

GENERAL NOTES:

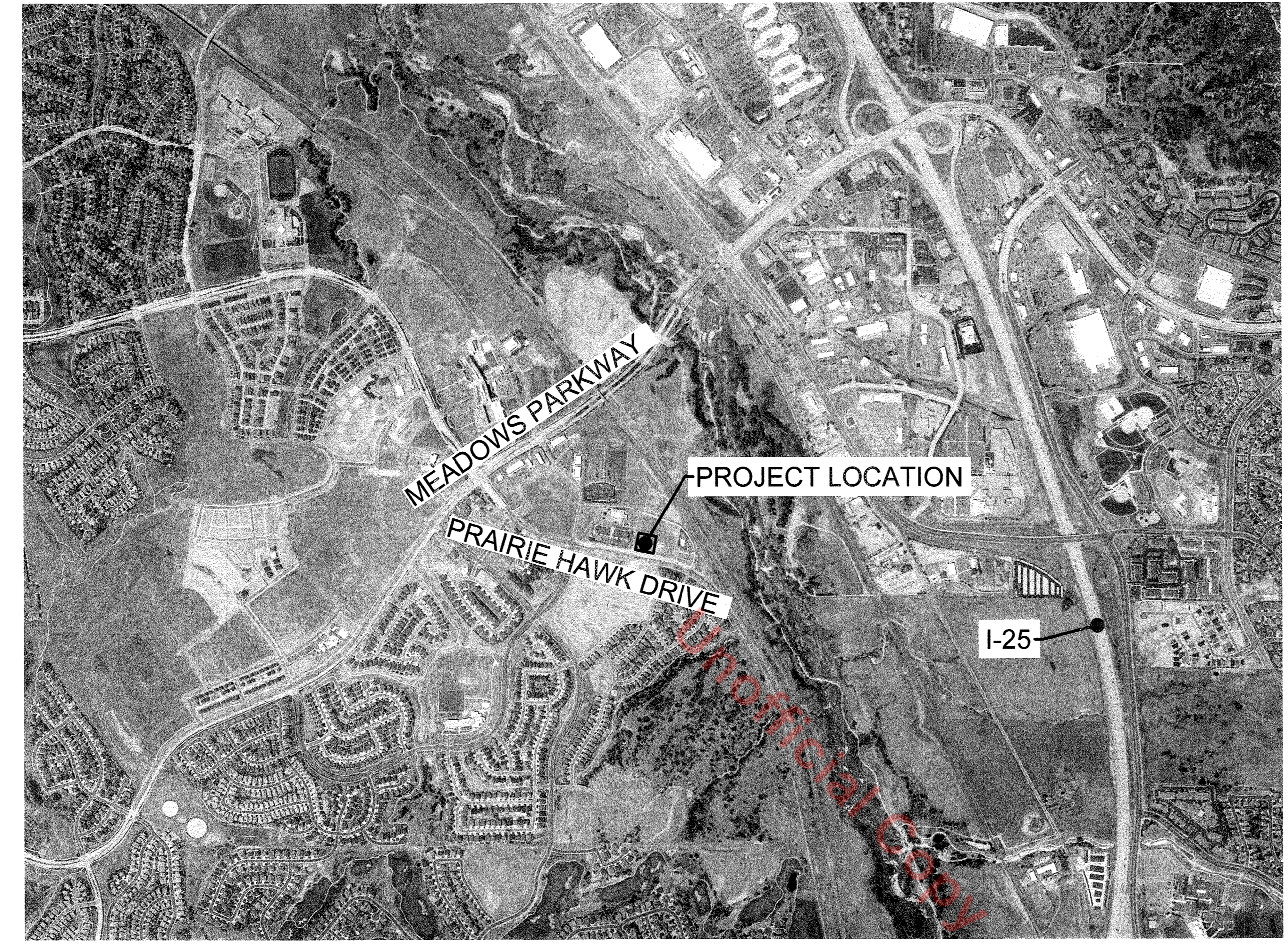
- 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE SYSTEMS TO ASSURE CONTINUOUS OPERATION OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- 2. PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- 3. THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- 4. THIS PROPERTY IS LOCATED WITHIN UNSHADED ZONE X AS PER FEMA FIRM PANEL NO. 08035C0169Q DATED 3/15/2016.
- 5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- 6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- 7. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- 8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- 9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- 10. THIS SITE IS ZONED COI OF THE MEADOWS FOURTH AMENDMENT PD.
- 11. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- 12. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERMITTED RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- 13. RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4- FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
- 14. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DEPARTMENT PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- 15. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

SITE DEVELOPMENT PLAN

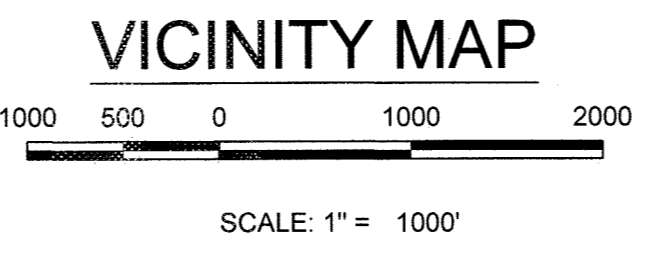
MEADOWS FILING NO. 17, AREA NO.4, AMENDMENT NO. 11

LOCATED IN THE NORTHWEST QUARTER OF SECTION 34 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP 19-0017



Zoning Comparison		
Zoning	The Meadows Fourth Amendment Planned Development (PD)	
Use Area	COI	
	PD Requirement	Provided (this SDP)
Building Square Footage	N/A	4,950
Permitted Uses	As per Section 5.4 of the PD Zoning Regulations	Medical Office and Clinic
Minimum Lot Area*	28,000 SF	28,217 SF
Maximum Floor Area Ratio (FAR)	0.60	0.17
Maximum Building Coverage	60%	17%
Minimum front yard setback*	15-feet	28-feet
Minimum rear yard setback*	20-feet	54.3-feet
Minimum side yard setback*	5-feet	40.8 feet
Minimum side to street setback*	15-feet	25.3-feet
Minimum setback between residential and non-residential uses	0-feet	N/A
Maximum building height	60-feet	20-feet
Minimum Parking	Medical Office and Clinic requires 5 spaces per 1,000 sq. ft. of GLA	Required = 25 4,950 / 1,000 x 5 = 24.75 Provided = 28
Minimum ADA Parking	Per Muni. Code 2 ADA spaces required for 26 to 50 total lot spaces	ADA Required = 2 Total lot spaces = 28 ADA Provided = 2
Site Utilization		
	S.F.	% of Total
Building Coverage	4,950	18
Parking Coverage	4,644	16
Street Coverage	6,257	22
Landscape/Open Space Coverage	8,449	30
Other Coverage:	3,917	14
Total	28,217	100%



WATER RIGHTS DEDICATION STATEMENT
THE PROVISIONS OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS 4TH AMENDMENT DEVELOPMENT AGREEMENT, RECORDED ON THE 10TH DAY OF JULY, 2003 AT RECEPTION NO. 2003102986 AND ACCORDINGLY 2.48 SFE's ARE DEBITED FROM THE WATER BANK.

SHEET INDEX	
Sheet Number	Sheet Title
1	Cover Sheet
2	Site Plan
3	Grading Plan
4	Utility Plan
5	Landscape Plan
6	Landscape Schedule and Notes
7	Building Elevations
8	Building Elevations
9	Trash Enclosure Details
10	Lighting Plan
11	Lighting Details

STATEMENT OF DEED OF DEVELOPMENT SERVICES APPROVAL
THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE RECORDER OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 11th DAY OF DECEMBER, 2019.
DORIS B. ROSS, RECORDER OF DEVELOPMENT SERVICES

TITLE CERTIFICATION
I, Scott Bennett, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE CO., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
AUTHORIZED REPRESENTATIVE: Scott Bennett
TITLE COMPANY: LAND TITLE GUARANTEE CO.
SIGNED THIS 13th DAY OF December, 2019.
NOTARY BLOCK SUBSCRIBED AND SWORN TO BEFORE ME THIS 13th DAY OF December, 2019 BY Scott Bennett AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company.
WITNESS MY HAND AND OFFICIAL SEAL.
NOTARY PUBLIC: JALANA NELSON, Notary Public, State of Colorado, Notary ID # 2016400713, My Commission Expires February 13, 2022.
MY COMMISSION EXPIRES: 2-13-2022

CIVIL ENGINEER'S STATEMENT
I, Troy P. Cosmas, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
Troy P. Cosmas, 12-11-2019, REGISTERED PROFESSIONAL ENGINEER.
DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:36 PM ON THE 16th DAY OF December, 2019 AT RECEPTION NO. 2019086947.
DOUGLAS COUNTY CLERK AND RECORDER: Daniel Wood, DEPUTY.

SURVEYOR'S CERTIFICATE
I, ANTHONY K. PEALL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.
REGISTERED LAND SURVEYOR NO. 38636, DATE 12/13/19.
OWNERSHIP CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.
CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION
SIGNED THIS 15th DAY OF December, 2019, AS President: Stephanie McDanielles.
NOTARY BLOCK: KAYLA NELSON, Notary Public, State of Colorado, Notary ID # 2017402369, My Commission Expires 01-17-2021.
MY COMMISSION EXPIRES: 01-17-2021.

LEGAL DESCRIPTION
A PARCEL OF LAND BEING A PORTION OF LOT 6 REMAINDER, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 10 AS RECORDED UNDER RECEPTION NO. 2016008361 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE, LOCATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT 6 REMAINDER AND CONSIDERING THE WESTERLY BOUNDARY OF SAID LOT 6 REMAINDER TO BEAR NORTH 11°23'45" EAST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
THENCE ALONG SAID WESTERLY BOUNDARY, NORTH 11°23'45" EAST, A DISTANCE OF 215.00 FEET;
THENCE DEPARTING SAID WESTERLY BOUNDARY, SOUTH 78°36'15" EAST, A DISTANCE OF 56.00 FEET;
THENCE SOUTH 11°23'45" WEST, A DISTANCE OF 89.00 FEET;
THENCE SOUTH 78°36'15" EAST, A DISTANCE OF 120.50 FEET;
THENCE SOUTH 11°23'45" WEST, A DISTANCE OF 87.01 FEET;
THENCE SOUTH 78°36'15" EAST, A DISTANCE OF 25.50 FEET;
THENCE SOUTH 11°23'45" WEST, A DISTANCE OF 38.99 FEET TO THE SOUTHERLY BOUNDARY OF SAID LOT 6 REMAINDER BEING COINCIDENT WITH THE NORTHERLY RIGHT-OF-WAY OF PRAIRIE HAWK DRIVE;
THENCE ALONG SAID SOUTHERLY BOUNDARY AND NORTHERLY RIGHT-OF-WAY, NORTH 78°36'15" WEST, A DISTANCE OF 202.00 FEET TO THE POINT OF BEGINNING.
CONTAINING AN AREA OF 0.648 ACRES, (28,217 SQUARE FEET), MORE OR LESS.
EXHIBIT ATTACHED AND MADE A PART HEREOF.

SURVEYOR/ENGINEER:

APPLICANT:
COMMERCIAL CONSTRUCTION AND ARCHITECTURE, INC
Russell Leavitt
9635 Maroon Circle, Suite 410
Englewood, CO 80112

ARCHITECT/PLANNER:
Rob Stensland
201 Main Street PO Box 461
Janesville, Iowa 50647
Tel: (319).240.0222

TOWN OF CASTLE ROCK PUBLIC WORKS
4175 N. CASTLETON COURT
CASTLE ROCK, CO 80104
PHONE: 720-733-2462

CASTLE ROCK WATER DEVELOPMENT SERVICES
175 KELLOG COURT
CASTLE ROCK, CO 80109
PHONE: 720-733-6000

10333 E. Dry Creek Rd.
Suite 240
Englewood, CO 80112
Tel: (720) 482-9526
Fax: (720) 482-9546

N:\PROJECTS\3032401 MEADOWS FAMILY EYE CARE\ENGINEERING\3032401 COVER.DWG - TROY.C. 12/11/2019 8:55 AM

BASIS OF BEARINGS
THE EAST LINE OF THE WEST HALF OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN WAS ASSUMED TO BEAR NORTH 00°44'26" WEST, A DISTANCE OF 5379.32 FEET AND MONUMENT AS SHOWN HERON.

BENCH MARK
DOUGLAS COUNTY GIS POINT 2.015030 GPS NAVD 88 ELEVATION = 6082.17, LOCATED APPROXIMATELY AS SHOWN ON THE VICINITY MAP HEREON.

