

# FINAL PD SITE PLAN LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 4, SITUATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO COVER SHEET

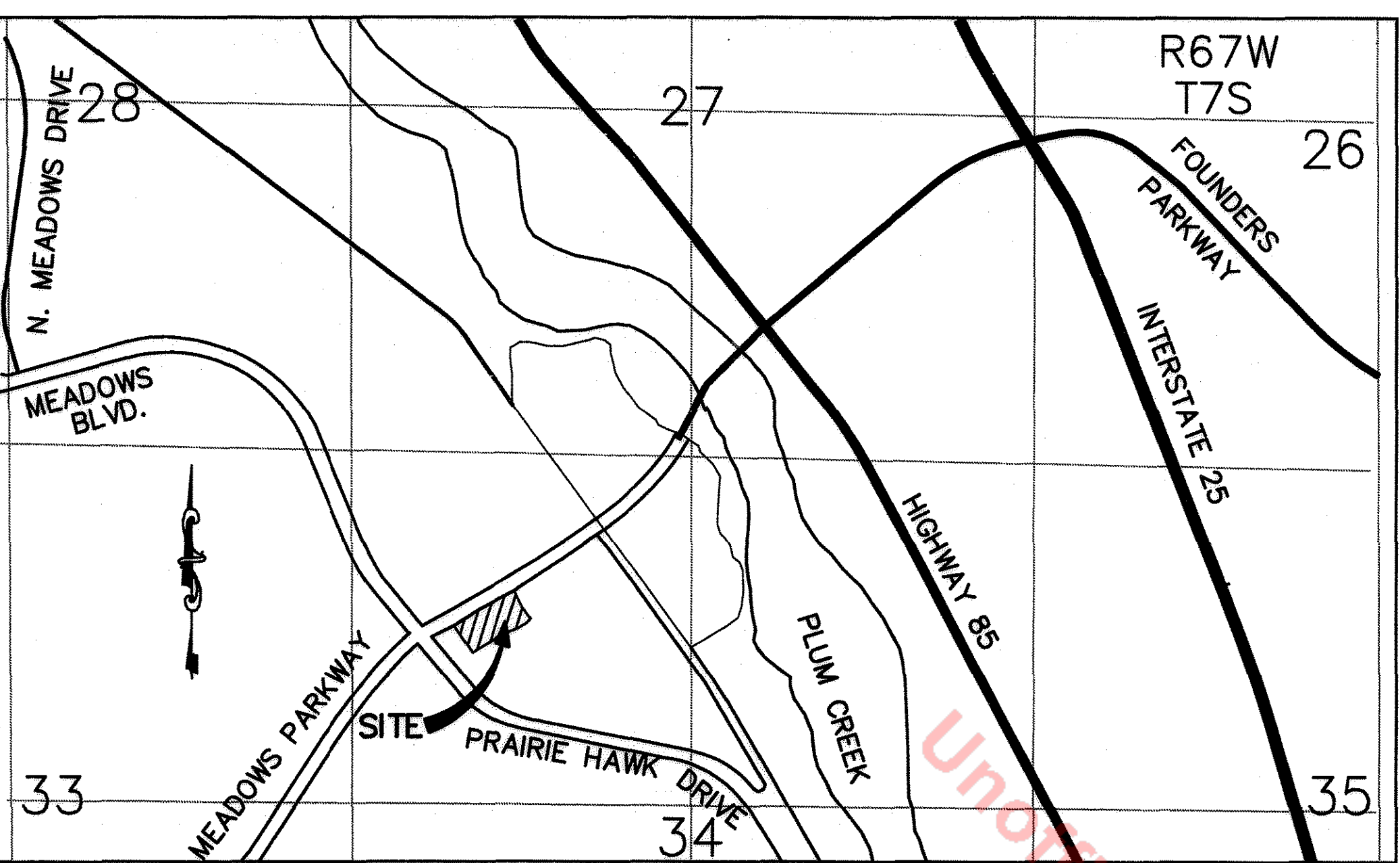
SITE DATA TABLE		
ZONING		
ITEM	PD	PROPOSED
GROSS BUILDING S.F. - MAVERIK		4,790 S.F.
GROSS BUILDING S.F. - RETAIL		12,500 S.F.
GROSS BUILDING TOTAL	80,096 S.F. MAX.	17,290 S.F.
MAXIMUM BUILDING COVERAGE	60%	13%
MAXIMUM F.A.R.	.60	.13
BUILDING HEIGHT - MAVERIK	60' MAX.	29'-4"
CANOPY HEIGHT - MAVERIK	60' MAX.	25'-0"
BUILDING HEIGHT - RETAIL	60' MAX.	24'-0"
BUILDING SEPARATION	0'	10'
SETBACKS: (BUILDING & PARKING)		
STREETS	10'	10'
INTERIOR LOT LINES	0'	0'
PARKING:		
GAS - CONVENIENCE (4/1,000 s.f. + 1/employee)	21	21
GAS - FUELING (2/PUMP ISLAND)	20	20
3,750 S.F. RETAIL/PROFESSIONAL (5/1,000 S.F. RETAIL)	19	14*
8,750 S.F. RESTAURANT (10/1,000 S.F.)	88	66*
DRIVE-THRU STACKING SPACES	8	8
TOTAL PARKING	156	129*
HANDICAP PARKING STALLS PROVIDED (INCLUDED IN ABOVE COUNTS)		5

\* VARIANCE INCLUDED IN TOTAL  
 THE FINAL PD SITE PLAN PROPOSES 129 PARKING SPACES ON THE SITE. THE MUNICIPAL CODE REQUIRES 156 SPACES ON THE SITE, BASED ON THE TYPES OF USES PROPOSED. A 17% REDUCTION IN REQUIRED PARKING WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES ON 12/5/2012, BASED ON THE ASSURANCE THAT THE NATURE OF THE USE WILL NOT CHANGE AND THAT THE MIX OF USES CAN BE ACCOMMODATED THROUGH THE JOINT USE OF THE PARKING SPACES.

SITE COVERAGE		
ITEM	S.F. COVERAGE	% OF NET AREA
TOTAL SITE (3.065 +/- AC)	133,493	100%
RIGHT-OF-WAY (EXISTING)	0	0%
NET SITE AREA	133,493	100%
BUILDING AREA:		
MAVERIK	4,790	4%
RETAIL	12,500	9%
TOTAL BUILDING AREA	17,290	13%
PARKING AND DRIVES		
PRIVATE SHARED DRIVE	7,403	6%
SIDEWALKS & PLAZAS	8,932	7%
LANDSCAPING	20,392	15%

COMMON SIGN PLAN	
ITEM	
MAVERIK (LOT FRONTAGE = 282')	
1.5 S.F. X FIRST 200' OF LOT FRONTAGE + 0.5 S.F. X ADD'L LOT FRONTAGE = (200 L.F. X 1.5) = (82 X 0.5) = 341 S.F.	
TOTAL	341 S.F. ALLOWABLE
RETAIL (LOT FRONTAGE = 250')	
1.5 S.F. X FIRST 200' OF LOT FRONTAGE + 0.5 S.F. X ADD'L LOT FRONTAGE = (200 L.F. X 1.5) = (50 X 0.5) = 325 S.F.	
TOTAL	325 S.F. ALLOWABLE

SIGNAGE NOTES:  
 1. THE CUMULATIVE ALLOWABLE SIGN AREA FOR BOTH THE GAS/CONVENIENCE SITE AND THE RETAIL/RESTAURANT SITE IS 666 S.F.  
 2. UNDER THE COMMON SIGN PLAN THE CUMULATIVE ALLOWABLE SIGN AREA MAY BE SHARED BETWEEN THE LOTS.  
 3. THE MASTER DEVELOPER SHALL ALLOCATE SIGN AREA.  
 4. SIGNAGE SHALL MEET TOWN OF CASTLE ROCK SIGN CODE REGULATIONS AND THE MEADOWS PD ZONING REGULATIONS - FOURTH AMENDMENT.



**VICINITY MAP**  
 1000 0 500 1000 2000  
 SCALE: 1"=1000'

### SHEET INDEX

1. COVER SHEET
2. ARCHITECTURAL SITE PLAN
3. UTILITY PLAN
4. GRADING AND DRAINAGE PLAN
5. LANDSCAPE PLAN
6. LANDSCAPE NOTES AND DETAILS
7. IRRIGATION PLAN
8. IRRIGATION DETAILS
9. IRRIGATION DETAILS
10. IRRIGATION DETAILS
11. PHOTOMETRIC PLAN - MAVERIK SITE
12. PHOTOMETRIC PLAN - RETAIL SITE
13. BUILDING ELEVATIONS - MAVERIK SITE
14. BUILDING ELEVATIONS - MAVERIK SITE
15. BUILDING ELEVATIONS - RETAIL SITE

### SURVEYOR'S CERTIFICATE

I, Kim A. Albers, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 4 WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THE SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

*Kim A. Albers*  
 COLORADO LICENSED SURVEYOR NO. 25614 DATE 12-20-2012

### CIVIL ENGINEER'S STATEMENT

I, JOEL SEAMONS, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS FINAL PD SITE PLAN WERE DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

*Joel Seamons*  
 REGISTERED PROFESSIONAL ENGINEER NO. 37162 DATE 12-14-12

### WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS (FOURTH AMENDMENT) DEVELOPMENT AGREEMENT RECORDED JULY 10, 2003 AT RECEPTION NO. 2003102970, AND ACCORDINGLY 7.66 SFE ARE DEBITED FROM THE WATER BANK.

### DIRECTOR OF DEVELOPMENT SERVICES

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL THIS PLAT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO THE 21st DAY OF December, 2012  
*Rocky*  
 DIRECTOR OF DEVELOPMENT SERVICES

### DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT (3:35 PM) ON THE Twenty - First DAY OF THE MONTH OF December, 2012, AT RECEPTION NUMBER 2012099011  
 DOUGLAS COUNTY CLERK AND RECORDER  
 BY: *Jacqueline A. [Signature]* DEPUTY

### BENCHMARK

A FOUND 3" DOUGLAS COUNTY CONTROL POINT BRASS CAP IN CONCRETE STAMPED 2.015030 LOCATED APPROXIMATELY 400' NE OF THE BNSF RAILROAD IN THE NORTHWEST QUARTER OF SECTION 27, T7S, R67W OF THE 6TH PM, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO. BENCHMARK ELEVATION BEING 6082.17 FEET BASED ON THE TOWN OF CASTLE ROCK VERTICAL CONTROL, NAVD 1988 DATUM.

### LEGAL DESCRIPTION

LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 4

### BASIS OF BEARINGS

THE BEARINGS AS SHOWN HEREON ARE BASED UPON THE CONSIDERATION THAT THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 34 BEARS NORTH 89°27'31" WEST.

### FLOOD PLAIN STATEMENT

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY UPON WHICH IT IS BASED ARE NOT LOCATED WITHIN THE DESIGNATED FLOOD HAZARD AREA PER FIRM MAP FOR DOUGLAS COUNTY, PANEL NUMBER 080050 0170 C, REVISED SEPTEMBER 30, 1987, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

### TITLE CERTIFICATION

I, David W. Knapp, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE

SIGNED THIS 20th DAY OF December, 2012  
*David W. Knapp* - Chief Title Officer  
 NAME, TITLE

### NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF December, 2012, BY  
*David Knapp*  
 WITNESS MY HAND AND OFFICIAL SEAL.  
*Jenna Stafford*  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES 12-17-14

### OWNER

STEPHANIE L SIMS  
 DIRECTOR OF CORPORATE OPERATIONS  
 CASTLE ROCK DEVELOPMENT COMPANY  
 3033 E. 1ST AVENUE, SUITE 410  
 DENVER, CO 80206  
 303-394-5508 DIRECT  
 303-394-5508 FAX  
 303-870-5115 MOBILE  
 SSI@CRDVC.CO

### CIVIL ENGINEER

PARK ENGINEERING CONSULTANTS  
 420 21ST AVENUE, SUITE 101  
 LONGMONT CO. 80501 (303)651-6626

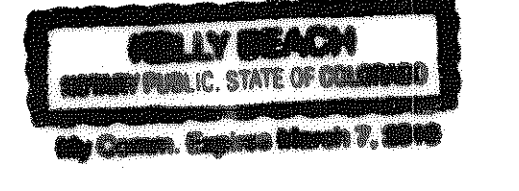
### OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 4, PD IN THE TOWN OF CASTLE ROCK.

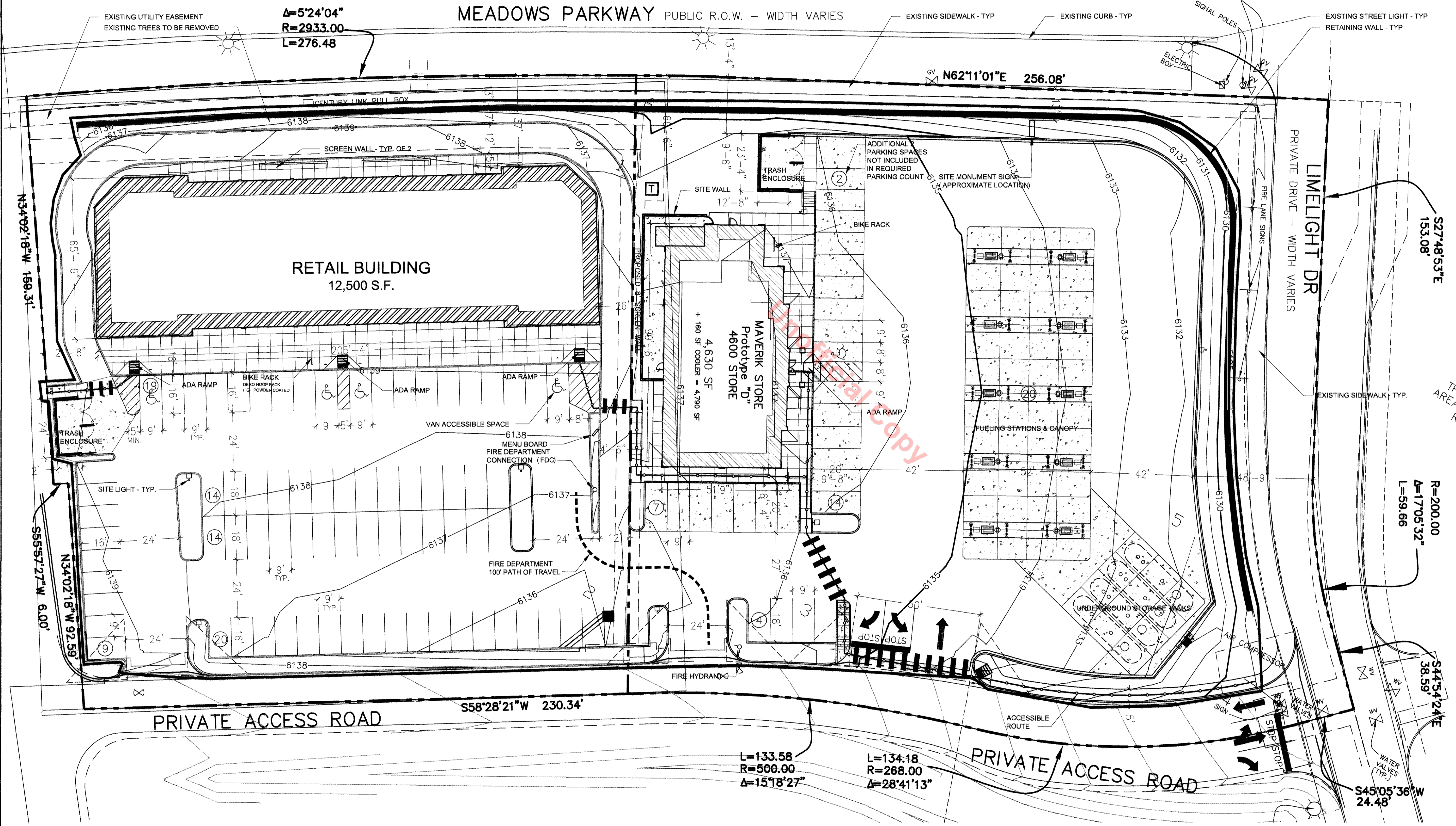
CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION  
 BY: *James H. [Signature]*

STATE OF COLORADO )  
 ) SS  
 COUNTY OF DOUGLAS )  
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19th DAY OF December, 2012 BY  
*Jim Rilly*

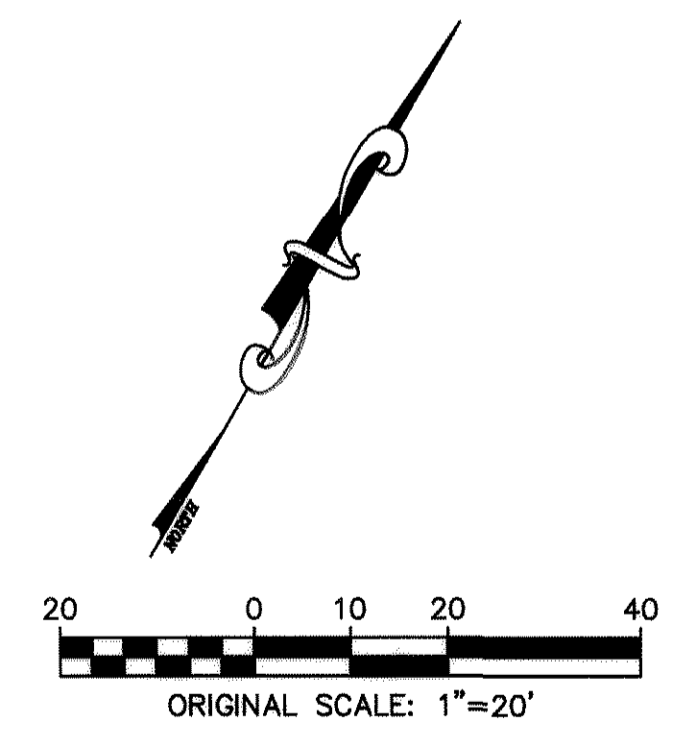
WITNESS MY HAND AND OFFICIAL SEAL.  
*Kelly Beach*  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES 3/7/16



FINAL PD SITE PLAN  
**LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4,**  
**AMENDMENT NO. 4,**  
 SITUATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF  
 THE SIXTH PRINCIPAL MERIDIAN,  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
 ARCHITECTURAL SITE PLAN



LEGEND  
 EXISTING      PROPOSED

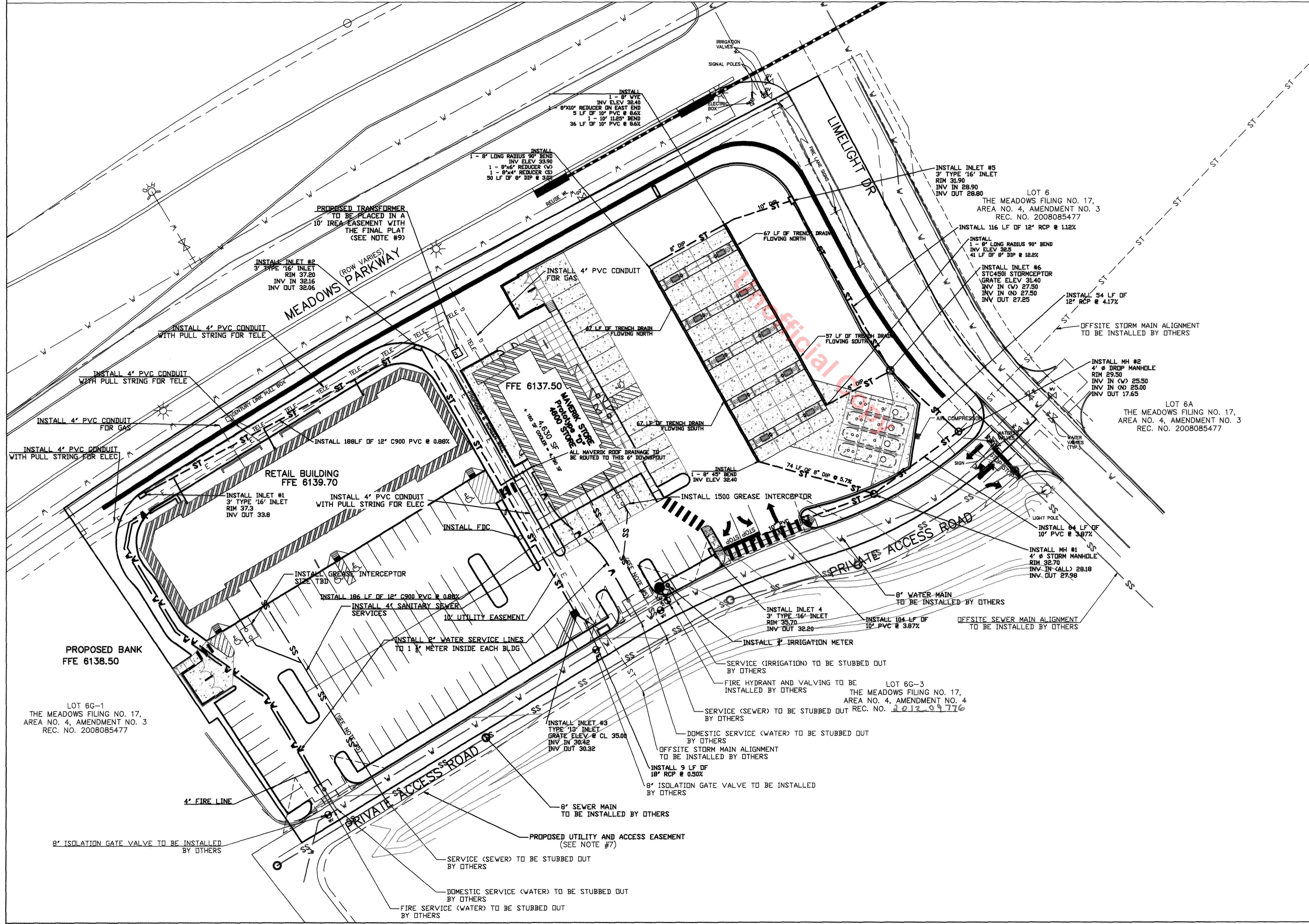


**CIVIL ENGINEER**

PARK ENGINEERING  
 CONSULTANTS  
 420 21ST AVENUE, SUITE 101  
 LONGMONT CO. 80501 (303)651-6626

ARCHITECTURAL SITE PLAN  
 FINAL PD SITE PLAN FOR  
 THE MEADOWS FILING 17, AREA NO. 4  
 AMENDMENT NO. 4, LOT 6G-2  
 FPD 12-0005  
 DATE: NOVEMBER 30, 2012  
 SHEET 2 OF 15

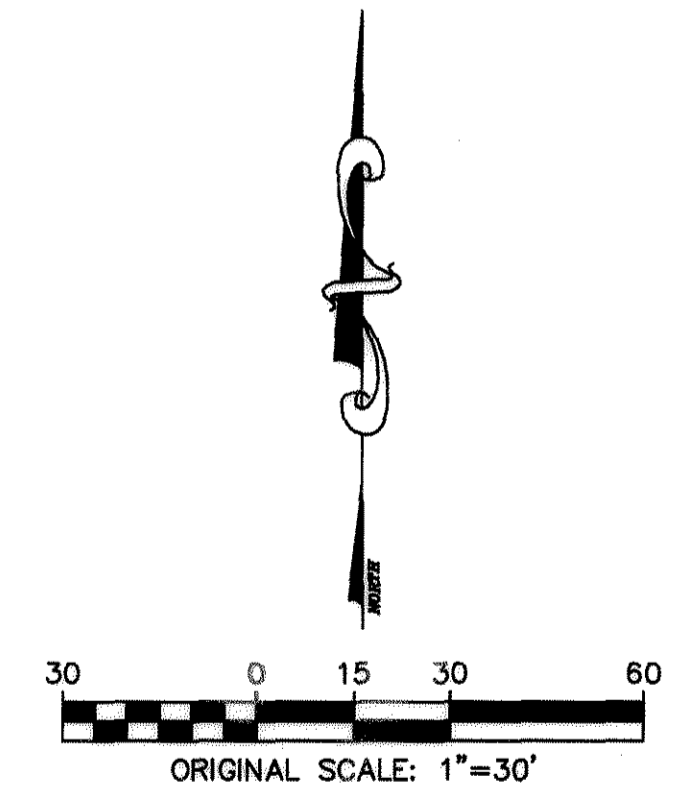
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**THE SIXTH PRINCIPAL MERIDIAN,**  
**TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO**  
**UTILITY PLAN**



**LEGEND**

<b>EXISTING</b>	<b>PROPOSED</b>

- NOTES:**
- CONTRACTOR SHALL FOLLOW TOWN OF CASTLE ROCK CONSTRUCTION STANDARDS.
  - OTHERS TO BUILD 12" WATER ("W" LINETYPE) MAIN AND 8" SANITARY ("SS" LINETYPE) MAIN IN THE PRIVATE ACCESS ROAD. DOMESTIC TAP SIZES FOR THE BUILDINGS ARE 1 1/2" FOR THE RETAIL BUILDING AND 1 1/4" FOR THE MAVERIK BUILDING.
  - THE RETAIL BUILDING WILL BE SPRINKLERED FOR FIRE PROTECTION. THE MAVERIK BUILDING WILL NOT.
  - SANITARY SEWER SERVICES TO BE 4" PVC WITH A MINIMUM SLOPE OF 2.0%.
  - THE TOP OF THE RIMS FOR THE UNDERGROUND GAS TANKS AND THE SANITARY SEWER INTERCEPTORS SHALL BE 2" BELOW FINISHED GRADE.
  - THE NEW REPLAT FOR LOT 6G WILL HAVE AN ACCESS AND UTILITY EASEMENT FOR THE PRIVATE ACCESS ROAD.
  - SEE ATTACHED PHOTOMETRIC PLAN FOR PROPOSED LIGHT POLE LOCATIONS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND STARTUP OF THE SECONDARY LINE FROM THE PROPOSED TRANSFORMER TO THE MAVERIK BUILDING AND THE RETAIL BUILDING.



