

OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$91.00
10 PGS

2006082144
09/22/2006 03:48 PM



PLAT IDENTIFICATION SHEET

Castro Rock Development Co
Grantor (owner)

Grantor (owner)

Meadows 17 Amendment 1
Grantee (name of plat or condo) Area 4

Grantee (name of plat or condo)

Subdivision Info: Filing _____ Lot 6A Block _____

Condo Info: Phase _____ Bldg _____ Unit _____

34 7 67
Section Township Range

Cross Reference numbers: (reception #s or book and page)

2004081483
2005018974

OWNERS:

CASTLE ROCK DEVELOPMENT COMPANY
3033 EAST 1ST AVENUE #410
DENVER, CO 80228

CASTLE ROCK LAND CO. LLC
3033 EAST 1ST AVENUE #410
DENVER, CO 80228

APPLICANT/DEVELOPER:

DCL CONCEPTS, LLC
8174 S. HOLLY STREET #505
LITTLETON, CO 80122-4004
TEL: (720) 489-0424
FAX: (720) 489-0423

LEGAL DESCRIPTION:

LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

CIVIL ENGINEER:

DAVID L. JONES P.E. 30254
5350 DTC PARKWAY
GREENWOOD VILLAGE, COLORADO 80111
TEL: 303-770-8884
FAX: 303-770-3636

SURVEYOR:

LARRY L. PARKER PLS 13897
5350 DTC PARKWAY
GREENWOOD VILLAGE, COLORADO 80111
TEL: 303-770-8884
FAX: 303-770-3636

GENERAL NOTES:

- 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES...
2. PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE...
3. ACCORDING TO FIRM MAP 0803500169F DATED SEPTEMBER 30, 2005, THE SITE LIES IN ZONE X; OUTSIDE OF THE 100 YEAR FLOOD PLAIN.
4. ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY...
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK 'WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY'...
6. APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS...
7. NO SOLID OBJECT EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET...
8. SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED...
9. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS...
10. WHEN FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, IS REQUIRED TO BE INSTALLED...
11. UTILITY EASEMENTS FOR DRY UTILITIES WILL BE DEEDED TO THE APPROPRIATE UTILITY COMPANY BY SEPARATE DOCUMENT.

BASIS OF BEARINGS

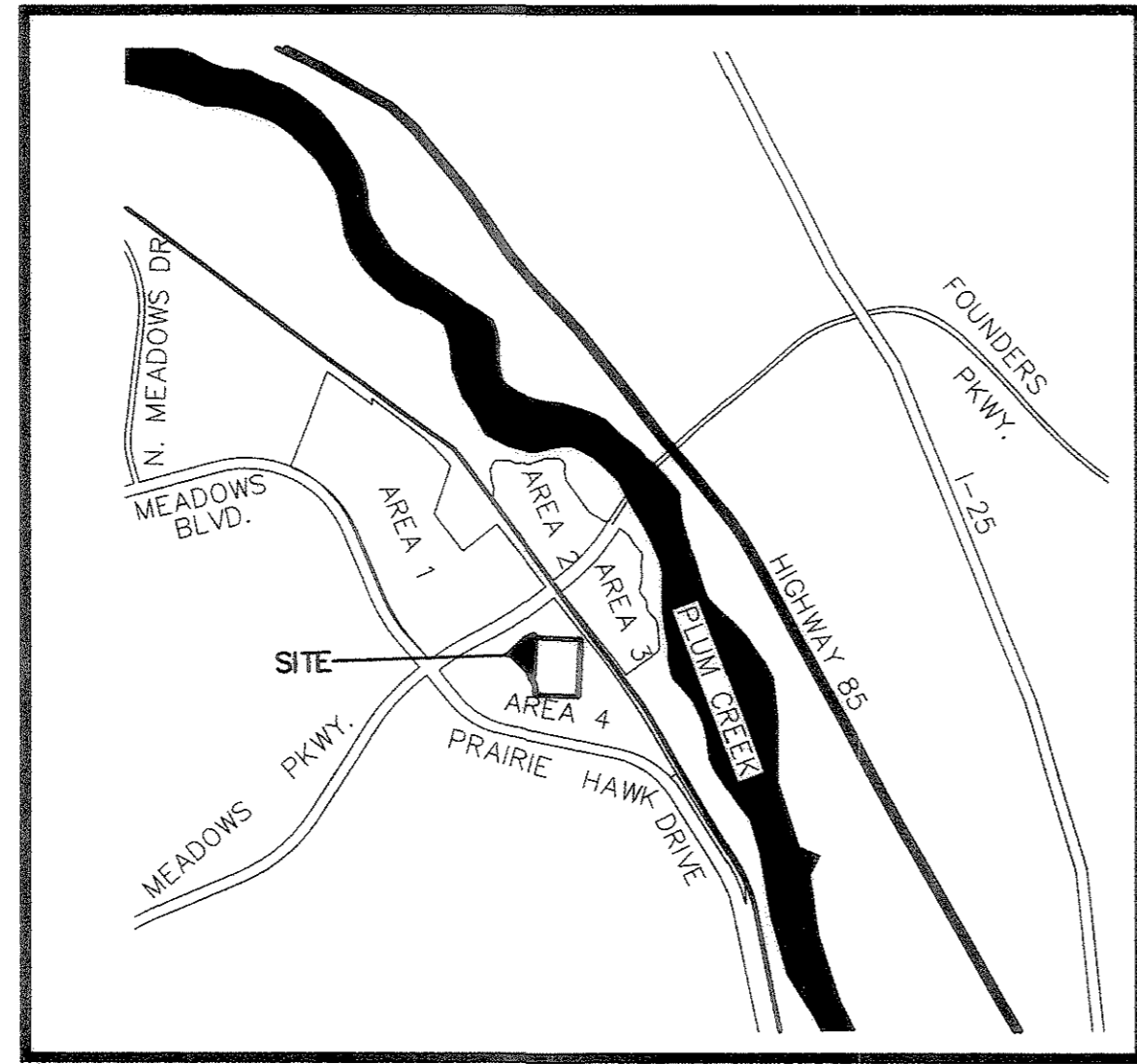
BEARINGS ARE BASED ON THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO AS BEING NORTH 00°04'44" EAST A DISTANCE OF 2629.60 FEET.
-THE EAST QUARTER CORNER BEING A FOUND 3.25" ALUM. CAP. LS 14166.
-SOUTHEAST CORNER BEING A FOUND 2.5" ALUM. CAP. LS 17666

CIVIL ENGINEER'S STATEMENT:

I, DAVID L. JONES, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Professional Engineer Seal for David L. Jones, No. 30254, dated 9/13/2006.

FINAL PD SITE PLAN
LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1
LOCATED IN THE NW 1/4 OF SECTION 34, T. 7 S., R. 67 W., 6th P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



VICINITY MAP
SCALE: 1"=2000'



KEY MAP
NOT TO SCALE

STATISTICAL DATA

Table with 4 columns: Description, Gross Site Area, Net Site Area, and Land Coverage. Includes rows for Gross Site Area (77,307 SF), Net Site Area (67,786 SF), Buildings (Building A: 6,120 SF, Building B: 8,160 SF), Common Public Access Drives, Internal Drives & Parking, Landscaping, and Single Family Equivalents.

BENCHMARK

A FOUND 3" DOUGLAS COUNTY CONTROL POINT BRASS CAP IN CONCRETE STAMPED 2.015030 LOCATED APPROXIMATELY 400 FEET NORTHEAST OF THE BNSF RAILROAD IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO. BENCHMARK ELEVATION BEING 6082.17 FEET BASED ON THE TOWN OF CASTLE ROCK VERTICAL CONTROL, NAVD 1988 DATUM.

SHEET INDEX

Table with 2 columns: SHEET NO. and DESCRIPTION. Lists sheets 1 through 9, including Cover Sheet, Site Plan, Grading Plan, Utility Plan, Landscape Plan, Conceptual Irrigation Plan, Photometric Plan, Building Elevations, and Architectural Details.

SURVEYOR'S CERTIFICATE:

I, LARRY LEE PARKER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

LARRY LEE PARKER, REGISTERED LAND SURVEYOR NO. 13897

OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 IN THE TOWN OF CASTLE ROCK.

CASTLE ROCK DEVELOPMENT COMPANY, IA COLORADO CORPORATION

SIGNED THIS 20th DAY OF September 2006

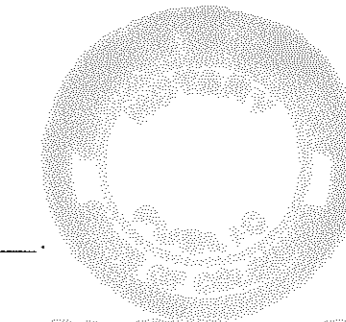
SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF September 2006

BY: Jim Riley, President

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES 11/2/2008



LIENHOLDER SUBORDINATION CERTIFICATE:

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 IN THE TOWN OF CASTLE ROCK. THE UNDERSIGNED BENEFICIARIES OF LIENS CREATED BY DEEDS OF TRUST RECORDED ON AUGUST 5, 2004 AT RECEPTION 2004081483 AND ON MARCH 4, 2005 AT RECEPTION 2005018974 DOUGLAS COUNTY, COLORADO, SUBORDINATE THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

CALIFORNIA BANK & TRUST RECORDED ON AUGUST 5, 2004 AT RECEPTION 2004081483

SIGNED THIS 20th DAY OF Sept. 2006

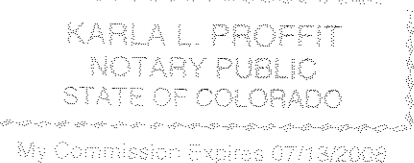
SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF Sept. 2006

BY: Karla L. Proffitt, David Coderres

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES 7/13/2008



CASTLE ROCK LAND CO., LLC RECORDED ON MARCH 4, 2003 AT RECEPTION 2005018974

SIGNED THIS 20th DAY OF September 2006

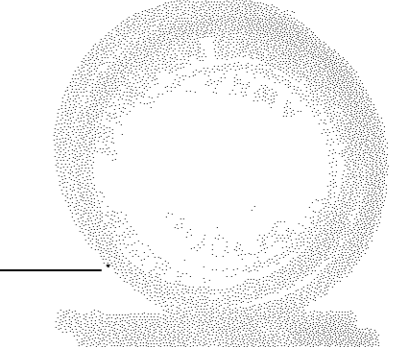
SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF September 2006

BY: John Fox, Authorized Agent

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES 11/13/2008



TITLE CERTIFICATION:

I, Laruce L. Nitsch, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

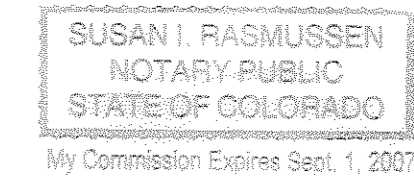
SIGNED THIS 20th DAY OF September 2006

Laruce L. Nitsch

AUTHORIZED REPRESENTATIVE

Land Title Guarantee Company

TITLE INSURANCE COMPANY



SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF September 2006

BY: Laruce L. Nitsch

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES 9-1-07

TOWN CERTIFICATION:

THE LOT 6A, MEADOWS, FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 FINAL PD SITE PLAN WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO ON THE 22nd DAY OF September, 2006

Director of Development Services

DATE

DOUGLAS COUNTY CLERK & RECORDER'S CERTIFICATE:

THIS FINAL PD SITE PLAN WAS FILED FOR AND RECORDED IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT (TIME) 2:48 pm ON THE 22nd DAY OF September, 2006 AT RECEPTION NO. 2006082144

