

2008038170 16 PGS

# 2008038170  
05/29/2008 02:35 PM

## PLAT IDENTIFICATION SHEET

Castle Rock Development Co  
Grantor (owner)

Grantor (owner)

Meadows Filing 18  
Grantee (name of plat or condo)

Grantee (name of plat or condo)

Subdivision Info: Filing 18 Lot 1-15 Block 17

Condo Info: Phase \_\_\_\_\_ Bldg \_\_\_\_\_ Unit \_\_\_\_\_

33, 34 \_\_\_\_\_ 7 \_\_\_\_\_ 67 \_\_\_\_\_  
Section Township Range

Cross Reference numbers: (reception #s or book and page)

2005055505 \_\_\_\_\_

2004081485 \_\_\_\_\_

2004081483 \_\_\_\_\_

# THE MEADOWS FILING NO. 18

PORTIONS OF THE SOUTHEAST ONE-QUARTER OF SECTION 33 AND THE SOUTHWEST ONE-QUARTER OF SECTION 34,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 1 OF 15 FORMERLY SHEET 1 OF 38

### LEGAL DESCRIPTION:

LOTS 1 - 75 INCLUSIVE, BLOCK 17;  
LOTS 1 - 20 INCLUSIVE, BLOCK 18;  
LOTS 1 - 11 INCLUSIVE AND LOTS 44 - 58 INCLUSIVE, BLOCK 19;  
TRACTS L, O, W, X & Y,  
AND DEDICATED STREETS KNOWN AS TREETOP DRIVE, SETTING SUN AVENUE, QUICK FOX COURT, MOONFIRE WAY, RISING MOON WAY, RIVERWOOD WAY AND MINSTREL COURT, ALL IN THE MEADOWS FILING NO. 18 FINAL PLAT, RECORDED AT RECEPTION NUMBER 2005055505,  
ALSO  
LOTS 12A - 30A INCLUSIVE, BLOCK 16;  
LOTS 1A - 16A INCLUSIVE AND LOTS 19A - 34A INCLUSIVE, BLOCK 19;  
LOTS 1A - 9A INCLUSIVE, BLOCK 21 AND  
TRACT AA, THE MEADOWS FILING NO. 18, 1ST AMENDMENT, RECORDED AT RECEPTION NUMBER 2006104840, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 33 AND THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO.  
CONTAINING 44.770 ACRES (1,950,174 SQUARE FEET), MORE OR LESS.

### CIVIL ENGINEER'S STATEMENT

I, MARK D. ROBERTS, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS PRELIMINARY PLAT HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

MARK D. ROBERTS, PE #37259  
DATE: 5/12/08

### PLANNING COMMISSION RECOMMENDATION:

THE MEADOWS FILING NO. 18 PRELIMINARY PLAT/FINAL PD SITE PLAN, AMENDMENT NO. 3, WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 27TH DAY OF MARCH, 2008.

Barbara Wash  
CHAIR  
DATE: May 13, 2008

ATTEST:  
Bill [Signature]  
DIRECTOR OF DEVELOPMENT SERVICES  
DATE: May 13, 2008

### OWNER:

CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION  
BY: James M. Riley AS: President  
ON THIS 12th DAY OF May, 2008

NOTARY CERTIFICATE  
STATE OF COLORADO  
City: COUNTY OF Denver

SUBSCRIBED AND SWORN BEFORE ME THIS 12th DAY OF May, 2008 BY James M. Riley AS President OF CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION. WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES 11/23/2008

NOTARY PUBLIC [Signature]

### MORTGAGEES:

CASTLE ROCK LAND CO., LLC, A COLORADO LIMITED LIABILITY COMPANY PER DEED OF TRUST RECORDED ON AUGUST 5, 2004 AT RECEPTION NO. 2004081483, DOUGLAS COUNTY RECORDS

BY: [Signature] AS: Authorized Agent

NOTARY CERTIFICATE  
STATE OF COLORADO  
City: COUNTY OF Denver

SUBSCRIBED AND SWORN BEFORE ME THIS 14th DAY OF May, 2008 BY [Signature] AS Authorized Agent OF CASTLE ROCK LAND CO., LLC, A COLORADO LIMITED LIABILITY COMPANY. WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES 11/23/2008

NOTARY PUBLIC [Signature]

CALIFORNIA BANK AND TRUST PER DEED OF TRUST RECORDED ON AUGUST 5, 2004 AT RECEPTION NO. 2004081483, DOUGLAS COUNTY RECORDS

BY: [Signature] AS: Vice President

NOTARY CERTIFICATE  
STATE OF COLORADO  
City: COUNTY OF Denver

SUBSCRIBED AND SWORN BEFORE ME THIS 14th DAY OF May, 2008 BY [Signature] AS Vice President OF CALIFORNIA BANK & TRUST. WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES 11/23/2008

NOTARY PUBLIC [Signature]

### OWNER:

TOWN OF CASTLE ROCK  
A COLORADO MUNICIPAL CORPORATION

### OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE LANDS DESCRIBED AS THE MEADOWS FILING NO. 18 IN THE TOWN OF CASTLE ROCK.

TOWN OF CASTLE ROCK, A COLORADO MUNICIPAL CORPORATION

BY: [Signature] MAYOR

ATTEST:  
Sally Muir  
TOWN CLERK  
DATE: 5/15/08

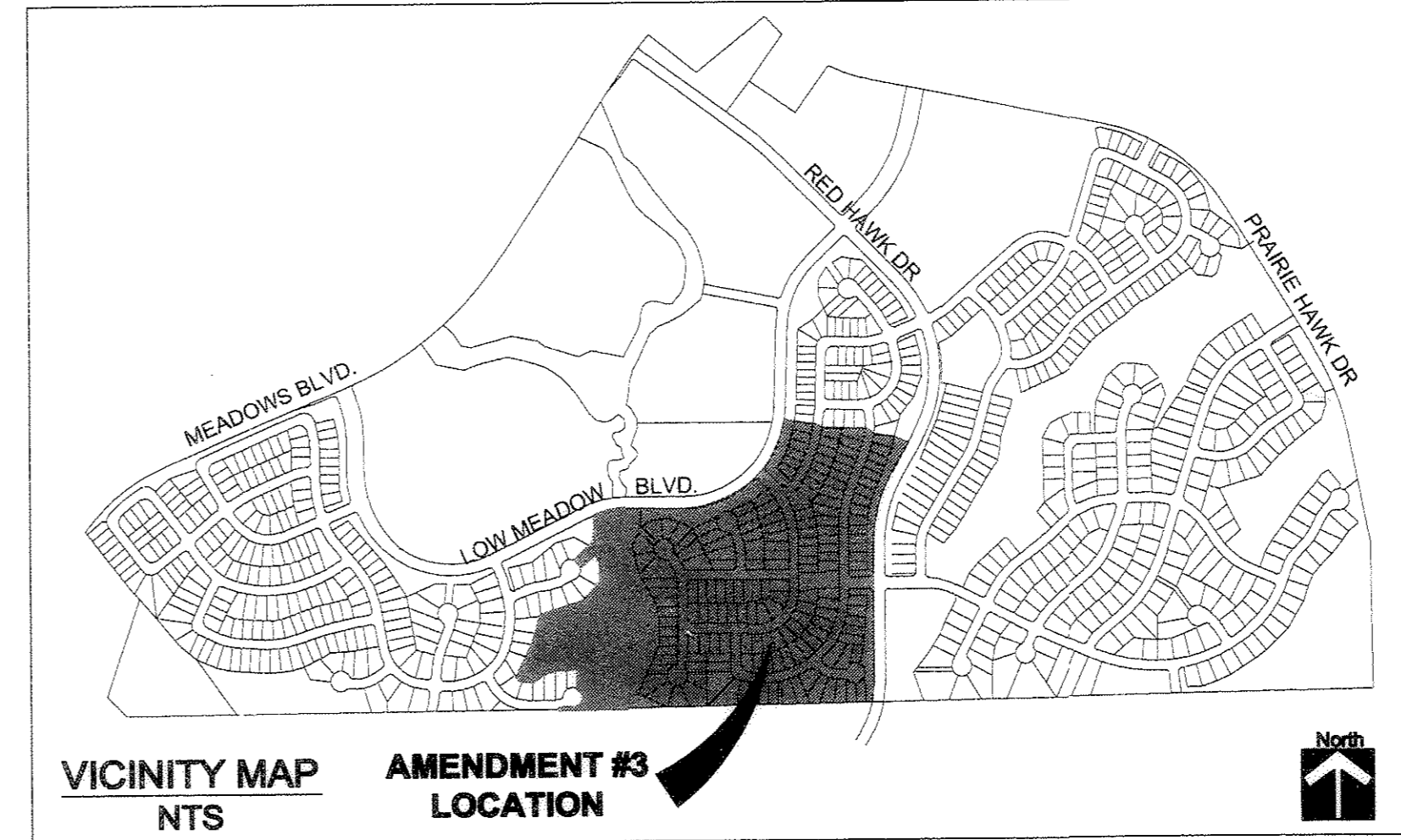
STATE OF COLORADO  
COUNTY OF DOUGLAS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF May, 2008, BY Sally A. Reed AS Mayor AND Sally A. Reed AS Town Clerk OF THE TOWN OF CASTLE ROCK.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: 9-21-2011

NOTARY PUBLIC [Signature]



VICINITY MAP  
NTS

AMENDMENT #3  
LOCATION

### FINAL PD SITE PLAN AMENDMENT 1 STANDARD NOTES:

1. ALL STANDARD NOTES, BOUNDARY INFORMATION, AND SURROUNDING OWNERS PREPARED FOR THE PRELIMINARY PLAT AND FINAL PD SITE PLAN REMAIN VALID AND UNAFFECTED WITH THIS AMENDMENT.

### PURPOSE:

THE PURPOSE OF THIS AMENDMENT IS TO REVISE THE LOTTING AND ROADS ASSOCIATED WITH PHASE E. THIS CHANGE HAS RESULTED IN AN OVERALL LOT INCREASE OF (2) LOTS IN THE ENTIRETY OF PHASE E. HOWEVER, THERE ISN'T A NET INCREASE OF LOTS FOR THE ENTIRETY OF MEADOWS FILING 18. ALL CHANGES THAT HAVE BEEN MADE TO THE PLANS INCLUDE A DELTA 3 NOTATION.

### MEADOWS FILING 18 FINAL PD SITE PLAN AMENDMENT 3 DATA

SITE DATA - 38.124 AC	
1. NUMBER OF DU/LOTS, BLOCKS 16-19, 21, 33	174 SF DU / 4.56 DU/AC
2. GROSS DENSITY	22.953AC
3. LOT AREA, BLOCKS 16-19, 21, 33	6,564 AC
4. RIGHT OF WAY AREA	5,111AC
5. PRIVATE OPEN SPACE AREA	3,499 AC
6. PUBLIC OPEN SPACE AREA	179 (5 LANDSCAPE AND 174 RESIDENTIAL)
7. (SFE) SINGLE FAMILY EQUIVALENT UNITS	3,600 SQ. FT. / 16,521 SQ. FT. / 5,746 SQ. FT.
8. MINIMUM LOT AREA	
9. MAXIMUM LOT AREA	
10. AVERAGE LOT AREA	

### SHEET INDEX

SHEET 1	COVER SHEET/NOTES
SHEET 2	TRACT SUMMARY/DEVELOPMENT STANDARDS
SHEET 3	OVERALL BOUNDARY AND PARCEL MAP
SHEET 4	SITE PLAN
SHEET 5	SITE PLAN
SHEET 6	GRADING
SHEET 7	GRADING
SHEET 8	UTILITY PLAN AND PHASING PLAN
SHEET 9	UTILITY PLAN AND PHASING PLAN
SHEET 10	SHEET INDEX KEYMAP AND PHASING PLAN
SHEET 11	LANDSCAPE PLAN
SHEET 12	LANDSCAPE NOTES AND PLANT SCHEDULE
SHEET 13	LANDSCAPE DETAILS
SHEET 14	LANDSCAPE PLAN POCKET PARKS
SHEET 15	FENCING, TRAILS AND MAIL KIOSK PLAN

AMENDMENT #3 INITIAL  
SUBMITTAL DATE: DECEMBER 13, 2006

REVISIONS		
NO.	DATE	DESCRIPTION
2	7.24.06	WETLAND AREA/AMENDMENT #2
	8.29.06	AMENDMENT #2 TECHNICAL REVISIONS
3	12.13.06	LOTTING CHANGES/AMENDMENT #3
	4.18.07	AMENDMENT #3 CITY COMMENTS DATED 2/22/07
	7.3.07	AMENDMENT #3 CITY COMMENTS DATED 5/29/07
	9.5.07	AMENDMENT #3 CITY COMMENTS DATED 8/22/07
	11.20.07	AMENDMENT #3 CITY COMMENTS DATED 10/24/07

### TITLE CERTIFICATION

I, [Signature], AN AUTHORIZED REPRESENTATIVE OF [Signature], A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE, ON THIS 12th DAY OF May, 2008.

[Signature]  
(AUTHORIZED REPRESENTATIVE)

STATE OF COLORADO  
COUNTY OF DOUGLAS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF May, 2008 BY [Signature] AS AUTHORIZED REPRESENTATIVE OF [Signature].

WITNESS MY HAND AND OFFICIAL SEAL.

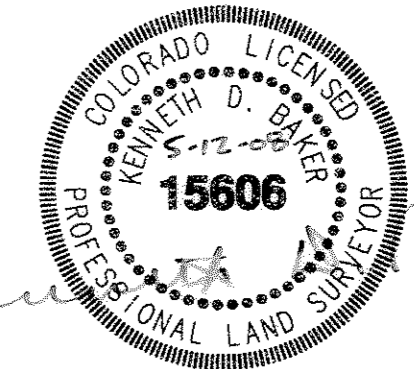
MY COMMISSION EXPIRES: April 26, 2011

NOTARY PUBLIC [Signature]

JACKIE L. ZION  
NOTARY PUBLIC  
STATE OF COLORADO  
My Commission Expires Apr. 26, 2011

### SURVEYOR'S STATEMENT

I, KENNETH D. BAKER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE MEADOWS FILING NO. 18 WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.



KENNETH D. BAKER, LICENSED PROFESSIONAL LAND SURVEYOR  
COLORADO P.L.S. No. 15606  
FOR AND BEHALF OF AZTEC CONSULTANTS, INC.

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

### TOWN CERTIFICATION

THE PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT NO. 3 FOR MEADOWS FILING NO. 18 WAS APPROVED BY THE TOWN COUNCIL ON THE 27th DAY OF MARCH, 2008.

ATTEST:  
Sally Muir  
DIRECTOR OF DEVELOPMENT SERVICES  
TOWN CLERK  
DATE: 5/29/08

### DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PRELIMINARY PLAT AND FINAL PD SITE PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:35 P.M. ON THE 29th DAY OF May, 2008, AT RECEPTION NO. 2008038170

DOUGLAS COUNTY CLERK AND RECORDER  
BY: [Signature] DEPUTY

DEVELOPER  
CASTLE ROCK DEVELOPMENT COMPANY  
3033 E. 1ST AVENUE / SUITE 410  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 394-5500  
FAX NUMBER: (303) 394-5508  
CONTACT: JIM RILEY

LAND PLANNER/LANDSCAPE ARCHITECT  
NORRIS DESIGN  
Planning/Landscape Architects  
www.norris-design.com  
1101 Barrack Street  
Denver, Colorado 80204  
P 303.852.1188  
F 303.852.1186

SURVEYOR  
AZTEC CONSULTANTS, inc.  
A LAND SURVEYING COMPANY  
300 East Mineral Avenue, Suite 1 Littleton, CO 80122  
Ph. (303) 713-1898 Fx. (303) 713-1897

CIVIL ENGINEER  
ENGINEERING PARTNERS, inc.  
26 W. Dry Creek Circle, Suite 600  
Littleton, Colorado 80120  
Tel. (303) 703-4444  
Fax (303) 703-4530  
CONTACT: SCOTT PEASE

IRRIGATION  
HydroSystems, Inc.  
Irrigation Consulting  
300 Union Boulevard, Suite 630  
Littleton, Colorado, 80228  
303-980-5242  
(fax) 303-980-5384  
CONTACT: KEN DIPAULO  
CERTIFICATE NO. 309

MEADOWS FILING NO. 18  
PRELIMINARY PLAT/FINAL PD SITE PLAN  
AMENDMENT #3  
COVER SHEET AND NOTES  
SHEET 1 OF 15

# RESIDENTIAL DEVELOPMENT STANDARDS

# THE MEADOWS FILING 18

PORTIONS OF THE SOUTHEAST ONE-QUARTER OF SECTION 33 AND THE SOUTHWEST ONE-QUARTER OF SECTION 34,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 2 OF 15 FORMERLY 2 OF 38

### 1. THE FOLLOWING ENCROACHMENTS WILL BE PERMITTED IN THE SETBACKS:

A. BOX OR BAY WINDOWS, FIREPLACES, EAVES, ROOF OVERHANGS, CANTILEVERS, SIDE, REAR AND FRONT COVERED PORCHES, ETC. MAY OCCUR UP TO 24" IN ANY SIDE SETBACK AND UP TO 48" IN ANY FRONT & REAR SETBACKS.

B. REAR YARD DECKS (COVERED AND UNCOVERED) AND PORCHES AT GRADE OR UP TO 60" ABOVE GRADE MAY ENCR OACH IN THE REAR SETBACK UP TO 12'.

C. REAR YARD DECKS (COVERED AND UNCOVERED) AND PORCHES ELEVATED GREATER THAN 5' ABOVE THE GROUND MAY ENCR OACH 6' INTO THE REAR YARD SETBACK.

### 2. MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:

A. FRONT - 15': MAY BE REDUCED TO 10' IF ALL OF THE BUILDING IN THE FRONT 20' OF THE LOT IS SINGLE STORY OR IF THERE IS A SIDE LOADED GARAGE ORIENTATION. AT NO TIME SHALL THE MINIMUM FOR A FRONT LOADED GARAGE BE LESS THAN 18'.

B. REAR - 18': IF THE GARAGE IS LOCATED AT THE REAR OF THE LOT, THE REAR SETBACK FOR THE GARAGE MAY BE REDUCED TO A MINIMUM OF 3' IF AN ALTERNATIVE UTILITY EASEMENT IS PROVIDED.

C. SIDE - 3' PROVIDED THAT THERE IS A MINIMUM 10' SEPARATION BETWEEN THE FOUNDATION OF ADJACENT BUILDINGS. SIDE ABUTTING PUBLIC RIGHT OF WAY - 15'.

3. ALL SINGLE FAMILY PLOT PLANS AND LANDSCAPE PLANS MUST SECURE WRITTEN APPROVAL BY THE CASTLE ROCK DEVELOPMENT COMPANY ARCHITECTURAL REVIEW COMMITTEE PRIOR TO SUBMITTAL FOR A BUILDING PERMIT FOR ANY LOT INCLUDED IN FILING NO. 18. THE ARCHITECTURAL REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR CERTIFYING TO THE TOWN THAT THE FOLLOWING ITEMS HAVE BEEN COMPLIED WITH:

A. FENCING TO BE PROVIDED AS SHOWN ON THESE FINAL PD PLANS.

B. STREET TREES AS SHOWN ON THESE FINAL PD PLANS ARE TO BE INSTALLED BY THE INITIAL BUILDER OF THE HOME ON THE LOT AND MAINTAINED BY THE OWNER OF THE LOT. THESE TREES ARE IN ADDITION TO THE TREES REQUIRED BY TOWN MUNICIPAL CODE, TITLE 17, CHAPTER 17.62.

C. LOTS DESIGNATED WITH A  $\text{\textcircled{R}}$  SYMBOL REPRESENT "REAR CONDITION" LOTS AND ARE REQUIRED TO HAVE ENHANCED REAR ELEVATION ARCHITECTURAL DETAILS INCLUDING A MINIMUM OF AT LEAST TWO ARCHITECTURAL DETAILS WHICH BREAK THE MAIN PLANE OF THE REAR ELEVATION.

D. LOTS DESIGNATED WITH A  $\text{\textcircled{C}}$  SYMBOL REPRESENT "CORNER CONDITION" LOTS AND ARE REQUIRED TO HAVE ENHANCED CORNER ARCHITECTURAL DETAILS INCLUDING AN ARCHITECTURAL FEATURE, SUCH AS A WRAP-AROUND FRONT PORCH DETAIL, BAY WINDOW, ETC. ON BOTH THE FRONT AND SIDE ELEVATIONS FACING BOTH STREETS.

E. LOTS DESIGNATED WITH A  $\text{\textcircled{H}}$  REPRESENT "HIGH VISIBILITY CONDITION" LOTS. HIGH VISIBILITY CONDITION LOTS MAY ALSO BE CORNER CONDITION LOTS AND REAR CONDITION LOTS AND ARE REQUIRED TO HAVE ENHANCED ARCHITECTURAL DETAILS THAT ARE JUDGED BY THE CASTLE ROCK DEVELOPMENT COMPANY ARCHITECTURAL COMMITTEE TO BE SUBSTANTIAL AND APPROPRIATE FOR A HIGH VISIBILITY CONDITION LOT.

F. NOT MORE THAN TWO FRONT BUILDING ELEVATIONS MAY BE THE SAME IF SIDE BY SIDE OR ACROSS THE STREET FROM EACH OTHER. NO TWO REAR ELEVATIONS MAY BE THE SAME IF SIDE-BY-SIDE AND VISIBLE FROM A COLLECTOR STREET OR OPEN SPACE TRACT.

G. IF MASONRY IS PROVIDED ON THE FRONT ELEVATION OF A BUILDING, MASONRY SHALL EXTEND AND WRAP AROUND THE SIDE ELEVATIONS BY AT LEAST 2 FEET.

H. HOUSES ADJACENT TO EACH OTHER AND DIRECTLY ACROSS THE STREET FROM EACH OTHER SHALL NOT USE THE SAME COLOR OF PAINT FOR THE BODY OF THE HOUSE.

I. NOT MORE THAN THREE ADJACENT HOMES SHALL HAVE THE SAME FRONT SETBACK AND SAID FRONT SETBACK WHERE VARIED, WILL BE VARIED BY AT LEAST 3 FEET.

4. TRAFFIC CALMING MEASURES WILL BE ADDED TO THE CONSTRUCTION DOCUMENTS AS NECESSARY TO MEET THE GUIDELINES OF THE TOWN OF CASTLE ROCK'S NEIGHBORHOOD TRAFFIC CALMING PROGRAM.