**CIVIL ENGINEER**  
**PARK ENGINEERING CONSULTANTS**  
 420 21ST AVENUE, SUITE 101  
 LONGMONT CO. 80501 (303)651-6626

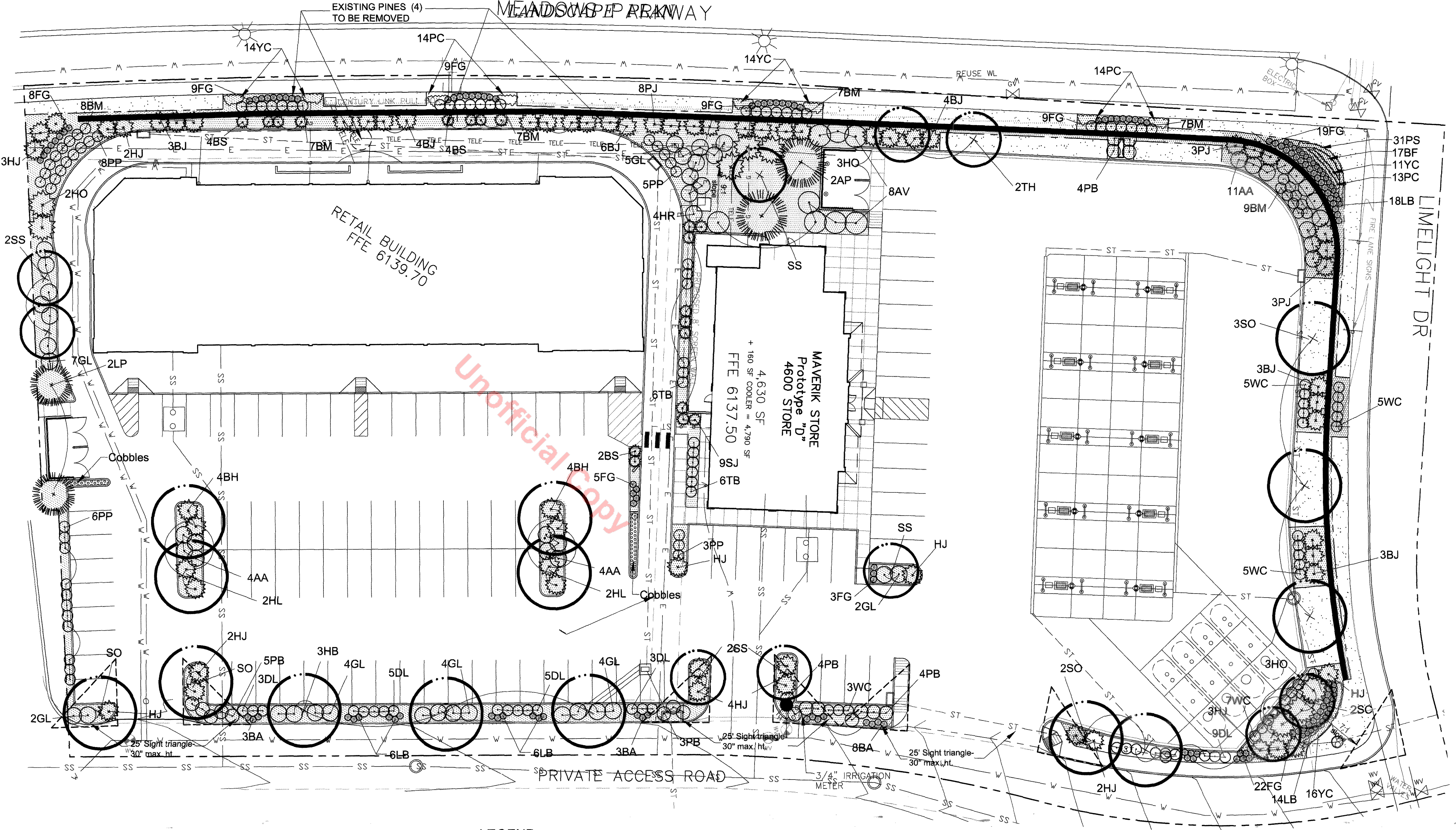
**UTILITY PLAN**  
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**FPD 12-005**  
**DATE: NOVEMBER 30, 2012**  
**SHEET 3 OF 15**

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**FINAL PD SITE PLAN**  
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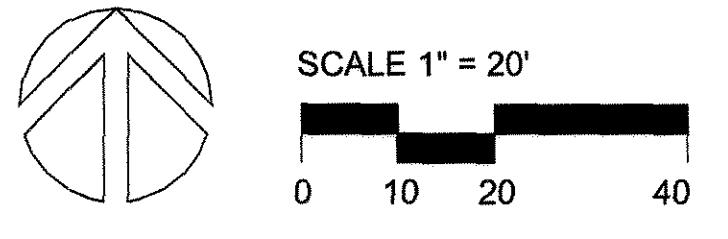
- NOTES**
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES.
  - CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED LINES AND STRUCTURES PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.
  - REFER TO THE CONSTRUCTION PLAN SET FOR RELATED PLAN INFORMATION INCLUDING ARCHITECTURAL, ENGINEERING, ELECTRICAL AND IRRIGATION DRAWINGS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
  - FIELD-VERIFY THE LOCATION OF ALL PERTINENT EXISTING & ALREADY CONSTRUCTED SITE IMPROVEMENTS PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS.
  - REFER TO GRADING AND DRAINAGE DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADES AND ELEVATIONS.
  - COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.
- FINE GRADING / PREPARATION NOTES**
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. COORDINATE WITH GENERAL CONTRACTOR. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.
  - ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. DO NOT PLANT IS SWALE BOTTOMS OR OTHER LOCATIONS OF CONCENTRATED DRAINAGE SO AS TO BLOCK FLOWS.
  - FINE GRADE ALL LANDSCAPE AREAS TO +/- .10'. AREAS SHALL BE SETTLED AND RAKED SMOOTH. DEBRIS, ROCK, CLOUDS, ETC. THAT WILL NOT PASS THROUGH TYNES OF A HAND RAKE SHALL BE REMOVED FROM THE SURFACE. LANDSCAPE AREAS SHALL BE FIRM WITHOUT DEPRESSIONS PRIOR TO PLANTING. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.
  - SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. pH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOMP-CLASS 1 BY A1 ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.
  - FOR SOD AREAS THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 8". IN BED AREAS, THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL & AMENDMENT TILLED TO A MIN. DEPTH OF 12".
  - IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW ROOM FOR SPECIFIED MULCH DEPTH.
- EDGER**
- ALL PLANTING BEDS ARE TO BE CONTAINED BY 3/16" X 4" INTERLOCKING STEEL EDGER PAINTED GREEN OR BLACK. EDGER TO HAVE A ROLLED STEEL TOP FOR SAFETY. INSTALL PER MFR'S RECOMMENDATIONS. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS. HOLD SUBGRADE FOR SOD 1" BELOW TOP OF EDGER. SHOULD EDGER CROSS SWALES OR OTHER LOCATIONS OF CONCENTRATED FLOW, USE PERFORATED EDGER OR DRILL HOLES TO ALLOW WATER TO PASS- 3 HOLES PER LINEAR FOOT.
- PLANTING NOTES**
- LAYOUT PLANT BED EDGER LINE AND STAKE INDIVIDUAL PLANT LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2004). ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.
  - PLANT SPECIES AND LOCATION SHOULD FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE TOWN OF CASTLE ROCK AND THE OWNER'S REPRESENTATIVE.
  - ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS.
  - PLANT QUANTITIES SHOWN SYMBOLICALLY ON THE PLAN SHALL TAKE PRECEDENT AND BE INSTALLED OVER THOSE TOTALS IN THE PLANT LIST.
  - PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.
  - TREE LOCATION SHALL BE NO CLOSER THAN 3.5' FROM ALL CURBS & WALKWAYS EXCEPT FOR PARKING ISLANDS.
- MULCH**
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" DEPTH CRUSHED GRANITE 1.5 TO 2" DIAMETER OVER LANDSCAPE FILTER FABRIC. GROUND COVER, PERENNIALS AND ORNAMENTAL GRASSES SHALL RECEIVE NATURAL CEDAR FIBER MULCH AT 4" DEPTH BUT SHALL NOT RECEIVE FABRIC. MULCH SAMPLES SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT.
  - ALL TREES IN SEEDED OR SODDED AREAS WILL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT 3-4" DEPTH AND AT LEAST 2" IN DIAMETER. SOD SHALL BE KEPT A MIN. 1' FROM TREE TRUNKS.
  - COBBLES SHALL BE 4-6" TAN AND BROWN RIVER COBBLE STONES. COBBLES SHALL BE PLACED ON WEED BARRIER FABRIC.
- SOD**
- SOD SHALL BE "CANADA BLUE FESCUE" FROM TURFMASTER SOD FARM, 3327 GIDDINGS ROAD; FORT COLLINS, CO 80524 PHONE: (970) 493-8311.
  - APPLY STARTER FERTILIZER WITH A CHEMICAL ANALYSIS OF 18-46-0 AT A RATE OF 5 LBS. PER 1000 SF AND AFTER FINE GRADING AND BEFORE SOD INSTALLATION.
  - CONTRACTOR SHALL PERFORM TWO MOWINGS OF SOD WITHIN 2-3 WEEK PERIOD AFTER SOD INSTALLATION. AFTER FIRST MOWING, APPLY COMMERCIAL FERTILIZER WITH 1 LB. NITROGEN AND 1 LB. PHOSPHOROUS PER 1000 SF. SUBMIT FERTILIZER SPEC TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
- MISCELLANEOUS**
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
  - MAINTENANCE SHALL MEET TOWN OF CASTLE ROCK REQUIREMENTS.
  - NO SLOPES GREATER THAN 3:1 ARE PERMITTED.



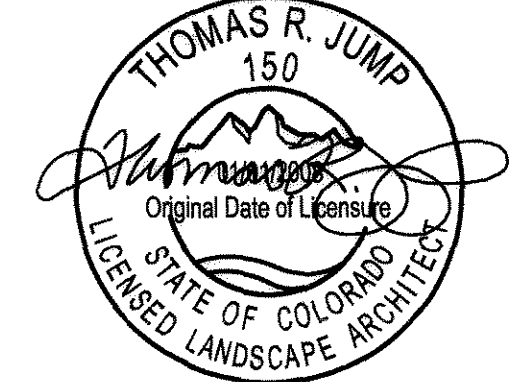
**LEGEND**

	DECIDUOUS TREE		IRRIGATED TURF
	ORNAMENTAL TREE		MULCHED PLANTING BED
	EVERGREEN TREE		EXISTING DECIDUOUS TREE
	DECIDUOUS SHRUB		EXISTING EVERGREEN TREE
	EVERGREEN SHRUB		EDGER
	ORNAMENTAL GRASS		COBBLES

SEE SHEET 6 FOR PLANT SCHEDULE, DETAILS AND LANDSCAPE SITE INVENTORY.  
 SEE VARIANCE PWV 12-0013



**LANDSCAPE ARCHITECT**



**Jump Design Company**  
 Planning & Landscape Architecture  
**JDC**  
 1733 S. Clarkson Street  
 Denver, Colorado 80210  
 303.282.0463 fax 282.0473  
 info@jumpdesignco.com

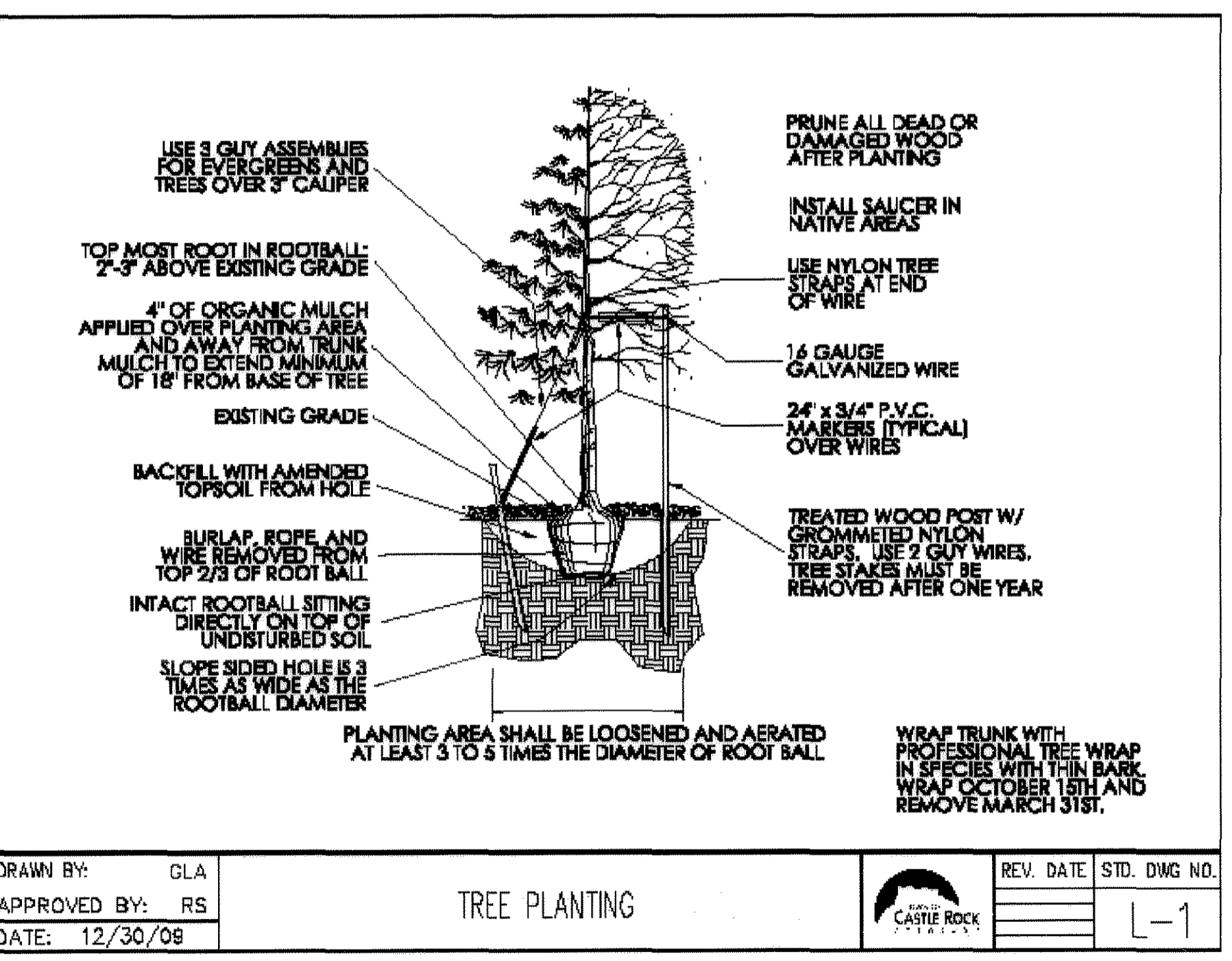
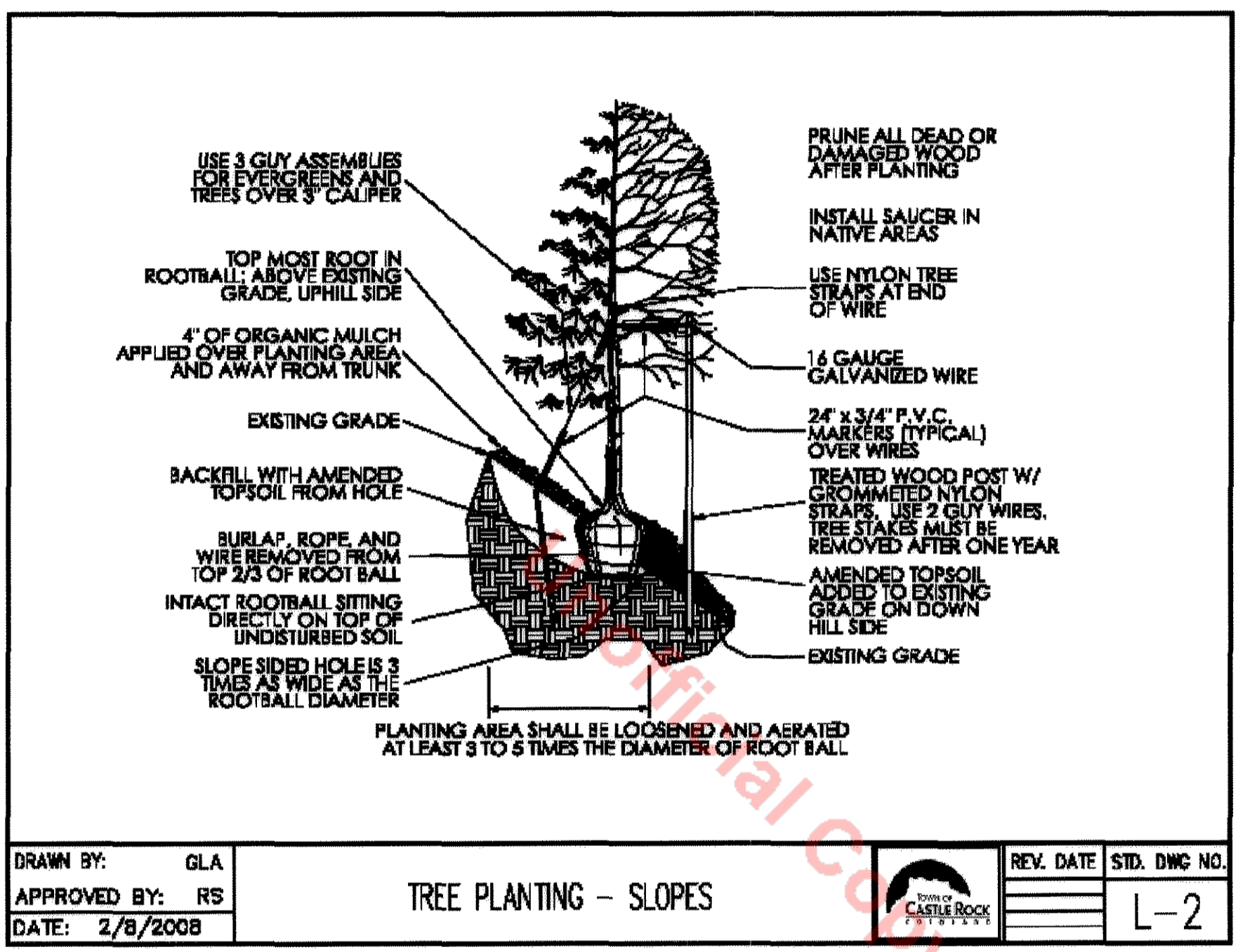
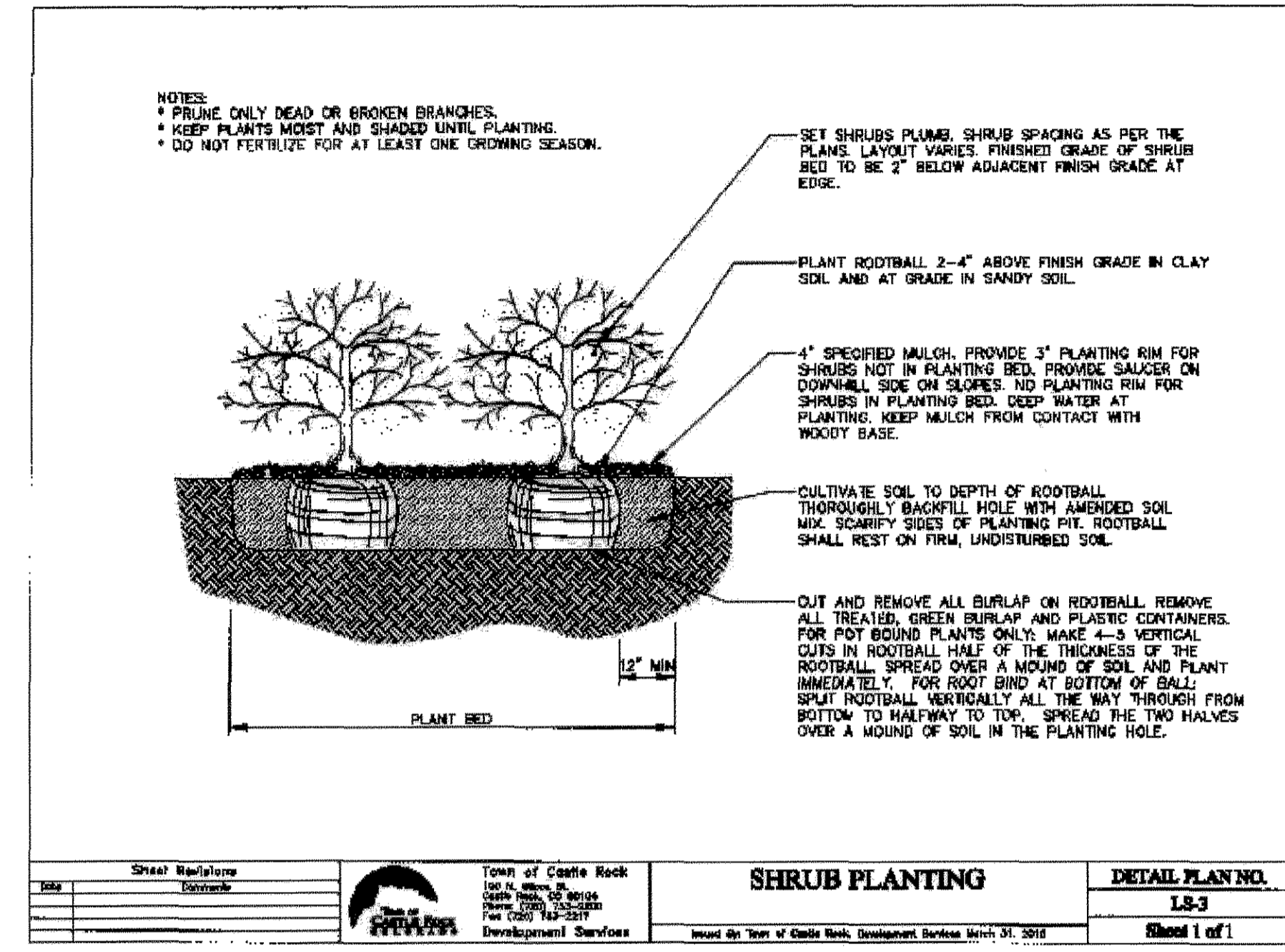
Thomas R. Jump  
 Castle Rock Reg. #12035  
 State Registration #150

**LANDSCAPE PLAN**  
**FINAL PD SITE PLAN FOR**  
**THE MEADOWS FILING 17, AREA NO. 4**  
**AMENDMENT NO. 4, LOT 6G-2**  
 FPD 12-0005  
 DATE: NOVEMBER 30, 2012  
 SHEET 5 OF 15

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**LANDSCAPE NOTES & DETAILS**



Registered Professional Thomas R. Jump Registration # 12035  
 Company Name Jump Design Company Address 1733 S. Clarkson St. Denver, CO 80210-3227  
 Phone 303-282-0463 Email tom@jumpdesignco.com Date August 28, 2012



**Commercial Landscape Site Inventory**

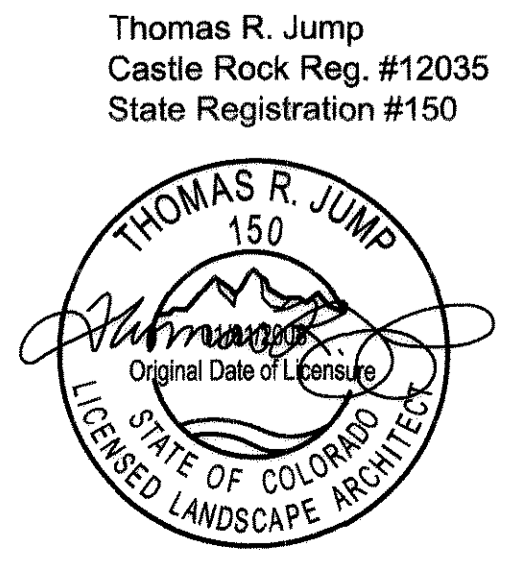
Town of Castle Rock Registered Professional Thomas R. Jump  
 Town of Castle Rock Registration # 12035 State of Colorado License Landscape Architect # 150  
 Company Name Jump Design Company Address 1733 S. Clarkson St. Denver, CO 80210-3227  
 Phone 303-282-0463 Email tom@jumpdesignco.com Date August 10, 2012

