

OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$111.00
12 PGS



2005018976
03/04/2005 10:10 AM

2005018976 12 PGS

PLAT IDENTIFICATION SHEET

Castle Rock Development Co
GRANTOR(owner)

Meadows 17 area 4 final PD Site Plan
GRANTEE(name of plat)

Legal Description

Filing _____

Phase _____

Lot 5

Building _____

Block _____

Unit _____

27

7

67

(Section)

(Township)

(Range)

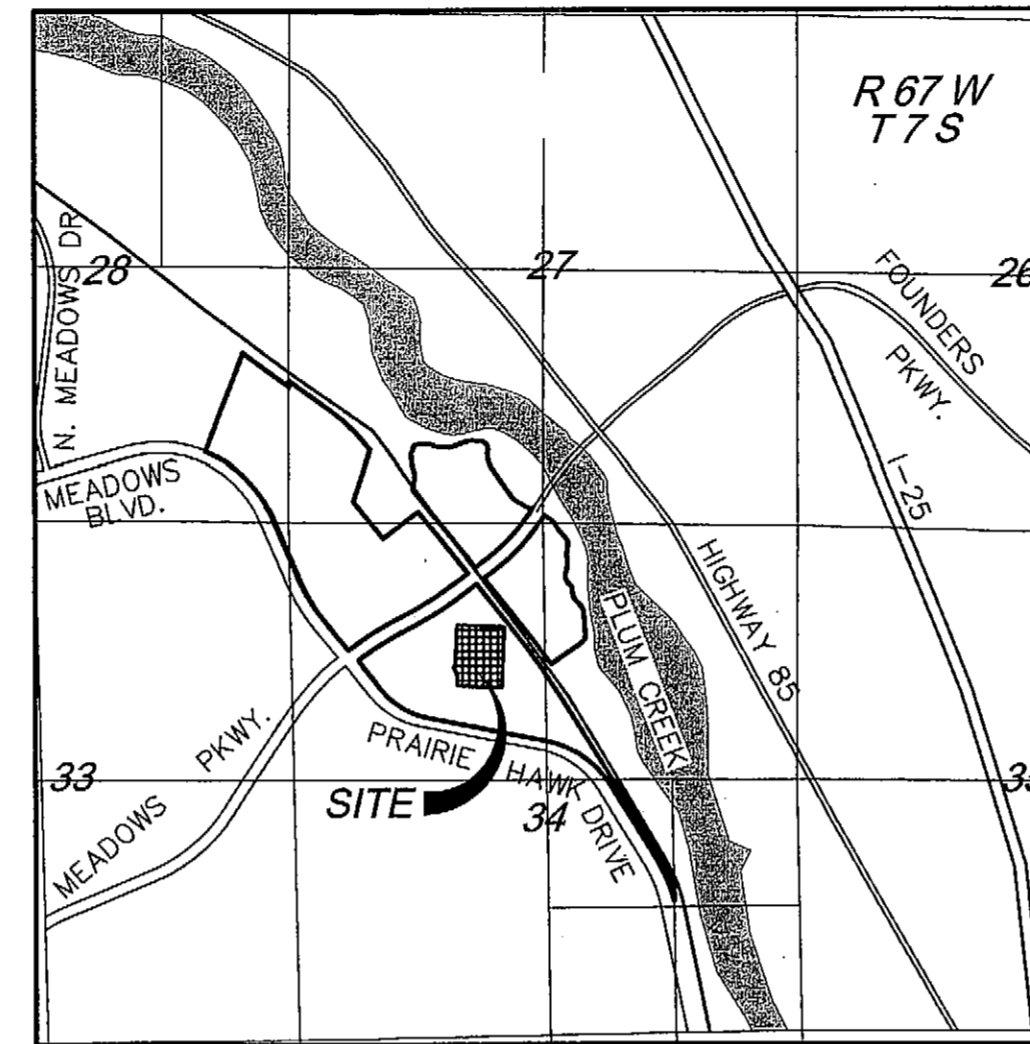
200508974

Cross reference#s (reception#s Book - Page)

LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN

COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET 1 OF 11



VICINITY MAP
1" = 2000'

SHEET INDEX

- 1 COVER SHEET
- 2 SITE PLAN
- 3 GRADING PLAN
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- 5 ARCHITECTURAL ELEVATIONS
- 6 ARCHITECTURAL ELEVATIONS
- 7 LANDSCAPE MANAGEMENT PLAN AND USE ANALYSIS
- 8 LANDSCAPE PLAN
- 9 LANDSCAPE DETAILS
- 10 PHOTOMETRIC PLAN
- 11 LIGHTING SCHEDULE AND DETAILS

LAND USE SUMMARY:

1. MAXIMUM GROSS FLOOR AREA: 45,116 SQ.FT.
2. PARKING SPACES PROVIDED: 605 (INCLUDING 14 HANDICAP)
PARKING SPACES REQUIRED: 726 (1 SPACE PER 3 SEATS-2176 SEATS)
3. BUILDING HEIGHT: WALL: 37'-4"
ROOF: 45'-8"
SPIRE: 76'-2"
4. SITE UTILIZATION:

BUILDING	45,116	SQ.FT. (14.7%)
PAVEMENT	186,692	SQ.FT. (60.9%)
DRIVE	13,096	SQ.FT. (4.3%)
LANDSCAPE (TOTAL)	44,724	SQ.FT. (14.6%)
HARDSCAPE (TOTAL)	17,123	SQ.FT. (5.5%)
TOTAL	306,751	SQ.FT. (100%)
- *PARKING: 207,171 SQ.FT. (100%)
PAVEMENT: 186,692 SQ.FT. (90.1%)
LANDSCAPING: 17,753 SQ.FT. (8.6%)
HARDSCAPING: 2726 SQ.FT. (1.3%)
5. SINGLE FAMILY EQUIVALENTS: 2" TAP DOMESTIC=8 SFE AND 1" IRRIGATION TAP=2 SFE, TOTAL=10 SFE
6. BUILDING SETBACK: 30 FEET FROM PROPERTY LINE

CIVIL ENGINEER CERTIFICATION:

I, KURT LANG, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.



KURT A. LANG
PE NO. 32249
FOR AND ON BEHALF OF
CVL CONSULTANTS OF COLORADO, INC.

DATE

INDEMNIFICATION AND ADHERENCE TO STANDARDS STATEMENTS

THESE PLANS HAVE BEEN REVIEWED BY THE TOWN OF CASTLE ROCK FOR CONCEPT ONLY. THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE TOWN ENGINEER, OR THE TOWN OF CASTLE ROCK FOR ACCURACY AND CORRECTNESS OF THE CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED FOR ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE TOWN FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF CASTLE ROCK "STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC WORKS" AND/OR OTHER TOWN-APPROVED APPLICABLE STANDARDS.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

SURVEYOR'S CERTIFICATE:

I, GEORGE A. ROBINSON, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

GEORGE A. ROBINSON
PLS NO. 35593
FOR AND ON BEHALF OF
CVL CONSULTANTS OF COLORADO, INC.

DATE



OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN IN THE TOWN OF CASTLE ROCK.

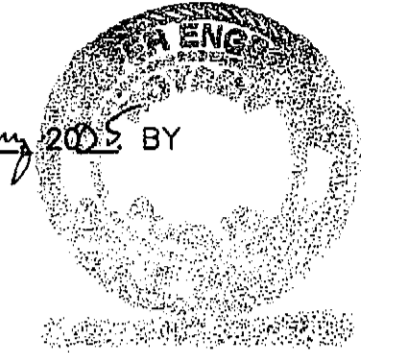
BY: [Signature]
CASTLE ROCK DEVELOPMENT COMPANY
3033 EAST 1ST AVENUE, #410
DENVER, COLORADO 80206

SIGNED THIS 11th DAY OF February, 2005

SUBSCRIBED AND SWORN TO BEFORE ME THIS 11th DAY OF February, 2005 BY

WITNESS MY HAND AND SEAL

NOTARY PUBLIC
MY COMMISSION EXPIRES: 11/2/2008



LIENHOLDER SUBORDINATION CERTIFICATION:

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN IN THE TOWN OF CASTLE ROCK.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON 3-4-05 AT RECEPTION NO. 200501877 DOUGLAS COUNTY, COLORADO, SUBORDINATE THE SUBJECT LIEN OF THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT:

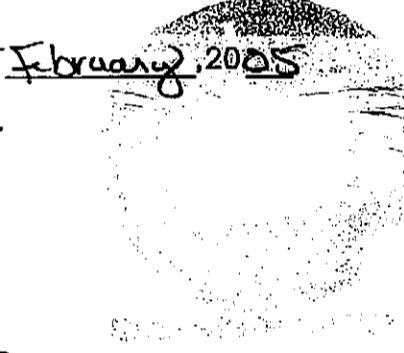
BY: [Signature]
CASTLE ROCK LAND CO., LLC
3033 EAST 1ST AVENUE, #410
DENVER, COLORADO 80206

SIGNED THIS 11th DAY OF February, 2005

SUBSCRIBED AND SWORN TO BEFORE ME THIS 11th DAY OF February, 2005

WITNESS MY HAND AND SEAL

NOTARY PUBLIC
MY COMMISSION EXPIRES: 11/2/2008



TITLE CERTIFICATION:

I, [Signature], AN AUTHORIZED REPRESENTATIVE OF [Signature], A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES, AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 4th DAY OF March, 2005

AUTHORIZED REPRESENTATIVE

TITLE INSURANCE COMPANY

SUBSCRIBED AND SWORN TO BEFORE ME THIS 4th DAY OF March, 2005

WITNESS MY HAND AND SEAL

NOTARY PUBLIC
MY COMMISSION EXPIRES: STATE OF COLORADO

My Commission Expires Apr. 30, 2007

TOWN CERTIFICATION:

THE LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO, ON THE 17th DAY OF February, 2005

DIRECTOR OF DEVELOPMENT SERVICES
DATE 2-17-05

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:

THIS FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 10:10 A.M. ON THE 4th DAY OF March, 2005 AT RECEPTION NO. 200501877

DOUGLAS COUNTY CLERK AND RECORDER

BY: [Signature]
DEPUTY

WATER RIGHTS DEDICATION AGREEMENT:

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS DEDICATION AGREEMENT, RECORDED ON THE 10TH DAY OF JULY, 2004 AT RECEPTION NO. 2003102970 AND ACCORDINGLY 10 SFE ARE DEBITED FROM THE WATER BANK.

CIVIL ENGINEER/SURVEYOR

7901 E. Bellevue Avenue
Suite 150
Englewood, CO 80111
Tel: (720) 482-9526
Fax: (720) 482-9546
CONTACT: KURT LANG
JOB NO. 04811501

SUBMITTAL DATE: FEBRUARY 15, 2005

LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4
FINAL PD SITE PLAN
COVER SHEET/NOTES
SHEET 1 OF 11

GENERAL NOTES:

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
2. PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SCRUB MUST REPLACE A SCRUB. GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. ACCORDING TO FIRM MAP 080050 0170 C DATED SEPTEMBER 30, 1987, THE SITE LIES IN ZONE X; OUTSIDE OF THE 100 YEAR FLOOD PLAIN.
4. ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CDS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
6. APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
7. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS AS SHOWN ON THIS PLAN.

LEGAL DESCRIPTION:

LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4.

BASIS OF BEARING:

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO AS BEING NORTH 00°04'44" EAST A DISTANCE OF 2629.60 FEET:
-THE EAST QUARTER CORNER BEING A FOUND 3.25" ALUM. CAP, LS 14166.
-THE SOUTHEAST CORNER BEING A FOUND 2.5" ALUM. CAP, LS 17666.

BENCHMARK:

BENCHMARK: THE PROJECT BENCHMARK IS A FOUND 3" DOUGLAS COUNTY CONTROL POINT BRASS CAP IN CONCRETE STAMPED 2.015030 LOCATED APPROXIMATELY 400 FEET NORTHEAST OF THE BNSF RAILROAD IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO. BENCHMARK ELEVATION BEING 6082.17 FEET BASED ON THE TOWN OF CASTLE ROCK VERTICAL CONTROL, NAVD 1988 DATUM.

