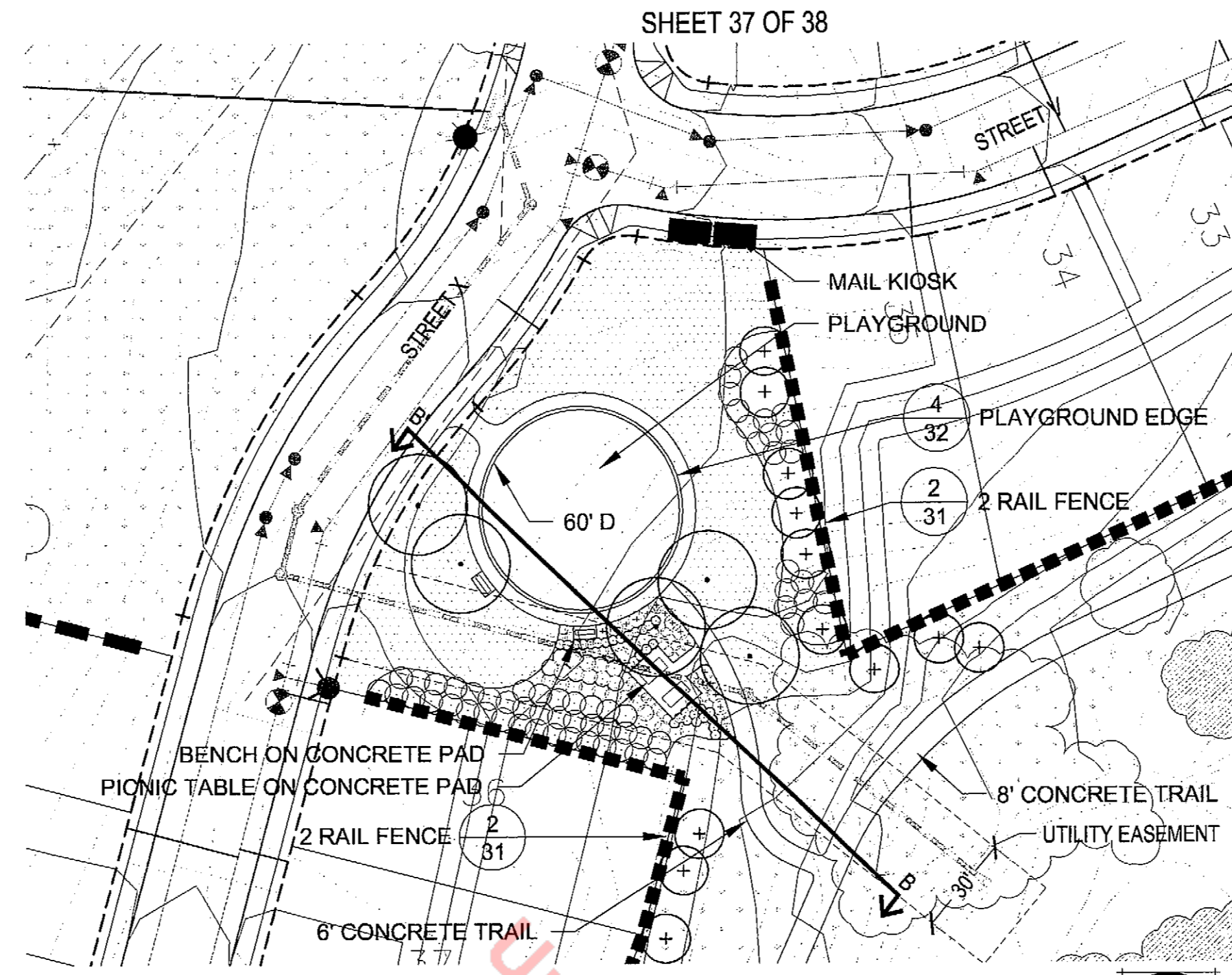
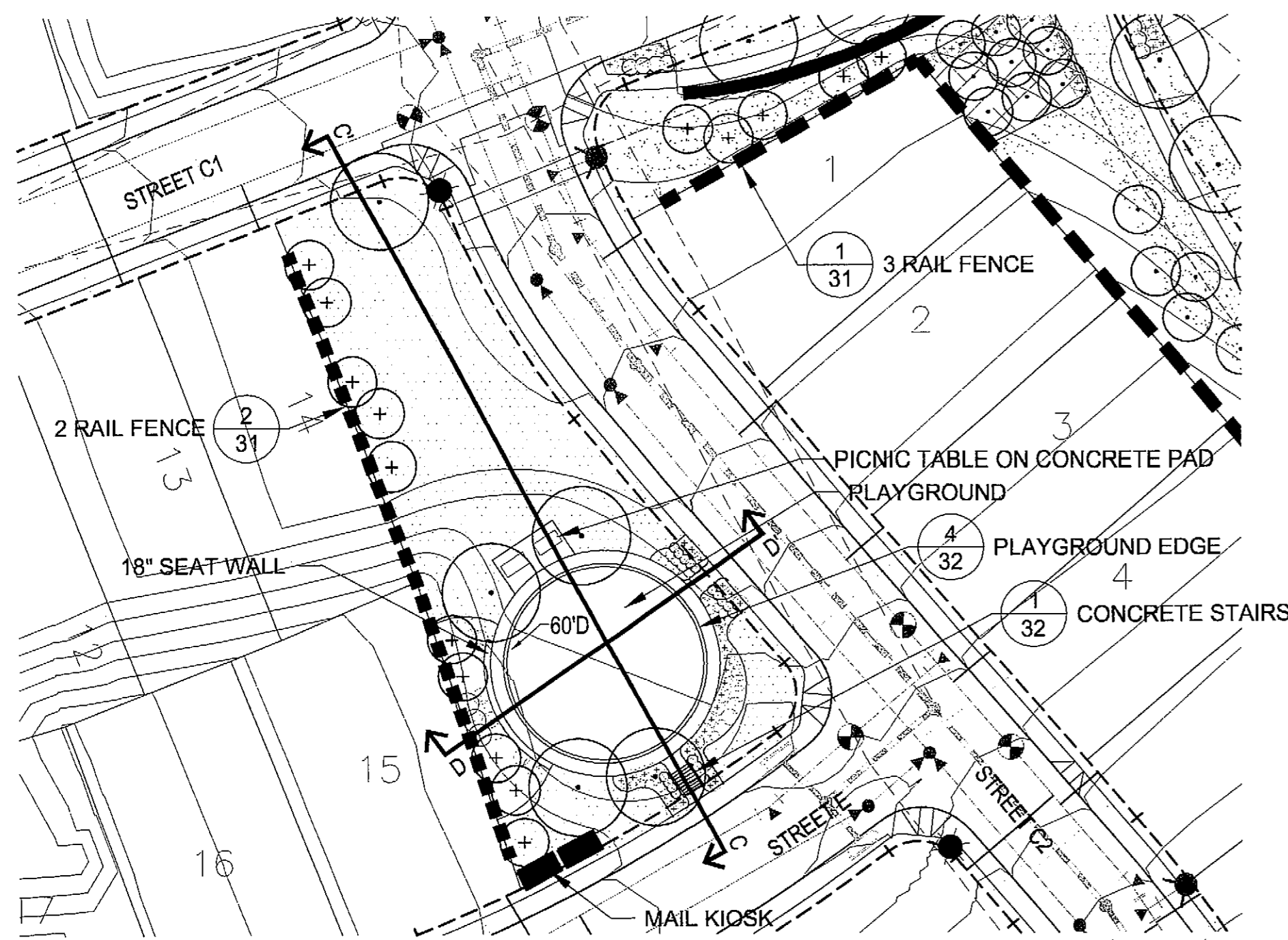
ENGINEERING PARTNERS, inc.
26 W. Dry Creek Circle, Suite 600
Littleton, Colorado 80120
Tel. (303) 703-4444
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CONTACT:
SCOTT PEASE

THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE 1/4, NE 1/4, AND NW 1/4 OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE 1/4, SE 1/4 AND SW 1/4 OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT AND FINAL PD SITE PLAN



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MEADOWS FILING 18
PRELIMINARY PLAT AND FINAL PD SITE PLAN
LANDSCAPE PLAN POCKET PARKS
SHEET 37 OF 38

THE MEADOWS FILING 18

A PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 34, TOGETHER WITH PORTIONS OF THE SE 1/4, NE 1/4, AND NW 1/4 OF SECTION 34, AND TOGETHER WITH PORTIONS OF THE NE 1/4, SE 1/4 AND SW 1/4 OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT AND FINAL PD SITE PLAN

SHEET 38 OF 38

LEGEND

- 2-Rail Fence
- 3-Rail Fence
- 6' Privacy Fence
- ✱ Mail Kiosk Locations
- Destination Point
- ~ 8' Concrete Trail
- ... 6' Concrete Trail
- ... 5' Crusher Fines Trail
- ~ Proposed 4th Amendment PD Trail (Modified Route)
- ~ Existing 8' Concrete Trail

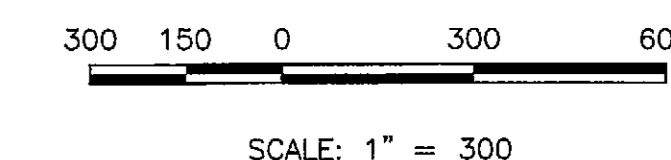
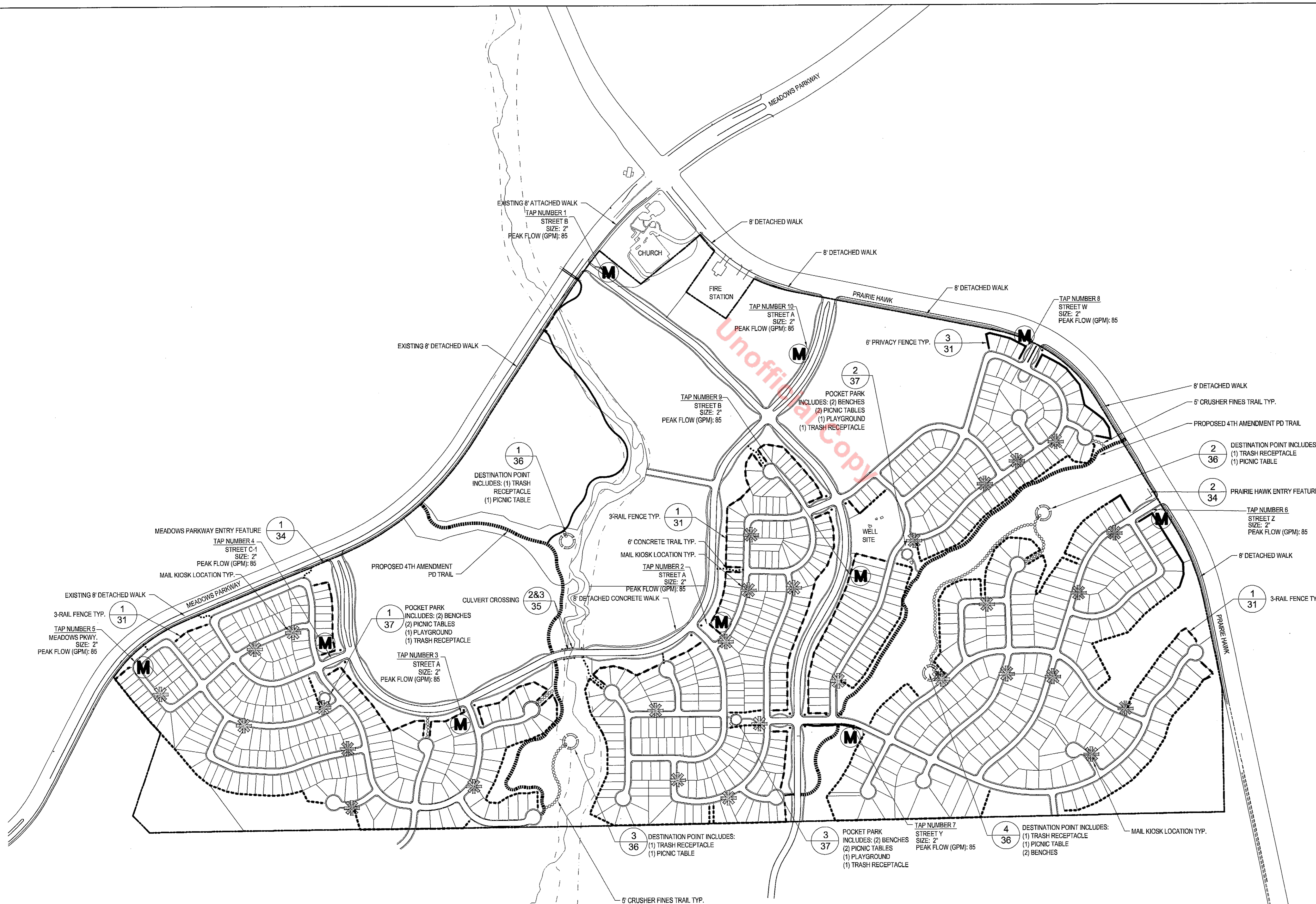
M IRRIGATION METERS, TAP LOCATIONS, AND INFORMATION

FENCE NOTES:

- ALL FENCING NOT SHOWN ON THESE PLANS ARE SUBJECT TO COMPLIANCE WITH THE MEADOWS NEIGHBORHOOD COMPANY ARCHITECTURAL GUIDELINES.
- INTERIOR REAR YARD FENCES (NOT SHOWN ON THESE DRAWINGS) IS THE RESPONSIBILITY OF THE HOMEOWNER.
- ALL TRANSITIONS FROM OPEN RAIL FENCE TO PRIVACY FENCE SHALL BE GRADUAL AND AT LEAST 8 FEET IN LENGTH.
- FENCES SHALL BE OF WESTERN RED CEDAR NO. 2, DRY ROUGH SAWN 4 SIDES WITH OLYMPIC WEATHER SCREEN SEMITRANSSPARENT STAIN #716 NATURAL TONE CEDAR.
- FENCES TO BE SET BACK A MINIMUM OF 3' FROM WALK.
- REFER TO THE APPROVED ARCHITECTURAL GUIDELINES FOR MORE INFORMATION REGARDING FENCE CONSTRUCTION.
- SEE SHEET XX OF XX FOR FENCE DETAILS.

GENERAL NOTES:

- ALL WALKS ARE 5' CONCRETE UNLESS OTHERWISE NOTED ON PLAN.
- SEE SHEET 36 FOR DESTINATION POINTS, SEE SHEET 37 FOR PARK PLANS.




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**MEADOWS FILING 18
 PRELIMINARY PLAT AND FINAL PD SITE PLAN
 FENCING, TRAILS, MAIL KIOSK PLAN
 SHEET 38 OF 38**