Gross Site Area	Landscape Area in Sq. ft.	Turfgrass List Species (Area in Sq. Ft.)	Nonliving Ornamental (Area in Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu. yds. per 1000 sq. ft.)	Separate Irrigation Service Connections
133,493 s.f. 3.06 +/- Ac. (14,500 s.f. of net in private drive pavement area)	20,392 s.f.	6,054 s.f. (Canada Blue Fescue sod)	1631 s.f.	27	27	96	240	81.2 C.Y.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Parking Lot Area (in Sq. Ft.)	Parking Lot Landscape Area in Sq. ft.	No. of Parking Spaces	Nonliving Ornamental (Area in Sq. Ft.)	No. of Interior Landscaped Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
27,693 s.f.	3,829 s.f.	102	302 s.f.	2	7'	5	7	16	16

Irrigation (Drip or spray)	Plant Name (Scientific)	Plant Name (Common)	Planting Size	Legend Abbrev.	Mature Size (HxW)	No. of Plants	Application Rate (inches per month)	Water Use (Very Low, Low, Moderate, High)	Sq. Ft. of Zone (Turf only)	% of Total Area	Sq. Ft. of Total Landscaped Area
<b>DECIDUOUS TREES</b>											
Drip	<i>Celtis occidentalis</i>	Hackberry	2" cal.	HB	50'X30'	3		L to LM			
Drip	<i>G. triacanthos inermis</i> 'Shademaster'	Shademaster Honeylocust	2" cal.	HL	50'X30'	4		L to LM			
Both	<i>Quercus bicolor</i>	Swamp White Oak	2" cal.	SO	50'X45'	7		L to LM			
<b>EVERGREEN TREES</b>											
Drip	<i>Pinus nigra</i>	Austrian Pine	6' Ht.	AP	50'X30'	2		L			
Drip	<i>Pinus heldreichii</i> (leucodermis)	Bosnian Pine	6' Ht.	LP	30'X15'	2		VL to L			
<b>ORNAMENTAL TREES</b>											
Drip	<i>Crataegus crus-galli inermis</i>	Thornless Hawthorn	2" cal.	TH	15'X15'	2		VL to L			
Drip	<i>Prunus virginiana</i> 'Shubert'	Shubert Chokecherry	2" cal.	SC	25'X20'	3		VL to L			
Drip	<i>Malus</i> 'Spring Snow'	Spring Snow Crabapple	2" cal.	SS	25'X15'	5		VL to L			
<b>DECIDUOUS SHRUBS</b>											
Drip	<i>Rhus trilobata</i> 'Autumn Amber'	Autumn Amber Sumac	5 gal.	AA	2'x6'	19		VL to L			
Drip	<i>V. rhytidiphyloides</i> 'Alleghany'	Alleghany Viburnum	5 gal.	AV	10'x8'	8		L to LM			
Drip	<i>Caryopteris clandnensis</i> Blue Mist'	Blue Mist Spirea	5 gal.	BM	4'x4'	45		L to LM			
Drip	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Dwarf Lilac	5 gal.	DL	4'x4'	17		L to LM			
Drip	<i>Rhus aromatica</i> 'Gro-low'	Gro-low Sumac	5 gal.	GL	3'x6'	28		L to LM			
Drip	<i>Rosa x harisonii</i>	Harrison's Yellow Rose	5 gal.	HR	5'x6'	4		L to LM			
Drip	<i>Prunus besseyi</i> 'Pawnee Buttes'	Pawnee Buttes Sandcherry	5 gal.	PB	2'x5'	12		L to LM			
Drip	<i>Caragana pygmaea</i>	Pygmy Peashrub	5 gal.	PP	3'x3'	27		VL to L			
Drip	<i>Rhamnus frangula</i> 'Columnaris'	Tailhedge Buckthorn	5 gal.	TB	3'x10'	12		L to LM			
Drip	<i>Ribes cereum</i>	Wax Currant	5 gal.	WC	4'x3'	25		VL to L			
<b>EVERGREEN SHRUBS</b>											
Drip	<i>Juniperus horizontalis</i> 'Wiltonii'	Blue Rug Juniper	5 gal.	BJ	1'x8'	36		L			
Drip	<i>Juniperus horizontalis</i> 'Bar Harbor'	Bar Harbor Juniper	5 gal.	BH	1'x6'	8		L			
Drip	<i>Juniperus squamata</i> 'Blue Star'	Blue Star Juniper	5 gal.	BS	3'x4'	6		L			
Drip	<i>Juniperus horizontalis</i> 'Hughes'	Hughes Juniper	5 gal.	HJ	1'x6'	13		L			
Drip	<i>Juniperus chinensis</i> 'Holbert'	Holbert Juniper	5 gal.	HO	3'x8'	8		L			
Drip	<i>J. horizontalis</i> 'Prince of Wales'	Prince of Wales Juniper	5 gal.	PJ	1'x6'	14		L			
Drip	<i>Juniperus scopulorum</i> 'Skyrocket'	Skyrocket Juniper	#7	SJ	15'x4'	9		L			
<b>ORNAMENTAL GRASSES</b>											
Drip	<i>Helictotrichon sempervirens</i>	Blue Avena Grass	1 gal.	BA	4'x3'	14		L to LM			
Drip	<i>C. x acutifolius</i> 'K. Foerester'	K. Foerester Feather Reed Grass	5 gal.	FG	5'x2'	74		L to LM			
Drip	<i>Schizachyrium scoparium</i>	Little Bluestem	1 gal.	LB	3'x2'	54		VL to L			
<b>PERENNIALS</b>											
Drip	<i>Gaillardia x grandiflora</i> 'Goblin'	Goblin Blanketflower	1 gal.	BF	1'X1'	36		L			
Drip	<i>Salvia nemorosa</i> 'Blue Queen'	Blue Queen Salvia	1 gal.	PS	18"x18"	31		VL to L			
Drip	<i>Rudbeckia fulgida</i> 'Goldstrum'	Yellow Coneflower	1 gal.	YC	30"x30"	55		L to LM			
Drip	<i>Echinacea purpurea</i>	Purple Coneflower	1 gal.	PC	3'x2'	41		L to LM			
<b>TURF GRASS</b>											
Spray	Varies	Canada Blue Fescue sod Mix of: Canadian Bluegrass, Sheep Fescue, Creeping Red Fescue, Hard Fescue, Chewing Fescue						Low	5,447	26.7%	20,392

**LANDSCAPE ARCHITECT**

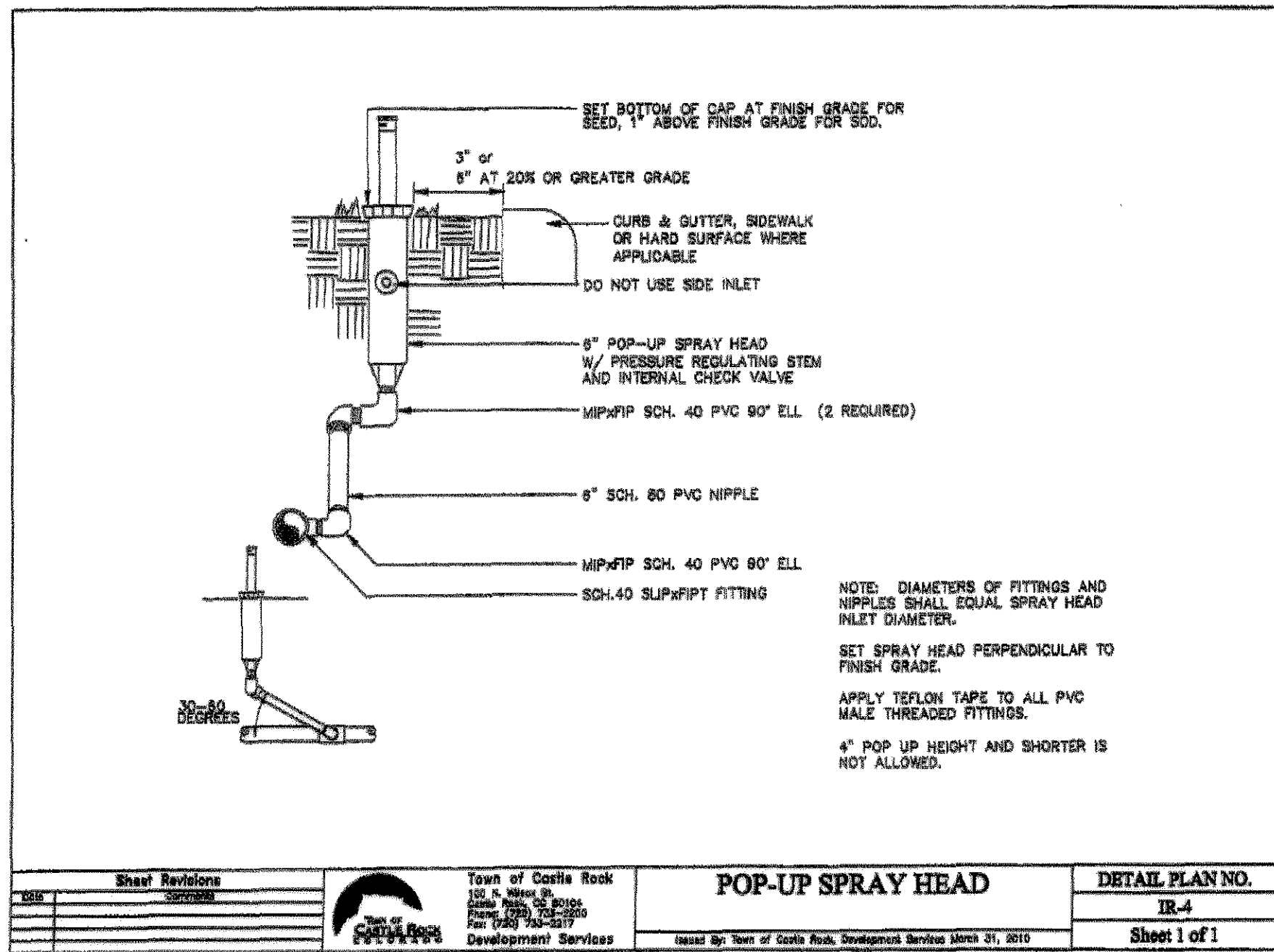
**Jump Design Company**  
 PLANNING & LANDSCAPE ARCHITECTURE  
 1733 S. Clarkson Street  
 Denver, Colorado 80210  
 303.282.0463 fax 282.0473  
 info@jumpdesignco.com



LANDSCAPE PLAN  
 FINAL PD SITE PLAN FOR  
 THE MEADOWS FILING 17, AREA NO. 4  
 AMENDMENT NO. 4, LOT 6G-2  
 FPD 12-0005  
 DATE: NOVEMBER 30, 2012  
 SHEET 6 OF 15

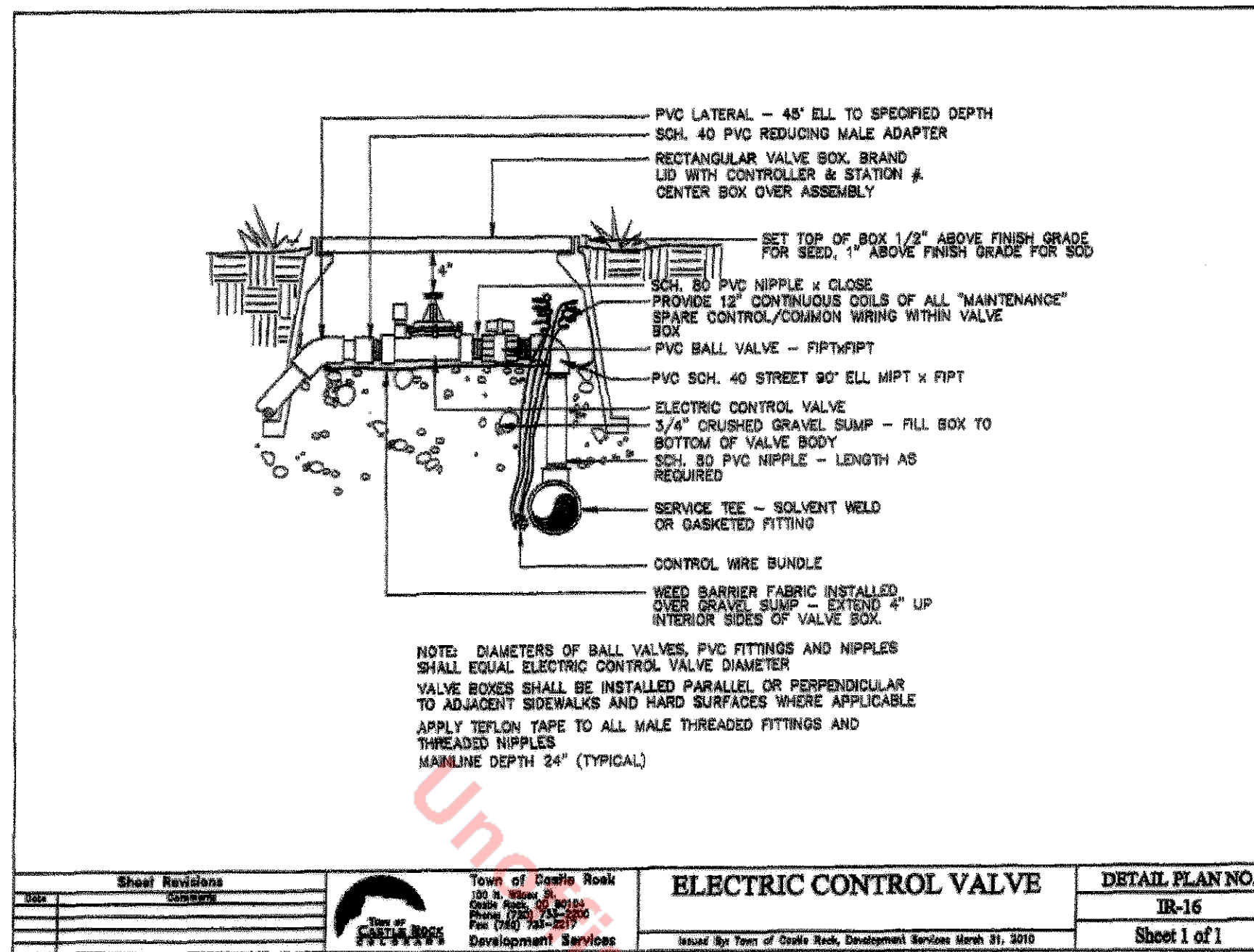


**FINAL PD SITE PLAN**  
**LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4,**  
**AMENDMENT NO. 4,**  
 SITUATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF  
 THE SIXTH PRINCIPAL MERIDIAN,  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
**IRRIGATION DETAILS**