## HEIGHT RESTRICTIONS

1) THE FOLLOWING LOTS ARE WITHIN THE MINOR SKYLINE AREAS OF THE SKYLINE/RIDGELINE MITIGATION AREAS AND MUST ADHERE TO THE PROVISIONS WITHIN CHAPTER 17.14 OF THE SKYLINE/RIDGELINE PROTECTION REGULATIONS:

BLOCK 16, LOTS 16A-20A, 27A, 28A; BLOCK 17, LOTS 15A-16A, 31A, 44A-46A; BLOCK 18, LOTS 6A-9A, 24A-25A; BLOCK 33, LOTS 18A-22A, 25A-32A

2) THE FOLLOWING LOTS ARE WITHIN THE MODERATE SKYLINE AREAS OF THE SKYLINE/RIDGELINE MITIGATION AREAS AND MUST ADHERE TO THE PROVISIONS WITHIN CHAPTER 17.14 OF THE SKYLINE/RIDGELINE PROTECTION REGULATIONS:

BLOCK 16, LOTS 12A-15A, 21A-26A; BLOCK 17, LOTS 1A-13A, 17A-29A, 32A-43A, BLOCK 18, LOTS 10A-23A; BLOCK 19, LOTS 1A-16A, 19A-34A; BLOCK 21, LOTS 1A-9A; BLOCK 33, LOTS 23A-24A

TRACT SUMMARY					
TRACT	AREA (SF)	OWNERSHIP	MAINTENANCE	USAGE	USAGE TYPE
LA	41,411	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
MA	74,199	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
NA	131,123	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
OA	441,897	TOCR	HOA	PUB. O.S.	O.S./U/D/P.A.
WA	3,250	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.
YA	122,768	HOA	HOA	PVT. O.S.	O.S./U/D/P.A.

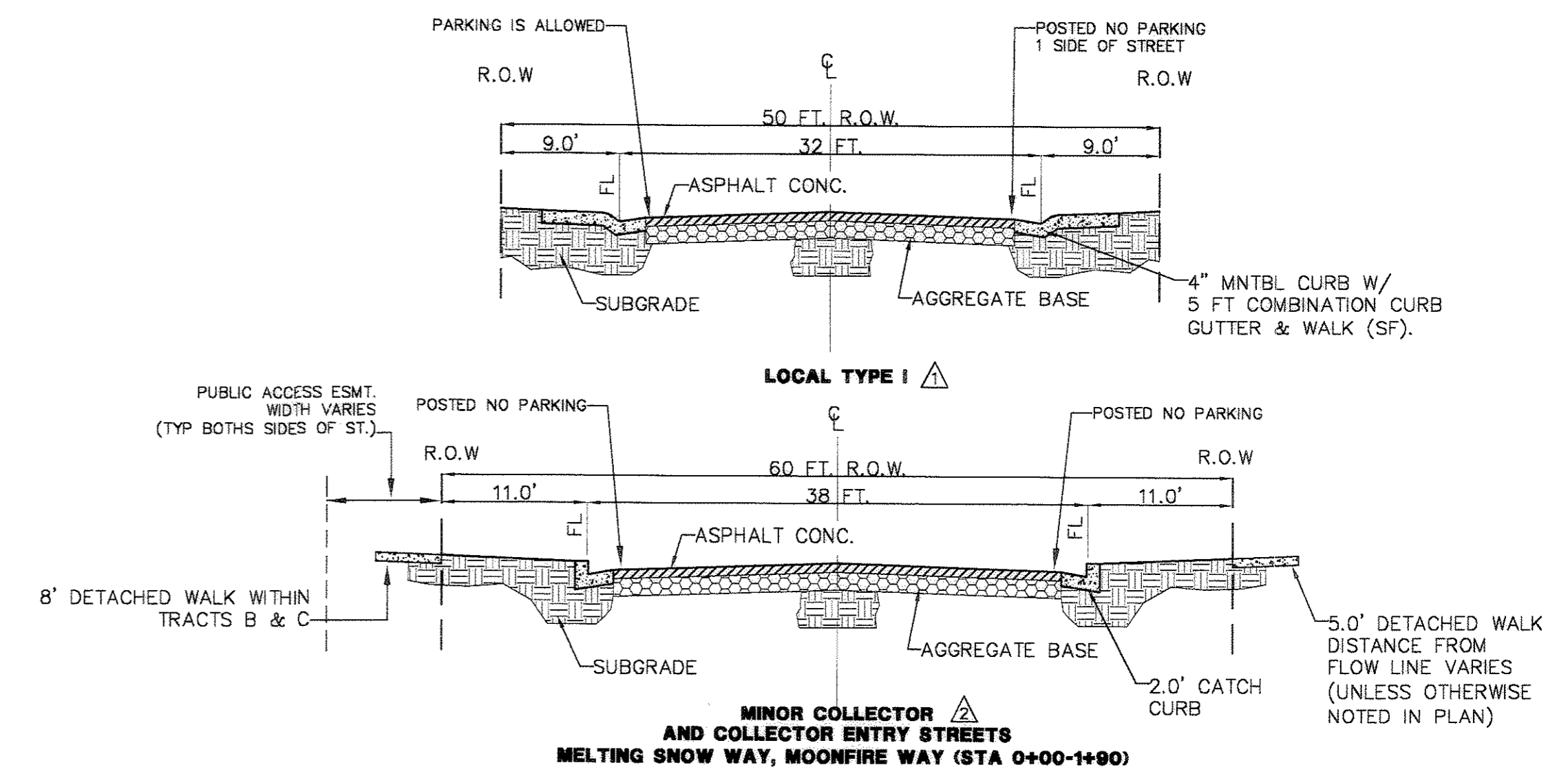
HOA = HOME OWNERS ASSOCIATION  
TOCR = TOWN OF CASTLE ROCK

### TRACT LEGEND

TOCR = TOWN OF CASTLE ROCK  
HOA = HOMEOWNERS ASSOCIATION  
U - UTILITY  
P.A. - PUBLIC ACCESS  
O.S. - OPEN SPACE  
PLD - PUBLIC LAND DEDICATION  
D - DRAINAGE

### SYMBOL LEGEND

- EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- BOUNDARY LINE
- 100-YR FEMA FLOP.
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD
- FLOWLINE
- $\text{\textcircled{C}}$  CROSS PAN
- $\text{\textcircled{B}}$  BLOCK NUMBER
- X-X-X- EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- GAS EXISTING GAS
- EXISTING TELEPHONE
- EXIST. STREET LIGHT
- PROP. STREET LIGHT
- EXISTING SANITARY SEWER W/ MANHOLE
- PROPOSED SANITARY SEWER W/ MANHOLE
- EXISTING WATER LINE W/ FIRE HYDRANT
- PROPOSED WATER LINE W/ FIRE HYDRANT
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- PROPOSED BLOW OFF
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER ZONE BOUNDARY
- EXISTING INLET
- PROPOSED INLETS
- PROPOSED HEADWALL
- EXISTING RIPRAP
- PROPOSED FLARED END SECTION W/ RIP RAP
- PROP MAIL KIOSK
- SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666
- $\text{\textcircled{C}}$  CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- $\text{\textcircled{K}}$  KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- $\text{\textcircled{H}}$  HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- LOS LINE OF SIGHT
- LIMITS OF AMENDMENT #3
- $\text{\textcircled{3}}$  AMENDMENT NUMBER
- $\text{\textcircled{A}}$  LOCAL TYPE 1-50' R.O.W. 32' E-E PER -SHEET 2
- $\text{\textcircled{B}}$  MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
- $\text{\textcircled{C}}$  ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
- $\text{\textcircled{D}}$  COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
- $\text{\textcircled{E}}$  ARTERIAL ENTRY STREET-86' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
- $\text{\textcircled{F}}$  MINOR ARTERIAL STREET-120' R.O.W. 45'FL-CL 1/2 STREET-SHEET 2
- $\text{\textcircled{G}}$  UTILITY EASEMENT (20' WIDTH)
- $\text{\textcircled{H}}$  UTILITY EASEMENT (30' WIDTH)
- $\text{\textcircled{I}}$  DRAINAGE EASEMENT (W MAY VARY BUT 25' MIN)
- $\text{\textcircled{J}}$  DRAINAGE EASEMENT (W MAY VARY BUT 30' MIN)
- $\text{\textcircled{K}}$  DRAINAGE AND UTILITY EASEMENT (W MAY VARY BUT 30' MIN)
- $\text{\textcircled{L}}$  BLANKET UTILITY EASEMENT (AS DIMENSIONED)
- $\text{\textcircled{M}}$  0'-4' SINGLE RETAINING WALL
- $\text{\textcircled{N}}$  CONNECT TO EXISTING WATER LINE OFFSITE
- $\text{\textcircled{O}}$  CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
- $\text{\textcircled{P}}$  FUTURE WATER LINE
- $\text{\textcircled{Q}}$  CONNECT TO EXISTING / FUTURE SEWER MAIN
- $\text{\textcircled{R}}$  SIGHT TRIANGLE EASEMENT
- $\text{\textcircled{S}}$  TYPICAL CUL-DE-SAC PER SHT 3 OF ORIGINAL PP/FPD MEADOWS 18
- $\text{\textcircled{T}}$  TYPICAL KNUCKLE PER ORIGINAL PP/FPD MEADOWS 18
- $\text{\textcircled{U}}$  FLOOD PLAIN REVISIONS REQUIRED PER APPROVED CLOMR
- $\text{\textcircled{V}}$  6' DETACHED CONCRETE TRAIL
- $\text{\textcircled{W}}$  8' CONCRETE WALK/REGIONAL TRAIL
- $\text{\textcircled{X}}$  EXISTING FIRE HYDRANT
- $\text{\textcircled{Y}}$  PROPOSED FIRE HYDRANT
- $\text{\textcircled{Z}}$  IRRIGATION TAP W/ BACK FLOW PREVENTION
- $\text{\textcircled{AA}}$  LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)
- $\text{\textcircled{AB}}$  PEDESTRIAN ACCESS ESMT. (W VARIES)
- $\text{\textcircled{AC}}$  PVT. ACCESS ESMT. (WIDTH VARIES)
- $\text{\textcircled{AD}}$  REAR/SIDE LOT DRAINAGE



**DEVELOPER**  
CASTLE ROCK DEVELOPMENT CO.  
3033 E. 1ST AVENUE / SUITE 410  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 394-6500  
FAX NUMBER: (303) 394-6508  
CONTACT: JIM RILEY

**LAND PLANNER/LANDSCAPE ARCHITECT**  
**NORRIS DESIGN**  
Planning | Landscape Architecture  
1101 Bannock Street  
Denver, Colorado 80204  
P 303.892.1166  
F 303.892.1186  
www.norris-design.com  
CONTACT:  
SEAN MALONE  
CERTIFICATE NO. 8098

**CIVIL ENGINEER/SURVEYOR**  
**AzTec CONSULTANTS, inc.**  
A LAND SURVEYING COMPANY  
8000 South Lincoln Street, Unit 5 Littleton, Colorado 80122  
Ph. (303) 713-1898 Fax. (303) 713-1897  
INITIAL SUBMITTAL DATE:  
DECEMBER 13, 2006

**ENGINEERING PARTNERS, INC.**  
26 W. Dry Creek Circle, Suite 600  
Littleton, Colorado 80120  
Tel. (303) 703-4444  
Fax (303) 703-4530  
CONTACT:  
SCOTT PEASE

REVISION:  
NOVEMBER 20, 2007

**MEADOWS FILING 18**  
**PRELIMINARY PLAT/**  
**FINAL PD SITE PLAN**  
**AMENDMENT #3**  
**TRACT SUMMARY / DEV. STANDARDS**  
**SHEET 2 OF 15 FORMERLY 2 OF 38**

1 REVISED 4/19/06

# THE MEADOWS FILING 18

PORTIONS OF THE SOUTHEAST ONE-QUARTER OF SECTION 33 AND THE SOUTHWEST ONE-QUARTER OF SECTION 34,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 3 OF 15 FORMERLY 4 OF 38

### BENCHMARK INFORMATION—THE MEADOWS FILING NO. 18

ORIGIN BENCHMARK NGS POINT K-23

FOUND BRASS DISK SET IN CONCRETE POST 0.4' ABOVE THE GROUND LOCATED 0.15 MILES NORTHWEST OF THE INTERSECTION OF HAPPY CANYON ROAD AND U.S. HIGHWAY 85. STATION IS 75+— FEET SOUTH OF THE CENTERLINES OF HIGHWAY 85. ELEVATION IS 5984.91 FEET, (NAVD 1988 DATUM).

PROJECT BENCHMARK NO. 1

SET #5 REBAR WITH ALUMINUM CAP MARKED "AZTEC-145" SET FLUSH WITH GROUND ON THE NORTH SIDE OF MEADOWS PARKWAY APPROXIMATELY 190 FEET NORTHERLY OF THE CENTERLINE OF MEADOWS PARKWAY. ELEVATION IS 6235.49 FEET (NAVD 1988 DATUM).

PROJECT BENCHMARK NO. 2

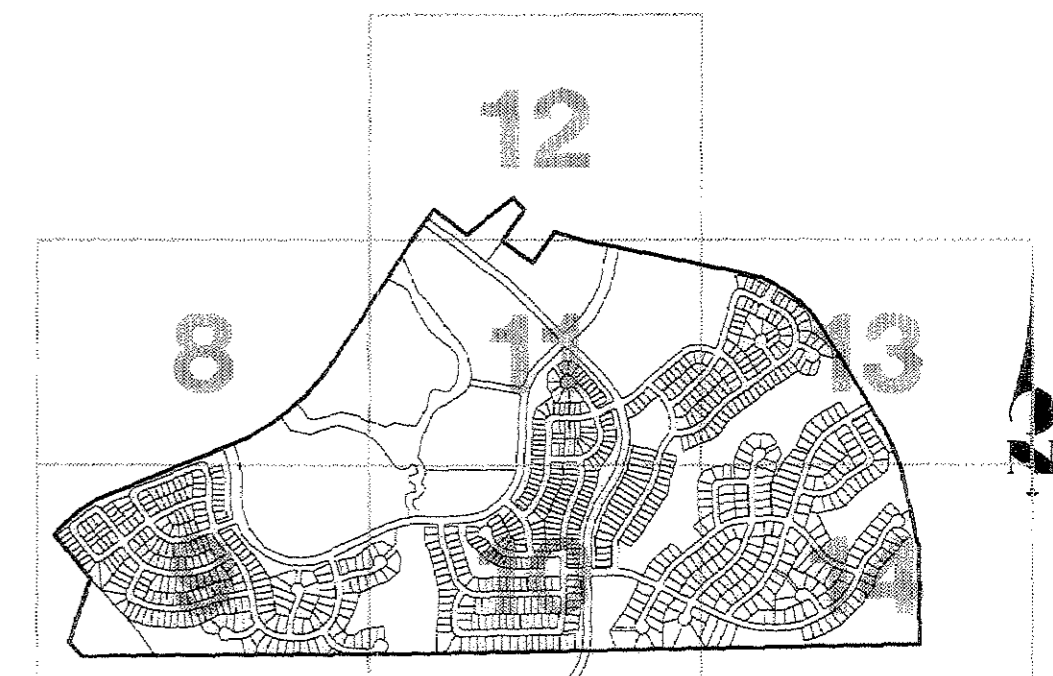
SET #5 REBAR WITH ALUMINUM CAP MARKED "AZTEC-123" SET FLUSH WITH GROUND ON THE SOUTH SIDE OF MEADOWS BOULEVARD APPROXIMATELY 530 FEET SOUTHERLY OF THE CENTERLINE OF MEADOWS BOULEVARD AND 633 FEET WESTERLY OF THE CENTERLINE OF MEADOWS BOULEVARD. ELEVATION IS 6086.64 FEET (NAVD 1988 DATUM).

PROJECT BENCHMARK NO. 3

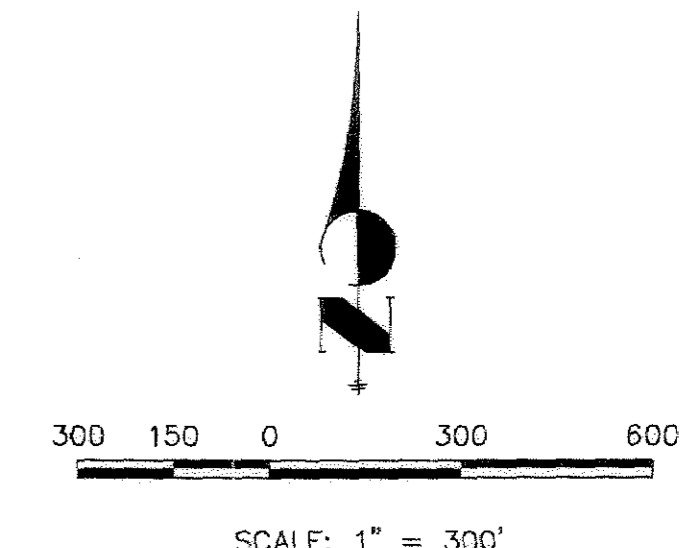
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### BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS PLAT ARE BASED UPON THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH. P.M. AS BEING ASSUMED TO BEAR NORTH 89°29'14" EAST AND IS MONUMENTED AS SHOWN HEREON.



KEYMAP  
N.T.S.



### STREET LEGEND

(A) - PROPOSED STREET NAME

- |                        |                      |
|------------------------|----------------------|
| A Low Meadow Boulevard | Q Riverwood Way      |
| B Red Hawk Drive       | R Youngheart Way     |
| C1 Night Song Way      | S Wandering Way      |
| C2 Black Canyon Way    | T Riding Hood Court  |
| D Open Sky Way         | U Footprint Court    |
| E Shadow Dance Drive   | V Prairie High Road  |
| F Deerfoot Way         | W Fencepost Drive    |
| G Warmstone Court      | X Skyward Way        |
| H Badlands Court       | Y Melting Snow Way   |
| I Robin Song Court     | Z Morningbird Lane   |
| J Wind Dance Court     | AA Gentle Rain Drive |
| K Treetop Drive        | BB Keepsake Way      |
| M Moonfire Way         | CC Eagle Wing Way    |
| N Setting Sun Avenue   | DD Sunlit Drive      |
| O Rising Moon Way      | EE Fiddle Road       |
|                        | FF Sky Rock Way      |
|                        | GG Bright Dawn       |
|                        | HH Chinaberry        |

### HEIGHT RESTRICTION LEGEND

- HEIGHT RESTRICTIONS PER MINOR SKYLINE/RIDGELINE ORD.
- HEIGHT RESTRICTIONS PER MODERATE SKYLINE/RIDGELINE ORD.

### DEVELOPER LAND PLANNER/LANDSCAPE ARCHITECT

CASTLE ROCK DEVELOPMENT CO.  
3033 E. 1ST AVENUE / SUITE 410  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 394-5500  
FAX NUMBER: (303) 394-5508  
CONTACT: JIM RILEY

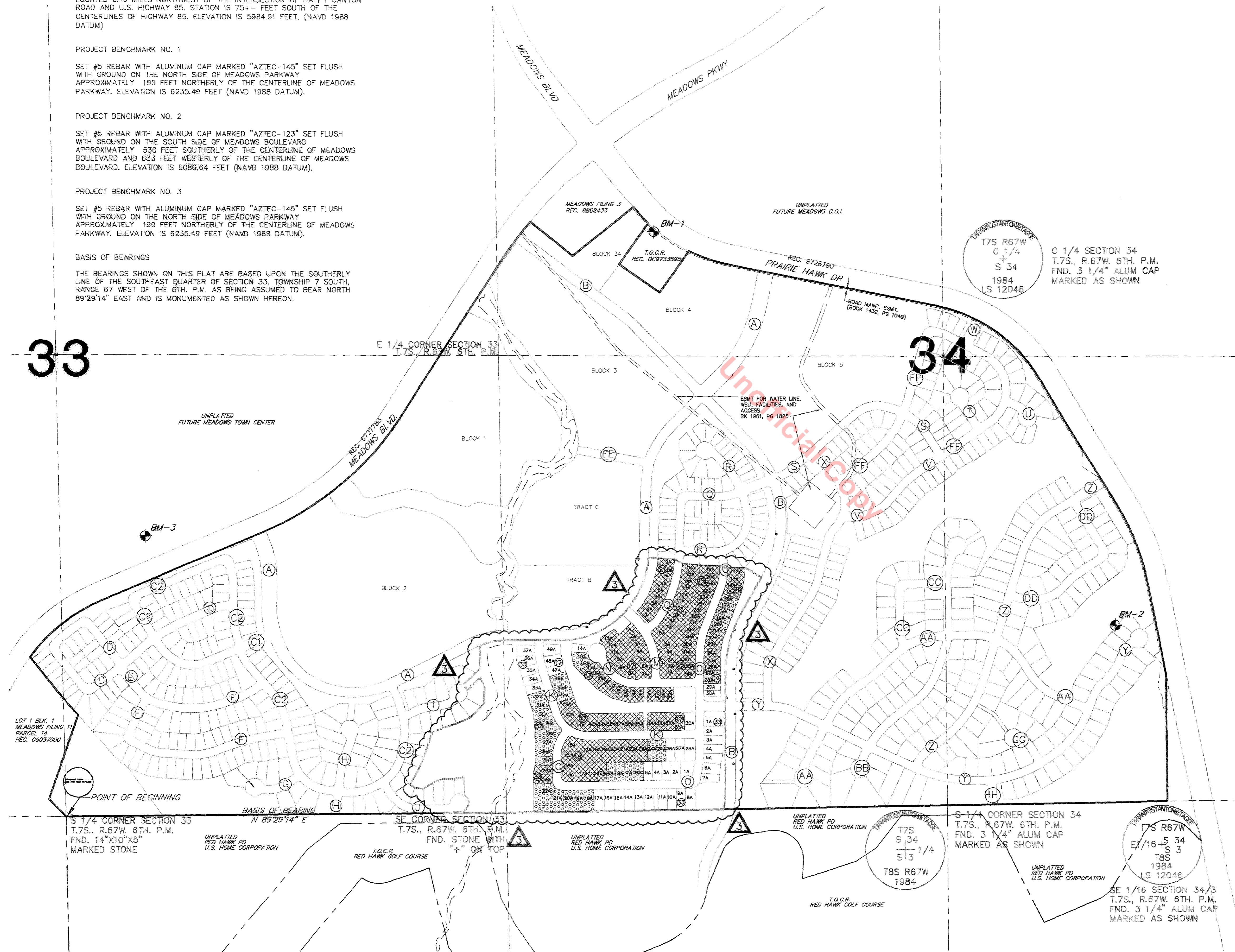
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Denver, Colorado 80204  
P 303.882.1186  
F 303.882.1186  
www.norris-design.com  
CONTACT:  
SEAN MALONE  
CERTIFICATE NO. 6598

**CIVIL ENGINEER/SURVEYOR**  
**AZTEC CONSULTANTS, inc.**  
A LAND SURVEYING COMPANY  
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Ph. (303) 713-1898 Fax. (303) 713-1897

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PRELIMINARY PLAT/  
FINAL PD SITE PLAN  
AMENDMENT #3**

OVERALL BOUNDARY/ PARCEL MAP/ HT. RESTRICTION.  
SHEET 3 OF 15 FORMERLY 4 OF 38



33

34

E 1/4 SECTION 34  
T.7S., R.67W. 6TH. P.M.  
FND. 3 1/4" ALUM CAP  
MARKED AS SHOWN

1/4 34+35  
LS 12046  
1984

SE CORNER SECTION 34  
T.7S., R.67W. 6TH. P.M.  
FND. 3 1/4" ALUM CAP  
MARKED AS SHOWN

1998  
T7S R67W  
S 34 S 35  
S 35 S 2  
T8S R67W

T7S R67W  
S 34  
S 1/4  
S 13  
T8S R67W  
1984

T7S R67W  
E 1/16 S 34  
T8S R67W  
S 3  
1984  
LS 12046

SE 1/16 SECTION 34/3  
T.7S., R.67W. 6TH. P.M.  
FND. 3 1/4" ALUM CAP  
MARKED AS SHOWN

LOT 1 BLK. 1  
MEADOWS FILING 11  
PARCEL 14  
REC. 02037820

POINT OF BEGINNING  
S 1/4 CORNER SECTION 33  
T.7S., R.67W. 6TH. P.M.  
FND. 14"x10"x5"  
MARKED STONE  
BASIS OF BEARING  
N 89°29'14" E

