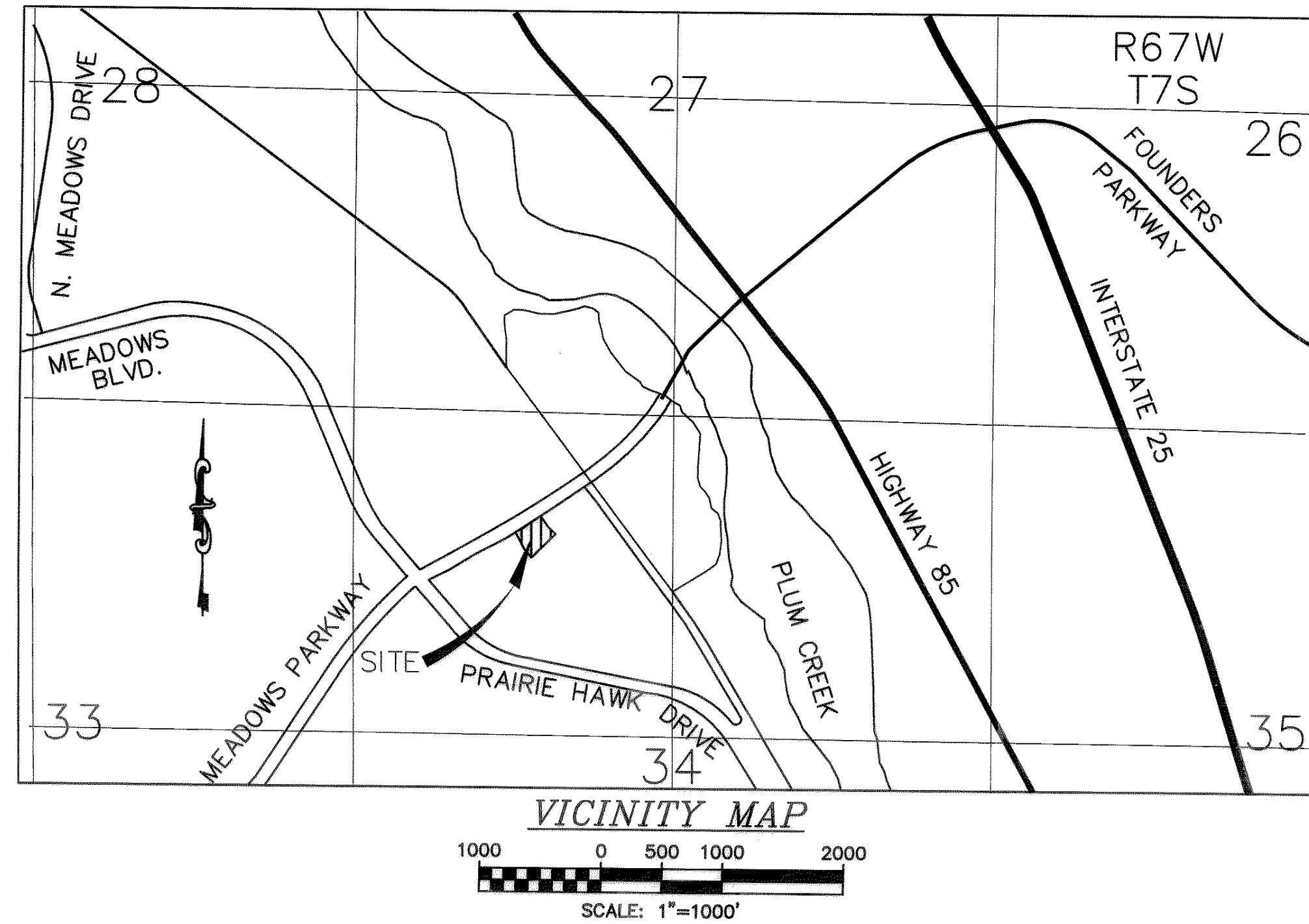


THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1 SITE DEVELOPMENT PLAN

1.295 ACRES

LOCATED IN THE NW 1/4, SECTION 34, T. 7 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

COVER SHEET



SITE DEVELOPMENT PLAN GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
 2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
 3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
 4. THIS SITE DOES NOT LIE WITHIN FLOODPLAIN OR WETLANDS PER FIRM MAP NUMBER 08035C0169G.
 5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
 6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
 7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
 8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
 9. NO TRACTS ARE ANTICIPATED WITH THIS SITE.
 10. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
 11. THIS SITE IS ZONED COI.
 12. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
 13. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
 14. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
 15. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- FIRE NOTES**
1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
 2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
 3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
 4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
 5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
 6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
 7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
 8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

SITE DATA TABLE

ZONING		
ITEM	PD	PROPOSED
GROSS BUILDING TOTAL	80,096 S.F. MAX.	10,733 S.F.
MAXIMUM BUILDING COVERAGE	60%	19%
MAXIMUM F.A.R.	.60	.19
BUILDING HEIGHT	60' MAX.	30'-0"
BUILDING SEPARATION	0'	10'
SETBACKS: (BUILDING & PARKING)		
STREETS	10'	10'
INTERIOR LOT LINES	0'	0'
PARKING:		
2,400 S.F. RESTAURANT (10/1,000 S.F.)	24	20*
8,330 S.F. RETAIL/PROFESSIONAL (5/1,000 S.F.)	42	34*
TOTAL	66	54
HANDICAP PARKING STALLS PROVIDED (INCLUDED IN ABOVE COUNTS)		4

* VARIANCE INCLUDED IN TOTAL
THE SITE PLAN PROPOSES 54 PARKING SPACES ON THE SITE, BASED ON THE TYPES OF USES PROPOSED, AND THAT THE NATURE OF THE USE WILL NOT CHANGE AND THAT THE MIX OF USES CAN BE ACCOMMODATED THROUGH THE JOINT USE OF THE PARKING SPACES WITH THE ADJACENT THEATER DEVELOPMENT.

SITE COVERAGE

ITEM	S.F. COVERAGE	% OF NET AREA
TOTAL SITE (1.295 +/- AC)	56,412	100%
RIGHT-OF-WAY (EXISTING)	0	0%
NET SITE AREA	56,412	100%
BUILDING AREA:		
TOTAL BUILDING AREA	10,733	19%
PARKING AND DRIVES	18,970	34%
PRIVATE SHARED DRIVES	8,469	15%
SIDEWALKS & PLAZAS	6,676	12%
LANDSCAPING	11,564	20%

COMMON SIGN PLAN

RETAIL (LOT FRONTAGE = 250')
1.5 S.F. X FIRST 200' OF LOT FRONTAGE + 0.5 S.F. X ADD'L LOT FRONTAGE
ALLOWABLE SIGNAGE: (200 L.F. X 1.5) = (50 X 0.5) = 325 S.F.
SIGNAGE NOTES:
1. THE MASTER DEVELOPER SHALL ALLOCATE SIGN AREA.
2. SIGNAGE SHALL MEET TOWN OF CASTLE ROCK SIGN CODE REGULATIONS AND THE MEADOWS PD ZONING REGULATIONS - FOURTH AMENDMENT.

BENCHMARK

COAST AND GEODETIC SURVEY NO. J 23 PID KK0199 NAVD 88 ORTHO HEIGHT -1864.977 (METERS) 6118.88 (FEET) ADJUSTED BENCH MARK DISK SET IN TOP OF CONCRETE MONUMENT STAMPING: J 23 1929 DESCRIBED BY COAST AND GEODETIC SURVEY 1982 2 MI N FROM CASTLE ROCK, 2.0 MILES NORTH ALONG THE DENVER AND RIO GRANDE WESTERN RAILROAD FROM THE STATION AT CASTLE ROCK, 0.5 MILE SOUTH OF MILEPOST 30, 5 FEET EAST OF THE CENTER OF A ROAD CROSSING, 46.7 FEET NORTHEAST OF THE NORTHEAST RAIL, 15 FEET SOUTHEAST OF THE CENTER LINE OF A PRIVATE ROAD, 2 FEET SOUTHWEST OF A FENCE, 2 FEET NORTHWEST OF A WITNESS POST, SET IN THE TOP OF A CONCRETE POST WHICH PROJECTS 0.5 FOOT ABOVE THE GROUND.

BASIS OF BEARINGS

THE BEARINGS ARE BASED UPON THE CONSIDERATION THAT THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 34 BEARS NORTH 89°27'31" WEST.

LEGAL DESCRIPTION

LOT 6B-1, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

FLOOD PLAIN STATEMENT

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY UPON WHICH IT IS BASED ARE NOT LOCATED WITHIN THE DESIGNATED FLOOD HAZARD AREA PER FIRM MAP FOR DOUGLAS COUNTY, PANEL NUMBER 08035C1069G, DATED JULY 11, 2014 AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS (FOURTH AMENDMENT) DEVELOPMENT AGREEMENT, RECORDED ON THE 10TH DAY OF JULY, 2003 AT RECEPTION NO. 2003102968, AND ACCORDINGLY 4.33 FEET ARE DEBITED FROM THE WATER BANK.