10333 E. Dry Creek Rd. Suite 240 Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546

CONSULTANTS
MEADOWS FAMILY EYECARE
3750 DACORO LANE, #180
CASTLE ROCK, CO 80109
RYAN REID

SCALE: AS SHOWN
DRAWN BY: BNU
CHECKED BY: TPC
DATE: DECEMBER 2019

SHEET NUMBER: 1 OF 11

THE MEADOWS FILING NO. 17, AREA NO.4, AMENDMENT NO. 11 SDP19-0017

ZONING: COI OF MEADOWS
FOURTH AMENDMENT PD
LAND USE: SCHOOL

LOT 6E-2
THE MEADOWS FILING NO. 17,
AREA NO. 4, AMENDMENT NO. 7
REC. NO. 2013092170

EXISTING 25' PUBLIC
ACCESS EASEMENT
REC NO. 2006096448

ZONING: COI OF MEADOWS
FOURTH AMENDMENT PD
LAND USE: VACANT

EXISTING 30' DRAINAGE
AND UTILITY EASEMENT
REC NO. 2006018975

ZONING: COI OF MEADOWS
FOURTH AMENDMENT PD
LAND USE: COMMERCIAL

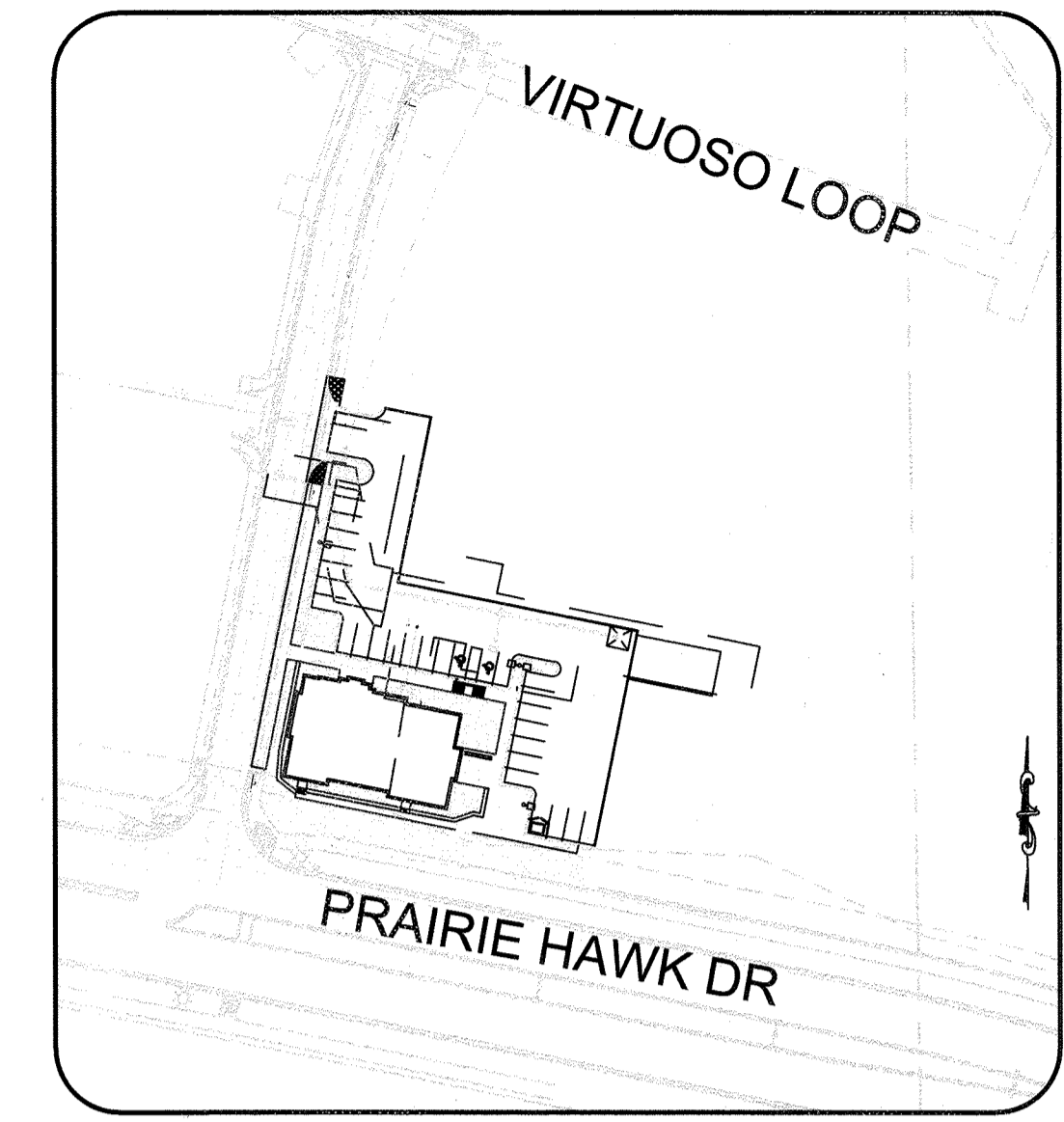
LOT 6E-1
THE MEADOWS FILING NO. 17,
AREA NO. 4,
AMENDMENT NO. 2
REC. NO. 2006082145

EXISTING 25' PUBLIC
ACCESS EASEMENT
REC NO. 2006096448

EXISTING 15' UTILITY
EASEMENT REC NO. 2016008631

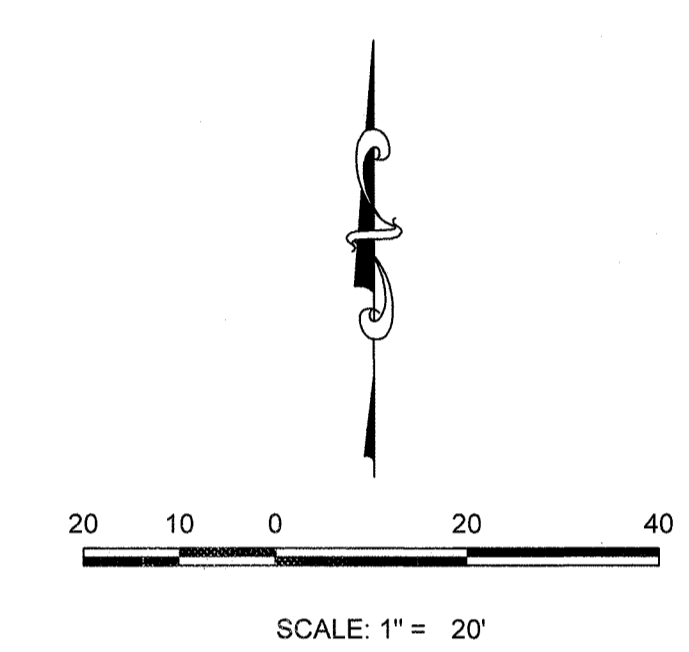
PRAIRIE HAWK DR
(120' WIDE PUBLIC RIGHT-OF-WAY)
BOOK 1432, PAGE 1044

*Lot 6-D to be created with forthcoming Plat



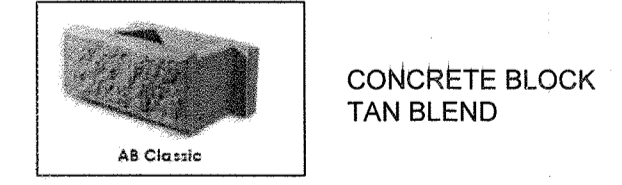
KEY MAP

1" = 100'



LEGEND

- PROPOSED PARKING LIGHT
- PROPOSED PARKING LIGHT
- HANDICAP SYMBOL
- CONCRETE WALKS
- CONCRETE DRAINAGE PAN
- LANDSCAPE AREA
- RIGHT-OF-WAY
- PROPERTY LINE
- EXISTING EASEMENT
- HANDICAP RAMP
- HANDICAP PARKING SIGN
- # OF PARKING STALLS



NOTE:
1. RETAINING WALLS ARE ALLAN BLOCK, AB ASHLAR BLEND.
TYPE AB CLASSIC, 2 COURSE PATTERN, TAN BLEND.



SITE DEVELOPMENT PLAN
MEADOWS FAMILY EYECARE

THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 11 SDP19-0017

10333 E. Dry Creek Rd.
Englewood, CO 80112
Tel: (720) 482-9526
Fax: (720) 482-9546



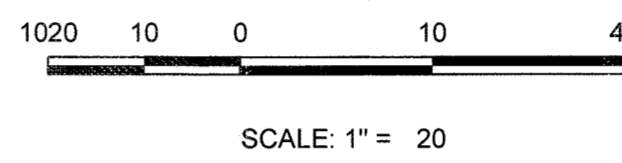
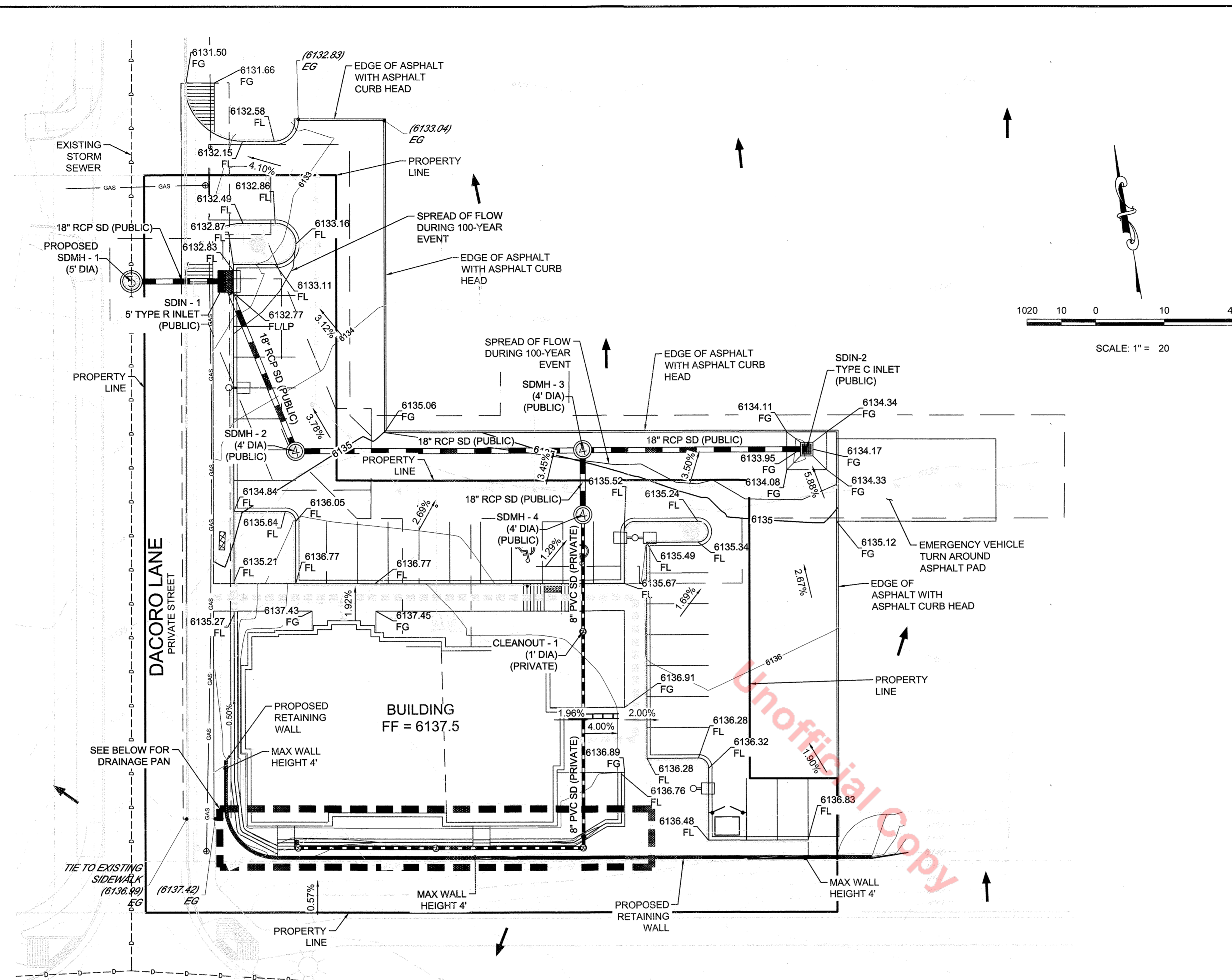
MEADOWS FAMILY EYECARE
3750 DACORO LANE #180
CASTLE ROCK CO 80109
RYAN REID

THE MEADOWS FILING NO. 17, AREA NO. 4
AMENDMENT NO. 11 SDP
TOWN OF CASTLE ROCK
SITE PLAN

SCALE:
AS SHOWN
FILE NO:
8.13.0325401

DRAWN BY: BNJ
CHECKED BY: TPC
DATE: DECEMBER 2019

SHEET NUMBER
2 OF 11



LEGEND

②	BLOCK NUMBER	←	PROPOSED OVERLAND FLOW DIRECTION
Ⓐ	LOT TYPE	←	EMERG. FLOW DIRECTION
6	LOT NUMBER	---	CENTERLINE
△	RANGE BOX	---	RIGHT-OF-WAY
		---	PROPERTY LINE
		---	PROPOSED EASEMENT
		---	EXISTING EASEMENT
		---	EDGE OF PAVEMENT
		---	PROPOSED CURB & GUTTER
		1.0%	PROPOSED SLOPE & DIRECTION
		---	EXISTING 5' CONTOUR
		---	EXISTING 1' CONTOUR
		---	PROPOSED 5' CONTOUR
		---	PROPOSED 1' CONTOUR
		---	EXISTING STORM DRAIN
		---	CSP BOUNDARY
		---	FILING BOUNDARY
		---	PROPOSED CURB RETURN SIDEWALK RAMP
		---	PROPOSED CONCRETE PAN
		---	PROPOSED MID-BLOCK RAMP

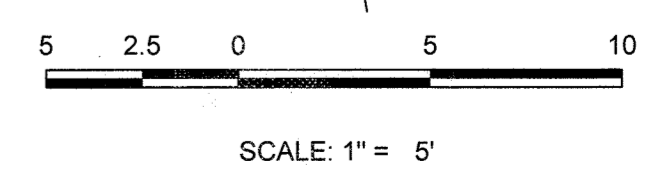
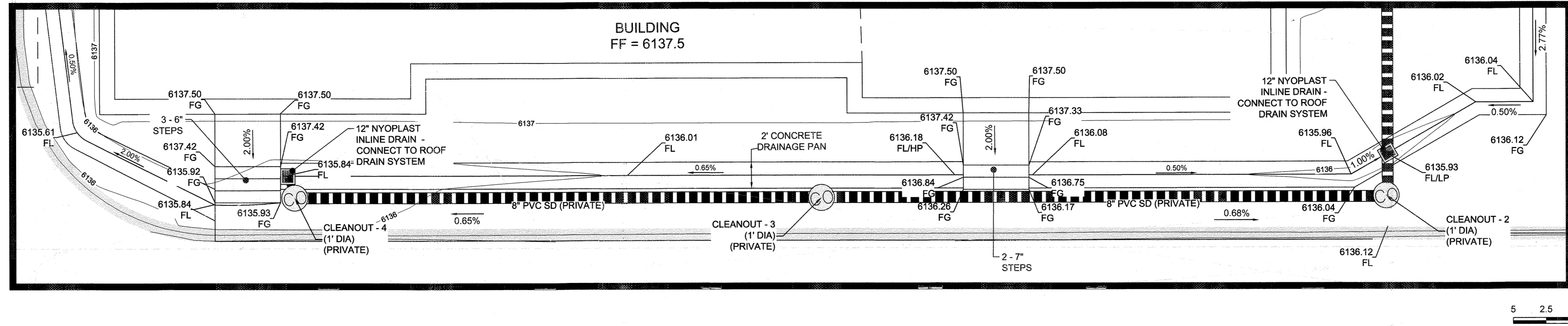
- NOTES:
- RETAINING WALLS. SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
 - SITE DOES NOT LIE IN THE 100-YEAR FLOODPLAIN.