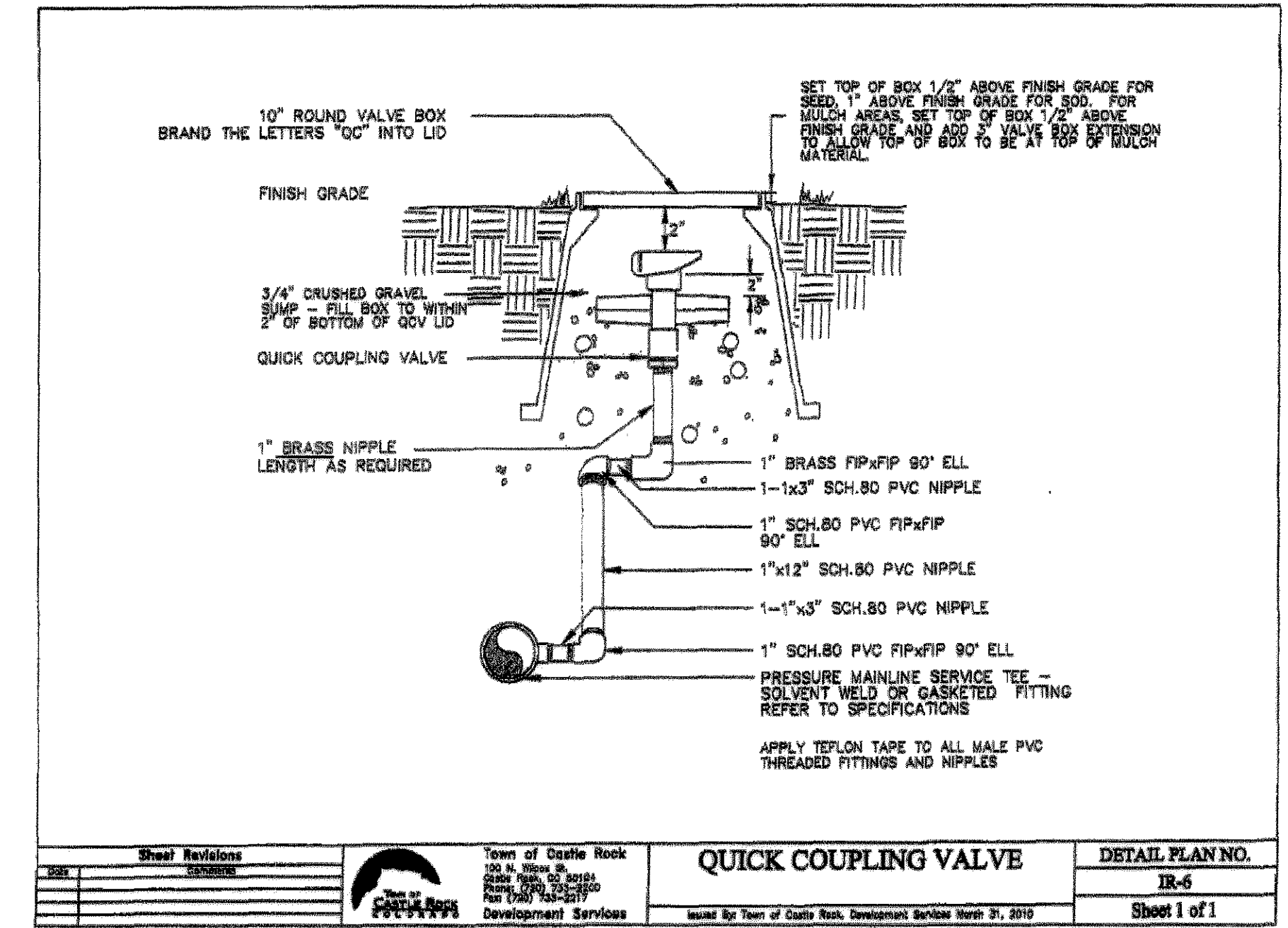
**POP-UP SPRAY HEAD**

1



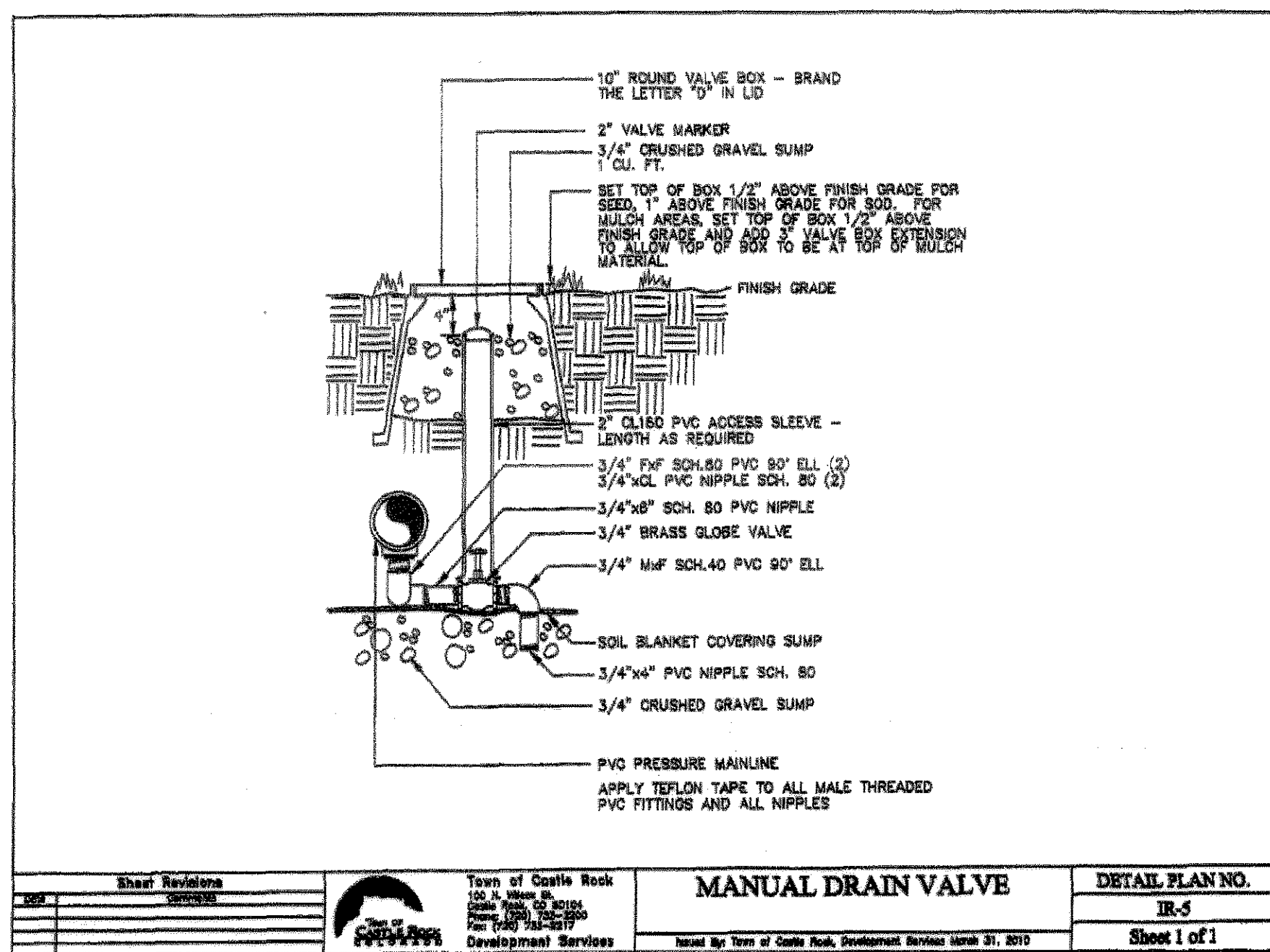
**ELECTRIC CONTROL VALVE**

2



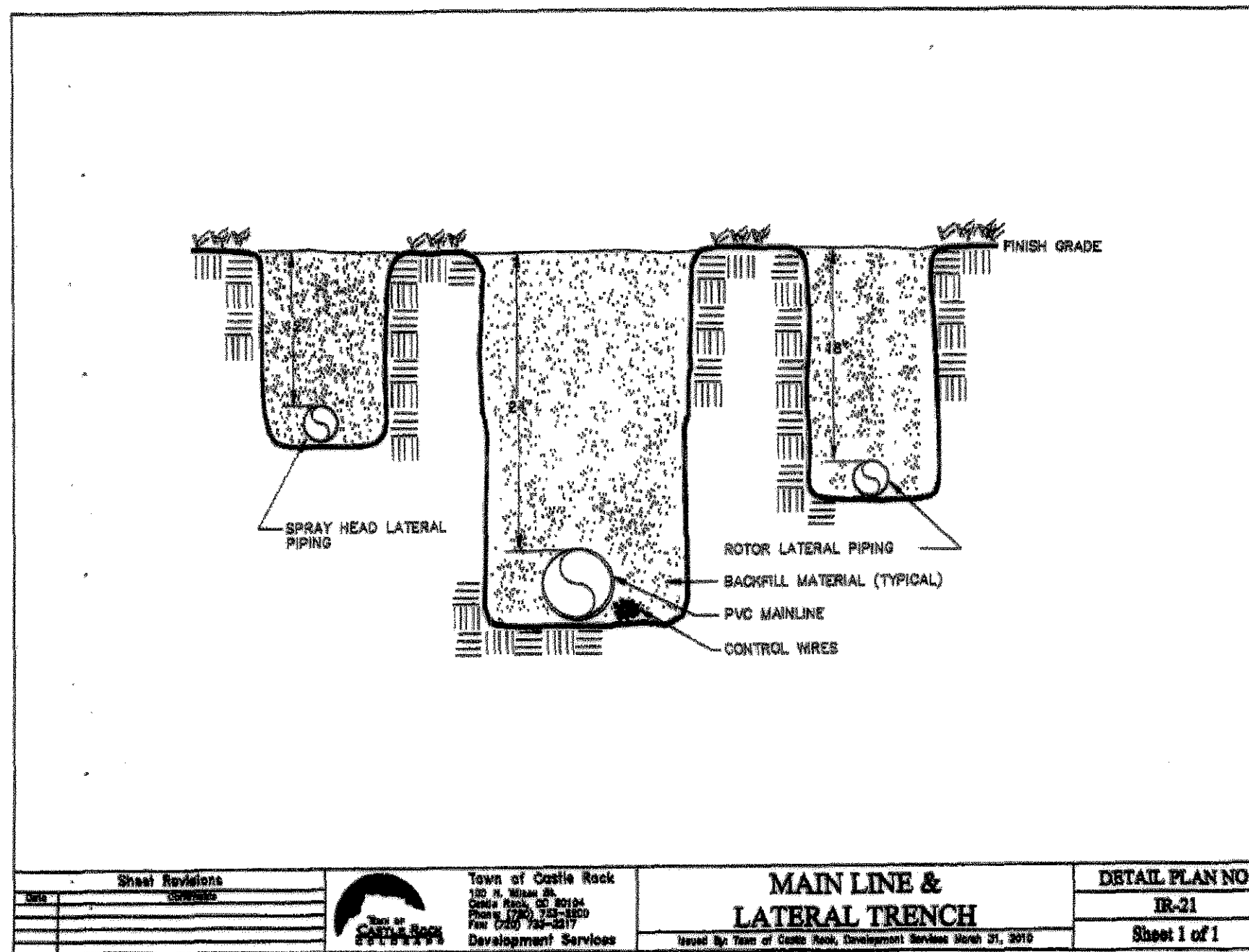
**QUICK COUPLING VALVE**

3



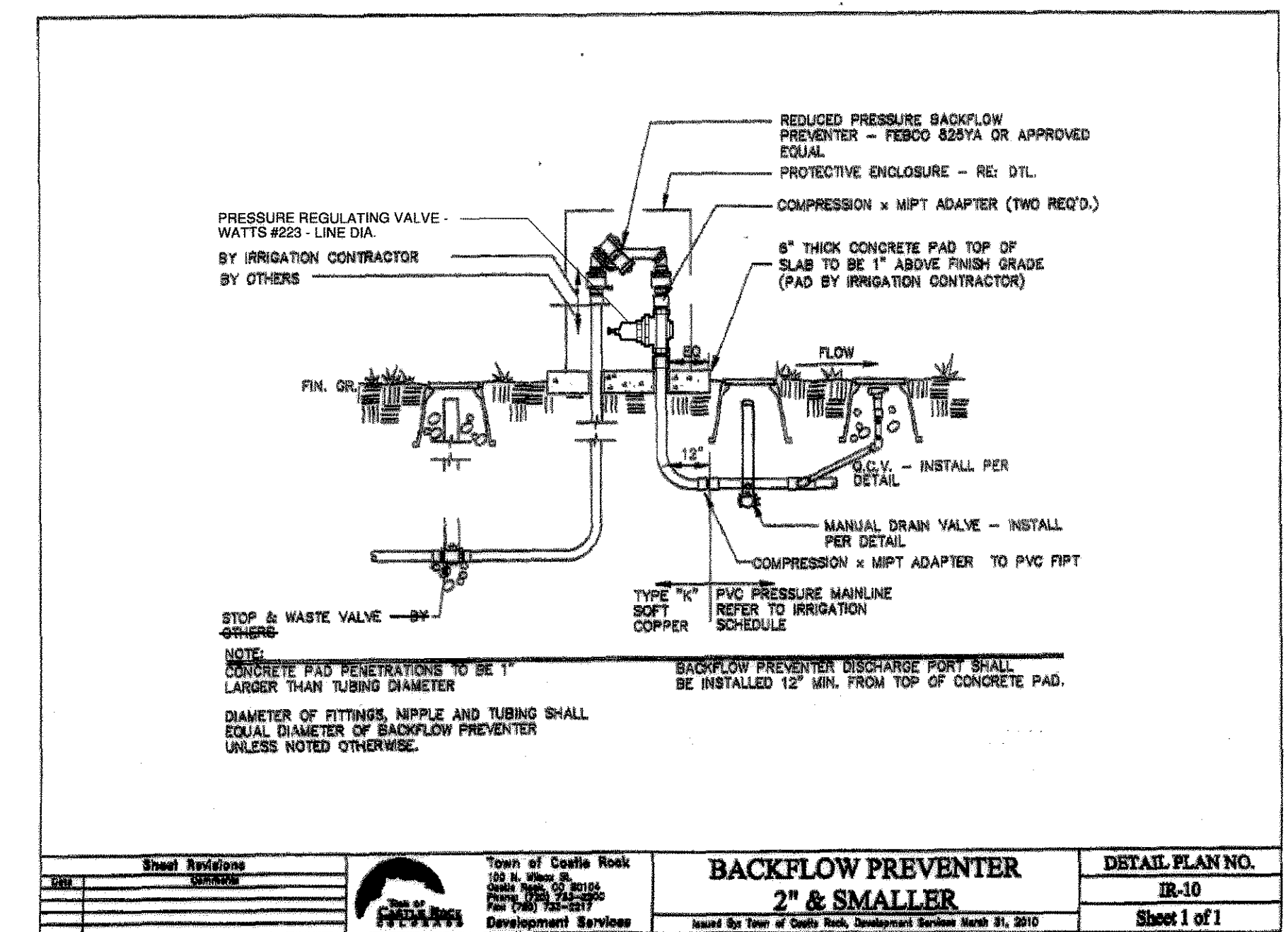
**MANUAL DRAIN VALVE**

4



**TRENCHES**

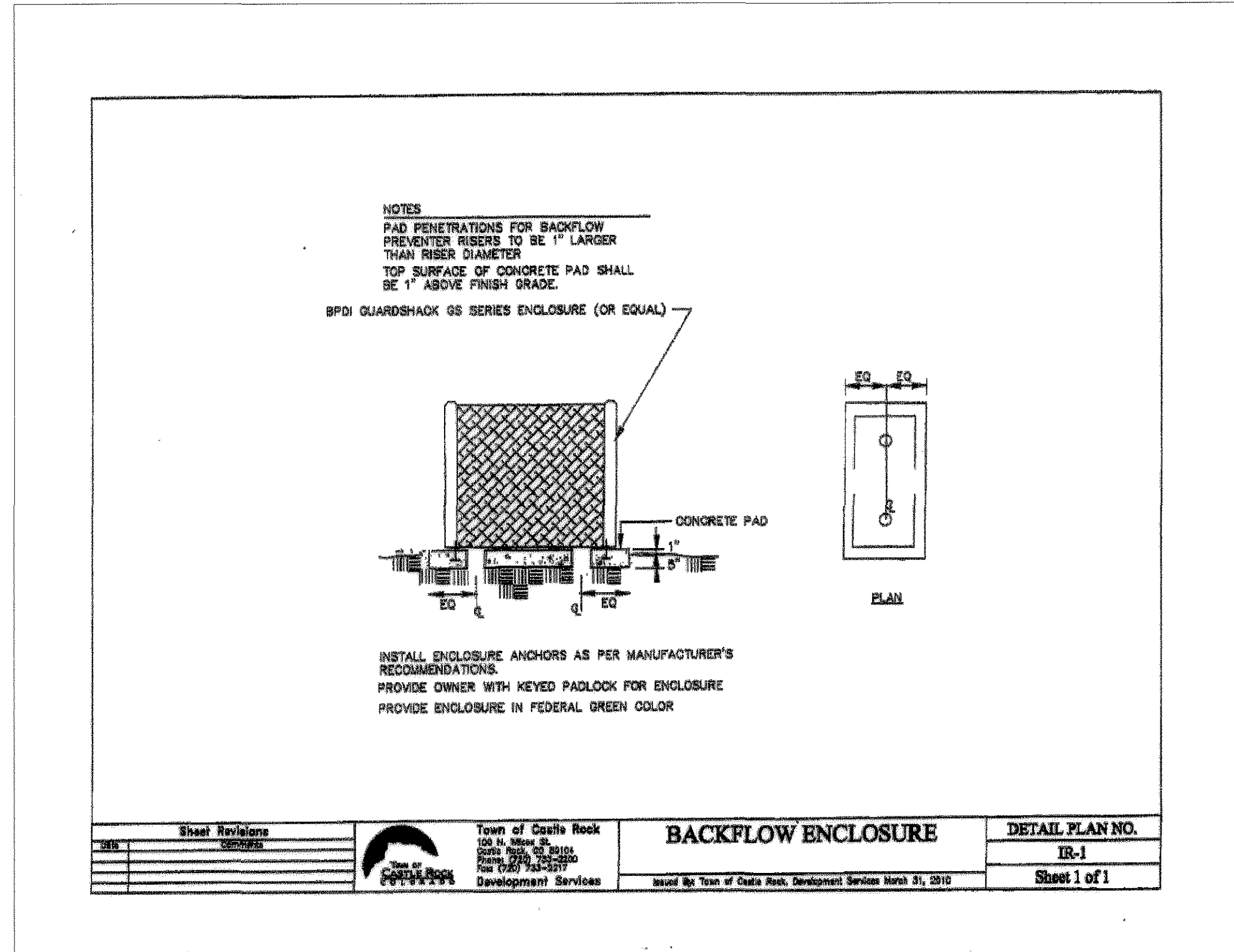
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**BACKFLOW PREVENTER w/ PRV**

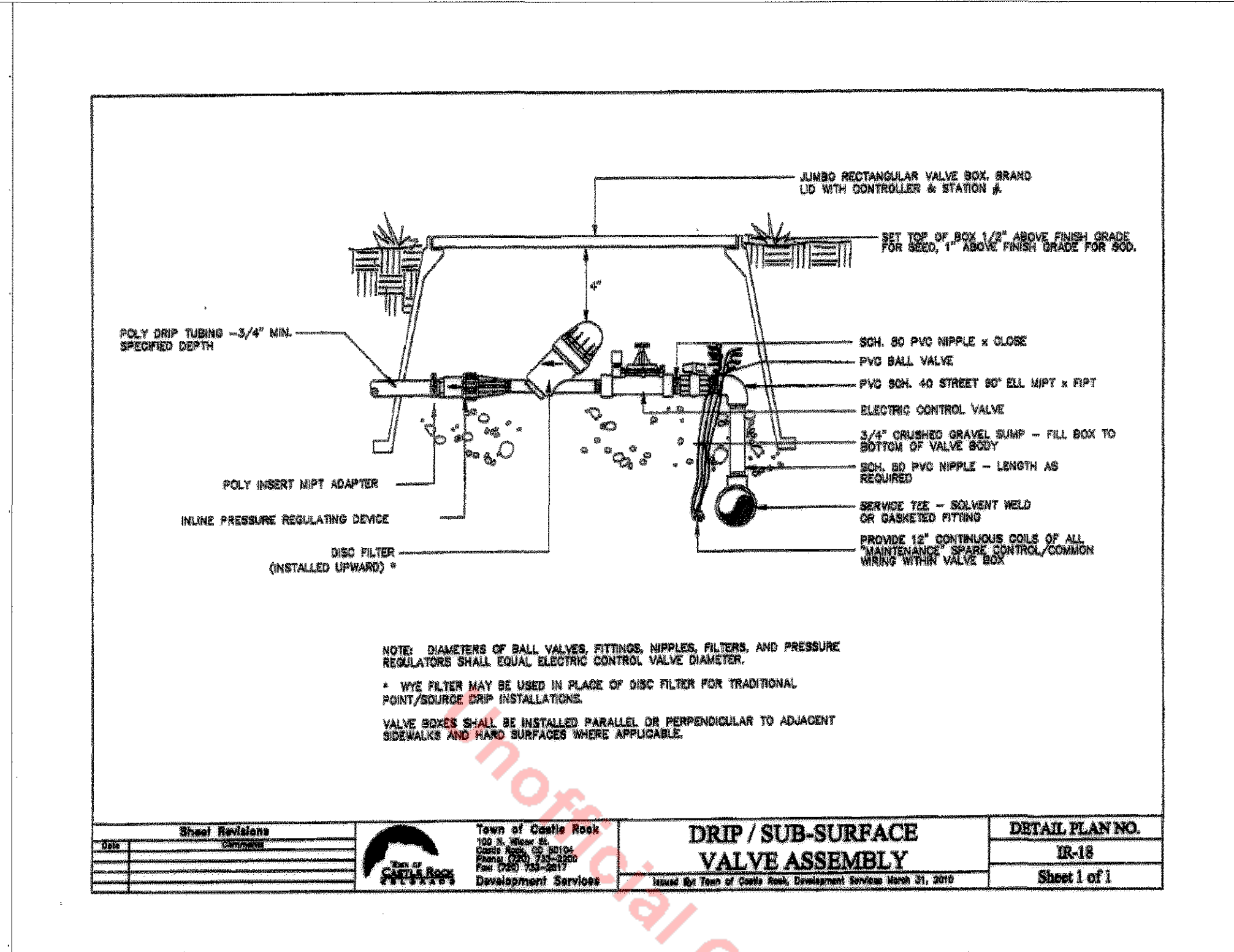
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FINAL PD SITE PLAN  
 LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4,  
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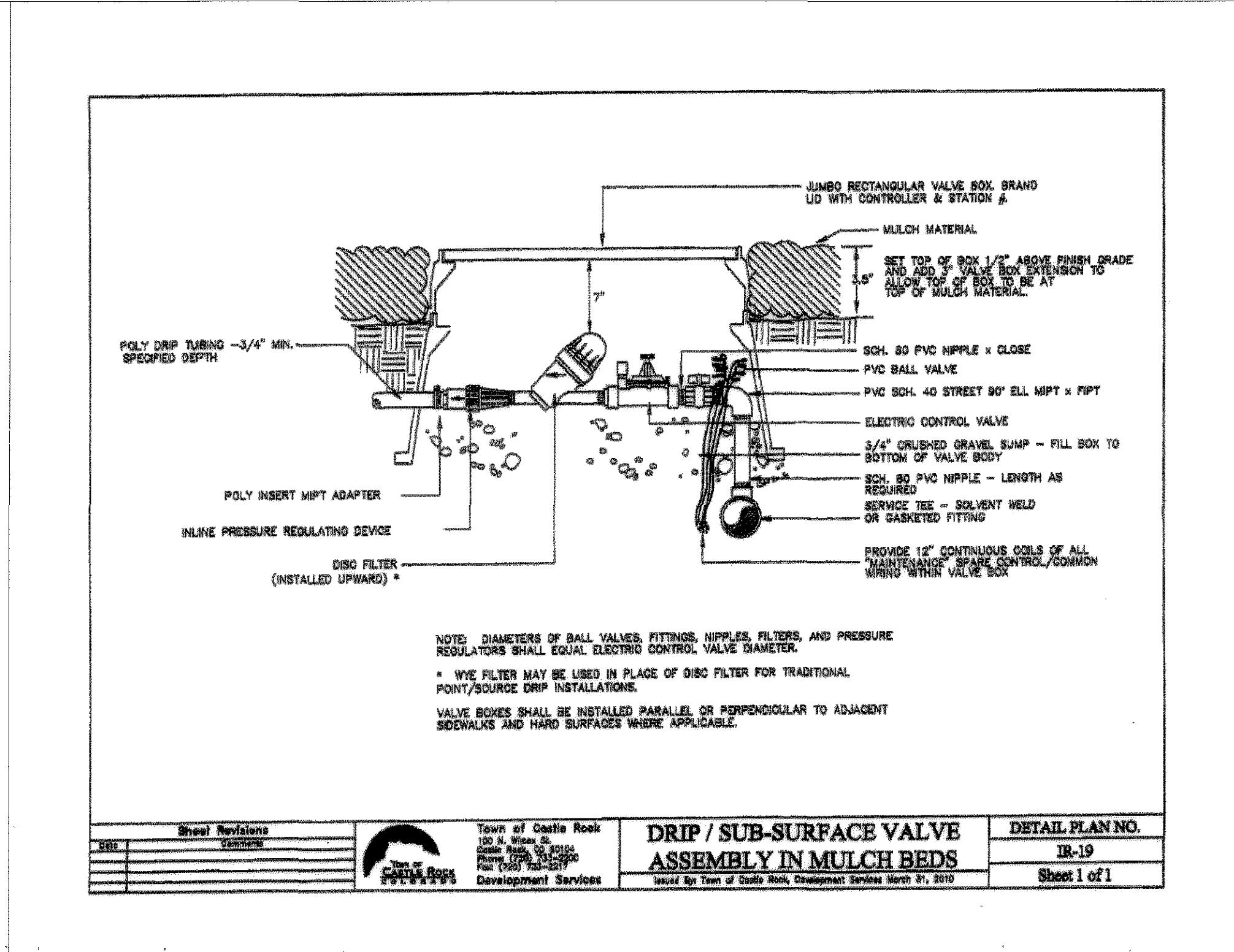
**BACKFLOW ENCLOSURE**