PROJECT TEAM

OWNER:
STEPHANIE L. MCCANDLESS
DIRECTOR OF CORPORATE OPERATIONS
CASTLE ROCK DEVELOPMENT COMPANY
3033 E. 1ST AVENUE, SUITE 410
DENVER, CO 80206
303-394-6521 DIRECT
smccandless@crdvc.com

ARCHITECT/PLANNER:
DON CASPER
DONALD E. CASPER - ARCHITECT, P.C.
P.O. BOX 630563
LITTLETON, CO 80163
303-791-4270 DIRECT
don@casper-co.com

DEVELOPER:
JARRETT ARMSTRONG
ARMSTRONG CAPITAL DEVELOPMENT
15530 E. BRONCOS PARKWAY, SUITE 300
CENTENNIAL, CO 80112
303-799-4030
jarmstrong@acd-co.com

CIVIL ENGINEER:
BRIAN KROMBEIN
VERMILLION PEAK ENGINEERING
1745 SHEA CENTER DRIVE, 4TH FLOOR
HIGHLANDS RANCH, CO 80129
720-402-6070
brian@vermillionpeak.com

LANDSCAPE ARCHITECT:
TOM JUMP
JUMP DESIGN COMPANY
1733 S. CLARKSON STREET
DENVER, CO 80210
303-282-0463
tomj@jumpdesignco.com

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

[Signature]
CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION
SIGNED THIS 24th DAY OF September, 2015
NOTARY BLOCK
NOTARY BLOCK AND SWORN TO BEFORE ME THIS 24th DAY OF September, 2015 BY *[Signature]* AS President
OF CASTLE ROCK DEVELOPMENT COMPANY.
WITNESS MY HAND AND OFFICIAL SEAL.
[Signature]
NOTARY-PUBLIC
MY COMMISSION EXPIRES: 4-01-2019

TITLE CERTIFICATION

[Signature], AN AUTHORIZED REPRESENTATIVE OF *[Signature]*, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
AUTHORIZED REPRESENTATIVE
[Signature]
TITLE COMPANY
SIGNED THIS 24th DAY OF September, 2015
NOTARY BLOCK
NOTARY BLOCK AND SWORN TO BEFORE ME THIS 24th DAY OF September, 2015 BY *[Signature]* AS AUTHORIZED REPRESENTATIVE OF *[Signature]*.
WITNESS MY HAND AND OFFICIAL SEAL.
[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES: 12-17-18

SURVEYOR'S CERTIFICATE

[Signature], A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.
[Signature] 9/23/15
REGISTERED LAND SURVEYOR DATE
CIVIL ENGINEER'S STATEMENT
[Signature] BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
[Signature] 9/23/15
REGISTERED PROFESSIONAL ENGINEER DATE

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 28th DAY OF September, 2015.
[Signature]
DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:57 AM ON THE 30th DAY OF September, 2015 AT RECEPTION NO. 2015071003
DOUGLAS COUNTY CLERK AND RECORDER
BY: *[Signature]*
DEPUTY

SHEET INDEX

1. COVER SHEET
2. SITE PLAN
3. GRADING PLAN
4. UTILITY PLAN
5. LANDSCAPE PLAN
6. LANDSCAPE CHARTS
7. BUILDING ELEVATIONS
8. LIGHTING PLAN

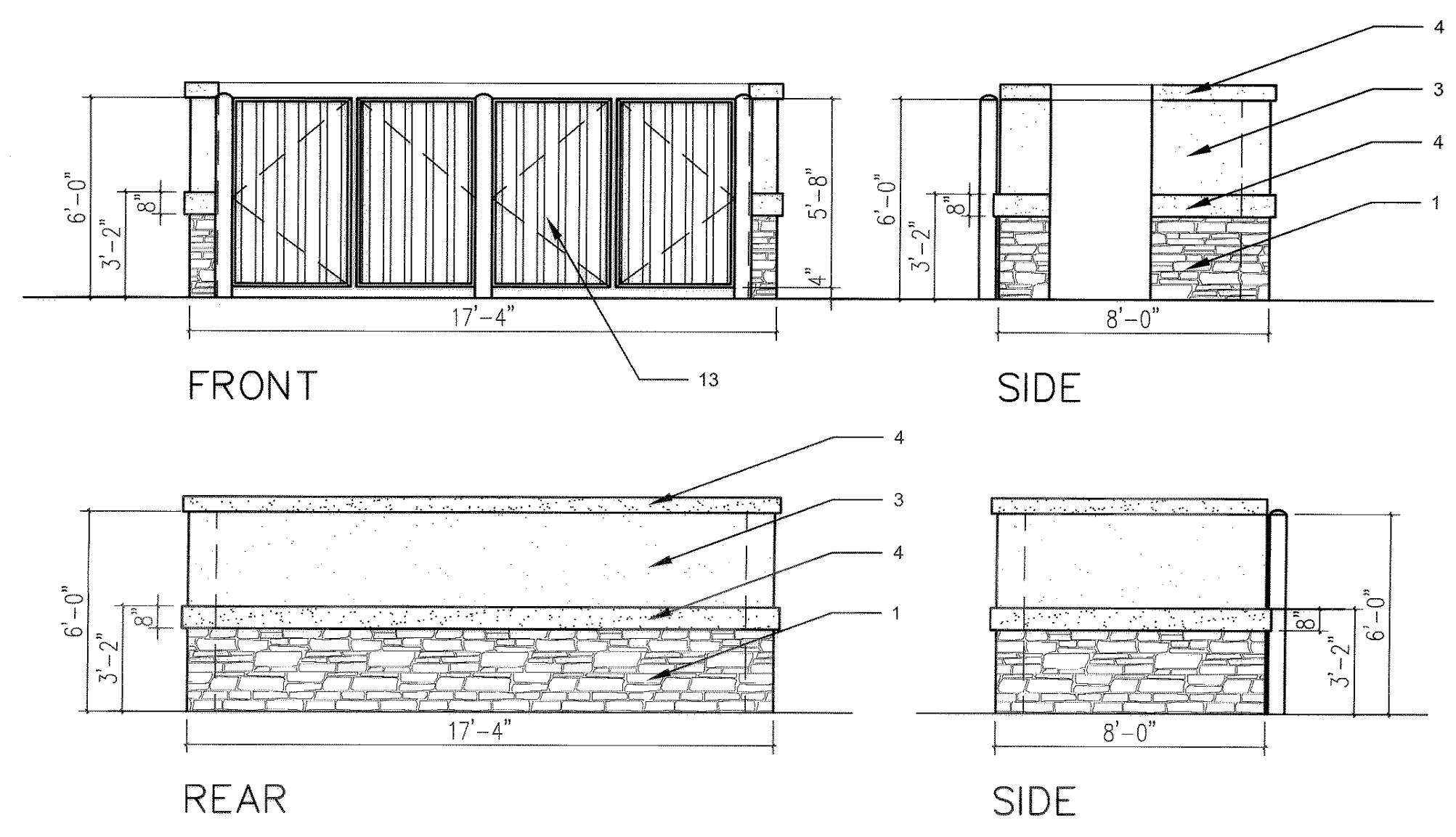
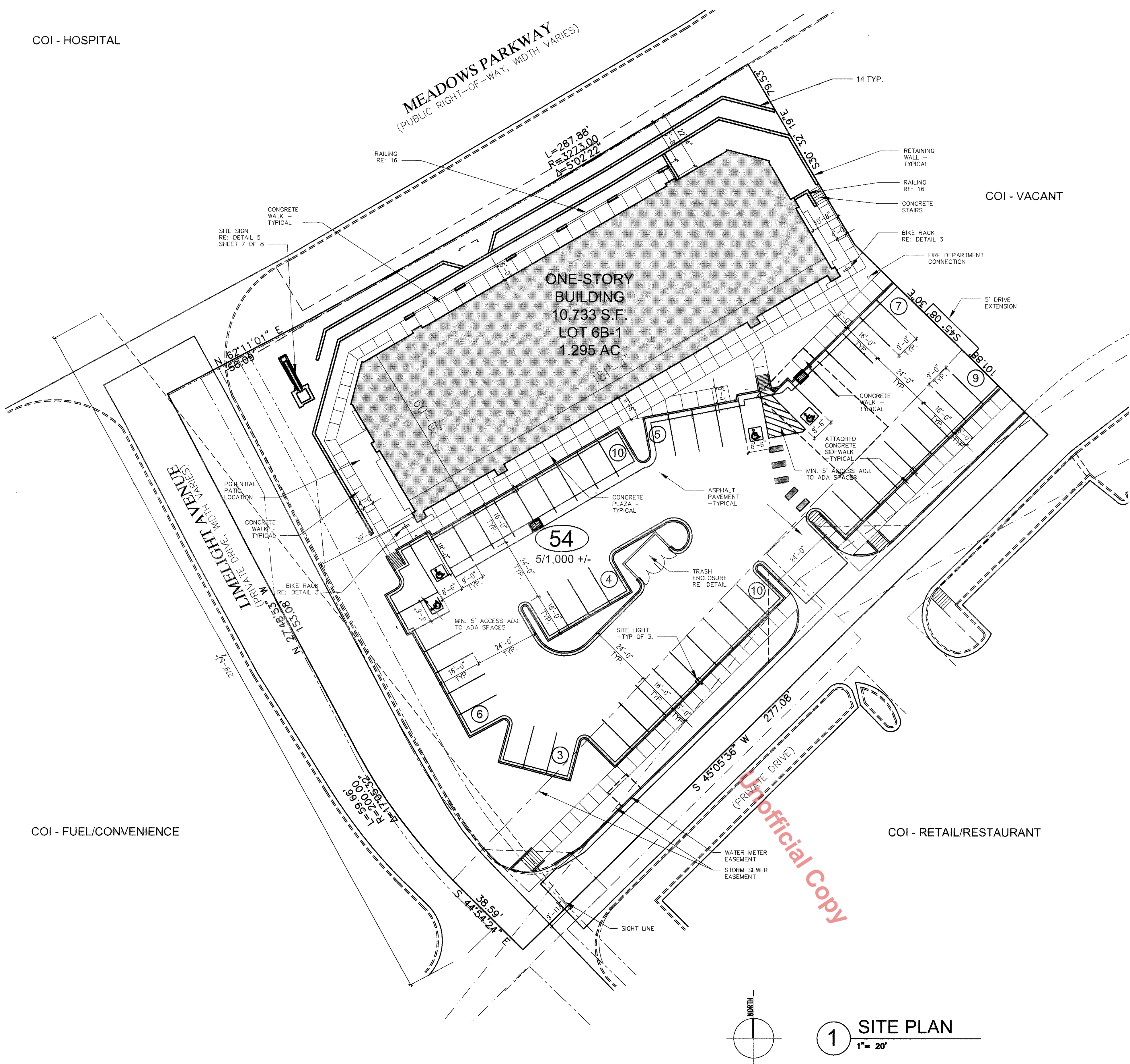
COVER SHEET
THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP15-0016
DATE: AUGUST 20, 2015
SHEET 1 OF 8

THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1

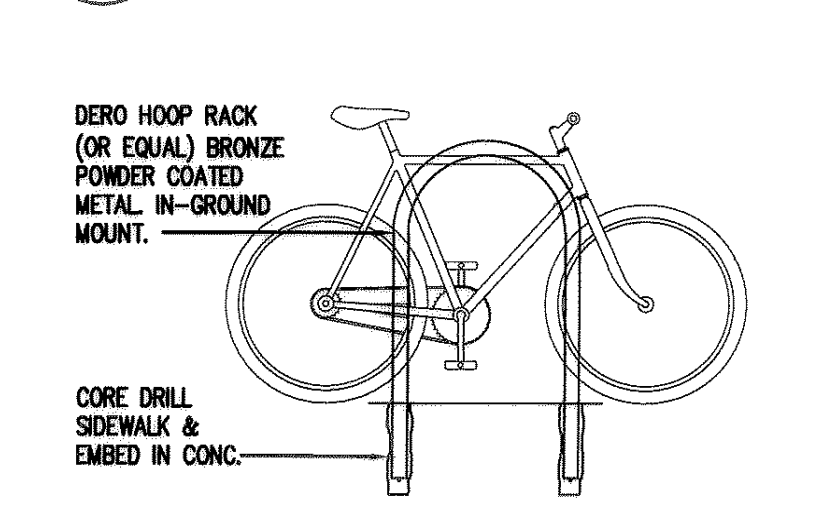
SITE DEVELOPMENT PLAN

1.295 ACRES

LOCATED IN THE NW 1/4, SECTION 34, T. 7 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



2 TRASH ENCLOSURE ELEVATIONS



NOTE: BIKE SHOWN FOR REPRESENTATION ONLY.

