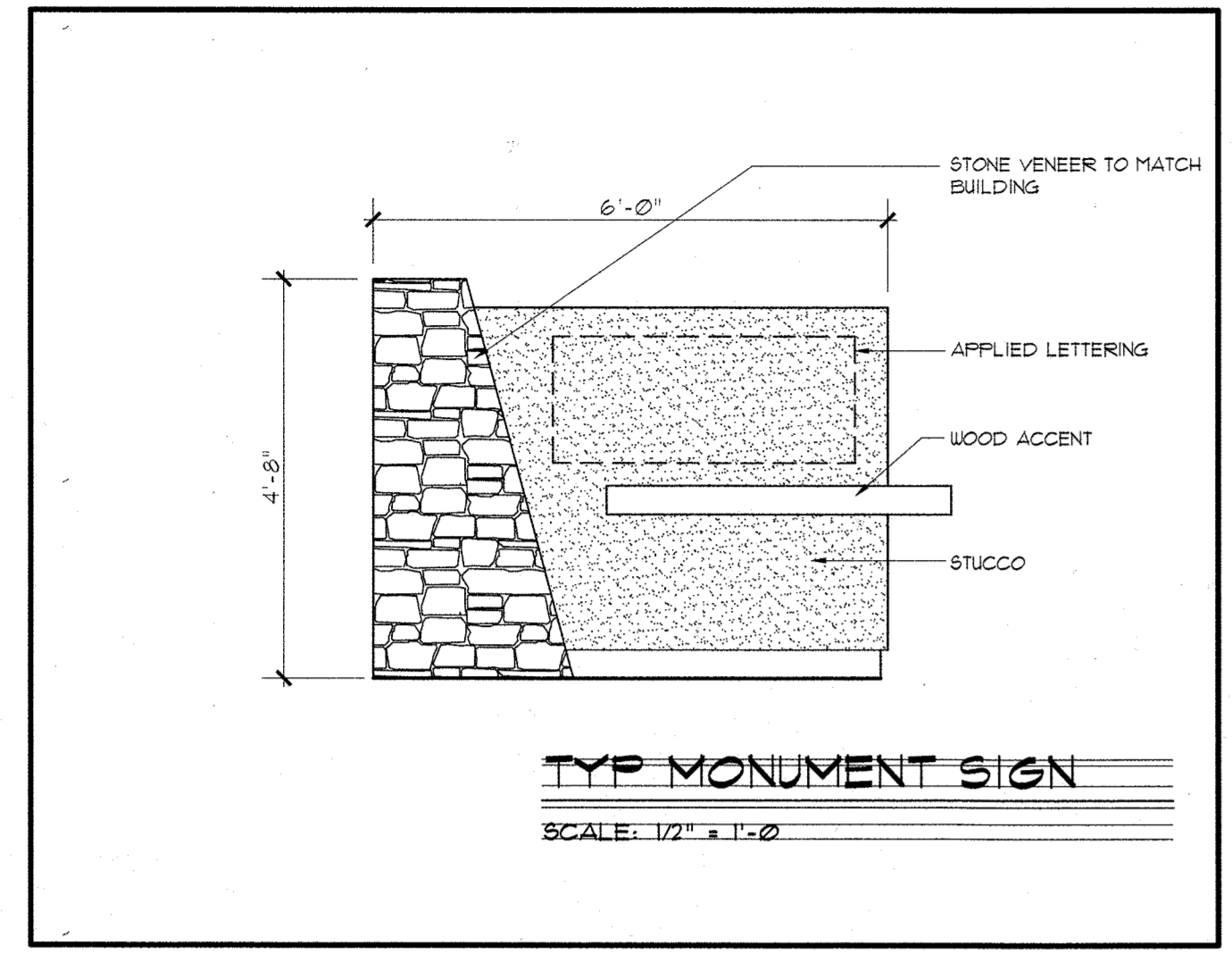


**LOT 6E, THE MEADOWS FILING NO. 17,  
AREA NO. 4, AMENDMENT NO. 10 SITE  
DEVELOPMENT PLAN LOCATED IN  
SECTION 34, TOWNSHIP 7 SOUTH,  
RANGE 67 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, COUNTY OF  
DOUGLAS, STATE OF COLORADO**



SIGNAGE TABLE:		
SIGN TYPE:	ALLOWABLE SIZE	PROPOSED SIZE
WALL SIGN ( AT BUILDING ENTRY )	115.75 SF	2175 SF
ALLOWABLE WALL SIGN AREA EQUALS 25% OF WALL AREA. WALL AREA = 463.5 SF	463.5 SF * 25% = 115.75 SF	
MONUMENT SIGN(S)		
SIGN-1	100 SF (50 SF/SIDE)	56.0 SF (28 SF/SIDE)
SIGN-2	100 SF (50 SF/SIDE)	56.0 SF (28 SF/SIDE)
TOTAL SIGN AREA:	306.81 SF	133.75 SF
TOTAL SIGN AREA EQUALS 25% PER LINEAR FOOT OF BUILDING FRONTAGE BUILDING FRONTAGE = 122'-9"	122.75 * 25 = 306.81 SF	

**FIRE NOTES:**

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANTS ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL "WEATHER DRIVING CAPABILITIES". THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- NO "PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

**GENERAL NOTES:**

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE. PURSUANT TO SECTION 43E AND 823A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOULING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY" AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN STANDARDS AND REGULATIONS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOOLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE FINAL PLAN.
- THIS SITE IS ZONED COMMERCIAL OFFICE, INDUSTRIAL (COI) AS RECORDED BY ORDINANCE NO. 2003-18 ON THE 14TH DAY OF APRIL, 2003.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.

**BENCHMARK:**

THE PROJECT BENCHMARK IS A FOUND 3" DOUGLAS COUNTY CONTROL POINT BRASS CAP IN CONCRETE STAMPED 2/28/030 LOCATED APPROXIMATELY 400 FEET NORTH-EAST OF THE BNSF RAILROAD IN THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO. BENCHMARK ELEVATION BE 6082.17 FEET, NAVD 1988 DATUM.

**LEGAL DESCRIPTION:**

LOT 6E, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 10, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

**BASIS OF BEARINGS:**

THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 34, BEING MONUMENTED AT THE NORTH QUARTER CORNER BY A 2-1/2" ALUMINUM CAP STAMPED "ARCHER 4 4880C, L5 6935" AND AT THE NORTHWEST CORNER BY A 3-1/4" ALUMINUM CAP STAMPED "AZTEC CONSULTANTS PLS 38064 2014", ASSUMED TO BEAR NORTH 89°17'31" WEST.

**FLOOD PLAIN STATEMENT:**

THE PROPERTY IS LOCATED WITHIN FLOOD PLAIN HAZARD AREAS HAVING ZONE DESIGNATION "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP (FIRM) PANEL 08035C0169G, DATED MARCH 16, 2016 (ALTA/ACSM TABLE-A 5)

**WATER RIGHTS DEDICATION AGREEMENT:**

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS (FOURTH AMENDMENT) DEVELOPMENT AGREEMENT RECORDED JULY 10, 2009 AT RECEPTION NO. 2009102910 AND ACCORDINGLY 254 GPM ARE DEBITED FROM THE WATER BANK.

**SURVEYOR'S CERTIFICATE:**

DEREK BROWN, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THE SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

**CIVIL ENGINEER'S STATEMENT:**

I, Melinda E. Lindquist, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

**APPROVED VARIANCES**

- TDCM 3.4(1) - VARIANCE REQUEST TO REDUCE THE DISTANCE TO THE SITE ACCESS DRIVE FROM 210' TO APPROXIMATELY 165'.

**CERTIFICATE OF OWNERSHIP:**

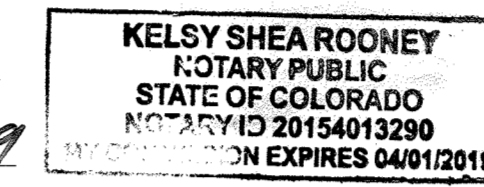
THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 6E, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 10, PD IN THE TOWN OF CASTLE ROCK

CASTLE ROCK DEVELOPMENT COMPANY  
SIGNED: James M. Ely THIS 29<sup>th</sup> DAY OF February, 2016

SUBSCRIBED AND SWORN BEFORE ME THIS 28<sup>th</sup> DAY OF February, 2016

BY: Kelsy Shea Rooney  
WITNESS MY HAND AND OFFICIAL SEAL.

Kelsy Shea Rooney  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 1-01-19



**TITLE CERTIFICATION:**

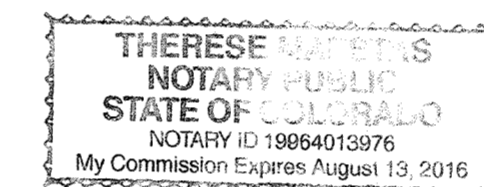
I, Scott Bennetts, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Co., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Scott Bennetts  
AUTHORIZED REPRESENTATIVE  
Land Title Guarantee Co.  
TITLE COMPANY

SIGNED THIS 29<sup>th</sup> DAY OF February, 2016

SUBSCRIBED AND SWORN BEFORE ME THIS 29<sup>th</sup> DAY OF February, 2016  
BY: Scott Bennetts OF: Land Title Guarantee Co.

Scott Bennetts  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 8/13/16



**PLANNING COMMISSION RECOMMENDATION:**

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 28<sup>th</sup> DAY OF January, 2016.

Melinda Lindquist 3-3-2016  
CHAIR DATE

Paul Danaher 2/3/16  
DIRECTOR OF DEVELOPMENT SERVICES DATE

**TOWN COUNCIL APPROVAL:**

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 17<sup>th</sup> DAY OF February, 2016.