CONTACTS

OWNER	OWNER	DEVELOPER	CIVIL ENGINEER	ARCHITECT	MORTGAGEE
CASTLE ROCK DEVELOPMENT COMPANY 3033 EAST 1ST AVENUE, #410 DENVER, COLORADO 80206 ATTN: SCOTT CHOMIAK (303) 394-5517	CASTLE ROCK LAND CO., LLC 3033 EAST 1ST AVENUE, #410 DENVER, COLORADO 80206 ATTN: SCOTT CHOMIAK (303) 394-5517	COLORADO CINEMAS GROUP 6696 S.PARKER ROAD AURORA, COLORADO 80016 ATTN: JOHN DOYLE (303) 941-1599	CVL CONSULTANTS OF COLORADO, INC. 7901 E. BELLEVUE AVE., SUITE 150 ENGLEWOOD, CO 80111 ATTN: KURT A. LANG, P.E. (720) 482-9526	ROTH AND SHEPPARD ARCHITECTS 1623 BLAKE STREET, #350 DENVER, CO 80202 ATTN: JIM WILEY (303) 534-7007	CASTLE ROCK LAND CO., LLC 3033 EAST 1ST AVENUE, #410 DENVER, COLORADO 80206 ATTN: SCOTT CHOMIAK (303) 394-5517

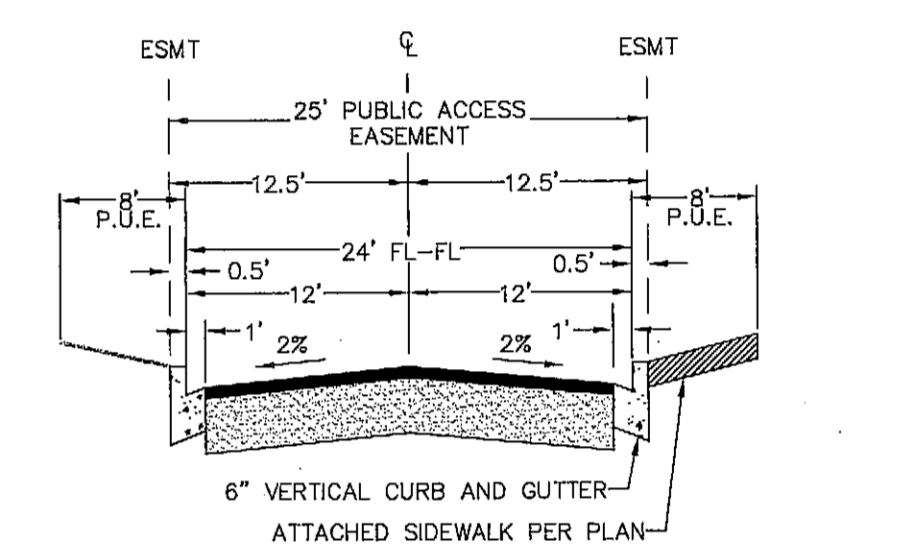
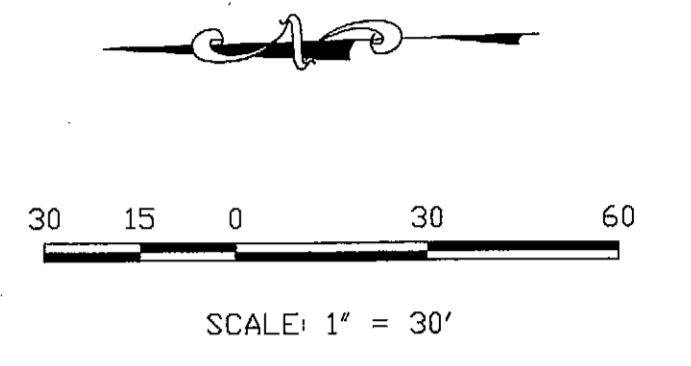
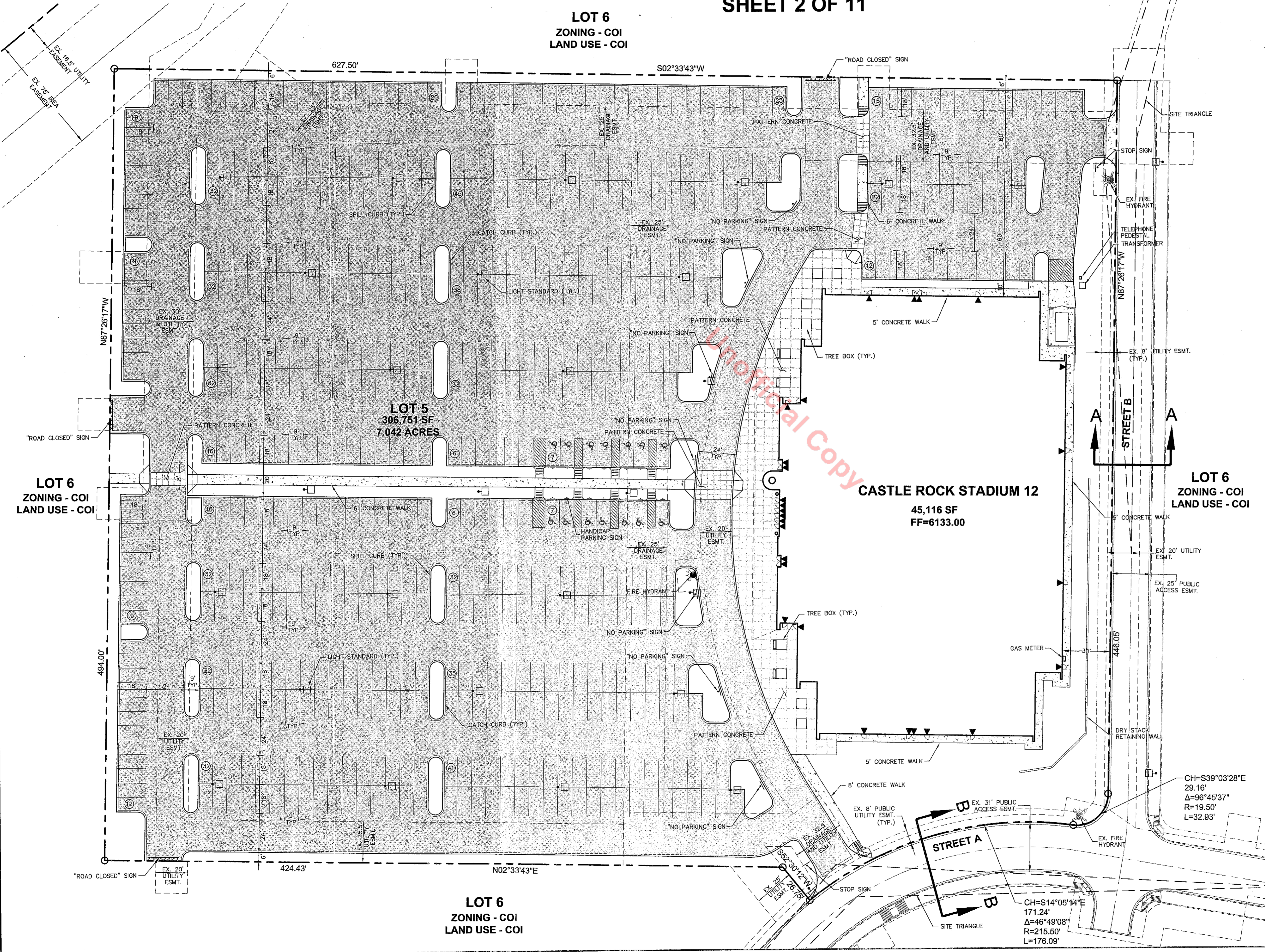
LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN

COUNTY OF DOUGLAS, STATE OF COLORADO

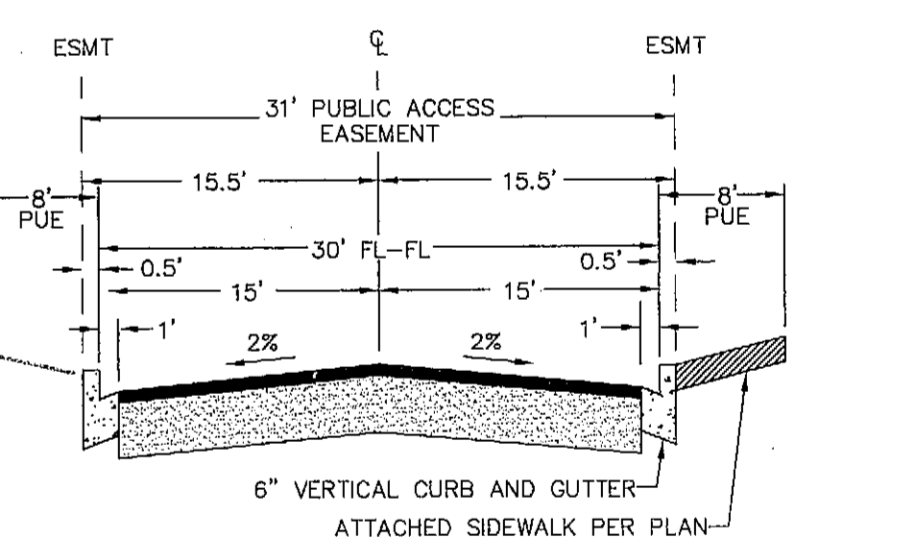
SHEET 2 OF 11

LEGEND:

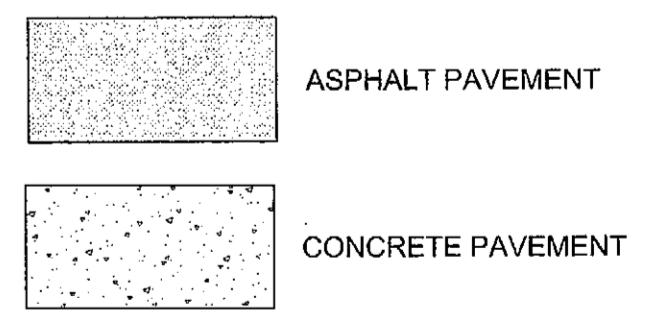
- ⊗ EXISTING FIRE HYDRANT
- ⊗ PROPOSED FIRE HYDRANT
- ⊗ EXISTING VALVE
- ⊗ PROPOSED VALVE
- ⊗ EXISTING MANHOLE
- ⊗ PROPOSED MANHOLE
- EXISTING SANITARY LINE
- PROPOSED SANITARY LINE
- EXISTING WATER
- PROPOSED WATER
- EXISTING STORM DRAINAGE PIPE
- PROPOSED STORM DRAINAGE PIPE
- PROPERTY LINE
- EXISTING MAJOR CONTOURS
- PROPOSED MAJOR CONTOURS



25' PUBLIC ACCESS EASEMENT
N.T.S.
SECTION A-A



31' PUBLIC ACCESS EASEMENT
N.T.S.
SECTION B-B



CIVIL ENGINEER/SURVEYOR
 Suite 150
CVL
 CONSULTANTS OF COLORADO, INC.
 CIVIL ENGINEERING LAND SURVEYING LAND PLANNING
 CONTACT: KURT LANG
 JOB NO. 04811501

SUBMITTAL DATE: FEBRUARY 15, 2005
 LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4
 FINAL PD SITE PLAN
 SHEET 2 OF 11

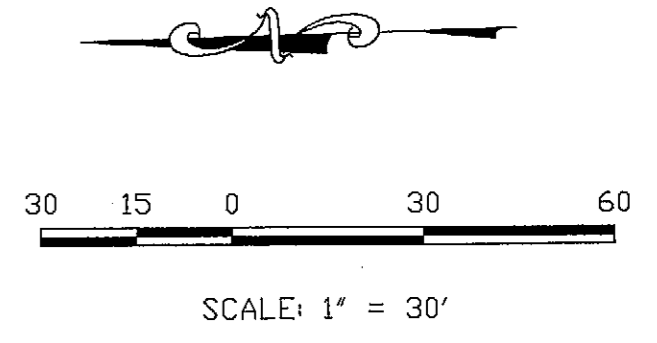
LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN

COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET 3 OF 11

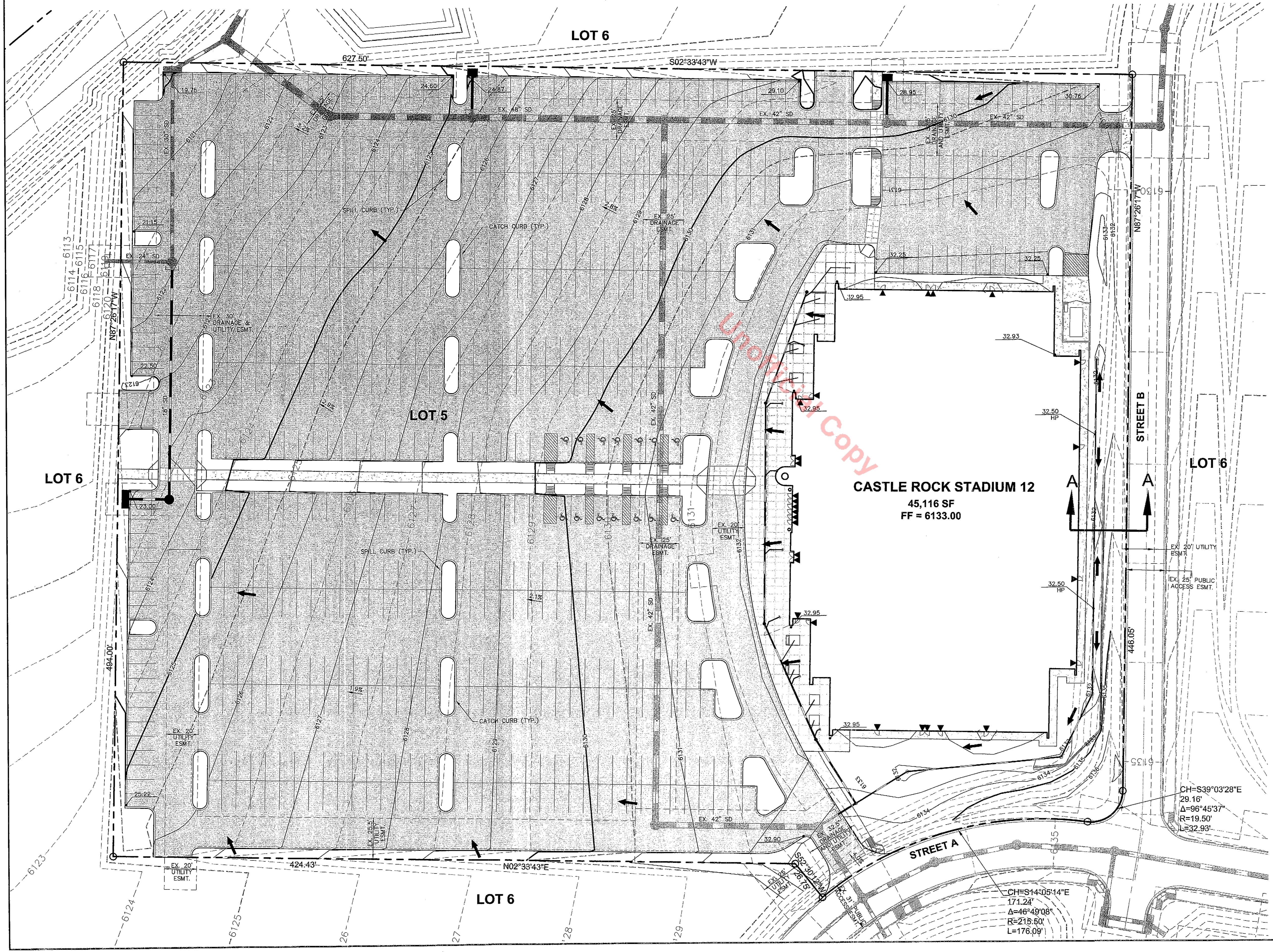
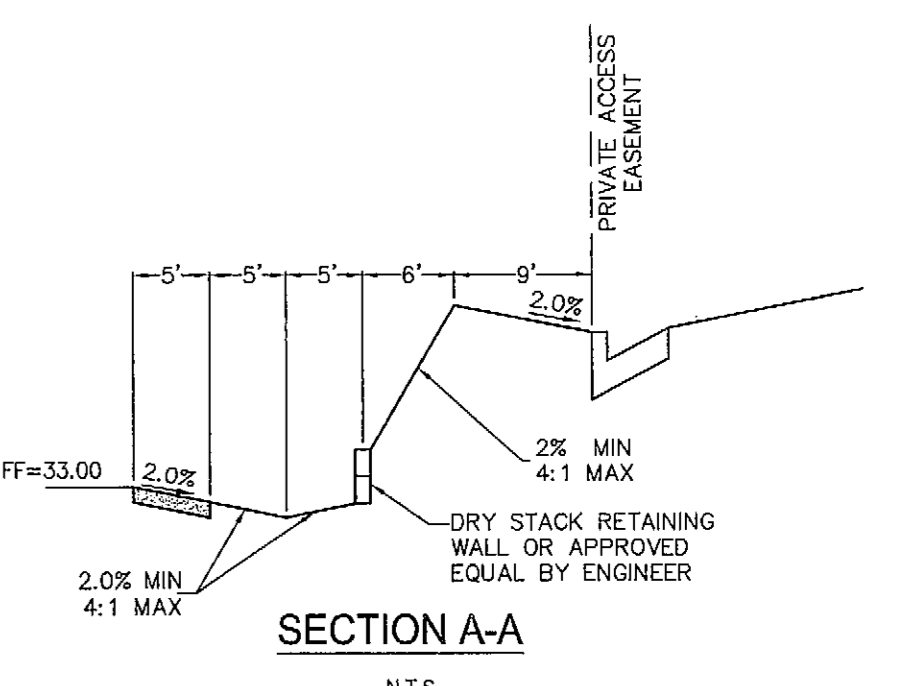
LEGEND:

- ⊗ EXISTING FIRE HYDRANT
- ⊗ PROPOSED FIRE HYDRANT
- ⊗ EXISTING VALVE
- ⊗ PROPOSED VALVE
- ⊗ EXISTING MANHOLE
- ⊗ PROPOSED MANHOLE
- EXISTING SANITARY LINE
- PROPOSED SANITARY LINE
- EXISTING WATER
- PROPOSED WATER
- EXISTING STORM DRAINAGE PIPE
- PROPOSED STORM DRAINAGE PIPE
- PROPERTY LINE
- 480— EXISTING MAJOR CONTOURS
- 5460— PROPOSED MAJOR CONTOURS



ASPHALT PAVEMENT

CONCRETE PAVEMENT



CIVIL ENGINEER/SURVEYOR

CYL

CONSULTANTS OF COLORADO, INC.
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING

CONTACT: KURT LANG
JOB NO. 04811501

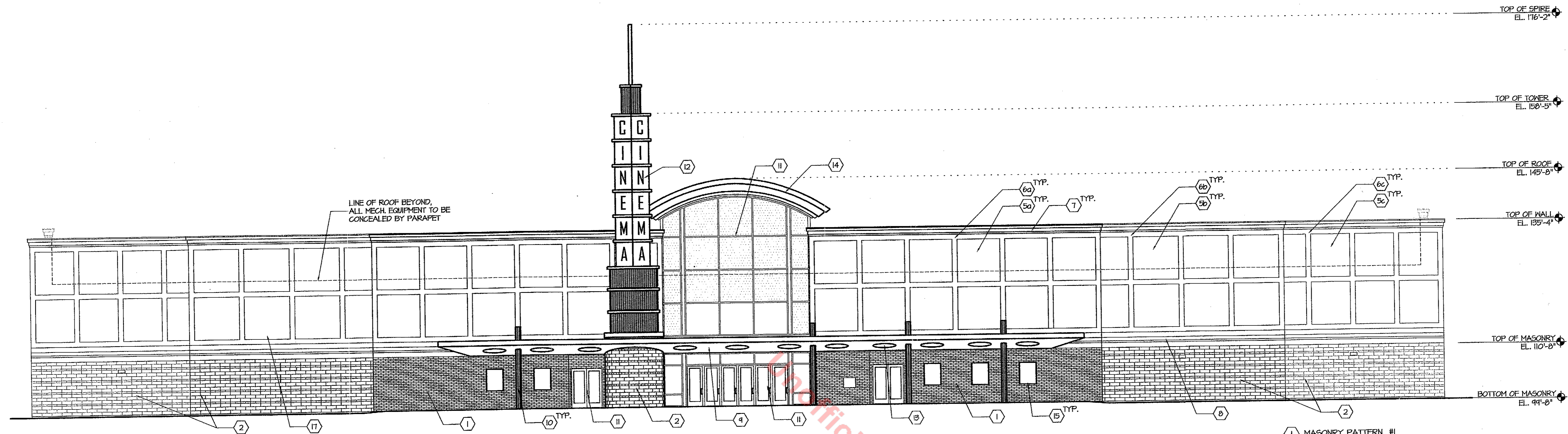
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LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4
FINAL PD SITE PLAN
GRADING PLAN
SHEET 3 OF 11

CH=S14°05'14"E
171.24'
Δ=46°49'08"
R=215.50'
L=176.09'

LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN

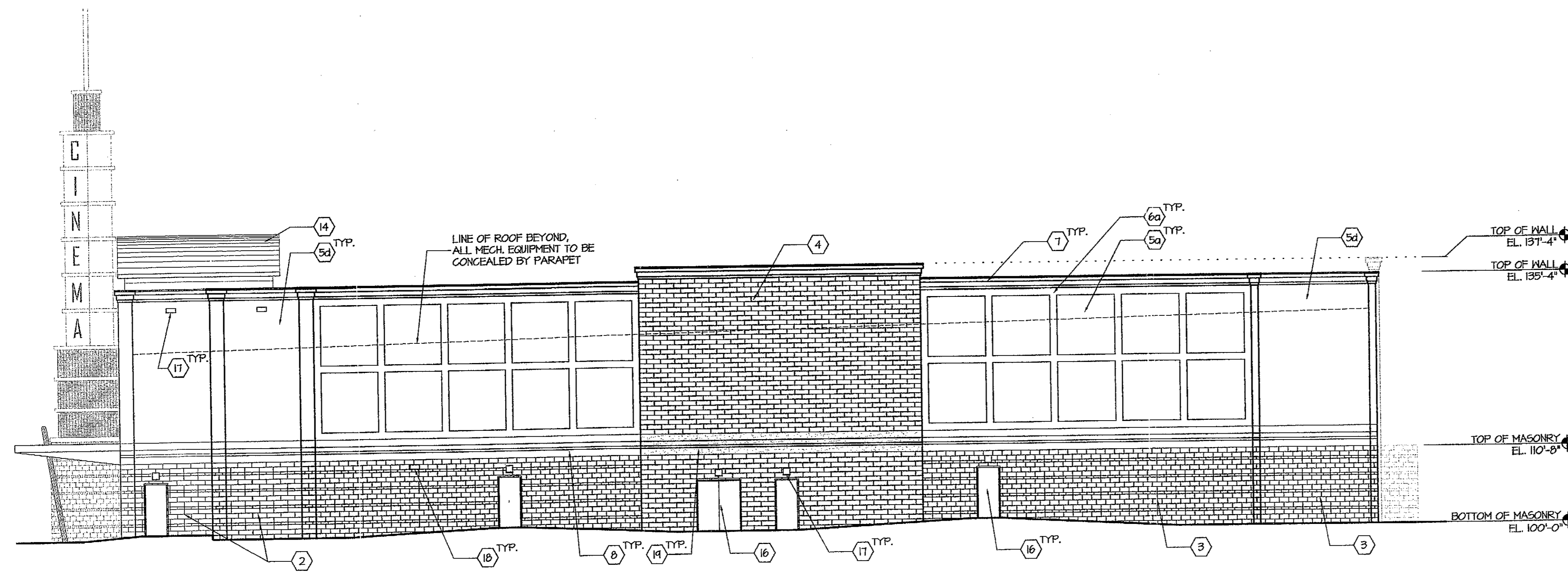
COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET 5 OF 11



1 NORTH ELEVATION
3/32" = 1'-0"

- ① MASONRY PATTERN #1
Field: Summit Brick 653 Inca
Nominal Size: 4x4x12
- ② MASONRY PATTERN #2
Field: Amiscraft Renaissance Masonry Units
Nominal Size: 8x4x24 (R5T58)
Color: Paprika
Finish: Rocked
Band: Summit Brick 653 Inca
Nominal Size: 4x4x12
- ③ MASONRY PATTERN #3
Field: Robinson Block Red Cliff
Nominal Size: 8x12x16
Band: Summit Brick 556 Ginger
Nominal Size: 4x4x12
- ④ MASONRY PATTERN #4
Field: Amiscraft Renaissance Masonry Units
Nominal Size: 4x8x12
Color: Paprika
Finish: Rocked
Belt Course: Special Shaped Amiscraft Masonry
Color: 556 Ginger (or to match)
- ⑤ Efs Field: (a) T154M (b) T153M (c) T152N (d) ICI 1081
- ⑥ Efs Banding: (a) T155D (b) T154M (c) T153M
- ⑦ Efs Cornice: T151
- ⑧ Efs Belt Course: ICI 1082
- ⑨ Painted Metal Canopy: ICI 1082
- ⑩ 12" Metal Tube Columns, clad with non-climbable wire mesh, powder coated: ICI 1081
- ⑪ Painted Aluminum Storefront System with insulated vision/spandrel glass units: ICI 1081
- ⑫ Signage Element
Base: Metal Clad with wire mesh
Tower: Internally illuminated, with illuminated LED letters and LED horizontal trim.
- ⑬ Under Canopy Lights
- ⑭ Standing Seam Metal Roof, Berridge curved tee-panel: Hemlock Green
- ⑮ Lighted Poster Cases
- ⑯ Painted Hollow Metal Doors: ICI 1081
- ⑰ Building Lighting, see electrical
- ⑱ Building Lighting, if needed
- ⑲ Stone Belt Course



2 WEST ELEVATION
3/32" = 1'-0"

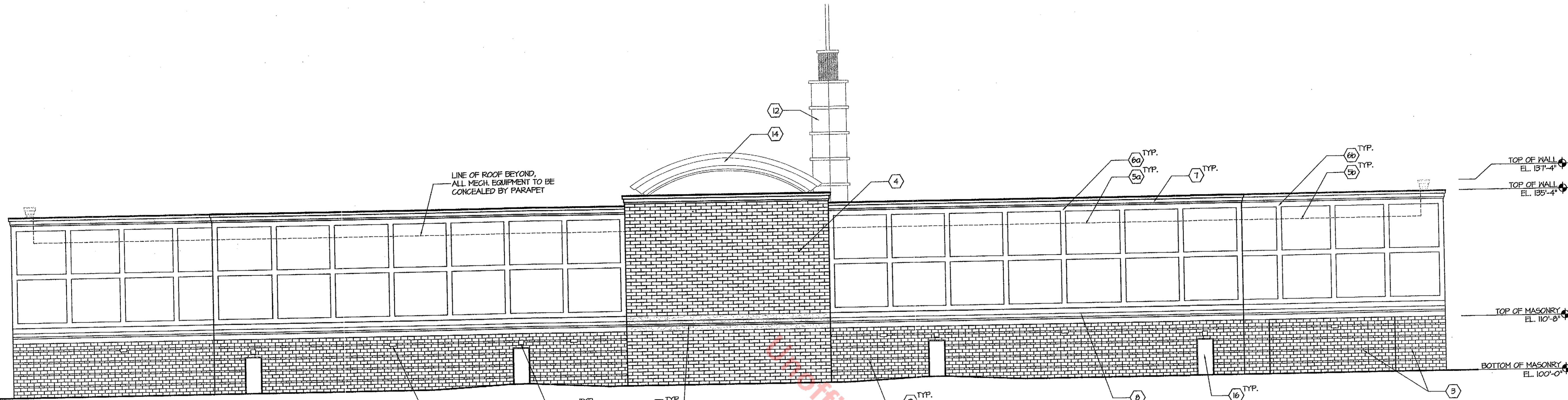
**ROTH ■ SHEPPARD
ARCHITECTS**
1623 BLAKE ST. SUITE 350
DENVER, COLORADO 80202
303.534.7007 303.534.7722 (FAX)

SUBMITTAL DATE: FEBRUARY 15, 2005
LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4
FINAL PD SITE PLAN
SHEET 5 OF 11