DOUGLAS COUNTY CLERK AND RECORDER

By: Deputy

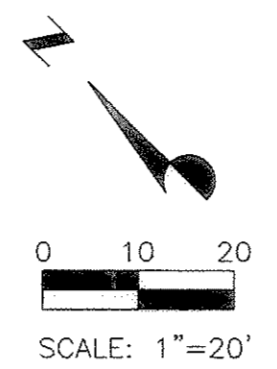
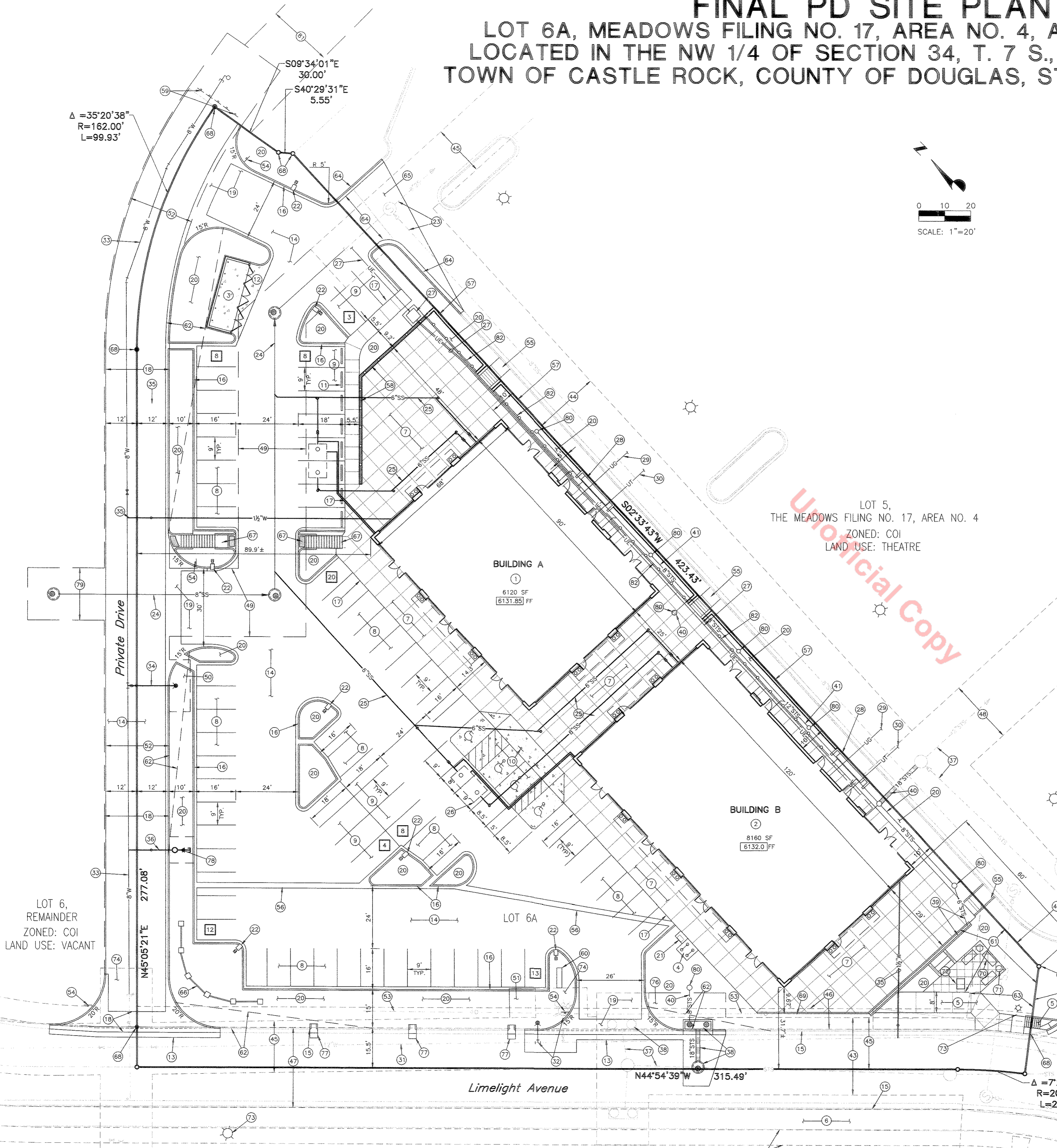
Vertical sidebar containing project information, logos for Galloway, Romero & Associates and DCL Concepts, LLC, and a sheet index table.

Table with Project No. (DC35), Sheet Scale (AS SHOWN), Designed By (LLP), Drawn By (CWB), Date (AUGUST, 2006), and Disk File (DC35_F_01_GI.0-Covr).

FINAL PD SITE PLANS: FPD 06-005 Cover Sheet

FINAL PD SITE PLAN

LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 LOCATED IN THE NW 1/4 OF SECTION 34, T. 7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- ### LEGEND
- EXISTING MANHOLE
 - PROPOSED MANHOLE
 - V— EXISTING VALVE
 - V— PROPOSED VALVE
 - W— EXISTING WATER LINE
 - W— PROPOSED WATER LINE
 - IR— PROPOSED LANDSCAPING IRRIGATION SUPPLY LINE
 - SS— EXISTING SANITARY SEWER
 - SS— PROPOSED SANITARY SEWER
 - STS— EXISTING STORM SEWER
 - STS— PROPOSED STORM SEWER
 - G— EXISTING GAS LINE
 - G— PROPOSED GAS LINE
 - UE— EXISTING UNDERGROUND ELECTRICAL
 - UE— PROPOSED UNDERGROUND ELECTRICAL
 - OE— EXISTING OVERHEAD ELECTRICAL
 - OE— PROPOSED OVERHEAD ELECTRICAL
 - UT— EXISTING UNDERGROUND TELEPHONE
 - UT— PROPOSED UNDERGROUND TELEPHONE
 - FO— EXISTING FIBER OPTIC
 - FO— PROPOSED FIBER OPTIC
 - ① NUMBER OF PARKING SPACES (INCLUDING HANDICAP)
 - P PROPERTY LINE
 - E EXISTING EASEMENT
 - P PROPOSED EASEMENT
 - W PROPOSED WATER SERVICE CURB STOP VALVE & BOX

NOTES

1. VARIANCE NUMBER PWV 06-020, APPROVED SEPTEMBER 6, 2006, ALLOWS THE PROPOSED 25' PUBLIC ACCESS AND UTILITY EASEMENT (SEE SCHEDULE NOTE 52) TO STRADDLE THE NORTHERLY PROPERTY LINE.

- ### SCHEDULE
- ① 68' X 90' BRICK & STUCCO MULTI TENANT RETAIL BUILDING A (6,120 SF)
 - ② 68' X 120' BRICK & STUCCO MULTI TENANT RETAIL BUILDING B (8,160 SF)
 - ③ 10.33' X 28.33' TRASH ENCLOSURE W/BRICK VENEER TO MATCH RETAIL BUILDINGS
 - ④ "BIKE PARKING/PALMER GROUP" "WELLS CIRCULAR" BIKE RACKS 2 EA. (4 BIKES) ON 4" CONCRETE PAD. COLOR BLACK. (WWW.BIKEPARKING.COM)
 - ⑤ PROPOSED DETACHED SIDEWALK AND TOWN OF CASTLE ROCK HANDICAP RAMP (TYPE CR1)
 - ⑥ EXISTING 8" CONCRETE SIDEWALK
 - ⑦ CONCRETE PAVED PLAZA, POSSIBLE OUTDOOR EATING AREA
 - ⑧ 9' X 16' PARKING SPACE W/2' OVERHANG (TYP 53)
 - ⑨ 9' X 18' PARKING SPACE (TYP. 19)
 - ⑩ 6" THICK REINFORCED CONCRETE HANDICAP PARKING SPACE W/SIGNAGE & STRIPING (TYP. 4)
 - ⑪ WHEEL STOP (TYP. 8)
 - ⑫ 6" REINFORCED SLAB AT STORAGE/TRASH AREA
 - ⑬ ASPHALT SAWCUT LINE, 2' MIN FROM EXISTING LIP OF GUTTER
 - ⑭ ASPHALT PAVING, REFER TO GEOTECHNICAL REPORT FOR SECTION
 - ⑮ EXISTING CURB & GUTTER TO REMAIN
 - ⑯ 6" VERTICAL CURB & GUTTER W/1' PAN
 - ⑰ SIDEWALK/VARIABLE HEIGHT CURB FACE
 - ⑱ PROPOSED 24" WIDE PRIVATE ACCESS DRIVE W/8" CONCRETE PAN PER TOWN OF CASTLE ROCK STDS
 - ⑲ PROPOSED PRIVATE CURB CUT (WIDTH AS NOTED) W/6" CONCRETE PAN (TYP 3)
 - ⑳ LANDSCAPE AREA
 - ㉑ UNITED STATES POSTAL SERVICE MAIL BOX
 - ㉒ SITE LIGHT, 25' HIGH MAX (TYP. ALL)
 - ㉓ EXISTING 8" SANITARY SEWER MAIN
 - ㉔ PROPOSED 8" SANITARY SEWER BY OVERALL DEVELOPER
 - ㉕ PROPOSED 8" SANITARY SEWER LATERAL FOR DOMESTIC AND GREASY WASTE, SEE UTILITY PLAN
 - ㉖ PROPOSED 3,520 GALLON GREASE TRAP, SEE UTILITY PLAN
 - ㉗ PRIMARY ELECTRICAL SERVICE, PAD MOUNTED TRANSFORMER & SECONDARY ELECTRICAL TO EUSERC CABINETS, SEE UTILITY PLAN
 - ㉘ EUSERC CABINET & MASONRY SCREEN WALL TO MATCH BUILDING (TYP 2)
 - ㉙ UNDERGROUND NATURAL GAS SERVICE TO MULTIPLE METERS MOUNTED ON BUILDING, SEE UTILITY PLAN (TYP 2). SERVICE LINE TO BE COMPLETELY CONTAINED ON LOT 6A
 - ㉚ UNDERGROUND TELEPHONE, SEE UTILITY PLAN (TYP 2). SERVICE LINE TO BE COMPLETELY CONTAINED ON LOT 6A
 - ㉛ EXISTING 12" WATER MAIN
 - ㉜ EXISTING FIRE HYDRANT TO BE RELOCATED 10'± TO THE NORTH, SEE UTILITY PLAN
 - ㉝ PROPOSED 8" WATER MAIN EXTENSION BY OVERALL DEVELOPER, SEE UTILITY PLAN
 - ㉞ PROPOSED FIRE HYDRANT, CONSTRUCTED W/WATER MAIN EXTENSION, PAID FOR BY DCL
 - ㉟ PROPOSED WATER TAP & TYPE K CU SERVICE LINE TO METER MOUNTED IN BUILDING MECHANICAL ROOM, SEE UTILITY PLAN (TYP 2)
 - ㊱ PROPOSED 1" WATER TAP, SERVICE LINE, METER, PIT & BACKFLOW PREVENTOR FOR IRRIGATION SUPPLY, SEE UTILITY PLAN
 - ㊲ EXISTING STORM SEWER INLETS & OUTFALL LATERALS
 - ㊳ EXISTING 10" TYPE R INLET TO BE REMOVED. RECONSTRUCT NEW 10" TYPE R INLET W/18" RCP OUTFALL LATERAL & 4" DIA MANHOLE
 - ㊴ PROPOSED TRENCH DRAIN & OUTFALL LATERAL
 - ㊵ PROPOSED PRIVATE STORM SEWER INLETS & OUTFALL LATERAL, TIE INTO EXISTING PUBLIC STORM SEWER AS INDICATED
 - ㊶ OUTFALL LATERAL FOR BUILDING ROOF DRAIN
 - ㊷ EXISTING 33" DRAINAGE & PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - ㊸ EXISTING 30" DRAINAGE & PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - ㊹ EXISTING 25.5' PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - ㊺ EXISTING 20' PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975 (TYP. 2)
 - ㊻ EXISTING 8' AREA & AQUILA EASEMENT BY PLAT, RECEPTION NO. 2005018975 (TYP. 2)
 - ㊼ EXISTING 31' PUBLIC ACCESS EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - ㊽ EXISTING 25' DRAINAGE EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - ㊾ PROPOSED 26' PUBLIC UTILITY EASEMENT BY PLAT
 - ㊿ PROPOSED 8' X 20' PUBLIC UTILITY EASEMENT BY PLAT
 - 1 PROPOSED 10' X 10' PUBLIC UTILITY EASEMENT BY PLAT
 - 2 PROPOSED 25' PUBLIC ACCESS AND UTILITY EASEMENT BY PLAT. A VARIANCE (PWV 06-020) ACCOMPANIES THIS EASEMENT, SEE NOTE 1
 - 3 EXISTING UNDERGROUND FIBER OPTIC LINES
 - 4 PROPOSED R1-1 STOP SIGN PER MUTCD (TYP 4)
 - 5 PROPOSED PEDESTRIAN CONNECTION, 6' WIDE SIDEWALK W/STAIRS (TYP 3)
 - 6 2' WIDE CONCRETE PAN
 - 7 MODULAR MASONRY RETAINING WALL ALONG EASTERLY PROPERTY LINE TO MATCH COLOR OF ACCENT BRICK ON BUILDINGS A & B
 - 8 MODULAR MASONRY RETAINING WALL W/RAILING ADJACENT TO PLAZA AREA TO MATCH COLOR OF ACCENT BRICK ON BUILDINGS A & B
 - 9 METAL POST W/RED DELINEATOR (TYP 5)
 - 10 JOINT I.D. MONUMENT SIGN, 6"-8"± HIGH, 26.67 SQUARE FEET PER FACE
 - 11 VISUAL/PEDESTRIAN AREA
 - 12 SIGHT TRIANGLE (TYP 4)
 - 13 EXISTING 25' PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - 14 EXISTING CURB & GUTTER TO BE REMOVED & REPLACED
 - 15 EXISTING ASPHALT PAVING TO BE REMOVED & REPLACED, MATCH EXISTING SECTION
 - 16 BRICK SCREEN WALL, HEIGHT VARIES, 2'-4" TO 3'-4"
 - 17 ADA ACCESSIBLE PEDESTRIAN RAMP (TYP 2)
 - 18 NUMBER 5 REBAR, 18" LONG WITH PLASTIC CAP MARKED "PLS35593"
 - 19 6" CURB HEAD
 - 20 BENCH 2 EA. BY CREATIVE PIPE INC., MODEL ORBIS, COLOR BLACK ORRB-RP-6-SM-F
 - 21 TRASH RECEPTACLE 2 EA., BY CREATIVE PIPE INC., MODEL DISCUS, COLOR BLACK DST-FB-36-F-P-TL
 - 22 DECORATIVE SPIRE
 - 23 EXISTING STREET LIGHT TO REMAIN (TYP 2)
 - 24 EXISTING 20' WIDE PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - 25 EXISTING 20' WIDE DRAINAGE & PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - 26 PROPOSED 9.54' X 29.61' DRAINAGE EASEMENT BY PLAT TO ACCOMMODATE INLET RELOCATION
 - 27 2' WIDE CONCRETE RUNDOWN TO SEDIMENT AREA (TYP 3)
 - 28 PROPOSED 10' X 9.5' PUBLIC UTILITY EASEMENT FOR IRRIGATION METER
 - 29 PROPOSED 20' PUBLIC UTILITY EASEMENT BY PLAT
 - 30 PROPOSED AREA INLET (TYP 7)
 - 31 PROPOSED OFFSITE TEMPORARY DRAINAGE EASEMENT BY SEPARATE DOCUMENT
 - 32 GUARDRAIL