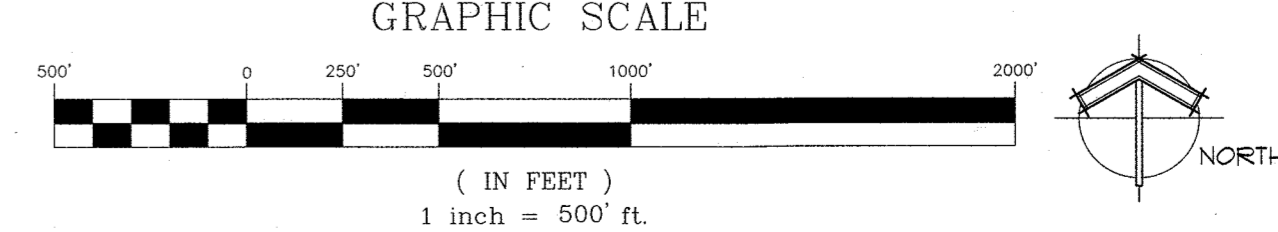
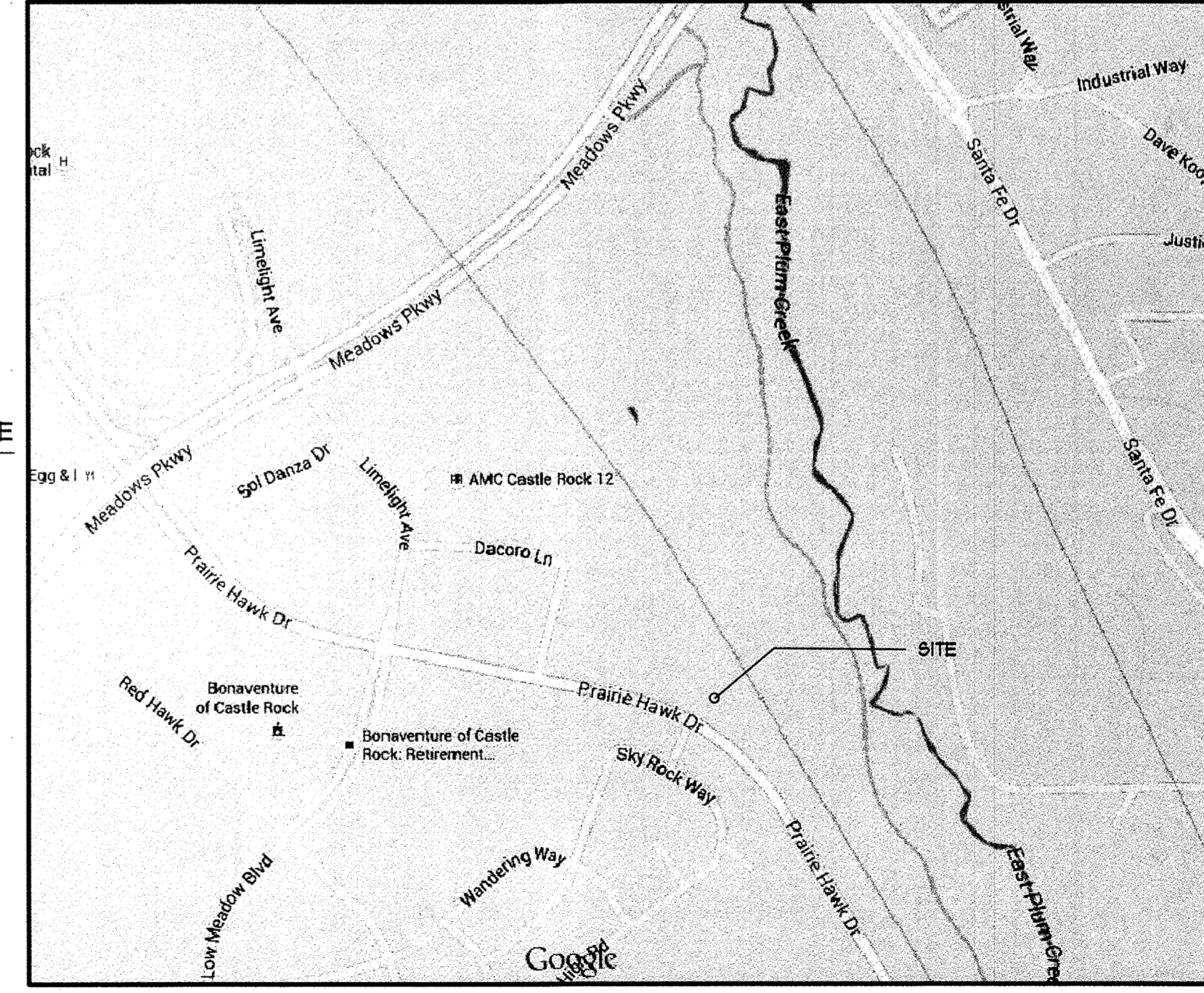
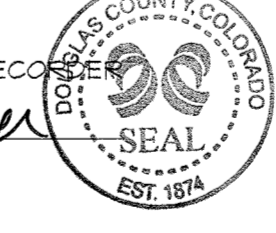
Paul Danaher 3/3/16  
MAYOR DATE

Scally M... 3-3-16  
TOWN CLERK DATE

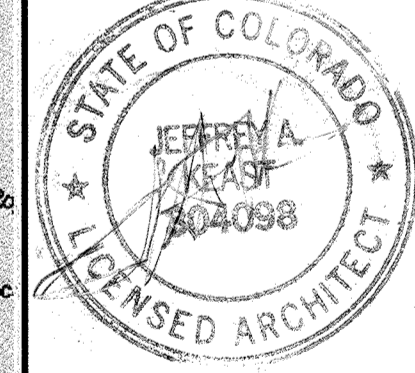
**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE**

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:09 PM ON THE 3<sup>rd</sup> DAY OF March, 2016 AT RECEPTION NO. 2016013499

DOUGLAS COUNTY CLERK AND RECORDER  
BY: Jody Blauser  
DEPUTY



VICINITY MAP  
SCALE: 1" = 500'-0"



9105 west 11th ave.  
lakewood, co 80215  
303.263.4491  
www.3darch.com

Project: Brooklyn VC  
Project No: 1504  
Address: Lot 6E  
The Meadows  
Castle Rock, CO

Date: 02/12/16  
Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_  
Revision: Rev 1 03/12/16  
Revision: Rev 2 03/16/2016  
Revision: Rev 3 03/22/16  
Revision: Rev 4 03/22/16  
Revision: Rev 5 02/26/2016  
Revision: \_\_\_\_\_

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SDP 15 - 0033  
COVER SHEET  
SITE DEVELOPMENT PLAN FOR  
LOT 6E, THE MEADOWS FILING  
NO. 17, AREA NO. 4, AMEND. NO. 10



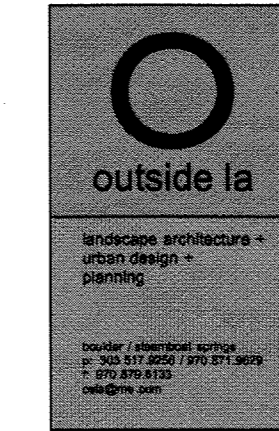


LOT 6E, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 10 SITE DEVELOPMENT PLAN LOCATED IN SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	O.C. SPACING	HYDROZONE	% OF SPECIES
<b>SHADE TREES:</b>							
HB	6	Hackberry	Celtis occidentalis	2" cdp.	as shown	LOW	33%
KC	4	Kentucky Coffeetree	Gymnocladus dioica	2" cdp.	as shown	LOW	22%
SHL	4	Shademaster Honeylocust	Gleditsia triacanthos var. inermis 'Shademaster'	2" cdp.	as shown	LOW	22%
SM	4	Green Mountain Sugar Maple	Acer saccharum 'Green Mountain'	2" cdp.	as shown	LOW	22%
total:	18						
<b>EVERGREEN TREES:</b>							
AP	2	Colorado Blue Spruce	Picea pungens	6' ht.	as shown	LOW	50%
CBS	2	Colorado Blue Spruce	Picea pungens	6' ht.	as shown	LOW	50%
total:	4						
<b>DECIDUOUS SHRUBS:</b>							
AWS	41	Anthony Waterer Spiraea	Spiraea x bumalda 'Anthony Waterer'	5 gal.	4' o.c.	LOW	
BPL	5	Miss Canada Lilac	Syringa x prestoniae 'Miss Canada'	5 gal.	7' o.c.	LOW	
MWP	56	Mickey's White Potentilla	Potentilla fruticosa 'McKay's White'	5 gal.	3' o.c.	LOW	
NWR	19	Nearly Wild Rose (Floribunda)	Rosa x 'Nearly Wild'	5 gal.	3' o.c.	LOW	
PL	3	Royalty Lilac	Syringa x jostiflexa 'Royalty'	5 gal.	7' o.c.	LOW	
RKOR	28	Rainbow Knock Out Rose	Rosa x 'Radcor'	5 gal.	3' o.c.	LOW	
RMR	10	Red Meidiland Rose	Rosa 'Meidiland Red'	5 gal.	3' o.c.	LOW	
RS	29	Russian Sage	Perovskia atriplicifolia	5 gal.	4' o.c.	LOW	
TLS	29	Three Lead Sumac	Rhus trilobata	5 gal.	6' o.c.	LOW	
WL	3	Mount Baker Canadian Lilac	Syringa x hyacinthiflora 'Mount Baker'	5 gal.	7' o.c.	LOW	
W/MR	20	White Meidiland Rose	Rosa 'Meidiland White'	5 gal.	3' o.c.	LOW	
total:	243						
<b>EVERGREEN SHRUBS:</b>							
BJ	20	Buffalo Juniper	Juniperus sabinia 'Buffalo'	5 gal/	5' o.c.	LOW	
total:	20						
<b>ORNAMENTAL GRASSES:</b>							
MG	31	Arabesque Maiden Grass	Miscanthus sinensis 'Arabesque'	1 gal.	36" o.c.	LOW	
total:	31						
<b>PERENNIALS/GROUNDCOVERS:</b>							
EL	52	English Lavender	Lavendula angustifolia 'Munstead'	1 GAL	18" O.C.	MEDIUM	
total:	52						
<b>TURF AND SEED:</b>							
DROUGHT TOLERANT BLEND SOD (approved by TOCR)			DOG EXERCISE AREA		SOD		
LOW GROW SEED			PERIMETER OF PARKING LOT & SITE		49 LBS PLS/ACRE		

**PLANT NOTES:**

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT. ALL PLANT MATERIALS SHALL HAVE ALL WIRE, TWINE OR OTHER CONTAINMENT MATERIALS, EXCEPT FOR BURLAP, REMOVED FROM TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING.
- NO INDIVIDUAL PLANT MAY HAVE SUPPLEMENTAL WATER DEMAND GREATER THAN 15" PER GROWING SEASON.
- TREES SHALL BE PLANTED A MINIMUM OF 10 FEET TO ANY UTILITY LINE. TREE PLANTING SHALL BE COORDINATED WITH ALL UTILITY COMPANIES. LOCATIONS OF ALL UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO PLANTING.
- ALL SHRUBS SHALL BE PLANTED NO LESS THAN 3' FROM ANY SIDEWALK OR CURB.
- GRADES SHALL BE SET TO ALLOW FOR PROPER DRAINAGE AWAY FROM STRUCTURES. GRADES SHALL MAINTAIN SMOOTH PROFILES AND BE FREE OF SURFACE DEBRIS, BUMPS, AND DEPRESSIONS.
- DEVELOPERS SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTIONS DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL SHRUB BEDS ADJACENT TO TURF AREAS SHALL BE EDGED WITH RYERSON OR APPROVED EQUIVALENT STEEL ROLL TOP EDGER.
- ALL SHRUB BED AREAS SHALL BE MULCHED WITH A 4" LAYER OF WOOD MULCH.
- TOP SOIL, IF DISTURBED SHALL BE STOCK PILED AND REUSED ON THE SITE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED, ORGANIC SOIL AMENDMENTS SHALL BE INCORPORATED AT THE RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1000 SQUARE FEET OF LANDSCAPE AREA.
- ALL TURF AREAS WILL BE SODDED WITH DROUGHT TOLERANT BLEND APPROVED BY THE TOWN OF CASTLE ROCK. NO MORE THAN SIXTY PERCENT OF THE TOTAL COMMERCIAL LANDSCAPE AREA SHALL INCLUDE IRRIGATED TURF GRASS.
- SEEDED AREAS SHALL RECEIVE LOW GROW SEED MIX. NON-IRRIGATED NATIVE SEED AREAS SHALL BE INSTALLED USING THE TOWN OF CASTLE ROCK GRADING EROSION AND SEDIMENT CONTROL MANUAL (GESC) STANDARD DETAIL #17. ALL SLOPES STEEPER THAN 3:1 WILL HAVE SEED AND EROSION CONTROL FABRIC. NO SLOPES GREATER THAN 3:1 ARE PERMITTED.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- ALL LANDSCAPE (PLANT MATERIALS AND GRASS) WILL BE IRRIGATED WITH AN AUTOMATIC SYSTEM. TURF AND SEEDED AREAS WILL HAVE A SPRAY ZONE, SHRUBS WILL HAVE A DRIP ZONE AND PERENNIALS/GROUNDCOVERS (PART OF THE DRIP ZONE) WILL HAVE A COMBINATION OF DRIP AND MICRO-JET SPRAYS. MICRO-JET SPRAY WILL BE LIMITED TO PLANTS THAT RESPOND BETTER TO SPRAY THAN DRIP.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES PRIOR TO INSTALLATION. ACTUAL NUMBER OF PLANT SYMBOLS SHALL HAVE PRIORITY OVER THE QUANTITY DESIGNATED.
- REFER TO THE TOWN OF CASTLE ROCK CONSTRUCTION STANDARDS FOR ALL WORK WITHIN PUBLIC AREAS.
- REFER TO THE CIVIL ENGINEER DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.