ABBREVIATIONS

AD	ANGLE DIFFERENCE	PVT	POINT OF VERTICAL TANGENT
BVC	BEGIN VERTICAL CURVE	RCBC	REINFORCED CONCRETE BOX CULVERT
BVP	BEGIN VERTICAL PROFILE	CO	REINFORCED CONCRETE PIPE
CO	CLEANOUT	DUE	DRAINAGE AND UTILITY EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT	ROW	RIGHT OF WAY
EL	ELEVATION	RW	RAW WATER LINE
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EVC	END VERTICAL CURVE	SL	SECTION LINE
EVP	END VERTICAL PROFILE	SO	EDGE OF 6' SHOULDER OFFSET
FG	FINISHED GROUND	SS	SANITARY SEWER
FL	FLOW LINE	STA	STATION
GE	GAS EASEMENT	TA	TOP OF ASPHALT
HP	HIGH POINT	TBC	TOP BACK OF CURB
INV	INVERT	TC	TOP OF CONCRETE
K	CURVATURE COEFFICIENT	TOB	TOP OF BERM
LF	LINEAR FEET	T.O.P	TOP OF PIPE
MH	MANHOLE	UD	UNDERDRAIN
N.T.S.	NOT TO SCALE	UE	UTILITY EASEMENT
PL	PROPERTY LINE	VC	VERTICAL CURVE
PVC	POLYVINYL CHLORIDE	WL	WATER LINE
PVI	POINT OF VERT. INTERSECTION	WSE	WATER SURFACE ELEVATION

EARTHWORK

CUT	192 CY
FILL	333 CY
NET FILL	141 CY



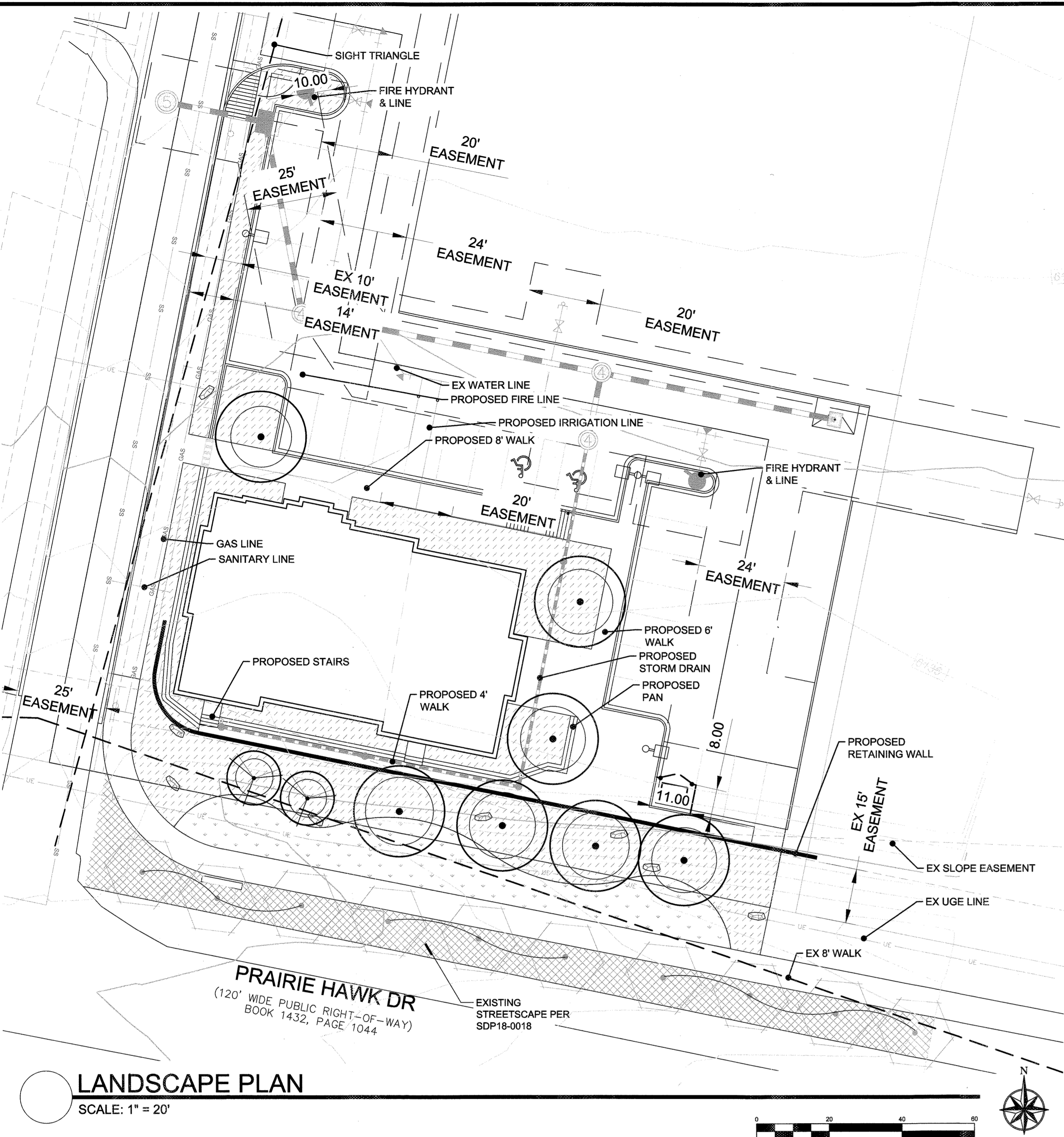
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THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 11 SDP19-0017

N:\PROJECTS\2022\401 MEADOWS FAMILY EYE CARE\ENGINEERING\SHETS\SDP\GRADING PLAN.DWG, TROY.C, 12/11/2019 8:56 AM

SHEET NUMBER	DRAWN BY: BNJ	CHECKED BY: TPC	DATE: DECEMBER 2019	SCALE: AS SHOWN	FILE NO: 8.13.0325401
				DATE: DECEMBER 2019	FILE NO: 8.13.0325401
3 OF 11	THE MEADOWS FILING NO. 17, AREA NO. 4 AMENDMENT NO. 11 SDP TOWN OF CASTLE ROCK GRADING PLAN		MEADOWS FAMILY EYECARE 3750 DACORO LANE #100 CASTLE ROCK, CO 80109 RYAN REID		10333 E. Dry Creek Rd. Suite 240 Englewood, CO 80112 Tel: (720) 462-9526 Fax: (720) 462-9546
			CML CONSULTANTS CIVIL ENGINEERING - LAND SURVEYING		



LANDSCAPE PLAN
SCALE: 1" = 20'



Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional YES - NEIL A MCLANE
 Town of Castle Rock Registration # 16-1807 State of Colorado License Landscape Architect # LA-405
 Company Name Natural Design Solutions, Inc. Address 5539 Colt Drive, Longmont, CO 80503
 Phone (303) 443-0388 Email neil@ndscolorado.com Date 11/08/18
 PROJECT NAME Meadows Family Eye Care

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
28,217 sf	8,449 sf (excluding ROW area) 2,821 required	Buffalo/Blue Grama Mix:	Approx 1260 sf	6	9	14	14 shrubs + additional grasses and shrubs for minimum coverage of 75%	4 cy / 1000 sf	Yes x No
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
4,644 sf	484 required; 1,006 provided	28 Parking (Includes 2 ADA Spaces)	N/a	2	8'	3	3	6	6

PLANT SCHEDULE SDP

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	2	ORNAMENTAL TREE	B & B	1.5"-2.0"
	7	SHADE TREE / 1 PER LOT ONE (1) SHADE TREE TO BE INSTALLED PER LOT.	B & B	2" CAL
	10	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN	EX	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	
	2,736 SF	EX LANDSCAPE - SHRUB BED / TO REMAIN ADJUST FOR NEW LAYOUT. REPLACE ANY DEAD/DAMAGED MATERIALS AND PROTECT DURING CONSTRUCTION.	EX	
	2,026 SF	NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX 2-3 LBS PER 1000 SQUARE FEET. IRRIGATED SEED MIX.	SEED	
MULCHES	QTY	BOTANICAL / COMMON NAME	CONT	
	6,524 SF	XERIC PLANT BED / LOW WATER USE A MIX OF XERIC SHRUBS, GRASSES, AND PERENNIALS WITH EITHER WOOD MULCH OR ROCK MULCH WITH WOOD MULCH RINGS.	MULCH	

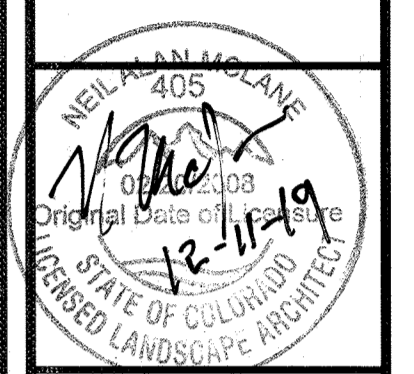
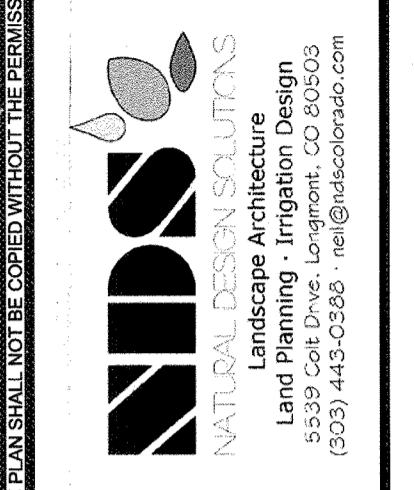
PLAN NOTES:

- NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE. THIS INCLUDES DEVIATIONS OF CULTIVARS FROM THOSE PROPOSED. SEE NOTE #11 FOR ID TAG RETENTION REQUIREMENTS.
- THIS SITE HAS HEAVY CLAY SOIL. THE SOI SHALL BE AMENDED WITH THE MICRONUTRIENTS LISTED WITHIN THE SOILS ANALYSIS CHART ON SHEET L20. SQUEGEE ROCK SHALL BE APPLIED WITH THESE AMENDMENTS AND TILLED INTO THE TOP 8" OF THE SOIL.
- CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO INSTALLATION OF SUCH MATERIALS.
- CONTRACTOR TO PROVIDE RECEIPTS TO LANDSCAPE ARCHITECT FOR ALL SEEDING PROPOSED ON SITE, PRIOR TO INSTALLATION OF SEEDING MATERIALS.
- NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE DETAILS SHEET L2.0.
- DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
- WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAIL SHEET L2.0
- ALL EMITTERS PER IRRIGATION PLAN.
- ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
- SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
- RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.

IRRIGATION:
ALL TURF AREAS TO BE SPRAY IRRIGATED.
ALL SHRUB BED AREAS TO BE DRIP IRRIGATED.