7



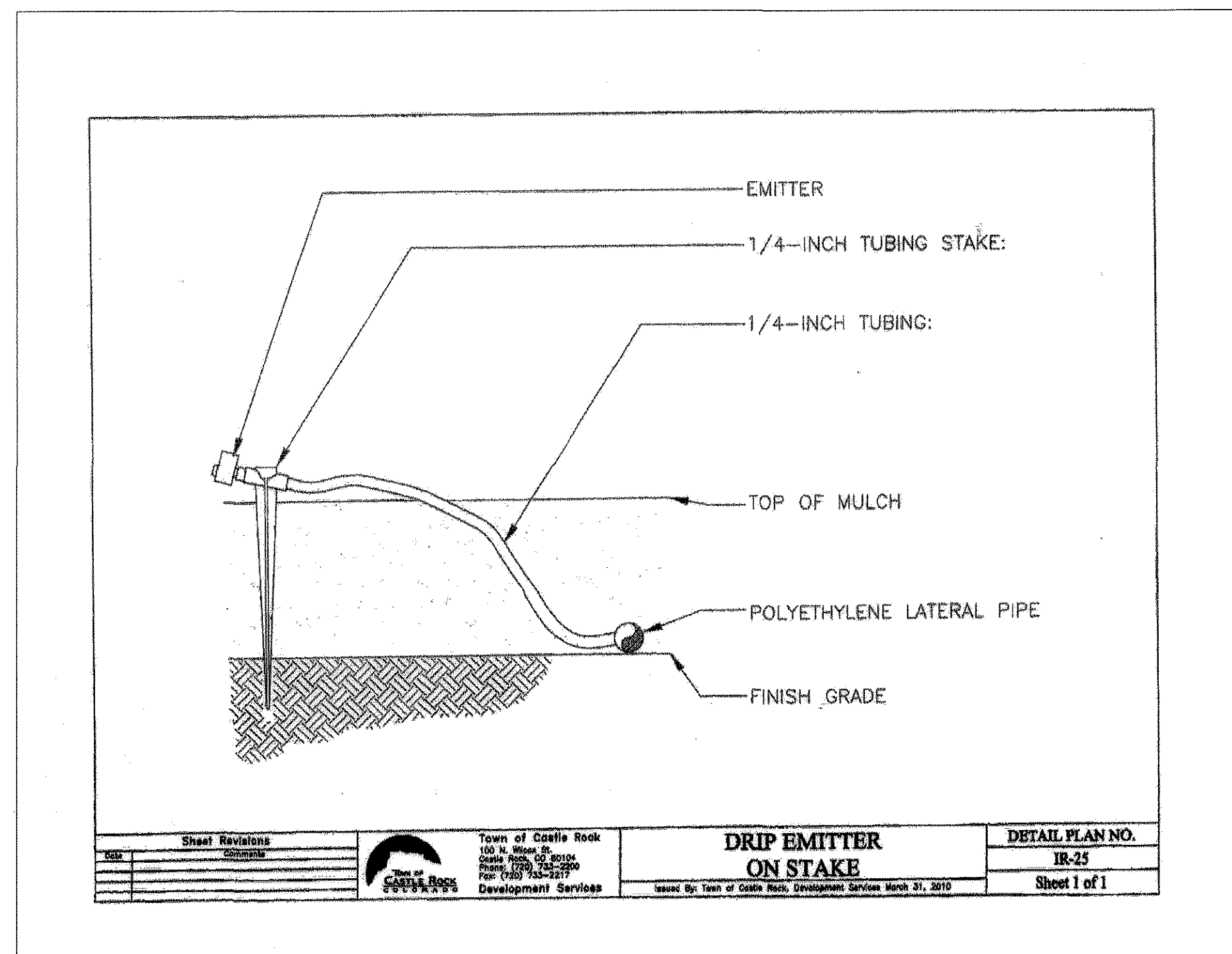
**DRIP VALVE ASSEMBLY**

8



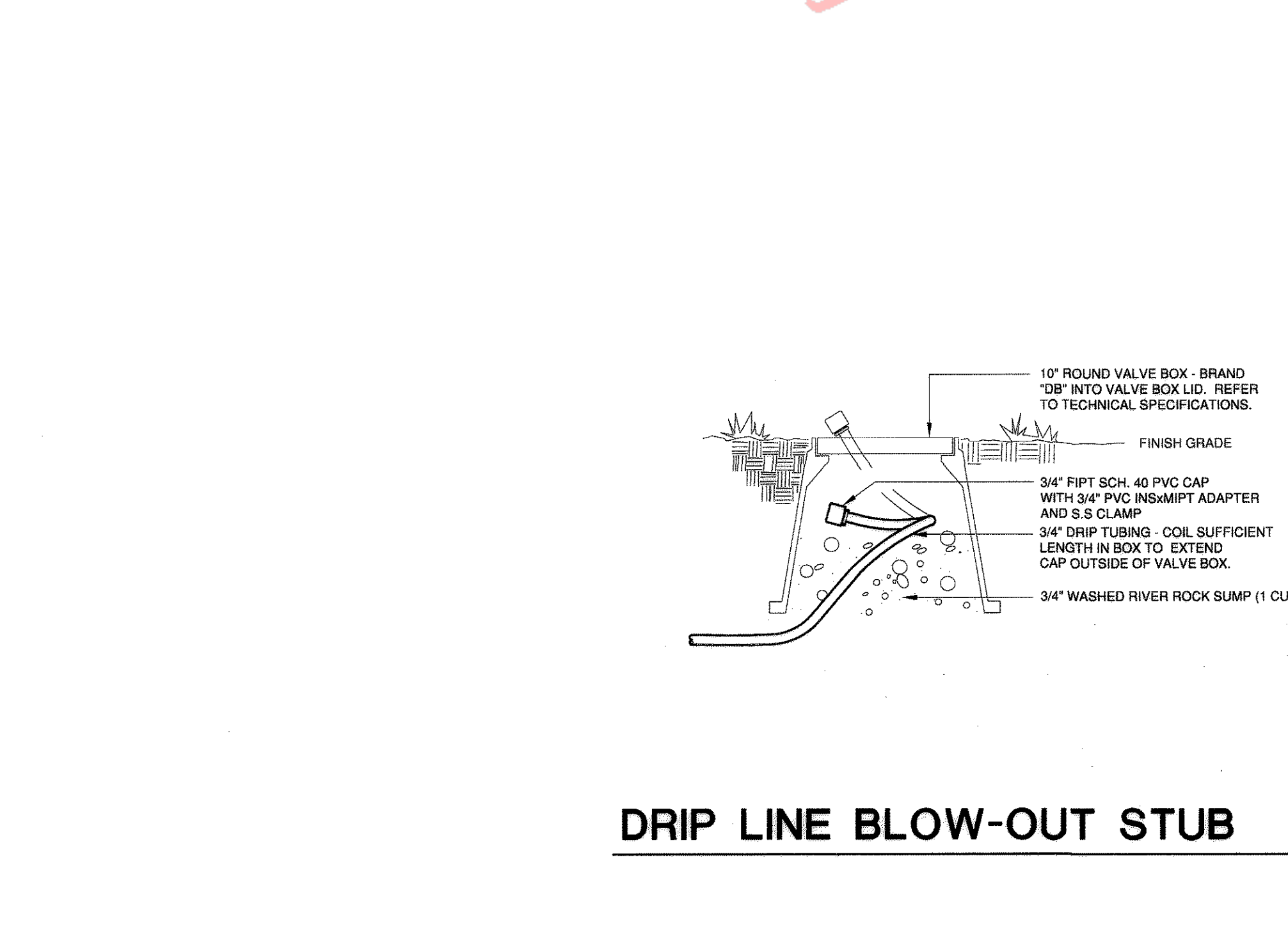
**DRIP VALVE ASSEMBLY IN MULCH BED**

9



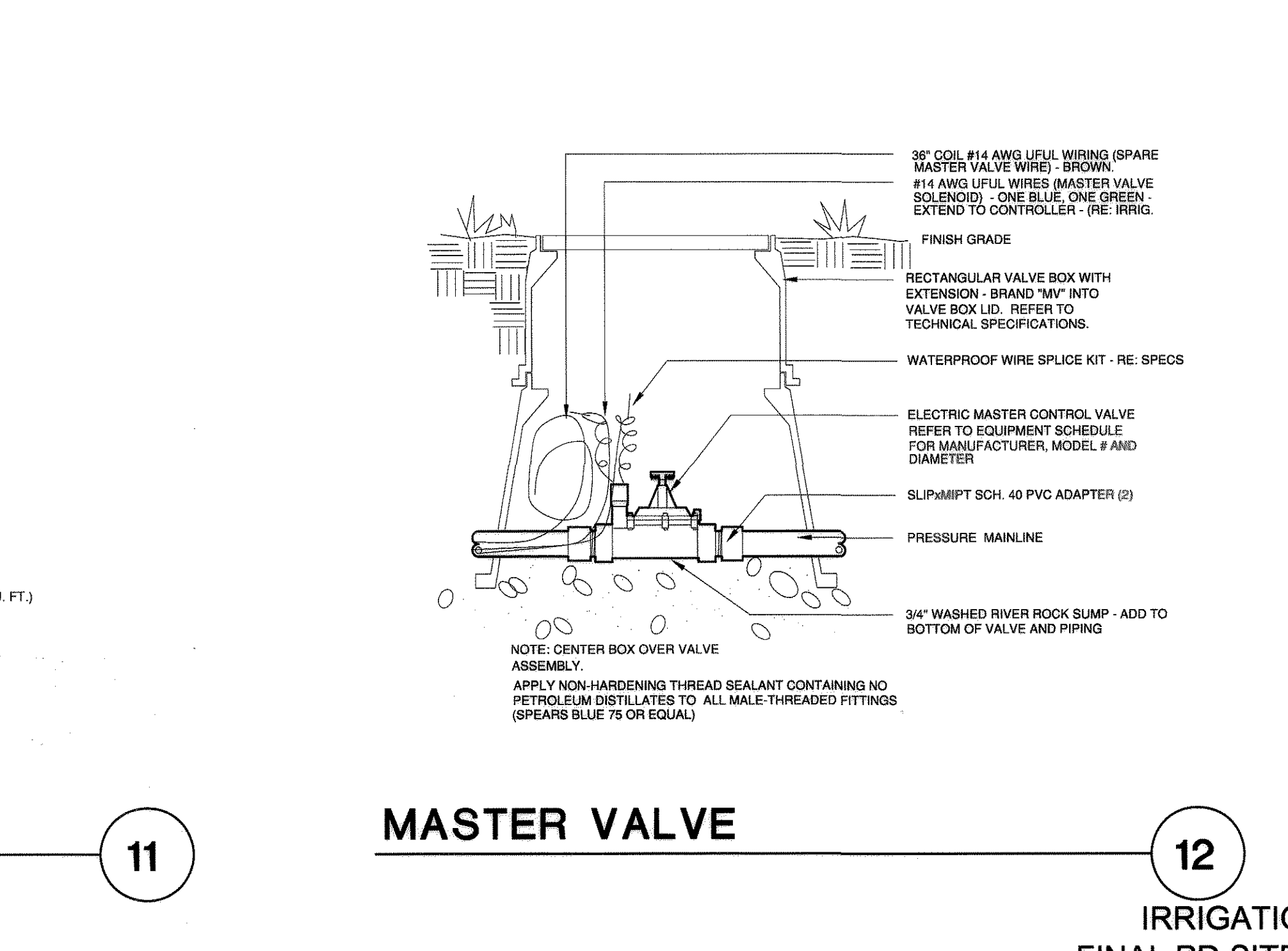
**DRIP EMITTER**

10



**DRIP LINE BLOW-OUT STUB**

11



**MASTER VALVE**

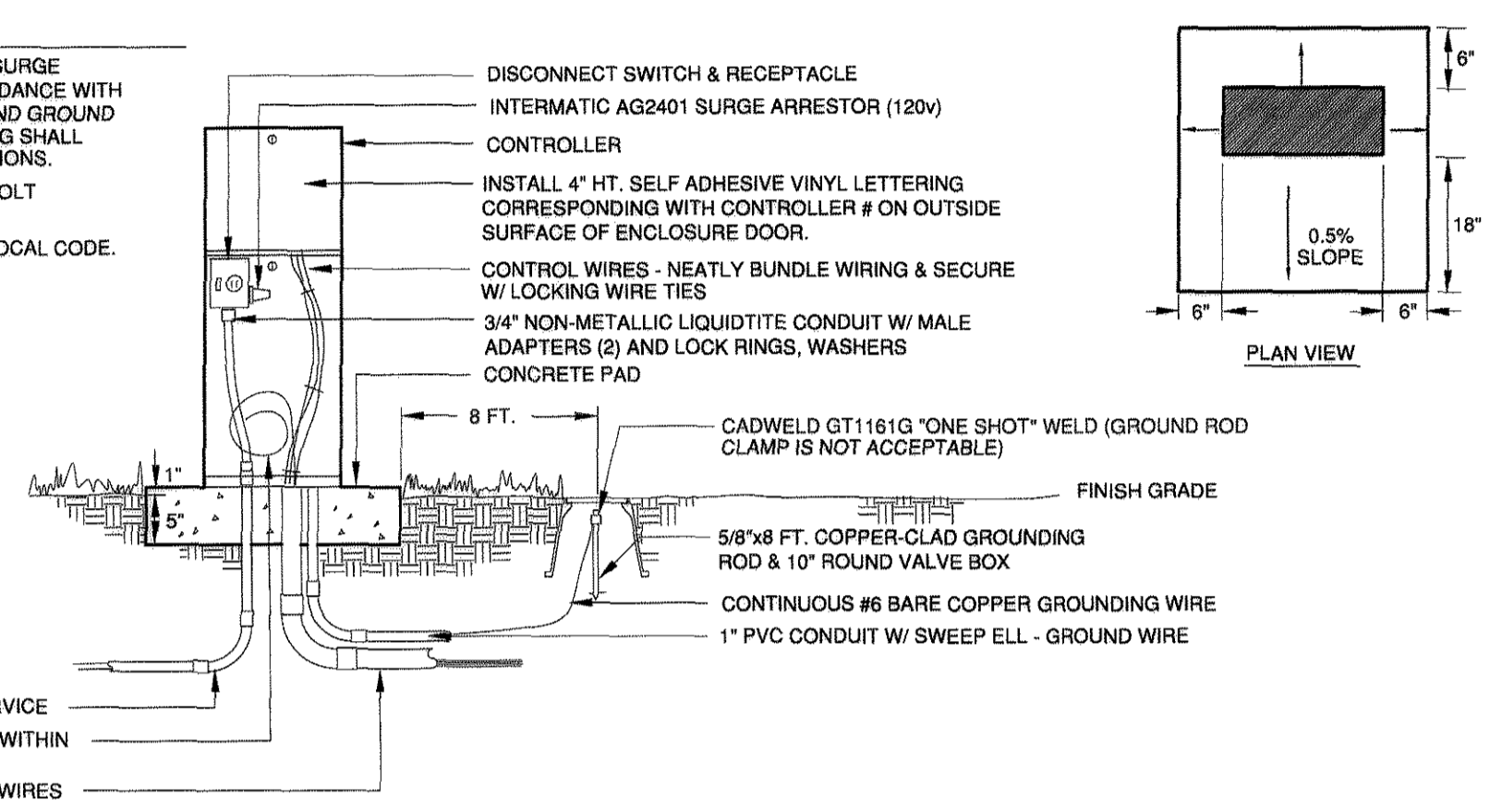
12

# FINAL PD SITE PLAN

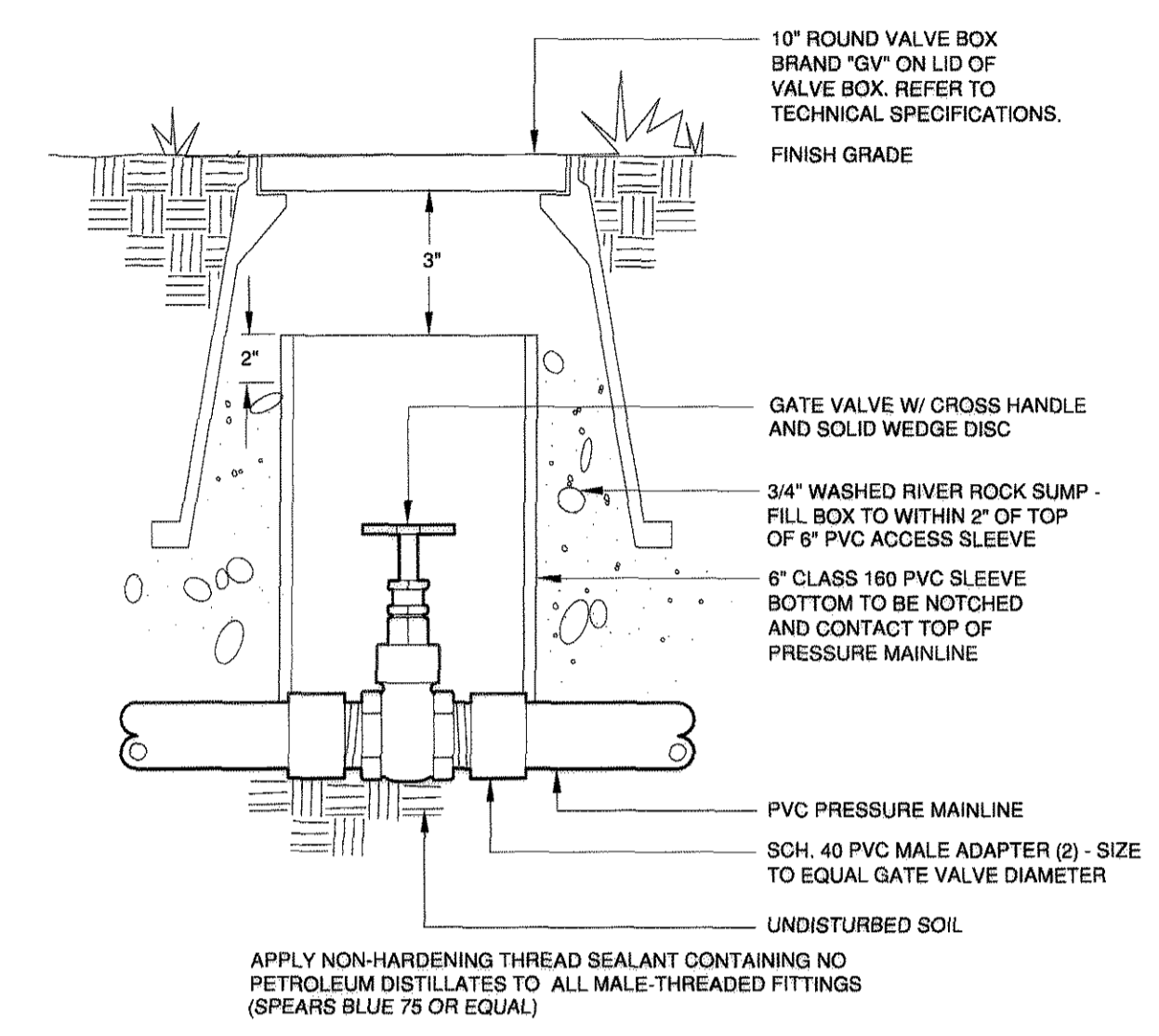
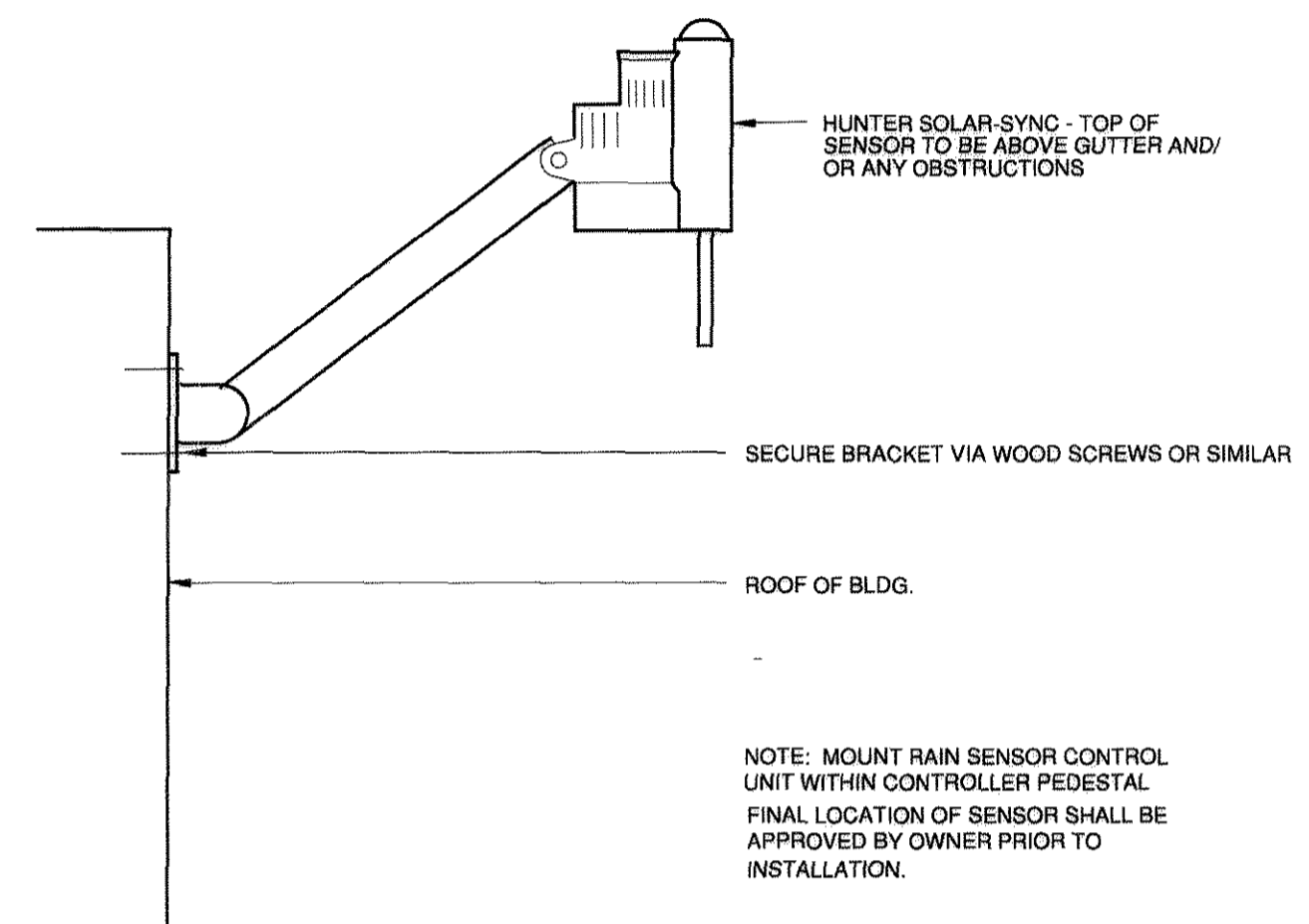
## LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 4,

SITUATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF  
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IRRIGATION DETAILS

**NOTES:**  
CONTRACTOR TO GROUND AND PROVIDE SURGE PROTECTION FOR CONTROLLER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND GROUND ROD(S) SHOWN. CONTROLLER GROUNDING SHALL COMPLY W/ MANUFACTURER'S SPECIFICATIONS.  
INSTALL A DISCONNECT SWITCH AND 120 VOLT GFI RECEPTACLE WITHIN PEDESTAL.  
ALL ELECTRICAL WORK TO CONFORM TO LOCAL CODE.



3/4" PVC CONDUIT W/ SWEEP ELL - 120v SERVICE  
PROVIDE 48" LENGTH OF ALL SPARE WIRES WITHIN PEDESTAL, NEATLY COILED.  
2" PVC CONDUIT W/ SWEEP ELL - CONTROL WIRES



**ELECTRIC CONTROLLER**

13

**WEATHER SENSOR**

14

**GATE VALVE**

15

### Irrigation System Hydraulic Worksheet

**Project Name:** Castle Rock Retail      **Date:** Oct., 2012  
**Project Location:** Meadows Parkway & Limelight Dr.  
**Prepared by:** Avocet Irrigation Design (David Zickerman)      **Current TOCR Registration #** 5170  
calca prepared for zone A1      **Source of Pressure** Castle Rock Utilities

**Tap Size** 0.75"      **Static Water Pressure:** 98 psi

**Hydraulic Grade At Zone:**

Service Line to meter:	Fl. of Copper	Pipe Size (")	Company	Friction Loss (from chart)	Flow-GPM	Loss/Gain
Water Meter:	10 LF	0.75	K Copper	14.41 /100 FT	10	1.44
Service Line (meter to backflow):	10 LF	0.75	K Copper	14.41 /100 FT	10	1.44
Backflow:	Febco 825YA	3/4"		12	10	12.00
Master Valve:	Hunter ICV	1"		2	10	2.00

Pressure Required at Head: Rotary nozzle on 8" spray head (no regulator)      50  
Lateral Allowance: 4.00  
Control Valve Allowance: 2.00

**Mainline Allowances:**

Length of Mainline	Pipe Material	Size	Gals.	GPM	Loss/Gain
250 LF	CL200BE	1-1/2" @	10	0.22 /100 FT	0.55
	LF	CL200BE	10	GPM-Looped	/100 FT 0.00

Elevation: Tap elevation 6,135      High/Low: 8,135      0.00

Green shading indicates required information you must provide

**Total System requirements (PSI) 74.73**

**Available System Pressure (PSI) 98.00**

Town of Castle Rock provides a minimum of 43 psi

**Total irrigated area for tap # 1 is 20,392 sq. ft.**

Revised 11/14/2012

### IRRIGATION CHART

Registered Professional David Zickerman      Registration # 5170      Date 11-13-2012  
Company Name Avocet Irrigation Design      Address 7114 W. Jefferson Ave., Suite 200, Lakewood, CO  
Phone 303-986-2175      Email avocet@wisper.net      Clock Make Hunter Model I-CORE

Zone	Hydrozone	Plant Type	Head Type	Nozzle	App. Rate	GPM	Inch	Run Time	Water Usage
	Very Low <5' Low 5-10' Medium 10-15' High >15'	(Turf, Native Shrubs, Perennials, Trees, Annuals, etc.)	(Robos. Sprays, Bubblers, Drip, SD, etc.)	(Nozzle/Emitter size)	(Inches/hour)	(Per Zone)	(Peak: 6"/month)	(Minutes Every Third Day)	(Gallons per month)
Ex: 1	High	Blue Grass	RB 1806 SAM PRS	15'	1.83	15	6	197	2951
Ex: 2	Low	Buffalo Grass	Hunter I-20	3	0.4	15	7	150	2292
1		Can. B. Fescue	PROS-06-CV	MP Strip	0.56	9	3	321	2893
2		Can. B. Fescue	PROS-06-PRS40-CV	MP Rotator	0.39	8	3	462	3692
3		Can. B. Fescue	PROS-06-PRS40-CV	MP Strip	0.56	10	3	321	3214
4		Can. B. Fescue	PROS-06-PRS40-CV	MP Strip	0.56	10	3	321	3214
5		Can. B. Fescue	PROS-06-PRS40-CV	MP Strip	0.56	7	3	321	2250
6		Can. B. Fescue	PROS-06-PRS40-CV	MP Strip	0.56	7	3	321	2250
7		Can. B. Fescue	PROS-06-PRS40-CV	MP Strip	0.56	8	3	321	2571
8		Shrubs	Drip	1.0 GPH	0.5	3	3	0	0
9		Shrubs	Drip	1.0 GPH	0.5	3	3	0	0
10		Shrubs	Drip	1.0 GPH	0.5	3	3	0	0
11		Shrubs	Drip	1.0 GPH	0.5	3	3	0	0
12		Shrubs	Drip	1.0 GPH	0.5	3	3	0	0
13								0	0
14								0	0
15								0	0
16								0	0
17								0	0
18								0	0
19								0	0
20								0	0
21								0	0
22								0	0
23								0	0
24								0	0
25								0	0
26								0	0
27								0	0
28								0	0
31								0	0
<b>Total</b>								<b>2390</b>	<b>20085</b>

**Totals**      Min/Month      Min/cycle      Gallons/Month

**DRIP ZONES TO OPERATE DURING DAY HOURS**  
**TURF ZONES WILL OPERATE INDIVIDUALLY (NONE SIMULTANEOUSLY)**

**Castle Rock Retail**

**Seasonal Water Use and Peak Flow Projections**

11/13/12

Description	Irrigated Acres	Month	Application Rate (in./month)	Monthly water use (gallons)	Maximum Required Flow-(GPM)
<b>Irrigated Turf Grass</b>	0.13	April	0.00	0	
		May	2.07	7,026	
		June	3.11	10,555	
		July	4.00	13,576	4.1
		August	3.40	11,540	
		Sept. / Oct.	2.22 / 0.00	7,535 / 0	
annual sub-total		14.80 /yr		50,232 /yr	0.15 acrefeet
<b>Irrigated Shrub Beds</b>	0.34	April	0.00	0	
		May	1.36	4,584	
		June	2.13	7,026	
		July	2.72	9,024	8.0 *see below
		August	2.37	7,879	
		Sept. / Oct.	1.42 / 0.00	4,698 / 0	
annual sub-total		10.00 /yr		32,187 /yr	0.28 acrefeet
<b>Totals</b>	<b>0.47 irrigated acres</b>			<b>142,550 gals/yr</b>	<b>0.44 acrefeet/yr</b>

**4 GPM - peak flow required**

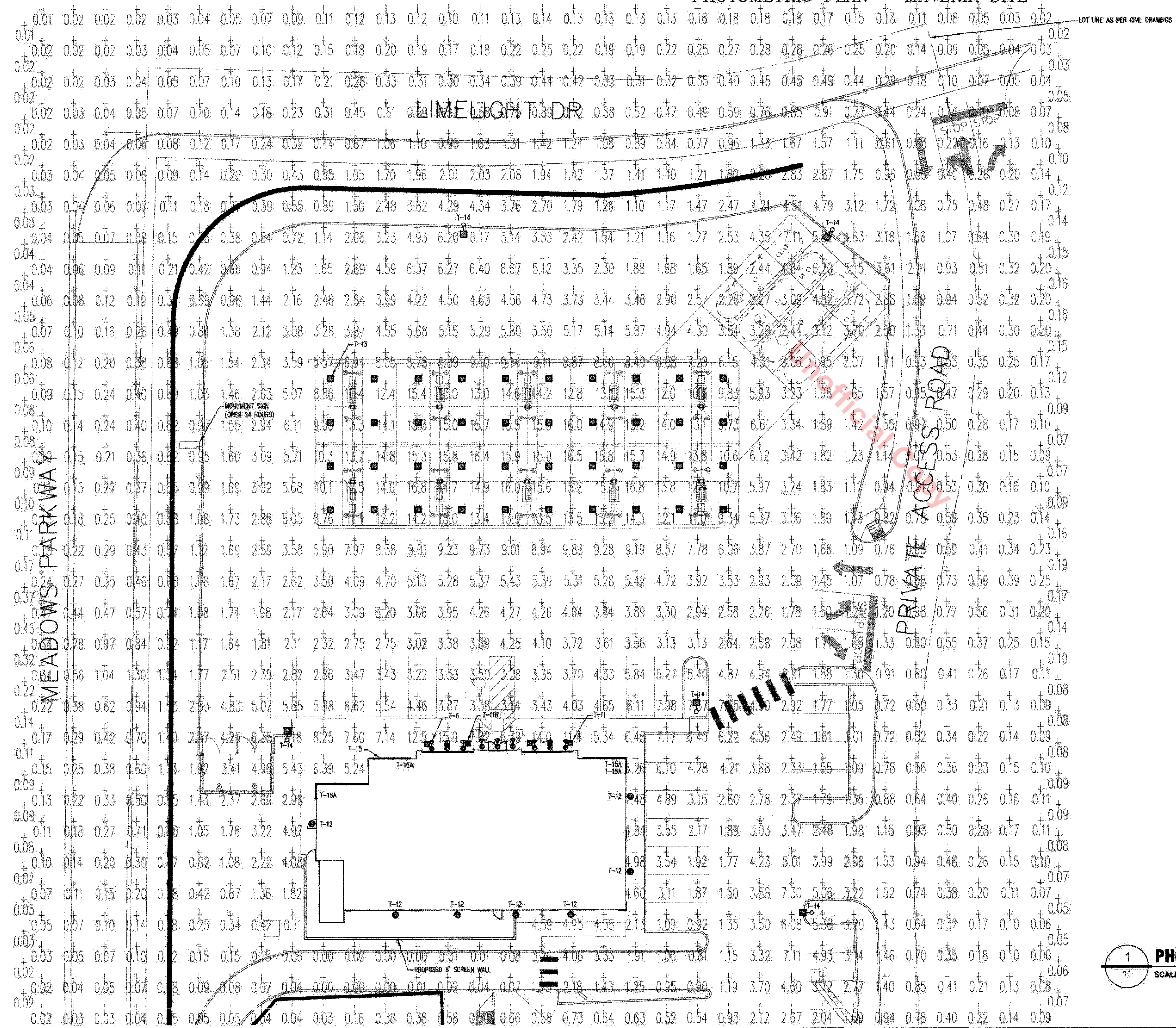
\*Drip valves will operate during the day and therefore do not add to the peak flow required.