Sandi Gibson  
Licensed Landscape Architect #720



**Commercial Landscape Site Inventory**

Town of Castle Rock Registered Professional Sandi Gibson  
 Town of Castle Rock Registration # \_\_\_\_\_ State of Colorado License Landscape Architect # 720  
 Company Name outside L.A., LLC Address 2623 Burgess Creek Road, Steamboat Springs, CO 80487  
 Phone 303-517-9256 Email osla@me.com Date 10/30/2015  
 PROJECT NAME Brooklyn Vet Clinic

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
68,189 sf	29,657 sf	8,570 sf	120 sf	10% of site 5818/1000 x 2 = 14 trees	22	10% of site 5818/1000 x 4 = 28 shrubs	263	(29,657/1000)*4 = 119 yds	Yes <u>X</u> , No <u>___</u>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
14,444 sf	1,444 sf	33	140 sf	2	8'	3	3	6	31

9105 west 11th ave.  
lakewood, co 80215  
303.263.4491  
www.3ldarch.com

Project: Brooklyn VC  
 Project No: 15.04  
 Address: Lot 6E  
The Meadows  
Castle Rock, CO

*Sandi Gibson*

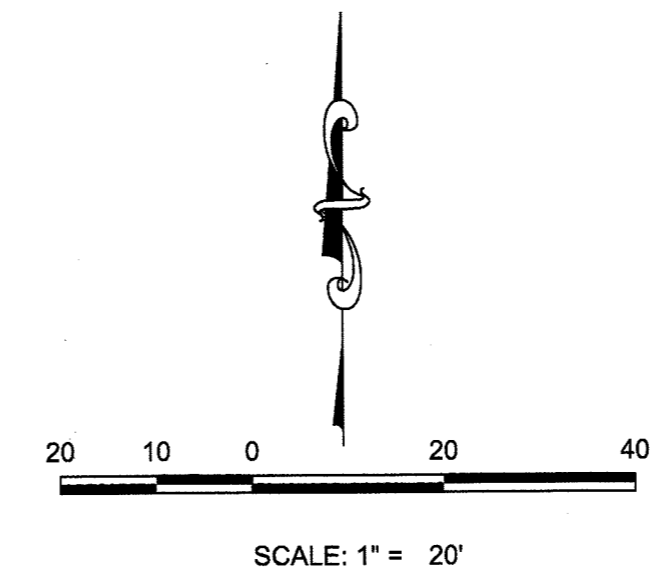
Date: 08.27.2015  
 Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Revision: Rev #1 09.11.2015  
 Revision: Rev #2 09.18.2015  
 Revision: Rev #3 10.30.2015  
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SDP 15 - 0033  
 LANDSCAPE NOTES & DETAILS  
 SITE DEVELOPMENT PLAN FOR  
 LOT 6E, THE MEADOWS FILING  
 NO. 17, AREA NO. 4, AMEND. NO. 10

LOT 6E, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 10 SITE DEVELOPMENT PLAN  
 LOCATED IN SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	9.64'	S76°22'10"W
L2	72.79'	S11°13'49"W
L3	54.00'	N78°46'11"W
L4	15.50'	N11°13'49"E
L5	4.00'	N78°46'11"W
L6	15.50'	S11°13'49"W
L7	90.00'	N78°46'11"W
L8	15.50'	N11°13'49"E
L9	6.00'	N78°46'11"W
L10	24.00'	N11°13'49"E
L11	7.33'	S78°46'11"E
L12	53.59'	N11°13'49"E
L14	50.09'	S11°13'49"W
L15	2.00'	S78°46'11"E
L16	15.50'	N11°13'49"E
L17	107.00'	S78°46'11"E
L18	16.31'	S11°13'49"W
L19	19.91'	N11°13'49"E
L20	17.86'	N78°46'11"W
L21	54.00'	N11°13'49"E
L22	16.17'	S78°46'11"E
L23	7.92'	N4°38'08"W
L24	15.81'	S69°29'47"W
L25	18.00'	N20°30'13"W
L26	15.50'	N69°29'47"E
L27	2.50'	N20°30'13"W
L28	24.00'	N69°29'47"E
L29	26.59'	S20°30'13"E
L30	21.78'	S4°38'08"E
L31	3.11'	N80°38'34"E
L32	1.67'	N78°46'11"W

CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	11.37'	10.00'	65°08'22"	S43°47'59"W	10.77'
C2	3.93'	2.50'	90°00'00"	N33°46'11"W	3.54'
C3	3.93'	2.50'	90°00'00"	S56°13'49"W	3.54'
C4	3.93'	2.50'	90°00'00"	N33°46'11"W	3.54'
C5	3.93'	2.50'	90°00'00"	S33°46'11"E	3.54'
C6	3.93'	2.50'	90°00'00"	N56°13'49"E	3.54'
C7	5.08'	1.58'	183°43'00"	S76°54'42"E	3.17'
C8	3.93'	2.50'	90°00'00"	N33°46'11"W	3.54'
C9	4.62'	2.50'	105°51'56"	N48°17'50"E	3.99'
C10	4.62'	2.50'	105°52'05"	N57°34'10"W	3.99'
C11	3.93'	2.50'	90°00'00"	N24°29'47"E	3.54'
C12	7.34'	26.50'	15°52'05"	S12°34'10"E	7.32'
C13	8.27'	5.00'	94°43'18"	S51°59'47"E	7.36'

**SITE PLAN CONSTRUCTION NOTES:**

- ① CONSTRUCT 6" VERTICAL CURB WITH TYPE 'A' CATCH GUTTER (SEE TOWN OF CASTLE ROCK DETAILS).
  - ② CONSTRUCT 6" VERTICAL CURB WITH TYPE 'A' SPILL GUTTER (SEE TOWN OF CASTLE ROCK DETAILS).
  - ③ INSTALL HANDICAP PARKING SIGNS IN ALL HANDICAP PARKING SPACES AS SHOWN.
  - ④ PAINT HANDICAP PARKING SYMBOL.
  - ⑤ CONSTRUCT HANDICAP RAMP PER A.D.A. STANDARDS (SEE TOWN OF CASTLE ROCK DETAILS).
  - ⑥ INSTALL STOP SIGN (MUTCD R1-1).
  - ⑦ PAINT 4" WIDE STRIPING.
  - ⑧ CONSTRUCT TRASH ENCLOSURE WITH CONCRETE PAD, CONSTRUCT PER ARCHITECTURAL PLANS.
  - ⑨ CONSTRUCT 4" THICK CONCRETE SIDEWALK (SEE TOWN OF CASTLE ROCK DETAILS)
  - XX NUMBER OF PARKING SPACES (AS LABELED)
- DIMENSIONS AND LINE/CURVE TAGS ARE RELATIVE TO THE FL
- ▶ BUILDING ACCESS LOCATION
  - WALL MOUNTED LUMINAIRE
  - EXTERIOR AREA LIGHT

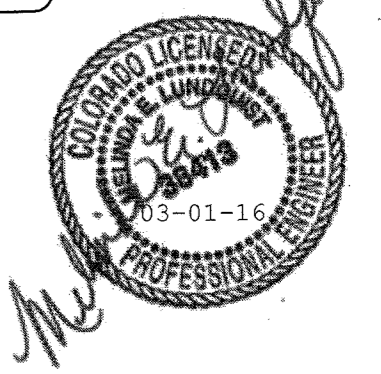
**LEGEND**

- SANITARY SEWER MANHOLE
- EXISTING OVERHEAD ELECTRIC POLE
- ⊕ PROPOSED SANITARY CLEAN OUT
- PROPOSED MONUMENTATION
- PROPOSED STORM SEWER MANHOLE
- ▬ PROPOSED STORM PIPE
- PROPOSED STORM INLET
- ▬ DRAINAGE SWALE
- ✱ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED GATE VALVE
- ○ □ PROPOSED LUMINAIRE
- ▼ EXTERIOR DOORWAY
- PROPERTY LINE