3 BIKE RACK DETAIL

- MATERIAL LEGEND**
- STONE VENEER: BORAL STONE ANCIENT VILLA LEDGESTONE - SIENA
 - BRICK VENEER: SUMMIT BRICK, INCA
 - PLASTER (BODY): DRYVIT - AMARILLO WHITE
 - PLASTER (ACCENT): DRYVIT - SPECTRUM BROWN
 - PLASTER (CORNICHE): DRYVIT - ALABASTER
 - PLASTER (PARAPET CAP): DRYVIT - SWISS MOCHA
 - STOREFRONT - DARK BRONZE FRAME AND DOORS WITH CLEAR GLAZING AND BROWN SPANDREL GLASS LOWER PANELS.
 - AWNINGS - SUNBRELLA - JOCKEY RED
 - METAL CANOPY - PAINTED DARK BRONZE
 - DECORATIVE LIGHTS - DARK BRONZE
 - WALL LIGHTS - DARK BRONZE DOWNCAST FIXTURES
 - METAL DOOR - PAINT TO MATCH ADJACENT FINISH (LOCATION SUBJECT TO CHANGE TO MEET TENANT EXIT REQUIREMENTS)
 - METAL GATES & SUPPORTS - PAINT TO MATCH PLASTER COLOR
 - RETAINING WALLS - BASALITE ASHLAR AB EUROPA, GREY BLEND
 - AREA OF PROPOSED WALL SIGNAGE - SEE NOTE BELOW
 - 42" HIGH METAL RAILING WITH 1 1/2" FRAME AND 4"X4" MESH PANEL - PAINT DARK BRONZE.

NOTES:
SIGNAGE SHALL MEET TOWN OF CASTLE ROCK SIGN CODE REGULATIONS AND THE MEADOWS PD ZONING REGULATIONS - FOURTH AMENDMENT. ALL SIGNAGE ELEMENTS ARE CONCEPTUAL - THEY WILL BE DETAILED AND DOCUMENTED IN THE CONSTRUCTION DOCUMENT PACKAGE AND IN THE SIGN PERMIT APPLICATION.

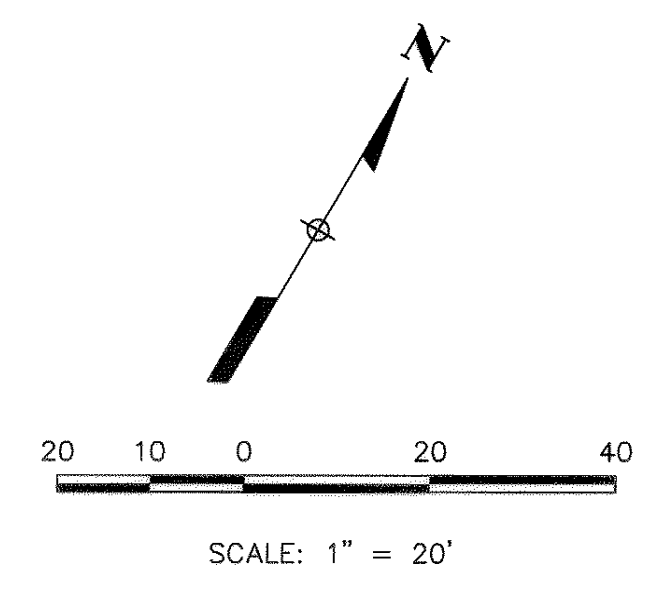
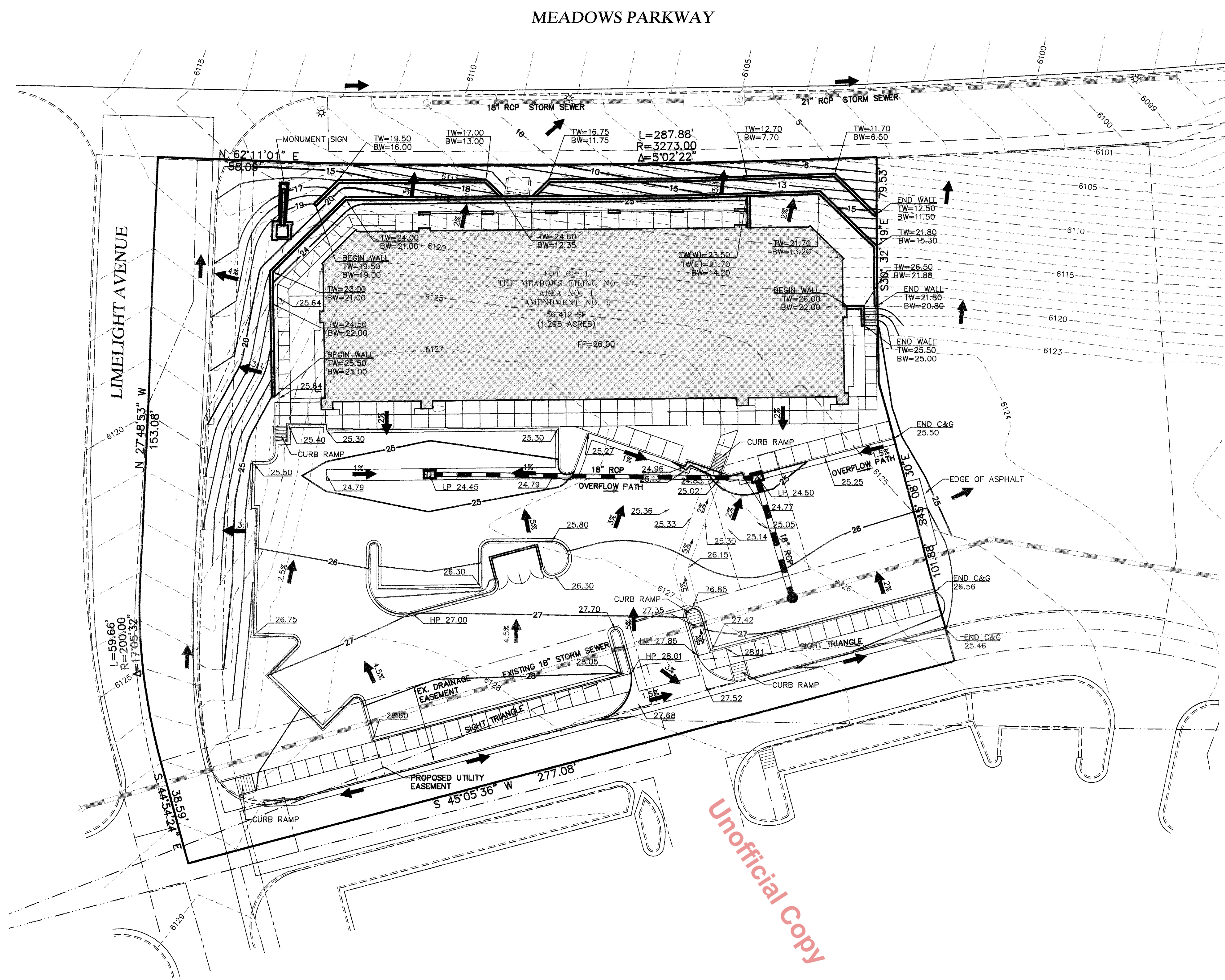
1 SITE PLAN

SITE PLAN
THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP15-0016
DATE: AUGUST 20, 2015
SHEET 2 OF 8

THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1

SITE DEVELOPMENT PLAN

1.295 ACRES
 LOCATED IN THE NW 1/4, SECTION 34, T. 7 S., R. 67 W., 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 GRADING PLAN



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	DRAINAGE FLOW DIRECTION
	EXISTING CURB & GUTTER
	1' SPILL CURB
	2' CATCH CURB
	CONCRETE PAVEMENT