**IRRIGATION DETAILS**  
**FINAL PD SITE PLAN FOR**  
**THE MEADOWS FILING 17, AREA NO. 4**  
**AMENDMENT NO. 4, LOT 6G-2**  
**FPD 12-0005**  
**DATE: NOVEMBER 30, 2012**  
**SHEET 10 OF 15**

Avocet IRRIGATION DESIGN  
7114 W. JEFFERSON AVENUE, SUITE 201  
LAKEWOOD, COLORADO 80235  
VOICE: 303.986.2175  
FAX: 303.986.3814

IRRIGATION PLAN PREPARED BY: DAVID ZICKERMAN  
CASTLE ROCK REGISTRATION NO. 5170

**FINAL PD SITE PLAN**  
**LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4,**  
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 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
**PHOTOMETRIC PLAN - MAVERIK SITE**



LOT LINE AS PER CIVIL DRAWINGS

CALCULATION SUMMARY									
AREA NAME	DIMENSIONS	GRID TYPE	# PTS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN AVE/MIN
PARKING	132x163(119x1)	10' A.F.G. 7'H-H	968	10.00	<=>	2.32	16.75	0.00	167x 167x

MASTER LUMINAIRE SCHEDULE										
TYPE	MANUFACTURER	CATALOG NUMBER	VOLTS	MOUNTING	LAMPS	BALLAST	WATTS	LUMENS	LLF	IMAGE
T-6	DESCRPT.	WALL MOUNTED ANGLE FLUORESCENT LUMINAIRE 8" WITH 26" CROOKED ARM. REMOTE BALLAST SPECTRUM LIGHTING AR1214CF132EX/FJ1/PA23/CP106/GLOSS GREEN UNV	120	WALL HEIGHT SPECIFIED BY ARCHITECT	CFL32 REB35 120V	ELEC	35	2200	1.0	
T-11	DESCRPT.	RECESSED DOWN LIGHT 6" APERTURE, HORIZONTAL, 42W CF-AMALGAM LAMP CLEAR. SELF FLANGING TRIM UNLESS NOTED.	120	MT RECESSED	CFL42	ELEC	48	3200	1.0	
T-12	DESCRPT.	FULL CUTOFF WALL PACK, 100W PSMH, DB	120	WALL HEIGHT SPECIFIED BY ARCHITECT	100W PSMH	HX-HPF	125	9000	1.0	
T-13	DESCRPT.	CANOPY MOUNTED, CUTOFF LUMINAIRE, 100W PSMH, FLAT LENS, FOR SINGLE DECK CANOPIES	120	MT CANOPY	INCLUDED	HX-HPF	125	8100	1.0	
T-14	DESCRPT.	POLE MOUNTED, CUTOFF LUMINAIRE SINGLE HEAD, 350W METAL HALIDE, 25FT SQUARE POLE	208	25'-0" POLE	VENTURE 350	CWA	386	31000	1.0	
T-15	DESCRPT.	8FT T-8 FLUORESCENT STRIP LUMINAIRE, COLD WEATHER (0F) ELECTRONIC BALLAST	UNV	EXTERIOR COVE.	2-F28T8/XL/SPX35 ECO (2725 LUMENS)	ELEC	51	2800	1.0	
T-15A	SAME AS T-15 EXCEPT 4FT.									

\*ALL LUMINAIRES CONTROLLED VIA LIGHTING CONTROL PANEL "L1"  
 \*LUMINAIRES ARE PROVIDED VIA NATIONAL ACCOUNT. CONTACT JRC (801.972.3970) FOR QUOTE



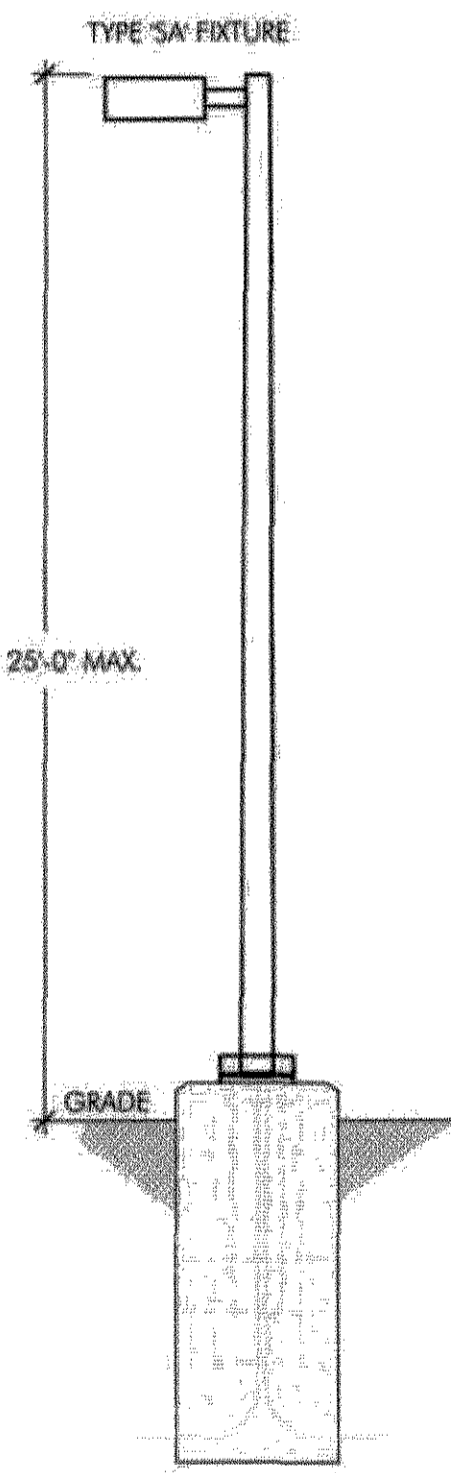
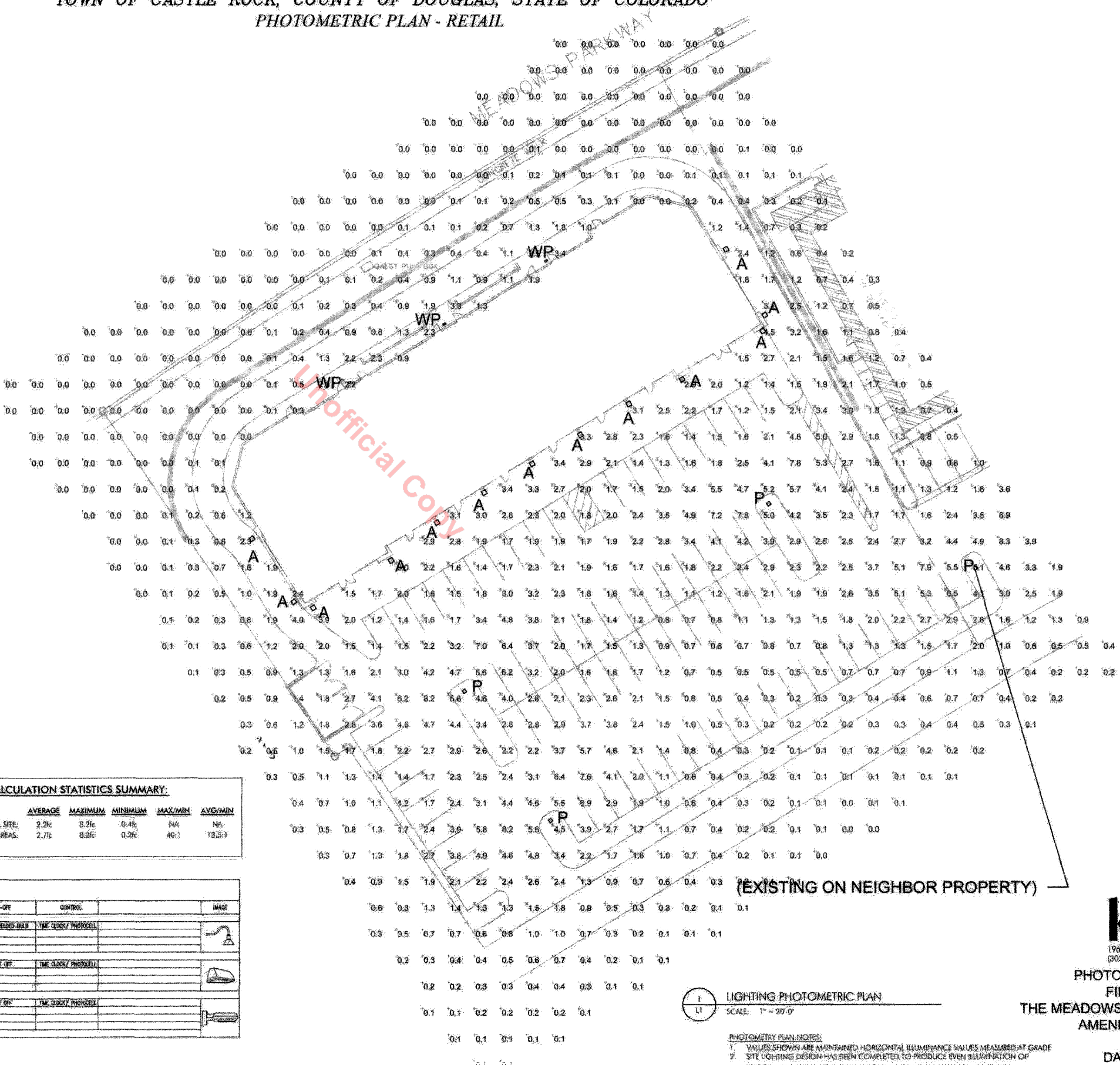
**NELSON**  
 Consulting Engineers  
 156 North Twelfth Avenue  
 Pocatello, Idaho 83201  
 Ph (208) 232-2577  
 FAX (208) 234-0918

**1 PHOTOMETRIC PLAN**  
 SCALE: 1/16"=1'-0"

PHOTOMETRIC PLAN - MAVERIK SITE  
 FINAL PD SITE PLAN FOR  
 THE MEADOWS FILING 17, AREA NO. 4  
 AMENDMENT NO. 4, LOT 6G-2  
 FPD 12-0005  
 DATE: NOVEMBER 30, 2012  
 SHEET 11 OF 15

©, Maverik/Castle Rock, CO - 12318) Elec (CASTLE ROCK ET-2) Aug November 16 2012, 9:58am By: jll

**FINAL PD SITE PLAN**  
**LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4,**  
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 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
**PHOTOMETRIC PLAN - RETAIL**



- NOTE:**
- POLES MUST BE LOCATED 5 FEET FROM TIRE STOPS OR BE INSTALLED ON CONCRETE BASES 30" ABOVE THE PARKING SURFACE. ADJUST POLE HEIGHTS AS REQUIRED TO COMPLY WITH FIXTURE HEIGHT LIMITS.
  - MATCH EXISTING DEVELOPMENT STANDARD POLE HEIGHTS AS REQUIRED, FIELD VERIFY PRIOR TO ANY WORK OR ORDERING OF MATERIALS AND INFORM ENGINEER OF ANY DISCREPANCY.

**LIGHTING CALCULATION STATISTICS SUMMARY:**

	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
OVERALL SITE:	2.2fc	8.2fc	0.4fc	NA	NA
PARKING/PAVED AREAS:	2.7fc	8.2fc	0.2fc	40:1	13.5:1

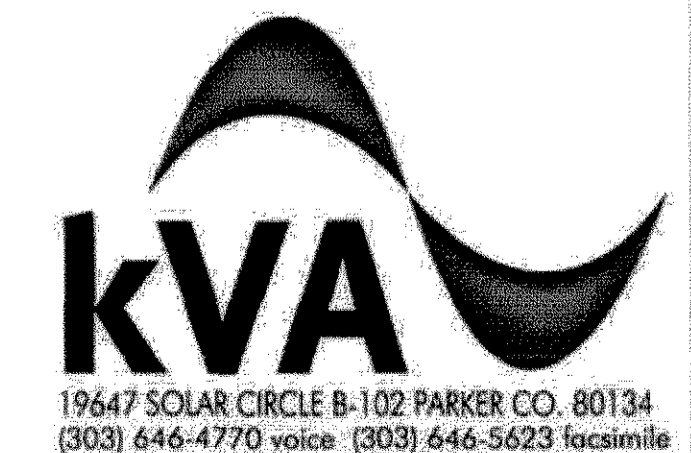
**MASTER LUMINAIRE SCHEDULE**

TYPE	MANUFACTURER	CATALOG NUMBER	VOLTS	MOUNTING	LAMPS	WATTS	LAMP LUMENS	LLF	DISTRIBUTION	MOUNTING HEIGHT	CUT-OFF	CONTROL	IMAGE
A			120	WALL	(2) CFLs	52	1710 (EA)	1.0	N/A	12"	FULLY SHIELDED BULB	TIME CLOCK/ PHOTOCELL	
WP			120	WALL	(2) CFLs	52	1710 (EA)	1.0	N/A	12"	FULLY SHIELDED BULB	TIME CLOCK/ PHOTOCELL	
P			208	25'-0" POLE	VENTURE 350	350	3350	1.0	TYPE III	25'	FULL CUT OFF	TIME CLOCK/ PHOTOCELL	

PHOTO-CELL ON, TIME-CLOCK OFF CONTROLS FOR ALL FIXTURES.

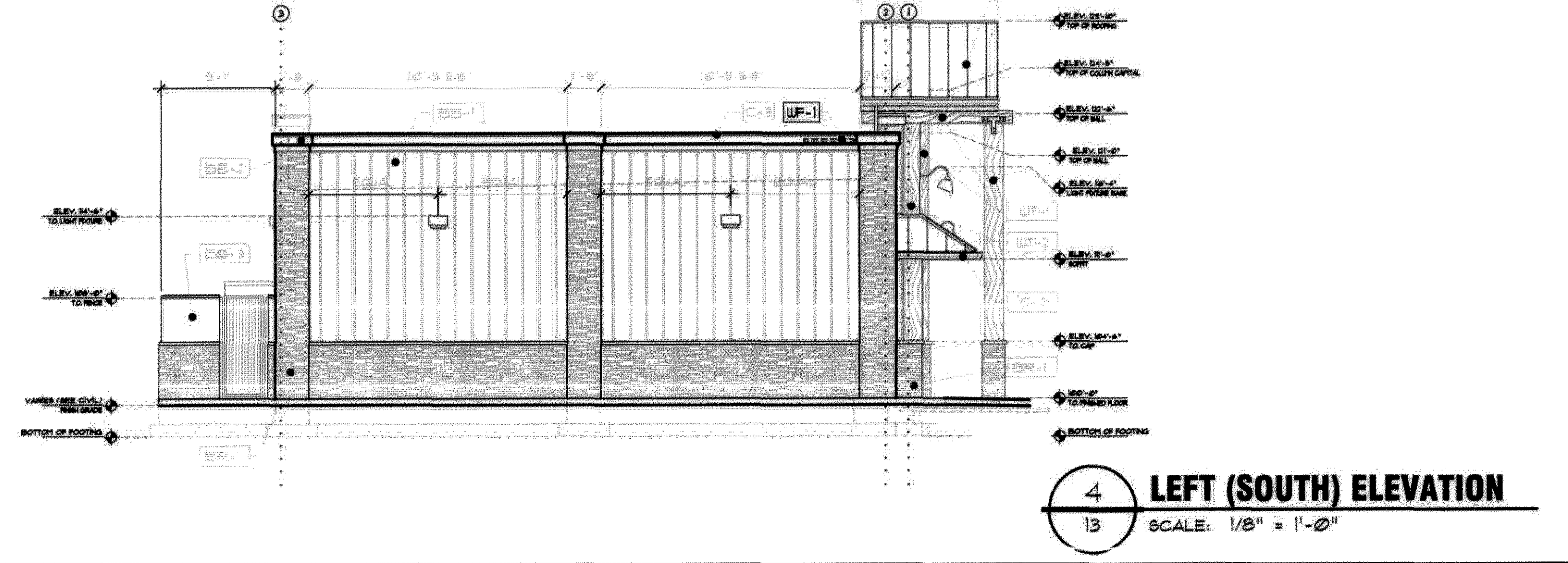
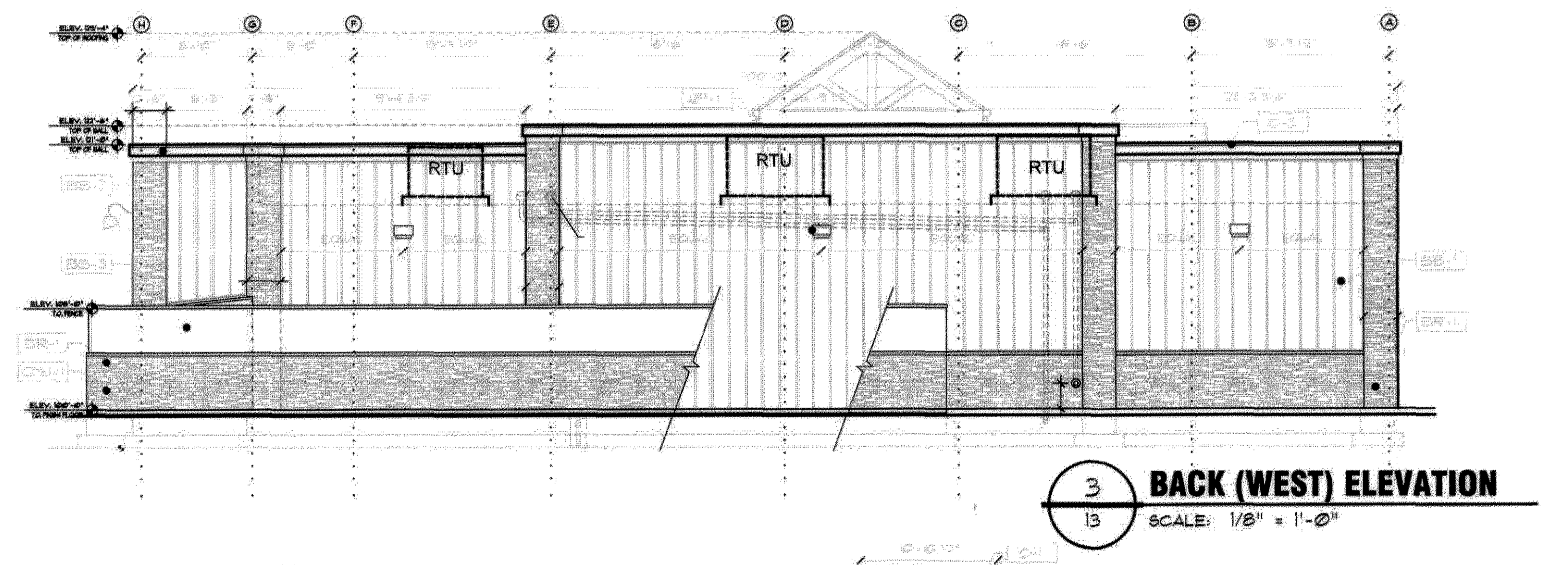
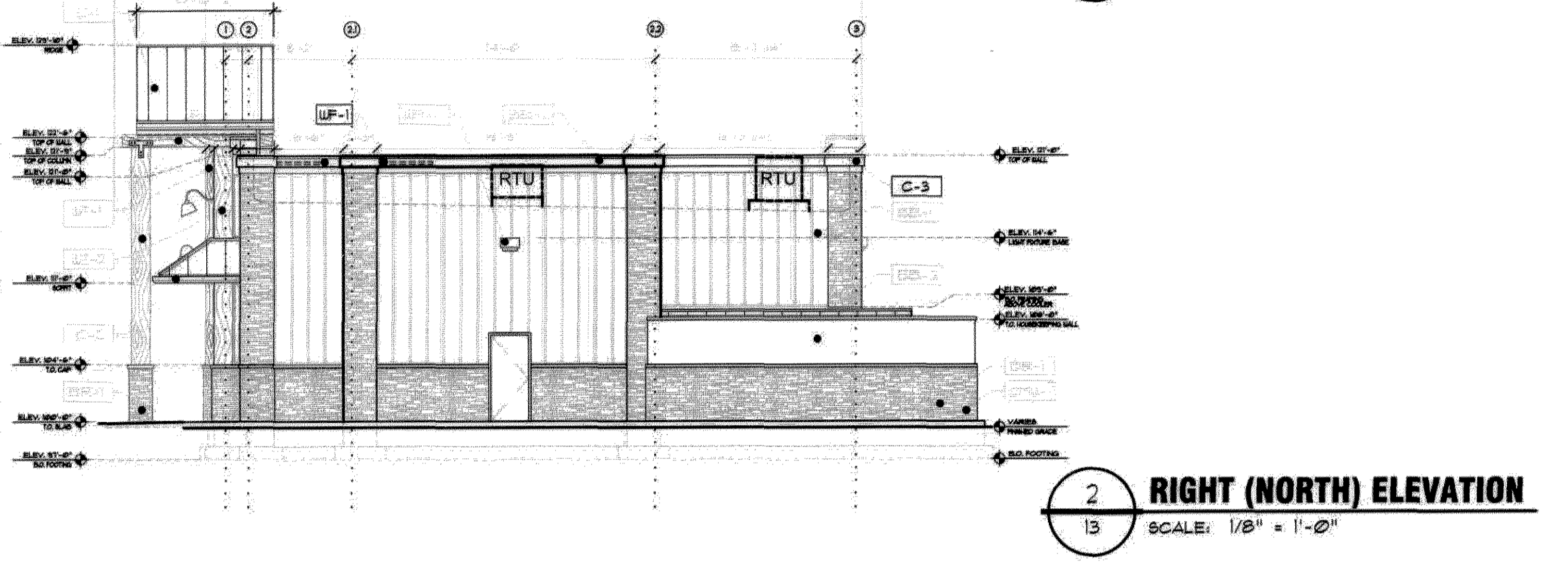
1  
L  
LIGHTING PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"

**PHOTOMETRY PLAN NOTES:**  
 1. VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE  
 2. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS WITH MINIMAL SPARE LIGHT ADJACENT PROPERTIES.