NO.	REVISION	DATE	DRAWN BY	CHECKED BY

Calloway, Romero & Associates
Design Engineering Planning

5320 DTC Parkway, CO 80111
Tel: (303) 770-8884
Fax: (303) 770-3636

DCL Concepts, LLC

8174 South Holly Street, #505
Castle Rock, CO 80104
Tel: (720) 489-0424
Fax: (720) 489-0423

DCL RETAIL AT MEADOWS
LOT 6A, THE MEADOWS FILING NO. 17,
AREA NO. 4, AMENDMENT NO. 1

LIMELIGHT AVENUE
CASTLE ROCK, COLORADO

Project No:	DC35
Sheet Scale:	1"=20'
Designed By:	DWG
Drawn By:	CEF
Date:	APRIL, 2006
Disk File:	DC35_F 02-Site

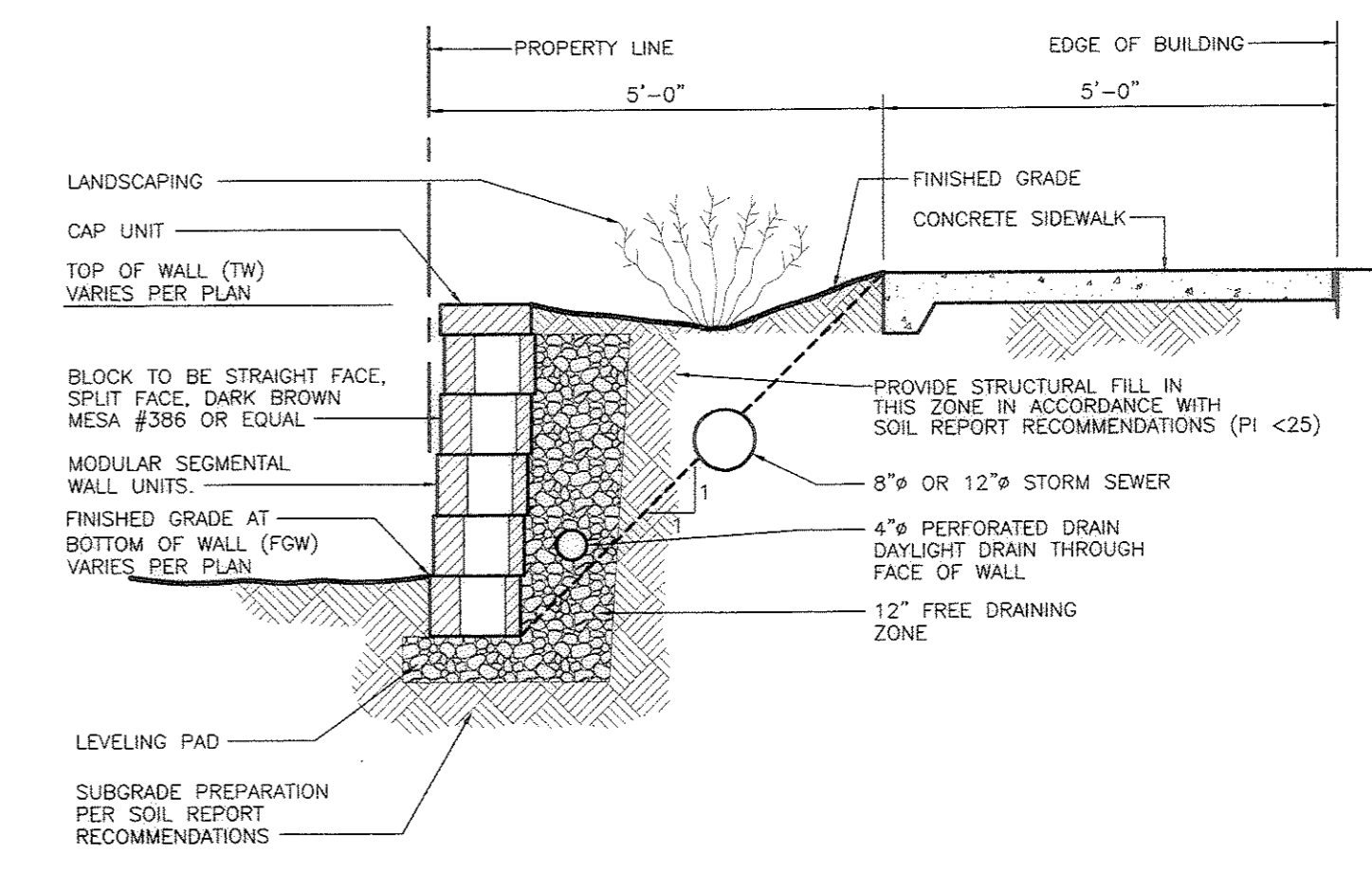
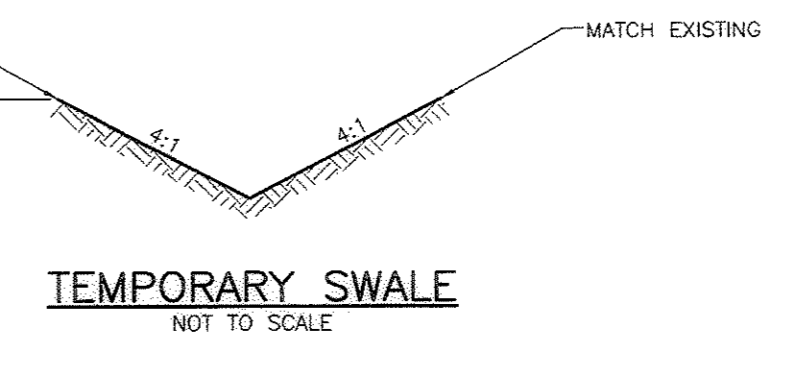
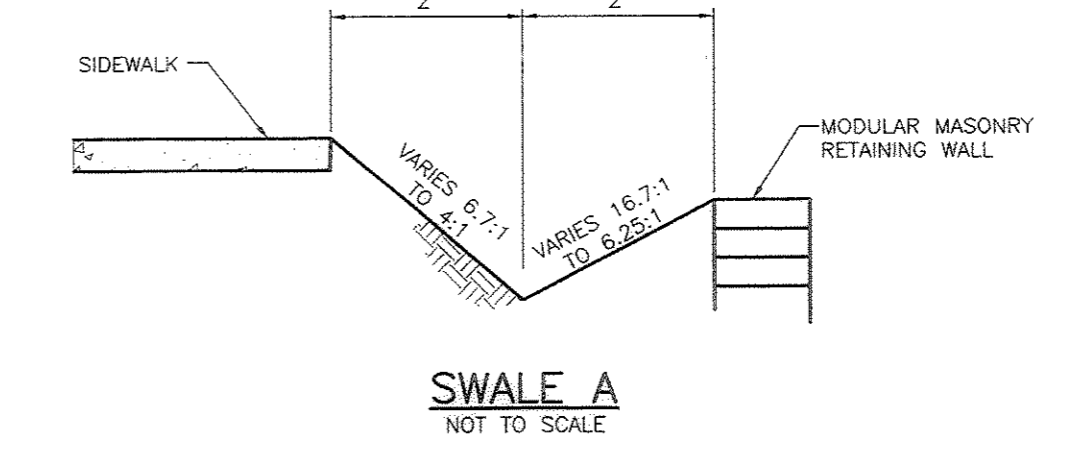
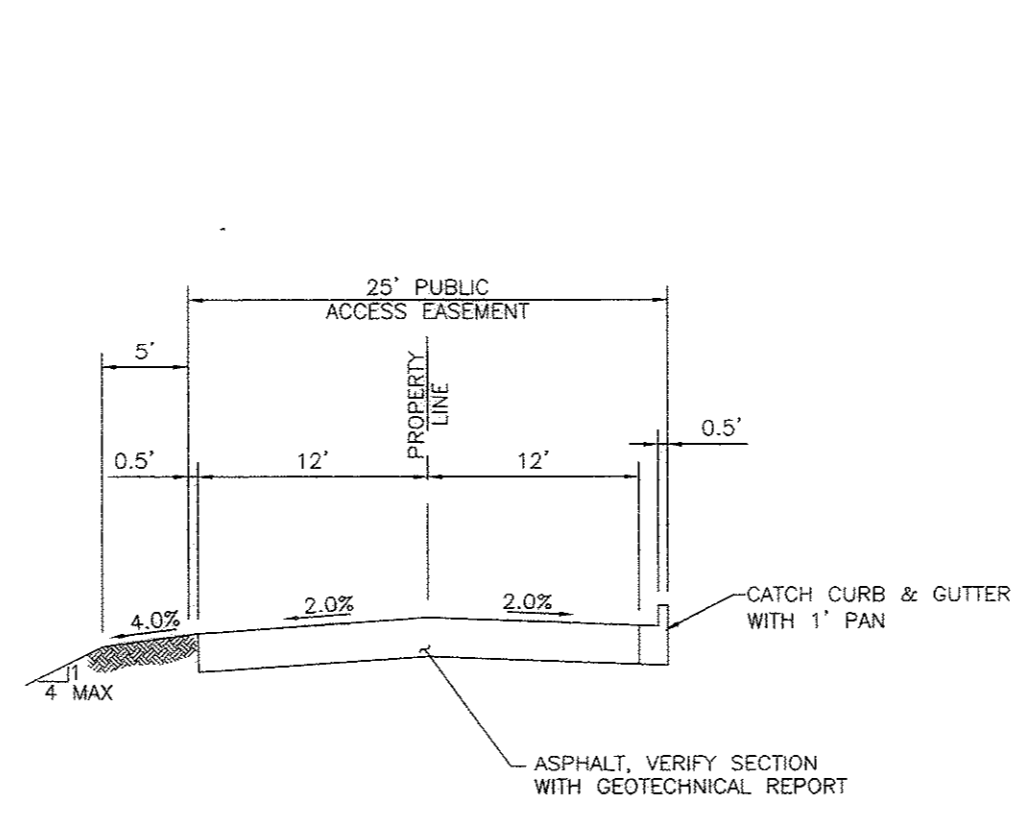
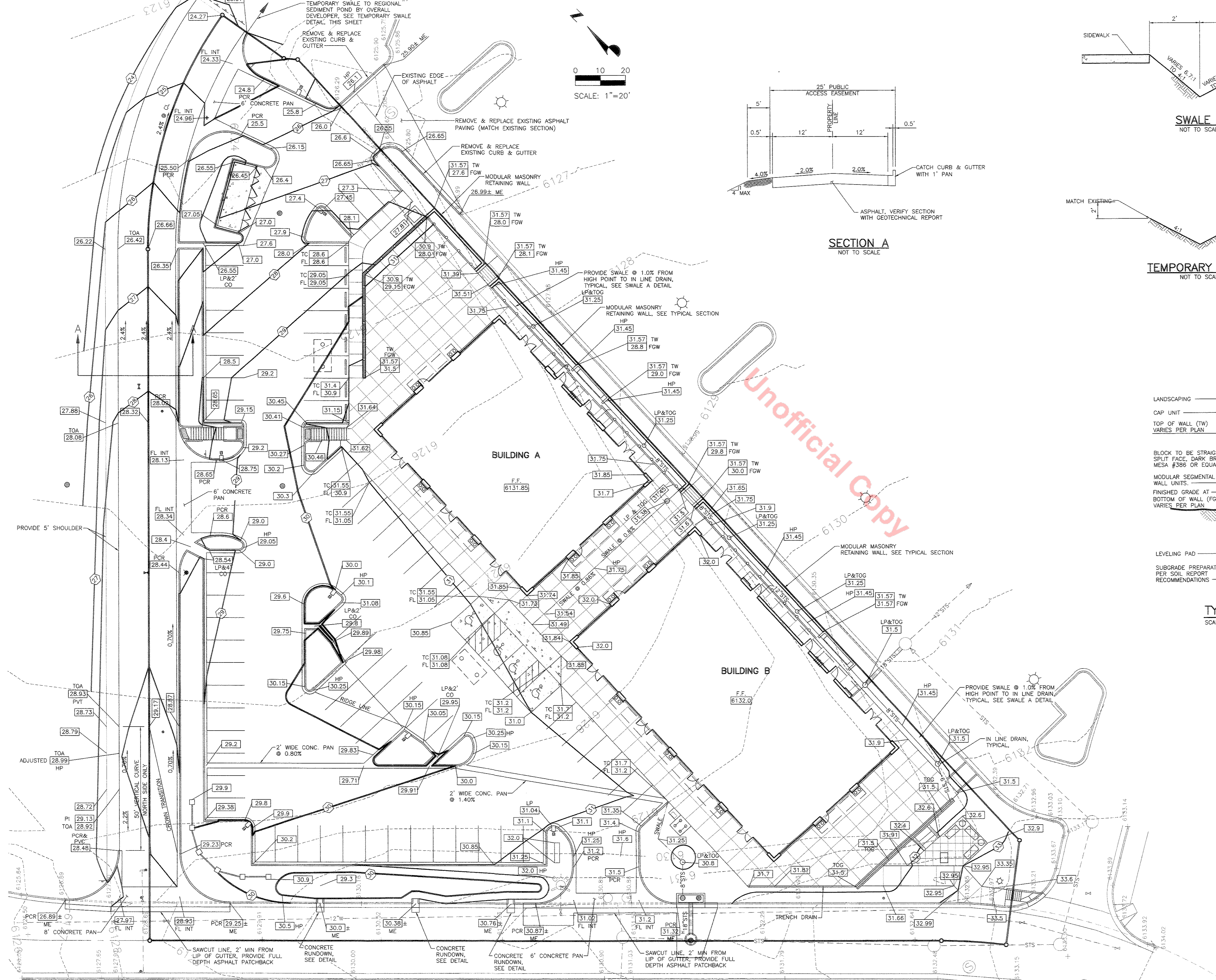
FINAL PD SITE PLAN: FPD 06-005
Site Plan