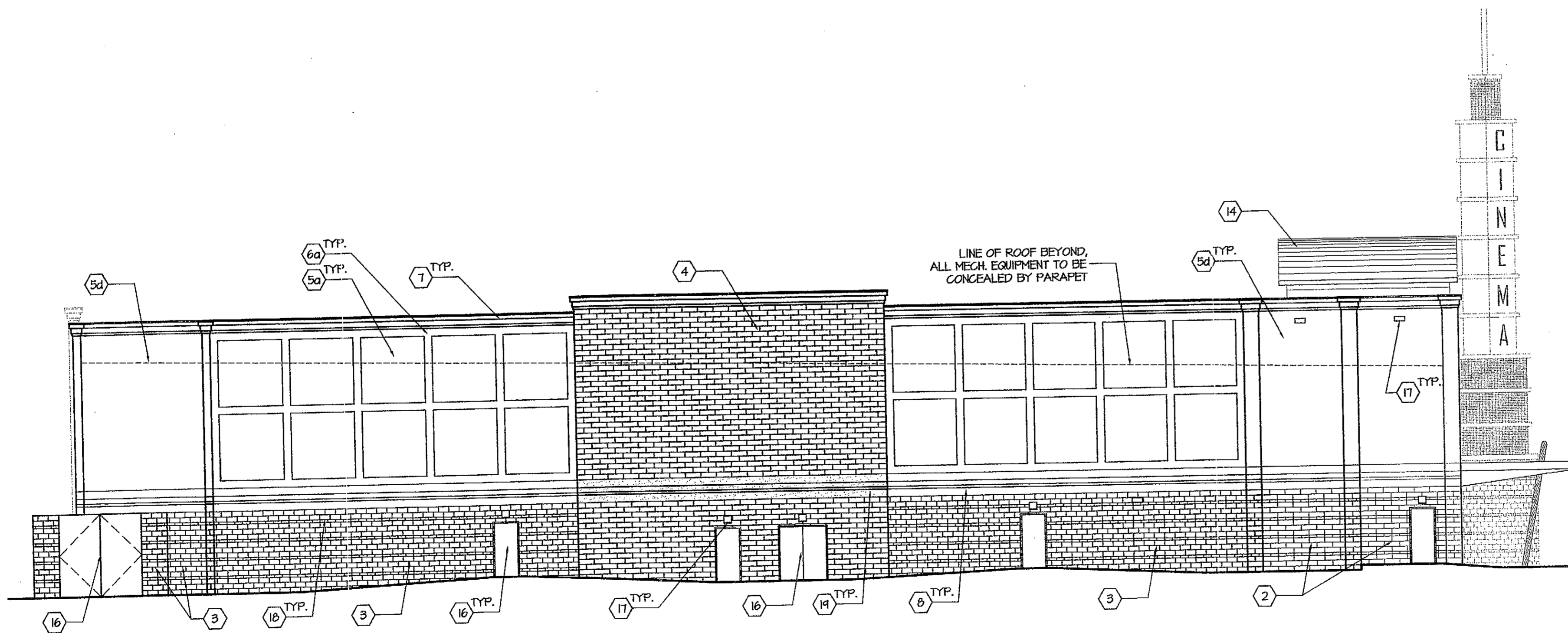
LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN

COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET 6 OF 11



1
6
3/32" = 1'-0"
SOUTH ELEVATION



2
6
3/32" = 1'-0"
EAST ELEVATION

- ① MASONRY PATTERN #1
Field: Summit Brick 653 Inca
Nominal Size: 4x4x12
- ② MASONRY PATTERN #2
Field: Amiscraft Renaissance Masonry Units
Nominal Size: 8x4x24 (R575B)
Color: Paprika
Finish: Rocked
Band: Summit Brick 653 Inca
Nominal Size: 4x4x12
- ③ MASONRY PATTERN #3
Field: Robinson Block Red Cliff
Nominal Size: 8x12x16
Band: Summit Brick 556 Ginger
Nominal Size: 4x4x12
- ④ MASONRY PATTERN #4
Field: Amiscraft Renaissance Masonry Units
Nominal Size: 4x8x12
Color: Paprika
Finish: Rocked
Belt Course: Special Shaped Amiscraft Masonry
Units to match field
- ⑤ Efls Field: (a) ICI 543 (b) ICI 553 (c) ICI 557 (d) ICI 1081
- ⑥ Efls Banding: (a) ICI 534 (b) ICI 543 (c) ICI 553
- ⑦ Efls Cornice: ICI 562
- ⑧ Efls Belt Course: ICI 1082
- ④ Painted Metal Canopy: ICI 1082
- ⑩ 12" Metal Tube Columns, clad with non-climbable wire mesh, powder coated to match metal canopy: ICI 1082
- ⑪ Painted Aluminum Storefront System with insulated vision/spandrel glass units: ICI 1081
- ⑫ Signage Element
Base: Metal Clad with wire mesh
Tower: Internally illuminated, with illuminated LED letters and LED horizontal trim.
- ⑬ Under Canopy Lights
- ⑭ Standing Seam Metal Roof, Berridge curved tee-panel:
Hemlock Green
- ⑮ Lighted Poster Cases
- ⑯ Painted Hollow Metal Doors: ICI 1081
- ⑰ Building Lighting, see electrical
- ⑱ Building Lighting, if needed
- ⑲ Stone Belt Course

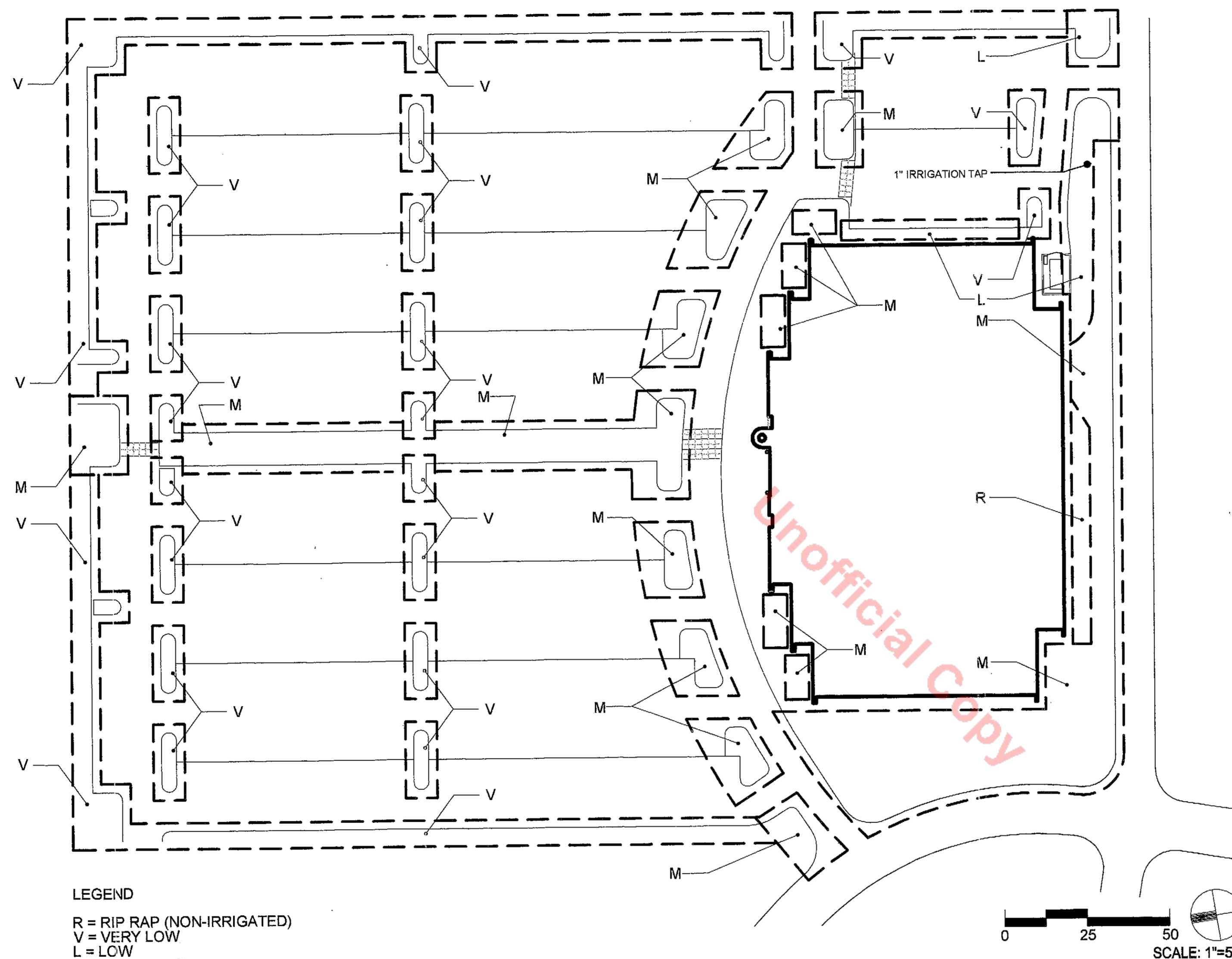
**ROTH ■ SHEPPARD
ARCHITECTS**
1623 BLAKE ST. SUITE 350
DENVER, COLORADO 80202
303.534.7007 303.534.7222 (FAX)

SUBMITTAL DATE: FEBRUARY 15, 2005
**LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4
FINAL PD SITE PLAN**
SHEET 6 OF 11

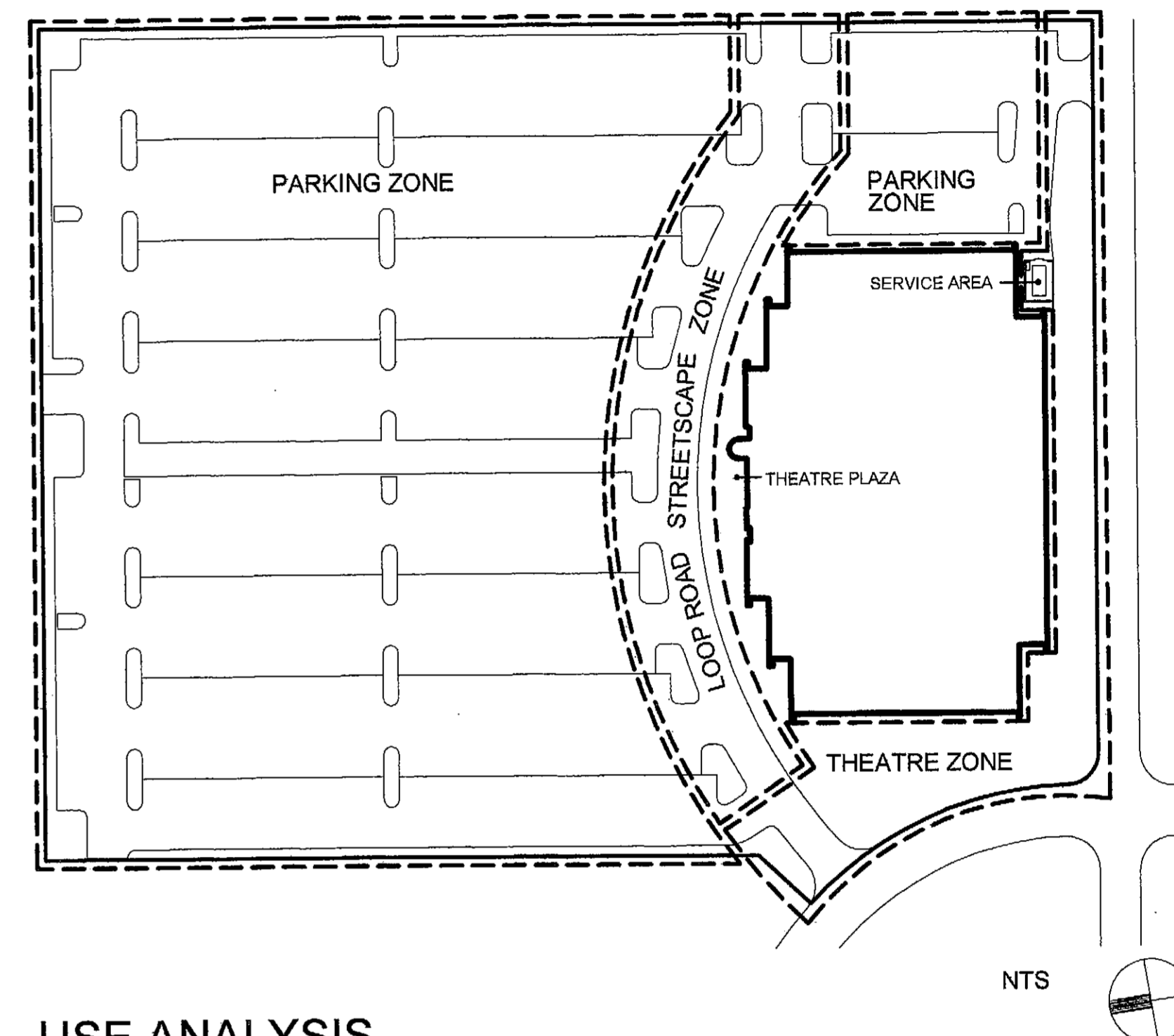
LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN

COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET 7 OF 11



LEGEND
 R = RIP RAP (NON-IRRIGATED)
 V = VERY LOW
 L = LOW
 M = MODERATE



USE ANALYSIS

CASTLE ROCK STADIUM 12 IS COMPRISED OF THREE DIFFERENT USE ZONES. THESE ZONES INCLUDE A PARKING ZONE, A LOOP ROAD STREETSCAPE ZONE AND FINALLY THE AREA IMMEDIATELY ADJACENT TO THE THEATRE. EACH ZONE REFLECTS A SPECIFIC USE, AND THUS A UNIQUE LANDSCAPE OPPORTUNITY.

THE PARKING LOT IS LANDSCAPED WITH TREES AND SHRUBS THAT REQUIRE VERY LOW WATER USE. TREES SELECTED HAVE A SCULPTURAL QUALITY TO ADD VISUAL INTEREST TO THE SPACE. THEY WILL PROVIDE SHADE IN THE SUMMER AND UNIQUE SHADOW PATTERNS IN THE WINTER. THE SHRUBS HELP BREAK UP THE EXPANSE OF ASPHALT AS WELL AS SCREEN CARS. A PEDESTRIAN SPINE BISECTS THIS ZONE. IT IS PLANTED WITH A DIFFERENT SPECIES OF TREE, ONE THAT REQUIRES MODERATE WATER USE. THE SPINE DIRECTS PEOPLE TO THE PLAZA TO THE SOUTH AND WILL BE A LINK TO FUTURE DESTINATIONS TO THE NORTH.