SE CORNER SECTION 33  
T.7S., R.67W. 6TH. P.M.  
FND. STONE WITH  
"X" ON TOP

UNPLATTED  
RED HAWK PD  
U.S. HOME CORPORATION

UNPLATTED  
RED HAWK PD  
U.S. HOME CORPORATION

UNPLATTED  
RED HAWK PD  
U.S. HOME CORPORATION

T.O.C.R.  
RED HAWK GOLF COURSE

UNPLATTED  
RED HAWK PD  
U.S. HOME CORPORATION

SE 1/16 SECTION 34/3  
T.7S., R.67W. 6TH. P.M.  
FND. 3 1/4" ALUM CAP  
MARKED AS SHOWN

# THE MEADOWS FILING 18

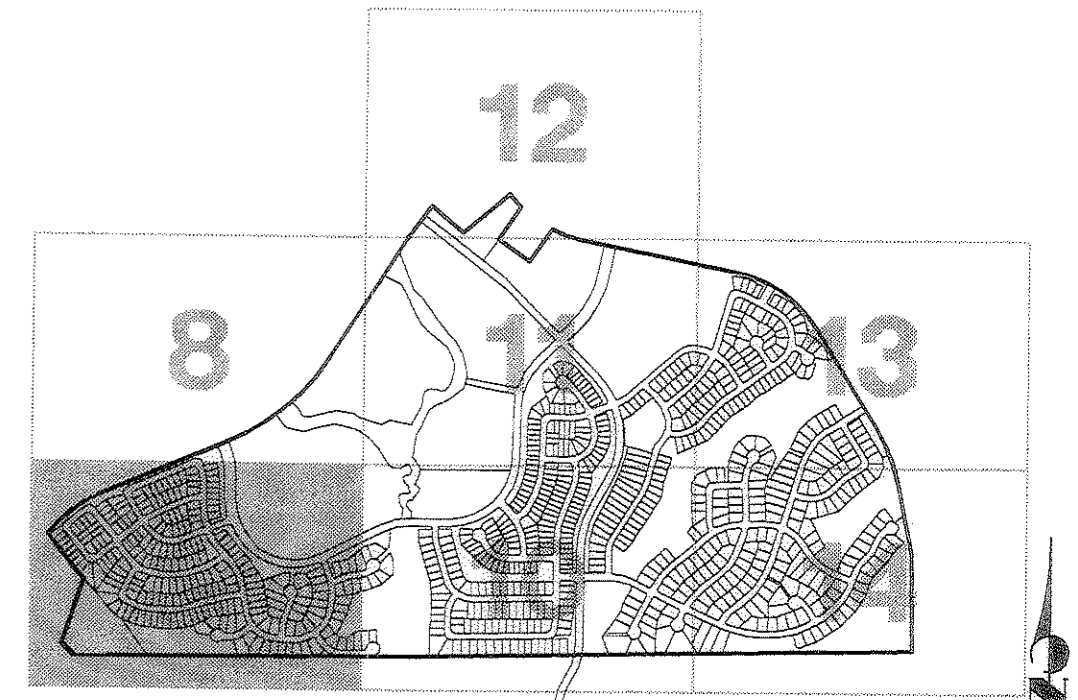
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## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 4 OF 15 FORMERLY 9 OF 38

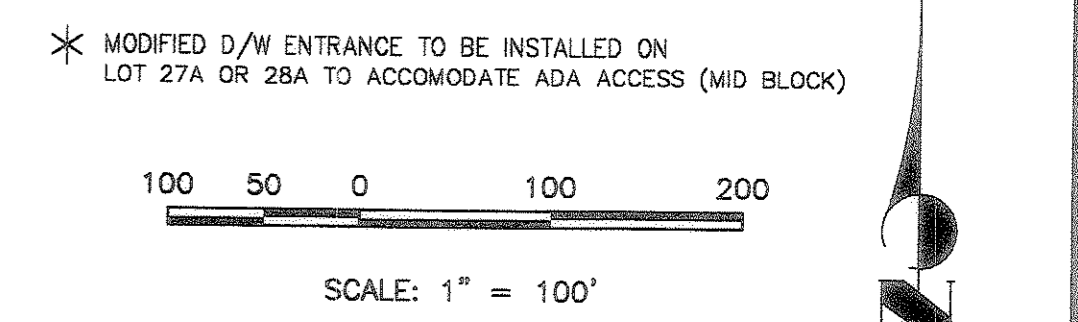
SEE SHEET 8

### KEYMAP



### LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- BOUNDARY LINE
- 100-YR FEMA FLDP.
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD
- FLOWLINE
- CROSS PAN
- BLOCK NUMBER
- EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING TELEPHONE
- EXIST. STREET LIGHT
- PROP. STREET LIGHT
- EXISTING SANITARY SEWER W/ MANHOLE
- PROPOSED SANITARY SEWER W/ MANHOLE
- EXISTING WATER LINE W/ FIRE HYDRANT
- PROPOSED WATER LINE W/ FIRE HYDRANT
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- PROPOSED BLOW OFF
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER ZONE BOUNDARY
- EXISTING INLET
- PROPOSED INLETS
- PROPOSED HEADWALL
- EXISTING RIPRAP
- PROPOSED FLARED END SECTION W/ RIP RAP
- PROP MAIL KIOSK
- SET SURVEY MONUMENT #5 REBAR W/CAP LSR 17666
- CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- HIGH VISIBILITY ELEVATION SEE SHEET 2, NOTE 3-J
- DEVELOPMENT STANDARDS NOTE: 3.
- LOS
- LINE OF SIGHT
- LIMITS OF AMENDMENT #3
- AMENDMENT NUMBER
- LOCAL TYPE 1-50' R.O.W. 32' E-E PER SHEET 2
- MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
- ENTRY STREET-64' R.O.W. 42' FL-FL SHEET-2 (4 UTILITIES)
- COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
- ARTERIAL ENTRY STREET-66' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
- MINOR ARTERIAL STREET-120' R.O.W. 45' FL-CL 1/2 STREET-SHEET 2
- UTILITY EASEMENT (20' WIDTH)
- UTILITY EASEMENT (30' WIDTH)
- DRAINAGE EASEMENT (W MAY VARY BUT 25' MIN)
- DRAINAGE EASEMENT (W MAY VARY BUT 30' MIN)
- DRAINAGE AND UTILITY EASEMENT (W MAY VARY BUT 30' MIN)
- BLANKET UTILITY EASEMENT (AS DIMENSIONED)
- 0'-4' SINGLE RETAINING WALL
- CONNECT TO EXISTING WATER LINE OFFSITE
- CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
- FUTURE WATER LINE STUB W/2" B.O.
- CONNECT TO EXISTING / FUTURE SEWER MAIN
- SIGHT TRIANGLE EASEMENT
- TYPICAL CUL-DE-SAC PER SHT 3 OF ORIGINAL PP/FPD MEADOWS 18
- TYPICAL KNUCKLE PER ORIGINAL PP/FPD MEADOWS 18
- FLOOD PLAIN REVISIONS REQUIRED PER APPROVED CLOMR
- 6' DETACHED CONCRETE TRAIL
- 8" CONCRETE WALK/REGIONAL TRAIL
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- IRRIGATION TAP W/ BACK FLOW PREVENTION
- LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)
- PEDESTRIAN ACCESS ESMT. (W VARIES) NOTE: 3.
- PVT. ACCESS ESMT. (WIDTH VARIES)
- REAR/SIDE LOT DRAINAGE



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www.norris-design.com

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SEAN MALONE  
CERTIFICATE NO. 0068

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A LAND SURVEYING COMPANY  
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SHEET 4 OF 15 FORMERLY 9 OF 38



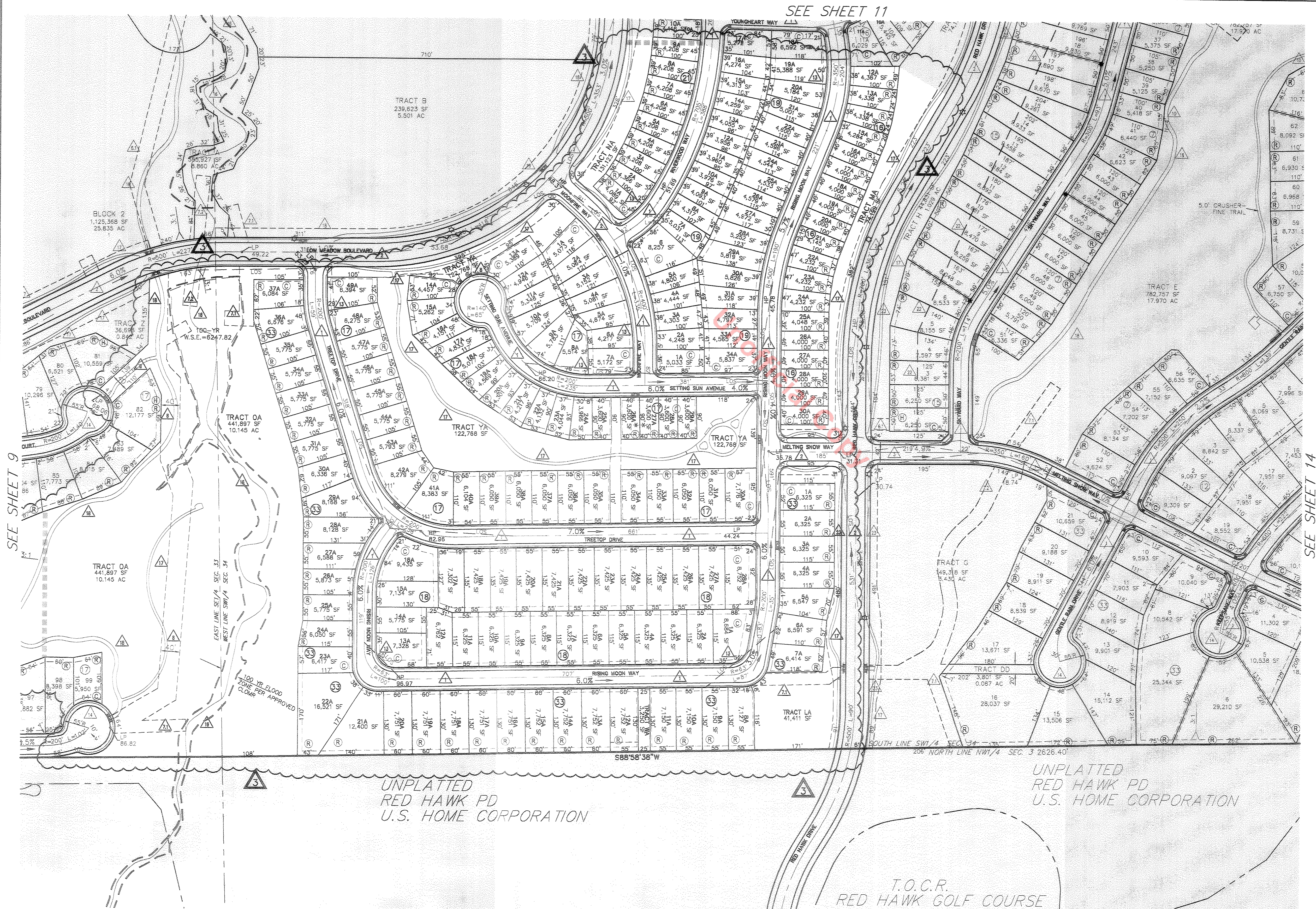
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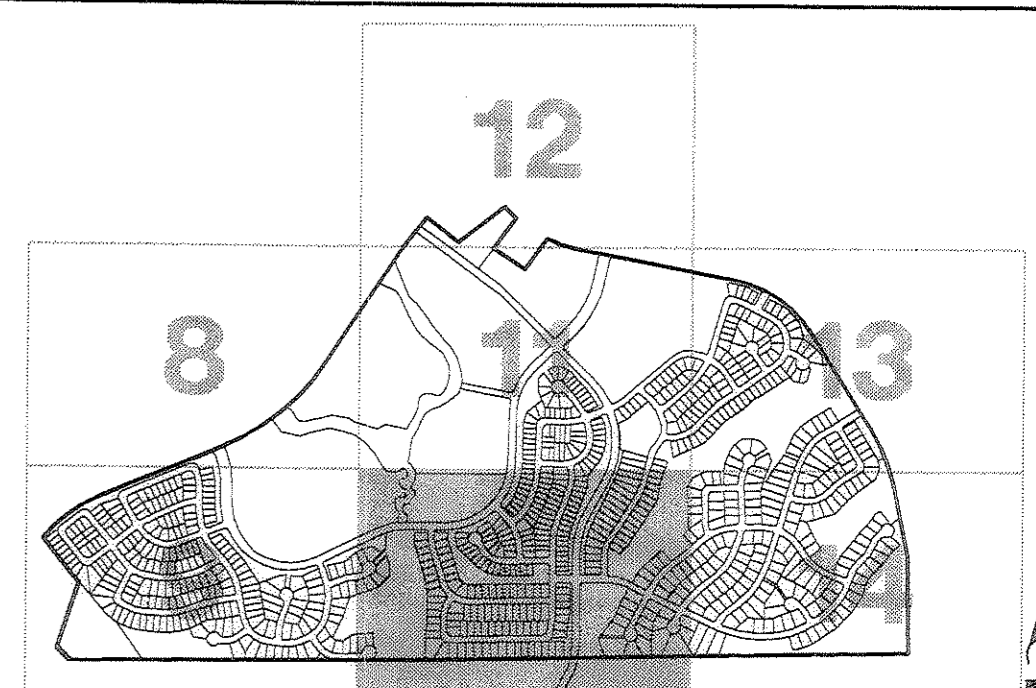
## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 5 OF 15 FORMERLY 10 OF 38

SEE SHEET 11



### KEYMAP



### LEGEND

- EXISTING CONTOURS
- 6210 PROPOSED CONTOURS
- BOUNDARY LINE
- 100-YR FEMA FLDP.
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD FLOWLINE
- CROSS PAN
- Ⓢ BLOCK NUMBER
- EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING TELEPHONE
- ⊙ EXIST. STREET LIGHT
- ⊙ PROP. STREET LIGHT
- EXISTING SANITARY SEWER W/ MANHOLE
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- PROPOSED GATE VALVE
- EXISTING BLOW OFF
- PROPOSED BLOW OFF
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER ZONE BOUNDARY
- EXISTING INLET
- PROPOSED INLET
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- LOS LINE OF SIGHT
- LIMITS OF AMENDMENT #3
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- LOCAL TYPE 1-50' R.O.W. 32' E-I PER - SHEET 2
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- PVT. ACCESS ESMT. (WIDTH VARIES)
- REAR/SIDE LOT DRAINAGE

\* MODIFIED D/W ENTRANCE TO BE INSTALLED ON LOT 26A OR 27A TO ACCOMMODATE ADA ACCESS (MID BLOCK)



SCALE: 1" = 100'

**DEVELOPER**  
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Denver, Colorado 80204  
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F 303.892.1188  
www.norris-design.com

**CONTACT:**  
SEAN MALONE  
CERTIFICATE NO. 6066

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SHEET 5 OF 15 FORMERLY 10 OF 38

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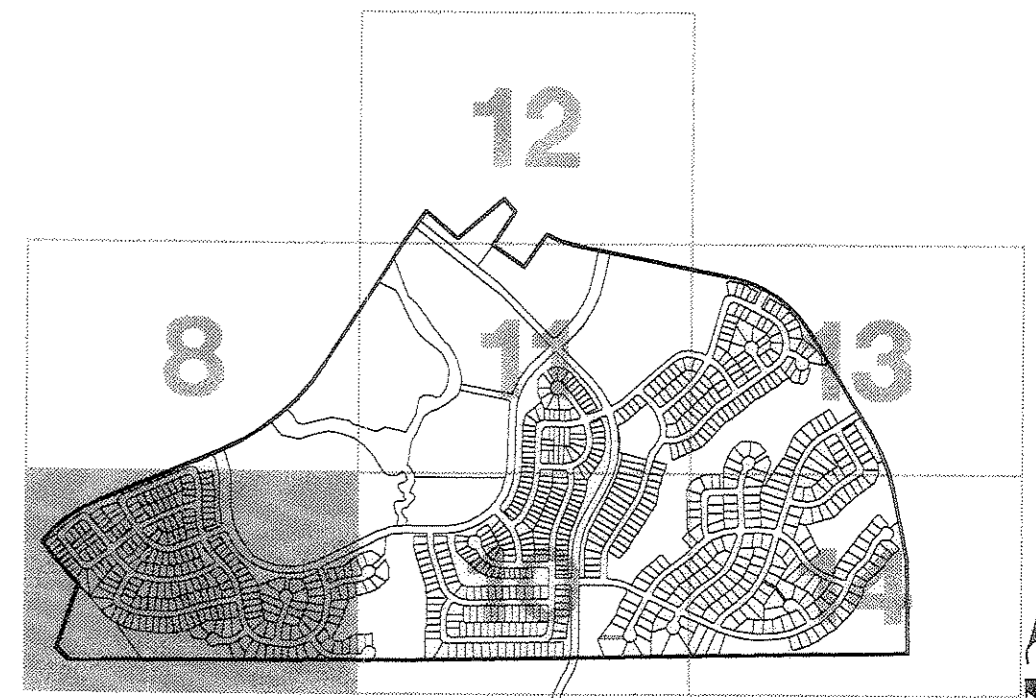
## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 6 OF 15 FORMERLY N/A OF 38

SEE SHEET 8

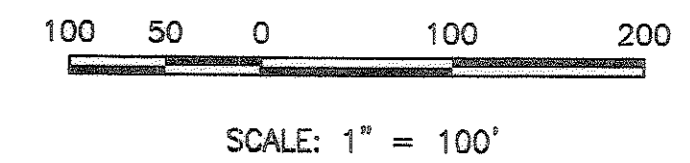


### KEYMAP



### LEGEND

— 52'0" —	EXISTING CONTOURS	▲	LOCAL TYPE 1-50' R.O.W. 32' E-E PER - SHEET 2
— 62'0" —	PROPOSED CONTOURS	▲	MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
— — — —	BOUNDARY LINE	▲	ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
— — — —	100-YR FEMA FLD.P.	▲	COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
— — — —	RIGHT OF WAY LINE	▲	ARTERIAL ENTRY STREET-66' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
— — — —	LOT LINE	▲	MINOR ARTERIAL STREET-120' R.O.W. 45' FL-CL 1/2 STREET-SHEET 2
— — — —	EASEMENT	▲	UTILITY EASEMENT (20' WIDTH)
— — — —	LINE OF SIGHT	▲	UTILITY EASEMENT (30' WIDTH)
— — — —	CROSS LINE OF ROAD	▲	DRAINAGE EASEMENT (W MAY VARY BUT 25' MIN)
— — — —	CROSS PAN	▲	DRAINAGE EASEMENT (W MAY VARY BUT 30' MIN)
⑤	BLOCK NUMBER	▲	DRAINAGE AND UTILITY EASEMENT (W MAY VARY BUT 30' MIN)
— X — X —	EXISTING FENCE	▲	BLANKET UTILITY EASEMENT (AS DIMENSIONED)
— — — —	EXISTING CABLE TV	▲	0'-4' SINGLE RETAINING WALL
— — — —	EXISTING ELECTRIC	▲	CONNECT TO EXISTING WATER LINE OFFSITE
— — — —	EXISTING GAS	▲	CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
— — — —	EXISTING TELEPHONE	▲	FUTURE WATER LINE STUB W/2" B.O.
— — — —	EXIST. STREET LIGHT	▲	CONNECT TO EXISTING / FUTURE SEWER MAIN
— — — —	PROP. STREET LIGHT	▲	SIGHT TRIANGLE EASEMENT
— — — —	EXISTING SANITARY SEWER W/ MANHOLE	▲	TYPICAL CUL-DE-SAC PER SHT 3 OF ORIGINAL PP/FPD MEADOWS 18
— — — —	PROPOSED SANITARY SEWER W/ MANHOLE	▲	TYPICAL KNUCKLE PER ORIGINAL PP/FPD MEADOWS 18
— — — —	EXISTING WATER LINE W/ FIRE HYDRANT	▲	FLOOD PLAN REVISIONS REQUIRED PER APPROVED CDMR
— — — —	PROPOSED WATER LINE W/ FIRE HYDRANT	▲	6' DETACHED CONCRETE TRAIL
— — — —	EXISTING GATE VALVE	▲	8' CONCRETE WALK/REGIONAL TRAIL
— — — —	PROPOSED GATE VALVE	▲	EXISTING FIRE HYDRANT
— — — —	EXISTING STORM SEWER	▲	PROPOSED FIRE HYDRANT
— — — —	PROPOSED STORM SEWER	▲	IRRIGATION TAP W/ BACK FLOW PREVENTION
— — — —	WATER ZONE BOUNDARY	▲	LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)
— — — —	EXISTING INLET	▲	PEDESTRIAN ACCESS ESMT. (W VARIES)
— — — —	PROPOSED INLETS	▲	PVT. ACCESS ESMT. (WIDTH VARIES)
— — — —	PROPOSED HEADWALL	▲	REAR/SIDE LOT DRAINAGE
— — — —	EXISTING RIPRAP	▲	
— — — —	PROPOSED FLARED END SECTION W/ RIP RAP	▲	
— — — —	PROP MAIL KIOSK	▲	
— — — —	SET SURVEY MONUMENT #5 REBAR W/CAP LS 17658	▲	
— — — —	CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	▲	
— — — —	KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	▲	
— — — —	HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	▲	
— — — —	LOS	▲	
— — — —	LIMITS OF AMENDMENT #3	▲	
— — — —	AMENDMENT NUMBER	▲	



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AZTEC CONSULTANTS, INC.  
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Ph (303) 713-1896 Fx (303) 713-7897

**CONTACT: SEAN MALONE**  
CERTIFICATE NO. 6098

**INITIAL SUBMITTAL DATE:**  
DECEMBER 13, 2006

**REVISION:**  
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SHEET 6 OF 15**

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26 W. Dry Creek Circle, Suite 600  
Littleton, Colorado 80120  
Tel. (303) 703-4444  
Fax (303) 703-4530