REVISIONS:

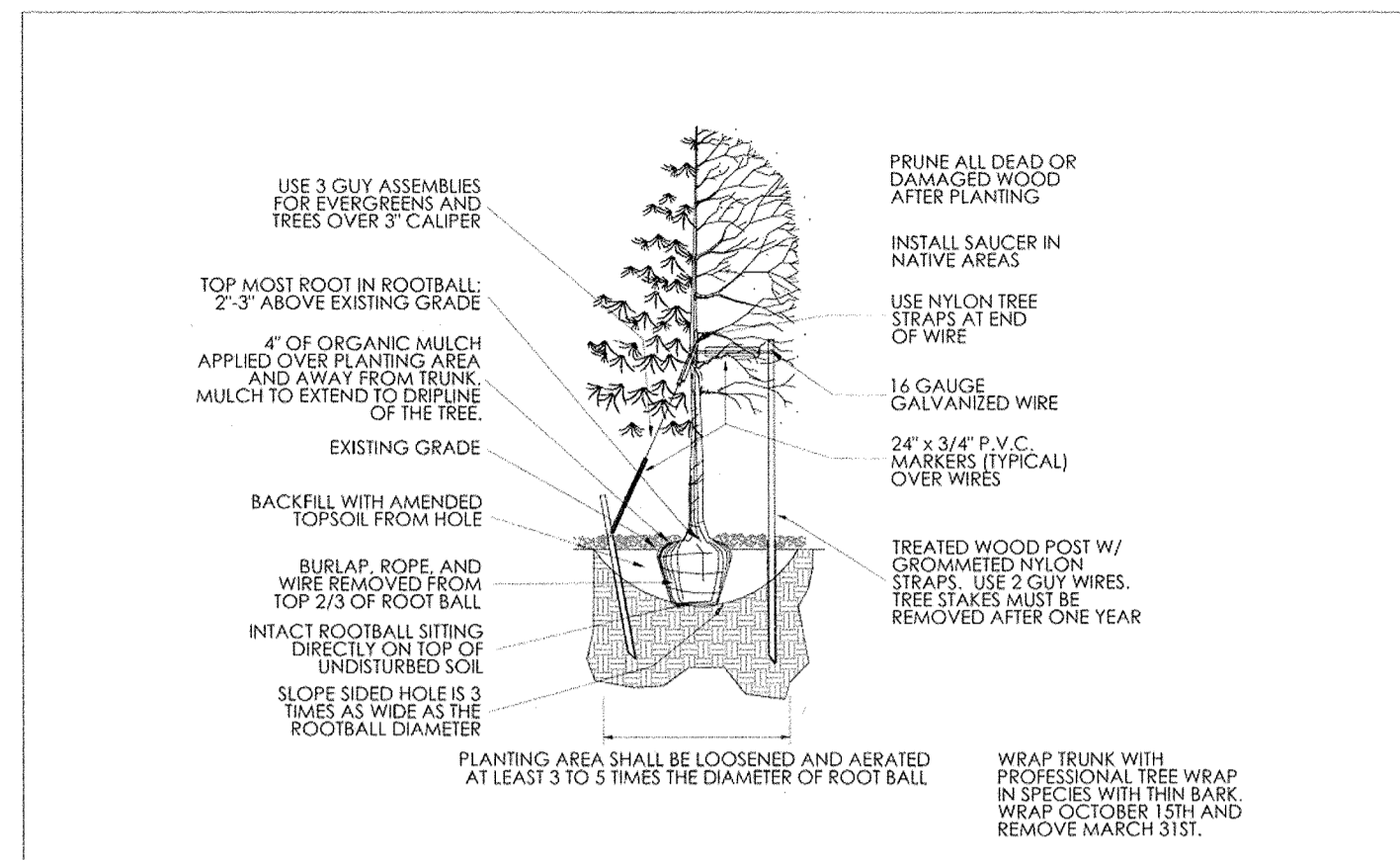
Town Comments:	08.14.19
Town Comments:	09.24.19
Town CD Comments:	11.01.19
Town SDP Comments:	11.05.19
Town SDP Comments:	11.25.19
Town CD Comments:	12.06.19
MAJOR:	12.10.19



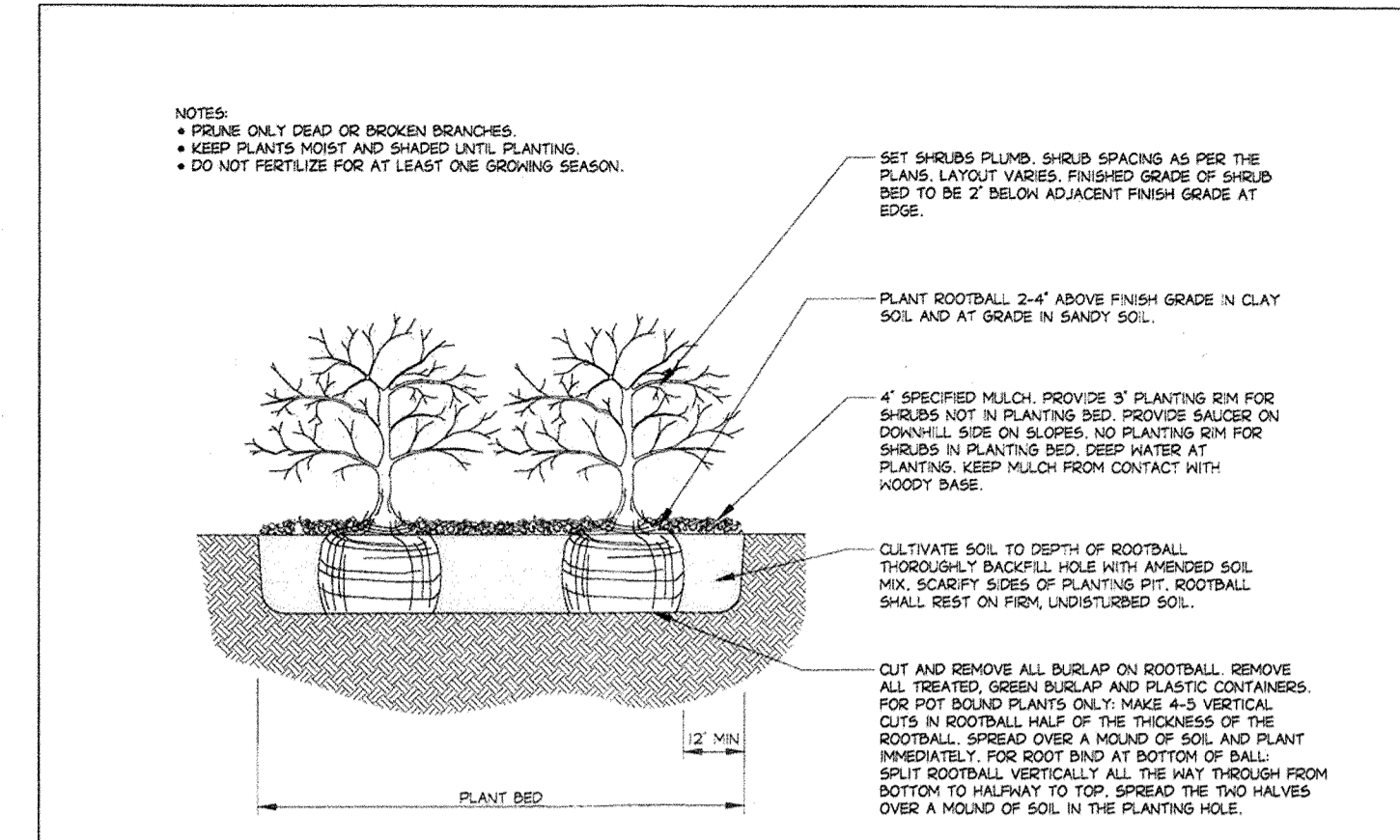
MEADOWS FAMILY EYE CARE - CONSTRUCTION DOCUMENTS
CASTLE ROCK, CO
LANDSCAPE CONSTRUCTION PLAN

PROJ. NO.:	
DATE:	03.06.19
SCALE:	See Sheet
DRAWN:	JRO
CHKD BY:	NAM
SHEET	5 of 11

SDP19-0017
TOWN-FILE-6D13-6636



TREE PLANTING
Sheet Revisions: [table]
Town of Castle Rock Development Services
DETAIL PLAN NO. LS-1
Sheet 1 of 2



SHRUB PLANTING
Sheet Revisions: [table]
Town of Castle Rock Development Services
DETAIL PLAN NO. LS-3
Sheet 1 of 1

N, P, K AMENDMENTS REDUCED BY 50% DUE TO LOW NUTRIENT NEEDS OF VERY XERIC PLANT MATERIAL.

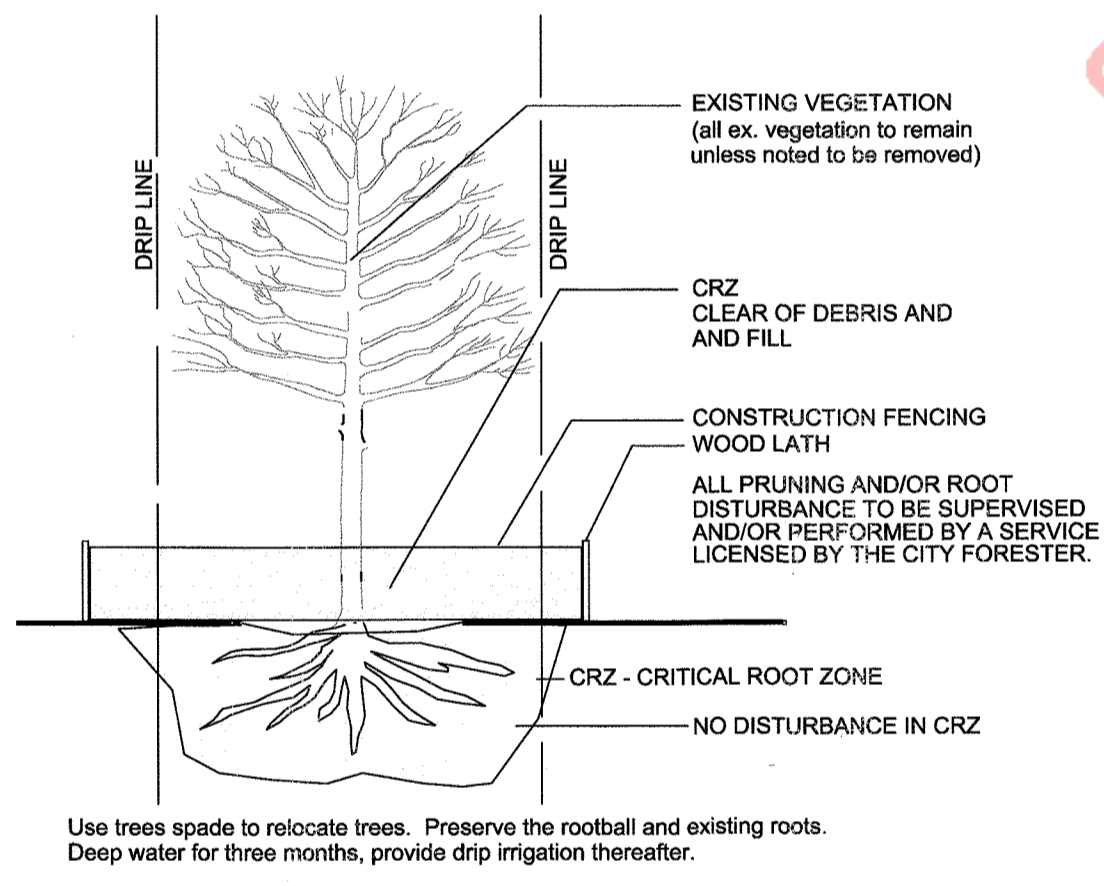
GROUND PLANE TREATMENT	Test No: H1353a PH = 8.4				SOIL TYPE = Sandy Clay Loam Organic Material = 5.8%					
	CLASS I OM AMENDMENT = 0.1 ppm	NITROGEN = 1.5 lb. per 1000 sf	PHOSPHORUS = 6.6 ppm	POTASSIUM = 140.8 ppm	OTHER K, Zn, Fe, Mn, B or Cu	FERTILIZER	E.C. SALT OR PH TREATMENT	MycosApply Soluble MAXX	MycoApply Ultrafine Endo	ROTTILL DEPTH
SODDED TURF-GRASS	3 cu yds./1000sf	1.5 lb. per 1000 sf	2 lbs / 1000 sf P205	0.5 lb. per 1000 sf	2 oz Zn / 1000 sf	Biosol: 20 lbs. per 1000 sq.ft.	n/a		1.5 oz./1000 sf	6" MIN
SEDED AREAS-NATIVE	2 cu yds./1000sf	N/A	none needed	none needed	none needed	Biosol: 20 lbs. per 1000 sq.ft.	n/a		0.5 oz./1000 sf Mix W/Seed	6" MIN
TREES	3 cu yds./1000sf	1.5 lb. per 1000 sf	2 lbs / 1000 sf P205	0.5 lb. per 1000 sf	2 oz Zn / 1000 sf	Biosol: 8 oz. per sq.yd.	n/a	2.5 Gal./ Container		6" MIN
SHRUBS	3 cu yds./1000sf	1.5 lb. per 1000 sf	2 lbs / 1000 sf P205	0.5 lb. per 1000 sf	2 oz Zn / 1000 sf	Biosol: 8 oz. per sq.yd.	n/a	24 oz./Gal.		6" MIN

ACCEPTABLE FERTILIZERS:
Nitrogen: For each 0.1 lb needed, apply 1/4 lb urea, or 1/2 lb ammonium sulfate, or 3/4 lb bloodmeal, or 1 lb corn gluten meal, or 5 lb alfalfa meal pellets per 100 sq.ft.
Phosphorus: bone meal can be added at 3.5 lb/100 sq.ft. or triple superphosphate can be added at 7 lb/100 sq.ft.
Potassium: potassium chloride can be added at 0.6 lbs/100 sq.ft. or as composted manure @ 0.1 - 0.3 cubic yards/100 sq.ft.
Biosol and MycoApply products are available at: Rocky Mountain Bio Products, 10801 E. 54TH Ave., Denver, CO 80239 (303) 696-8964, www.rockymountainbioproducts.com (Apply in accordance with manufacturer's recommendations).
USE CLASS I COMPOST AMENDMENTS AND ORGANIC AMENDMENTS AS SPECIFIED ABOVE.
APPLY ADDITIONAL FERTILIZER ONLY IF SALT LEVELS ARE LOW.
USE SLOW RELEASE FERTILIZERS FOR SANDY SOILS.
IF THE RECOMMENDATIONS NOTED ABOVE ARE NOT FOLLOWED BY THE RESPECTIVE PARTIES, THE CERTIFICATE OF OCCUPANCY MAY BE POSTPONED OR DENIED.
PROVIDE A COPY OF RECEIPT(S) FOR SOIL ALL AMENDMENTS INSTALLED PRIOR TO FINAL INSPECTION.