THE LOOP ROAD STREETSCAPE IS THE ZIPPER BETWEEN THE PARKING LOT AND THE THEATRE LANDSCAPE. A DIFFERENT TREE SPECIES IS USED TO MARK THE FRONT OF THE BUILDING. PLANT MATERIAL IN THIS ZONE IS OF MODERATE WATER USE; IT CREATES A LUSHER LANDSCAPE NEXT TO THE BUILDING.

THE BUILDING LANDSCAPE TIES THE THEATRE INTO THE SURROUNDING PRAIRIE. TREES ARE PLANTED ON THREE SIDES TO BREAK DOWN THE MASS OF THE BUILDING. ORNAMENTAL GRASSES ARE PLANTED ALONG THE EAST AND WEST. THE SERVICE AREA IS SCREENED FROM THE STREET BY CLUSTERS OF TALL EVERGREEN TREES SURROUNDED BY A SWATH OF GRASSES.

THE THEATRE PLAZA IS PLANTED WITH ORNAMENTAL TREES IN GRATES. THE TREES PROVIDE SEASONAL INTEREST AND A PEDESTRIAN SCALE TO THE SPACE. SETS OF BENCHES ARE CLUSTERED IN THE PLAZA. A SIDEWALK EXTENDS TO THE EAST AND WEST OF THE PLAZA. THE CONNECTION TO THE WEST WILL LINK TO THE FUTURE TOWN CENTER. THE WALK TO THE EAST WILL CONNECT FUTURE PARCELS.

LANDSCAPE MANAGEMENT CHART

LANDSCAPE ZONE	LANDSCAPE USE	LANDSCAPE TYPE	LANDSCAPE ZONE	LANDSCAPE USE	LANDSCAPE TYPE	IRRIGATION	IRRIGATION WATER REQUIREMENT (IN/HR)	LWI RATING (MFRS.0)(LW/R)	IRRIGATED AREA (A)	COMPOSITE LANDSCAPE WATER USE RATING	TOTAL AREA (TA)
VERY LOW WATER USE	0.0 TO 1.5										
LOW WATER USE	+1.5 TO 3.0										
MODERATE WATER USE	+3.0 TO 4.5										
HIGH WATER USE	+4.5										
TALL FESCUE TURF	MODERATE	LAWN AREAS (NO DIMENSION <10')				SPRAY	21 IN./YR.	4.2	9,321	39,148	9,321
SHRUBS + ORN. GRASSES	VERY LOW	BUILDING LANDSCAPE				DRIP	5 IN./YR.	1	15,520	15,520	15,520
SHRUBS + ORN. GRASSES	LOW	PK. LOT LANDSCAPE				DRIP	10 IN./YR.	2	2,813	5,626	2,813
SHRUBS + ORN. GRASSES	MODERATE	DRIVEWAY + BUILDING LANDSCAPE				DRIP	15 IN./YR.	3	15,429	46,287	15,429
ROCK MULCH	NONE	NON-VISIBLE LANDSCAPE				NA	0 IN./YR.	0	1,641	NA	NA
TOTALS										106,581	43,083
OVERALL PROJECT COMPOSITE LANDSCAPE WATER USE RATING											2.47

NOTES:
 1. ALL LAND AREA AT THE PERIMETER OF PARKING LOT IS CALCULATED AS BEING FULLY IRRIGATED.
 2. THE WHOLE OF THE SOFTSCAPE AREA IN THE CENTER PARKING LOT ISLAND WITH WALKWAY IS CALCULATED AS BEING FULLY IRRIGATED.

IRRIGATION DESIGN + SYSTEM NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN A THREE NIGHT, FIVE HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 11:00 PM AND 4:00 AM.
2. THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
3. THE MAXIMUM FLOW RATE REQUIRED FOR THIS SITE IS 31 GPM. THE STATIC PRESSURE AVAILABLE AT TAP LOCATION IS 70 PSI.
4. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZED TO PROVIDE HEAD TO HEAD COVERAGE.
5. LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS WITH A MINIMUM PRECIPITATION RATE OF .45" PER HOUR FOR A FULL CIRCLE HEAD.
6. SHRUB AND ORNAMENTAL GRASS BEDS AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
7. LANDSCAPE AREAS LESS THAN 10' WIDE SHALL NOT BE IRRIGATED WITH POP UP OR SPRAY HEADS.
8. A RAIN SENSOR SHALL BE INCLUDED IN THE IRRIGATION SYSTEM.

SOIL ANALYSIS

SOIL NUTRIENT LABORATORY REPORT BY COLORADO ANALYTICAL LABORATORIES INC., DATED 2.3.05

FERTILIZER RECOMMENDATION:

NITROGEN 80 LBS/ACRE
 PHOSPHOROUS 20 LBS/ACRE
 POTASSIUM 0 LBS/ACRE
 SULFUR 50 LBS/ACRE
 LIME 0 LBS/ACRE

NOTE: SPLIT NITROGEN RECOMMENDATION 2 TO 3 TIMES THROUGHOUT GROWING SEASON.

SOIL AMENDMENT RECOMMENDATION:
 3 CU. YDS. OF LOW SALT COMPOST PER 1,000 SQ. FT. PER TOWN OF CASTLEROCK LANDSCAPE REGULATIONS.

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SUBMITTAL DATE: FEBRUARY 15, 2005
LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4
FINAL PD SITE PLAN
LANDSCAPE MANAGEMENT PLAN AND USE ANALYSIS
SHEET 7 OF 11

LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN

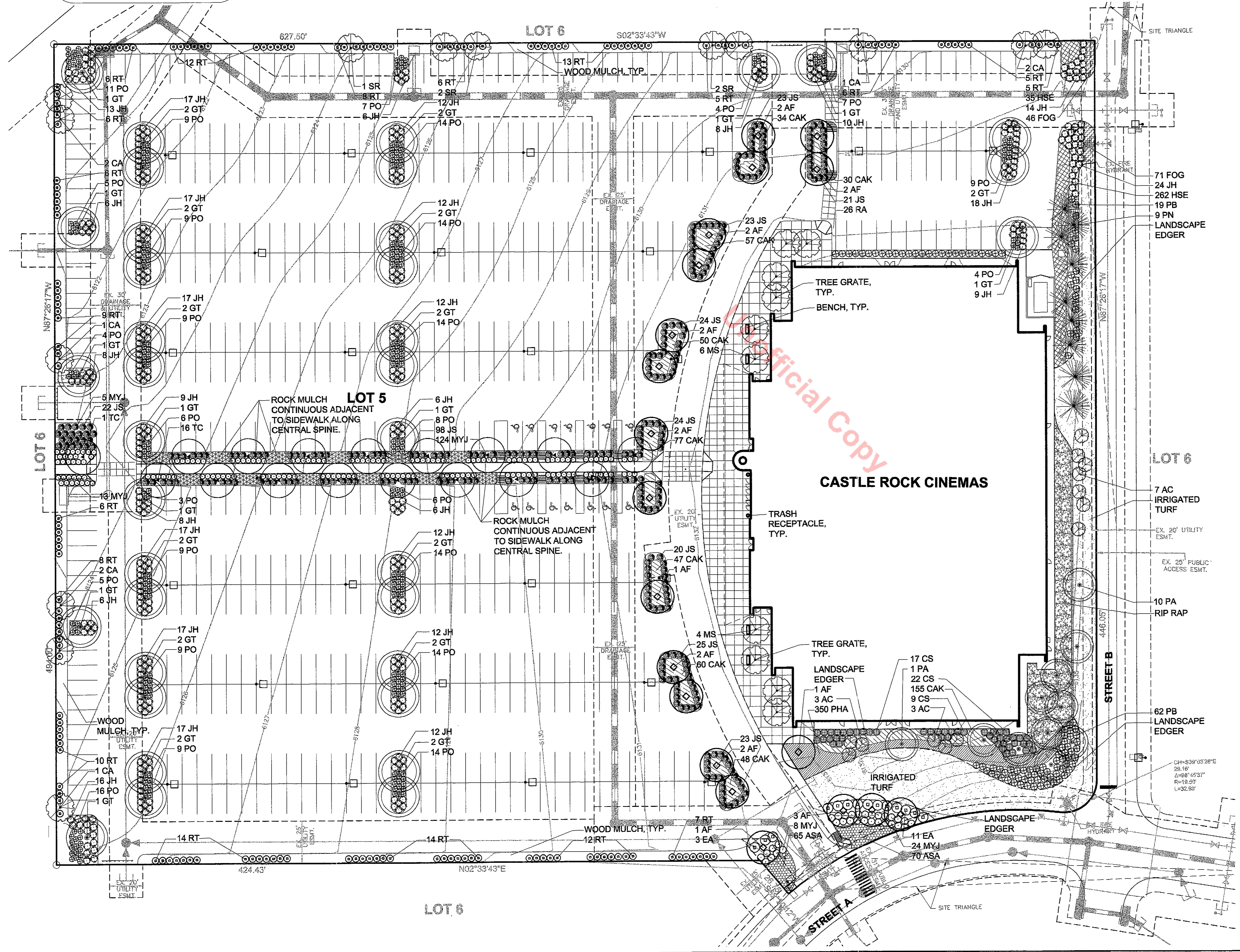
COUNTY OF DOUGLAS, STATE OF COLORADO
SHEET 8 OF 11

LEGEND:

- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING SANITARY LINE
- PROPOSED SANITARY LINE
- EXISTING WATER
- PROPOSED WATER
- EXISTING STORM DRAINAGE PIPE
- PROPOSED STORM DRAINAGE PIPE
- PROPERTY LINE
- EXISTING MAJOR CONTOURS
- PROPOSED MAJOR CONTOURS

PLANT LEGEND

- SHADE TREES**
- 20 AF Acer x Freemanii 'Autumn Blaze' Autumn Blaze Maple 2.5" cal. B&B, stake & guy single trunk
 - 37 GT Gleditsia triacanthos 'Shademaster' Shademaster Honeylocust 2.5" cal. B&B, stake & guy single trunk
 - 11 PA Populus acuminata Lanceleaf Cottonwood 2.5" cal. B&B, stake & guy single trunk
 - 17 TC Tilia cordata Littleleaf Linden 2.5" cal. B&B, stake & guy single trunk
- EVERGREEN TREES**
- 9 PN Pinus nigra Austrian Pine 8-12' ht. B&B, stake & guy single trunk
- ORNAMENTAL TREES**
- 13 AC Amelanchier canadensis Shadblow Serviceberry 8-10' ht. B&B, stake & guy clump form 3 trunks min.
 - 9 CA Crataegus ambigua Russian Hawthorn 6-8' ht. B&B, stake & guy clump form 3 trunks min.
 - 10 MS Malus 'Spring Snow' Spring Snow Crabapple 3" cal. B&B, stake & guy single trunk
 - 5 SR Syringa reticulata 'Ivory Silk' Japanese Tree Lilac 6-8' ht. B&B, stake & guy clump form 3 trunks min.
- EVERGREEN SHRUBS**
- 341 JH Juniperus horizontalis 'Hughes' Hughes Juniper 5 gal. 48" spacing
 - 303 JS Juniperus sabinia 'Buffalo' Buffalo Juniper 5 gal. 48" spacing
- DECIDUOUS SHRUBS**
- 48 CS Cornus sericea Isanti Isanti Dogwood 5 gal. 48" spacing
 - 14 EA Euonymus alatus 'Compactus' Compact Burning Bush 5 gal. 60" spacing
 - 233 PO Physocarpus opulifolius 'Nanus' Dwarf Ninebark 5 gal. 36" spacing
 - 81 PB Prunus Besseyi 'Pawnee Buttes' Pawnee Buttes Western Sandcherry 5 gal. 48" spacing
 - 26 RA Rhus aromatica 'Gro-low' Gro-low Sumac 5 gal. 48" spacing
 - 158 RT Rhus trilobata Three-leaf Sumac 5 gal. 48" spacing
- ORNAMENTAL GRASSES**
- 135 ASA Andropogon saccharoides Silver Bluestem 1 gal. 24" spacing
 - 558 CAK Calamagrostis acutifolius 'Karl Foerster' Karl Foerster Feather Reed Grass 1 gal. 24" spacing
 - 117 FOG Festuca ovina 'Glaucia' Blue Fescue 1 gal. 18" spacing
 - 297 HSE Helictotrichon sempervirens Blue Avena Grass 1 gal. 24" spacing
 - 174 MYJ Miscanthus sinensis 'Yaku Jima' Yaku Jima Maiden Grass 1 gal. 36" spacing
 - 350 PHA Pennisetum alopecuroides 'Hamlen' Hamlen Fountain Grass 1 gal. 24" spacing
- IRRIGATED TURF GRASS MIXTURE**
Dwarf Type Tall Fescue
- RIP RAP**
- ROCK MULCH**



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FINAL PD SITE PLAN
LANDSCAPE PLAN
SHEET 8 OF 11



LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4

FINAL PD SITE PLAN

COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET 9 OF 11

LANDSCAPE REQUIREMENTS

ENTIRE SITE & PARKING LOT
 CRITERIA FOR ENTIRE SITE & PARKING LOT LANDSCAPE: 2 SHADE TREES & 4 SHRUBS PER 1,000 SF, 1 ADDITIONAL TREE MAY BE ADDED IN LIEU OF 4 REQUIRED SHRUBS

AREAS	REQUIRED SF	PROPOSED SF	REQUIRED TREES	REQUIRED SHRUBS	PROPOSED TREES	PROPOSED SHRUBS
GROSS SITE AREA	-	306,751	-	-	-	-
PARKING LOT	-	207,171	-	-	-	-
PARKING LOT LANDSCAPE	20,717 min. 10%	17,753 8.6%	42*	84*	71	827
SITE LANDSCAPE MINUS P. LOT	9,958 min.	26,971	20*	40*	60	377
TOTAL SITE LANDSCAPE	30,675 MIN. 10%	44,724 14.6%	62	124	131	1,204

IRRIGATED TURF AREAS
 CRITERIA FOR IRRIGATED TURF AREAS: NO MORE THAN SIXTY PERCENT (60%) OF THE TOTAL SITE LANDSCAPE AREA SHALL INCLUDE IRRIGATED TURF

AREAS	REQUIRED SF	PROPOSED SF
IRRIGATED TURF	26,834 max. 60%	9,321 21%

NOTES

* Quantities of required trees and shrubs are calculated from the required square footage.