**CONTACT: SCOTT PEASE**

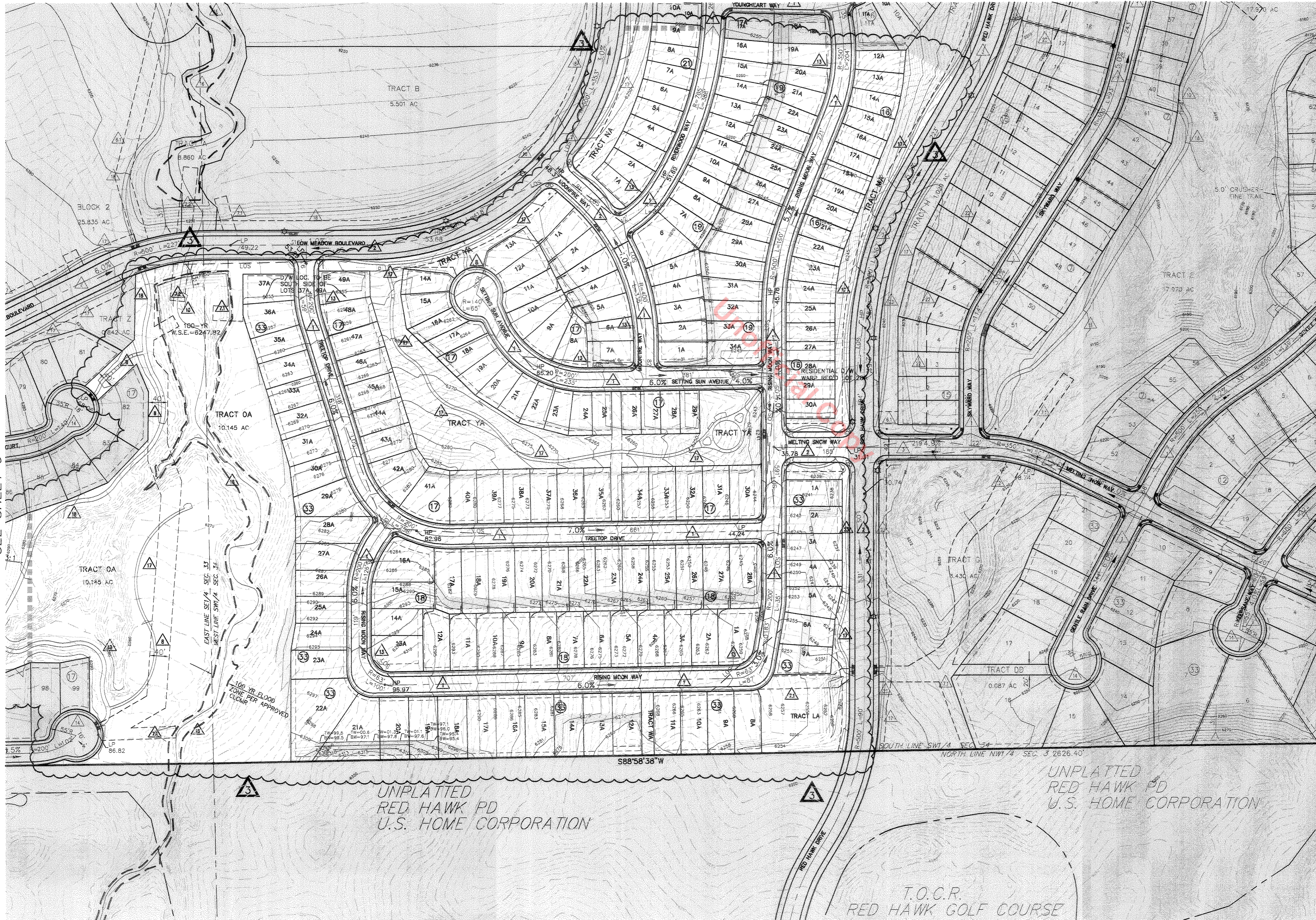
# THE MEADOWS FILING 18

PORTIONS OF THE SOUTHEAST ONE-QUARTER OF SECTION 33 AND THE SOUTHWEST ONE-QUARTER OF SECTION 34,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

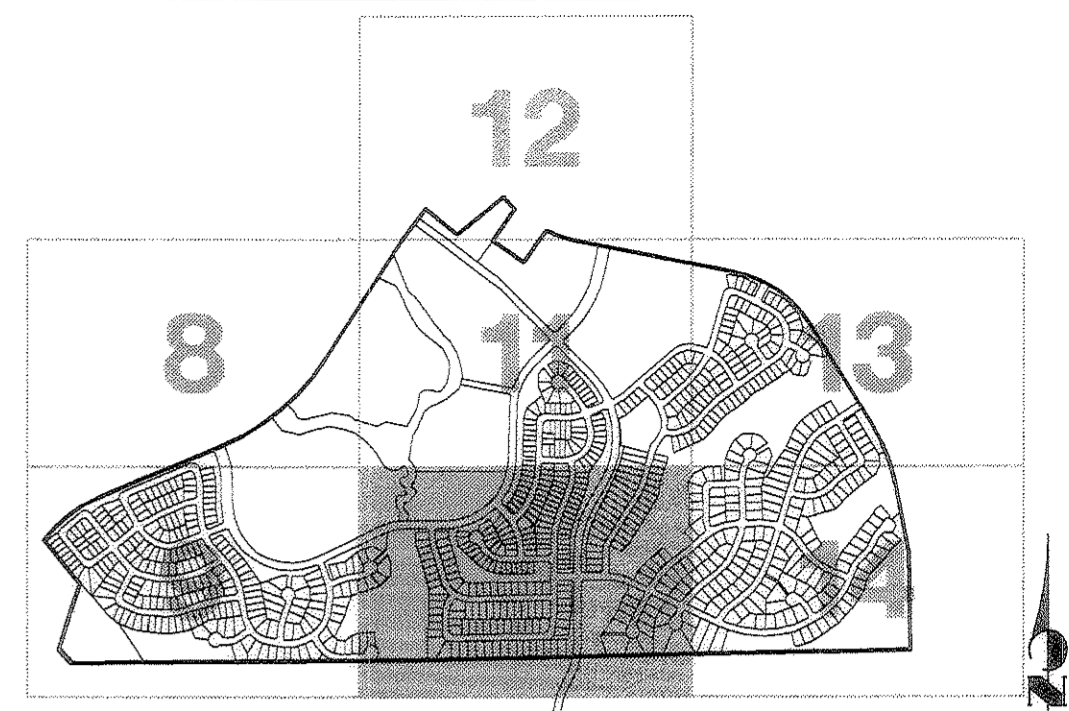
## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 7 OF 15 FORMERLY N/A OF 38

SEE SHEET 11

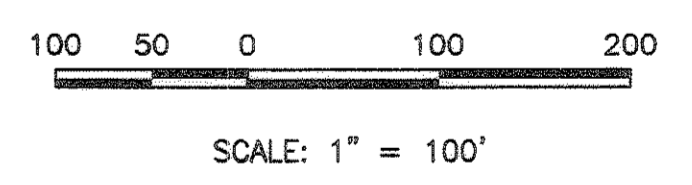


### KEYMAP



### LEGEND

- |          |  |   |  |
|----------|--|---|--|
| — 6210 — | EXISTING CONTOURS  | △ | LOCAL TYPE I-50' R.O.W. 32' E-E PER SHEET 2                                  |
| — 6210 — | PROPOSED CONTOURS  | △ | MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2           |
| —        | BOUNDARY LINE  | △ | ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)                      |
| —        | 100-YR FEMA FLOP.  | △ | COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2 |
| —        | RIGHT OF WAY LINE  | △ | ARTERIAL ENTRY STREET-86' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2 |
| —        | LOT LINE   | △ | MINOR ARTERIAL STREET-120' R.O.W. 45' FL-CL 1/2 STREET-SHEET 2               |
| —        | EASEMENT   | △ | UTILITY EASEMENT (20' WIDTH)   |
| —        | LINE OF SIGHT  | △ | UTILITY EASEMENT (30' WIDTH)   |
| —        | CENTER LINE OF ROAD  | △ | DRAINAGE EASEMENT (W MAY VARY BUT 25' MIN)                                   |
| —        | CROSS PAN  | △ | DRAINAGE EASEMENT (W MAY VARY BUT 30' MIN)                                   |
| ⑤        | BLOCK NUMBER   | △ | DRAINAGE AND UTILITY EASEMENT (W MAY VARY BUT 30' MIN)                       |
| — X —    | EXISTING FENCE   | △ | BLANKET UTILITY EASEMENT (AS DIMENSIONED)                                    |
| — X —    | EXISTING CABLE TV  | △ | 0'-4' SINGLE RETAINING WALL  |
| — X —    | EXISTING ELECTRIC  | △ | CONNECT TO EXISTING WATER LINE OFFSITE                                       |
| — X —    | EXISTING GAS   | △ | CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE                          |
| — X —    | EXISTING TELEPHONE   | △ | FUTURE WATER LINE STUB W/2" B.O.   |
| — X —    | EXIST. STREET LIGHT  | △ | CONNECT TO EXISTING / FUTURE SEWER MAIN                                      |
| — X —    | PROP. STREET LIGHT   | △ | SIGHT TRIANGLE EASEMENT  |
| — X —    | EXISTING SANITARY SEWER W/ MANHOLE                                   | △ | TYPICAL CUL-DE-SAC PER SHT 3 OF ORIGINAL PP/FPD MEADOWS 18                   |
| — X —    | PROPOSED SANITARY SEWER W/ MANHOLE                                   | △ | TYPICAL KNUCKLE PER ORIGINAL PP/FPD MEADOWS 18                               |
| — X —    | EXISTING WATER LINE W/ FIRE HYDRANT                                  | △ | FLOOD PLAN REVISIONS REQUIRED PER APPROVED CLOUT                             |
| — X —    | PROPOSED WATER LINE W/ FIRE HYDRANT                                  | △ | 6' DETACHED CONCRETE TRAIL   |
| — X —    | PROPOSED WATER LINE W/ FIRE HYDRANT                                  | △ | 8' CONCRETE WALK/REGIONAL TRAIL  |
| — X —    | PROPOSED GATE VALVE  | △ | EXISTING FIRE HYDRANT  |
| — X —    | PROPOSED BLOW OFF  | △ | PROPOSED FIRE HYDRANT  |
| — X —    | EXISTING STORM SEWER   | △ | IRRIGATION TAP W/ BACK FLOW PREVENTION                                       |
| — X —    | PROPOSED STORM SEWER   | △ | LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)                                     |
| — X —    | WATER ZONE BOUNDARY  | △ | PEDESTRIAN ACCESS ESMT. (W VARIES)   |
| — X —    | EXISTING INLET   | △ | PVT. ACCESS ESMT. (WIDTH VARIES)   |
| — X —    | PROPOSED INLETS  | △ | REAR/SIDE LOT DRAINAGE   |
| — X —    | PROPOSED HEADWALL  | △ |  |
| — X —    | EXISTING RIPRAP  | △ |  |
| — X —    | PROPOSED FLARED END SECTION W/ RIP RAP                               | △ |  |
| — X —    | PROP MAIL KIOSK  | △ |  |
| — X —    | SET SURVEY MONUMENT #5 REBAR W/CAP LS 17856                          | △ |  |
| — X —    | CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.          | △ |  |
| — X —    | KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.        | △ |  |
| — X —    | HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3. | △ |  |
| — X —    | LINE OF SIGHT  | △ |  |
| — X —    | LIMITS OF AMENDMENT #3   | △ |  |
| — X —    | AMENDMENT NUMBER   | △ |  |



**DEVELOPER**  
CASTLE ROCK DEVELOPMENT COMPANY  
3033 E 1ST AVENUE / SUITE 410  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 394-5500  
FAX NUMBER: (303) 394-5506  
CONTACT: JIM RILEY

**LAND PLANNER/LANDSCAPE ARCHITECT**  
NORRIS DESIGN  
1101 Barnook Street  
Denver, Colorado 80204  
P 303.882.1188  
F 303.882.1188  
www.norris-design.com

**CIVIL ENGINEER/SURVEYOR**  
SEAN MALONE  
CERTIFICATE NO. 6098

**AzTEC CONSULTANTS, inc.**  
A LAND SURVEYING COMPANY  
8000 South Lincoln Street, Unit 5 Littleton, Colorado 80122  
Ph. (303) 773-9898 Fx. (303) 773-9897

**ENGINEERING PARTNERS, inc.**  
26 W. Dry Creek Circle, Suite 600  
Littleton, Colorado 80120  
Tel. (303) 719-4444  
Fax (303) 703-4530

CONTACT: SCOTT PEASE

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**MEADOWS FILING 18  
PRELIMINARY PLAT/  
FINAL PD SITE PLAN  
AMENDMENT #3  
GRADING PLAN  
SHEET 7 OF 15**

# THE MEADOWS FILING 18

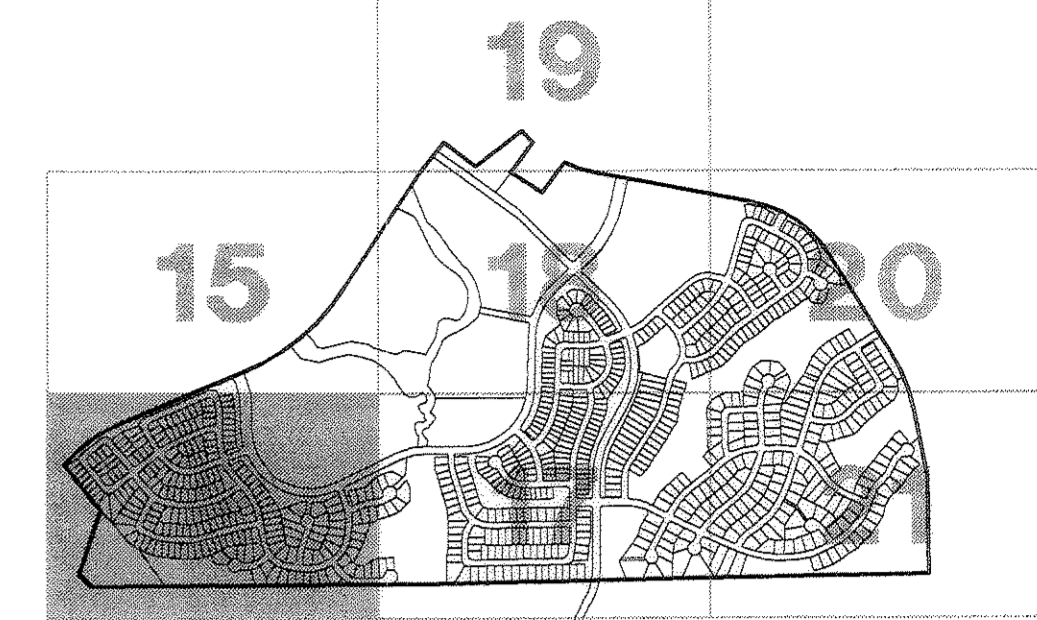
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## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 8 OF 15 FORMERLY 16 OF 38

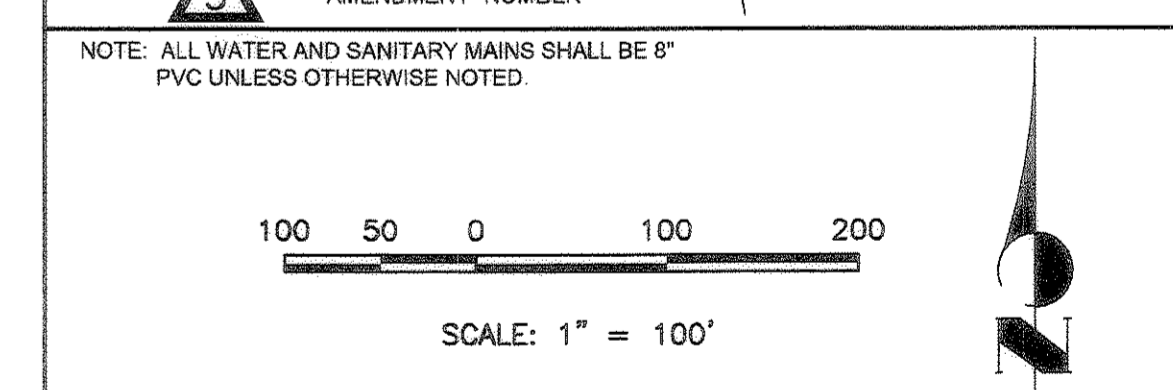
SEE SHEET 15

### KEYMAP



### LEGEND

---	EXISTING CONTOURS	▲	LOCAL TYPE I-50' R.O.W. 32' E-E PER SHEET 2
---	PROPOSED CONTOURS	▲	MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
---	100-YR FEMA FLD. BOUNDARY LINE	▲	ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
---	RIGHT OF WAY LINE	▲	COLLECTOR STREET MOD.-92' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
---	LOT LINE	▲	ARTERIAL ENTRY STREET-66' R.O.W. W/ MEDIAN 20' FL-FL EACH DRIVE LANE-SHEET 2
---	EASEMENT	▲	MINOR ARTERIAL STREET-120' R.O.W. 45' FL-CL 1/2 STREET-SHEET 2
---	LINE OF SIGHT	▲	UTILITY EASEMENT (20' WIDTH)
---	CENTER LINE OF ROAD FLOWLINE	▲	UTILITY EASEMENT (30' WIDTH)
---	CROSS PAN	▲	DRAINAGE EASEMENT (W MAY VARY BUT 25' MIN)
---	BLOCK NUMBER	▲	DRAINAGE EASEMENT (W MAY VARY BUT 30' MIN)
---	EXISTING FENCE	▲	DRAINAGE AND UTILITY EASEMENT (W MAY VARY BUT 30' MIN)
---	EXISTING CABLE TV	▲	BLANKET UTILITY EASEMENT (AS DIMENSIONED)
---	EXISTING ELECTRIC	▲	0'-4' SINGLE RETAINING WALL
---	EXISTING GAS	▲	PROPOSED WATER LINE W/ FIRE HYDRANT
---	EXISTING TELEPHONE	▲	EXISTING GATE VALVE
---	EXIST. STREET LIGHT	▲	PROPOSED GATE VALVE
---	PROP. STREET LIGHT	▲	PROPOSED BLOW OFF
---	EXISTING SANITARY SEWER W/ MANHOLE	▲	EXISTING STORM SEWER
---	PROPOSED SANITARY SEWER W/ MANHOLE	▲	PROPOSED STORM SEWER
---	EXISTING WATER LINE W/ FIRE HYDRANT	▲	WATER ZONE BOUNDARY
---	PROPOSED WATER LINE W/ FIRE HYDRANT	▲	EXISTING INLET
---	EXISTING GATE VALVE	▲	PROPOSED INLETS
---	PROPOSED GATE VALVE	▲	PROPOSED HEADWALL
---	PROPOSED BLOW OFF	▲	EXISTING RIPRAP
---	EXISTING STORM SEWER	▲	PROPOSED FLARED END SECTION W/ RIP RAP
---	PROPOSED STORM SEWER	▲	PROP MAIL KIOSK
---	WATER ZONE BOUNDARY	▲	SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666
---	EXISTING INLET	▲	CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
---	PROPOSED INLETS	▲	KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
---	PROPOSED HEADWALL	▲	HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
---	EXISTING RIPRAP	▲	LIMITS OF AMENDMENT #3
---	PROPOSED FLARED END SECTION W/ RIP RAP	▲	AMENDMENT NUMBER
---	PROP MAIL KIOSK	▲	REAR/SIDE LOT DRAINAGE
---	SET SURVEY MONUMENT #5 REBAR W/CAP LS 17666	▲	
---	CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	▲	
---	KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	▲	
---	HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.	▲	
---	LIMITS OF AMENDMENT #3	▲	
---	AMENDMENT NUMBER	▲	



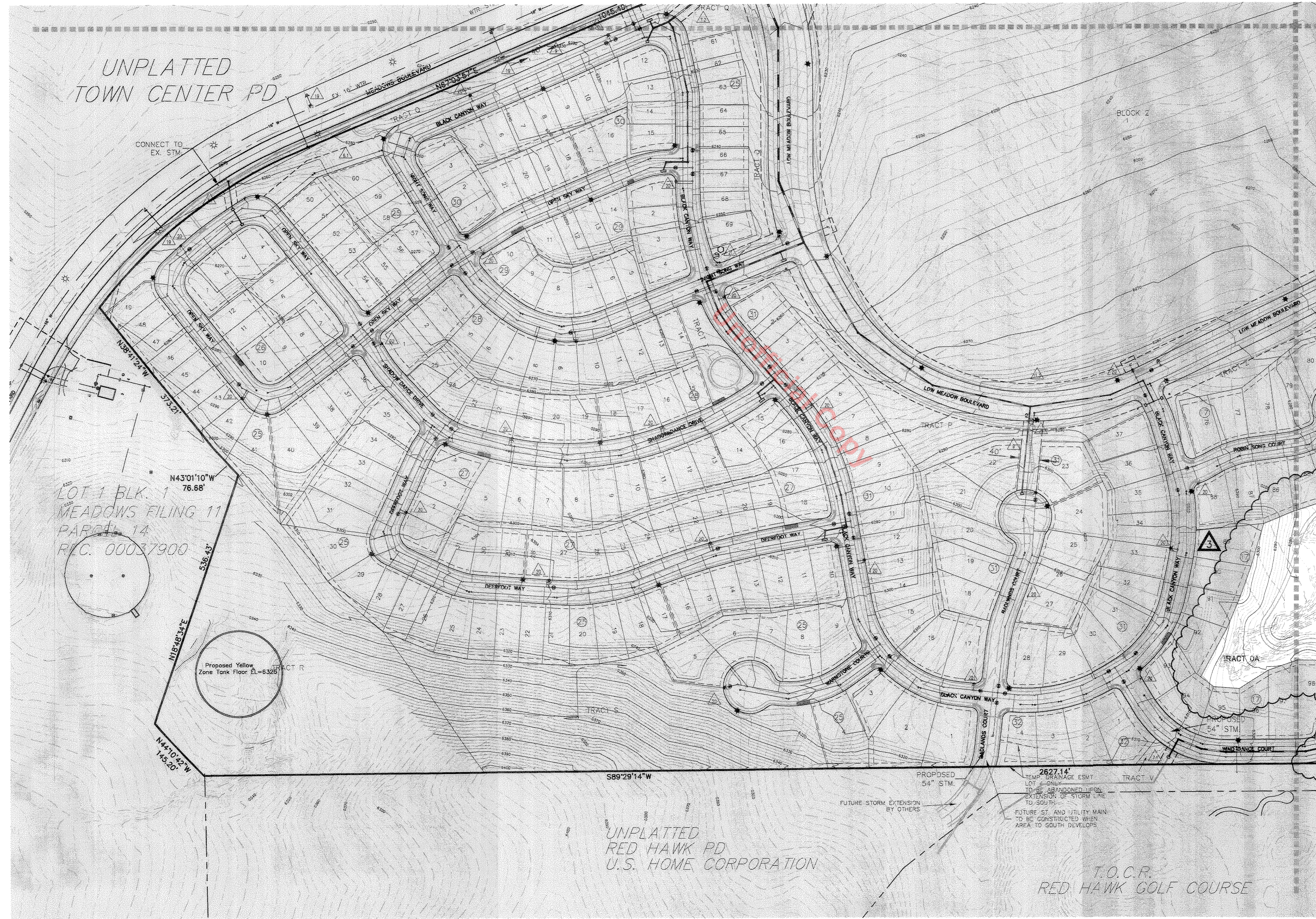
**DEVELOPER**  
CASTLE ROCK DEVELOPMENT COMPANY  
3035 E. 1ST AVENUE, SUITE 410  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 394-5500  
FAX NUMBER: (303) 394-5508  
CONTACT: JIM RILEY