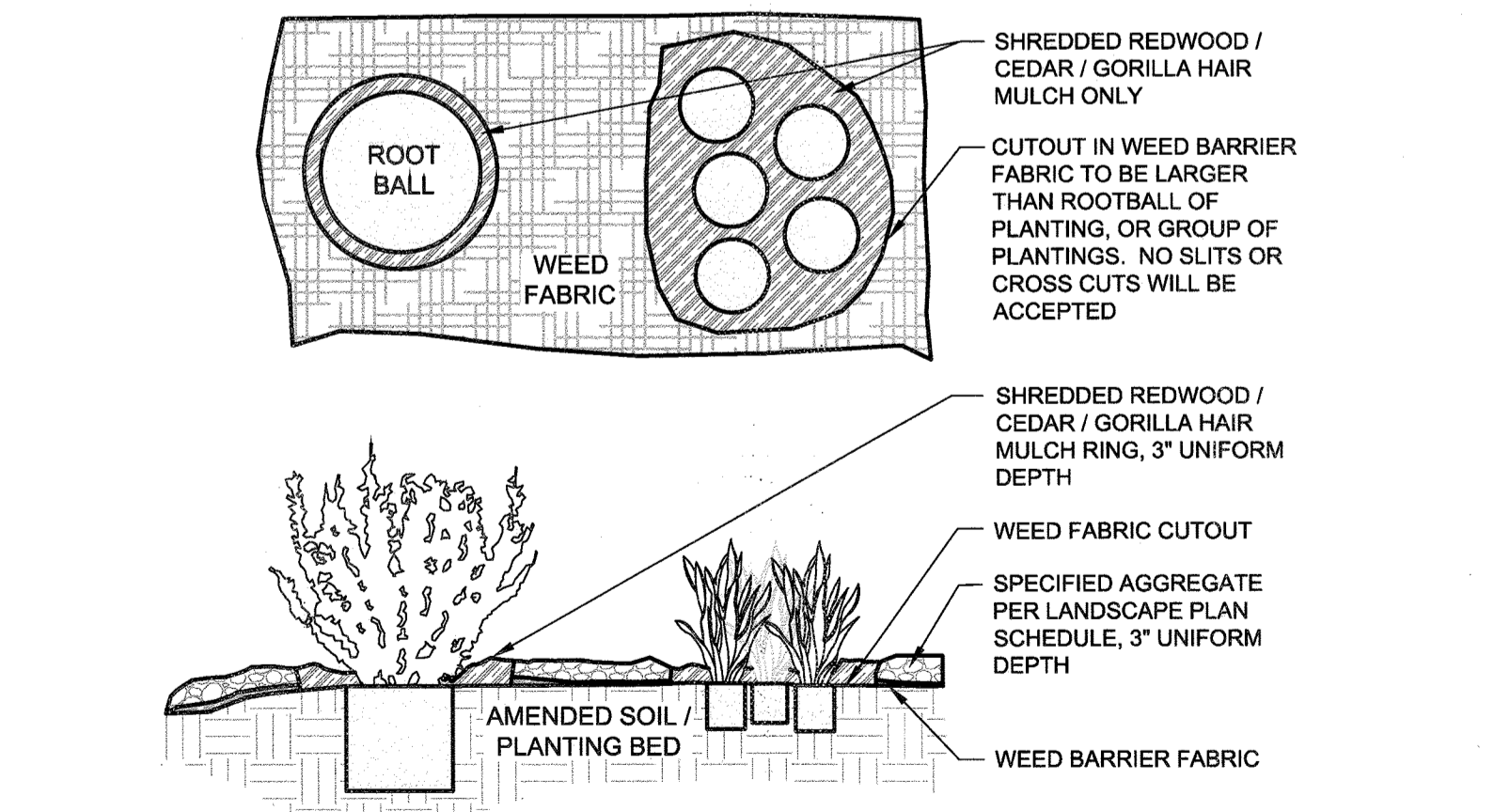
EXISTING TREE PROTECTION DIRECTIONS:

PROTECTIVE FENCING:
FOUR FEET HEIGHT PROTECTIVE FENCING IS TO BE INSTALLED AROUND THE EXISTING TREES TO REMAIN PRIOR TO CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO TAKE PRECAUTIONS TO ENSURE THAT EXISTING ROOTS AND LIMBS ARE NOT DAMAGED DURING EXCAVATION ADJACENT TO TREES. FENCING IS TO BE INSTALLED BELOW THE EDGE OF THE CANOPY OF THE EXISTING TREES TO REMAIN. FENCING IS TO REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.
IF ROOT PRUNING IS NECESSARY FOR GRADING, EXCAVATING, OR INSTALLATION OF IRRIGATION SYSTEM, ALL ROOT PRUNING IS TO TAKE PLACE OUTSIDE OF THE PROTECTIVE FENCING AROUND EACH TREE. CONTRACTOR IS TO TRENCH 12" AWAY FROM PROTECTIVE FENCING. ANY ROOTS LARGER THAN 2" ARE TO BE SAW CUT. CONTRACTOR IS TO HAND DIG ANY TRENCHES AND SAW CUT ANY INTERFERING ROOTS INSIDE THE PROTECTIVE FENCE AREAS.

WATERING, MULCHING, AND FERTILIZATION:
PRIOR TO CONSTRUCTION CONTRACTOR IS TO PLACE A 4" DEPTH OF WOOD CHIPS OR MULCH INSIDE THE PROTECTIVE FENCING OF EXISTING TREES TO REMAIN. CONTRACTOR IS TO PROVIDE REGULAR DEEP WATERING TO ALL EXISTING TREES TO REMAIN THROUGHOUT CONSTRUCTION. DURING CONSTRUCTION A SLOW-RELEASE NITROGEN FERTILIZER IS TO BE APPLIED AROUND THE BASE OF EACH TREE AT A RATE OF 2 LBS. PER 1000 S.F. (USE DRIP LINE OF TREE TO CALCULATE SQUARE FOOTAGE).



TREE PROTECTION DETAIL
1/6 NOT TO SCALE



FABRIC CUTOUT / WOOD MULCH RING DETAIL
2/6 NOT TO SCALE

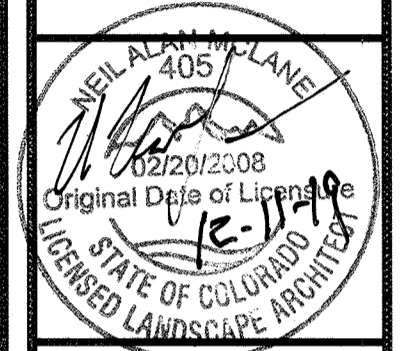
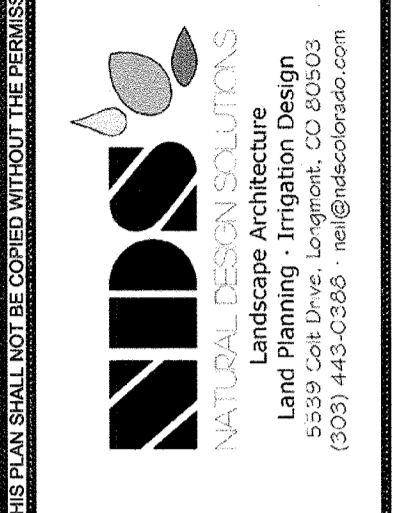


CLWUR (Composite landscape water use rating) Chart

Project Name: Meadows Family Eye Care
Site Development Plan (SDP) Number: CD19-0036

Irrigation Spray or Drip?	Plant Name (Common)	Appl. Rate (inches/month)	Zone (V,L,L,Mod,H,W)	% of Total Area	IA Irrigated area (in sq. ft. for each zone)	LWUR Landscape Water Use Rating	TA Total Area of all Irrigated Landscape Zones	CLWUR (LWUR x IA) /TA
Spray	Buffalo/Blue Grama Seed	2	VL	0.24	2026	1.5	8550	0.355438596
Drip	Xeric Bed	3	L	0.76	6524	2.5	8550	1.907602339
Total of the CLWUR								2.263040936

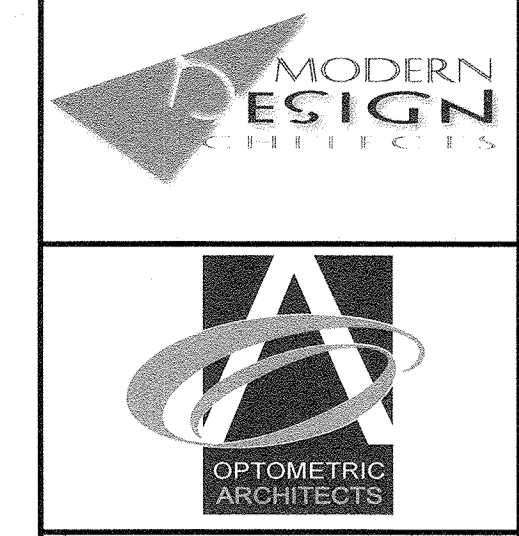
REVISIONS:
Town Comments: 08.14.19
Town CD Comments: 09.24.19
Town CD Comments: 11.01.19
Town SDP Comments: 11.05.19
Town SDP Comments: 11.26.19
Town CD Comments: 12.06.19
MWR: 12.10.19



MEADOWS FAMILY EYE CARE - CONSTRUCTION DOCUMENTS
CASTLE ROCK, CO
LANDSCAPE PLAN DETAILS & NOTES

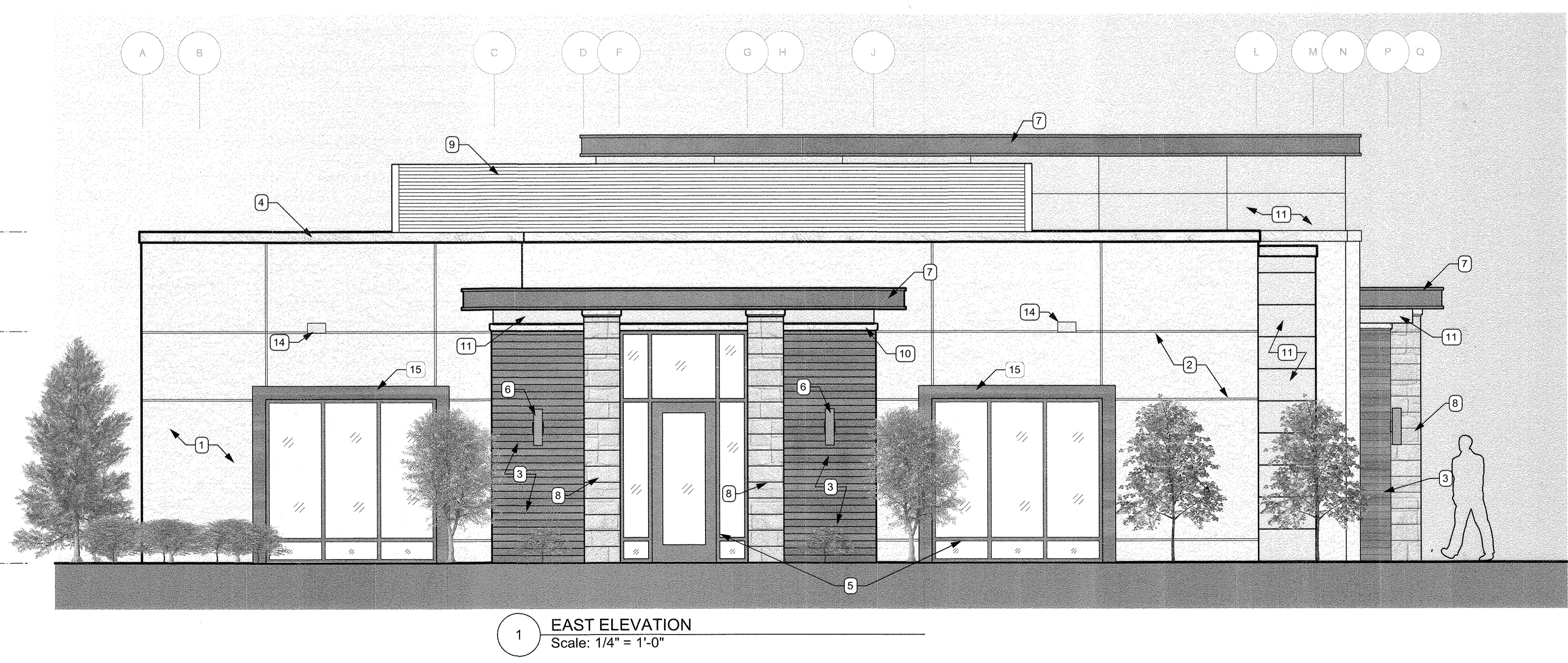
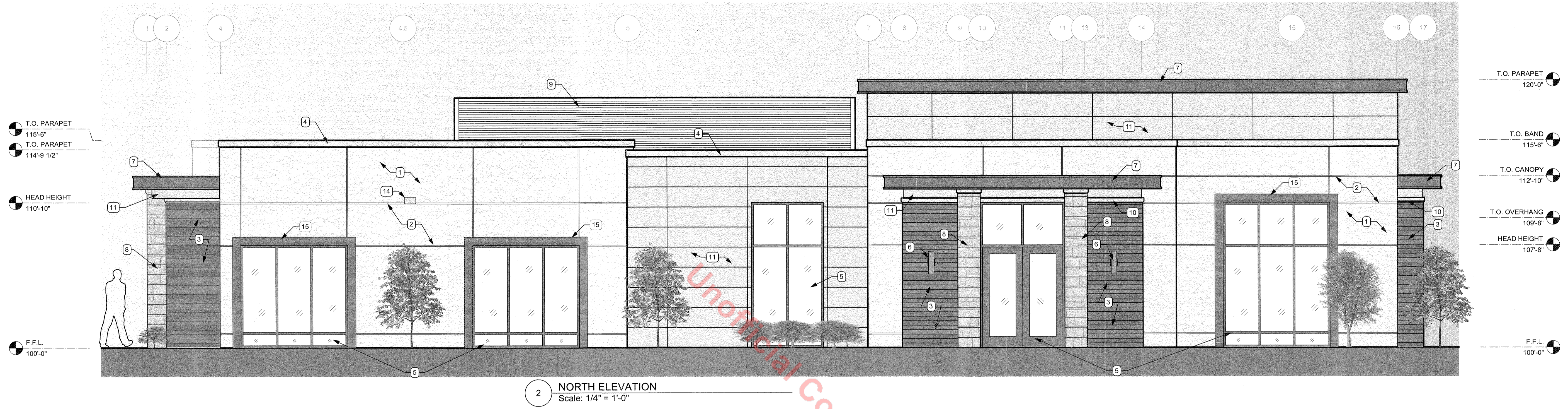
PROJ. NO.:
DATE: 03.06.19
SCALE: See Sheet
DRAWN: JRO
CHKD BY: NAM
SHEET 6 of 11