2 of 9

FINAL PD SITE PLAN

LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 LOCATED IN THE NW 1/4 OF SECTION 34, T. 7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND	
---	EXISTING CONTOUR
○	PROPOSED CONTOUR
61.30.00	EXISTING SPOT ELEVATION
30.0	FINISHED SPOT ELEVATION
GB	GRADE BREAK
FF	FINISHED FLOOR ELEVATION
FGW	FINISHED GRADE AT WALL
HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
FL INT	FLOWLINE INTERSECTION
PCR	POINT OF CURB RETURN
CO	CURB OPENING
TOA	TOP OF ASPHALT
TOB	TOP OF BERM
TC	TOP OF CURB
TW	TOP OF WALL
TSW	TOP OF SIDEWALK
GT	GUTTER TRANSITION, 5' UNLESS NOTED OTHERWISE



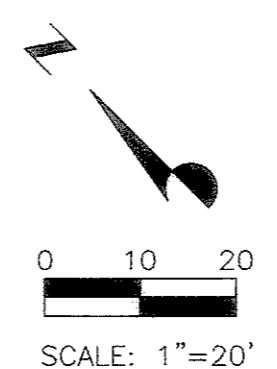
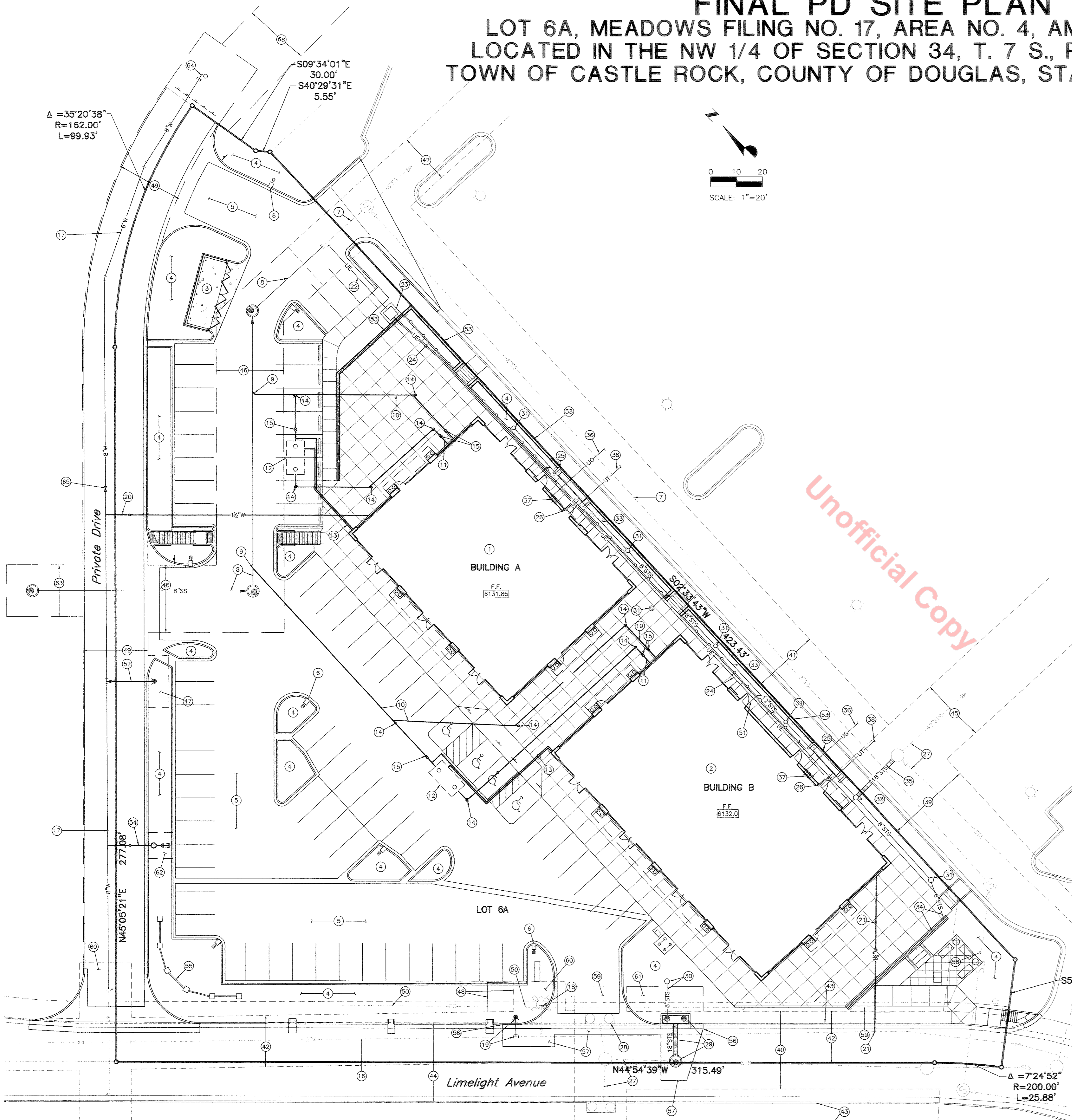
BENCHMARK
A FOUND 3" DOUGLAS COUNTY CONTROL POINT BRASS CAP IN CONCRETE STAMPED 2.015030 LOCATED APPROXIMATELY 400 FEET NORTHEAST OF THE BNSF RAILROAD IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, BENCHMARK ELEVATION BEING 6082.17 FEET BASED ON THE TOWN OF CASTLE ROCK VERTICAL CONTROL, NAVD 1988 DATUM.

Unofficial Copy

DATE	DRAWN BY	REVISED BY	REVISION	NO.	DATE	DRAWN BY	REVISED BY	REVISION	NO.
Galloway, Romero & Associates Design Engineering Planning 5350 DTC Parkway, #505 Greenwood Village, CO 80111 Phone: (303) 770-8884 Fax: (303) 770-3636					DCL Concepts, LLC 8174 South Holly Street, #505 Centennial, CO 80122-4004 Phone: (720) 888-9884 Fax: (720) 888-0423				
DCL RETAIL AT MEADOWS LOT 6A, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 LIMELIGHT AVENUE CASTLE ROCK, COLORADO									
Project No: DC35					Sheet Scale: 1"=20'				
Designed By: DWG					Drawn By: CEF				
Date: APRIL, 2006					Disk File: DC35_F_03-Grad				
FINAL PD SITE PLAN: SFD 06-005 Grading Plan									
3 of 9									

FINAL PD SITE PLAN

LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 LOCATED IN THE NW 1/4 OF SECTION 34, T. 7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- ### UTILITY LEGEND
- EXISTING MANHOLE
 - PROPOSED MANHOLE
 - EXISTING VALVE
 - PROPOSED VALVE
 - W — EXISTING WATER LINE
 - W — PROPOSED WATER LINE
 - SS — EXISTING SANITARY SEWER
 - SS — PROPOSED SANITARY SEWER
 - STS — EXISTING STORM SEWER
 - STS — PROPOSED STORM SEWER
 - G — EXISTING GAS LINE
 - G — PROPOSED GAS LINE
 - UE — EXISTING UNDERGROUND ELECTRICAL
 - UE — PROPOSED UNDERGROUND ELECTRICAL
 - OE — EXISTING OVERHEAD ELECTRICAL
 - OE — PROPOSED OVERHEAD ELECTRICAL
 - UT — EXISTING UNDERGROUND TELEPHONE
 - UT — PROPOSED UNDERGROUND TELEPHONE
 - FO — EXISTING FIBER OPTIC
 - — — PROPERTY LINE
 - — — EXISTING EASEMENT
 - — — PROPOSED EASEMENT
 - — — PROPOSED WATER SERVICE CURB STOP VALVE & BOX

- ### NOTES
1. VARIANCE NUMBER PWV 06-020, APPROVED SEPTEMBER 6, 2006, ALLOWS THE PROPOSED 25' PUBLIC ACCESS AND UTILITY EASEMENT (SEE SCHEDULE NOTE 49) TO STRADDLE THE NORTHERLY PROPERTY LINE.