**LAND PLANNER/LANDSCAPE ARCHITECT**  
**NORRIS DESIGN**  
Planning, Landscape Architecture  
1101 Barnook Street  
Denver, Colorado 80204  
P 303.882.1166  
F 303.882.1166  
www.norris-design.com  
CONTACT:  
SEAN MALONE  
CERTIFICATE NO. 6096

**CIVIL ENGINEER/SURVEYOR**  
**AzTec Consultants, Inc.**  
A LAND SURVEYING COMPANY  
8000 South Lincoln Street, Unit 5 Littleton, Colorado 80122  
Ph. (303) 713-1898 Fx. (303) 713-1897

**ENGINEERING PARTNERS, INC.**  
36 W. Dry Creek Circle, Suite 690  
Littleton, Colorado 80120  
Tel. (303) 703-4444  
Fax (303) 703-4550  
CONTACT:  
SCOTT PEASE

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**MEADOWS FILING 18  
PRELIMINARY PLAT /  
FINAL PD SITE PLAN  
AMENDMENT #3  
UTILITY PLAN**  
SHEET 8 OF 15 FORMERLY 16 OF 38



SEE SHEET 17

# THE MEADOWS FILING 18

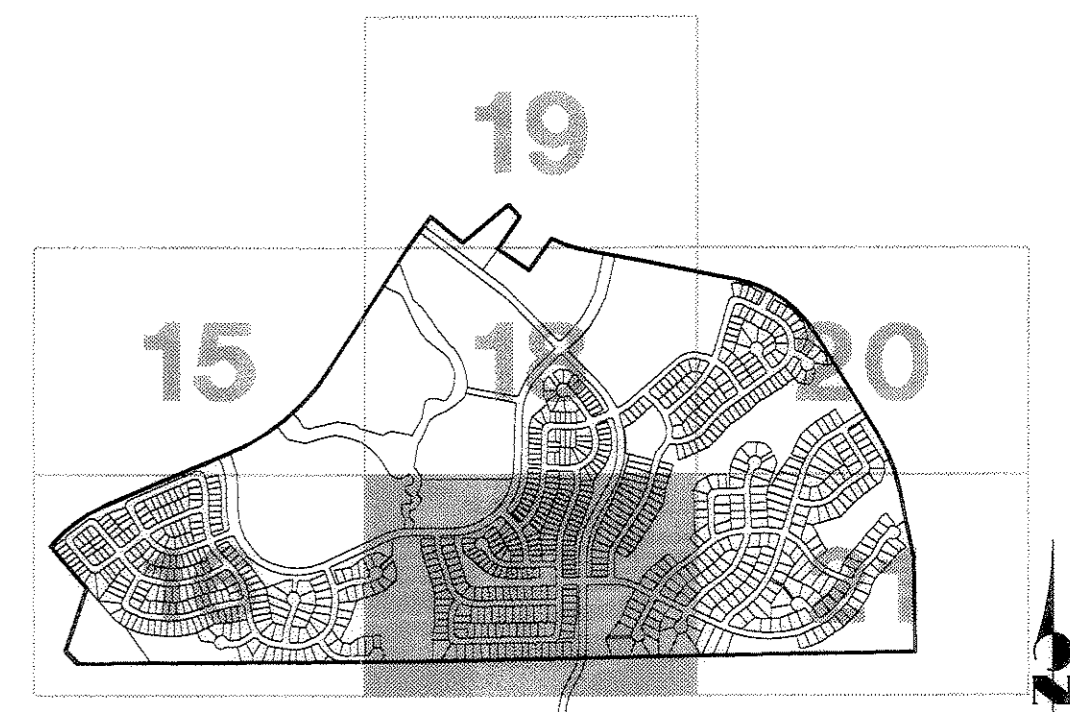
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 9 OF 15 FORMERLY 17 OF 38

SEE SHEET 18

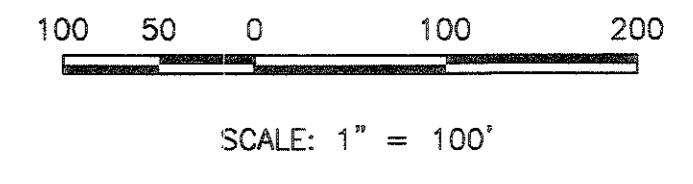
### KEYMAP



### LEGEND

- EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- BOUNDARY LINE
- 100-YR FEMA FLOP.
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT
- LINE OF SIGHT
- CENTER LINE OF ROAD
- FLOWLINE
- CROSS PAN
- ⑤ BLOCK NUMBER
- X-X-X- EXISTING FENCE
- EXISTING CABLE TV
- EXISTING ELECTRIC
- EXISTING GAS
- EXISTING TELEPHONE
- EXIST. STREET LIGHT
- PROP. STREET LIGHT
- EXISTING SANITARY SEWER W/ MANHOLE
- PROPOSED SANITARY SEWER W/ MANHOLE
- EXISTING WATER LINE W/ FIRE HYDRANT
- PROPOSED WATER LINE W/ FIRE HYDRANT
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- PROPOSED BLOW OFF
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER ZONE BOUNDARY
- EXISTING INLET
- PROPOSED INLETS
- PROPOSED HEADWALL
- EXISTING RIPRAP
- PROPOSED FLARED END SECTION W/ RIP RAP
- PROP MAIL KIOSK
- SET SURVEY MONUMENT #5 REBAR W/CAP LS 17668
- CORNER CONDITION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- KEY REAR ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- HIGH VISIBILITY ELEVATION SEE SHEET 2 DEVELOPMENT STANDARDS NOTE: 3.
- LINE OF SIGHT
- LIMITS OF AMENDMENT #3
- △ LOCAL TYPE I-50' R.O.W. 32' E-F PER -SHEET 2
- △ MINOR COLLECTOR & COLL. ENTRY STS-60' R.O.W. 38' FL-FL PER SHEET 2
- △ ENTRY STREET-64' R.O.W. 42' FL-FL-SHEET-2 (4 UTILITIES)
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- △ UTILITY EASEMENT (20' WIDTH)
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- △ DRAINAGE EASEMENT (W MAY VARY BUT 25' MIN)
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- △ 0'-4' SINGLE RETAINING WALL
- △ CONNECT TO EXISTING WATER LINE OFFSITE
- △ CONNECT TO EXISTING WATER LINE W/ WET TAP AND VALVE
- △ FUTURE WATER LINE STUB W/2" B.O.
- △ CONNECT TO EXISTING / FUTURE SEWER MAIN
- △ SIGHT TRIANGLE EASEMENT
- △ TYPICAL CUL-DE-SAC PER SHT 3 OF ORIGINAL PP/FPD MEADOWS 18
- △ TYPICAL KNUCKLE PER ORIGINAL PP/FPD MEADOWS 18
- △ FLOOD PLAN REVISIONS REQUIRED PER APPROVED CLOMR
- △ 6' DETACHED CONCRETE TRAIL
- △ 8' CONCRETE WALK/REGIONAL TRAIL
- △ EXISTING FIRE HYDRANT
- △ PROPOSED FIRE HYDRANT
- △ IRRIGATION TAP W/ BACK FLOW PREVENTION
- △ LANDSCAPE EASEMENT (SEE SHT 2, NOTE 3-J)
- △ PEDESTRIAN ACCESS ESMT. (W VARIES)
- △ PVT. ACCESS ESMT. (WIDTH VARIES)
- △ REAR/SIDE LOT DRAINAGE

NOTE: ALL WATER AND SANITARY MAINS SHALL BE 8" PVC UNLESS OTHERWISE NOTED



**DEVELOPER**  
CASTLE ROCK DEVELOPMENT COMPANY  
3033 E. 1ST AVENUE / SUITE 410  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 394-5500  
FAX NUMBER: (303) 394-5508  
CONTACT: JIM RILEY

**LAND PLANNER/LANDSCAPE ARCHITECT**  
1101 Barnook Street  
Denver, Colorado 80204  
P 303.892.1188  
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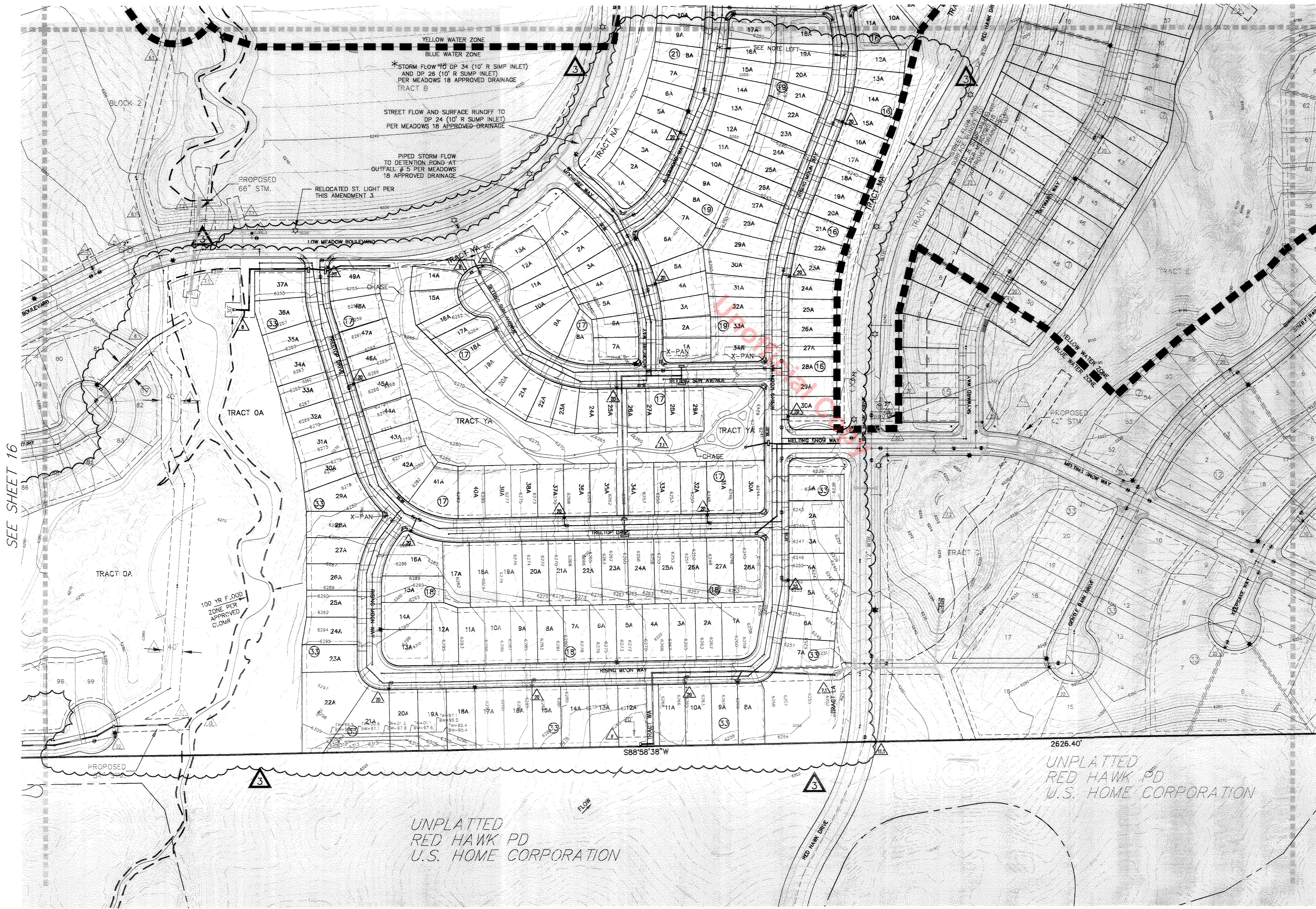
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**AzTec CONSULTANTS, Inc.**  
A LAND SURVEYING COMPANY  
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Ph. (303) 713-1898 Fax. (303) 713-1897

**ENGINEERING PARTNERS, INC.**  
36 W. Dry Creek Circle, Suite 600  
Littleton, Colorado 80120  
Tel. (303) 703-4444  
Fax (303) 703-4330

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**MEADOWS FILING 18  
PRELIMINARY PLAT /  
FINAL PD SITE PLAN  
AMENDMENT #3  
UTILITY PLAN**

SHEET 9 OF 15 FORMERLY 17 OF 38



SEE SHEET 16

SEE SHEET 21

# THE MEADOWS FILING NO. 18

PORTIONS OF THE SOUTHEAST ONE-QUARTER OF SECTION 33 AND THE SOUTHWEST ONE-QUARTER OF SECTION 34,  
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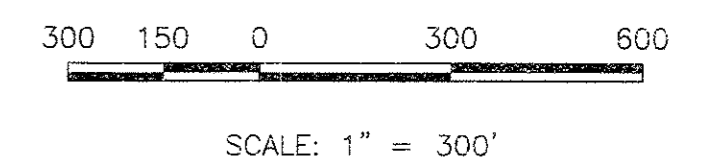
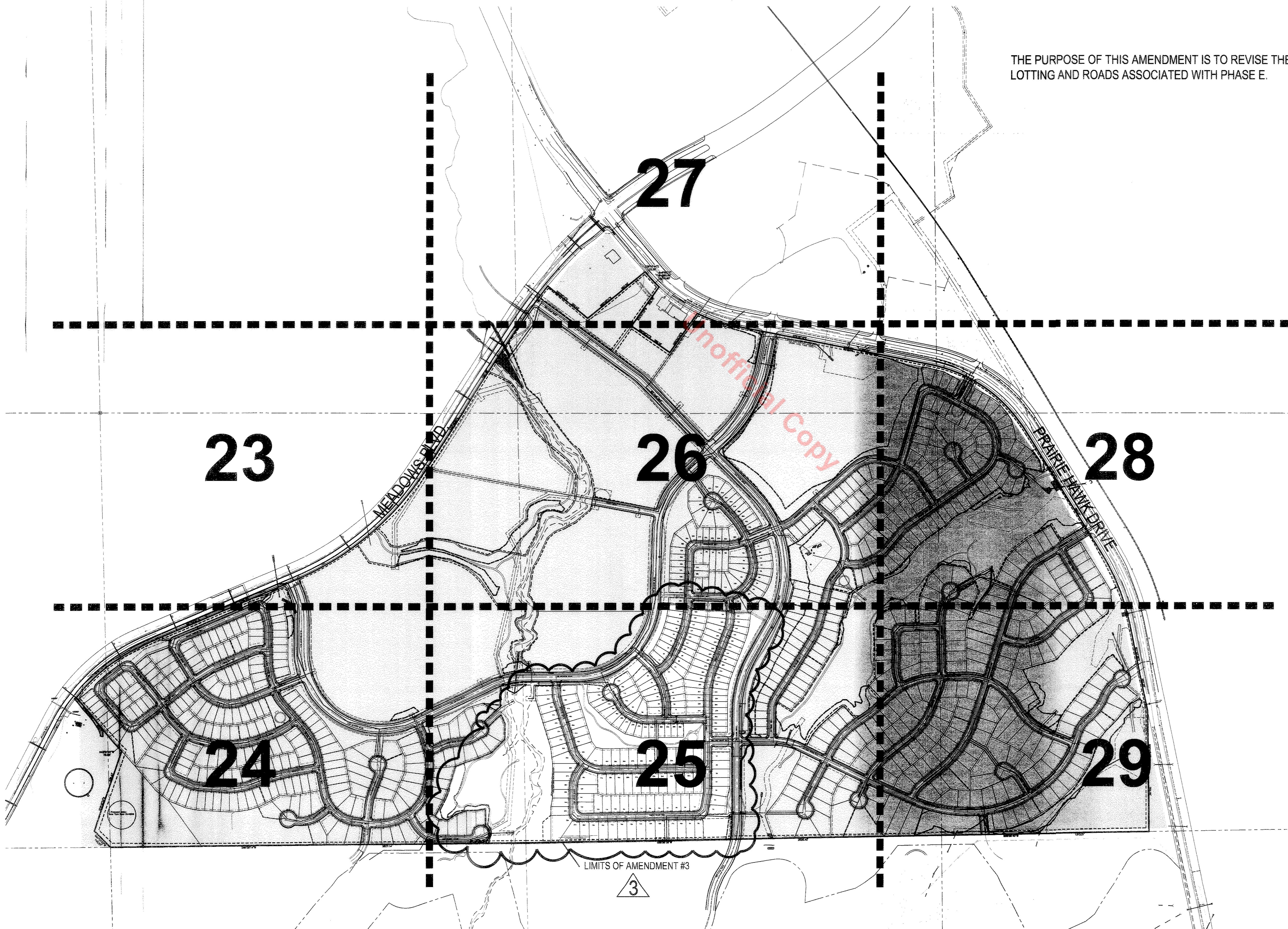
## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 10 OF 15 FORMERLY SHEET 22 OF 38

THE PURPOSE OF THIS AMENDMENT IS TO REVISE THE  
LOTTING AND ROADS ASSOCIATED WITH PHASE E.

### PHASING NOTES

- (A) PHASE A  
STREETScape IMPROVEMENTS  
TRAIL IMPROVEMENTS  
DESTINATION POINT
- (B) PHASE B  
STREETScape IMPROVEMENTS
- (C) PHASE C  
PARK IMPROVEMENTS  
TRAIL IMPROVEMENTS
- (D) PHASE D  
PARK IMPROVEMENTS  
TRAIL IMPROVEMENTS  
DESTINATION POINT
- (E) PHASE E  
TRAIL IMPROVEMENTS
- (F) PHASE F  
PARK IMPROVEMENTS  
TRAIL IMPROVEMENTS  
DESTINATION POINT
- (G) PHASE G  
PARK IMPROVEMENTS  
TRAIL IMPROVEMENTS
- (H) PHASE H  
FUTURE SCHOOL/PARK SITE  
PARK IMPROVEMENTS  
TRAIL IMPROVEMENTS  
DESTINATION POINT
- (I) PHASE I  
STREETScape IMPROVEMENTS  
PARK IMPROVEMENTS  
TRAIL IMPROVEMENTS



**DEVELOPER**  
CASTLE ROCK DEVELOPMENT COMPANY  
3033 E. 1ST AVENUE, SUITE 410  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 394-5500  
FAX NUMBER: (303) 394-5508  
CONTACT: JIM RILEY

**LAND PLANNER/LANDSCAPE ARCHITECT**  
1101 Bannock Street  
Denver, Colorado 80204  
P 303.892.1199  
F 303.892.1196  
www.norris-design.com  
**NORRIS DESIGN**  
Planning, Landscape Architecture  
CONTACT: SEAN MALONE  
CERTIFICATE NO. 9368

**CIVIL ENGINEER/SURVEYOR**

**A ZTEC CONSULTANTS, INC.**  
A LAND SURVEYING COMPANY  
8000 Savan Lincoln Street, Unit 5, Littleton, Colorado 80120  
Ph: (303) 713-1898 Fax: (303) 713-1897

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26 W. Dry Creek Circle, Suite 600  
Littleton, Colorado 80120  
Tel: (303) 703-4444  
Fax: (303) 703-4530  
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**MEADOWS FILING NO. 18**  
**PRELIMINARY PLAT/FINAL PD SITE PLAN**  
**AMENDMENT #3**  
**SHEET INDEX KEYMAP AND PHASING PLAN**  
**SHEET 10 OF 15 FORMERLY SHEET 22 OF 38**



# THE MEADOWS FILING NO. 18

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH,  
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 12 OF 15 FORMERLY SHEET 30 OF 38

### PLANT PALETTE

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
<b>DECIDUOUS CANOPY TREES</b>				
76	ABM	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'	2 1/2" CAL. B&B
36	CAL	NORTHERN CATALPA	CATALPA SPECIOSA	2 1/2" CAL. B&B
38	CHB	COMMON HACKBERRY	CELTIS OCCIDENTALIS	2 1/2" CAL. B&B
74	APA	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	2 1/2" CAL. B&B
109	SMA	SUMMIT ASH	FRAXINUS PENNSYLVANICA 'SUMMIT'	2 1/2" CAL. B&B
18	KCT	KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICA	2 1/2" CAL. B&B
12	BOA	BUR OAK	QUERCUS MACROCARPA	2 1/2" CAL. B&B
48	RO	RED OAK	QUERCUS RUBRA	2 1/2" CAL. B&B
33	RML	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2 1/2" CAL. B&B
72	GSL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2 1/2" CAL. B&B
516		TOTAL DECIDUOUS CANOPY TREES		
<b>EVERGREEN TREES</b>				
10	WF	WHITE FIR	ABIES CONCOLOR	6-8' HT. (ALL)
48	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS	6-8' HT. (ALL)
118	PNP	PINYON PINE	PINUS EDULIS	6-8' HT. (ALL)
71	AP	AUSTRIAN PINE	PINUS NIGRA	6-8' HT. (ALL)
406	PP	PONDEROSA PINE	PINUS PONDEROSA	6-8' HT. (ALL)
653		TOTAL EVERGREEN TREES		
<b>DECIDUOUS ORNAMENTAL TREES</b>				
16	FM	FLAME MAPLE	ACER GINNALA 'FLAME'	5' HIGH MULTI-STEM
52	ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	5' HIGH MULTI-STEM
35	WH	WASHINGTON HAWTHORNE	CRATAEGUS PHAENOPYRUM	5' HIGH MULTI-STEM
38	TCH	THORNLESS COCKSPUR HAWTHORNE	CRATAEGUS CRUS-GALLI INERMIS	5' HIGH MULTI-STEM
26	WKH	WINTER KING HAWTHORNE	CRATAEGUS VIRIDIS 'WINTER KING'	5' HIGH MULTI-STEM
32	SSC	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	2" CAL. B&B
57	RC	RADIANT CRABAPPLE	MALUS 'RADIANT'	2" CAL. B&B
65	CRC	CANADA RED CHERRY	PRUNUS VIRGINIANA MELANOCARPA 'SHUBERT'	5' HIGH MULTI-STEM
321		TOTAL DECIDUOUS ORNAMENTAL TREES		
<b>DECIDUOUS SHRUBS</b>				
31	SB	SASKATOON SERVICEBERRY	AMELANCHIER ALNIFOLIA	5 GAL. CONT.
44	CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	5 GAL. CONT.
17	PB	COMPACT PURPLE BUTTERFLY BUSH	BUDDLEIA DAVIDII 'NANHOENSIS' 'PETITE PLUM'	5 GAL. CONT.
41	DKB	DARK KNIGHT BUTTERFLY BUSH	BUDDLEIA DAVIDII 'DARK KNIGHT'	5 GAL. CONT.
42	WBB	WHITE BOQUET BUTTERFLY BUSH	BUDDLEIA DAVIDII 'WHITE BOQUET'	5 GAL. CONT.
192	BMS	BLUE MIST SPIREA	C. X CLANDONENSIS 'BLUE MIST'	5 GAL. CONT.
8	LM	LITTLE LEAF MOUNTAIN MAHOGANY	CEROCARPUS LEDIFOLIUS INTRICATUS	5 GAL. CONT.
105	RB	RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS	5 GAL. CONT.
4	DR	DWARF BLUE RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS 'DW. BLUE'	5 GAL. CONT.
133	RD	RED TWIG DOGWOOD	CORNUS STOLONIFERA 'BAILEY'	5 GAL. CONT.
358	CC	CRANBERRY COTONEASTER	COTONEASTER APICULATUS	5 GAL. CONT.
16	NSF	NORTHERN SUN FORSYTHIA	FORSYTHIA X 'NORTHERN SUN'	5 GAL. CONT.
58	RS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL. CONT.
28	WP	McKAY'S WHITE POTENTILLA	POTENTILLA FRUTICOSA 'McKAY'S WHITE'	5 GAL. CONT.
81	WSC	WESTERN SANDCHERRY	PRUNUS BESSEYI	5 GAL. CONT.
7	AC	ALPINE CURRANT	RIBES ALPINUM	5 GAL. CONT.
7	TLS	THREE LEAF SUMAC	RHUS TRILOBATA	5 GAL. CONT.
32	TWS	TALL WESTERN SAGEBRUSH	SERIPHIDIUM TRIDENTATUM	5 GAL. CONT.
97	GFS	GOLDEN FLAME SPIREA	SPIRAEA JAPONICA 'GOLD FLAME'	5 GAL. CONT.
36	NFS	NEON FLASH SPIREA	SPIRAEA JAPONICA 'NEON FLASH'	5 GAL. CONT.
30	SMS	SNOWMOUND SPIREA	SPIRAEA JAPONICA 'SNOWMOUND'	5 GAL. CONT.
171	MKL	MISS KIM LILAC	SYMPHORICARPOS X CHENAULTI 'HANCOCK'	5 GAL. CONT.
67	DIH	IVORY HALO DOGWOOD	CORNUS ALBA IVORY HALO	5 GAL. CONT.
18	WCY	COYOTE WILLOW	SALIX EXIGUA	5 GAL. CONT.
1625		TOTAL DECIDUOUS SHRUBS		
<b>EVERGREEN SHRUBS</b>				
569	BCJ	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL. CONT.
176	HJ	HUGHES JUNIPER	JUNIPERUS HORIZONTALIS 'HUGHES'	5 GAL. CONT.
479	WJ	WILTON CARPET JUNIPER	JUNIPERUS HORIZONTALIS 'WILTONI'	5 GAL. CONT.
289	BCJ	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL. CONT.
378	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	5 GAL. CONT.
78	MM	MOPS MUGO PINE	PINUS MUGO 'MOPS'	5 GAL. CONT.
1970		TOTAL EVERGREEN SHRUBS		
<b>GRASSES</b>				
22	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL. CONT.
228	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL. CONT.
233	MHG	MAIDEN HAIR GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	1 GAL. CONT.
311	MLM	MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	1 GAL. CONT.
584	PMG	PURPLE MAIDEN GRASS (FLAME GRASS)	MISCANTHUS 'PURPURASCENS'	1 GAL. CONT.
172	VMG	VARIEGATED MOORE GRASS	MOLINIA CAERULEA 'VARIEGATA'	1 GAL. CONT.
434	DFG	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMEL'	1 GAL. CONT.
884	DFG	ORIENTAL FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'ORIENTAL'	1 GAL. CONT.
879		TOTAL GRASSES		
NOTES: * DENOTES DROUGHT TOLERANT PLANT MATERIAL ; DENOTES 3 STEMS MINIMUM				