SDP 19-0017
TOWN FILE CD19-0036



ALL WILL SIGNS TO BE REVIEWED AND APPROVED WITH THE BUILDING PERMIT IN CONFORMANCE WITH TITLE 19 SIGN CODE REGULATIONS

- KEY NOTES**
1. STUCCO (SW7015 REPOSE GRAY)
 2. 1" REVEAL JOINT
 3. NICHHA ARCHITECTURAL WALL PANELS (VINTAGE WOOD - BARK) 18"x10" PANELS
 4. METAL COPING (CHAMPAGNE METALLIC)
 5. ALUMINUM WINDOW - BLACK ANODIZED
 6. TECH LIGHTING (1000WGAG-830-20DHUNS) WALL SCONCE, MOUNTED AT 6'-6", SEE ELEC.
 7. METAL FASCIA (BLACK)
 8. HALQUIST STONE - PRINCETON (COLOR BLEND OF CREAM, TAN, & BEIGE)
 9. ARCHITECTURAL LOUVERS SCREEN WALL (SW7015 REPOSE GRAY)
 10. CAST STONE BAND (ADVANCED CAST STONE - CLASSIC WHITE)
 11. NICHHA ARCHITECTURAL WALL PANELS (MODERN SERIES - PEWTER) 18"x6" PANELS
 12. THRU-WALL SCUPPER
 13. HOLLOW METAL DOOR - PAINT TO MATCH BLACK ANODIZED ALUM.
 14. HUBBELL OUTDOOR LIGHTING (LNC2-12L-4K-070-2) WALL PACK, MOUNTED AT 11'-0", SEE ELEC.
 15. 1"x7" TIMBER TECH TRIM BOARD (DARK HICKORY)



LOGO.

OWNER/ADDRESS

MEADOWS FAMILY EYE CARE

3700 DACORO LANE
CASTLE ROCK, CO

SEAL.

DRAWING ISSUE INFORMATION

ISSUE: DESIGN DEVELOPMENT

DATE: 11/5/19

MARK	DATE	DESCRIPTION

JOB NO: D292-18

FILE:

DRAWN BY: DLH

CHECKED BY: RJS

PROJECT ARCHITECT: RJS

PRINCIPAL IN CHARGE: RJS

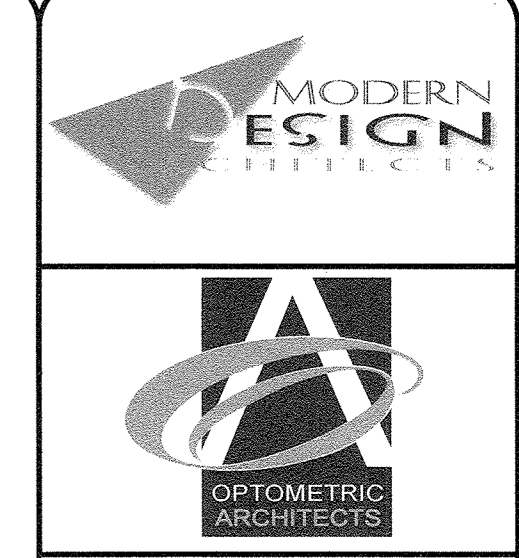
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SHEET TITLE.

ELEVATIONS

SHEET NO.

7 of 11

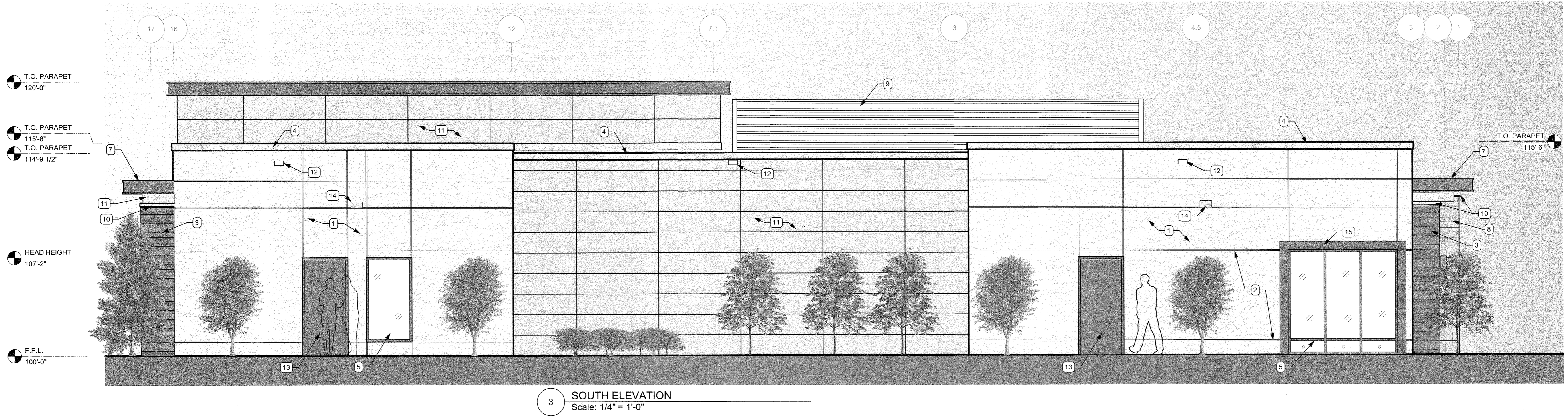


ALL WILL SIGNS TO BE REVIEWED AND APPROVED WITH THE BUILDING PERMIT IN CONFORMANCE WITH TITLE 19 SIGN CODE REGULATIONS

- KEY NOTES**
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 15. 1"x7" TIMBER TECH TRIM BOARD (DARK HICKORY)



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OWNER/ADDRESS
MEADOWS FAMILY EYE CARE
3700 DACORO LANE
CASTLE ROCK, CO

SEAL

DRAWING ISSUE INFORMATION

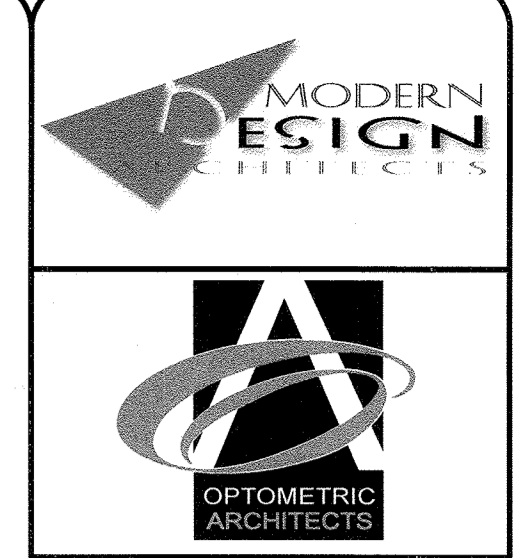
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DATE:	11/5/19	
MARK	DATE	DESCRIPTION

JOB NO: D292-18
FILE:
DRAWN BY: DLH
CHECKED BY: RJS
PROJECT ARCHITECT: RJS
PRINCIPAL IN CHARGE: RJS

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SHEET TITLE
ELEVATIONS

SHEET NO.
8 of 11



LOGO.

OWNER/ADDRESS
MEADOWS FAMILY EYE CARE
 3700 DACORO LANE
 CASTLE ROCK, CO

SEAL.