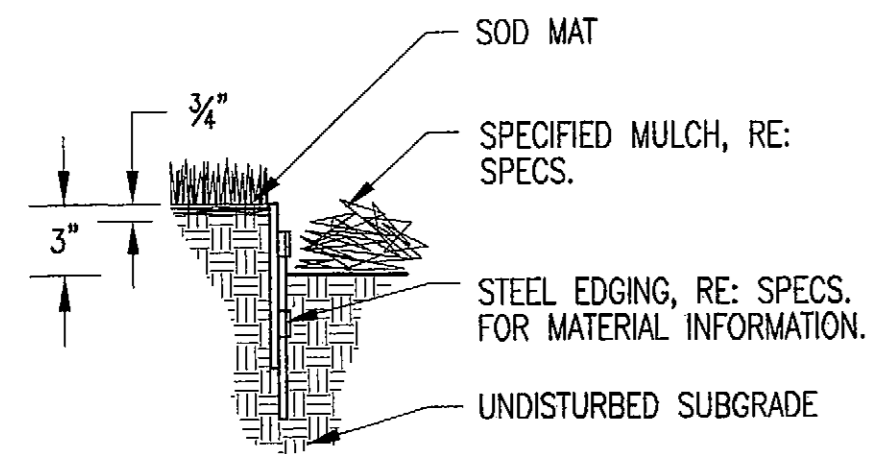
LANDSCAPE NOTES

- ALL LANDSCAPE AREAS SHALL BE GRADED TO A SUITABLE GRADE (+/- 10"). THESE AREAS SHALL BE TILLED TO A DEPTH OF 6" OR MORE, INCORPORATING THREE (3) CUBIC YARDS OF ORGANIC MATTER PER 1,000 SQUARE FEET UNIFORMLY INTO THE SOIL. UPON COMPLETION OF SOIL PREPARATION THESE AREAS SHALL BE FINE GRADED TO THE SPECIFIED GRADE. DEBRIS, VEGETATION, ROCKS, ETC. NOT PASSING THROUGH A HAND RAKE SHALL BE REMOVED FROM THE SURFACE. LANDSCAPE AREAS SHALL BE FINE GRADED SMOOTH AND FIRM AND SHALL BE PROTECTED FROM COMPACTION PRIOR TO PLANTING.
- PLANT MATERIAL SHALL CONFORM TO SECTION 6 OF THE TOWN OF CASTLE ROCK'S LANDSCAPE REGULATIONS AND SHALL COMPLY WITH CURRENT AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS FOR #1 GRADE NURSERY STOCK OR BETTER. PLANTS SHALL MEET OR EXCEED SIZES SPECIFIED IN THE PLANT LEGEND. TREES SHALL HAVE WELL BRANCHED TOPS WITH REASONABLY STRAIGHT, WELL DEVELOPED SINGLE LEADERS (UNLESS OTHERWISE NOTED). THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANTS OF INFERIOR QUALITY. NO PLANTS SHALL BE PLANTED DURING INCLEMENT WEATHER OR INTO FROZEN GROUND (UNLESS SPECIFICALLY ALLOWED WITH WRITTEN APPROVAL).
- PLANTING PITS SHALL BE DUG ACCORDING TO PLANTING DETAILS. BACKFILL PLANTING PITS WITH A UNIFORM MIXTURE OF 75% EXCAVATED SOIL AND 25% ORGANIC MATTER. THE CONTRACTOR SHALL REMOVE ALL WIRE BASKETS, NYLON TWINE, PLASTIC AND FIBER POTS AND THE TOP ONE THIRD OF BURLAP AND TWINE FROM THE ROOTBALL AND TRUNK. ALL FLAGS, TAGS, ETC. SHALL BE REMOVED FROM ALL PLANTS.
- TREES SHALL BE STAKED AND GUYED AS SHOWN IN THE PLANTING DETAILS TO KEEP THEM IN A PLUMB CONDITION UNTIL THE TREE IS ESTABLISHED. TREES OVER 2" IN CALIPER SHALL BE SECURELY STAKED AND GUYED WITH 3 WIRES MINIMUM, SPACED EQUALLY AROUND THE TREE. TREES UNDER 2" CALIPER SHALL BE SECURED WITH 2 WIRES, SPACED EQUALLY AROUND THE TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR GUY WIRE ADJUSTMENTS DURING THE WARRANTY PERIOD AND REMOVAL OF STAKES AND WIRES UPON COMPLETION OF THE WARRANTY PERIOD. TRUNKS OF FALL PLANTED DECIDUOUS TREES (EXCEPT THOSE OF THE GENUS POPULUS) SHALL BE WRAPPED WITH AN APPROVED TREE WRAP SPIRALLY FROM THE GROUND TO THE HEIGHT OF THE SECOND BRANCH AND SECURED TOP AND BOTTOM WITH APPROVED TAPE. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF THE TREE WRAP DURING THE WARRANTY PERIOD AND SHALL REMOVE THE TREE WRAPPING UPON COMPLETION OF THE WARRANTY PERIOD.
- UNLESS OTHERWISE NOTED ALL CONTINUOUS PLANTING BEDS, PARKING LOT ISLANDS AND TREES IN TURF SHALL BE MULCHED WITH SHREDDED CEDAR MULCH WITH NO COLOR DYE. MULCH SHALL BE A UNIFORM 4" DEPTH AROUND TREES AND SHRUBS AND A UNIFORM 3" DEPTH AROUND ORNAMENTAL GRASSES. MULCH RINGS AROUND TREES IN TURF SHALL BE 4" DIAMETER.
- STEEL LANDSCAPE EDGER SHALL BE PLACED BETWEEN MULCHED PLANTING AREAS AND TURF AREAS AS SHOWN ON PLAN. EDGER SHALL BE MINIMUM 25"X6" AND SHALL BE STAKED WITH STEEL STAKES AS PER MANUFACTURER'S RECOMMENDATION. EDGER SHALL BE INSTALLED VERTICALLY AND CONNECTED AT THE JOINTS. TOP OF EDGER SHALL BE FLUSH WITH TURF GRADE AND SHALL BE NOTCHED FOR DRAINAGE AT LOW POINTS.
- ALL LANDSCAPED AREAS SHALL BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM MANAGED BY A CENTRAL CONTROLLER WITH A BATTERY BACK-UP SYSTEM.
- SLOPES GREATER THAN 3:1 SHALL NOT CONTAIN ANY TURF.
- NO TURF AREAS TO BE LESS THAN 10' IN WIDTH.

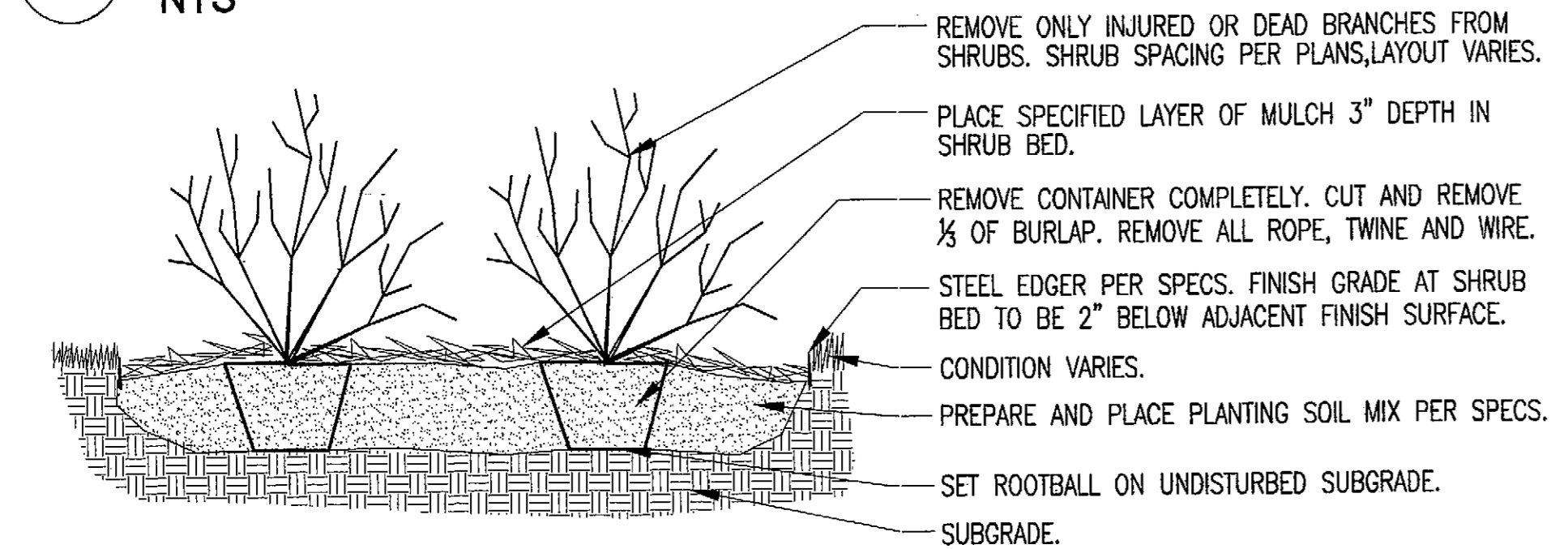
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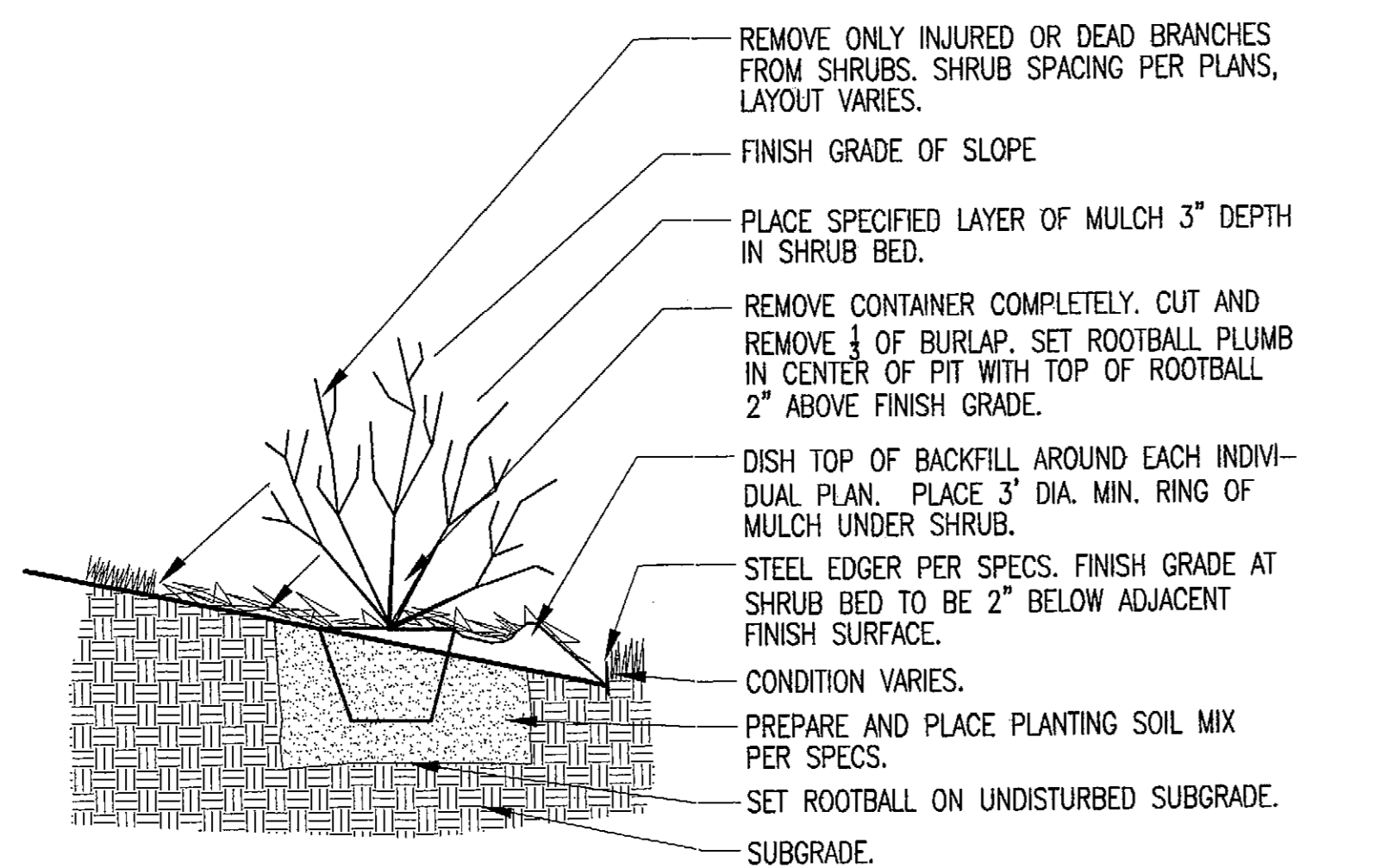
SUBMITTAL DATE: FEBRUARY 15, 2005
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 FINAL PD SITE PLAN
 LANDSCAPE DETAILS
 SHEET 9 OF 11