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
<b>PERENNIALS &amp; GROUND COVER</b>				
177	SDD	STELLA DE ORO DAYLILY	HEMEROCALLIS 'STELLA DE ORO'	1 GAL. CONT.
782	SPA	SEA PINK ARMERIA	ARMERIA MARITIMA 'SPLENDENS'	1 GAL. CONT.
495	CM	CATMINT PRAIRIE FIRE	NEPETA X 'PRAIRIE FIRE'	1 GAL. CONT.
1523	LAC	LANCE COREOPSIS	COREOPSIS LANCEOLATA	1 GAL. CONT.
582	CBV	CRATER BLUE VERONICA	VERONICA AUSTRACA 'CRATER BLUE'	1 GAL. CONT.

SEED TYPES				
<b>IRRIGATED FESCUE TURF GRASS SEED</b>				
		CREeping RED FESCUE	35 %	250 LBS. PURE LIVE SEED PER ACRE.
		SR3200 BLUE FESCUE	25%	PRODUCT COMPARISON WILL BE MADE ON THE BASIS OF PURE LIVE SEED.
		SR3200 HARD FESCUE	12.5%	LBS. SEED REQUIRED = LBS. SPECIFIED
		REUBENS CANADIAN BLUE	15%	% PURITY x % GERMINATION
		SR5100 CHEWINGS FESCUE	12.5%	
<b>IRRIGATED BLUEGRASS TURF GRASS SEED</b>				
		ARCADIA KENTUCKY BLUEGRASS	25 %	225 LBS. PURE LIVE SEED PER ACRE.
		ODYSEY KENTUCKY BLUEGRASS	25%	PRODUCT COMPARISON WILL BE MADE ON THE BASIS OF PURE LIVE SEED.
		NUGLADE KENTUCKY BLUEGRASS	25%	LBS. SEED REQUIRED = LBS. SPECIFIED
		AWARD KENTUCKY BLUEGRASS	25%	% PURITY x % GERMINATION

IRRIGATED TALL GRASS SEED MIX					
		AGROPYRON TRICHOPHORUM	PUBESCENT WHEATGRASS	LUNA	2.0 LBS.
		AGROPYRON SMITHII	WESTERN WHEATGRASS	ARRIBA	5.0 LBS.
		ANDROPOGON GERARDI	BIG BLUESTEM	KAW	2.0 LBS.
		BOUTELLOUA CURTIPENDULA	SIDE-OATS GRAMA	VAUGHN OR EL RENO	2.0 LBS.
		CALAMOVILFA LONGIFOLIA	PRAIRIE SANDWEED	GOSHEN	5 LBS.
		PANICUM VIRGATUM	SWITCHGRASS	BLACKWELL	1.0 LBS.
		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	PASTURA	2.0 LBS.
		SORGHASTRUM NUTANS	INDIAN GRASS	CHEYENNE	2.0 LBS.
APPLY AT A RATE OF 16.5 PLS LBS. PER ACRE					

NON-IRRIGATED TALL GRASS SEED MIX					
		AGROPYRON TRICHOPHORUM	PUBESCENT WHEATGRASS	LUNA	2.0 LBS.
		AGROPYRON SMITHII	WESTERN WHEATGRASS	ARRIBA	5.0 LBS.
		ANDROPOGON GERARDI	BIG BLUESTEM	KAW	2.0 LBS.
		BOUTELLOUA CURTIPENDULA	SIDE-OATS GRAMA	VAUGHN OR EL RENO	2.0 LBS.
		CALAMOVILFA LONGIFOLIA	PRAIRIE SANDWEED	GOSHEN	5 LBS.
		PANICUM VIRGATUM	SWITCHGRASS	BLACKWELL	1.0 LBS.
		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	PASTURA	2.0 LBS.
		SORGHASTRUM NUTANS	INDIAN GRASS	CHEYENNE	2.0 LBS.
APPLY AT A RATE OF 16.5 PLS LBS. PER ACRE					

WILDFLOWER SEED MIXTURE					
		CENTAUREA CYANUS	CORNFLOWER	GYPSOPHILA PANICULATA	BABY'S BREATH
		CHEIRANTHUS ALLIONII	WALL FLOWER	LINARIA MAROCCANA	SPURRED SNAPDRAGON
		CHRYSANTHEMUM MAXIMUM	SHASTA DAISY	LINUM LEWISII	BLUE FLAX
		DIANTHUS BARBATUS	SWEET WILLIAM	LOBULARIA MARITIMA	SWEET ALYSSUM
		DIMORPHOTHECA AURANTIACA	AFRICAN DAISY	OENOTHERA MISSOURIENSIS	EVENING PRIMROSE
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	PAPAVER RHOEAS	CORN POPPY
		ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	PENSTEMON STRICTUS	ROCKY MT. PENSTEMON
		GAILLARDIA PULCHELLA	ANNUAL GAILLARDIA	RUDBECKIA HIRTA	BLACKEYED SUSAN
		GAILLARDIA X GRANDIFLORA	PERENNIAL GAILLARDIA	SILENE ARMERIA	CATCHFLY

AS SUPPLIED BY APPLEWOOD SEED COMPANY AND ARKANSAS VALLEY SEEDS UNDER THE NAME OF ROCKY MOUNTAIN WILDFLOWER MIX. BROADCAST SEED AT 24 LBS PLS MIX PER ACRE.

- ### NOTES
- ALL 'IRRIGATED LANDSCAPE' AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM DESIGNED AND INSTALLED TO MEET THE IRRIGATION SPECIFICATIONS OF THE MEADOWS METROPOLITAN DISTRICT #1 AND TOWN OF CASTLE ROCK REQUIREMENTS. IRRIGATION TAPS WITH BACKFLOW PREVENTORS WILL BE LOCATED, SIZED, AND INSTALLED IN CONJUNCTION WITH THE OVERALL IRRIGATION DESIGN.
  - HYDRO-MULCH NATIVE SEED AREAS WITH SLOPES GREATER THAN 4:1 SLOPE, DRILL SEED THE REMAINDER OF THE NATIVE SEED AREAS.
  - INTERIOR REAR YARD FENCES (NOT SHOWN ON THESE DRAWINGS) ARE THE RESPONSIBILITY OF THE HOMEOWNER.
  - ALL PUBLIC AND PRIVATE LANDSCAPING AND IRRIGATION MAINTENANCE, INSTALLATION, AND INSPECTIONS SHALL BE SUBJECT TO THE PROVISIONS CONTAINED WITHIN THE SUBDIVISION IMPROVEMENT AGREEMENT.
  - STREET TREE LOCATIONS MAY BE MODIFIED SLIGHTLY TO ACCOMMODATE DRIVEWAY AND UTILITY LOCATIONS. TOTAL TREES TO BE PLANTED WILL NOT BE REDUCED.
  - REFER TO TOWN OF CASTLE ROCK'S STANDARD SPECIFICATIONS FOR MORE INFORMATION REGARDING CURB AND GUTTER, CONCRETE WORK, TRAILS, WALKS, & HC RAMPS.
  - IT IS THE INTENT TO SAVE AS MUCH OF THE EXISTING VEGETATION AS POSSIBLE. CONTRACTOR SHALL AVOID UNNECESSARY DISTURBANCE OF NATIVE VEGETATION DURING THE CONSTRUCTION PROCESS. TRAILS SHALL BE FIELD LOCATED BY OWNER'S AUTHORIZED REPRESENTATIVE TO ACHIEVE THIS END.
  - MINIMUM SOIL AMENDMENT FOR TURF AREAS SHALL BE THREE CUBIC YARDS OF ORGANIC MATTER PER 1,000 SQUARE FEET AND LANDSCAPE PLANTING AREAS SHALL BE TILLED TO A MINIMUM DEPTH OF FOUR (4) INCHES.
  - PRIOR TO ISSUE OF BUILDING PERMIT, A SOIL ANALYSIS SHALL BE CONDUCTED BY A PROFESSIONAL SOIL SCIENTIST FOR THE PROPERTY TO DETERMINE SOIL CONDITIONS AND PROPER SOIL AMENDMENT FOR THE LANDSCAPE AREA.
  - THE LANDSCAPE PLAN SHALL MEET TOOR LANDSCAPE REGULATIONS AND PRINCIPLES AT TIME OF FINAL PD APPROVAL AND IRRIGATION PLANS MEET REGULATIONS AND WATER USE MANAGEMENT PLAN AT TIME OF CONSTRUCTION.
  - MONOCULTURE BLUE GRAMA SEED AREAS SEED AT 22 LBS/ACRE.
  - INSTALLATION AND MAINTENANCE OF LANDSCAPE AND IRRIGATION SHALL BE BY A TOWN OF CASTLE ROCK REGISTERED PROFESSIONAL.
  - NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTS, CUT SLOPES AND BERMS SHALL BE PLACED IN A SIGHT DISTANCE EASEMENT.
  - IRRIGATION SYSTEM SHALL HAVE A BACKFLOW PREVENTION ASSEMBLY APPROVED BY THE TOWN OF CASTLE ROCK
  - NO TREES OR PERMANENT STRUCTURES ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS.

### IRRIGATION SYSTEM NOTES

- IRRIGATION SHALL OCCUR DURING REGULAR LARGE IRRIGATOR HOURS BETWEEN 11 P.M. AND 4 A.M. EVERY THIRD DAY USING THE CIRCLE, DIAMOND, AND SQUARE SYSTEM.
- THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
- THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 50-80 GPM (AS NOTED ON PLANS). THE STATIC PRESSURE AVAILABLE AT THE SITE IS 80 PSI MIN. NO BOOSTER PUMP WILL BE REQUIRED.

**IRRIGATION DESIGN APPROACH**

**TURF AREAS**

SMALL AREAS (10 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH DRIP OR SUB-SURFACE IRRIGATION. NO SPRAY IRRIGATION IS ALLOWED IN AREAS 10' OR LESS.

**SHRUB BED AREAS**

SHRUB BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.

**PERENNIAL AND ANNUAL BED AREAS**

PERENNIAL AND ANNUAL BED AREAS SHALL BE SPRAY IRRIGATED WITH 12" POP-UP SPRAY HEADS WITH A MAXIMUM SPACING OF 10'-0" O.C.

### EROSION CONTROL SEED NOTES

- I. SEED QUALITY**
- A. ALL BRANDS FURNISHED SHALL BE FREE FROM SUCH NOXIOUS WEEDS AS RUSSIAN OR CANADIAN THISTLE, COARSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAPEWEED, AND LEAFY SPURGE.

THE SUBCONTRACTOR SHALL FURNISH TO THE CONTRACTOR A SIGNED STATEMENT CERTIFYING THAT THE SEED FURNISHED IS FROM A LOT THAT HAS BEEN TESTED BY A RECOGNIZED LABORATORY. SEED THAT HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR IN STORAGE WILL NOT BE ACCEPTABLE.

- II. MATERIALS**
- A. SEED (DRILLED ONLY, NO HYDROSEED)
1. SEED TYPE AND AMOUNT OF PURE LIVE SEED (PLS) REQUIRED PER ACRE SHALL BE AS FOLLOWS:

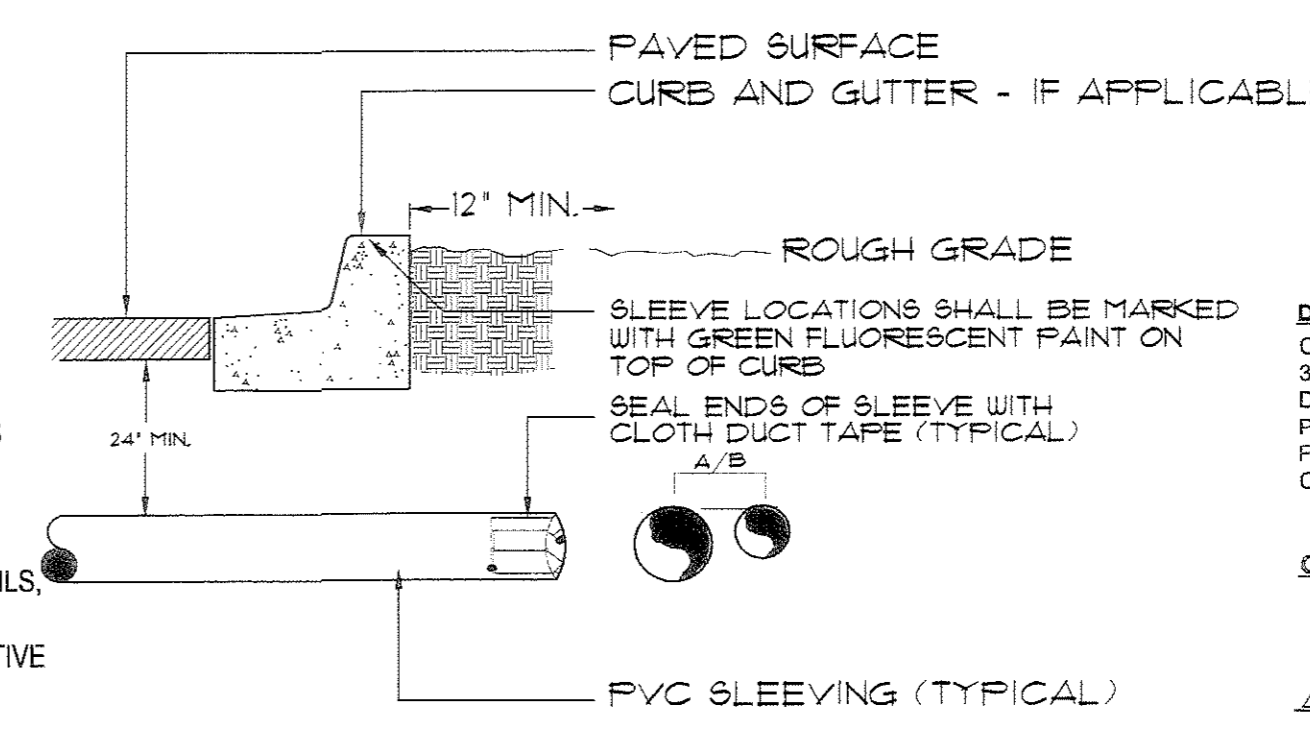
SPECIES	VARIETY	% OF MIX	# LBS./ACRE	# PLS/ACRE
WESTERN WHEATGRASS	ARRIBA	40%	13.7	27.5
SIDE OATS GRAMA	NATIVE	20%	3.9	7.8
SWITCHGRASS	BLACKWELL	10%	1.1	2.2
BLUE GRAMA	NATIVE	10%	0.7	1.3
GREEN NEEDLEGRASS	LOODRON	10%	2.1	4.3
BUFFALO GRASS	SHARP'S IMP.	10%	3.5	6.9

IF A SPECIES IS NOT AVAILABLE, INCREASE THE OTHER SPECIES IN THE MIX PROPORTIONATELY. IF THE VARIETY LISTED ABOVE IS NOT AVAILABLE, ANOTHER VARIETY MAY BE SUBSTITUTED.

THE STANDARD SEEDING RATE SHALL BE 25 LBS OF PURE LIVE SEED PER ACRE FOR DRILL SEEDING. FOR SLOPES 3:1 OR GREATER OR WHEN BROADCASTING THE HIGH SEEDING RATE OF 50 LBS PER ACRE SHALL BE USED.

- IF THE SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE SUBCONTRACTOR MUST COMPENSATE FOR A LESSER PERCENTAGE OF PURITY OR GERMINATION BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT. THE TAGS FROM THE SEED MIXES MUST BE SUPPLIED TO THE CONTRACTOR AND FORWARDED TO A DOUGLAS COUNTY EROSION INSPECTOR.
- THE FORMULA USED FOR DETERMINING THE QUALITY OF PURE LIVE SEED (PLS) SHALL BE: (SEED) x (PURITY) x (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS).

### SLEEVING DETAIL



NOTE: ALL SLEEVING TO BE CLASS 200 PVC, SIZE AS NOTED.

**IRRIGATION DESIGNER:**

**HydroSystems-KDI, Inc.** Irrigation Consulting

300 Union Blvd Suite 405  
Lakewood, Colorado 80226  
Tel: (303) 980-5352  
Fax: (303) 980-5384  
KEN DIPALO  
CERT. # 353

### LANDSCAPE SUMMARY TABLE

	SQUARE FOOTAGE	PERCENTAGE
IRRIGATED FINE FESCUE TURF	171,179	5.1%
IRRIGATED BLUEGRASS TURF	29,926	0.9%
IRRIGATED TALL GRASS	621,334	18.4%
IRRIGATED WILDFLOWERS	24,597	0.7%
NON-IRRIGATED TALL GRASS	2,441,759	72.2%
IRRIGATED PERENNIALS	6,853	0.2%
IRRIGATED SHRUBS	84,244	2.5%
<b>TOTAL AREA LANDSCAPE</b>	<b>3,379,892</b>	<b>100%</b>
NON-DISTURBED AREAS	927,882 SF	
REQUIRED TREES/SHRUBS:	N/A	
PROVIDED TREES/SHRUBS:	1,491 TREES 7,467 SHRUBS/GRASSES	

- NOTES**
- LANDSCAPE SUMMARY TABLE EXCLUDES AREAS OF EROSION CONTROL SEED.
  - POCKET PARKS AREA SUMMARY  
TRACT E: 6,705 SF IRRIGATED BLUEGRASS TURF  
TRACT T: 10,235 SF IRRIGATED BLUEGRASS TURF  
TRACT YA: 10,886 SF IRRIGATED BLUEGRASS TURF

**DEVELOPER**  
CASTLE ROCK DEVELOPMENT COMPANY  
3033 E. 1ST AVENUE / SUITE 410  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 394-5500  
FAX NUMBER: (303) 394-5508  
CONTACT: JIM RILEY

**LAND PLANNER/LANDSCAPE ARCHITECT**  
1101 Hancock Street  
Denver, Colorado 80204  
P 303.892.1186  
F 303.892.1188  
www.norris-design.com

**NORRIS DESIGN**  
Landscape Architects  
CONTACT: SEAN MALONE  
CERTIFICATE NO. 6098

**ENGINEERING PARTNERS, INC.**  
26 W. Dry Creek Circle, Suite 600  
Littleton, Colorado 80120  
Tel: (303) 703-4444 Fax: (303) 713-1997

**A ZTEC CONSULTANTS, INC.**  
A LAND SURVEYING COMPANY  
8000 South Lincoln Street, Unit 5, Littleton, Colorado 80122  
Ph. (303) 713-1998 Fax. (303) 713-1997

**ENGINEERING PARTNERS, INC.**  
26 W. Dry Creek Circle, Suite 600  
Littleton, Colorado 80120  
Tel: (303) 703-4444 Fax: (303) 713-1997

**CONTACT:**  
SCOTT PEASE

**MEADOWS FILING NO. 18**  
**PRELIMINARY PLAT/FINAL PD SITE PLAN**  
**AMENDMENT #3**  
**LANDSCAPE NOTES AND PLANT SCHEDULE**  
**SHEET 12 OF 15 FORMERLY SHEET 30 OF 38**