ENGINEER'S STATEMENT
 PREPARED UNDER MY SUPERVISION

 BRIAN KROMBEIN, PE, PLS DATE _____
 COLORADO PE NO. 34294
 FOR AND ON BEHALF OF
 VERMILION PEAK ENGINEERING LLC

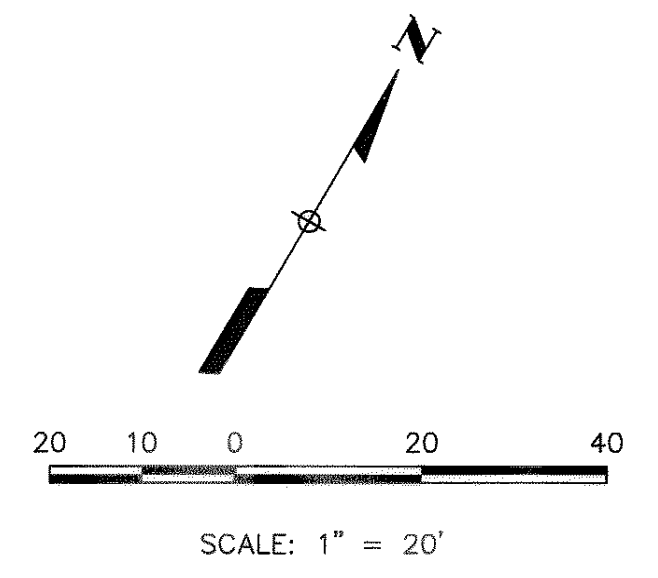
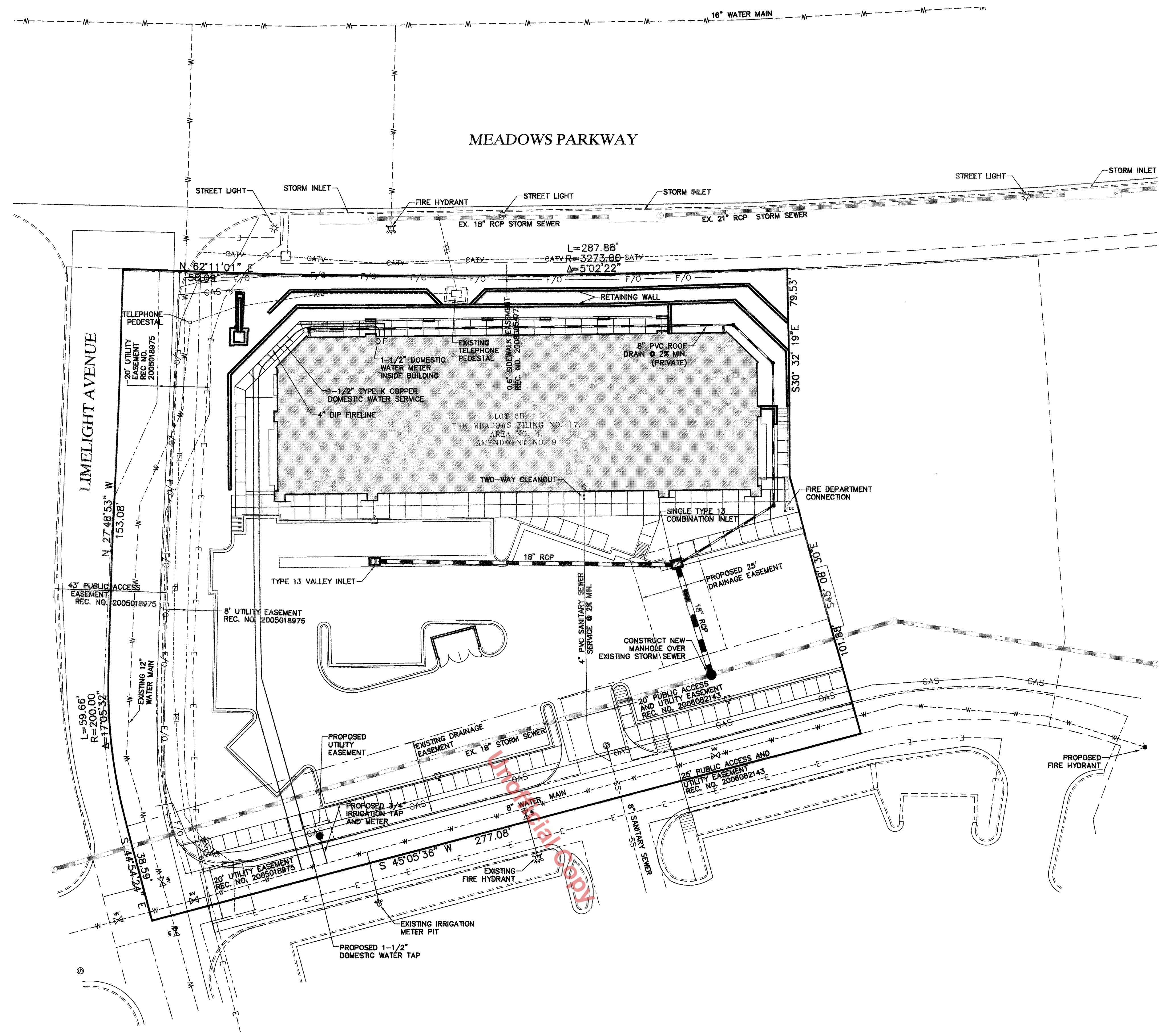
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GRADING PLAN
 THE MEADOWS FILING NO. 17, AREA NO.
 4, AMENDMENT NO. 9, LOT 6B-1
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP15-0016
 DATE: AUGUST 20, 2015
 SHEET 3 OF 8

THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1

SITE DEVELOPMENT PLAN

1.295 ACRES
 LOCATED IN THE NW 1/4, SECTION 34, T. 7 S., R. 67 W., 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 UTILITY PLAN



LEGEND

	PROPERTY LINE
	EXISTING CURB & GUTTER
	1' SPILL CURB
	2' CATCH CURB
	LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING SANITARY SEWER
	EXISTING WATERLINE
	EXISTING GAS PIPE
	EXISTING OVERHEAD UTILITY
	EXISTING STORM SEWER
	EXISTING FIBER OPTIC LINE
	EXISTING TELEPHONE LINE
	EXISTING CABLE TV LINE
	PROPOSED LIGHT POLE
	PROPOSED CURB & GUTTER
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED FIRELINE
	PROPOSED SANITARY SERVICE
	PROPOSED STORM SEWER
	PROPOSED SIDEWALK

- UTILITY NOTES**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.

ENGINEER'S STATEMENT
 PREPARED UNDER MY SUPERVISION
 BRIAN KROMBEIN, PE, PLS DATE
 COLORADO PE NO. 34294
 FOR AND ON BEHALF OF
 VERMILION PEAK ENGINEERING LLC

UTILITY PLAN
 THE MEADOWS FILING NO. 17, AREA NO.
 4, AMENDMENT NO. 9, LOT 6B-1
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP15-0016
 DATE: AUGUST 20, 2015
 SHEET 4 OF 8

THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1

SITE DEVELOPMENT PLAN

1.295 ACRES

LOCATED IN THE NW 1/4, SECTION 34, T. 7 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE PLAN

NOTES

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES.
2. CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED LINES AND STRUCTURES PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.

3. REFER TO THE CONSTRUCTION PLAN SET FOR RELATED PLAN INFORMATION INCLUDING ARCHITECTURAL, ENGINEERING, ELECTRICAL AND IRRIGATION DRAWINGS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.

3. FIELD-VERIFY THE LOCATION OF ALL PERTINENT EXISTING & ALREADY CONSTRUCTED SITE IMPROVEMENTS PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS.

4. REFER TO GRADING AND DRAINAGE DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADES AND ELEVATIONS.

5. COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.

FINE GRADING / PREPARATION NOTES

6. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING VEGETATION AND LANDSCAPING. COORDINATE WITH GENERAL CONTRACTOR. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.

7. ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. DO NOT PLANT IN SWALE BOTTOMS OR OTHER LOCATIONS OF CONCENTRATED DRAINAGE SO AS TO BLOCK FLOWS.

8. FINE GRADE ALL LANDSCAPE AREAS TO +/- .10'. AREAS SHALL BE SETTLED AND RAKED SMOOTH. DEBRIS, ROCK, CLODS, ETC. THAT WILL NOT PASS THROUGH TYMES OF A HAND RAKE SHALL BE REMOVED FROM THE SURFACE. LANDSCAPE AREAS SHALL BE FIRM WITHOUT DEPRESSIONS PRIOR TO PLANTING. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.

9. SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. PH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOMCOMP-CLASS 1 BY A1 ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.

10. FOR SOD AREAS THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 8". IN BED AREAS, THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL & AMENDMENT TILLED TO A MIN. DEPTH OF 12".

11. IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW ROOM FOR SPECIFIED MULCH DEPTH.

EDGER

12. ALL PLANTING BEDS ARE TO BE CONTAINED BY 3/16" X 4" INTERLOCKING STEEL EDGER PAINTED GREEN OR BLACK. EDGER TO HAVE A ROLLED STEEL TOP FOR SAFETY. INSTALL PER MFR'S. RECOMMENDATIONS. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS. HOLD SUBGRADE FOR SOD 1" BELOW TOP OF EDGER. SHOULD EDGER CROSS SWALES OR OTHER LOCATIONS OF CONCENTRATED FLOW, USE PERFORATED EDGER OR DRILL HOLES TO ALLOW WATER TO PASS- 3 HOLES PER LINEAR FOOT.

PLANTING NOTES

13. LAYOUT PLANT BED EDGER LINE AND STAKE INDIVIDUAL PLANT LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

14. PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2004). ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.

15. PLANT SPECIES AND LOCATION SHOULD FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE TOWN OF CASTLE ROCK AND THE OWNER'S REPRESENTATIVE.

16. ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS.

17. PLANT QUANTITIES SHOWN SYMBOLICALLY ON THE PLAN SHALL TAKE PRECEDENT AND BE INSTALLED OVER THOSE TOTALS IN THE PLANT LIST.

18. PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.

19. TREE LOCATION SHALL BE NO CLOSER THAN 3.5' FROM ALL CURBS & WALKWAYS EXCEPT FOR PARKING ISLANDS.

MULCH

20. ALL PLANTING BEDS SHALL BE MULCHED WITH 3-4" DEPTH CRUSHED GRANITE 3/4 TO 1" DIAMETER OVER LANDSCAPE FILTER FABRIC. GROUND COVER, PERENNIALS AND ORNAMENTAL GRASSES SHALL RECEIVE NATURAL CEDAR FIBER MULCH AT 4" DEPTH BUT SHALL NOT RECEIVE FABRIC. MULCH SAMPLES SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT.

21. ALL TREES IN SEEDED OR SODDED AREAS WILL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT 3-4" DEPTH AND AT LEAST 2' IN DIAMETER. SOD SHALL BE KEPT A MIN. 1' FROM TREE TRUNKS.

22. BEDS NEAR BUILDING SHALL RECEIVE NATURAL CEDAR FIBER MULCH AT 4" DEPTH ON WEED BARRIER FABRIC. SEE PLAN/LEGEND.

SOD

23. SOD SHALL BE "CANADIAN BLUE FESCUE MIX" FROM TURF MASTER, 3327 GIDDINGS ROAD; FORT COLLINS, CO 80524 (970-493-8311).

24. APPLY STARTER FERTILIZER WITH A CHEMICAL ANALYSIS OF 18-46-0 AT A RATE OF 5 LBS. PER 1000 SF AND AFTER FINE GRADING AND BEFORE SOD INSTALLATION.