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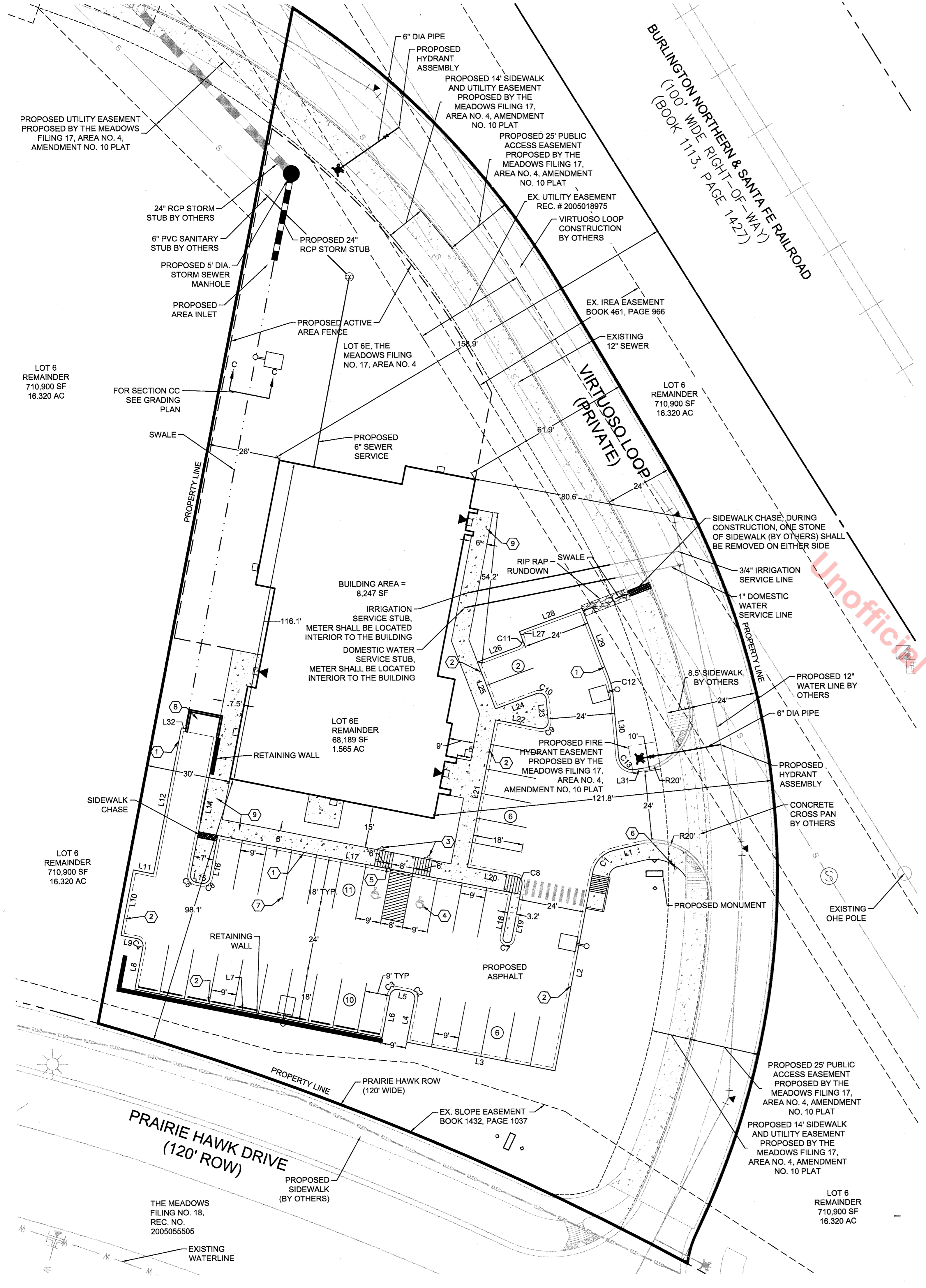
Project: Brooklyn\_VC  
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 Revision: Rev #5 01.07.2016  
 Revision: \_\_\_\_\_

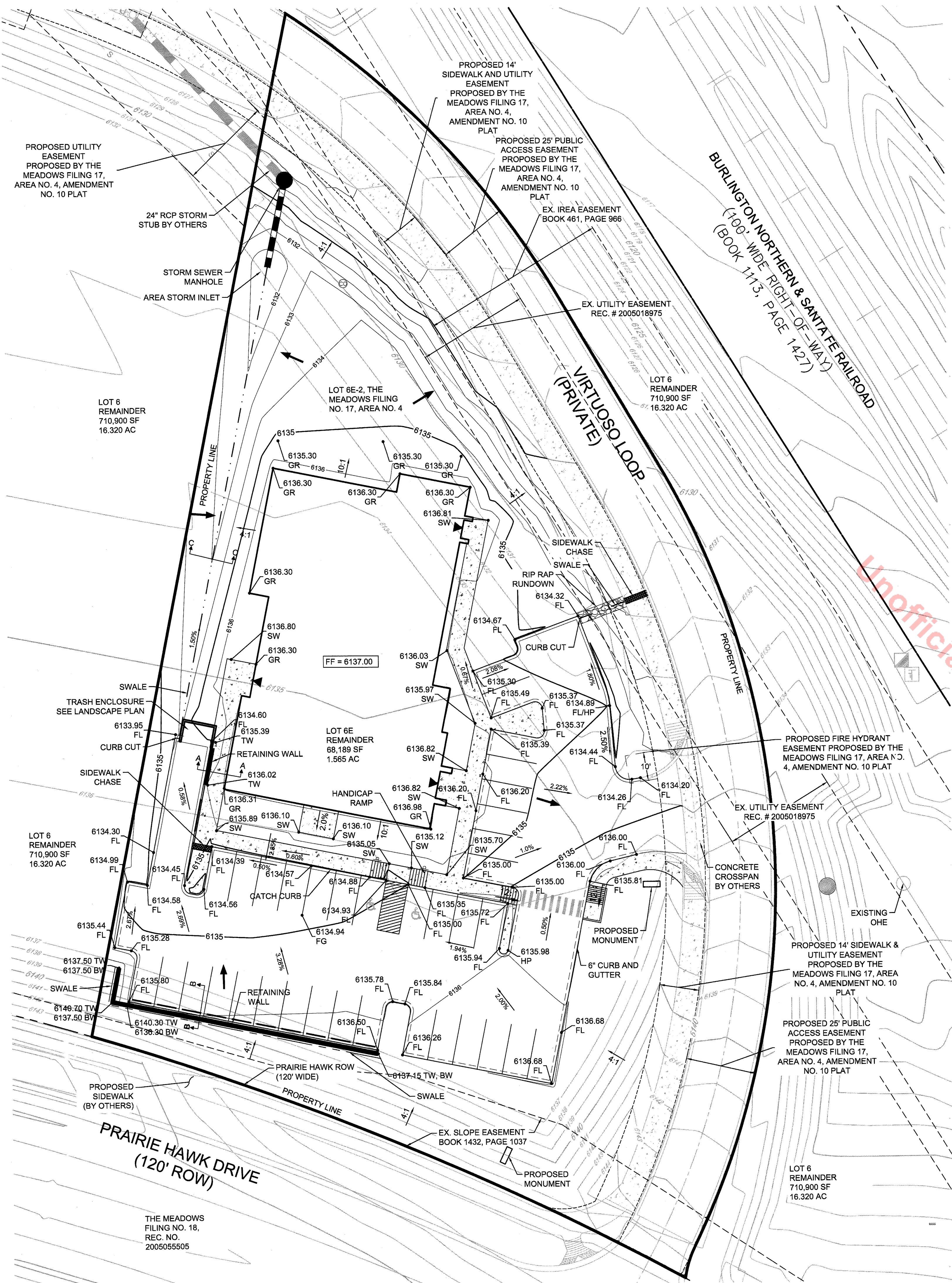


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SDP 15 - 0033  
 SITE AND UTILITY PLAN  
 SITE DEVELOPMENT PLAN FOR  
 LOT 6E, THE MEADOWS FILING  
 NO. 17, AREA NO. 4, AMEND. NO. 10