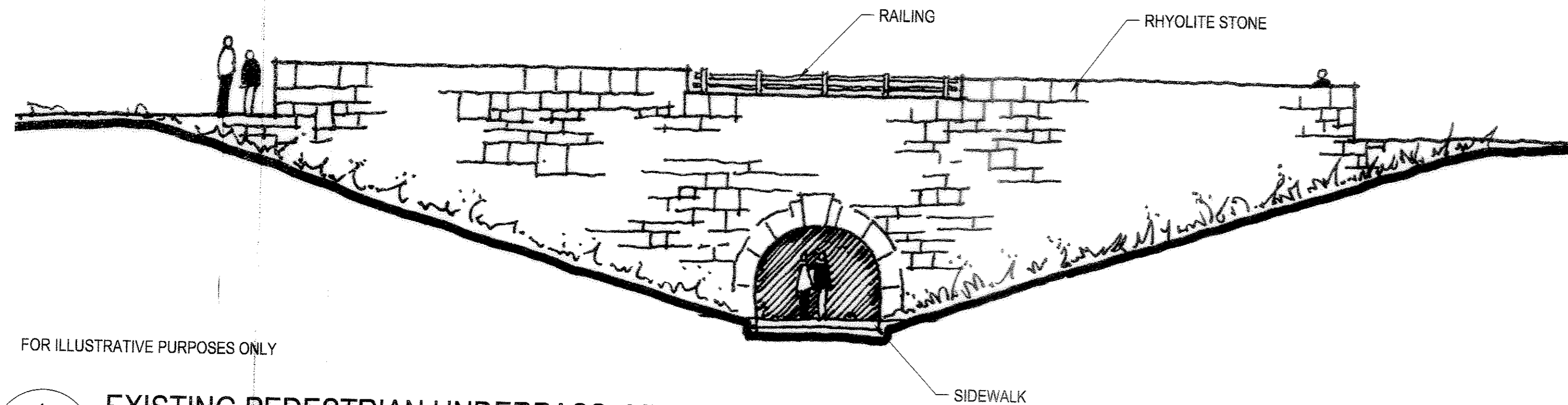
INITIAL SUBMITTAL DATE: DECEMBER 13, 2006  
REVISIONS:  
APRIL 18, 2007  
JULY 3, 2007  
SEPTEMBER 5, 2007  
NOVEMBER 20, 2007

# THE MEADOWS FILING NO. 18

PORTIONS OF THE SOUTHEAST ONE-QUARTER OF SECTION 33 AND THE SOUTHWEST ONE-QUARTER OF SECTION 34,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

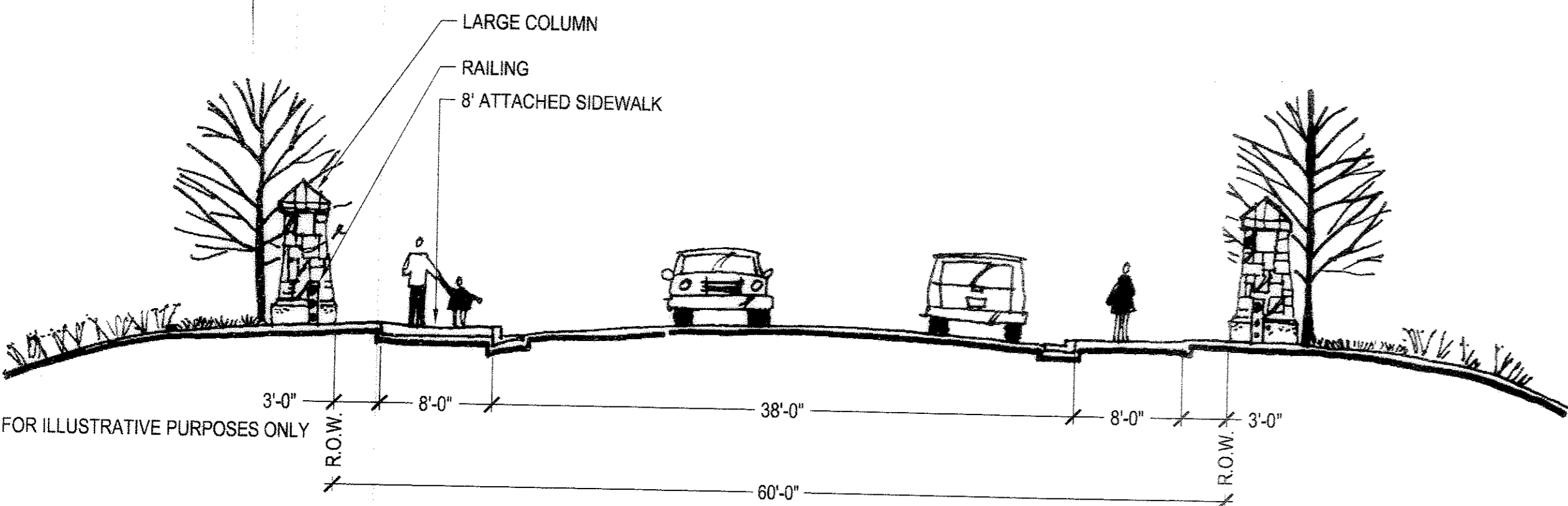
## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 13 OF 15 FORMERLY SHEET 35 OF 38



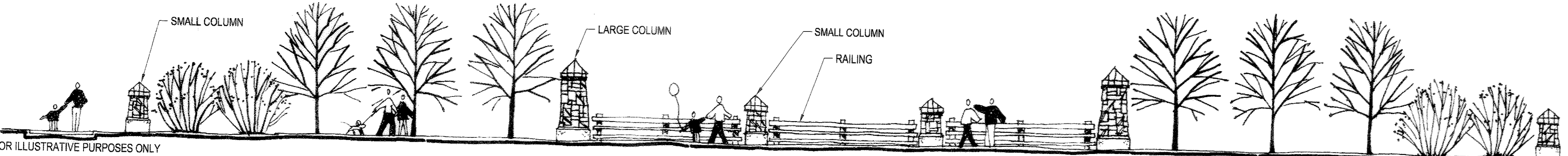
FOR ILLUSTRATIVE PURPOSES ONLY

1 EXISTING PEDESTRIAN UNDERPASS - MEADOWS BLVD.  
Scale: 1/8" = 1'



FOR ILLUSTRATIVE PURPOSES ONLY

2 CULVERT CROSSING - STREET A - SECTION  
Scale: 1/8" = 1'



FOR ILLUSTRATIVE PURPOSES ONLY

3 CULVERT CROSSING - STREET A - ELEVATION  
Scale: 1/8" = 1'

### SITE USE ANALYSIS

THE LANDSCAPE DESIGN FOR FILING 18 REPRESENTS AN INNOVATIVE APPROACH THAT USES STATE OF THE ART WATER CONSERVING MEASURES IN AN ATTRACTIVE AND FUNCTIONAL MANNER. LOCATED SOUTH OF MEADOWS PARKWAY AND WEST OF PRAIRIE HAWK DRIVE, FILING 18 IS IN CLOSE PROXIMITY TO THE MAIN ENTRY FOR THE OVERALL MEADOWS COMMUNITY. THE DEFINING WALLS AND FORMALIZED STREETSCAPE OF THE MEADOWS ENTRY EXPERIENCE SET THE TONE AND CHARACTER FOR THIS FILING.

### ARTERIAL AND COLLECTOR STREETSCAPES

**MEADOWS PARKWAY**  
THE SOUTH SIDE OF MEADOWS PARKWAY IS DESIGNED AS PART OF FILING 18. THE DESIGN IS INTENDED TO TRANSITION THE PLANTING AND LANDSCAPING THEMES CURRENTLY EXISTING IN THE MEADOWS COMMUNITY AND COMPLIMENT THE LANDSCAPE DESIGN FOR THE MEDIAN AND NORTH SIDE OF MEADOWS PARKWAY WHICH IS INCLUDED IN THE FILING 20 SUBMITTAL. THIS WILL INCLUDE A WIDE SIDEWALK THAT IS DETACHED FROM THE ROAD, FORMALIZED STREET TREE PLANTINGS, FINE FESCUE TURF BETWEEN THE BACK OF CURB AND THE SIDEWALK AND IRRIGATED TALL GRASSES BEHIND THE WALK WHEN HOMES ARE PROPOSED TO FRONT THE PARKWAY.

**PRAIRIE HAWK DRIVE**  
THE PORTION OF PRAIRIE HAWK DRIVE THAT SERVES AS THE EASTERN BORDER OF FILING 18 IS A SECONDARY ENTRY INTO THE OVERALL MEADOWS COMMUNITY. MUCH OF THIS DRIVE IS ADJACENT TO NATURAL DRAINAGE WAYS THAT CONTAIN UNDISTURBED NATIVE VEGETATION. THEREFORE, THE LANDSCAPE DESIGN REFLECTS A MORE NATURAL CHARACTER THAN WHAT IS PROPOSED FOR MEADOWS PARKWAY. THIS GENERALLY INCLUDES LIGHTLY IRRIGATED TALL GRASSES AND LIMITED FINE FESCUE TURF AREAS THAT HIGHLIGHT ROADWAY INTERSECTIONS.

### COLLECTOR ROAD STREETSCAPES

**STREETS A & B**  
THE LANDSCAPE DESIGN FOR THE AREAS ADJACENT TO THE COLLECTOR ROADS (BETWEEN THE BACK OF CURB AND SIDEWALK) CONSIST PRIMARILY OF LOW WATER USE TALL GRASSES AND FINE FESCUE TURF AT ROADWAY INTERSECTIONS. THE AREAS BETWEEN THE SIDEWALK AND PRIVATE PROPERTY LINE GENERALLY CONSIST OF NON-IRRIGATED TALL GRASS AND NATURALIZED TREES.

### ENTRY LANDSCAPES

**PRIMARY ENTRIES-MEADOWS PARKWAY AND PRAIRIE HAWK**  
THE PRIMARY ENTRY POINTS INTO FILING 18 HAVE WIDE LANDSCAPE MEDIANS WHICH ARE DESIGNED TO HELP TRAFFIC CIRCULATION, PEDESTRIAN SAFETY AND PROVIDE A VISUAL CUE TO THE DRIVER OF WHERE TO ENTER INTO FILING 18 FROM MEADOWS PARKWAY AND PRAIRIE HAWK DRIVE.

THE MEDIANS ARE DESIGNED TO HAVE A FORMAL ROW OF TREES, AREAS OF TALL GRASSES AND SHRUBS TO MINIMIZE WATER USE AND MAINTENANCE. ON EITHER SIDE OF THE ROADWAY, SOME OF THESE ENTRIES ARE DESIGNED TO HAVE LANDSCAPE WALLS (WHICH MAY INCLUDE SIGNAGE) AND A FOCUSED FORMALIZED IRRIGATED LANDSCAPE THAT DIFFER FROM THE REMAINING LOW WATER USE AREAS.

**NEIGHBORHOOD ENTRIES**  
INDIVIDUAL NEIGHBORHOOD ENTRIES WILL UTILIZE A CONSISTENT USE OF WALK, FENCE, TREE, SHRUB AND FLOWER PLANTINGS ARRANGED IN FORMALIZED PATTERNS TO PUNCTUATE THE ENTRY EXPERIENCE. WELL MAINTAINED TURF AND IRRIGATED TALL GRASSES ARE PROPOSED FOR AREAS BETWEEN THE ROAD AND FENCE LINE TO DISTINGUISH THESE AREAS FROM THE NATURALIZED GRASSES ALONG THE COLLECTOR ROADS.

### ACTIVE OPEN SPACE

**POCKET PARKS**  
FILING 18 HAS THREE POCKET PARKS WITH PLAYGROUNDS AND A FOURTH POCKET PARK WITH A MULTI-USE AREA. THESE ARE HIGHLY VISIBLE, AND DUE TO THEIR INHERENT USE, ARE CONSIDERED HIGH PEDESTRIAN TRAFFIC AREAS. THESE ARE STRATEGICALLY LOCATED TO ACCENT ENTRIES AND PROVIDE VALUE TO CORE AREAS WITHIN THE NEIGHBORHOODS. THREE OF THE PARKS DO NOT BORDER NATURALIZED AREAS AND ONE SERVES AS AN ACCESS TO AN OPEN SPACE TRAIL CORRIDOR. TO SUSTAIN THE EXTENSIVE USE AND COMPLEMENT THE RESIDENTIAL LANDSCAPES, THESE PARKS WILL CONSIST OF IRRIGATED TURF AND DURABLE TREE AND SHRUB PLANTINGS.

### PASSIVE OPEN SPACE

**DESTINATION POINTS**  
DESTINATION POINTS ARE LOCATED THROUGHOUT FILING 18. THESE DESTINATIONS CAN BE USED FOR REFLECTION, TO EXPERIENCE THE NATURAL ENVIRONMENT, OR FOR SMALL PICNIC TYPE GATHERINGS. THESE AREAS ARE LOCATED IN OR ADJACENT TO THE NATURAL LANDSCAPE AND ARE AUGMENTED WITH ADDITIONAL NATURALIZED PLANT MATERIAL. ALL INTRODUCED PLANT MATERIAL IS XERIC AND WILL BE HAND WATERED UNTIL ESTABLISHED. ANY DISTURBED AREAS WILL BE REVEGETATED WITH NON-IRRIGATED DRY LAND GRASSES AND RETURNED TO A NATURAL CONDITION.

**TRAIL CORRIDORS**  
TRAIL CORRIDORS HAVE BEEN LOCATED TO TAKE ADVANTAGE OF THE SIGNIFICANT NATURAL DRAINAGE WAYS THROUGHOUT FILING 18 OR FOR CONNECTIVITY BETWEEN LAND USES. ALL DISTURBED AREAS WILL BE REVEGETATED WITH NON-IRRIGATED DRY LAND GRASSES AND RETURNED TO A NATURAL CONDITION. KEY AREAS ARE AUGMENTED WITH NATURALIZED TREES AND SHRUBS TO CONTINUE THE NATURAL CHARACTER OF THE SITE. CROSSING OF THE DRAINAGE WAYS HAS BEEN RESTRICTED TO MINIMIZE DISTURBANCE AND NEED FOR REVEGETATION.

**NATURALIZED AREAS**  
LARGE AREAS NOT ASSOCIATED WITH ROAD SYSTEMS OR IDENTIFIED AS ACTIVE PLAY AREAS WILL BE LEFT IN A NATURAL STATE OR REVEGETATED WITH NON-IRRIGATED DRY LAND GRASSES, NATURALIZED TREE AND SHRUB PLANTINGS IF DISTURBED. THE NON-DISTURBED AREAS ARE CAREFULLY PROTECTED AND PRIMARILY CONSIST OF THICK, OVERGROWN DRAINAGES OR OPEN MEADOWS.

LANDSCAPE ZONE	LWU RATING RANGE
Very Low Water Use	0.0 to 1.5
Low Water Use	+1.5 to 3.0
Moderate Water Use	+3.0 to 4.5
High Water Use	+4.5

NOTE: THE IRRIGATION WATER REQUIREMENTS (IWRs) ARE BASED ON POST ESTABLISHMENT WATERING SCHEDULES.

COMPOSITE LANDSCAPE WATER USE RATING: WITH THE USE OF IRRIGATED TALL GRASS SEED ALONG THE COLLECTOR AND ARTERIAL ROAD STREETSCAPES AND FINE FESCUE SOD AT PROMINENT ENTRY POINTS. PARKS SEEDDED WITH BLUEGRASS TURF. MONOCULTURE TALL GRASS SEED AND SHRUB BEDS IN MEDIANS.

LANDSCAPE TYPE	LANDSCAPE ZONE	LANDSCAPE USE	IRRIGATION	IRRIGATION WATER REQUIREMENT	LWU RATING (IWR/5.0) (LWUR)	QUANTITY & UNIT	IRRIGATED AREA (SF)	COMPOSITE LWU RATING	TOTAL AREA
Bluegrass Turf (Seed)	High	Parks	Spray	25 IN/YR	5		32,813	164,065	32,813
Fine Fescue Grass (Sod)	Low	Entries	Spray	15 IN/YR	3		172,475	517,425	172,475
Irrigated Tall Grass (Seed)	Low	Open Space	Spray	10 IN/YR	2		331,849	663,698	331,849
Irrigated Monoculture Grass	Low	Medians	Spray	12 IN/YR	2.4		22,978	55,147	22,978
Wildflower (Seed)	Moderate	Accent Areas	Spray	20 IN/YR	4		23,829	94,516	23,829
Shrub Bed (Irrigation, Fabric Mulch and Edger)	Low	Entries	Spray	10 IN/YR	2		84,244	168,488	84,244
Ornamental Tree Irrigation	Low	Streetscapes	Drip	10 IN/YR	2	59 ea.	11,800	23,600	
Evergreen Tree Irrigation	Low	Streetscapes	Drip	10 IN/YR	2	42 ea.	6,400	12,800	
Canopy Tree Irrigation	Low	Streetscapes	Drip	10 IN/YR	2	270 ea.	54,000	108,000	
Non-Irrigated Tall Grass (Seed)	No	Open Space	None	0 IN/YR	0		2,445,709	N/A	
Perennials	Low	Accent Areas	Spray	10 IN/YR	2		6,853	13,706	6,853
Undisturbed Open Space	No	Open Space	None	0 IN/YR	0		927,882	N/A	
<b>TOTAL</b>							<b>4,116,283</b>	<b>1,825,465</b>	<b>746,492</b>
TOTAL COMPOSITE LAND USE WATER RATING (CLWUR: sum LWUR (A/TA))									<b>2.45</b>

**DEVELOPER**  
CASTLE ROCK DEVELOPMENT COMPANY  
3033 E. 1ST AVENUE / SUITE 410  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 394-5500  
FAX NUMBER: (303) 394-5508  
CONTACT: JIM RILEY

**LAND PLANNER/LANDSCAPE ARCHITECT**  
1101 Barnock Street  
Denver, Colorado 80204  
P: 303.882.1188  
F: 303.882.1188  
www.norris-design.com  
CONTACT: SEAN MALONE  
CERTIFICATE NO. 6098

**CIVIL ENGINEER/SURVEYOR**

**AZTEC CONSULTANTS, inc.**  
A LAND SURVEYING COMPANY  
8000 South Lincoln Street, Unit 5, Littleton, Colorado 80122  
Ph: (303) 713-1898 Fax: (303) 713-1897

INITIAL SUBMITTAL DATE: DECEMBER 13, 2006  
REVISIONS:  
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SEPTEMBER 5, 2007  
NOVEMBER 20, 2007

**MEADOWS FILING NO. 18**  
**PRELIMINARY PLAT/FINAL PD SITE PLAN**  
**AMENDMENT #3**  
**LANDSCAPE DETAILS**  
**SHEET 13 OF 15 FORMERLY SHEET 35 OF 38**

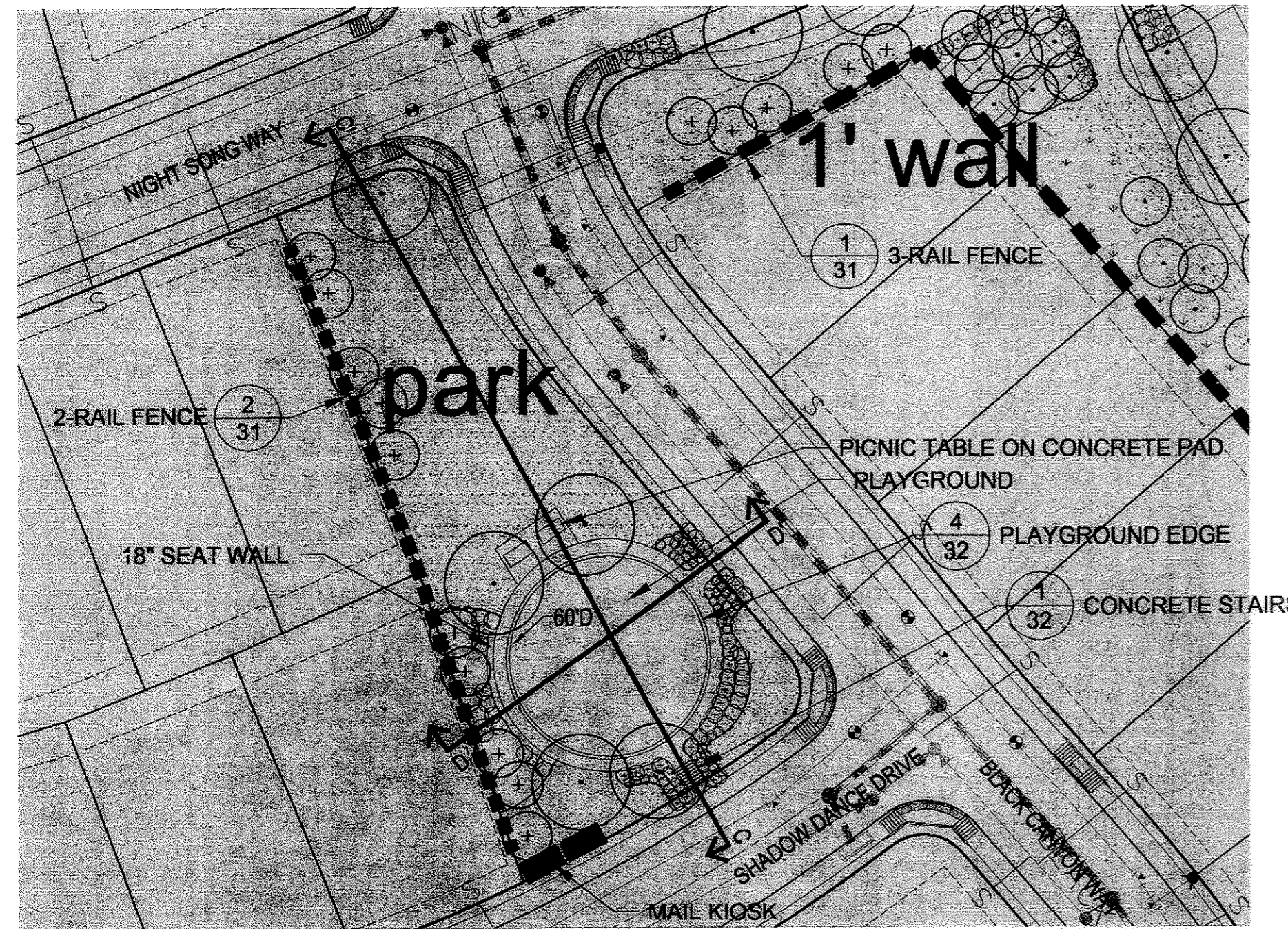
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# THE MEADOWS FILING NO. 18