25. CONTRACTOR SHALL PERFORM TWO MOWINGS OF SOD WITHIN 2-3 WEEK PERIOD AFTER SOD INSTALLATION. AFTER FIRST MOWING, APPLY COMMERCIAL FERTILIZER WITH 1 LB. NITROGEN AND 1 LB. PHOSPHOROUS PER 1000 SF. SUBMIT FERTILIZER SPEC TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.

MISCELLANEOUS

26. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.

27. MAINTENANCE SHALL MEET TOWN OF CASTLE ROCK REQUIREMENTS.

28. NO SLOPES GREATER THAN 3:1 ARE PERMITTED.

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES

1. SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGES SHALL MEET OR EXCEED COVERAGES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.

2. QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.

3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.

4. DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.

5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.

6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).

7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.

8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

Registered Professional **Thomas R. Jump** Registration # 12035
Company Name **Jump Design Company** Address **1733 S. Clarkson St. Denver, CO 80210-3227**
Phone **303-282-0463** Email **tom@jumppdesignco.com** Date **June 23, 2015**



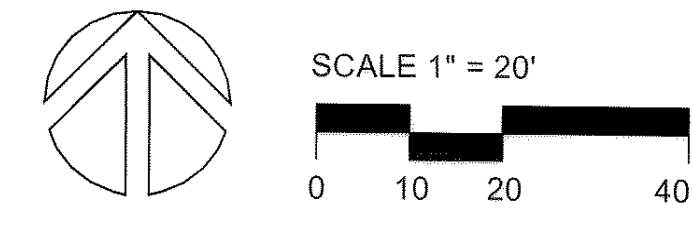
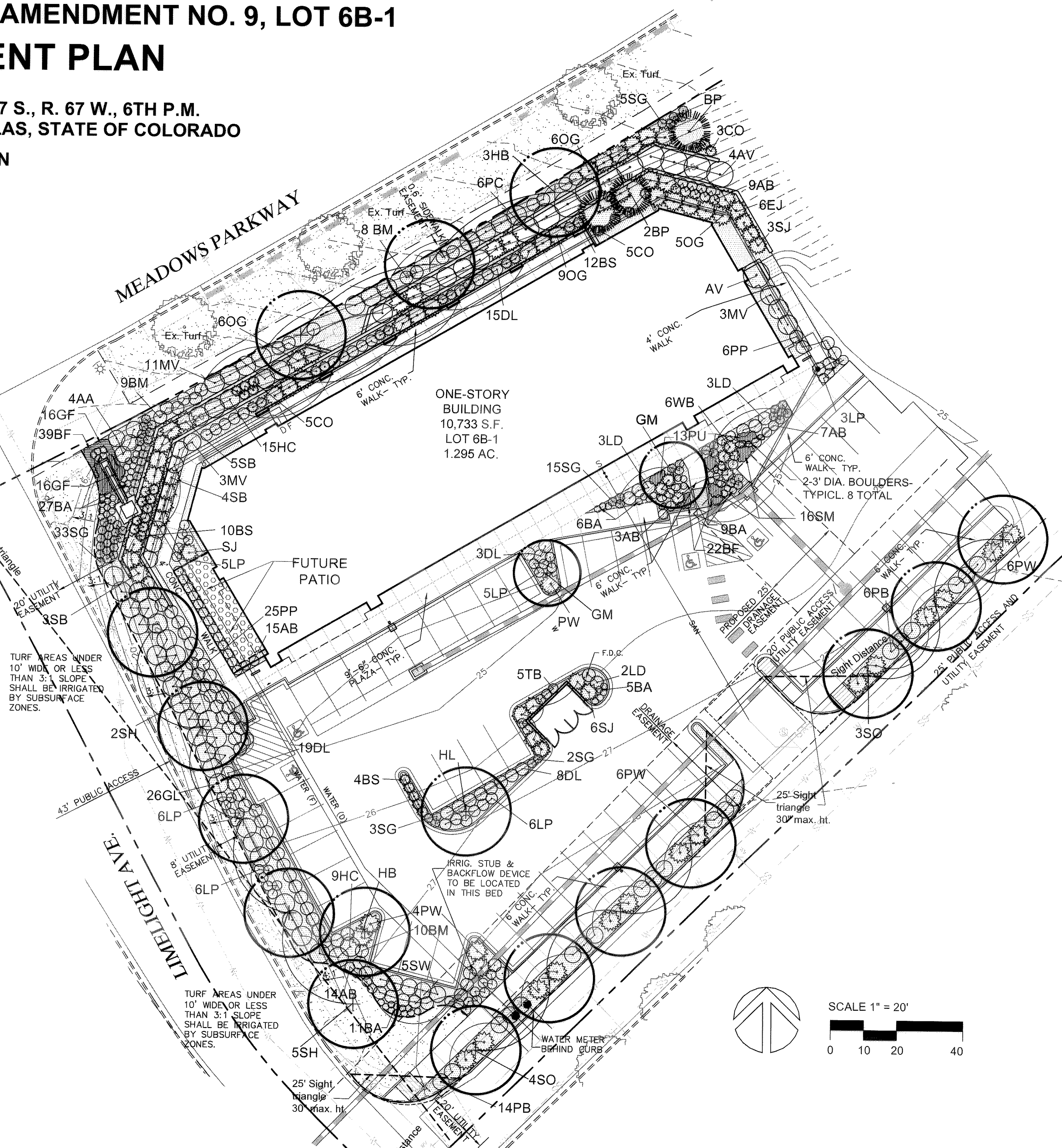
Plant Schedule

Irrigation (Drip or spray)	Plant Name (Scientific)	Plant Name (Common)	Planting Size	Legend Abbrev.	Mature Size (HxW)	No. of Plants	Application Rate (inches per month)	Water Use (Very Low, Low, Moderate, High)	Sq. Ft. of Zone (Turf only)	% of Total Area	Sq. Ft. of Total Landscaped Area
DECIDUOUS TREES											
Drip	<i>Celtis occidentalis</i>	Hackberry	2" cal.	HB	50'X30'	4		L to LM			
Drip	<i>G. triacanthos inermis 'Shademaster'</i>	Shademaster Honeylocust	2" cal.	SH	50'X30'	6		L to LM			
Both	<i>Quercus bicolor</i>	Swamp White Oak	2" cal.	SO	50'X45'	7		L to LM			
EVERGREEN TREES											
Drip	<i>Picea leucodermis 'Emerald Arrow'</i>	Emerald Arrow Bosnian Pine	6' Ht.	BP	25'X12'	3		L			
ORNAMENTAL TREES											
Drip	<i>Acer ginnala 'Flame'</i>	Flame Ginnala Maple	2" cal.	GM	20'X15'	2		L			
DECIDUOUS SHRUBS											
Drip	<i>Rhus trilobata 'Autumn Amber'</i>	Autumn Amber Sumac	5 gal.	AA	12'x5'	4		VL to L			
Drip	<i>Potentilla fruticosa 'Abbotswood'</i>	Abbotswood Potentilla	5 gal.	AB	10'x8'	48		VL to L			
Drip	<i>V. rhytidiphyloides 'Alleghany'</i>	Alleghany Viburnum	5 gal.	AV	10'x8'	4		L to LM			
Drip	<i>Caryopteris clandensis 'Blue Mist'</i>	Blue Mist Spirea	5 gal.	BM	4'x4'	17		L to LM			
Drip	<i>Syringa patula 'Miss Kim'</i>	Miss Kim Dwarf Lilac	5 gal.	DL	4'x4'	52		L to LM			
Drip	<i>Rhus aromatica 'Gro-low'</i>	Gro-low Sumac	5 gal.	GL	3'x6'	26		L to LM			
Drip	<i>Symphoricarpos x chenaultii 'Hancock'</i>	Hancock Coralberry	5 gal.	HC	2'x8'	24		L to LM			
Drip	<i>Physocarpus opulifolius 'Little Devil'</i>	Little Devil Ninebark	5 gal.	LD	3'x6'	14		L to LM			
Drip	<i>Viburnum lantana 'Mohican'</i>	Mohican Viburnum	5 gal.	MV	6'x6'	14		L to LM			
Drip	<i>Spiraea japonica 'Little Princess'</i>	Little Princess Spirea	5 gal.	LP	2'x3'	31		L to LM			
Drip	<i>Prunus besseyi 'Pawnee Buttes'</i>	Pawnee Buttes Sandcherry	5 gal.	PB	2'x5'	20		L to LM			
Drip	<i>Cotoneaster lucida</i>	Peking Cotoneaster	5 gal.	PC	8'x8'	6		L to LM			
Drip	<i>Caragana pygmaea</i>	Pygmy Peashrub	5 gal.	PP	4'x4'	31		VL to L			
Drip	<i>Physocarpus opulifolius 'Summer Wine'</i>	Summer Wine Ninebark	5 gal.	SW	5'x5'	5		L to LM			
Drip	<i>Rhamnus frangula 'Columnnaris'</i>	Tailhedge Buckthorn	5 gal.	TB	3'x10'	5		L to LM			
EVERGREEN SHRUBS											
Drip	<i>Juniperus squamata 'Blue Star'</i>	Blue Star Juniper	5 gal.	BS	3'x4'	26		L			
Drip	<i>Mahonia aquifolium 'Compacta'</i>	Compact Oregon Grape Holly	5 gal.	CO	3'x3'	13		VL to L			
Drip	<i>Juniperus communis depressa 'Effusa'</i>	Effusa Juniper	5 gal.	EJ	2'x6'	6		VL to L			
Drip	<i>Mahonia aquifolium</i>	Oregon Grape Holly	5 gal.	OG	6'x6'	26		VL to L			
Drip	<i>J. horizontalis 'Prince of Wales'</i>	Prince of Wales Juniper	5 gal.	PW	1'x6'	17		VL to L			
Drip	<i>Cystis purgans 'Spanish Gold'</i>	Spanish Gold Broom	5 gal.	SB	4'x5'	12		VL to L			
Drip	<i>Juniperus chinensis 'Spartan'</i>	Spartan Juniper	7 gal.	SJ	15'x5'	10		L			
Drip	<i>Pinus mugo 'White Bud'</i>	White Bud Mugo Pine	7 gal.	WB	3'x4'	6		L			
ORNAMENTAL GRASSES											
Drip	<i>Helictotrichon sempervirens</i>	Blue Avena Grass	1 gal.	BA	4'x3'	58		L to LM			
Drip	<i>Panicum virgatum</i>	Switch Grass	5 gal.	SG	5'x2'	58		L			
PERENNIALS											
Drip	<i>Gaillardia x grandiflora 'Goblin'</i>	Goblin Blanketflower	1 gal.	BF	1'X1'	61		L			
Drip	<i>Liatris spicata 'Floristan Violet'</i>	Purple Gayfeather	1 gal.	GF	3'x2'	16		L			
Drip	<i>Echinacea purpurea</i>	Purple Coneflower	1 gal.	PU	3'x2'	13		L to LM			
Drip	<i>Artemisia schmidtiana</i>	Silver Mound Sage	1 gal.	SM	1'x1.5'	16		VL to L			
TURF GRASS											
Spray		Turfmaster Canada Blue Fescue						Low	2,443	18.9%	12,910