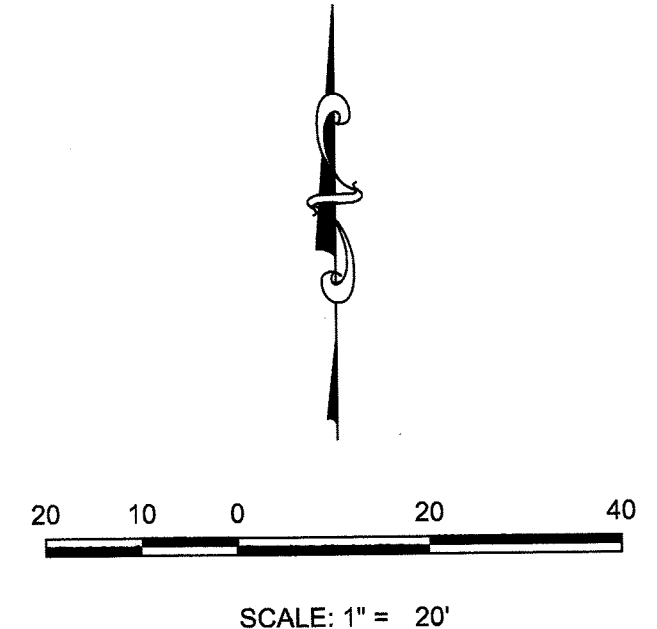
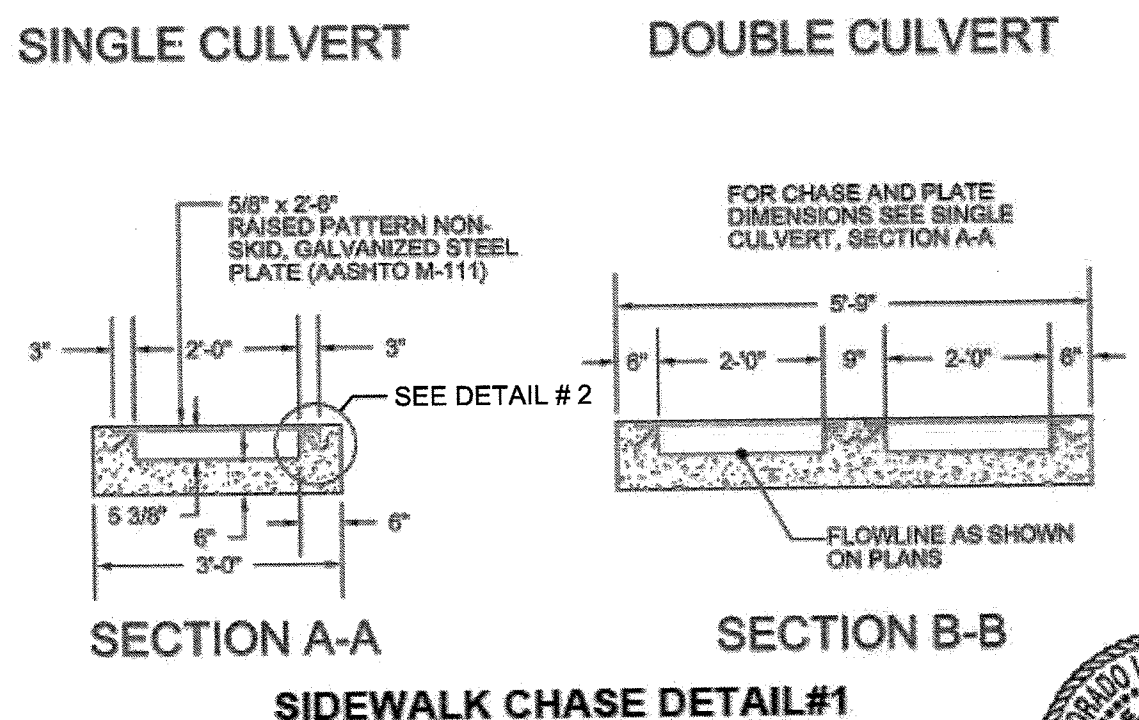
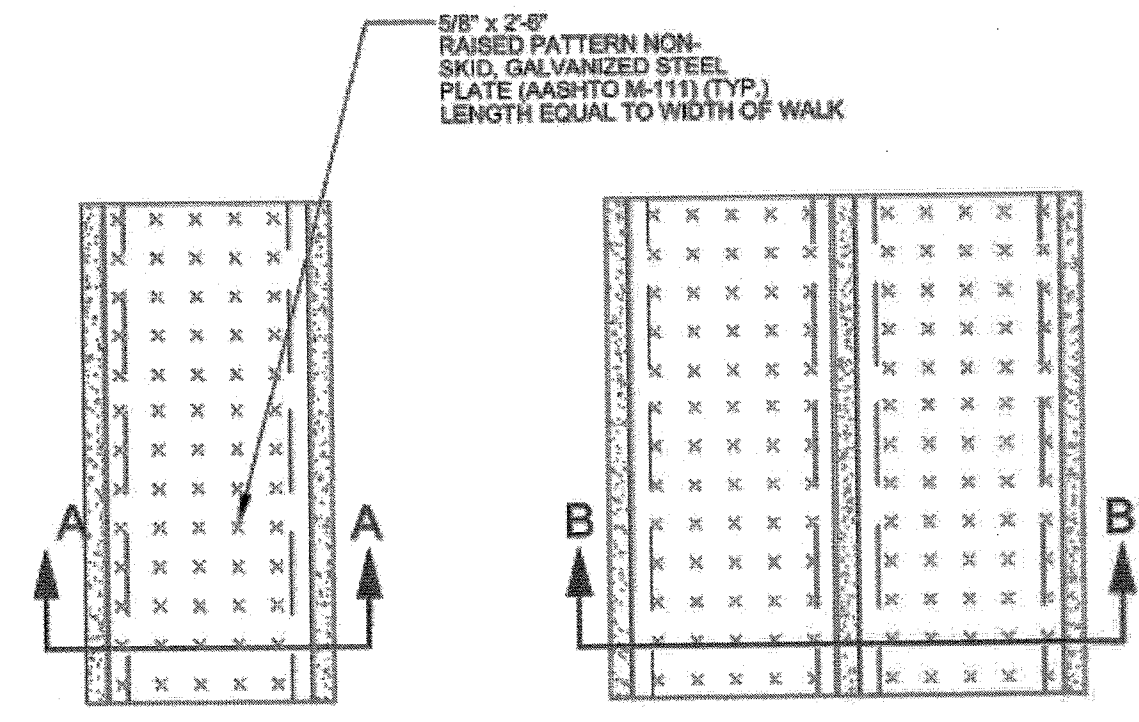
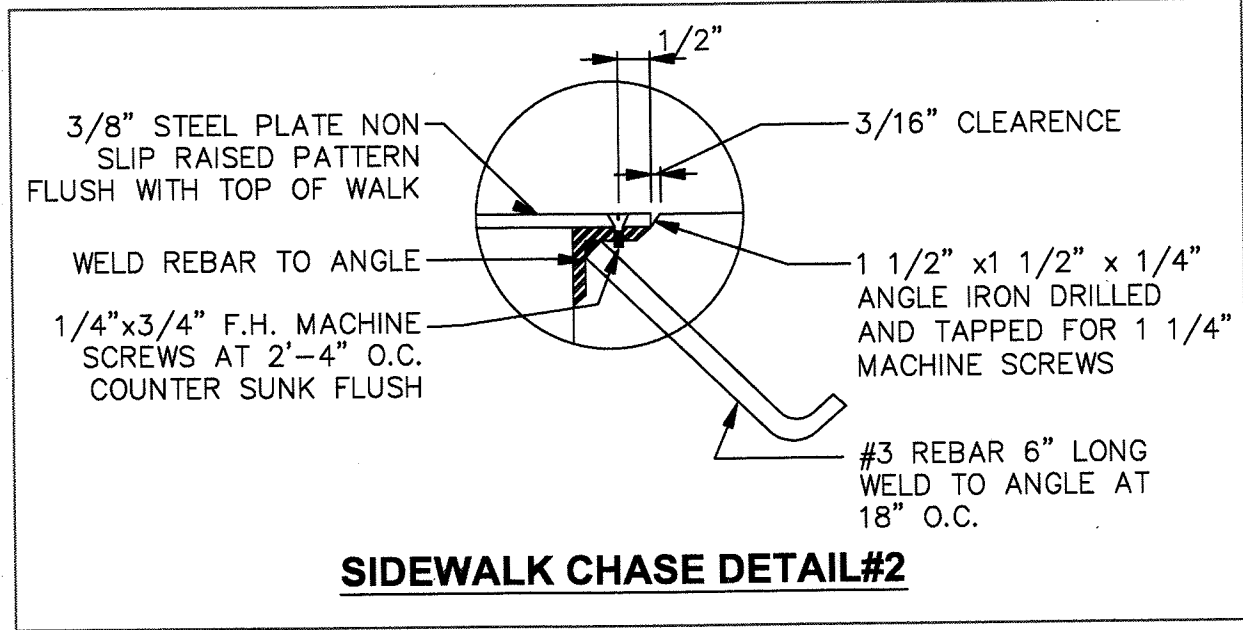
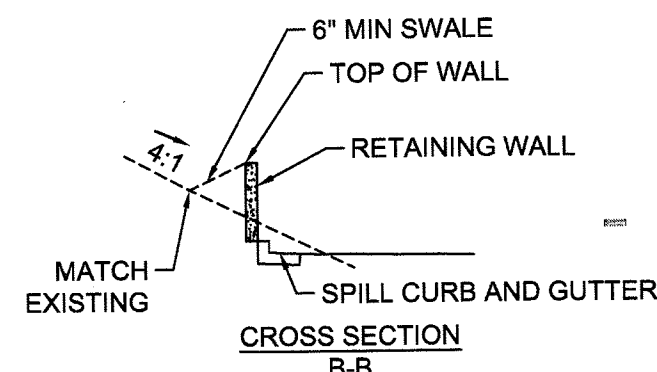
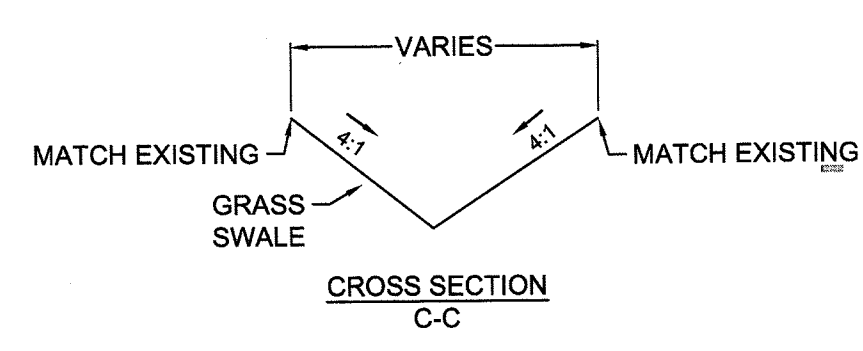
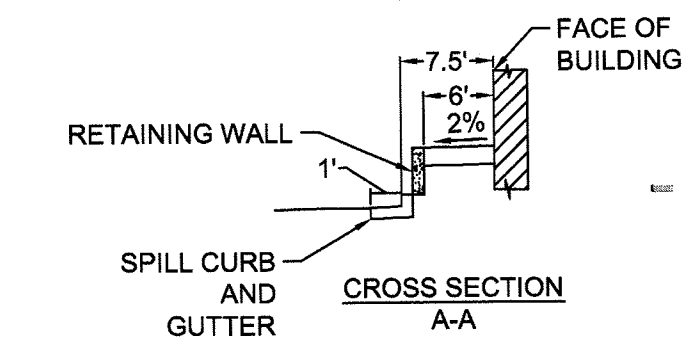
LOT 6E, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 10 SITE DEVELOPMENT PLAN LOCATED IN SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND table with symbols for proposed finished grade, flow lines, back of walk, existing flow lines, slopes, flow arrows, drainage swales, basin boundaries, doorways, contours, and property lines.

GENERAL NOTES:

- 1. OVERLOT GRADING SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IDENTIFIED IN THE APPROVED SOILS AND FOUNDATION INVESTIGATION PREPARED FOR THIS SITE.
2. CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK SLAB OR GROUND. ADJUSTMENTS TO SUBGRADE WITHIN THE RECOMMENDATIONS IDENTIFIED IN THE APPROVED SOILS REPORT, ARE THE CONTRACTOR'S RESPONSIBILITY.
3. ALL DISTURBED AREAS THAT ARE UNSURFACED OR ARE NOT DESIGNATED AS LANDSCAPE AREAS ARE TO BE SEED, FERTILIZED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
4. IF, DURING THE OVERLOT GRADING PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE SOILS ENGINEER SHALL BE CONTACTED FOR RECOMMENDATIONS.
5. LOCATIONS OF UNDERGROUND UTILITIES ARE BASED ON THE INFORMATION PROVIDED FROM EXISTING DRAWINGS AND FIELD LOCATIONS. LOCATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.
6. NO PROPOSED SLOPE SHALL EXCEED THREE (3) HORIZONTAL TO ONE (1) VERTICAL.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, EXIT DOORS, RAMPS, TRUCK DOORS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
8. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER, AND PROPOSED UTILITIES.
9. SPOT ELEVATIONS REPRESENT FLOW LINE OR FINISHED SURFACES UNLESS OTHERWISE NOTED.
10. CONTOURS SHOWN AS EXISTING REPRESENT EXISTING GROUND.
11. CONTRACTOR SHALL VERIFY ALL ASPHALT AND PAVING SECTIONS WITH GEOTECHNICAL ENGINEER OF RECORD PRIOR TO SUBGRADE PREPARATION AND PLACEMENT.
12. ALL RETAINING WALLS OR ADDITION OF MULTIPLE TIERED WALLS THAT EXCEED A HEIGHT OF FOUR FEET WILL REQUIRE A BUILDING PERMIT PRIOR TO OBTAINING A PUBLIC WORKS PERMIT
13. THE PROPOSED 25' PUBLIC ACCESS EASEMENT; PROPOSED 14' SIDEWALK & UTILITY EASEMENT; AND PROPOSED 30' UTILITY EASEMENT ARE PROPOSED BY THE MEADOWS FILING 17, AREA NO. 4, AMENDMENT NO. 10 PLAT.