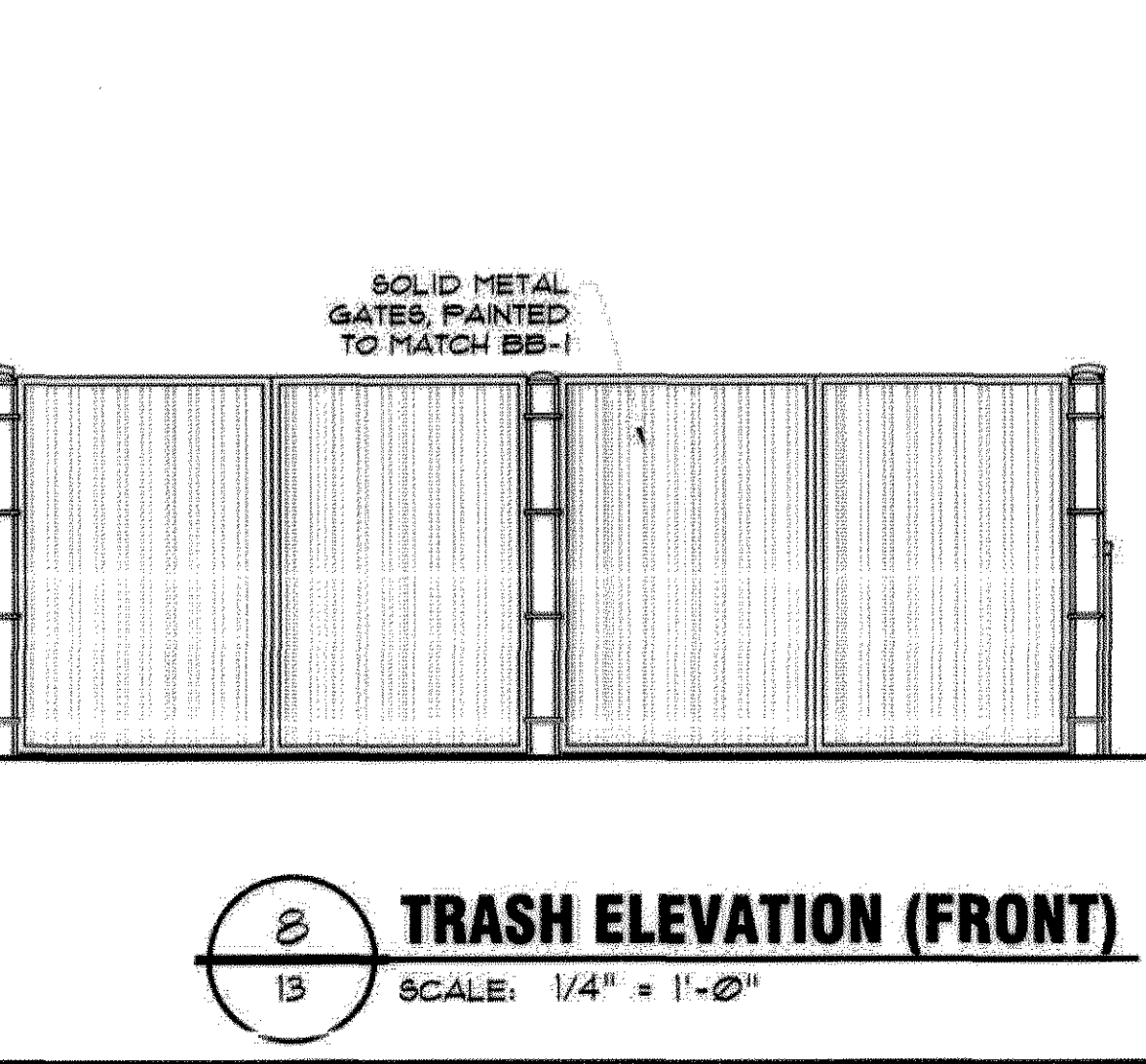
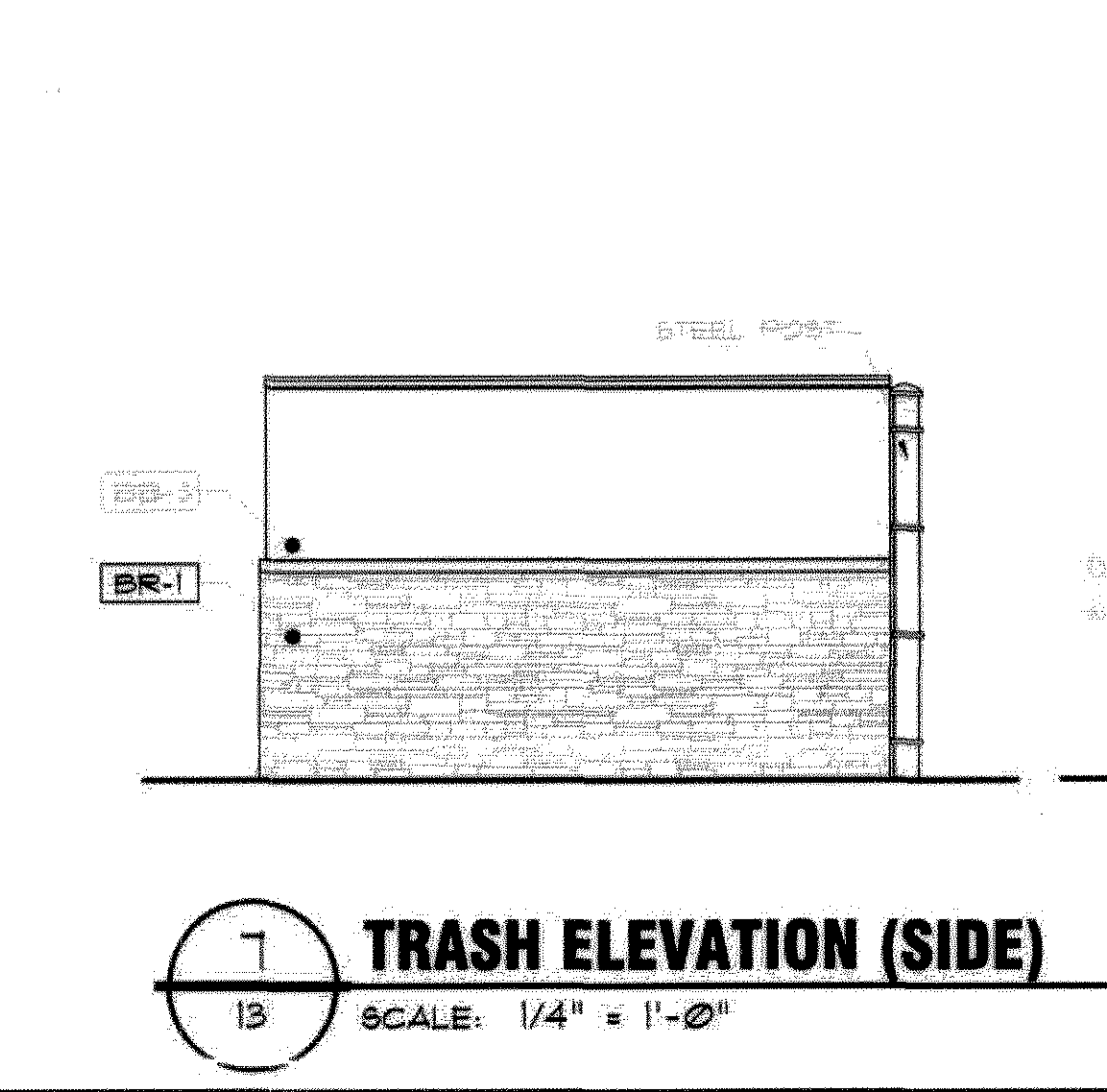
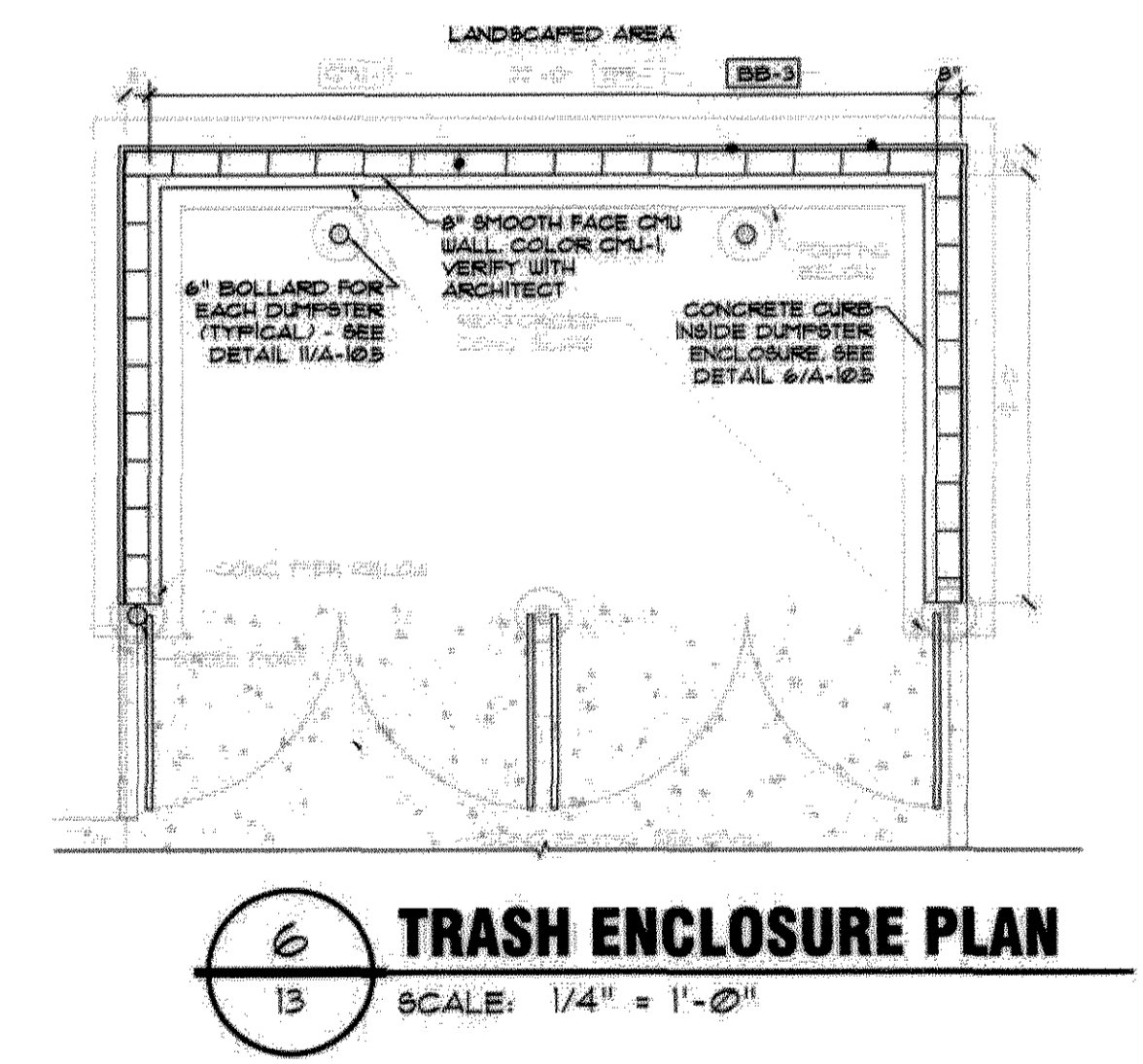
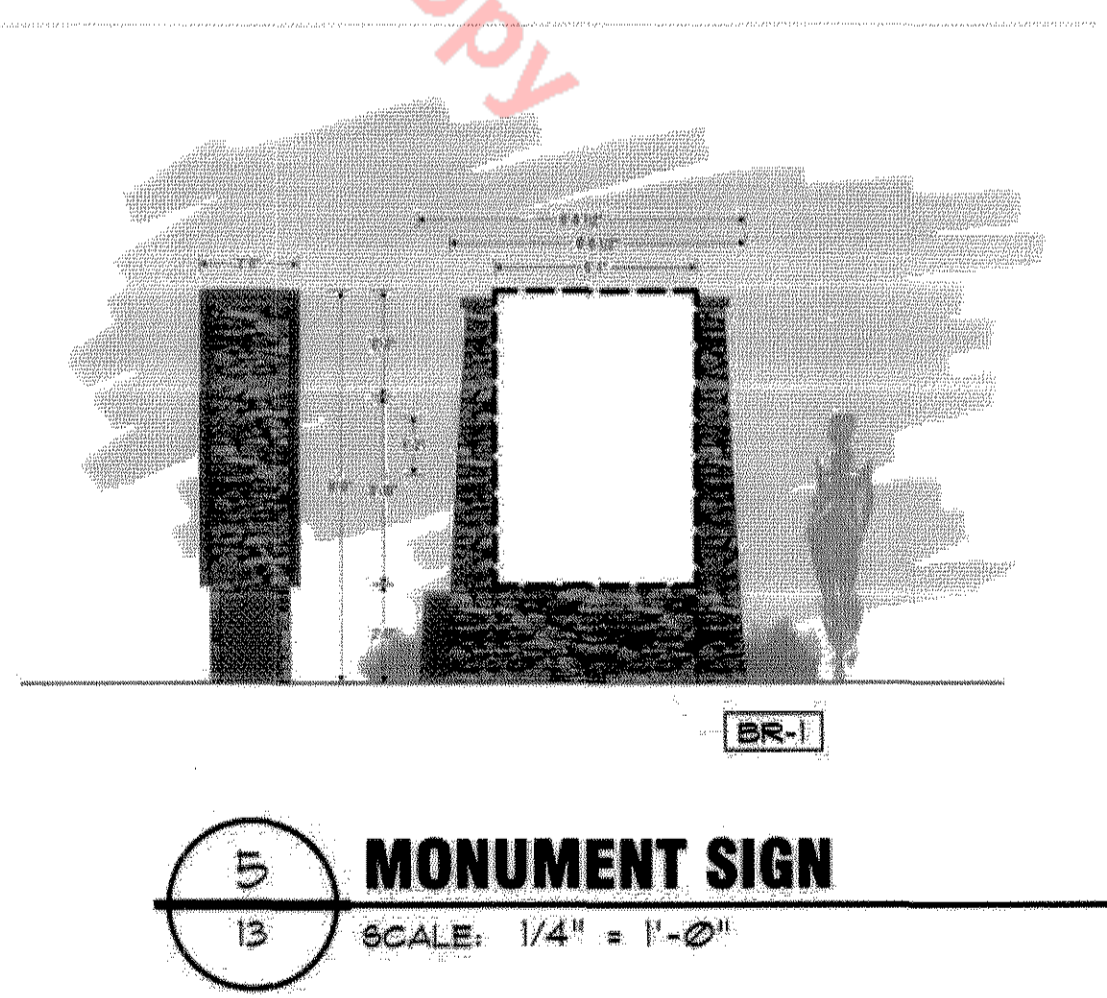


**PHOTOMETRIC PLAN - RETAIL**  
**FINAL PD SITE PLAN FOR**  
**THE MEADOWS FILING 17, AREA NO. 4**  
**AMENDMENT NO. 4, LOT 6G-2**

FINAL PD SITE PLAN  
 LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4,  
 AMENDMENT NO. 4,  
 SITUATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF  
 THE SIXTH PRINCIPAL MERIDIAN,  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
 COVER SHEET



Unofficial Copy



**COLOR SCHEDULE:**

- EXTERIOR: BOARD & BATTEN SYSTEM, PLASTER, & WOOD TIMBERS:**
  - BB-1: 4'-0" WIDE X 10'-0" HEIGHT X 5/16" THICK FIBER-CEMENT (SMOOTH) SIDING W/ 3-1/2" WIDE X 1/16" THICK BATTEN # 16" ON CENTER OVER 1" RIGID INSULATION, OVER LIQUID APPLIED AIR INFILTRATION BARRIER. COLOR TO BE SHERWIN WILLIAMS "BU 601" NOMADIC DESERT. ALL BOARDS AND BATTENS SHALL BE SCREWED, CAULKED, AND PAINTED. NO NAILS.
  - BB-2: FIBER-CEMENT TRIM, SMOOTH FINISH, COLOR TO MATCH MCCI "BONE WHITE"
  - BB-3: PLASTER FINISH, SMOOTH, COLOR TO MATCH BB-1
  - UT-1: WOOD TIMBERS BEAM & COLUMNS STAINED AND SEaled
  - UT-2: WOOD WOOD TRIMBERS STAINED AND SEaled
- EXTERIOR STONE VENEER, WALKWAY & COLUMNS:**
  - BR-1: ENVIRONMENTAL STONE WORKS, COBBLE LEDGE STONE. COLOR VISTA CANYON COBBLE LEDGE. USE STONE RECEPTACLE BASES FOR ALL RECEPTACLES WITHIN THE STONE AREA FROM THE STONE VENEER MANUFACTURE. COLOR TO MATCH SURROUNDING STONE. 1/2" MAX. GROUT. - COLOR THE GROUT TO MATCH THE STONE. CONTRACTOR SHALL PROVIDE SAMPLES & VERIFY WITH OWNER.
- STANDING SEAM ROOF CORNICE COPING METAL SOFFIT, GUTTERS AND DOWNSPOUTS:**
  - C-1: METAL CLASSIC GREEN
  - C-2: METAL WHITE RED
  - C-3: METAL BLUE GREY
- ALUMINUM STOREFRONT SYSTEM:**
  - AST-1: KALNIDER HARTFORD GREEN
- CONCRETE MASONRY UNIT WALL:**
  - CP-1: SMOOTH FACE CONCRETE MASONRY UNIT PAINTED TO MATCH BB-1. EXTERIOR SIDE TO HAVE BR-1 & BB-3. INTERIOR CMU WALL EXPOSED.
- LIGHTS:**
  - LM-1: "MIL" SQUARE "BLOSSOM GREEN" EXTERIOR WALL MOUNT
  - LM-2: "LUNAR" WALL PACK "EMERALD" EXTERIOR WALL MOUNT
  - LM-3: "LUNAR" 4' OR 6' "FLUORESCENT" STRIP
- GRASS CANOPY:**
  - GC-1: BRACKLET ELECTRIC SIGN ILLUMINATED BACKLIT WITH RED LETTERS BLUE MOUNTED
  - GC-2: BRACKLET CORNERS METAL PANELS COLOR TO MATCH COLOR OF BR-1

NOTE:  
 ALL SERVICE ELEMENTS ARE CONCEPTUAL AND THEY WILL BE DETAILED AND COORDINATED IN THE CONSTRUCTION DOCUMENT PACKAGE AND IN THE SIGN REQUEST APPS SECTION.

**ARCHITECT**

**DIXON**

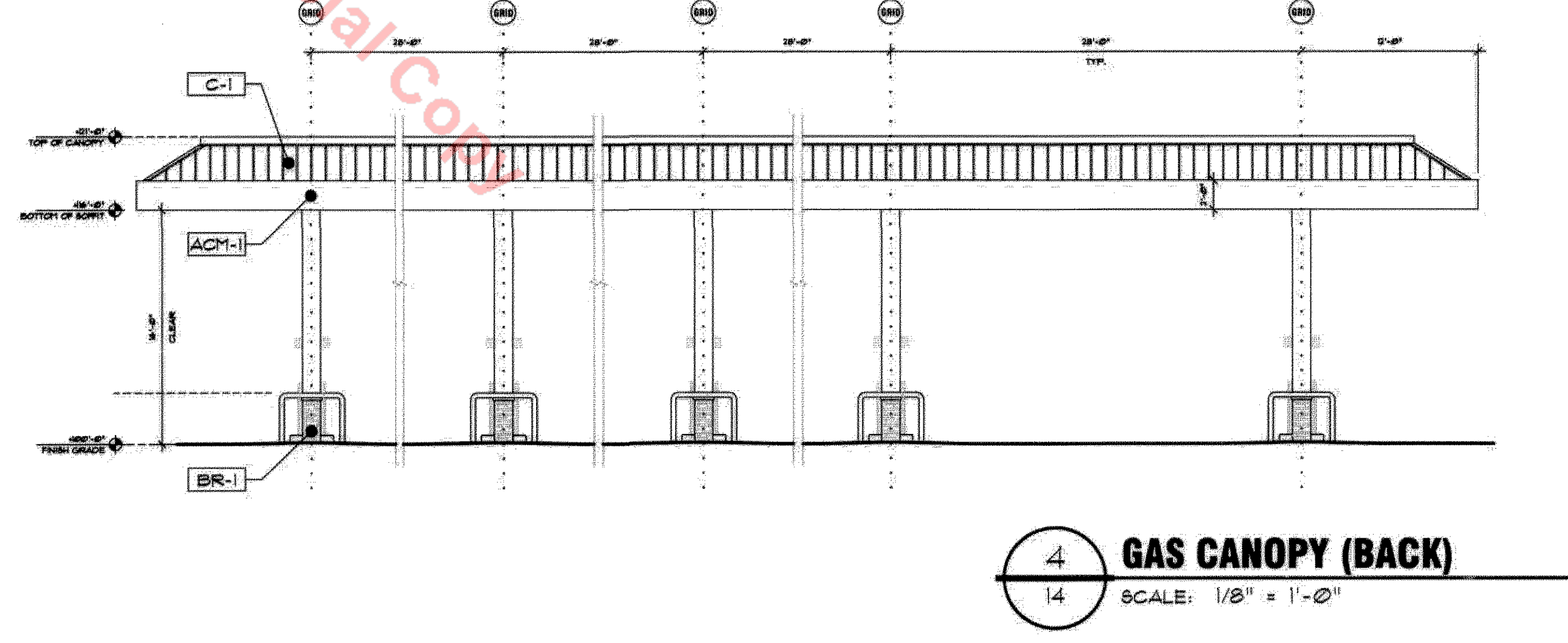
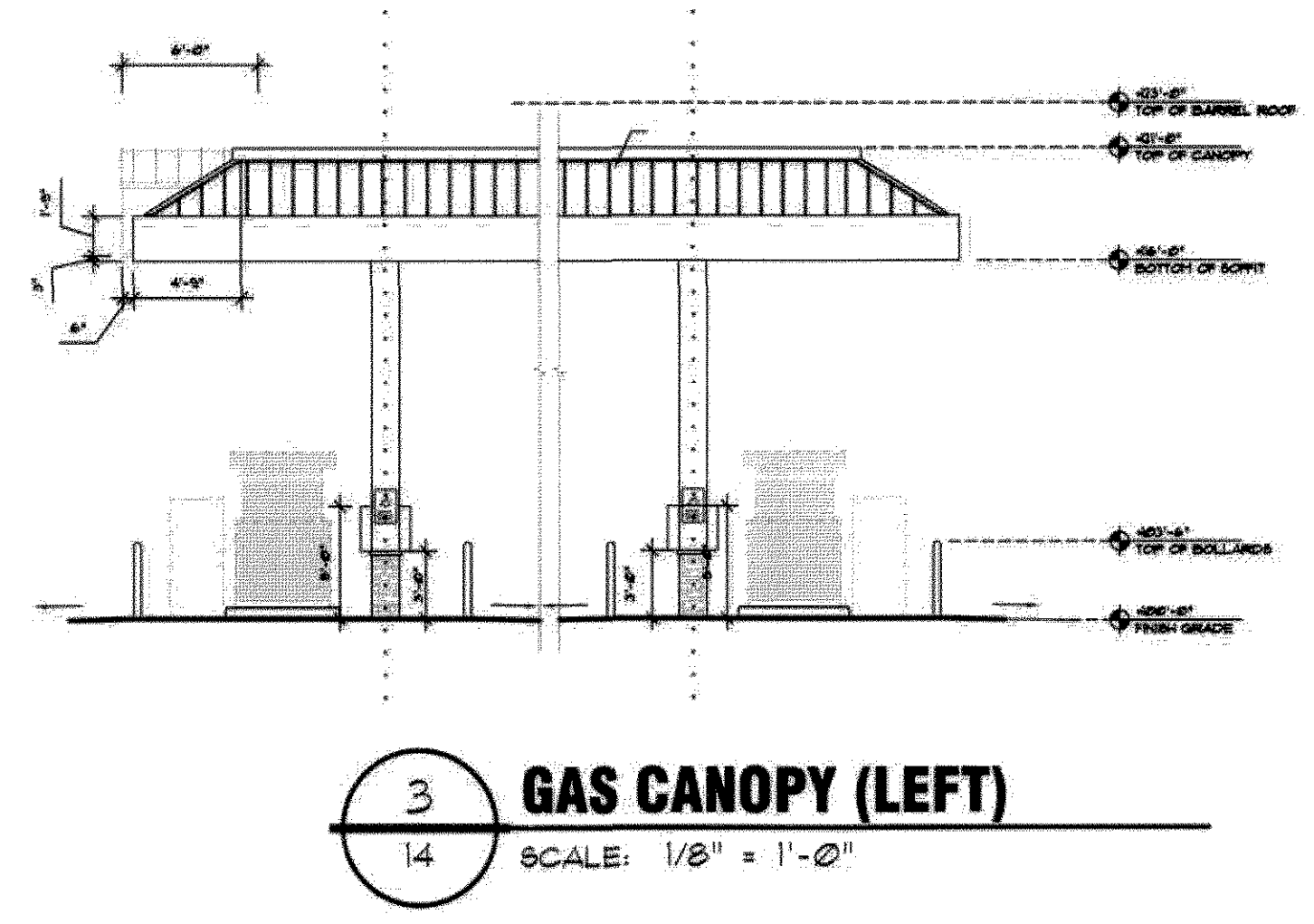
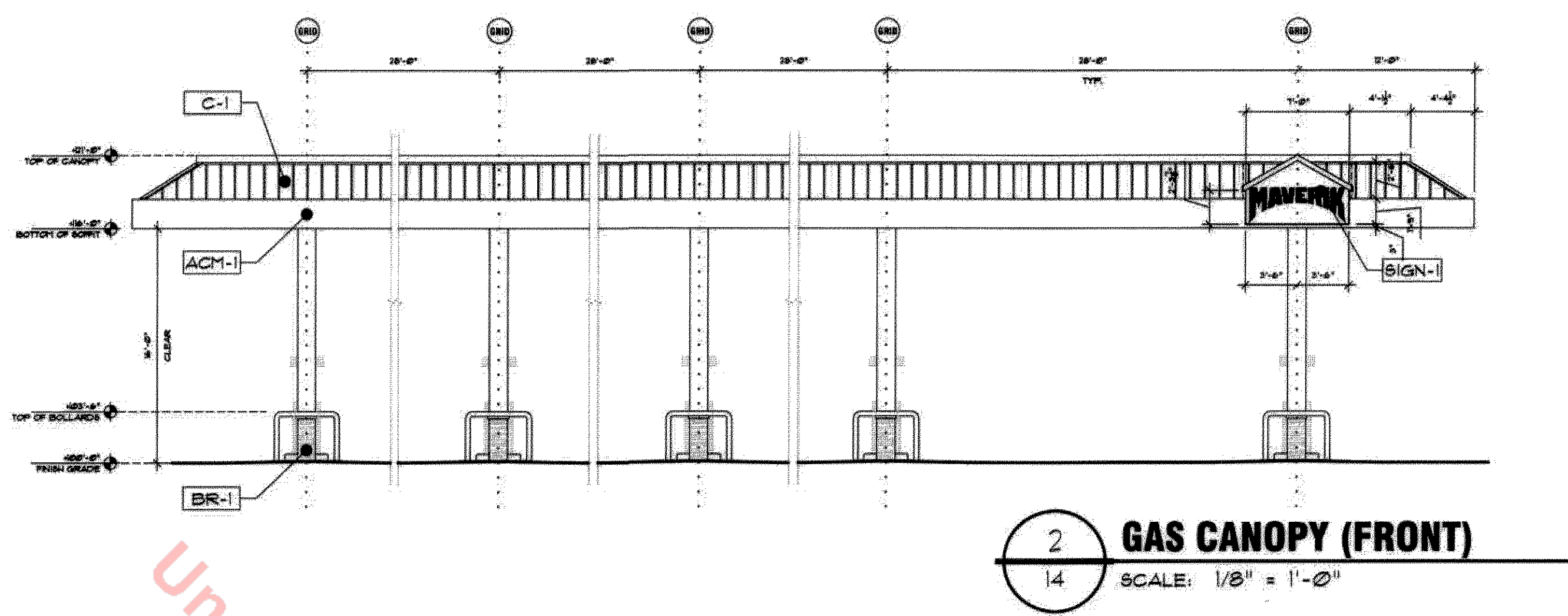
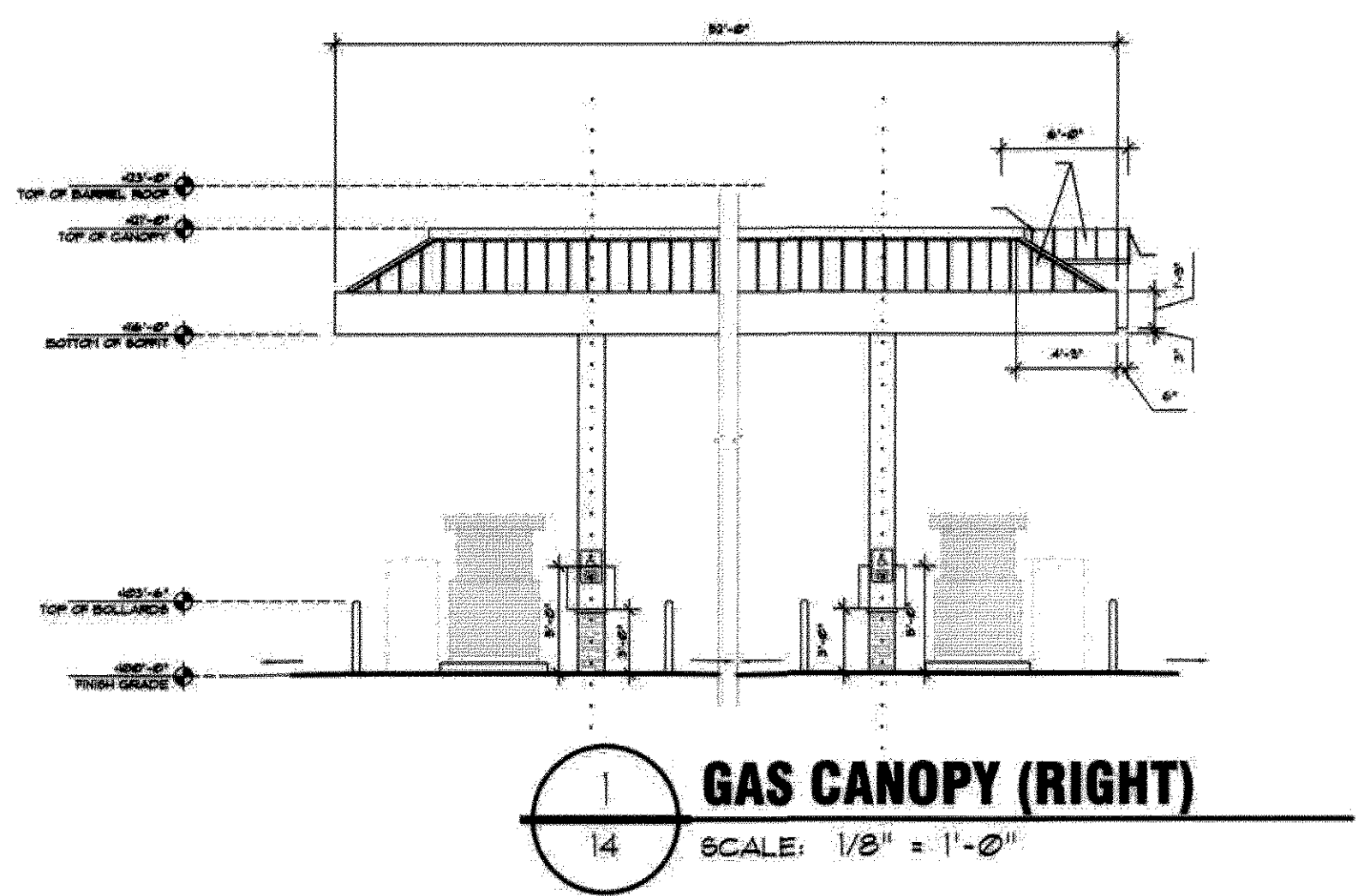
833 EAST 200 SOUTH  
 SALT LAKE CITY UT 84111 (801)595-6400