LEGEND

	DECIDUOUS TREE		IRRIGATED TURF
	ORNAMENTAL TREE		3/4" CRUSHED GRANITE MULCH
	EVERGREEN TREE		SHREDDED RED CEDAR MULCH
	DECIDUOUS SHRUB		PEA GRAVEL
	EVERGREEN SHRUB		EXISTING DECIDUOUS TREE
	ORNAMENTAL GRASS		EDGER
	PERENNIALS		

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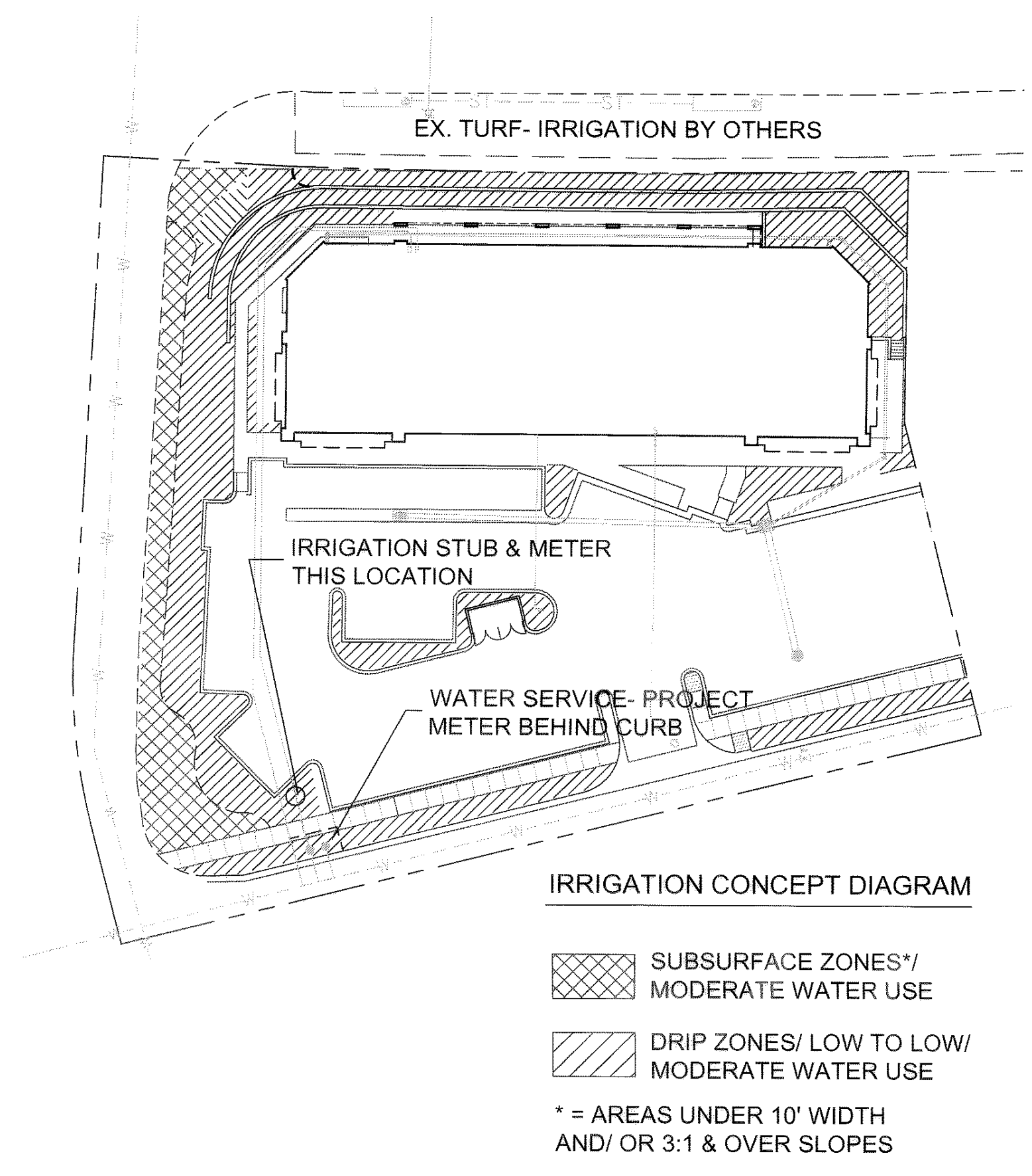
LANDSCAPE ARCHITECT

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Thomas R. Jump
Castle Rock Reg. #12035
State Registration #150

THE MEADOWS FILING NO. 17, AREA NO. 4,
AMENDMENT NO. 9, LOT 6B-1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP15-0016
DATE: AUGUST 20, 2015
SHEET 5 OF 8

THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1
SITE DEVELOPMENT PLAN
 1.295 ACRES
 LOCATED IN THE NW 1/4, SECTION 34, T. 7 S., R. 67 W., 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
LANDSCAPE CHARTS

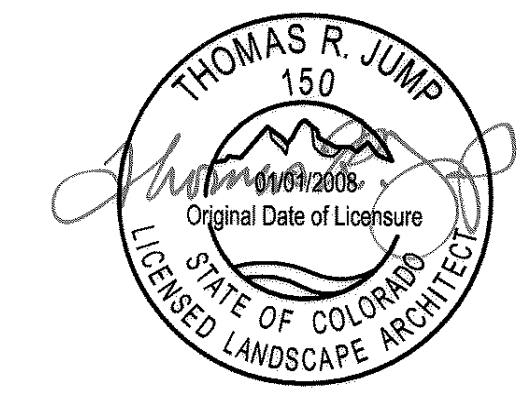


Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional Thomas R. Jump
 Town of Castle Rock Registration # 12035 State of Colorado License Landscape Architect # 150
 Company Name Jump Design Company Address 1733 S. Clarkson St. Denver, CO 80210-3227
 Phone 303-282-0463 Email tomj@jumpdesignco.com Date June 23, 2015
 PROJECT NAME Hilltop Commons at The Meadows

Gross Site Area	Landscape Area in Sq. Ft.	Turfgrass List Species (Area in Sq. Ft.)	Nonliving Ornamental (Area in Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu. yds. per 1000 sq. ft.)	Separate Irrigation Service Connections
56,412 s.f. 1.29 +/- Ac. (8,129 s.f. of not in private drive pavement area)	12,910 s.f.	2,443 s.f. (Turfmaster Canada Blue Fescue mix sod)	1631 s.f.	22	22	88	366	81.2 C.Y.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Parking Lot Area (in Sq. Ft.)	Parking Lot Landscape Area in Sq. Ft.	No. of Parking Spaces	Nonliving Ornamental (Area in Sq. Ft.)	No. of Interior Landscaped Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
18,970 s.f.	1,918 s.f.	56	305 s.f.	3	6'	5	7	16	16

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LANDSCAPE ARCHITECT

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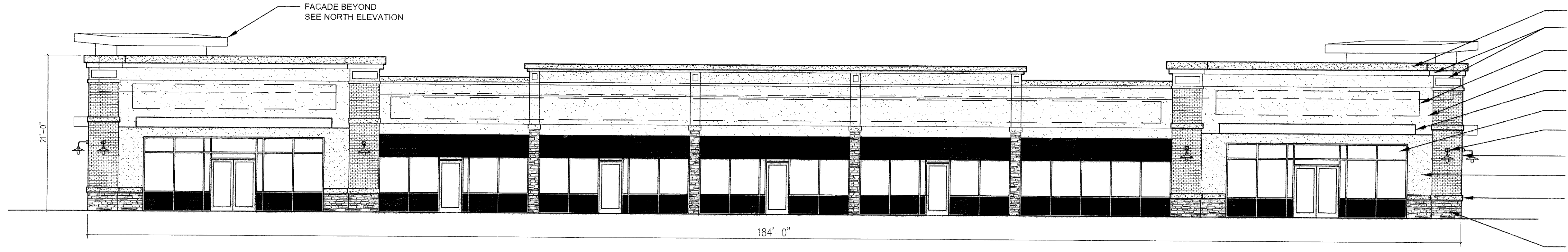
LANDSCAPE CHARTS
 THE MEADOWS FILING NO. 17, AREA NO. 4,
 AMENDMENT NO. 9, LOT 6B-1
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP15-0016
 DATE: AUGUST 20, 2015
 SHEET 6 OF 8

THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1

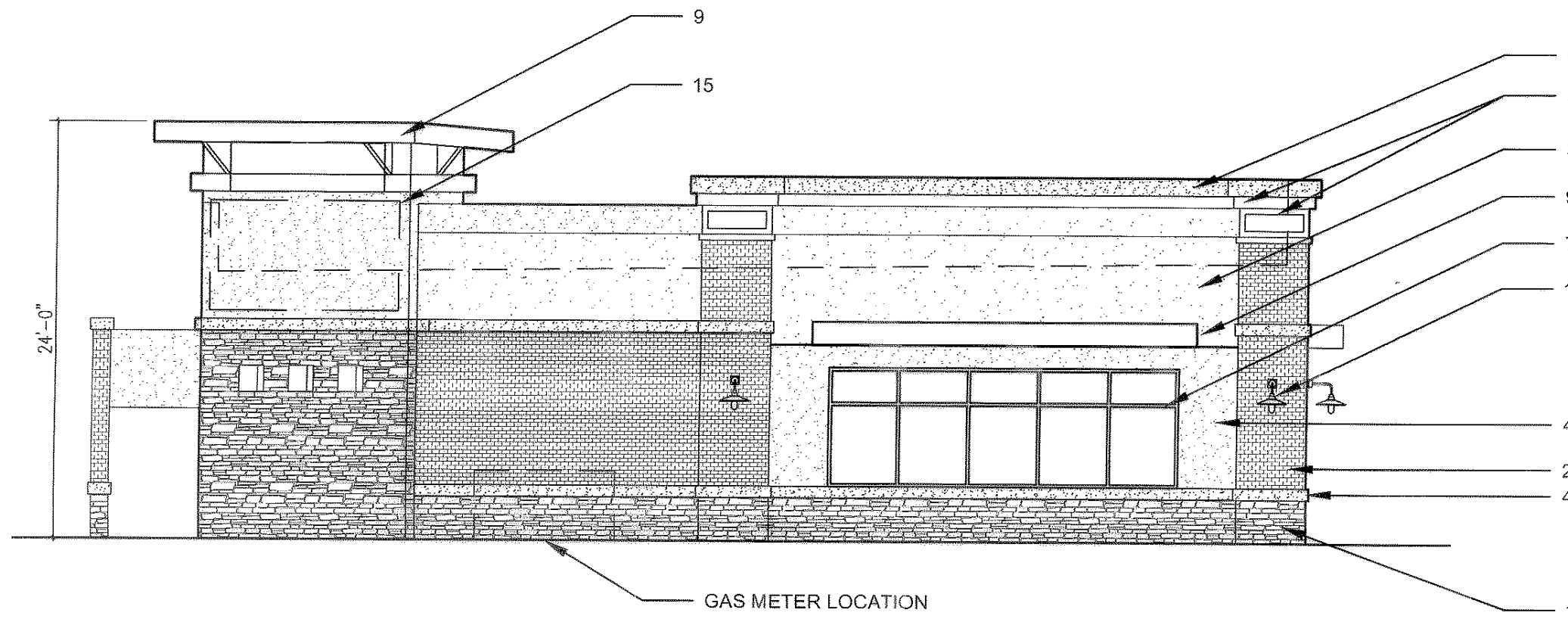
SITE DEVELOPMENT PLAN

1.295 ACRES

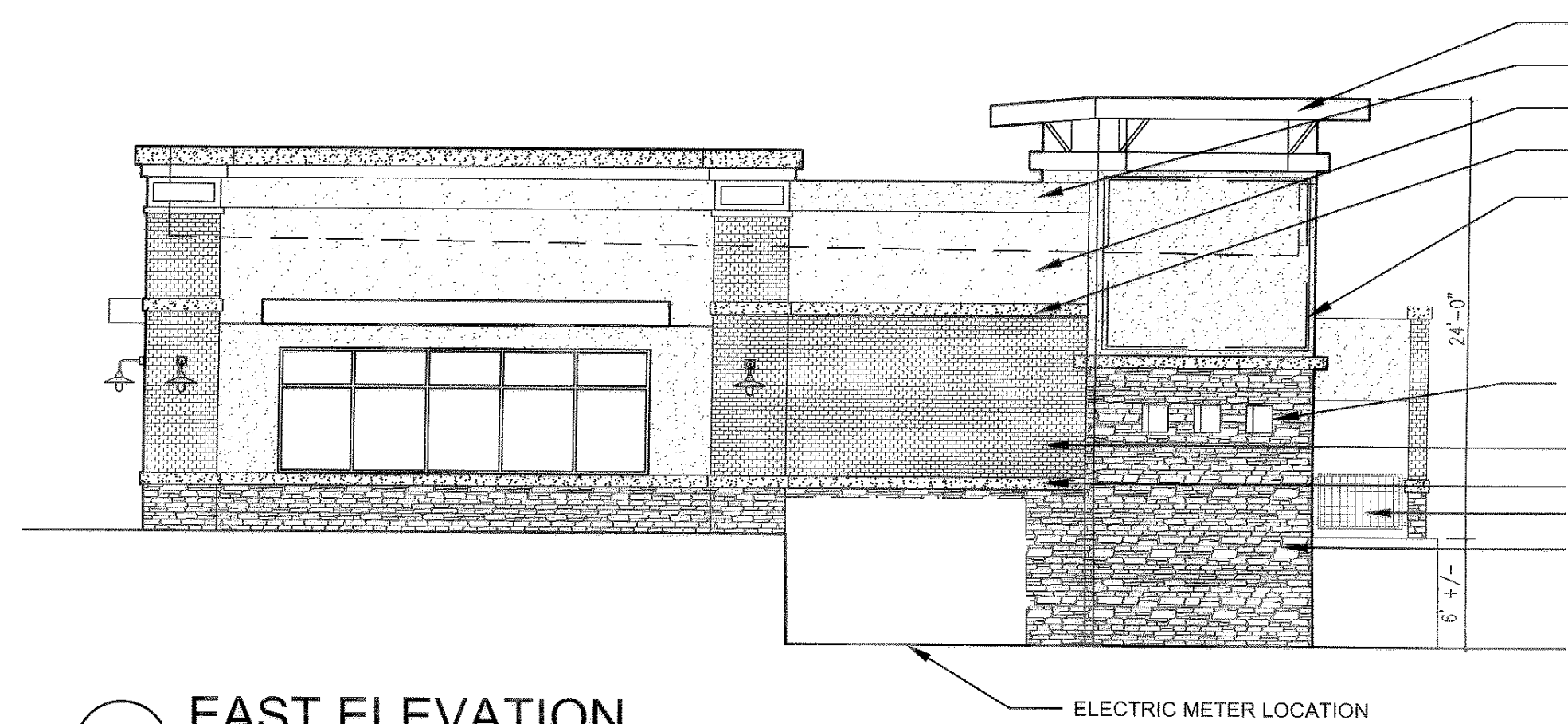
LOCATED IN THE NW 1/4, SECTION 34, T. 7 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
BUILDING ELEVATIONS - RETAIL/OFFICE/MEDICAL



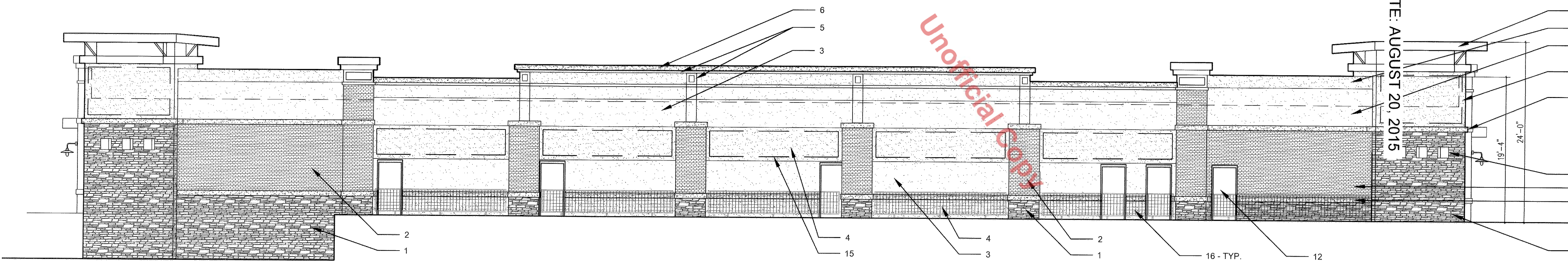
1 ENTRY (SOUTH) ELEVATION
1/8"=1'-0"