- ### SCHEDULE
- 1 68' X 90' MULTI TENANT RETAIL BUILDING A (6120 SF)
 - 2 68' X 120' MULTI TENANT RETAIL BUILDING B (8160 SF)
 - 3 10.33' X 28.33' TRASH ENCLOSURE W/BRICK VENEER TO MATCH RETAIL BUILDINGS
 - 4 LANDSCAPE AREA
 - 5 ASPHALT PAVING, REFER TO GEOTECHNICAL REPORT FOR SECTION
 - 6 SITE LIGHT 25' HIGH MAX (TYP. ALL)
 - 7 EXISTING 8" SANITARY SEWER MAIN
 - 8 PROPOSED 8" SANITARY SEWER BY OTHERS TO BE CONSTRUCTED CONCURRENT WITH DCL CONSTRUCTION
 - 9 NEW 6" SANITARY SEWER SERVICE TAP (WYE CONNECTION) FOR RETAIL BUILDINGS A & B RUN SERVICE LINE AS SHOWN (TYP. 2), SEE SHEET CU1.2
 - 10 6" SANITARY SEWER SERVICE LINE FOR DOMESTIC WASTE (TYP. 2), SEE SHEET CU1.2
 - 11 6" SANITARY SEWER SERVICE LINE FOR GREASY WASTE (TYP. 2), SEE SHEET CU1.2
 - 12 3520 GALLON GREASE TRAP (TYP. 2), SEE SHEET CU1.2
 - 13 GREASE TRAP VENT PIPING (TYP. 2), SEE SHEET CU1.2
 - 14 4" CLEANOUT PLUG (TYP. ALL), SEE SHEET CU1.2
 - 15 2 WAY CLEANOUT (TYP. ALL), SEE SHEET CU1.2
 - 16 EXISTING 12" WATER MAIN: PRESSURE ZONE YELLOW
 - 17 PROPOSED 8" WATER MAIN BY OTHERS TO BE CONSTRUCTED CONCURRENT WITH DCL CONSTRUCTION
 - 18 EXISTING FIRE HYDRANT TO BE RELOCATED, SEE 19
 - 19 RELOCATED 6" FIRE HYDRANT AND ASSEMBLY
 - 20 PROPOSED 1 1/2" WATER TAP, CURB STOP VALVE & BOX, TYPE K CU SERVICE LINE TO METER LOCATED IN BUILDING A MECHANICAL ROOM
 - 21 PROPOSED 1 1/2" WATER TAP, CURB STOP VALVE & BOX, TYPE K CU SERVICE LINE TO METER LOCATED IN BUILDING B MECHANICAL ROOM
 - 22 PRIMARY ELECTRICAL SERVICE, VERIFY POINT TO SERVICE WITH SUPPLIER
 - 23 PAD MOUNTED TRANSFORMER
 - 24 SECONDARY ELECTRICAL SERVICE TO EUSERC CABINETS (TYP. 2)
 - 25 EUSERC CABINET WITH MASONRY SCREEN WALL (TYP. 2)
 - 26 UNDERGROUND ELECTRICAL SUPPLY FROM EUSERC CABINET TO BUILDING (TYP. 2)
 - 27 EXISTING STORM SEWER, INLETS & MANHOLES
 - 28 EXISTING 10" TYPE R INLET TO BE RELOCATED, SEE 29 PLUG EXISTING 18" OUTFALL LATERAL PER TOWN OF CASTLE ROCK REQUIREMENTS
 - 29 PROPOSED 10" TYPE R INLET, 18" RCP CLASS III OUTFALL LATERAL & 4" DIA MANHOLE
 - 30 PROPOSED PRIVATE AREA INLET BY ADVANCED DRAINAGE SYSTEMS INC & OUTFALL LATERAL TIE INTO PROPOSED 10" TYPE R INLET
 - 31 PROPOSED PRIVATE AREA INLET BY ADVANCED DRAINAGE SYSTEMS INC & OUTFALL LATERAL (TYP. 5)
 - 32 PROPOSED PRIVATE 2" DIA MANHOLE MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC.
 - 33 PROPOSED PRIVATE OUTFALL LATERAL FOR BUILDING ROOF DRAINS
 - 34 PRIVATE TRENCH DRAIN & OUTFALL LATERAL
 - 35 PROPOSED PRIVATE OUTFALL LATERAL, TIE INTO EXISTING STORM SEWER AS SHOWN
 - 36 NATURAL GAS SERVICE LINE TO MULTIPLE METERS MOUNTED ON BUILDING (TYP. 2) VERIFY POINT OF SERVICE W/SUPPLIER
 - 37 MULTIPLE GAS METERS MOUNTED ON BUILDING (TYP. 2)
 - 38 UNDERGROUND CONDUIT FOR TELEPHONE SERVICE (TYP. 2). VERIFY POINT OF SERVICE W/SUPPLIER
 - 39 EXISTING 33' DRAINAGE & PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - 40 EXISTING 30' DRAINAGE & PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - 41 EXISTING 25.5' PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - 42 EXISTING 20' PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975 (TYP. 2)
 - 43 EXISTING 8' AREA & AQUILA EASEMENT BY PLAT, RECEPTION NO. 2005018975 (TYP. 2)
 - 44 EXISTING 31' PUBLIC ACCESS EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - 45 EXISTING 25' DRAINAGE EASEMENT BY PLAT, RECEPTION NO. 2005018975
 - 46 PROPOSED 26' PUBLIC UTILITY EASEMENT BY PLAT
 - 47 PROPOSED 8' X 20' PUBLIC UTILITY EASEMENT BY PLAT
 - 48 PROPOSED 10' X 10' PUBLIC UTILITY EASEMENT BY PLAT FOR RELOCATED FIRE HYDRANT
 - 49 PROPOSED 25' PUBLIC ACCESS AND UTILITY EASEMENT BY PLAT. A VARIANCE (PWV 06-020) ACCOMPANIES THIS EASEMENT, SEE NOTE 1
 - 50 EXISTING UNDERGROUND FIBER OPTIC LINES
 - 51 PROPOSED BUILDING ROOF DRAIN (TYP. ALL)
 - 52 PROPOSED 6" FIRE HYDRANT & ASSEMBLY, CONSTRUCTED WITH OVERALL DEVELOPER WATER MAIN EXTENSION, PAID FOR BY DCL
 - 53 MODULAR MASONRY RETAINING WALL
 - 54 1" WATER TAP, TYPE K CU SERVICE LINE, CURB STOP VALVE & BOX, METER & PIT AND BACKFLOW PREVENTOR FOR IRRIGATION SUPPLY
 - 55 BRICK SCREEN WALL, 3± HIGH
 - 56 APPROXIMATE LIMITS OF EXISTING CURB AND GUTTER TO BE REMOVED & REPLACED TO ACCOMMODATE UTILITY RELOCATION
 - 57 APPROXIMATE LIMITS OF EXISTING ASPHALT PAVING TO BE REMOVED & REPLACED TO ACCOMMODATE UTILITY RELOCATION. MATCH EXISTING PAVING SECTION
 - 58 VISUAL/PEDESTRIAN AREA
 - 59 EXISTING 20' WIDE DRAINAGE AND PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION No. 2005018975
 - 60 EXISTING 20' WIDE PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION No. 2005018975
 - 61 PROPOSED 9.54' X 29.61' DRAINAGE EASEMENT BY PLAT TO ACCOMMODATE INLET RELOCATION
 - 62 PROPOSED 10' X 9.5' PUBLIC UTILITY EASEMENT FOR IRRIGATION METER
 - 63 PROPOSED 20' PUBLIC UTILITY EASEMENT BY PLAT
 - 64 8" PLUG & TEMPORARY BLOW OFF ASSEMBLY WITH OVERALL DEVELOPER MAIN EXTENSION
 - 65 8" GATE VALVE WITH OVERALL DEVELOPER MAIN EXTENSION
 - 66 PROPOSED OFFSITE TEMPORARY DRAINAGE EASEMENT BY SEPARATE EASEMENT

	DATE								
	DRAWN BY								
	DES. BY								
	REVISION								
No.									
Galloway, Romero & Associates Design Engineering Planning 5350 DTC Parkway Greenwood Village, CO 80111 Tel. (303) 770-8956 Fax. (303) 770-3836									
DCL Concepts, LLC 8174 South Holly Street, #505 Centennial, CO 80122-4004 Tel. (720) 489-0424 Fax. (720) 489-0423									
DCL RETAIL AT MEADOWS LOT 6A, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 LIMELIGHT AVENUE CASTLE ROCK, COLORADO									
Project No: DC35									
Sheet Scale: 1"=20'									
Designed By: DWG									
Drawn By: CEF									
Date: APRIL 2006									
Disk File: DC35_F 04-Util									
FINAL PD SITE PLAN: FPD 06-005 Utility Plan									
4 of 9									

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER UTILITIES

FINAL PD SITE PLAN

LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1

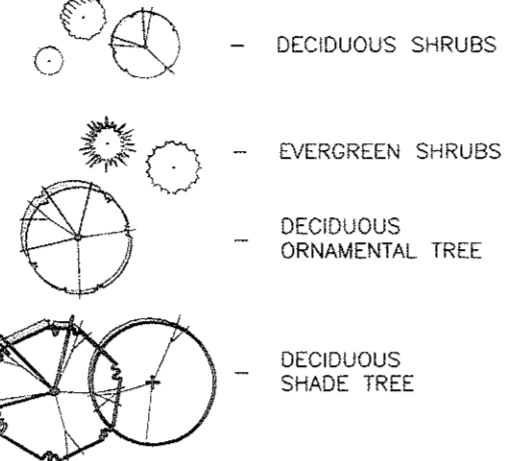
LOCATED IN THE NW 1/4 OF SECTION 34, T. 7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987

CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES

LANDSCAPE LEGEND

- CEDAR WOOD MULCH 2" DEEP
- 1 1/2" RIVER ROCK MULCH 3" DEEP
- STEEL EDGE (TYP)
- PERENNIALS/ORNAMENTAL GRASSES



PLANT SCHEDULE

ABB	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	REMARKS	WATER USE
DECIDUOUS TREES						
ABB	<i>Celtis occidentalis</i>	Western Hackberry	6	2 1/2" Cal	B&B	Low
APA	<i>Fraxinus americana</i> 'Autumn Purple'	Autumn Purple Ash	8	2 1/2" Cal	B&B	Low
SHA	<i>Gleditsia triacanthos</i> 'Imperial'	Shadblow Honeylocust	4	2 1/2" Cal	B&B	Low
PMA	<i>Fraxinus pennsylvanica</i> 'Patriot'	Patriot Green Ash	4	2 1/2" Cal	B&B	Low
VNB	<i>Viburnum lentago</i>	Nannyberry Viburnum	2	4" height	B&B	Medium
SPC	<i>Makia x 'Spring Snow'</i>	Spring Snow Crabapple	5	1 1/2" Cal	B&B	Low
DECIDUOUS SHRUBS						
DRU	<i>Daphne caucasica</i>	Russian Daphne	62	# 5 GAL	Cont.	Medium
RBB	<i>Berberis thunbergii</i> 'Atropurpurea'	Red Barberry	21	# 5 GAL	Cont.	Low
NMO	<i>Physocarpus moninii</i>	Mountain Ninebark	77	# 5 GAL	Cont.	Low
RSD	<i>Potentilla stipulicida</i> 'Little Spire'	Dwarf Russian Sage	83	# 1 GAL	Cont.	Low
RSA	<i>Potentilla stipulicida</i>	Russian Sage	6	# 5 GAL	Cont.	Low
TLS	<i>Rhus typhina</i>	Tree Leaf Smitac	6	# 5 GAL	Cont.	Low
EVERGREEN/SHRUB/LEAF SHRUBS						
BST	<i>Juniperus ssp. Blue Star</i>	Blue Star Juniper	4	# 5 GAL	Cont.	Low
BUF	<i>Juniperus ssp. Buffalo</i>	Buffalo Juniper	39	# 5 GAL	Cont.	Low
CTT	<i>Cottoneaster apiculatus</i> 'Tom Thumb'	Tom Thumb Cottoneaster	47	# 5 GAL	Cont.	Low
HJS	<i>Juniperus x horizontalis</i> 'Hogwarts'	Hogwarts Juniper	45	# 5 GAL	Cont.	Low
PFC	<i>Juniperus x media</i> 'Pfitzeriana Compact'	Compact Pfitzer	5	# 5 GAL	Cont.	Low
TAM	<i>Juniperus ssp. Tamariscina</i>	Tammy Juniper	43	# 5 GAL	Cont.	Low
ORNAMENTAL GRASSES/PERENNIALS						
AVG	<i>Filicostochon sempervirens</i>	Old Grass	69	# 1 GAL CONT.	18" O.C. Spacing Max.	Low
ASA	<i>Andros poon scariosus</i>	Silver Bluestem	30	# 1 GAL CONT.	18" O.C. Spacing Max.	Low
BFE	<i>Festuca glauca</i> 'Elijah Blue'	Blue Fescue Grass	142	# 1 GAL CONT.	12" O.C. Spacing Max.	Low
DDY	<i>Hemipocallis 'Slate Doo'</i>	Slate Doo Daylily	59	# 1 GAL CONT.	18" O.C. Spacing Max.	Low
DSD	<i>Leucanthemum Compact 'Snow Lady'</i>	Dwarf Shasta Daisy	28	# 1 GAL CONT.	18" O.C. Spacing Max.	Low
FRG	<i>Calamagrostis canadensis</i> 'Karl Forester'	Feather Reed Grass	13	# 1 GAL CONT.	18" O.C. Spacing Max.	Low
CTT	<i>Cottoneaster apiculatus</i>	Purple Cottoneaster	47	# 1 GAL CONT.	18" O.C. Spacing Max.	Low
SMN	<i>Salvia sylvestris x mainacht</i>	May Night Salva	99	# 1 GAL CONT.	18" O.C. Spacing Max.	Low
MYJ	<i>Miscanthus sinensis 'Yaku Jima'</i>	Miscanthus Grass	4	# 1 GAL CONT.	18" O.C. Spacing Max.	Low
PCW	<i>Phlox subulata</i>	Creeper Phlox	63	# 1 GAL CONT.	18" O.C. Spacing Max.	Low
DMG	<i>Pennisetum alopecuroides 'Hamlet'</i>	Dwarf Hardy Fountain Grass	82	# 1 GAL CONT.	18" O.C. Spacing Max.	Low

Landscape Requirements

Area Description	Area/Required Area/Provided	Required Trees	Required Shrubs	Provided Trees	Provided Shrubs	Provided Perennials
Site Area	-	77307	-	-	-	-
Parking Lot	29248	-	-	-	-	-
Parking Lot Landscape	2,924.8	3442	7	28	12	75
Site Landscape	4,805.9	7214	14	58	18	362
Total Site Landscape	19.0%	13.8%	21	85	30	437

Summary Table of Landscape Areas

Area Description	Area/Required Area/Provided
Total Landscape	10556.0
Irrigated	6393.6 0.0
Turf (max.)	60.0% 0.0%
Living Ground	8820.0
Cover	82.3%
Wood Mulch	2686 23.4%
Rock/Stone	6324 59.3%
Non-Living Ground Cover	1935.0
Wood Mulch	17.2%
Rock/Stone	0 0.0%
Concrete	1835 17.2%
Undisturbed Area	0.0 0.0%

MAINTENANCE AGREEMENT:

THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER.

LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN. FOR EXAMPLE A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE.

SITE ANALYSIS

THE PHYSICAL CHARACTERISTICS OF THE SITE ARE SUCH THAT IT IS ROUGHLY AT GRADE ALONG LIMELIGHT AVENUE. THE SITE HAS BEEN OVERLOTT GRADED. THE SITE SOILS HAVE BEEN DISTURBED AND THEIR CAPACITY WILL BE ESTABLISHED THROUGH TESTING AND AMENDED FOR CONSTRUCTION. THE SITE HAS A SOUTHEAST ORIENTATION/EXPOSURE WITH NO OUTSTANDING NATURAL FEATURES OR ADJACENT ARCHITECTURE THAT WOULD BLOCK OR IMPACT SOLAR ACCESS OR PREVAILING SOUTHERLY AND NORTHWESTERLY WINDS.