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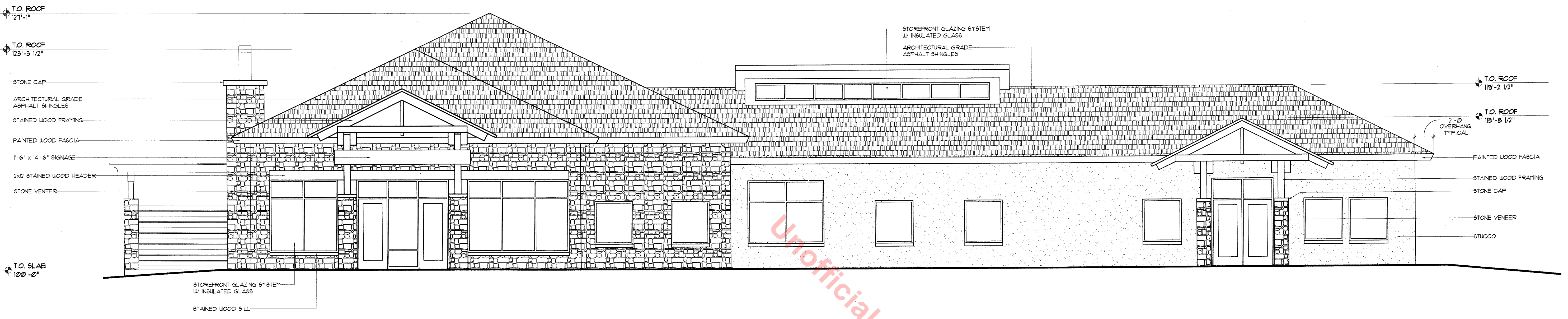
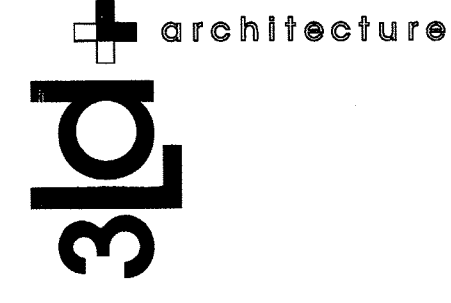
Project: Brooklyn\_VC
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Checked By:
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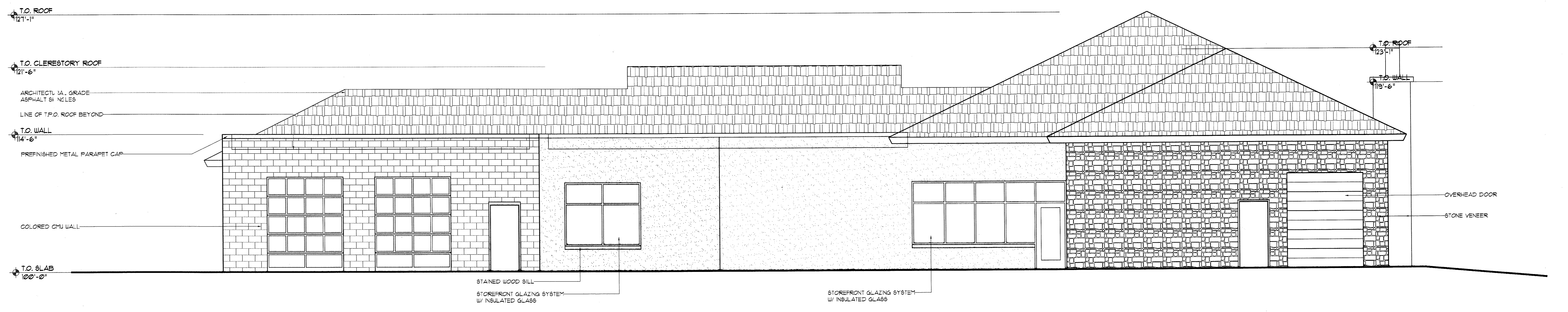
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SDP 15 - 0033 GRADING PLAN
SITE DEVELOPMENT PLAN FOR LOT 6E, THE MEADOWS FILING NO. 17, AREA NO. 4, AMEND. NO. 10

LOT 6E, THE MEADOWS FILING NO. 17,  
AREA NO. 4, AMENDMENT NO. 10 SITE  
DEVELOPMENT PLAN LOCATED IN  
SECTION 34, TOWNSHIP 7 SOUTH,  
RANGE 67 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, COUNTY OF  
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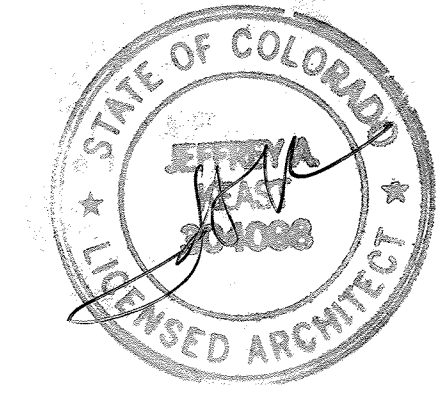
**EAST ELEVATION - MAIN ENTRY**

SCALE: 3/16" = 1'-0"



**WEST ELEVATION**

SCALE: 3/16" = 1'-0"



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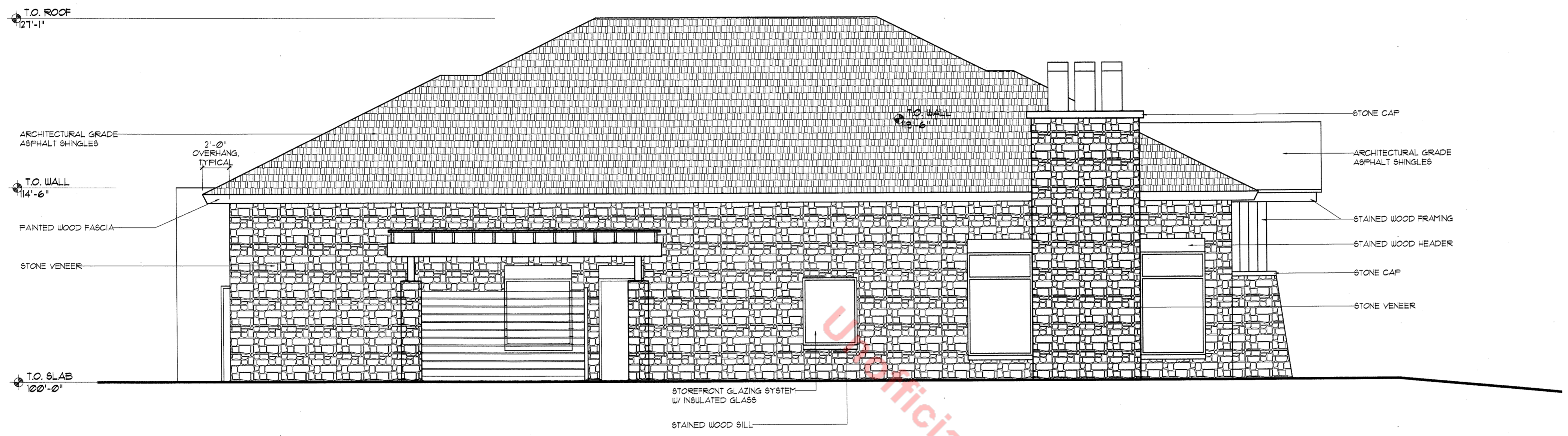
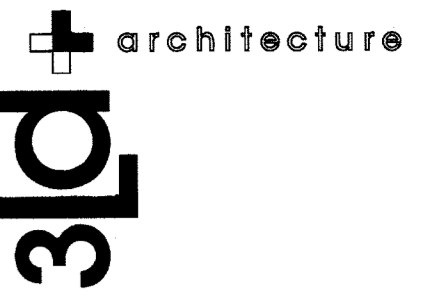
Project: Brooklyn VC  
Project No: 1504  
Address: Lot 6E  
The Meadows  
Castle Rock, CO

Date: 08/21/2015  
Drawn By:  
Checked By:  
Revision: Rev. 1 09/12/2015  
Revision: Rev. 2 09/16/2015  
Revision: Rev. 3 10/20/2015  
Revision: Rev. 4 11/11/2015  
Revision: Rev. 5 01/06/2016  
Revision:

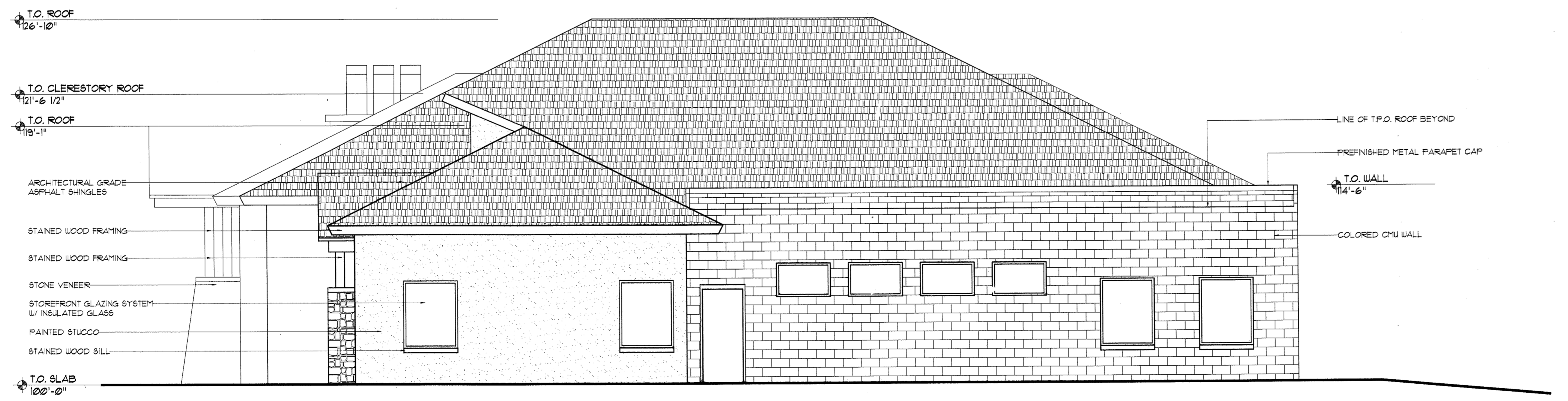
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3d+ B - 0033  
BUILDING ELEVATIONS  
SITE DEVELOPMENT PLAN FOR  
LOT 6E, THE MEADOWS FILING  
NO. 17, AREA NO. 4, AMEND. NO. 10

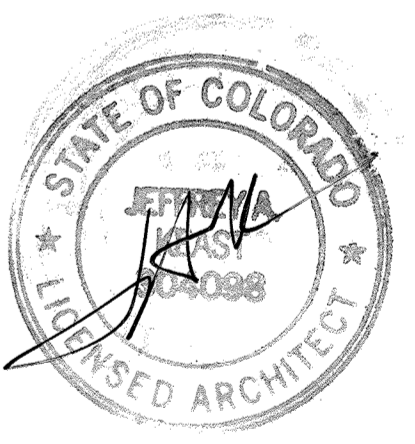
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PRINCIPAL MERIDIAN, COUNTY OF  
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**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



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Project No: 1504  
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Castle Rock CO

Date: 02/12/15  
Drawn By:  
Checked By:  
Revision: Rev # 03/12/15  
Revision: Rev # 03/16/15  
Revision: Rev # 10/30/15  
Revision: Rev # 11/11/15  
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LIGHTING FIXTURE SCHEDULE																
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	IESNA TYPE	LLF	VOLTAGE	LAMP QTY	WATT	TYPE	INITIAL LUMENS	CGT	MAX MATTS	MOUNTING LOCATION	INFORMATION	BOF/RFD/OFH	FIXTURE QUANTITIES
EAI	EXTERIOR POLE LIGHT TYPE III DISTRIBUTION, FULL CUTOFF	PHILIPS GARDCO	ASA-160SI-350-NH-SLO-UVV-SAM-H55-TBK	TYPE III	I	UNV	1	181	LED	20,182	4000K	181	POLE GROUND	25'-0" OFH		4
EGI	EXTERIOR GROUND MOUNT SPOT LIGHT W/ CUTOFF HOOD	PHILIPS GARDCO	DFCT-ST-HFL-55LA-NH-UVV-BRP	HORIZ. FLOOD	I	UNV	1	55	LED	5,346	3000K	55	GROUND	13.05' OFH		4
ENI	EXTERIOR WALL PACK FULL CUTOFF	PHILIPS GARDCO	121-EP1-9-18LA-1-1635-NH-UVV-BLP	TYPE III	I	UNV	1	18	LED	1707	4000K	18	SURFACE WALL	8'-0" BOF		7