**BUILDING ELEVATIONS - MAVERIK SITE**

FINAL PD SITE PLAN FOR  
 THE MEADOWS FILING 17, AREA NO. 4  
 AMENDMENT NO. 4, LOT 6G-2

FPD 12-0005  
 DATE: NOVEMBER 30, 2012

FINAL PD SITE PLAN  
**LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4,**  
**AMENDMENT NO. 4,**  
 SITUATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF  
 THE SIXTH PRINCIPAL MERIDIAN,  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
 COVER SHEET



**COLOR SCHEDULE:**

- EXTERIOR BOARD & BATTEN SYSTEM, PLASTER & WOOD TIMBERS:**
  - BB-1: 4'-0" WIDE X 10'-0" HEIGHT X 5/16" THICK FIBER-CEMENT (SMOOTH) SIDING W/ 3-1/2" WIDE X 1/16" THICK BATTEN @ 16" ON CENTER OVER 1" RIGID INSULATION OVER LIQUID APPLIED AIR INFILTRATION BARRIER. COLOR TO BE SHERWIN WILLIAMS' "SUI 6101 NOMADIC DESERT". ALL BOARD AND BATTEN SHALL BE SCREWED, CAULKED AND PAINTED. NO NAILS.
  - BB-2: FIBER-CEMENT TRIM, SMOOTH FINISH, COLOR TO MATCH MBCI "BONE WHITE"
  - BB-3: PLASTER FINISH, SMOOTH, COLOR TO MATCH BB-1
  - WT-1: WOOD TIMBERS BEAM & COLUMNS, STAINED AND SEALED.
  - WT-2: MOCK WOOD TIMBERS, STAINED AND SEALED.
- EXTERIOR STONE VENEER WAINSCOT & COLUMNS:**
  - BR-1: ENVIRONMENTAL STONE WORKS, COBBLE LEDGE STONE. COLOR VISTA CANYON COBBLE LEDGE

USE STONE RECEPTACLE BASES FOR ALL RECEPTACLES WITHIN THE STONE AREA FROM THE STONE VENEER MANUFACTURE. COLOR TO MATCH SURROUNDING STONE.

1/2" MAX. GROUT. - COLOR THE GROUT TO MATCH THE STONE. CONTRACTOR SHALL PROVIDE SAMPLES & VERIFY WITH OWNER.
- STANDING BEAM ROOF CORNICE COPING METAL SOFFIT, GUTTERS AND DOWNSPOUTS:**
  - C-1: MBCI CLASSIC GREEN.
  - C-2: MBCI BRITE RED.
  - C-3: MBCI BONE WHITE.
- ALUMINUM STOREFRONT SYSTEM:**
  - AST-1: KAWNEER "HARTFORD GREEN".
- CONCRETE MASONRY UNIT WALL:**
  - CMU-1: SMOOTH FACE CONCRETE MASONRY UNIT PAINTED TO MATCH BB-1. EXTERIOR SIDE TO HAVE BR-1 & BB-3. INTERIOR CMU WALL EXPOSED.
- LIGHTS:**
  - RLM-1: "RLM" ABOLITE "GLOSS GREEN" (EXTERIOR WALL MOUNT).
  - WP-1: "LITHONIA" WALL PACK "BRONZE" (EXTERIOR WALL MOUNT).
  - WF-1: "LITHONIA" 4' OR 8' FLUORESCENT STRIP.
- GAS CANOPY:**
  - SIGN: BACKLIT ELECTRIC SIGN W/FOURESCENT BACKLIT WITH RED LETTERS, FLUSH MOUNTED.
  - ACM-1: ALUMINUM COMPOSITE METAL PANELS, COLOR: TO MATCH COLOR OF BB-1.

**NOTE:**  
 ALL SIGNAGE ELEMENTS ARE CONCEPTUAL AND THEY WILL BE DETAILED AND DOCUMENTED IN THE CONSTRUCTION DOCUMENT PACKAGE AND IN THE SIGN PERMIT APPLICATION.

**ARCHITECT**

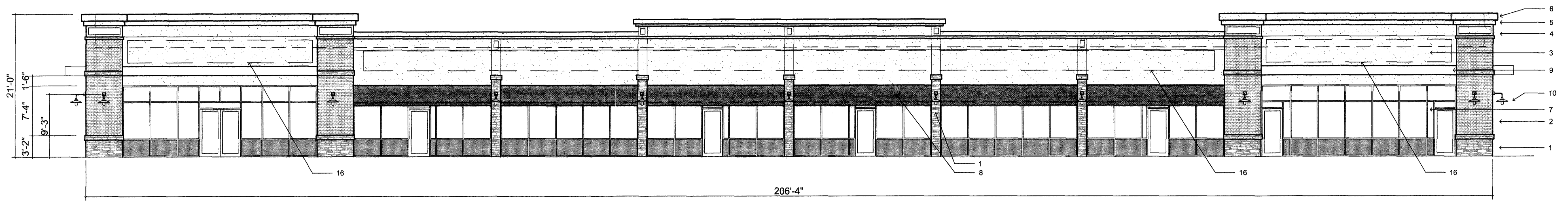
**DIXON**

833 EAST 200 SOUTH  
 SALT LAKE CITY UT 84111 (801)595-6400

**BUILDING ELEVATIONS - MAVERIK SITE**

FINAL PD SITE PLAN FOR  
 THE MEADOWS FILING 17, AREA NO. 4  
 AMENDMENT NO. 4, LOT 6G-2  
 FPD 12-0005  
 DATE: NOVEMBER 30, 2012  
**SHEET 14 OF 15**

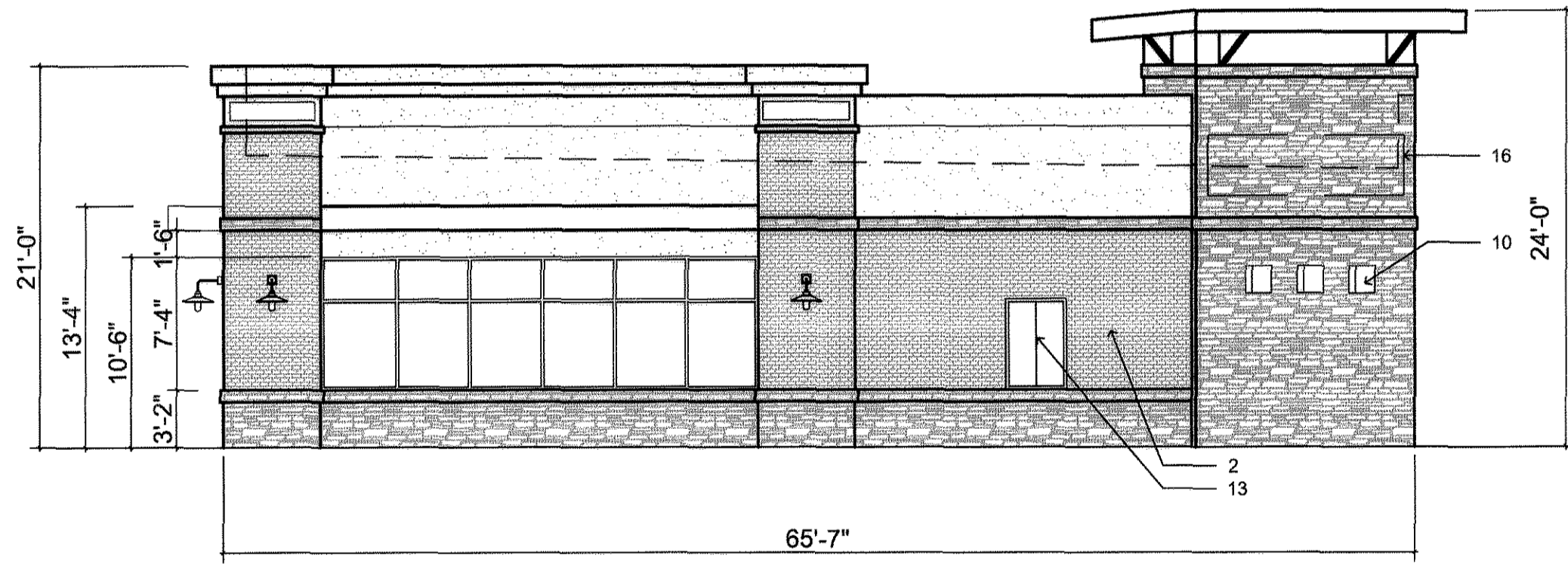
FINAL PD SITE PLAN  
**LOT 6G-2, THE MEADOWS FILING NO. 17, AREA NO. 4,**  
**AMENDMENT NO. 4,**  
 SITUATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF  
 THE SIXTH PRINCIPAL MERIDIAN,  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
 BUILDING ELEVATIONS - RETAIL



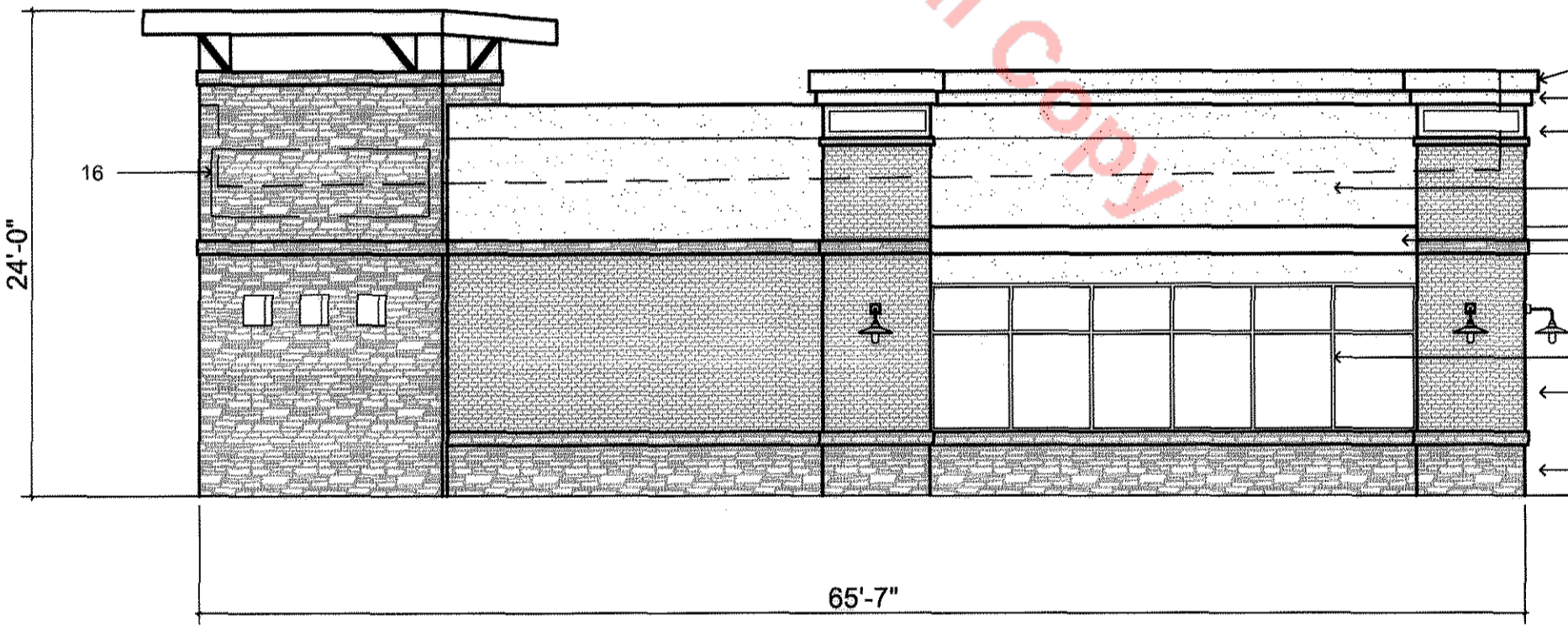
**FRONT (SOUTH) ELEVATION**  
 1/8" = 1'-0"

- MATERIAL LEGEND**
- 1 STONE VENEER - ENVIRONMENTAL STONE WORKS VISTA CANYON COBBLE LEDGE
  - 2 BRICK VENEER - ENVIRONMENTAL STONE WORKS ANTIQUE RED
  - 3 PLASTER (BODY) - TAN
  - 4 PLASTER (ACCENT) - POWDER TAN
  - 5 PLASTER (CORNICHE) - SUPER WHITE
  - 6 PLASTER (PARAPET CAP) - ADOBE ACCENT
  - 7 STOREFRONT - DARK BRONZE FRAME AND DOORS WITH CLEAR GLAZING AND BROWN SPANDREL GLASS LOWER PANELS.
  - 8 AWNINGS - SUNBRELLA DUBONNET TWEED
  - 9 METAL CANOPY - PAINTED DARK BRONZE
  - 10 DECORATIVE LIGHTS - DARK BRONZE
  - 11 WALL LIGHTS - DARK BRONZE DOWNCAST FIXTURES
  - 12 METAL DOOR - PAINT TO MATCH ADJACENT FINISH (LOCATION SUBJECT TO CHANGE TO MEET TENANT EXIT REQUIREMENTS)
  - 13 DRIVE THRU WINDOW - DARK BRONZE WITH CLEAR GLASS
  - 14 METAL GATES & SUPPORTS - PAINT TO MATCH PLASTER COLOR
  - 15 RETAINING WALLS - BASALITE ASHLER BLEND PATTERN, GREY BLEND
  - 16 AREA OF PROPOSED WALL SIGNAGE - SEE NOTE BELOW

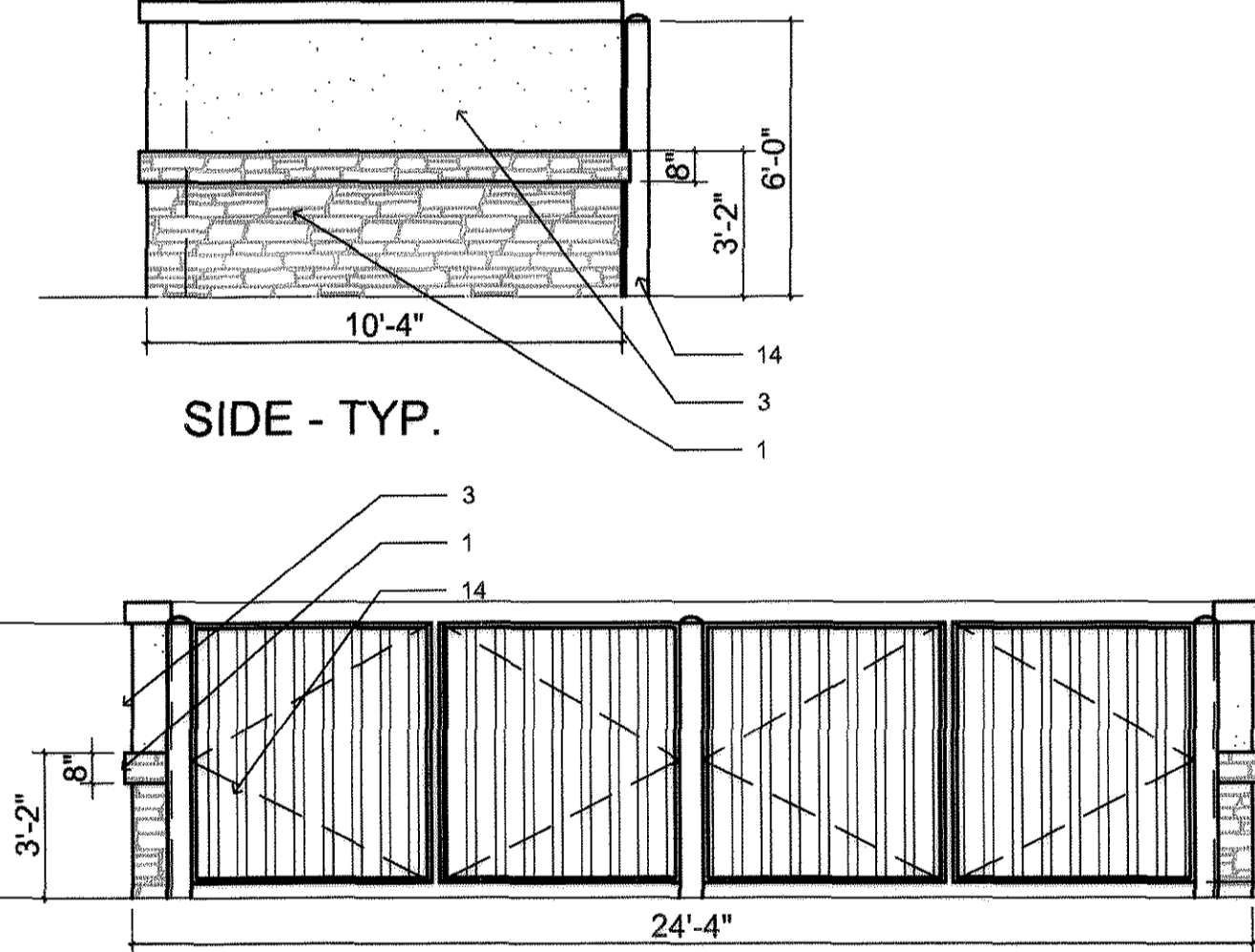
**NOTES:**  
 SIGNAGE SHALL MEET TOWN OF CASTLE ROCK SIGN CODE REGULATIONS AND THE MEADOWS PD ZONING REGULATIONS - FOURTH AMENDMENT. ALL SIGNAGE ELEMENTS ARE CONCEPTUAL - THEY WILL BE DETAILED AND DOCUMENTED IN THE CONSTRUCTION DOCUMENT PACKAGE AND IN THE SIGN PERMIT APPLICATION.



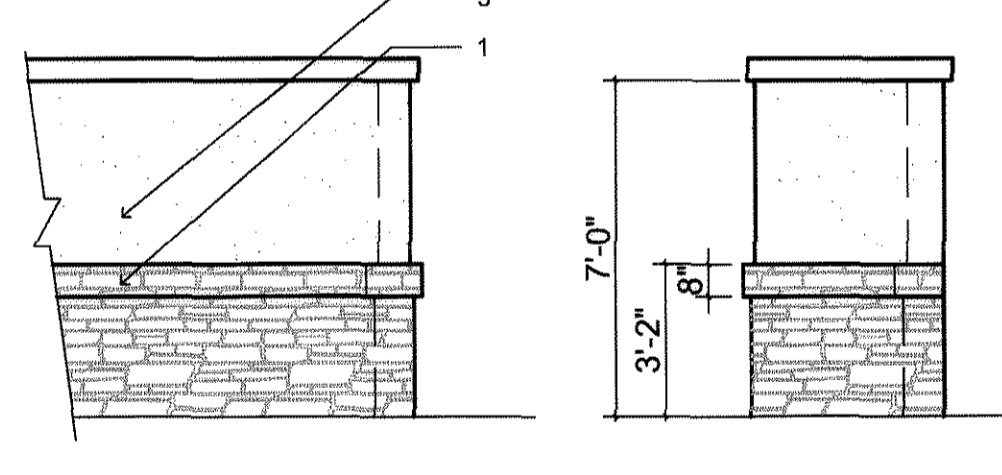
**SIDE (EAST) ELEVATION**  
 1/8" = 1'-0"



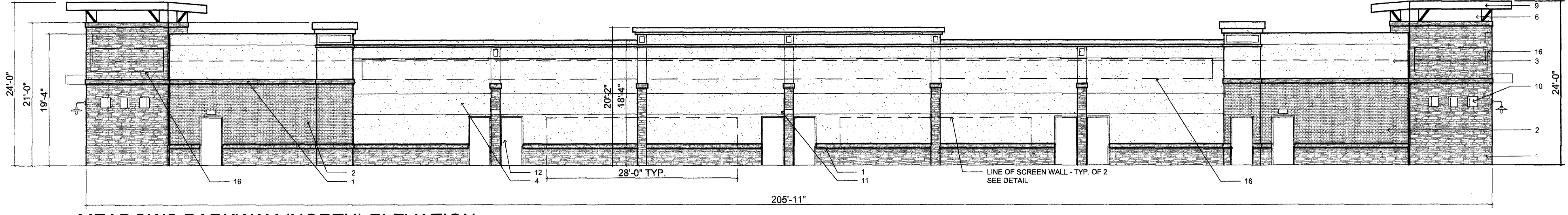
**SIDE (WEST) ELEVATION**  
 1/8" = 1'-0"



**FRONT TRASH ENCLOSURE ELEVATIONS**  
 1/4" = 1'-0"



**FRONT SCREEN WALL DETAIL**  
 1/4" = 1'-0"



**MEADOWS PARKWAY (NORTH) ELEVATION**  
 1/8" = 1'-0"

**CIVIL ENGINEER**

**PARK ENGINEERING CONSULTANTS**  
 420 21ST AVENUE, SUITE 101  
 LONGMONT CO. 80501 (303)651-6626  
**BUILDING ELEVATIONS - RETAIL**  
 FINAL PD SITE PLAN FOR  
 THE MEADOWS FILING 17, AREA NO. 4  
 AMENDMENT NO. 4, LOT 6G-2  
 FPD 12-0005  
 DATE: NOVEMBER 30, 2012  
 SHEET 15 OF 15