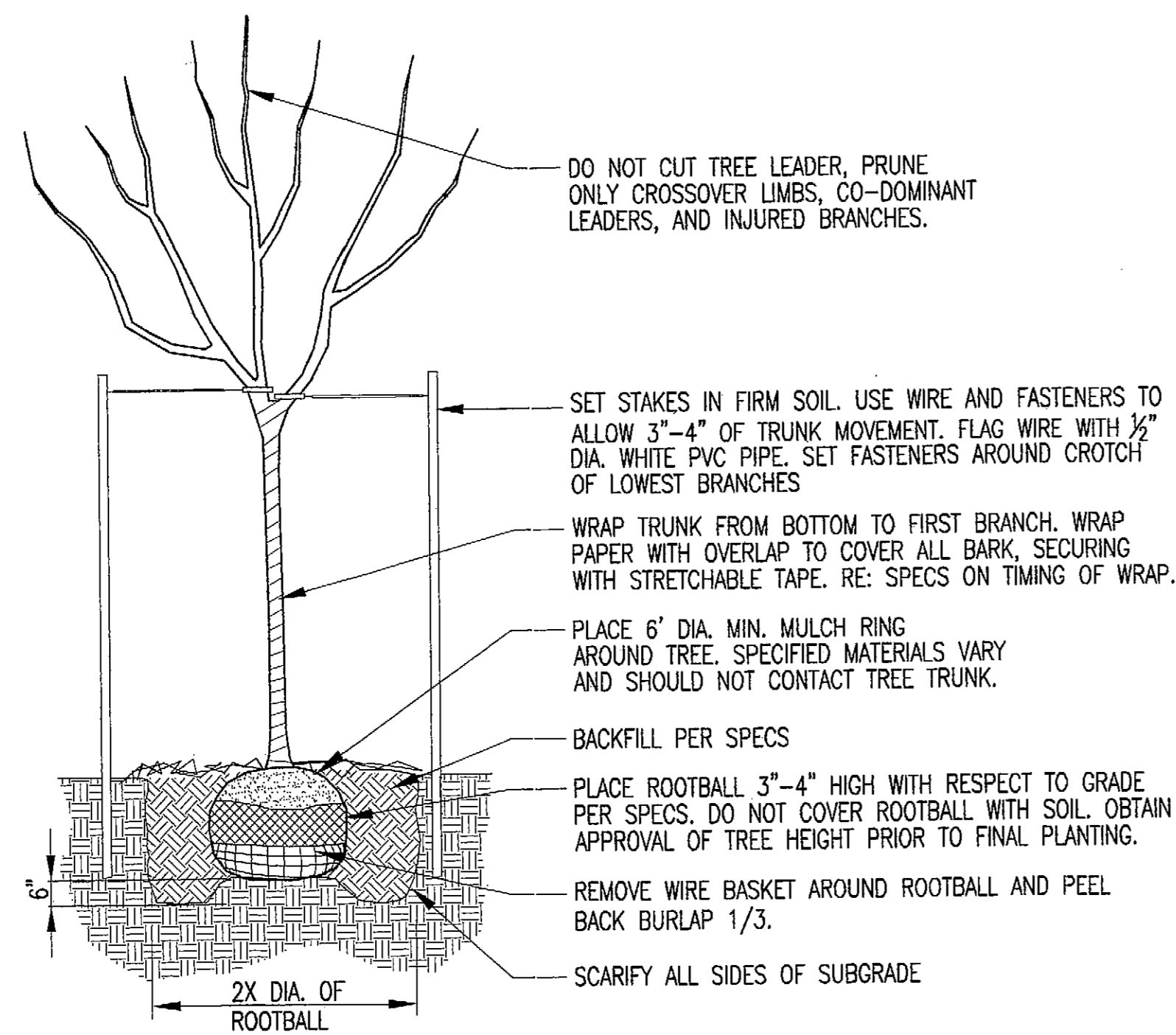
1 LANDSCAPE EDGER NTS



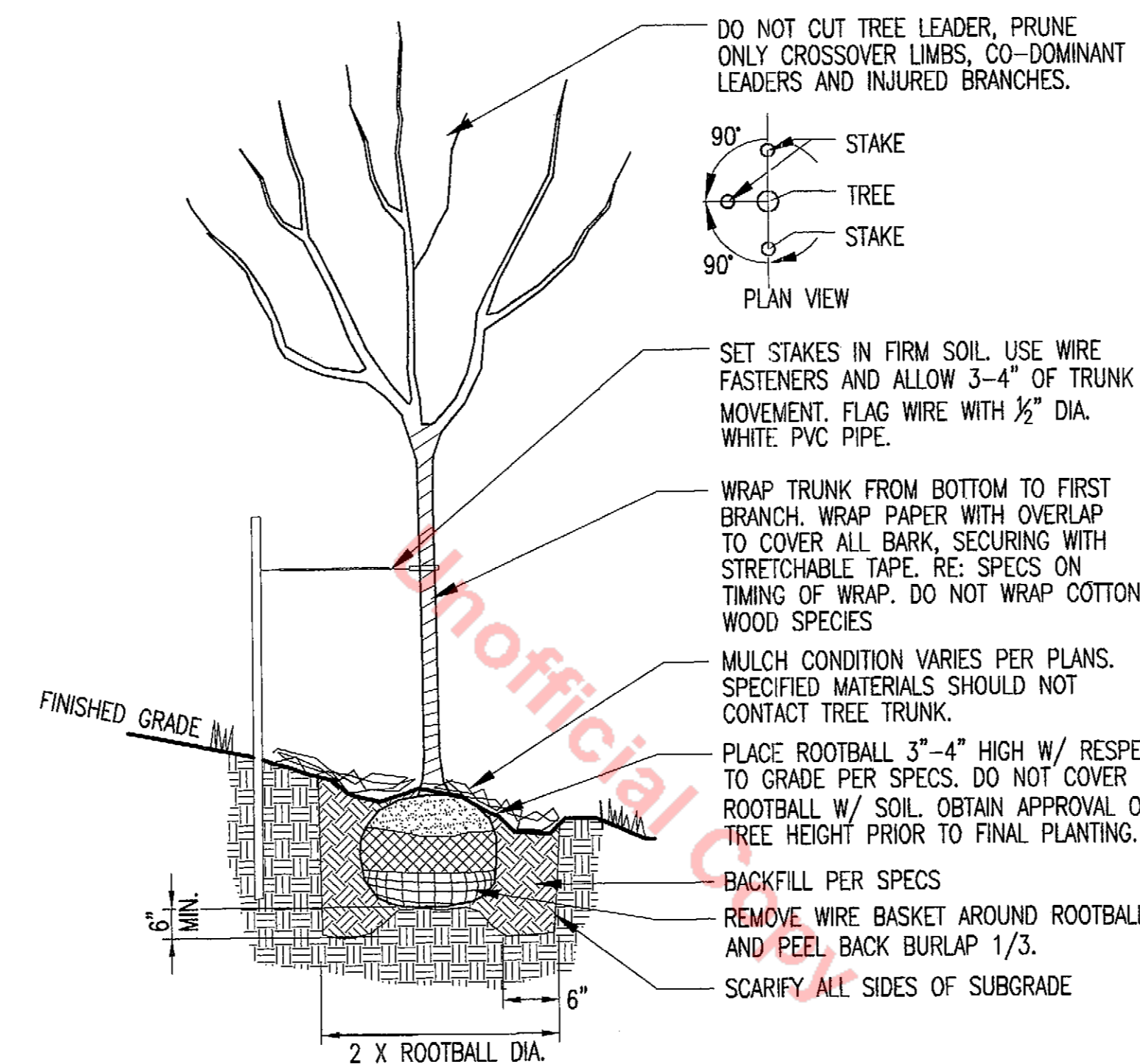
2 SHRUB BED PLANTING NTS



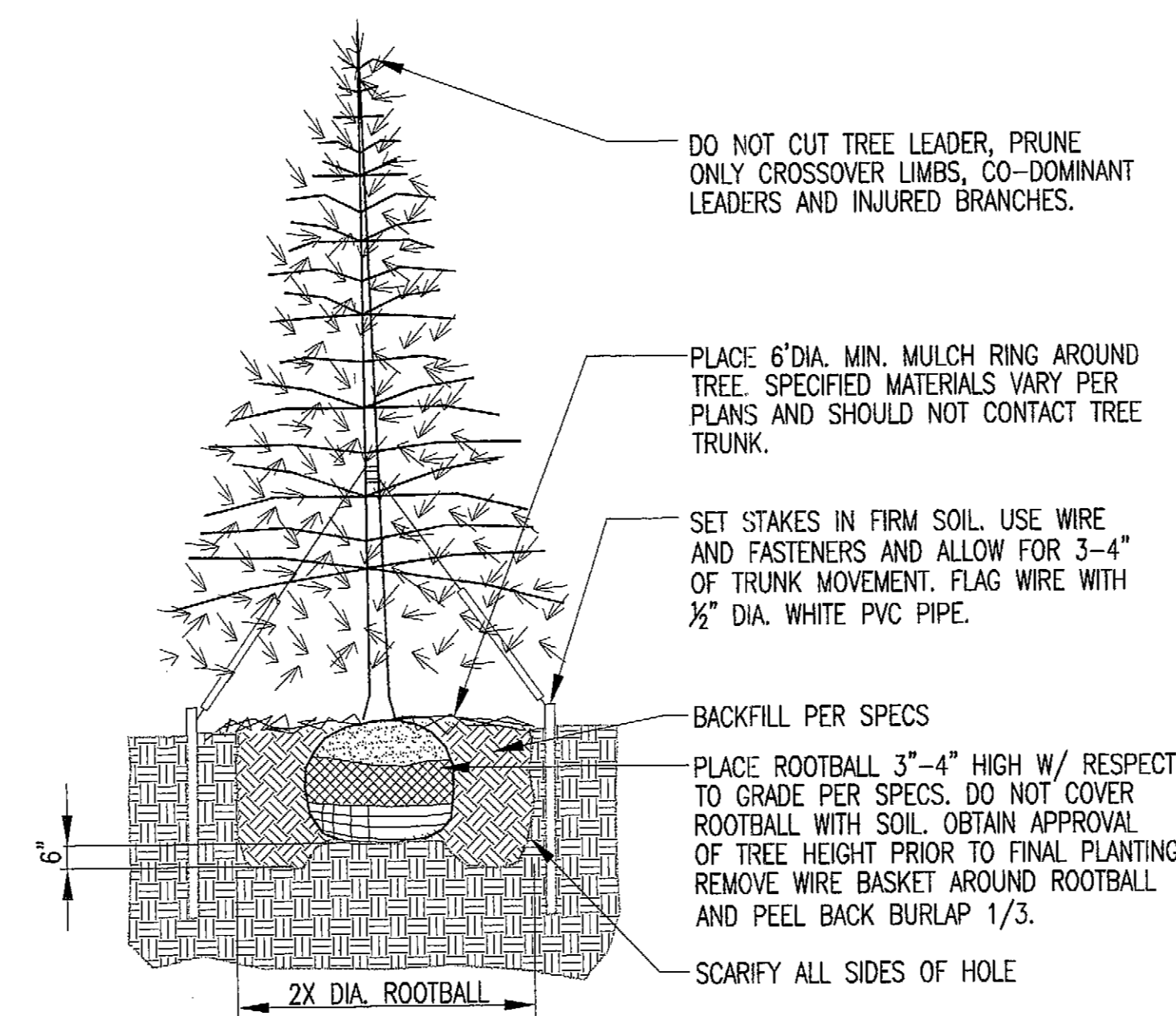
3 SHRUB PLANTING ON SLOPE NTS



4 DECIDUOUS TREE PLANTING NTS



5 TREE PLANTING ON SLOPE NTS



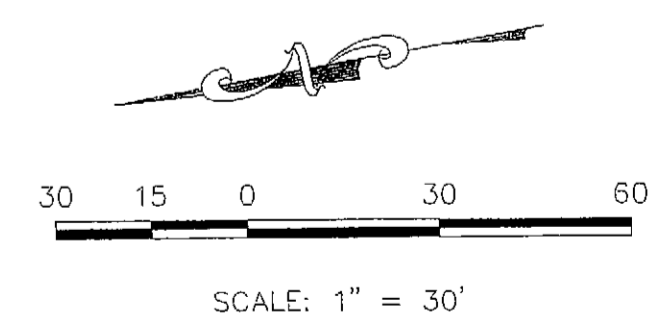
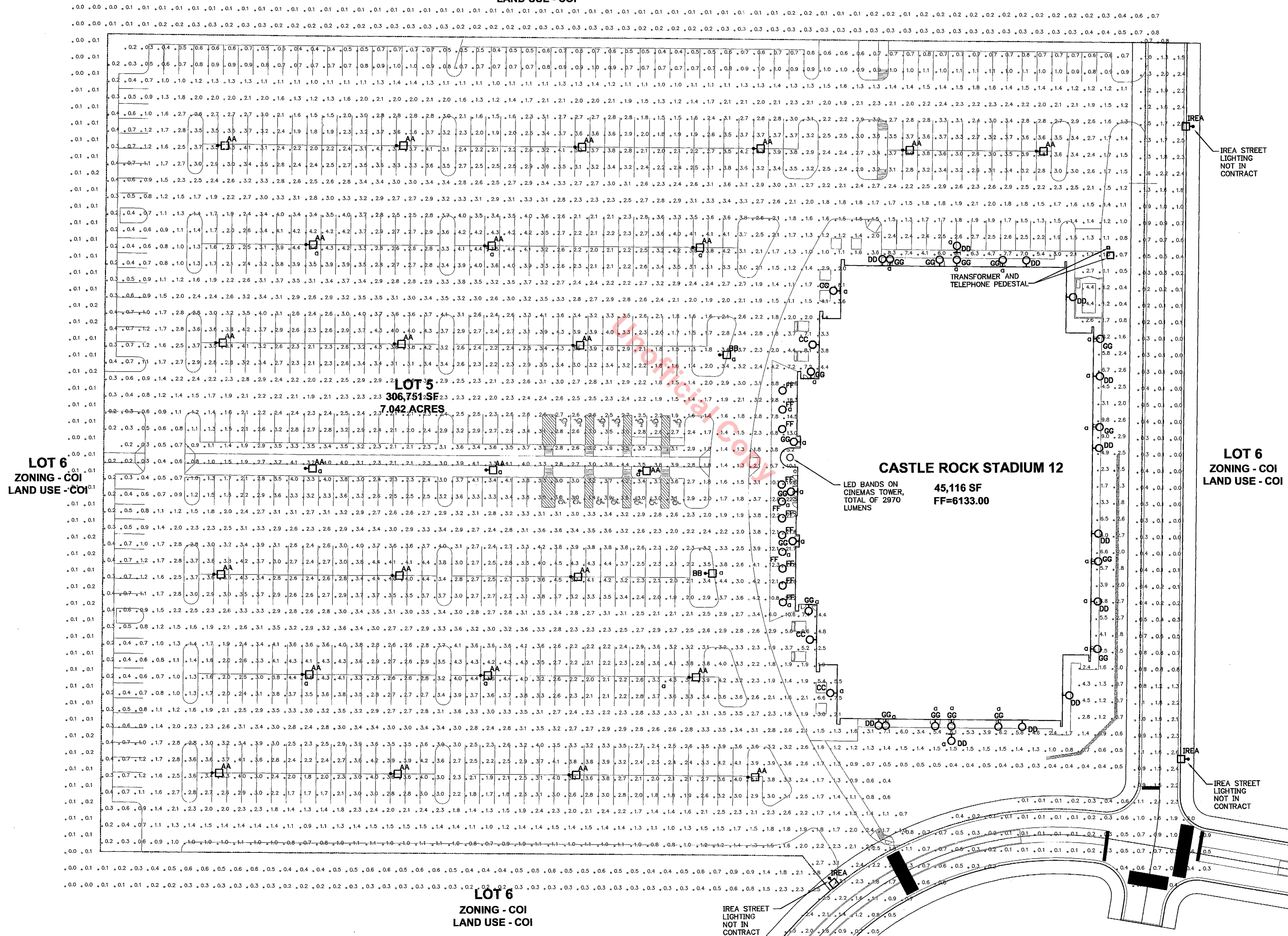
6 CONIFEROUS TREE PLANTING NTS