DRAWING ISSUE INFORMATION

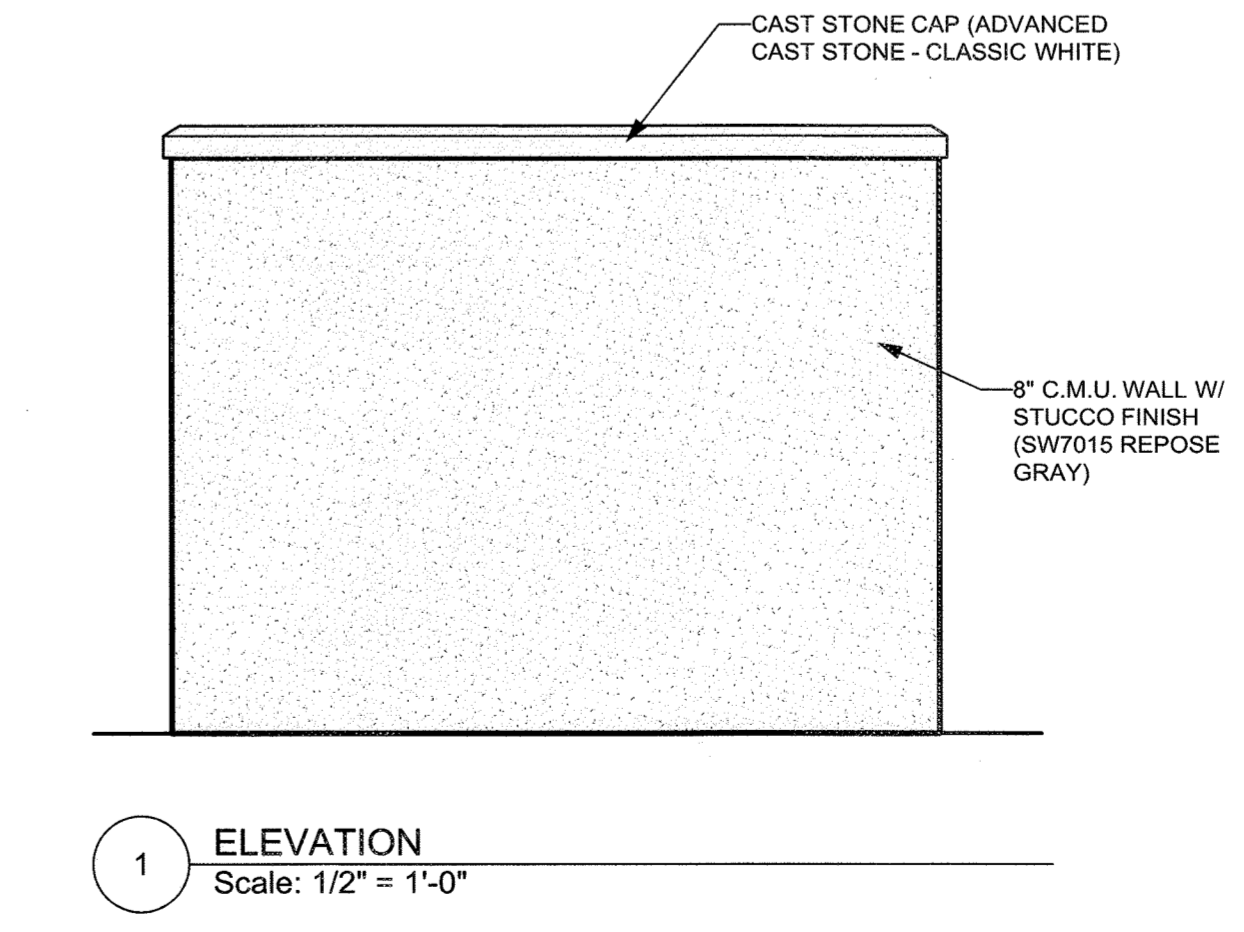
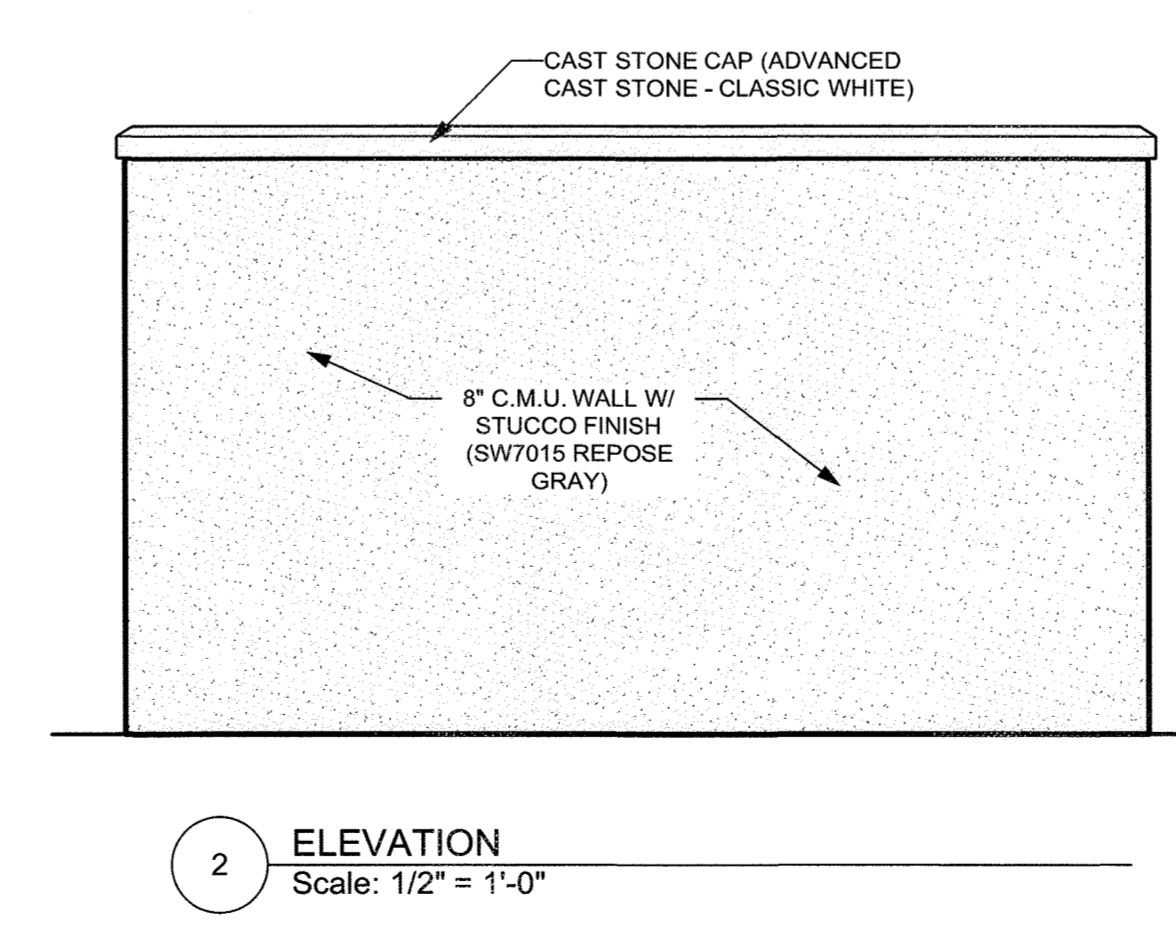
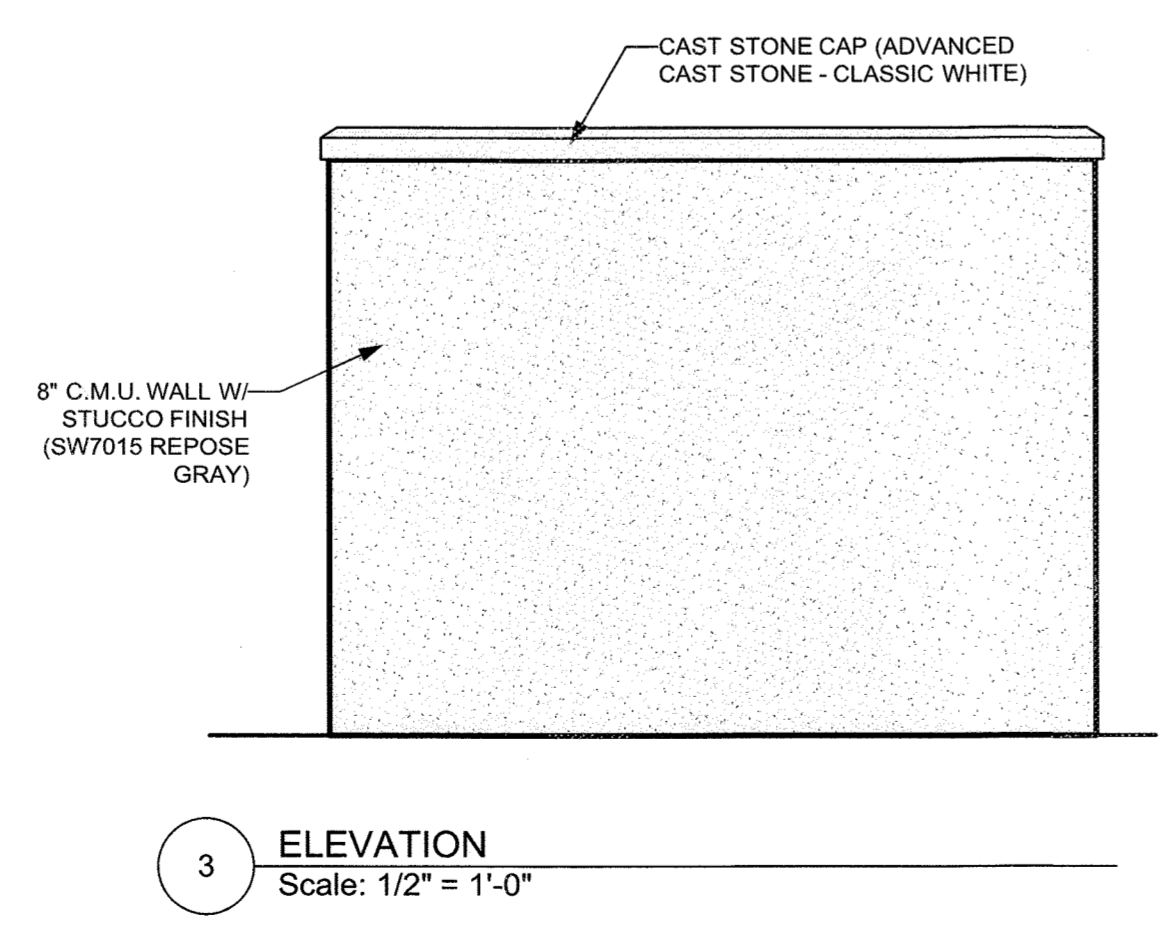
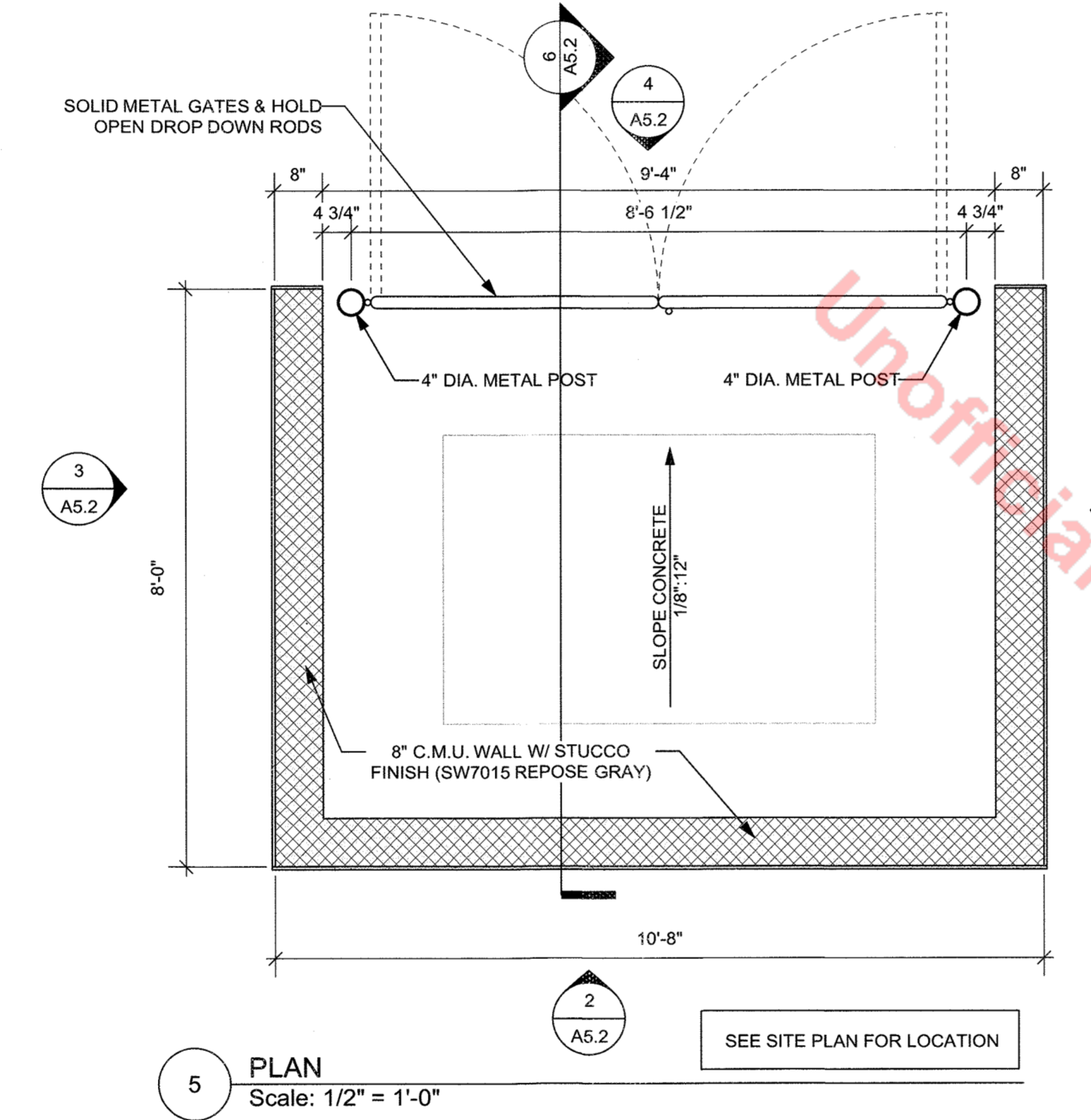
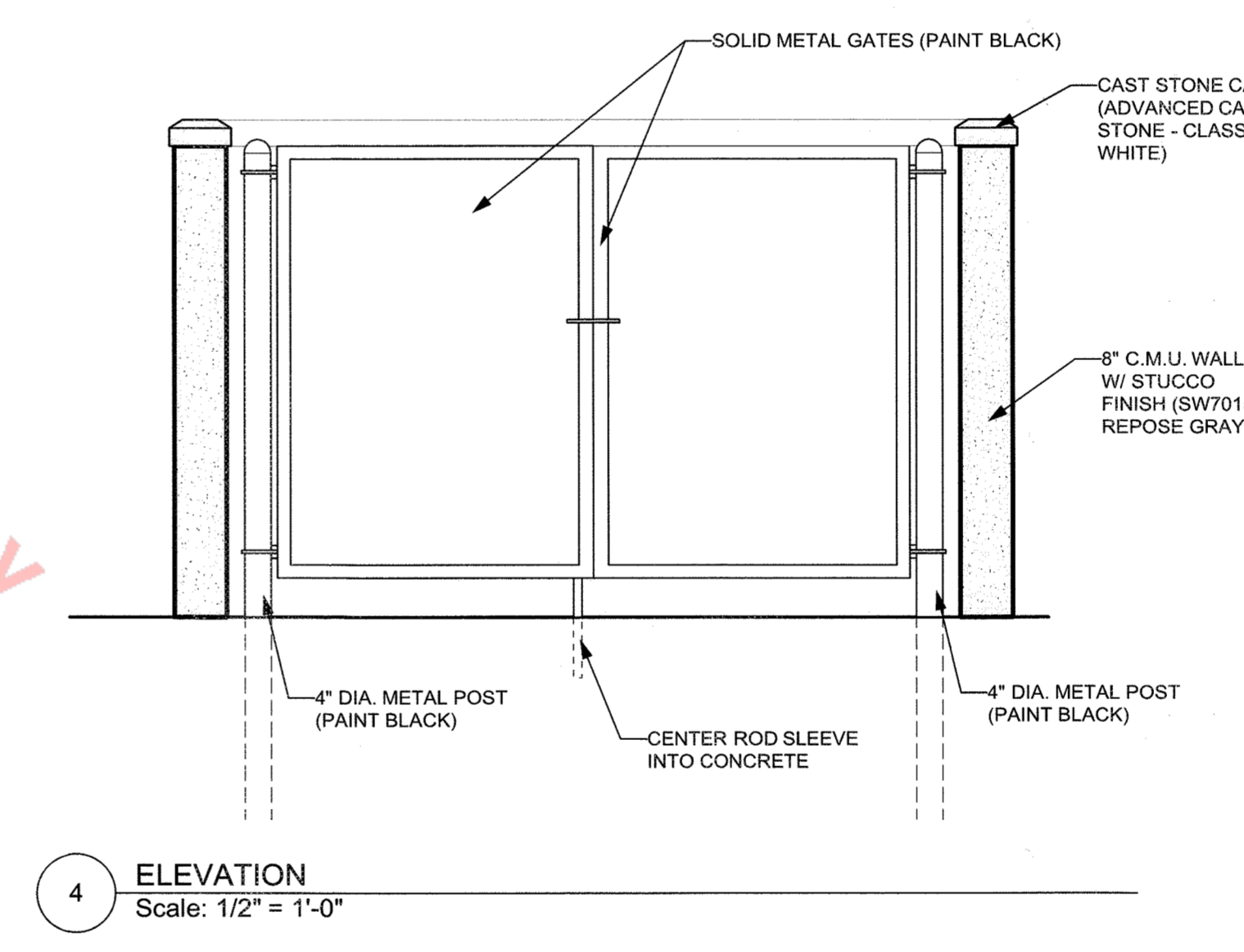
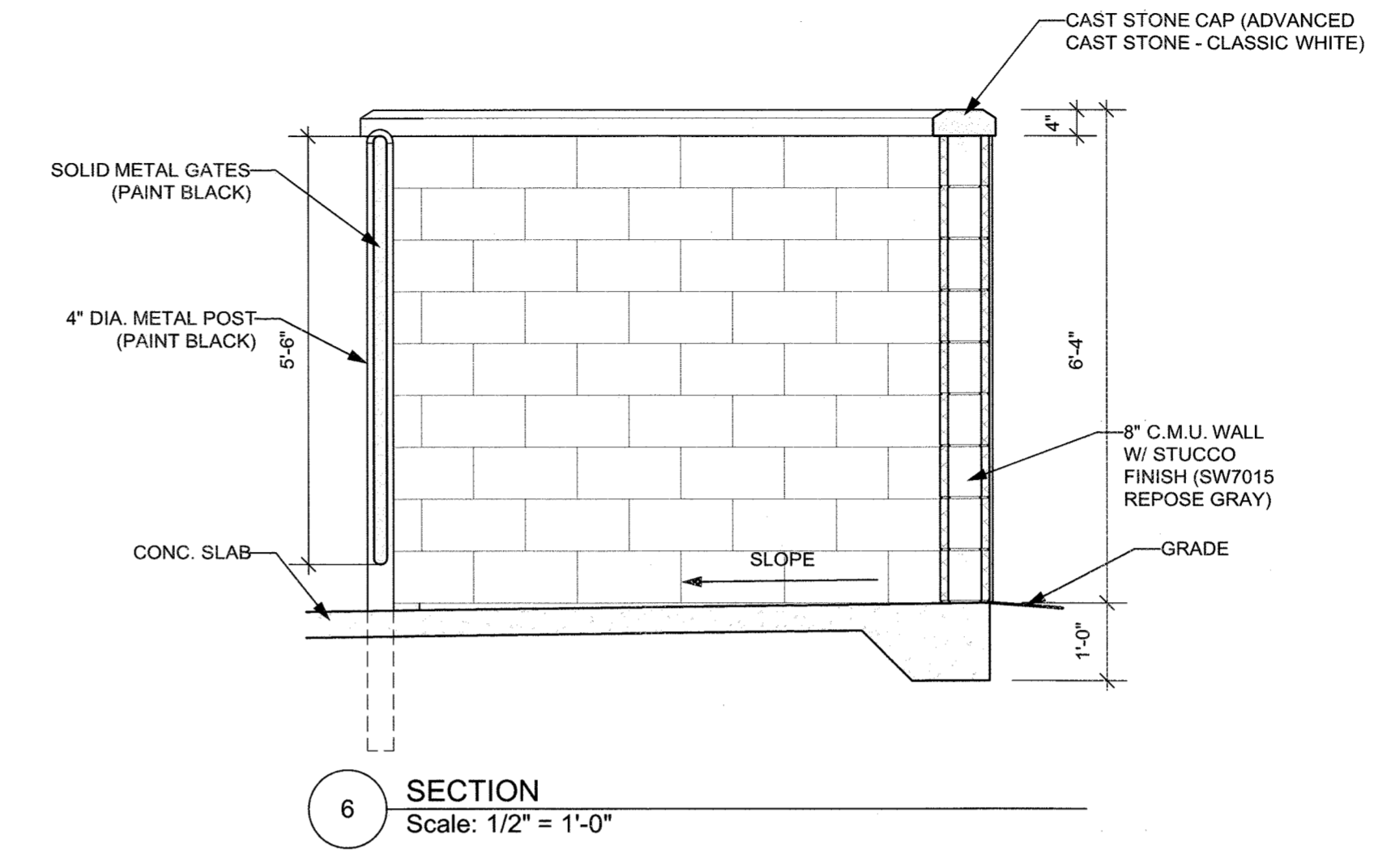
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DATE:	10/10/19	
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 CHECKED BY: RJS
 PROJECT ARCHITECT: RJS
 PRINCIPAL IN CHARGE: RJS