THERE IS NO EXISTING VEGETATION ON-SITE.

ALL STORM WATER RUNOFF FROM THE SITE WILL BE PICKED UP ON SITE BY STORM SEWERS AND TRANSPORTED TO THE EXISTING REGIONAL BASIN.

SITE USE/NARRATIVE

THE PROPOSED DEVELOPMENT OF THE 77,307 SQ. FT. LOT WITH TWO BUILDINGS 14,290 SQ. FT. MULTI-TENANT FACILITY WILL CREATE APPROXIMATELY 12,422 SQ. FT. OR 18.3% OF VISUALLY PLEASING, WATER CONSERVING LANDSCAPING.

THE SITE PROVIDES OUTDOOR PATIO SPACES, ALONG LIMELIGHT AVENUE, BETWEEN THE PROPOSED BUILDINGS, AND ALONG THE NORTH-SIDE OF THE NORTHERN BUILDING. PEDESTRIAN CONNECTIONS FROM THE PATIO SPACES TO THE ADJACENT THEATRE INCREASE SITE ACCESS AND THE INTERCONNECTIVITY OF THE OVERALL DEVELOPMENT.

SHRUBS ARE LOCATED ALONG THE EASTERLY PROPERTY LINE TO SOFTEN AND SCREEN THE "WORKING" AND SERVICE AREAS OF THE PROPOSED BUILDINGS. ORNAMENTAL GRASSES ARE USED THROUGHOUT THE SITE TO ACCENT THE ENTRY TO OUTDOOR SPACES AND SITE ACCESS POINTS. STREET TREES DEFINE THE PROPERTY EDGES AND SHADE THE PARKING LOT AREAS.

THE SITE LANDSCAPE MATERIALS COMPLEMENT THE ADJACENT DEVELOPMENT TO INTEGRATE THE SITES AND PROVIDE AN OVERALL CONSISTENT THEME. AS PART OF THE OVERALL ENTERTAINMENT CENTER A BRICK ENTRY, PERENNIALS AND PEDESTRIAN PLAZA HAS BEEN INCORPORATED INTO THE SITE AND LANDSCAPE DESIGN.

NOTES

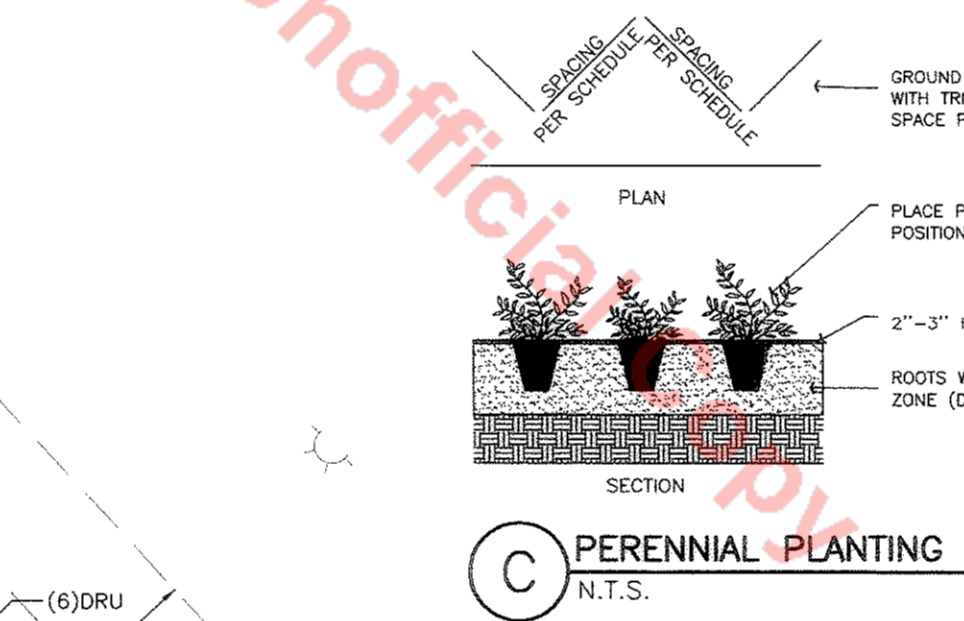
- THE CONTRACTOR IS TO FURNISH AND INSTALL PLANT MATERIALS AS NOTED. ALL PLANT MATERIAL MUST EQUAL OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT, AND IS SUBJECT TO APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS TO VERIFY FIELD CONDITIONS AND NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL INSTALLATION SHALL BE ACCOMPLISHED BY A TOWN OF CASTLE ROCK REGISTERED INSTALLATION PROFESSIONAL.
- CONTRACTOR TO REPAIR OR REPLACE ANY SOD, MULCH OR SITE IMPROVEMENTS DISTURBED OR DAMAGED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO PROVIDE FOR PROTECTION OF ALL UTILITIES, PRIVATE OR PUBLIC PROPERTY, AND SERVICE AREAS FOR THE DURATION OF THE CONTRACT AND SHALL REPAIR OR REPLACE ANY DAMAGES TO SAME WITHOUT ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL SECURE AND PAY ALL APPLICABLE TAXES, PERMITS AND FEES IN CONNECTION WITH THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND ORDERLY AND SHALL DISPOSE OF ALL WASTE AND DEBRIS AT AN APPROVED LOCATION OFF-SITE PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR SHALL SECURE AND PAY ALL APPLICABLE TAXES, PERMITS AND FEES IN CONNECTION WITH THE WORK UNDER THE CONTRACT.
- PRIOR TO ANY PLANNING OPERATIONS, ALL LANDSCAPE AREAS TO BE PLANTED SHALL BE AMENDED WITH A MINIMUM OF SOIL AMENDMENTS AND FERTILIZERS AS NOTED IN THE SITE SOIL DESCRIPTION AND OF AN ACCEPTABLE QUALITY TO MEET THE TOWN OF CASTLE ROCK REQUIREMENTS. THE SOIL AMENDMENTS SHALL BE TILLED (6) SIX INCHES AND WELL INCORPORATED INTO THE SOIL PROFILE. SAID AMENDED SOIL SHALL BE FREE OF ROCK, CONSTRUCTION MATERIALS, TRASH AND OTHER DEBRIS. FINISH GRADES SHALL BE WITHIN (0.2) TWO TENTHS OF FOOT TO ANY PAVEMENT/HARDSCAPE.
- ALL TREES AND SHRUBS ARE TO BE PLANTED AFTER ROUGH GRADING AND PRIOR TO PLACING OF GROUND COVER MATERIAL.
- EXCAVATE PLANTING PIT TWICE AS WIDE AS ROOT BALL. PREPARE PLANT BACKFILL TO BE 1/3 ORGANIC MATERIAL AND 2/3 CLEAN TOPSOIL. STAKE ALL EVERGREEN TREES AND ALL DECIDUOUS TREES OVER 3" CALIPER WITH TREE GUY WIRES AND CANVAS STRAPS WITH GROMMETS. STAKE ALL DECIDUOUS TREES UNDER 3" CALIPER WITH T-BAR METHOD (TWO STAKES PER TREE). NO EXPOSED WIRES SHOULD COME INTO CONTACT WITH THE TRUNK FOR EITHER GUYING METHOD. TREE WRAP ALL DECIDUOUS TREES TO SECOND BRANCH.
- PLANTING BED EDGER TO BE RYERSON STEEL EDGER, 1/8" x 4" x 10', OR EQUAL, AS APPROVED BY THE OWNERS REPRESENTATIVE.
- ALL BEDS TO BE MULCHED WITH 1/2" DIA. RIVER ROCK MULCH FOR ALL PLANTING BEDS. CEDAR WOOD MULCH SHALL BE USED IN ALL PERENNIAL BED AREAS. SUBMIT SAMPLE TO OWNERS REPRESENTATIVE FOR APPROVAL. MULCH ALL ROCK PLANTING BEDS AND PERENNIAL WOOD MULCH AREAS AT A FOUR INCH DEPTH (ONE CUBIC YARD PER 80 SF AREA).
- PLACE GEOTEXTILE FABRIC (MINI #140-S OR EQUAL) UNDER ALL ROCK PLANTING BEDS EXCEPT IN AREAS DESIGNATED AS PERENNIAL/ORNAMENTAL GRASS BEDS/PLANTING AREAS.
- NO TREES, LARGE SHRUBS OR PERMANENT STRUCTURES ARE TO BE LOCATED IN OR ON ANY PUBLIC UTILITY EASEMENT. ANY TREE OR LARGE SHRUB DRIPLINE MUST BE LOCATED 10' FROM ANY UTILITY LINE.

SITE SOILS DESCRIPTION

THE SITE SOILS PROFILE/FERTILIZATION CAN BE GENERALIZED AS THE FOLLOWING:

NITROGEN: 3LB/1000 SF
PHOSPHOROUS: 4LB/1000 SF
POTASSIUM: NONE
ORGANIC MATTER: 3 CUY/1000 SF
E.C./SALTS: LOW
PH: 6.6

A SITE SOIL TEST WAS PERFORMED FOR THIS SITE BY COLORADO STATE UNIVERSITY. SOIL WATER AND PLANT TESTING LABORATORY ON 4/13/06. PLEASE REFER TO THE LANDSCAPE NOTES FOR SOIL AMENDMENT AND FERTILIZER APPLICATION RATES.



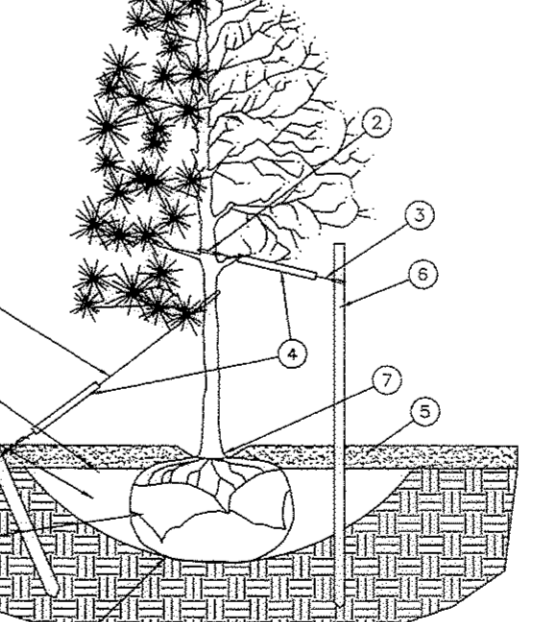
EASEMENT SCHEDULE

- EXISTING 33' DRAINAGE & PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
- EXISTING 30' DRAINAGE & PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
- EXISTING 25.5' PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
- EXISTING 20' PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975 (TYP. 2)
- EXISTING 8' AREA & AQUILA EASEMENT BY PLAT, RECEPTION NO. 2005018975
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- EXISTING 20' WIDE PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
- PROPOSED DRAINAGE AND PUBLIC UTILITY EASEMENT FOR RELOCATED INLET
- PROPOSED 10' x 9.5' PUBLIC UTILITY EASEMENT FOR IRRIGATION METER
- PROPOSED 20' PUBLIC UTILITY EASEMENT BY PLAT
- PROPOSED OFFSITE TEMPORARY DRAINAGE EASEMENT BY SEPARATE DOCUMENT

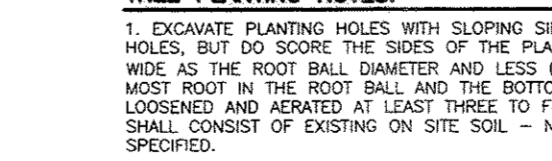
PERENNIAL PLANTING DETAIL



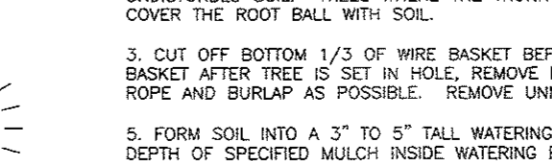
TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



ORNAMENTAL GRASS PLANTING DETAIL



TREE PLANTING NOTES:

- EXCAVATE PLANTING HOLES WITH SLOPING SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES. BUT DO SCORE THE SIDES OF THE PLANTING HOLES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND LESS (THREE TO FIVE INCHES) THAN THE DISTANCE FROM THE TOP MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. THE PLANTING AREA SHALL BE LOOSEND AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE SOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
- TREES SHALL BE PLANTED WITH THE TOP MOST ROOT IN THE ROOT BALL 3" TO 5" HIGHER THAN THE FINISHED LANDSCAPE GRADE. THIS INCLUDES TREES THAT ARE SET ON SLOPES. SET ROOT BALL ON UNDISTURBED SOIL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
- CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP AS POSSIBLE. REMOVE UNNECESSARY PACKING MATERIAL.
- FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. APPLY 3" TO 4" DEPTH OF SPECIFIED MULCH INSIDE WATERING RING.
- STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE NECESSARY TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OR LESS OF PLANTING DATE.
- TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST.