LOT 5, THE MEADOWS FILING NO. 17, AREA NO. 4 FINAL PD SITE PLAN

COUNTY OF DOUGLAS, STATE OF COLORADO

LOT 6
ZONING - COI
LAND USE - COI
SHEET 10 OF 11

LIGHTING CALCULATIONS					
Area	Avg	Max	Min	Avg/Min	Max/Min
Parking Area	2.56	22.5	0.2	12.90	112.50



SUBMITTAL DATE: FEBRUARY 15, 2005
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PHOTOMETRIC PLAN
SHEET 10 OF 11

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COUNTY OF DOUGLAS, STATE OF COLORADO

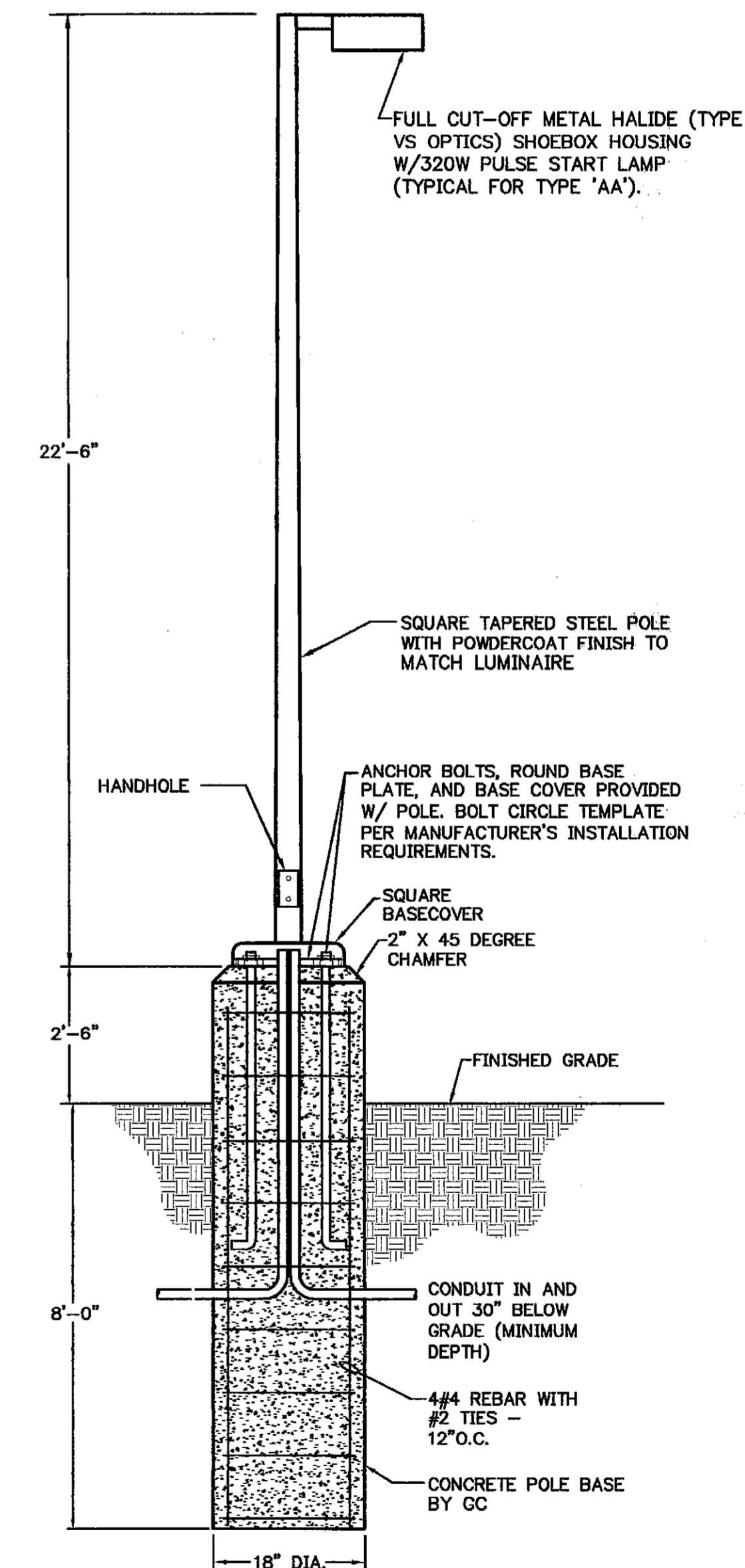
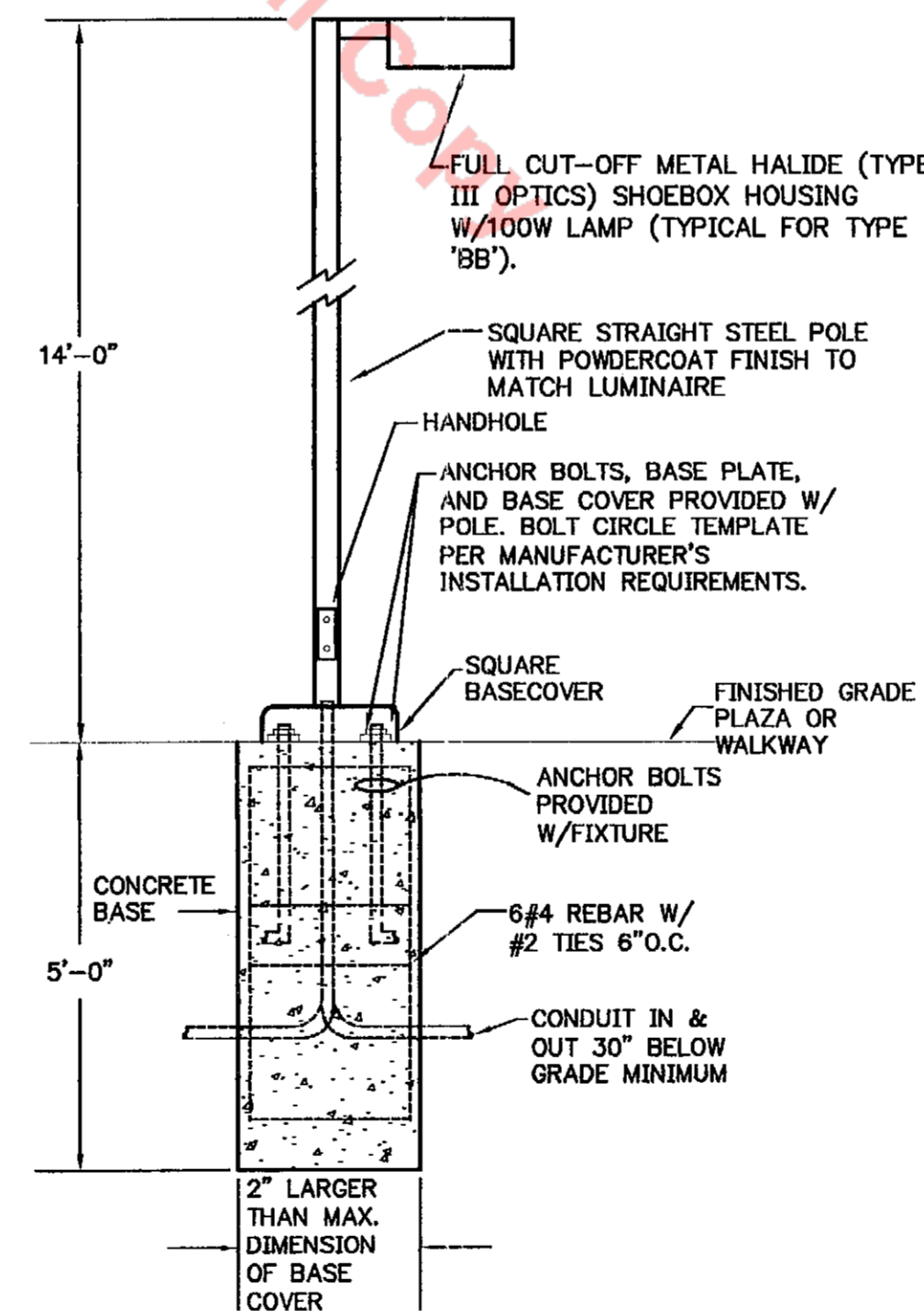
SHEET 11 OF 11

LIGHTING FIXTURE SCHEDULE										
KEY	LAMPS		DESCRIPTION OF LUMINAIRE		MOUNTING DATA			LUMINAIRE SPECIFICATIONS		
	#	CODE	DESCRIPTION	FINISH	METHOD	RECESS DEPTH	CEILING TYPE	MANUFACTURER	CATALOG NUMBER	VOLTS
AA	1	320W PSMH W/ FIXTURE	ARM MOUNT FULL CUT-OFF AREA LIGHT SHOEBOX	TBD	POLE: SEE DETAIL	N/A	N/A	GARDCO	EH191-FCVS-320PSMH-480-XXX POLE: GTS-22.5-11-D1-XXX	480
BB	1	100W PSMH	ARM MOUNTED AREA LIGHT WITH FULL CUT-OFF TYPE III OPTICS	TBD	POLE: SEE DETAIL	N/A	N/A	GARDCO	EH141-3-100MH-480-XXX POLE: SSS-14-4-11-D1-XXX	480
CC	1	100W MH ED17	WALL SCONCE WITH FULL CUT-OFF FORWARD THROW OPTICS	TBD	WALL 16' AFG	N/A	N/A	GARDCO	101-FT-100MH-277	277
DD	1	100W MH ED17	SAME AS TYPE 'CC' WITH WIDE THROW OPTICS	TBD	WALL 16' AFG	N/A	N/A	GARDCO	101-WT-100MH-277	277
FF	1	100W MH ED17	SURFACE MOUNTED METAL HALIDE AREA LIGHT	WHITE	REC. IN CANOPY	N/A	N/A	ECLIPSE	RGL-L-MH-100-277-EB (NO CAGE OPTION)	277
GG	2	26W CF QUAD TUBE	WALL SCONCE WITH FULL CUT-OFF WIDE THROW OPTICS AND EMERGENCY BACKUP	TBD	ABOVE DOORS	N/A	N/A	GARDCO	101EM-WT-226QF-277	277

LIGHTING CONTROLS GENERAL NOTES

1. SITE LIGHTING WILL BE CONTROLLED VIA MULTI-CHANNEL TIME CLOCK AND PHOTOCELL.
2. SITE LIGHTING POLES TYPES 'AA' AND 'BB' WILL BE CIRCUITED TO REDUCE LIGHTING BY MORE THAN THE 50% REQUIRED BY ORDINANCE 17.69.050 B5. FIXTURES LABELED WITH SUBSCRIPT 'o' IDENTIFY AFTER HOURS FIXTURES TO REMAIN ON. FIXTURES NOT LABELED WILL BE TURNED OFF ONE HOUR AFTER CLOSING AND BACK ON ONE HOUR PRIOR TO OPENING. 11 OF THE 27 POLES WILL REMAIN ON AFTER HOURS REDUCING OVERALL LIGHT LEVELS BY 59%. ALL PERIMETER FIXTURES IN MAIN PARKING AREA SHALL BE PROGRAMMED TO TURN OFF PER CITY ORDINANCE.
3. CANOPY AND EXTERIOR BUILDING LIGHTING WILL BE REDUCED. BUILDING FIXTURES LABELED WITH SUBSCRIPT 'o' IDENTIFY AFTER HOURS FIXTURES TO REMAIN ON. FIXTURES NOT LABELED WILL BE TURNED OFF ONE HOUR AFTER CLOSING AND BACK ON ONE HOUR PRIOR TO OPENING. TYPE 'GG' FIXTURES ARE BEING LEFT ON FOR SECURITY AT ENTRANCES. ALL REMAINING BUILDING MOUNTED EXTERIOR FIXTURES ARE BEING REDUCED TO APPROXIMATELY 35% OF INITIAL LIGHTING LEVELS.

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