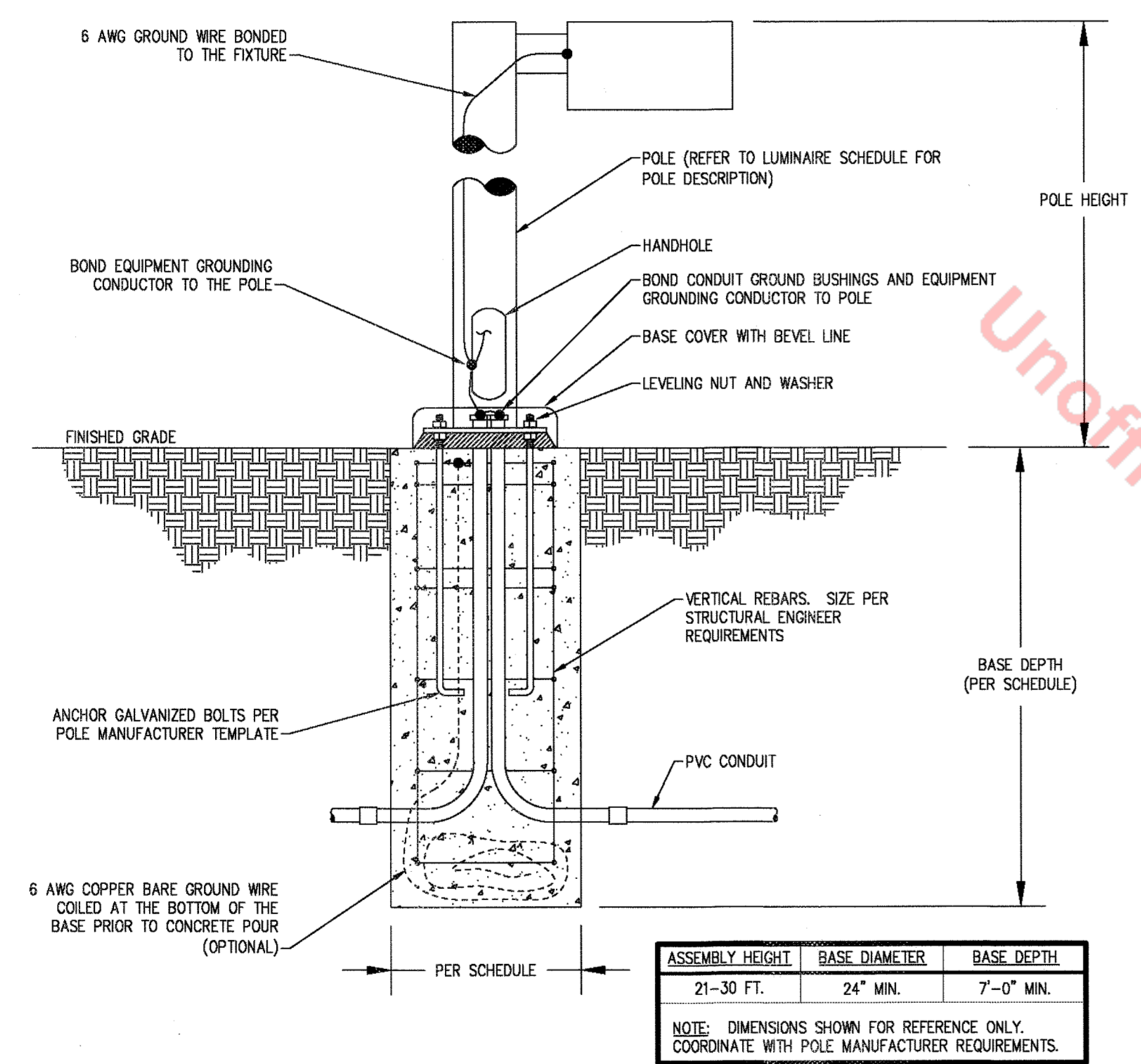
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SHEET TITLE
TRASH ENCLOSURE ELEVATIONS

SHEET NO.
9 of 11



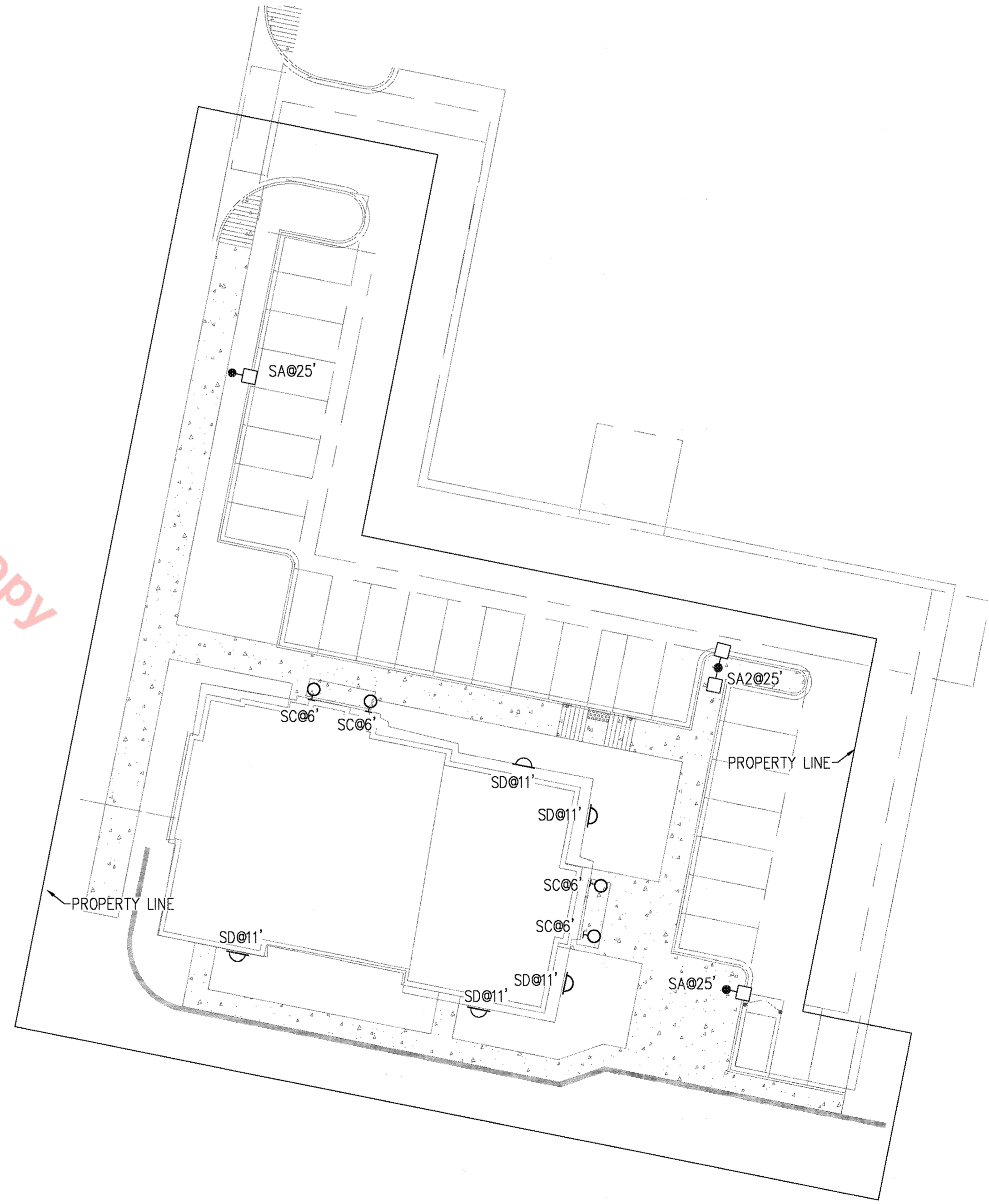
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□-●-□	SA2	1	Hubbell Lighting Inc	VP-S-48L-110-4K7-3-BC	SMALL VIPER	X-70-CRI DATA SHOWN IS SCALED FROM TEST 12156561.03	1	8435
♀	SC	4		SILENE OUT 3455-KDH 2XLED.8	Anthracite fine textured powder coat structure and housing. Long crystal clear glasses with an inside frosted surface	2x8 02W Luxeon Rebel Plus LED module with Ledli lenses 48 degrees wide beam for Luxeon Rebel chip	2	730
△	SD	5	HUBBELL OUTDOOR	LCN2-12L-4K-070-2	LitePak LNC2	C-70-CRI	1	2763



1 POLE-MOUNTED LIGHT FIXTURE DETAIL
 SCALE: NO SCALE
 NOTE: COORDINATE DETAIL SHOWN WITH PROJECT STRUCTURAL ENGINEER. NO WORK SHOULD BE PERFORMED WITHOUT STRUCTURAL ENGINEER APPROVAL.

EXTERIOR LIGHTING OPERATION REQUIREMENTS

- ALL OUTDOOR LIGHTING NOT NECESSARY FOR SECURITY PURPOSES SHALL BE TURNED OFF DURING NOT-OPERATING HOURS VIA PROGRAMMABLE ASTRONOMIC TIMELOCK. LIGHTING NECESSARY FOR PUBLIC HEALTH, SAFETY AND WELFARE PURPOSES MAY BE ACTIVATED BY MOTION SENSING DEVICES. ALL OUTDOOR LIGHTING ON PRIVATE PROPERTY SHALL BE TURNED OFF BETWEEN 11:00 PM AND SUNRISE, UNLESS EXEMPTED.
 - LIGHTING MAY REMAIN ON WHILE THE BUSINESS FACILITY IS OPEN TO THE PUBLIC.
 - LIGHTING MAY REMAIN ON WHILE IT IS USED FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, ROADWAYS, DRIVEWAYS, AND PARKING LOTS WHERE ACCESSIBLE AT NIGHT, AS APPROVED BY CITY AUTHORITIES.



2 LIGHTING PLAN
 SCALE: 1" = 20'
 0 5' 10' 20' 40' 60' 80'

Unofficial Copy

J:\070 DACCORO LANE CASTLE ROCK\142\SITE LIGHTING\19\DRAWINGS\SDP\19-015 - SITE PHOTOMETRIC\PHOTOMETRIC PLAN SDP.DWG. EROBERTS, 11/20/19 12:40 PM

11/05/19	10/06/19	09/23/19	03/08/19	Date	Init.	Appr.	Date	
4	3	2	1	No.	Revisions			
10338 E. Dry Creek Rd. Englewood, CO 80112 Tel: (720) 482-9526 Fax: (720) 482-9546								
MEADOWS FAMILY EYECARE 3750 DACCORO LANE, #180 CASTLE ROCK, CO 80109 RYAN REID								
THE MEADOWS FAMILY EYECARE LLC TOWN OF CASTLE ROCK LIGHTING PLAN								
DRAWN BY:	SCALE:	AS SHOWN	FILE NO.:					
CHECKED BY:	ER	ER	DATE:	MAR 2019				
SHEET NUMBER			10					OF 11

SDP 19-0017