Project No: DC35
Sheet Scale: 1"=20'
Designed By: DWB
Drawn By: CWB
Date: APRIL 2008
Disk File: DC35_F.05-Land

FINAL PD SITE PLAN: FPD 06-005 Landscape Plan

5 of 9

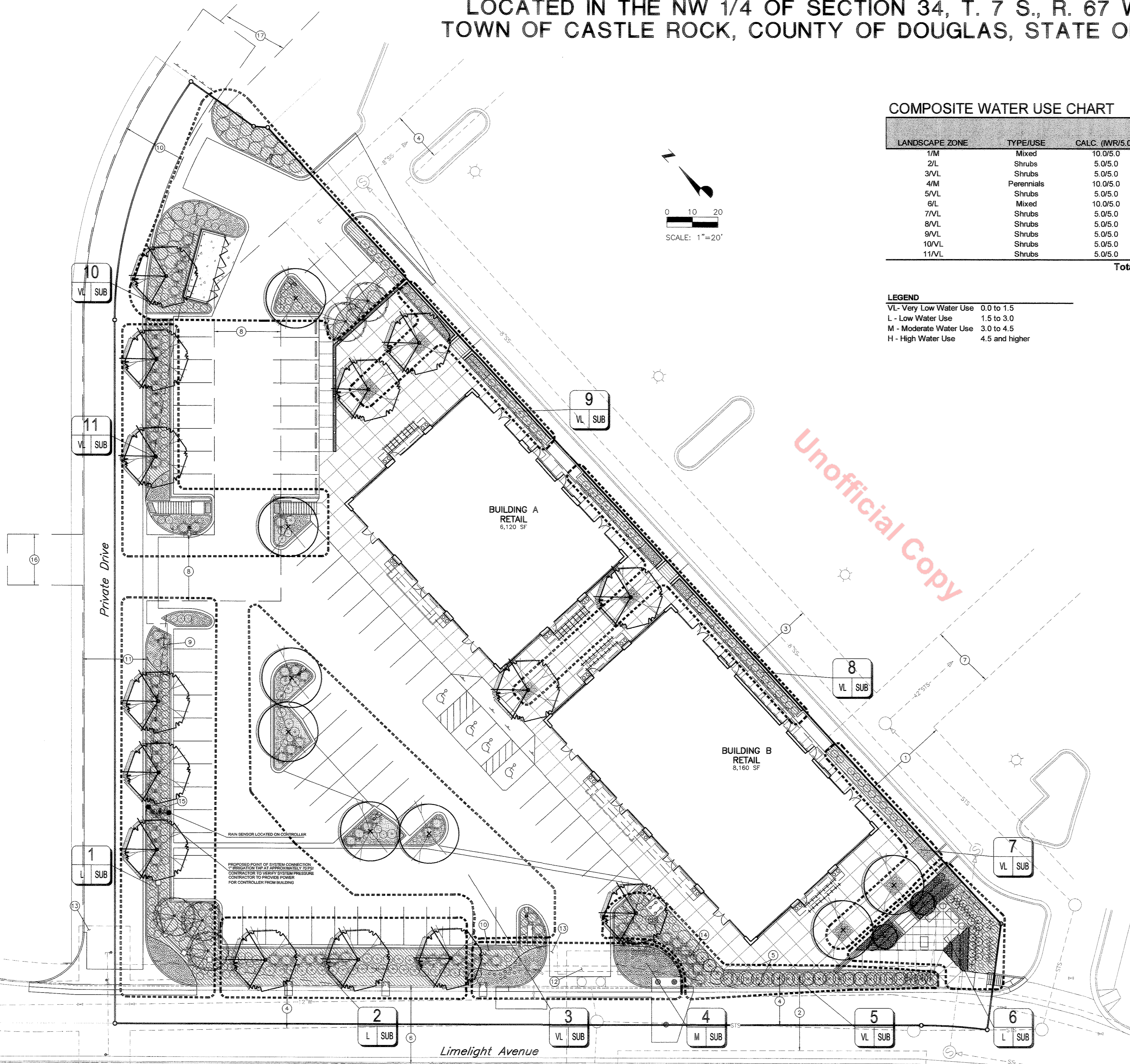
DCL RETAIL AT MEADOWS
LOT 6A, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1
LIMELIGHT AVENUE
CASTLE ROCK, COLORADO

Galloway, Romero & Associates
Design Engineering Planning
5350 DTC Parkway, Suite 80111
Denver, CO 80111
Tel: (303) 770-8884
Fax: (303) 770-3636

DCL Concepts, LLC
8174 South Holly Street, #500
Denver, CO 80231
Tel: (303) 489-0422
Fax: (303) 489-0423

FINAL PD SITE PLAN

LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 LOCATED IN THE NW 1/4 OF SECTION 34, T. 7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



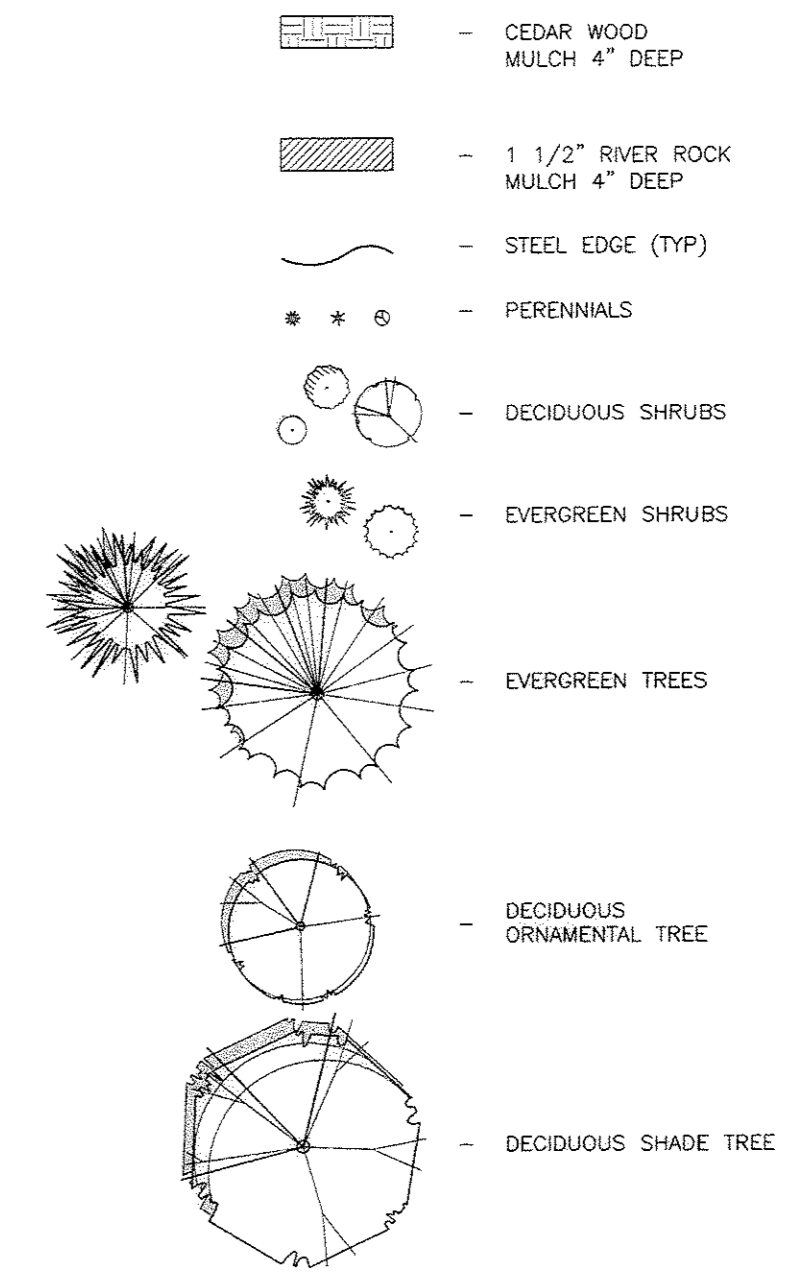
COMPOSITE WATER USE CHART

LANDSCAPE ZONE	TYPE/USE	CALC. (WR/5.0)	LWUR	AREA (S.F)	COMPOSITE WATER USE RATING
1/M	Mixed	10.0/5.0	2.0	1596.0	3192.0
2/L	Shrubs	5.0/5.0	1.0	1416.0	1416.0
3/VL	Shrubs	5.0/5.0	1.0	797.0	797.0
4/M	Perennials	10.0/5.0	2.0	523.0	1046.0
5/VL	Shrubs	5.0/5.0	1.0	1265.0	1265.0
6/L	Mixed	10.0/5.0	2.0	723.0	1446.0
7/VL	Shrubs	5.0/5.0	1.0	365.0	365.0
8/VL	Shrubs	5.0/5.0	1.0	548.0	548.0
9/VL	Shrubs	5.0/5.0	1.0	370.0	370.0
10/VL	Shrubs	5.0/5.0	1.0	1728.0	1728.0
11/VL	Shrubs	5.0/5.0	1.0	926	926.0
Total			1.3	10257.0	13099.0

LEGEND

- VL - Very Low Water Use 0.0 to 1.5
- L - Low Water Use 1.5 to 3.0
- M - Moderate Water Use 3.0 to 4.5
- H - High Water Use 4.5 and higher

LANDSCAPE LEGEND



SYSTEM NOTES:

SYSTEM DESCRIPTION: THE PLAN IS PREDOMINATELY LOW-VOLUME SUBSURFACE DRIP. THE LOW VOLUME AREAS ARE USED FOR DENSELY PLANTED AREAS FOR AREA "WETTING" OF THE SUBSOIL IN THE PLANTING AREAS. MICROSPRAYS/XERIPOPS ARE TO BE USED FOR LARGE PERENNIAL AREAS.

SYSTEM REQUIREMENTS: CONTRACTOR TO VERIFY STATIC AND WORKING PRESSURES AVAILABLE FOR THE IRRIGATION SYSTEM. PRESSURES SHALL BE A MINIMUM OF 30 PSI AND A MAXIMUM OF 60 PSI. SHOULD THE AVAILABLE PRESSURE FALL OUTSIDE THE ACCEPTABLE RANGE THE CONTRACTOR SHALL BE RESPONSIBLE FOR INCREASING OR REDUCING THE WORKING PRESSURES INTO THE ACCEPTABLE RANGE.

PRODUCT/MATERIALS INFORMATION: CONTRACTORS UNFAMILIAR WITH THE LOW VOLUME IRRIGATION SYSTEM INSTALLATION AND CONSTRUCTION METHODS ARE ENCOURAGED TO CONTACT:
ZANE W. PENLEY, RAIN BIRD CORPORATION
303 728-5532, E-mail: zpenley@rainbird.com

DESIGN NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN AN EVERY THIRD DAY, FIVE HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 11PM AND 4AM.
2. THE MAINLINE VELOCITIES SHALL NOT EXCEED 5-8 FEET PER SECOND.
3. THE LARGE PERENNIAL AREAS SHALL BE IRRIGATED WITH XERIPOPS/MICROSPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. HEADS WILL BE SPACED TO PROVIDE HEAD TO HEAD COVERAGE.
4. ALL PLANTING BEDS SHALL BE IRRIGATED WITH CONVENTIONAL DRIP IRRIGATION.
5. A RAIN SENSOR WILL BE INCLUDED IN THE SYSTEM.
6. THE IRRIGATION BACKFLOW ASSEMBLY SHALL BE APPROVED BY THE TOWN OF CASTLE ROCK AS SHOWN (PWR, SECTION II, CHAPTER 14.3.17.7; PWR, SECTION II, APPENDIX II-A - DETAIL W-4A; W-4B; AND WJ-4.
7. THE USE OF BACKFLOW PREVENTION TEST COCKS FOR AIR INSERTION IS NOT ALLOWED.