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT

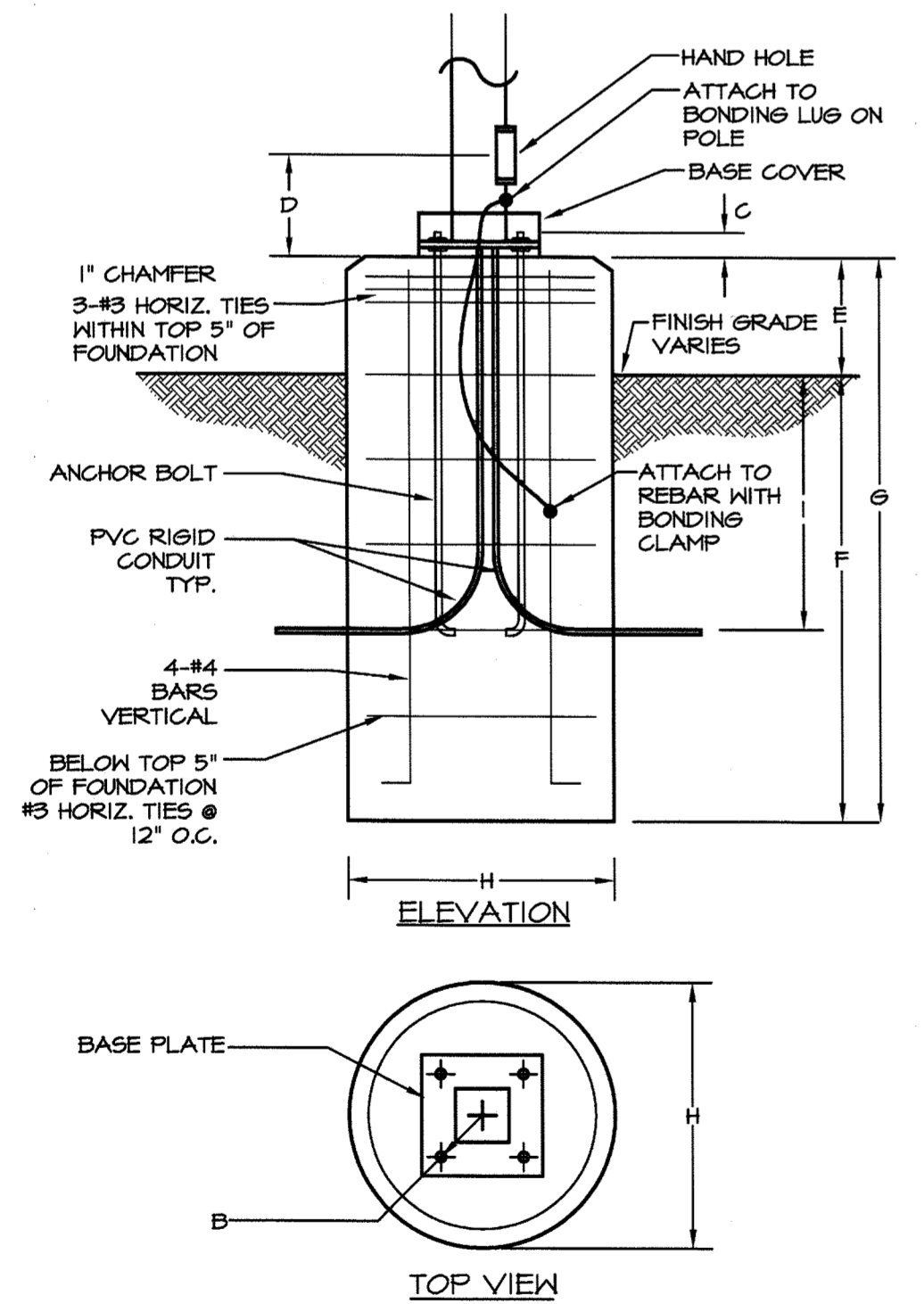
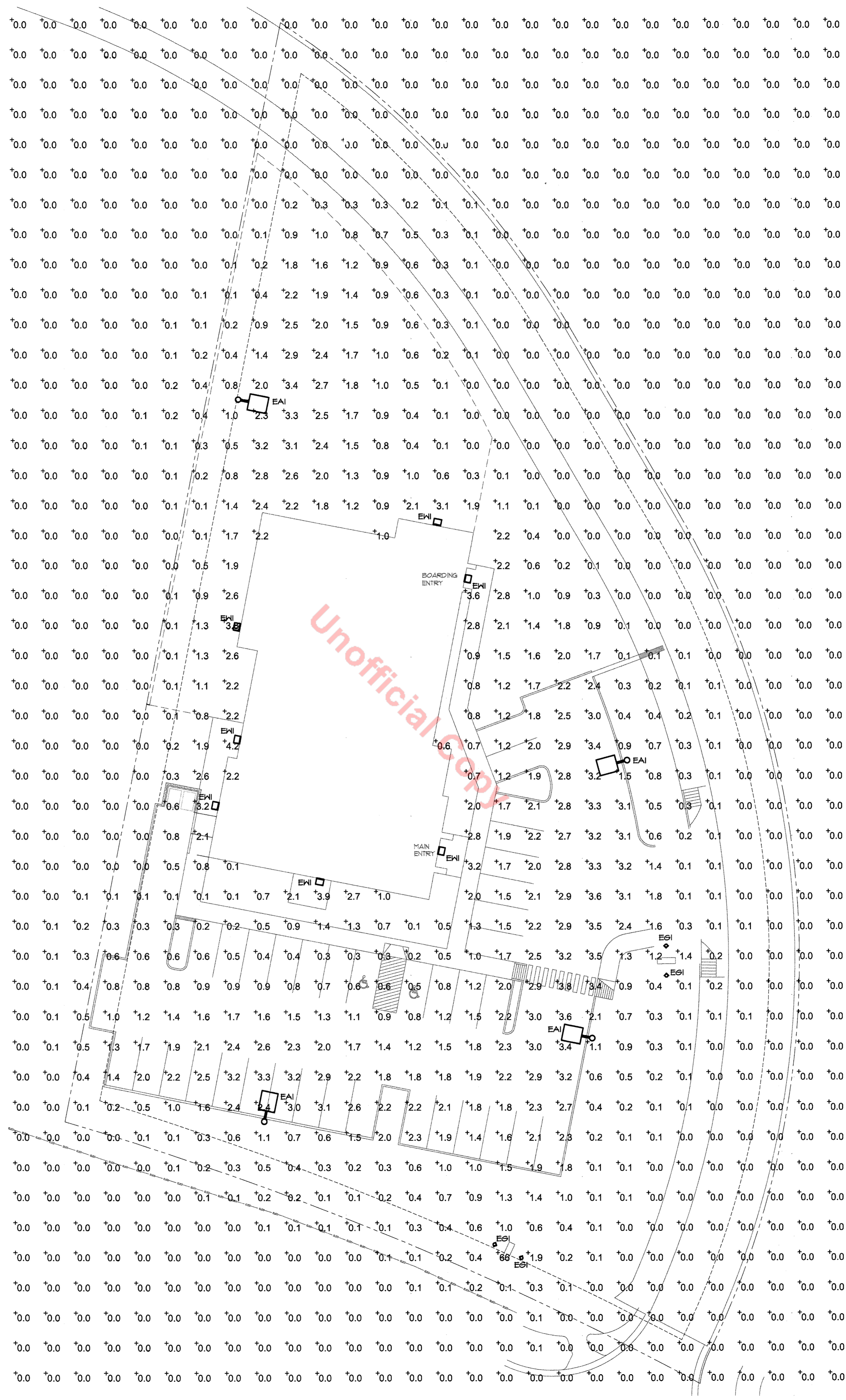
GENERAL NOTES:  
 A. ALL FLUORESCENT LAMPS TO BE 3500K COLOR TEMPERATURE AND A MINIMUM OF 82CRI, UNLESS NOTED OTHERWISE.  
 B. ALL REFLECTOR LAMPS TO BE PROVIDED AS WIDE FLOOD DISTRIBUTION, UNLESS NOTED OTHERWISE.  
 C. ALL FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLASTS THAT CAN BE SERVICED IN PLACE SHALL HAVE A DISCONNECTING MEANS AS DESCRIBED IN NEC 410.10(C).

SPECIFIC NOTES:

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
OVERALL	+	1.0 fc	4.2 fc	0.0 fc	N/A	N/A	0.2:1
PARKING AREA	+	1.7 fc	3.4 fc	0.3 fc	11:3:1	5:1:1	0.5:1
WALK WAY	+	1.7 fc	4.7 fc	0.1 fc	47:0:1	17:0:1	0.4:1

LIGHTING FIXTURES	
△	LUMINAIRE TYPE, REFERENCE LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES, SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH.
□	WALL MOUNTED LUMINAIRE
○	EXTERIOR AREA LIGHT

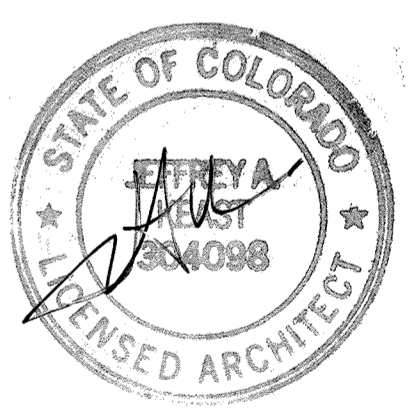
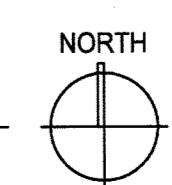
- GENERAL NOTES
- LIGHTING CALCULATIONS WERE MADE USING A LIGHT LOSS FACTOR OF 1.0.
  - CALCULATIONS WERE TAKEN GRADE LEVEL ON A 10'X10' GRID.
  - ILLUMINANCE CONTRIBUTIONS FROM STREET LIGHTING, ADJACENT PROPERTIES, AND EXISTING PARKING LOT LUMINAIRES ARE NOT INCLUDED IN CALCULATIONS.
  - ALL EXTERIOR LIGHTING SHALL OPERATE 30 MINUTES PRIOR TO DUSK UNTIL 1 HOUR AFTER CLOSE, ANTICIPATED HOURS: 7:30PM TO 10:00PM. TIME SHALL BE ADJUSTED BASED ON TIME OF YEAR.
  - APPLICABLE CODES THAT HAVE BEEN DESIGNED TO ARE 2012 IBC, AND 2011 NEC.
  - OBJECTIVES OF LIGHTING FIXTURES ARE AS FOLLOWS:  
 EAI: PARKING LOT LIGHTING  
 ESI: MONUMENT SIGN LIGHTING  
 ENI: ARCHITECTURAL LIGHTING ON BUILDING FACADE.
  - THE FOLLOWING TYPES OF LIGHTS ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.
  - ALL OUTDOOR LIGHT SOURCES MOUNTED ON POLES, BUILDINGS OR TREES TO ILLUMINATE STREETS, SIDEWALKS, WALKWAYS, PARKING LOTS OR OTHER OUTDOOR AREAS SHALL USE FULL CUTOFF LIGHT FIXTURES. ALL SUCH FIXTURES SHALL BE INSTALLED OR SHIELDED SO THAT PART OF THE LIGHT BULB OR LIGHT SOURCE IS NOT VISIBLE BEYOND THE PROPERTY BOUNDARIES.