2 WEST ELEVATION
1/8"=1'-0"



3 EAST ELEVATION
1/8"=1'-0"

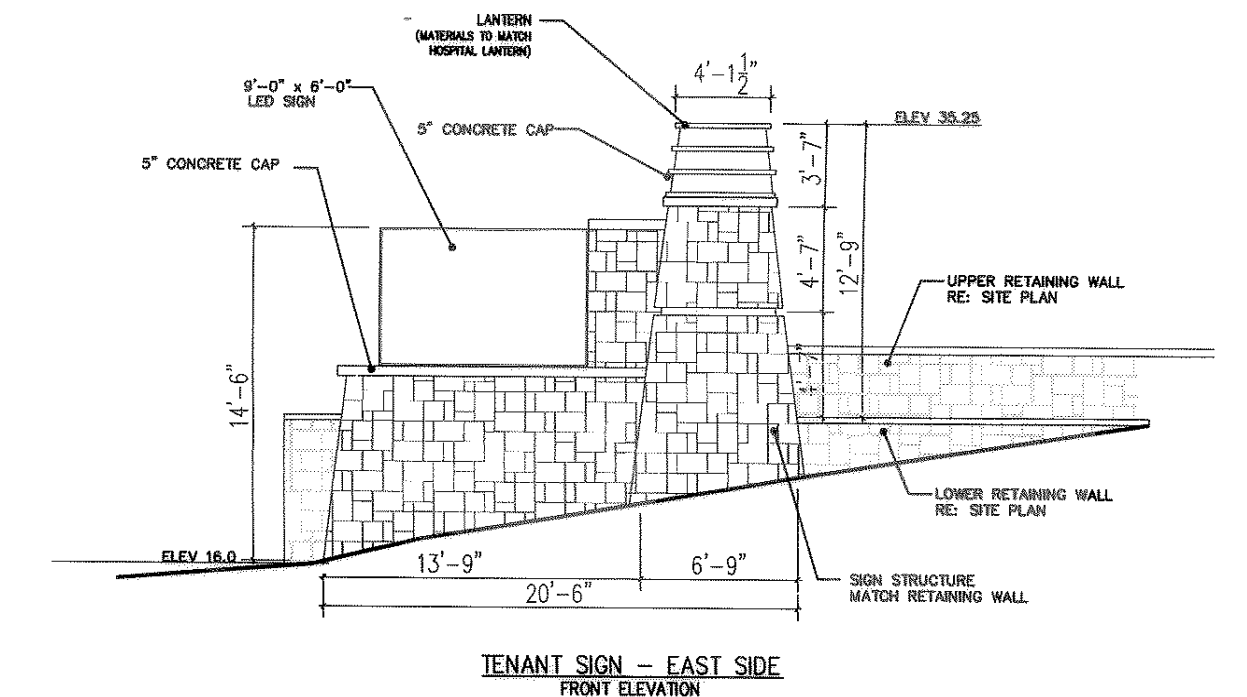


4 NORTH ELEVATION
1/8"=1'-0"

MATERIAL LEGEND

- 1 STONE VENEER: BORAL STONE ANCIENT VILLA LEDGESTONE - SIENA
- 2 BRICK VENEER: SUMMIT BRICK, INCA
- 3 PLASTER (BODY): DRYVIT - AMARILLO WHITE
- 4 PLASTER (ACCENT): DRYVIT - SPECTRUM BROWN
- 5 PLASTER (CORNICHE): DRYVIT - ALABASTER
- 6 PLASTER (PARAPET CAP): DRYVIT - SWISS MOCHA
- 7 STOREFRONT - DARK BRONZE FRAME AND DOORS WITH CLEAR GLAZING AND BROWN SPANDREL GLASS LOWER PANELS.
- 8 AWNINGS - SUNBRELLA - JOCKEY RED
- 9 METAL CANOPY - PAINTED DARK BRONZE
- 10 DECORATIVE LIGHTS - DARK BRONZE
- 11 WALL LIGHTS - DARK BRONZE DOWNCAST FIXTURES
- 12 METAL DOOR - PAINT TO MATCH ADJACENT FINISH (LOCATION SUBJECT TO CHANGE TO MEET TENANT EXIT REQUIREMENTS)
- 13 METAL GATES & SUPPORTS - PAINT TO MATCH PLASTER COLOR
- 14 RETAINING WALLS - BASALITE ASHLAR AB EUROPA, GREY BLEND
- 15 AREA OF PROPOSED WALL SIGNAGE - SEE NOTE BELOW
- 16 42" HIGH METAL RAILING WITH 1 1/2" FRAME AND 4"X4" MESH PANEL - PAINT DARK BRONZE.

NOTES:
SIGNAGE SHALL MEET TOWN OF CASTLE ROCK SIGN CODE REGULATIONS AND THE MEADOWS PD ZONING REGULATIONS - FOURTH AMENDMENT. ALL SIGNAGE ELEMENTS ARE CONCEPTUAL - THEY WILL BE DETAILED AND DOCUMENTED IN THE CONSTRUCTION DOCUMENT PACKAGE AND IN THE SIGN PERMIT APPLICATION.



5 SITE SIGN
1/8"=1'-0"

BUILDING ELEVATIONS
THE MEADOWS FILING NO. 17, AREA NO.
4, AMENDMENT NO. 9, LOT 6B-1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP15-0016
DATE: AUGUST 20, 2015
SHEET 7 OF 8

THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1

SITE DEVELOPMENT PLAN

1.295 ACRES

LOCATED IN THE NW 1/4, SECTION 34, T. 7 S., R. 67 W., 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE LIGHTING PLAN & DETAILS

McGraw-Edison

DESCRIPTION
The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

CONSTRUCTION FEATURES
Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (v-275K) CCT and minimum 70 CRI. Optional 8000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed. The house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Standard with 0-10V dimming. Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

Mounting
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option, 3G vibration rated.

Finish
Housing finished in super durable TGIC polyester powder coat paint. 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty
Five-year warranty.

Category #	Type
Project	
Comments	Date
Prepared by	

GLEON GALLEON LED
1-10 Light Squares
Solid State LED
AREA/SITE LUMINAIRE

CERTIFICATION DATA
UL904, Wet Location Listed (90-9001)
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium® Qualified*

ENERGY DATA
Electronic LED Driver
≥0.8 Power Factor
±25% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
40°C Min. Temperature
40°C Max. Temperature
60°C Max. Temperature (HA Option)

COOPER LIGHTING
by E-T-RE

ADH140438
2015-01-29 14:53:26

HILLTOP COMMONS LED SITE

Date: 2/13/2015

PHOTOMETRICS ARE NOT TO SCALE. DRAWING IS FOR ESTIMATING PURPOSES ONLY. FOOT-CANDLE VALUES ARE PREDICTED AT HORIZONTAL CALCULATIONS UNLESS SPECIFIED OTHERWISE. ACTUAL FOOT-CANDLES MAY VARY. FINAL CONSTRUCTION DRAWINGS & CALCULATIONS ARE THE RESPONSIBILITY OF LICENSED ARCHITECT OR ENGINEER.

REFLECTANCES
GRADE: N/A
DIRECT CALC

MOUNTING HEIGHT:
25' AFG BOTTOM OF FIXTURE

ADDITIONAL NOTES:
TARGET:
1.5 FC AVG / 5 FC MAX
4 AVG/MIN UNIFORMITY RATIO
0.1 FC @ PROPERTY LINE FOR RESIDENTIAL AREAS
LLF CALCULATED AT 1.00
CASTLE ROCK LIGHTING CODE

POLE HEIGHT:
25' AFG

FOOT-CANDLE CALC HEIGHT:
0' AFG

LOT 6B-1
1.295 AC

Calculation Summary

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Assumed Property Line	Fc	0.08	0.3	0.0	N.A.	N.A.
Grade	Fc	1.62	3.2	0.0	N.A.	N.A.
Entry	Fc	0.55	1.4	0.1	5.50	14.00
Parking Lot	Fc	1.77	3.2	0.6	2.95	5.33

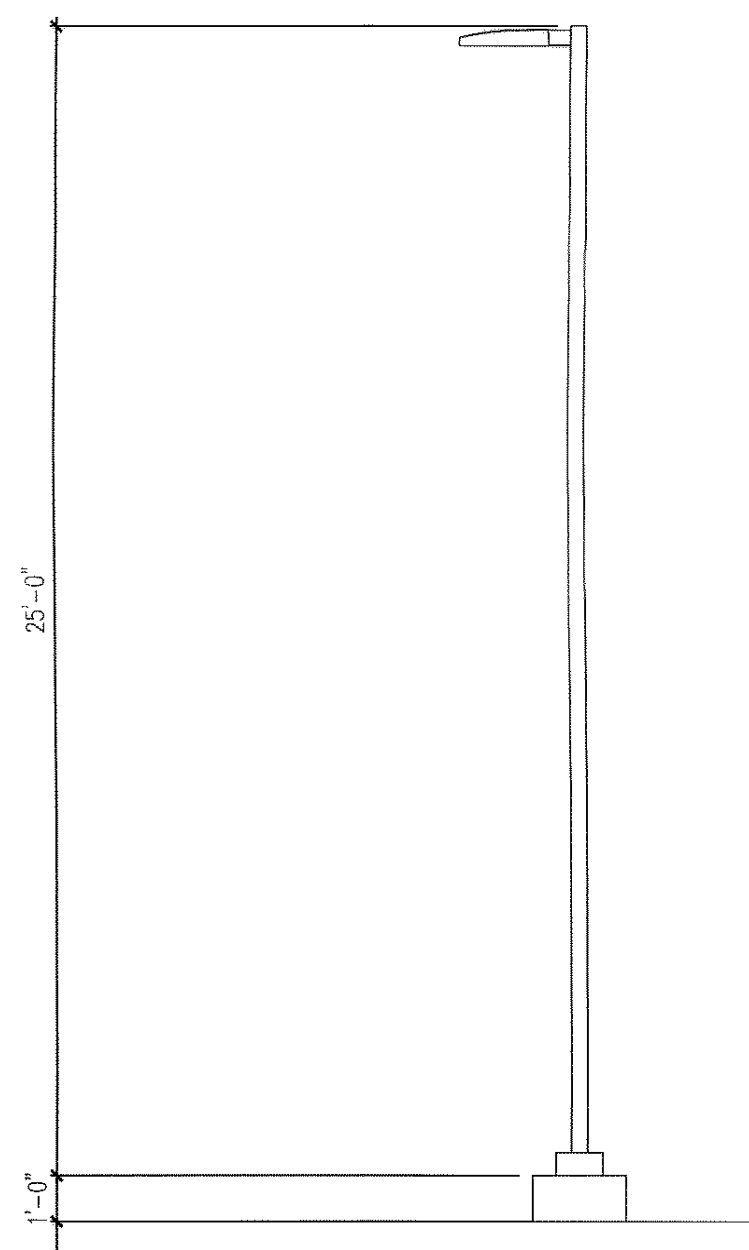
Luminaire Schedule

Symbol	Qty	Label	Lum. Lumens	Lum. Watts	LLF	Catalog
AA	2	AA	12715	157	1.000	GLEON-AE-03-LED-E1-SL4-HSS
BB	1	BB	15556	157	1.000	GLEON-AE-03-LED-E1-T4W

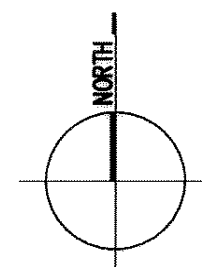
CREATED BY: SKY MARSHALL
ILLUMINATION SYSTEMS
303 KALAMATH STREET, DENVER, CO 80222
P. 303.295.2800 F. 303.295.8337

- LIGHTING PLAN GENERAL NOTES:**
- OBJECTIVES FOR LIGHTING THE SITE INCLUDE LED DOWNCAST POLE MOUNTED LIGHTING IN PARKING AREAS COMBINED WITH BUILDING MOUNTED LIGHTING AT ENTRY/EXIT LOCATIONS TO FACILITATE SAFE EGRESS.
 - HOURS OF LIGHT OPERATION WILL BE SUITED TO TENANT OPERATIONS. LIGHTS WILL BE TIMED TO TURN OFF WITHIN TWO HOURS FOLLOWING CONCLUSION OF TENANT DAILY OPERATIONS.
 - ALL FIXTURES ARE TO BE DOWNCAST TYPE WITH LIGHT CUT-OFF TO MITIGATE LIGHTING ONTO ADJOINING PROPERTIES.
 - THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHELD WALL PACKS.

LIGHTING NOTES:
1.5 FC AVG / 5 FC MAX
4 AVG/MIN UNIFORMITY RATIO



2 SITE LIGHTING DETAIL
1/4"=1'-0"



1 SITE PHOTOMETRIC PLAN
NTS

SITE LIGHTING PLAN & DETAILS
THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 9, LOT 6B-1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP15-0016
DATE: AUGUST 20, 2015
SHEET 8 OF 8