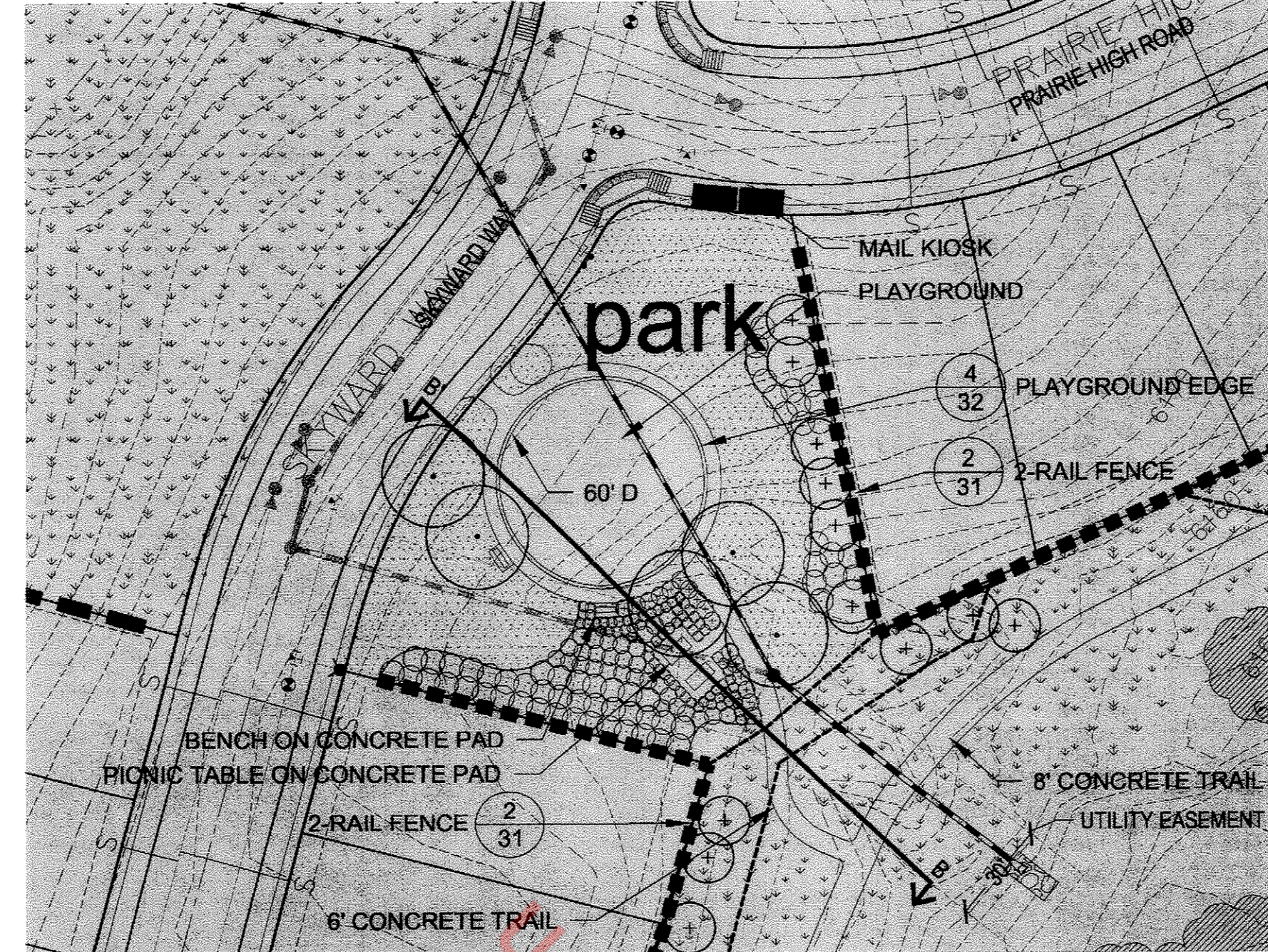
A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH,  
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

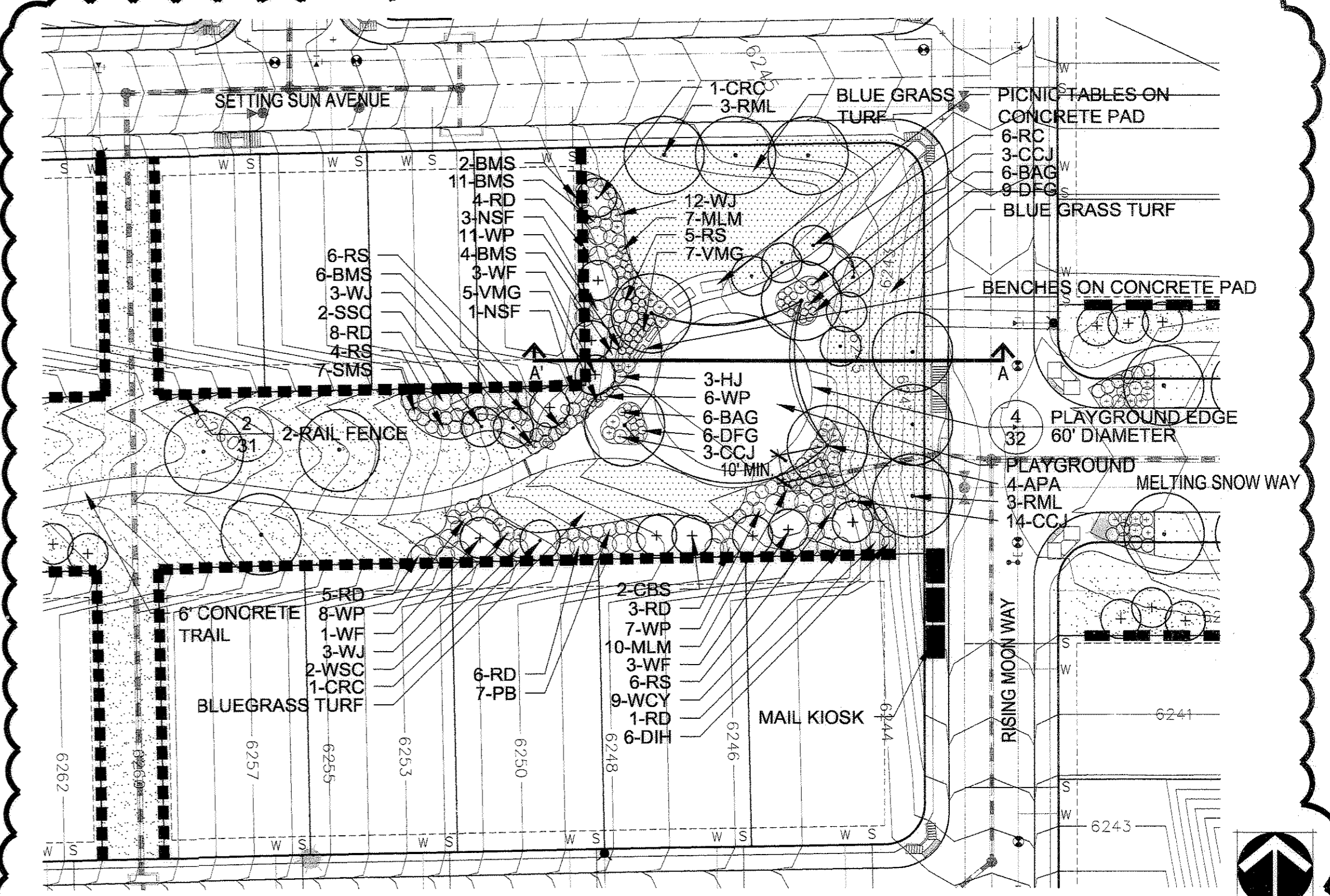
SHEET 14 OF 15 FORMERLY SHEET 37 OF 38



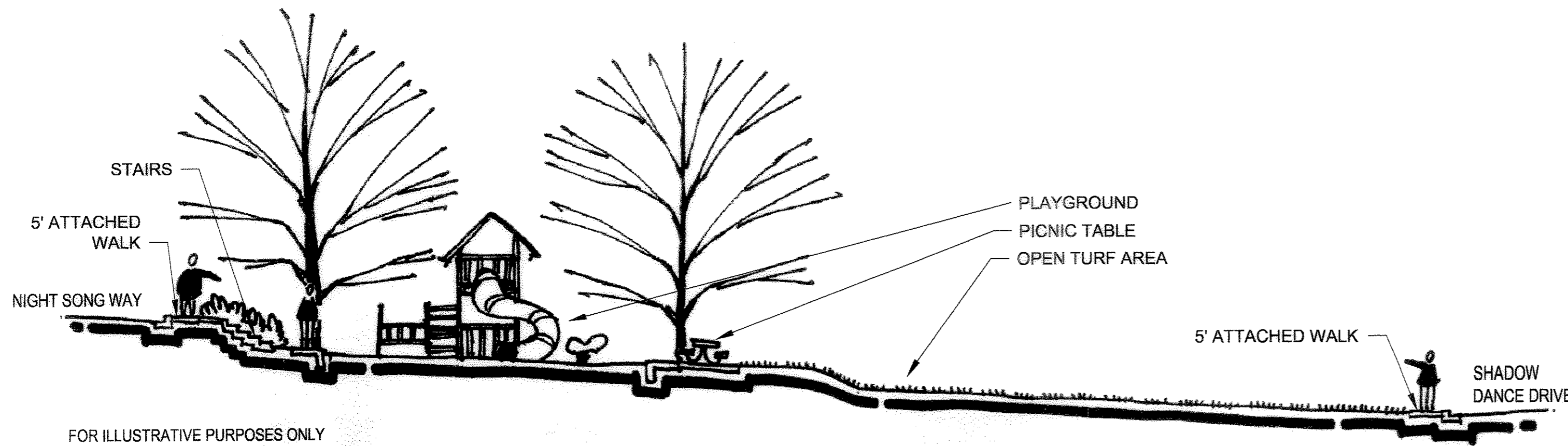
1 POCKET PARK  
37 Scale: 1"= 40'



2 POCKET PARK  
37 Scale: 1"= 40'

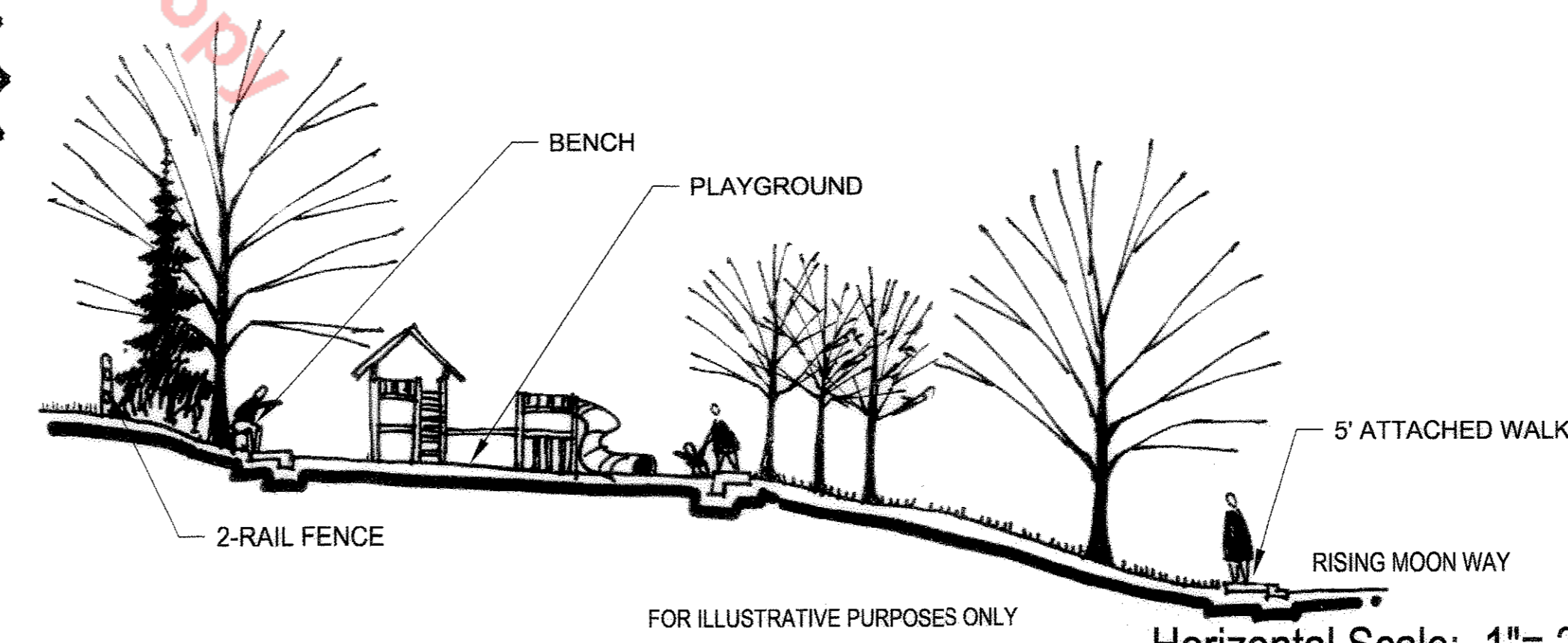


3 POCKET PARK  
37 Scale: 1"= 40'



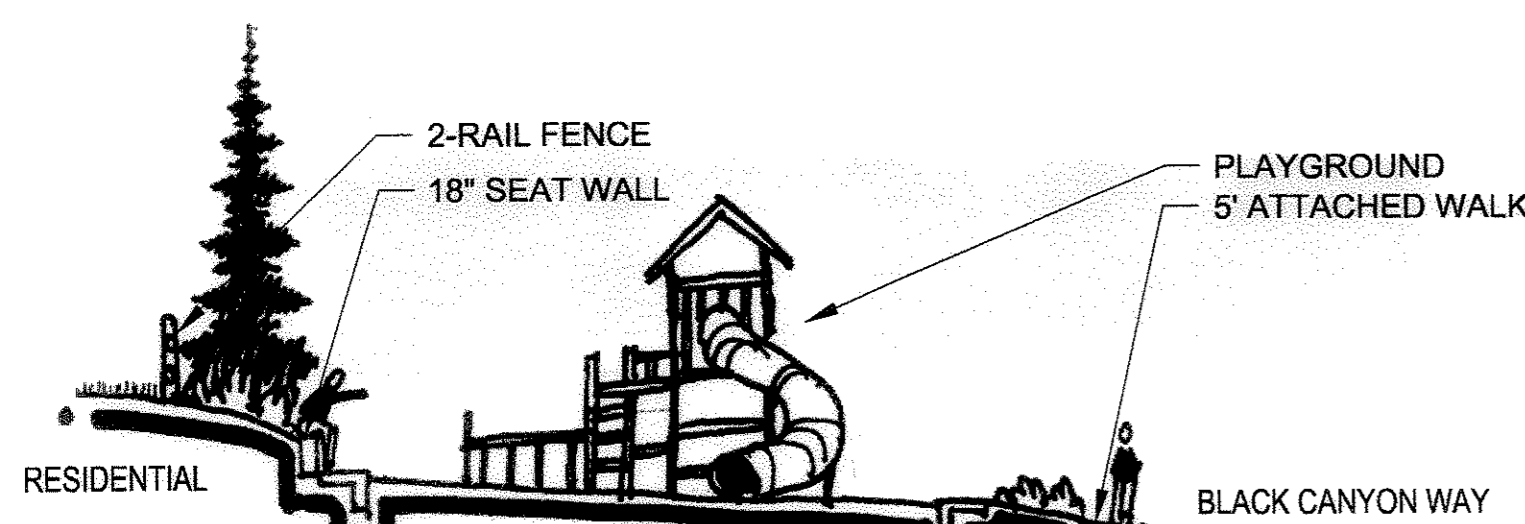
FOR ILLUSTRATIVE PURPOSES ONLY  
SECTION C-C'

Horizontal Scale: 1"= 20'  
Vertical Scale: 1"= 10'



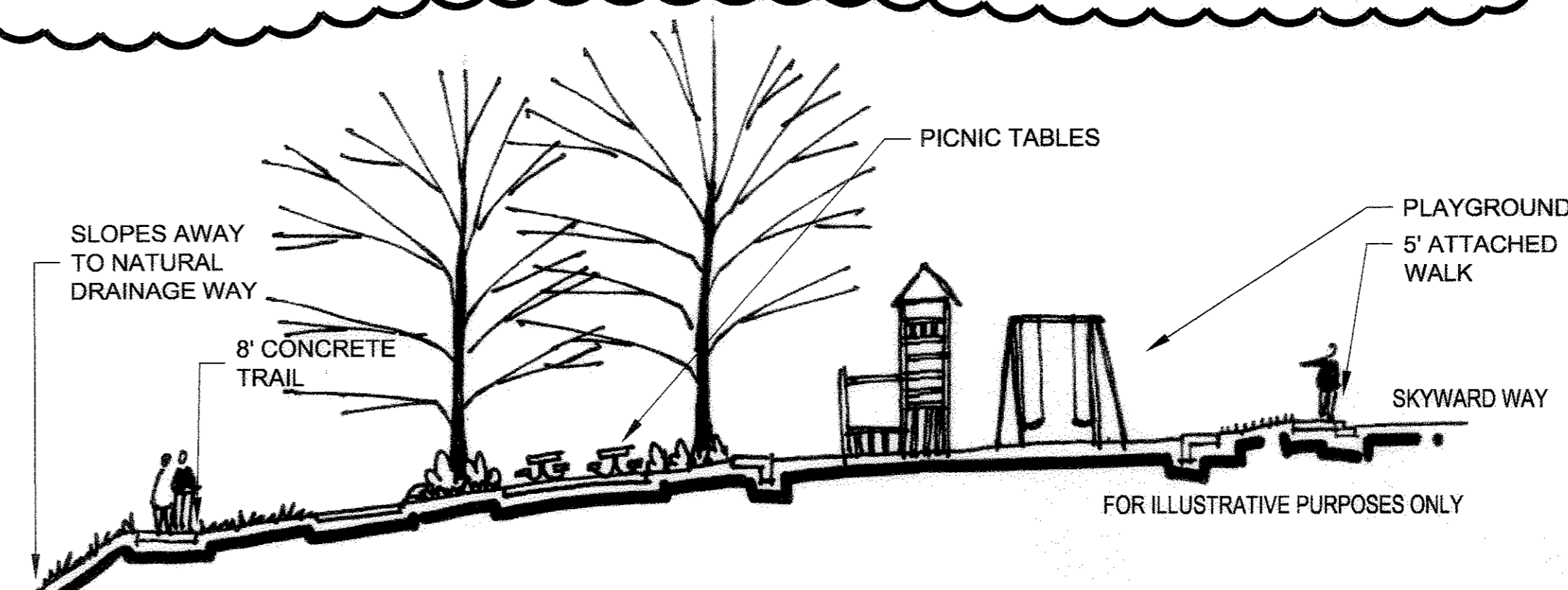
SECTION A-A'

FOR ILLUSTRATIVE PURPOSES ONLY  
Horizontal Scale: 1"= 20'  
Vertical Scale: 1"= 10'



FOR ILLUSTRATIVE PURPOSES ONLY  
SECTION D-D'

Horizontal Scale: 1"= 20'  
Vertical Scale: 1"= 10'



SECTION B-B'

FOR ILLUSTRATIVE PURPOSES ONLY  
Horizontal Scale: 1"= 20'  
Vertical Scale: 1"= 10'

**DEVELOPER**  
CASTLE ROCK DEVELOPMENT COMPANY  
3033 E. 1ST AVENUE / SUITE 410  
DENVER, COLORADO 80206  
PHONE NUMBER: (303) 394-6600  
FAX NUMBER: (303) 394-6608  
CONTACT: JIM RILEY

**LAND PLANNER/LANDSCAPE ARCHITECT**  
1101 Barnock Street  
Denver, Colorado 80204  
P 303.892.1166  
F 303.892.1166  
www.norris-design.com

**CIVIL ENGINEER/SURVEYOR**  
A ZTEC CONSULTANTS, inc.  
A LAND SURVEYING COMPANY  
8000 South Lincoln Street, Unit 5, Littleton, Colorado 80122  
Ph. (303) 713-1898 Fx. (303) 713-1897

**ENGINEERING PARTNERS, INC.**  
26 W. Dry Creek Circle, Suite 600  
Littleton, Colorado 80120  
Tel. (303) 703-4444  
Fax (303) 703-4530  
CONTACT: SCOTT PEASE

INITIAL SUBMITTAL DATE:  
DECEMBER 13, 2006  
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**MEADOWS FILING NO. 18**  
**PRELIMINARY PLAT/FINAL PD SITE PLAN**  
**AMENDMENT #3**  
**LANDSCAPE PLAN POCKET PARKS**  
**SHEET 14 OF 15 FORMERLY SHEET 37 OF 38**

# THE MEADOWS FILING NO. 18

PORTIONS OF THE SOUTHEAST ONE-QUARTER OF SECTION 33 AND THE SOUTHWEST ONE-QUARTER OF SECTION 34,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #3

SHEET 15 OF 15 FORMERLY SHEET 38 OF 38

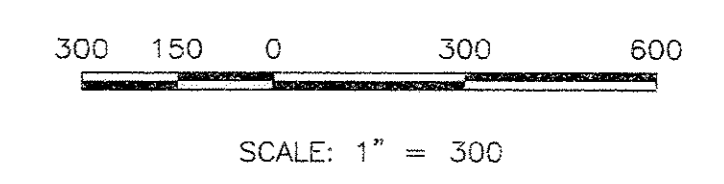
### LEGEND

- 2-Rail Fence
- - - - 3-Rail Fence
- 6' Privacy Fence
- ☼ Mail Kiosk Locations
- Destination Point
- ~~~~~ 8' Concrete Trail
- ..... 6' Concrete Trail
- ~~~~~ 5' Crusher Fines Trail
- ~~~~~ Proposed 4th Amendment PD Trail (Modified Route)
- ~~~~~ Existing 8' Concrete Trail

**M** IRRIGATION METERS, TAP LOCATIONS, AND INFORMATION

- FENCE NOTES:**
- ALL FENCING NOT SHOWN ON THESE PLANS ARE SUBJECT TO COMPLIANCE WITH THE MEADOWS NEIGHBORHOOD COMPANY ARCHITECTURAL GUIDELINES.
  - INTERIOR REAR YARD FENCES (NOT SHOWN ON THESE DRAWINGS) IS THE RESPONSIBILITY OF THE HOMEOWNER.
  - ALL TRANSITIONS FROM OPEN RAIL FENCE TO PRIVACY FENCE SHALL BE GRADUAL AND AT LEAST 8 FEET IN LENGTH.
  - FENCES SHALL BE OF WESTERN RED CEDAR NO. 2, DRY ROUGH SAWN 4 SIDES WITH OLYMPIC WEATHER SCREEN SEMITRANSSPARENT STAIN #716 NATURAL TONE CEDAR.
  - FENCES TO BE SET BACK A MINIMUM OF 3' FROM WALK.
  - REFER TO THE APPROVED ARCHITECTURAL GUIDELINES FOR MORE INFORMATION REGARDING FENCE CONSTRUCTION.
  - SEE SHEET 4 OF 6 FOR FENCE DETAILS.

- GENERAL NOTES:**
- ALL WALKS ARE 5' CONCRETE UNLESS OTHERWISE NOTED ON PLAN.
  - SEE SHEET 36 FOR DESTINATION POINTS, SEE SHEET 37 FOR PARK PLANS.



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CASTLE ROCK DEVELOPMENT COMPANY  
3033 E. 1ST AVENUE / SUITE 410  
DENVER, COLORADO 80209  
PHONE NUMBER: (303) 394-5500  
FAX NUMBER: (303) 394-5508  
CONTACT: JIM RILEY

**LAND PLANNER/LANDSCAPE ARCHITECT**  
1101 Barnook Street  
Denver, Colorado 80204  
P: 303.692.1198  
F: 303.692.1198  
www.norris-design.com  
CONTACT: SEAN MALONE  
CERTIFICATE NO. 6596

**CIVIL ENGINEER/SURVEYOR**  
A ZTEC CONSULTANTS, INC.  
A LAND SURVEYING COMPANY  
8000 South Lincoln Street, Unit 5 Littleton, Colorado 80122  
Ph. (303) 713-1858 Fx. (303) 713-1897

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Littleton, Colorado 80120  
Tel. (303) 703-4444  
Fax (303) 703-4530

CONTACT: SCOTT PEASE

**MEADOWS FILING NO. 18  
PRELIMINARY PLAT/FINAL PD SITE PLAN  
AMENDMENT #3  
FENCING, TRAILS, MAIL KIOSK PLAN  
SHEET 15 OF 15 FORMERLY SHEET 38 OF 38**