POLE KEY	OVERALL HEIGHT	A	ANCHOR BOLT DATA			D	E	F	G	H	I
EAI	25'0"	4"	B	SIZE	C						
			PER MANUFACTURER			3'0"	6'0"	9'0"	24"	36"	

2 | POLE BASE DETAIL  
 SCALE: NTS

1 | PHOTOMETRIC SITE PLAN  
 SCALE: 1" = 20'-0"



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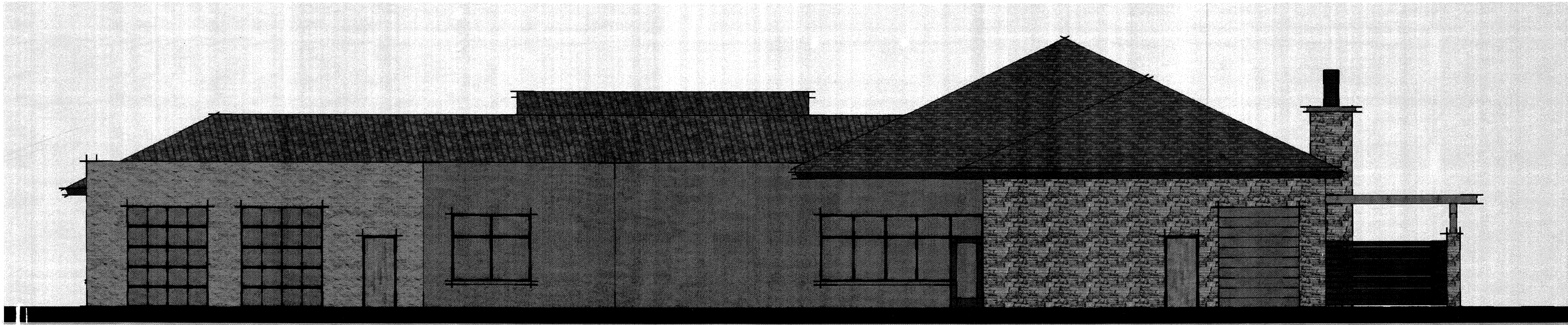
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RANGE 67 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, COUNTY OF  
DOUGLAS, STATE OF COLORADO



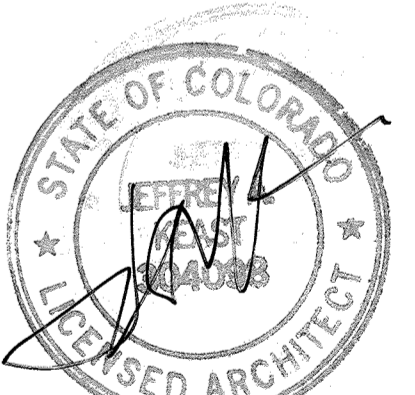
VIEW FROM SOUTHEAST  
SCALE: NOT TO SCALE



EAST ELEVATION - MAIN ENTRY  
SCALE: 3/16" = 1'-0"



WEST ELEVATION  
SCALE: 3/16" = 1'-0"



9105 west 11th ave.  
lakewood, co 80215  
303.263.4491  
www.3ldarch.com

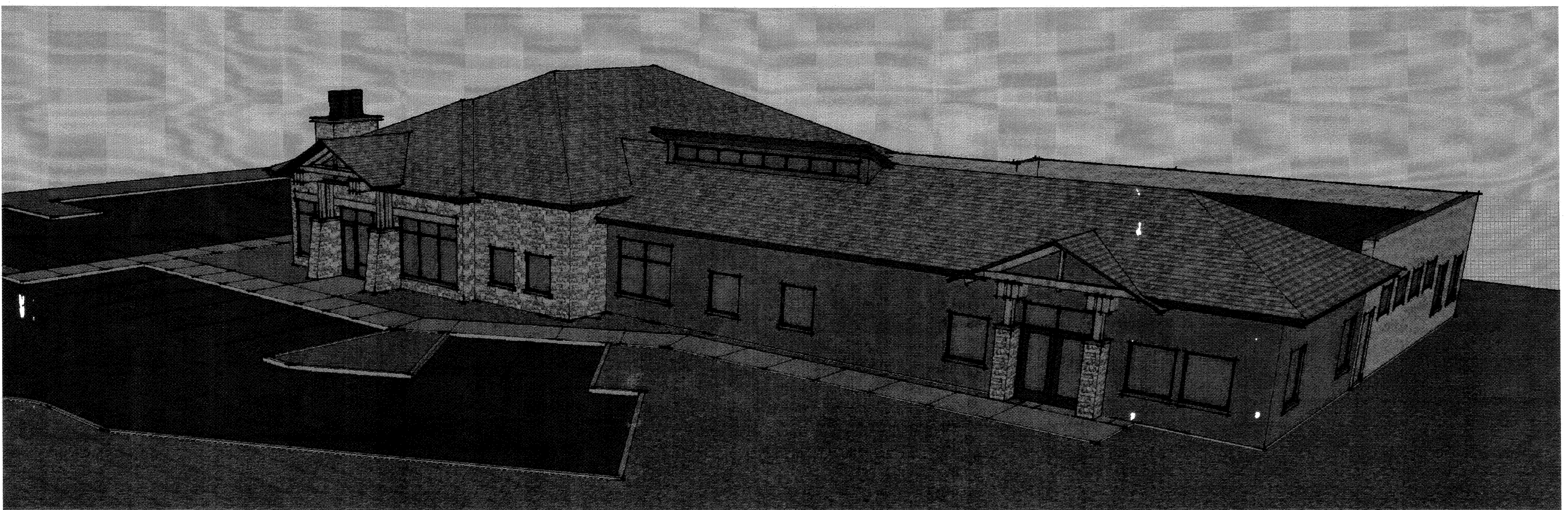
Project: Brooklyn VC  
Project No: 1504  
Address: Lot 6E  
The Meadows  
Castle Rock, CO

Date: 08/12/15  
Drawn By:  
Checked By:  
Revision: Rev 1 03/11/15  
Revision: Rev 2 03/16/15  
Revision: Rev 3 10/30/15  
Revision: Rev 4 12/11/15  
Revision: Rev 5 01/06/16  
Revision:

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SDP 15 - 0033  
RENDERED ELEVATIONS  
SITE DEVELOPMENT PLAN FOR  
LOT 6E, THE MEADOWS FILING  
NO. 17, AREA NO. 4, AMEND. NO. 10

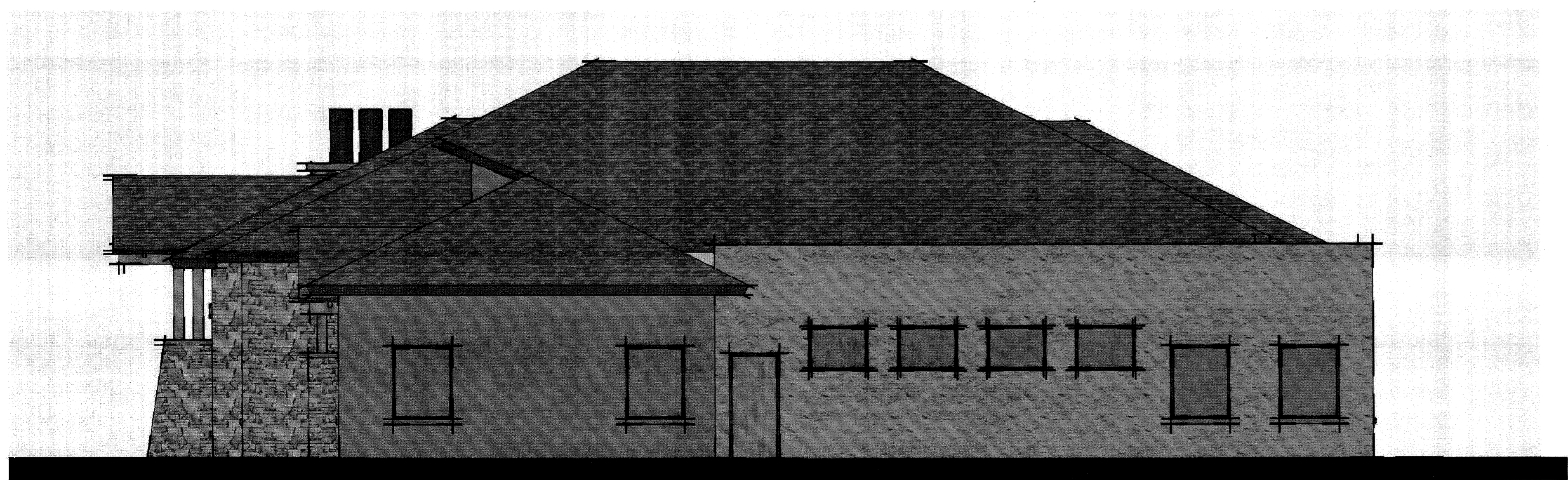
LOT 6E, THE MEADOWS FILING NO. 17,  
AREA NO. 4, AMENDMENT NO. 10 SITE  
DEVELOPMENT PLAN LOCATED IN  
SECTION 34, TOWNSHIP 7 SOUTH,  
RANGE 67 WEST OF THE SIXTH  
PRINCIPAL MERIDIAN, COUNTY OF  
DOUGLAS, STATE OF COLORADO



VIEW FROM NORTHEAST  
SCALE: NOT TO SCALE



SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



9105 west 11th ave.  
lakewood, co 80215  
303.263.4491  
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Project: Brooklyn VC  
Project No: 1524  
Address: Lot 6E  
The Meadows  
Castle Rock, CO

Date: 08/21/2015  
Drawn By:  
Checked By:  
Revision: Rev. 1 03/11/2015  
Revision: Rev. 2 03/16/2015  
Revision: Rev. 3 10/30/2015  
Revision: Rev. 4 12/11/2015  
Revision: Rev. 5 01/26/2016  
Revision:

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SOP 15 - 0033  
RENDERED ELEVATIONS  
SITE DEVELOPMENT PLAN FOR  
LOT 6E, THE MEADOWS FILING  
NO. 17, AREA NO. 4, AMEND. NO. 10