EASEMENT SCHEDULE

- 1 EXISTING 33' DRAINAGE & PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
- 2 EXISTING 30' DRAINAGE & PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
- 3 EXISTING 25.5' PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
- 4 EXISTING 20' PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975 (TYP. 2)
- 5 EXISTING 8' IREA & AQUILA EASEMENT BY PLAT, RECEPTION NO. 2005018975
- 6 EXISTING 31' PUBLIC ACCESS EASEMENT BY PLAT, RECEPTION NO. 2005018975
- 7 EXISTING 25' DRAINAGE EASEMENT BY PLAT, RECEPTION NO. 2005018975
- 8 PROPOSED 26' PUBLIC UTILITY EASEMENT BY PLAT
- 9 PROPOSED 8' X 20' PUBLIC UTILITY EASEMENT BY PLAT
- 10 PROPOSED 10' X 10' PUBLIC UTILITY EASEMENT BY PLAT FOR RELOCATED FIRE HYDRANT
- 11 PROPOSED 25' PUBLIC ACCESS AND UTILITY EASEMENT BY PLAT
- 12 EXISTING 20' WIDE DRAINAGE AND PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
- 13 EXISTING 20' WIDE PUBLIC UTILITY EASEMENT BY PLAT, RECEPTION NO. 2005018975
- 14 PROPOSED DRAINAGE AND PUBLIC UTILITY EASEMENT FOR RELOCATED INLET
- 15 PROPOSED 10' X 9.5' PUBLIC UTILITY EASEMENT FOR IRRIGATION METER
- 16 PROPOSED 20' PUBLIC UTILITY EASEMENT BY PLAT
- 17 PROPOSED OFFSITE TEMPORARY DRAINAGE EASEMENT BY SEPARATE DOCUMENT

**CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987**

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

Galloway, Romero & Associates
Design Engineering Planning
5360 DTC Parkway
Greenwood Village, CO 80111
Tel. (303) 770-8864
Fax. (303) 770-3636

DCL Concepts, LLC
8174 South Holly Street, #605
Centennial, CO 80122-4004
Tel. (720) 489-0424
Fax. (720) 489-0423

**DCL RETAIL
AT MEADOWS
LOT 6A, THE MEADOWS FILING NO. 17,
AREA NO. 4, AMENDMENT NO. 1**

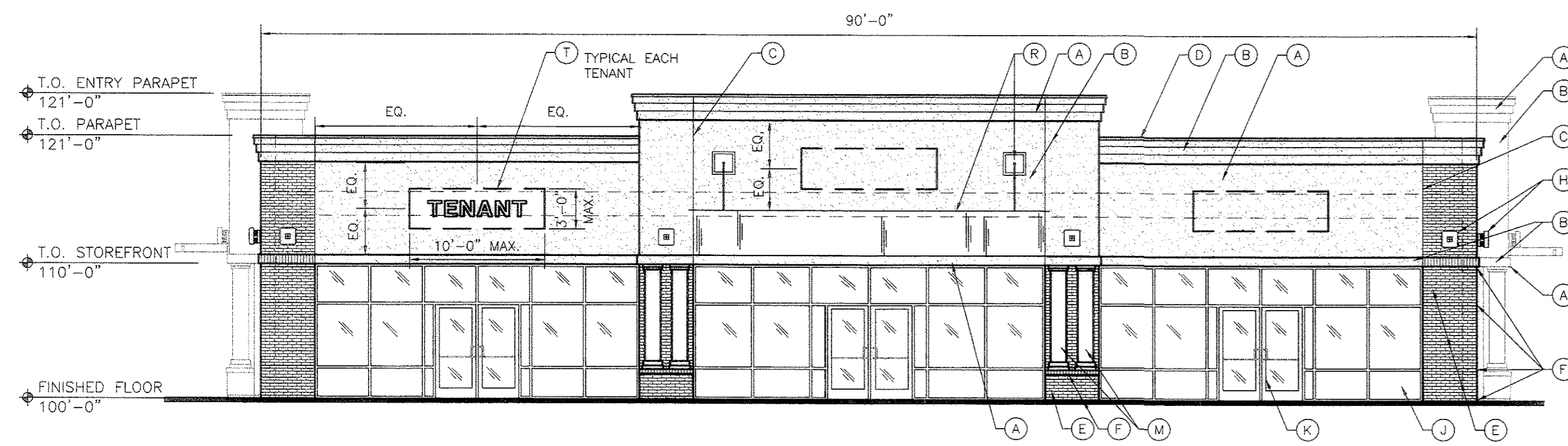
LIMELIGHT AVENUE
CASTLE ROCK, COLORADO

Project No: DC35
Sheet Scale: 1"=20'
Designed By: TK
Drawn By: TK
Date: APRIL, 2006
Disk File: DC35.F_06-irra

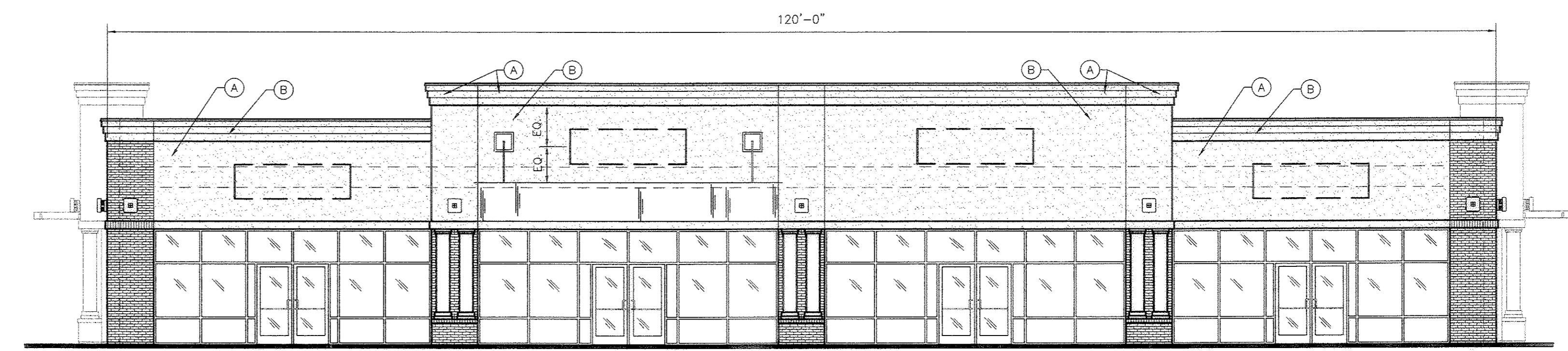
**FINAL PD
SITE PLAN:
FPD 06-005
Conceptual
Irrigation Plan**

FINAL PD SITE PLAN

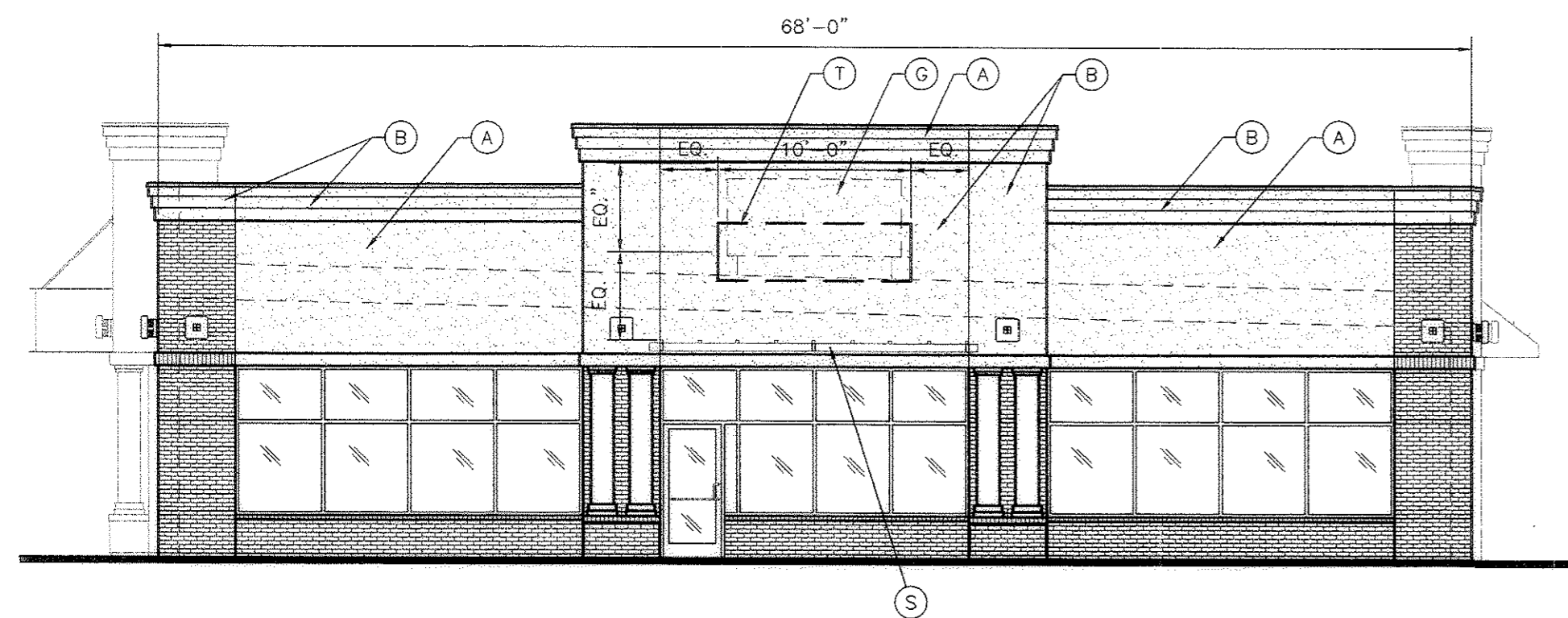
LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 LOCATED IN THE NW 1/4 OF SECTION 34, T. 7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1 WEST ELEVATION BUILDING A
SCALE: 1/8"=1'-0"



2 WEST ELEVATION BUILDING B
SCALE: 1/8"=1'-0"

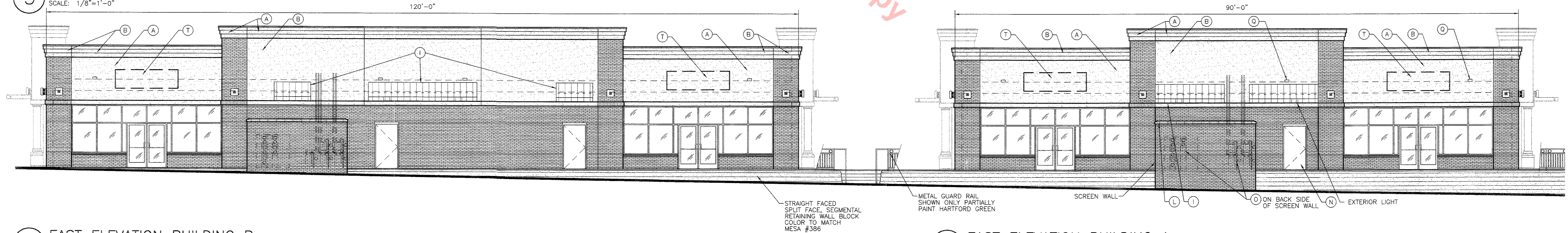


3 END ELEVATION BUILDING A & B
SCALE: 1/8"=1'-0"

MATERIAL LEGEND:

(A) STUCCO (2 COAT SYSTEM) BY EL REY, COLOR: TO MATCH ELRAY 'RIO BRAVO'	(K) ENTRANCES AND STOREFRONT BY ARCADIA, INC., COLOR: DARK BRONZE WITH CLEAR INSULATED GLAZING UNITS AT STOREFRONT AND DOORS.
(B) STUCCO (2 COAT SYSTEM) BY EL REY, COLOR: TO MATCH PYREX 'CHAMOIS'	(L) PRECAST CONCRETE CAP, COLOR: TO MATCH DARK GRAY MORTAR COLOR
(C) STUCCO CONTROL JOINT	(M) MANUFACTURED 14"Ø COLUMNS PAINT TO MATCH STUCCO (B)
(D) PREFINISHED METAL CAP FLASHING BY BERRIDGE MANUF. COMPANY, COLOR: 'DARK BRONZE'	(N) EXTERIOR METAL DOORS, COLOR: PAINT TO MATCH STUCCO (A)
(E) BRICK VENEER BY ROBINSON BRICK COMPANY, COLOR: 'CHESTNUT' WITH RED MORTAR TO MATCH 'CHESTNUT' BRICK.	(O) UTILITY SERVICE GEAR, COLOR: PAINT TO MATCH FIELD STUCCO
(F) BRICK VENEER ACCENT BY SUMMIT BRICK 'ANDIRON' WITH RED MORTAR TO MATCH 'CHESTNUT' BRICK.	(P) SOLID STEEL GATES & COLUMNS, COLOR: PAINT TO MATCH BRICK VENEER
(G) HVAC UNIT AND ROOFLINE BEHIND PARAPET WALL	(Q) 4"x8" METAL ROOF OVERFLOW SCUPPER THROUGH WALL
(H) EXTERIOR LIGHT FIXTURE, ESCENE BY ARCHITECTURAL AREA LIGHTING, COLOR: DARK BRONZE	(R) FABRICATED STEEL MARQUEE WITH SUPPORT RODS AND MOUNTING PLATES. PAINT ALL TO MATCH BERRIDGE MANUF. 'HARTFORD GREEN'
(I) STANDING SEAM METAL AWNING BY BERRIDGE MANUF. COMPANY AND STEEL RODS, COLOR: 'HARTFORD GREEN'	(S) FABRICATED STEEL LATTICE AND FRAME. PAINT ALL TO MATCH BERRIDGE MANUFACTURE 'HARTFORD GREEN'
(J) SOLID ARCHITECTURAL PANELS, COLOR: TO MATCH STOREFRONT FRAME COLOR	(T) SURFACE MOUNTED TENANT SIGNAGE, SEE REQUIREMENTS BELOW.

NOTE: SEE SHEET 9 FOR AWNING, MARQUEE AND LATTICE DETAILS



5 EAST ELEVATION BUILDING A
SCALE: 1/8"=1'-0"

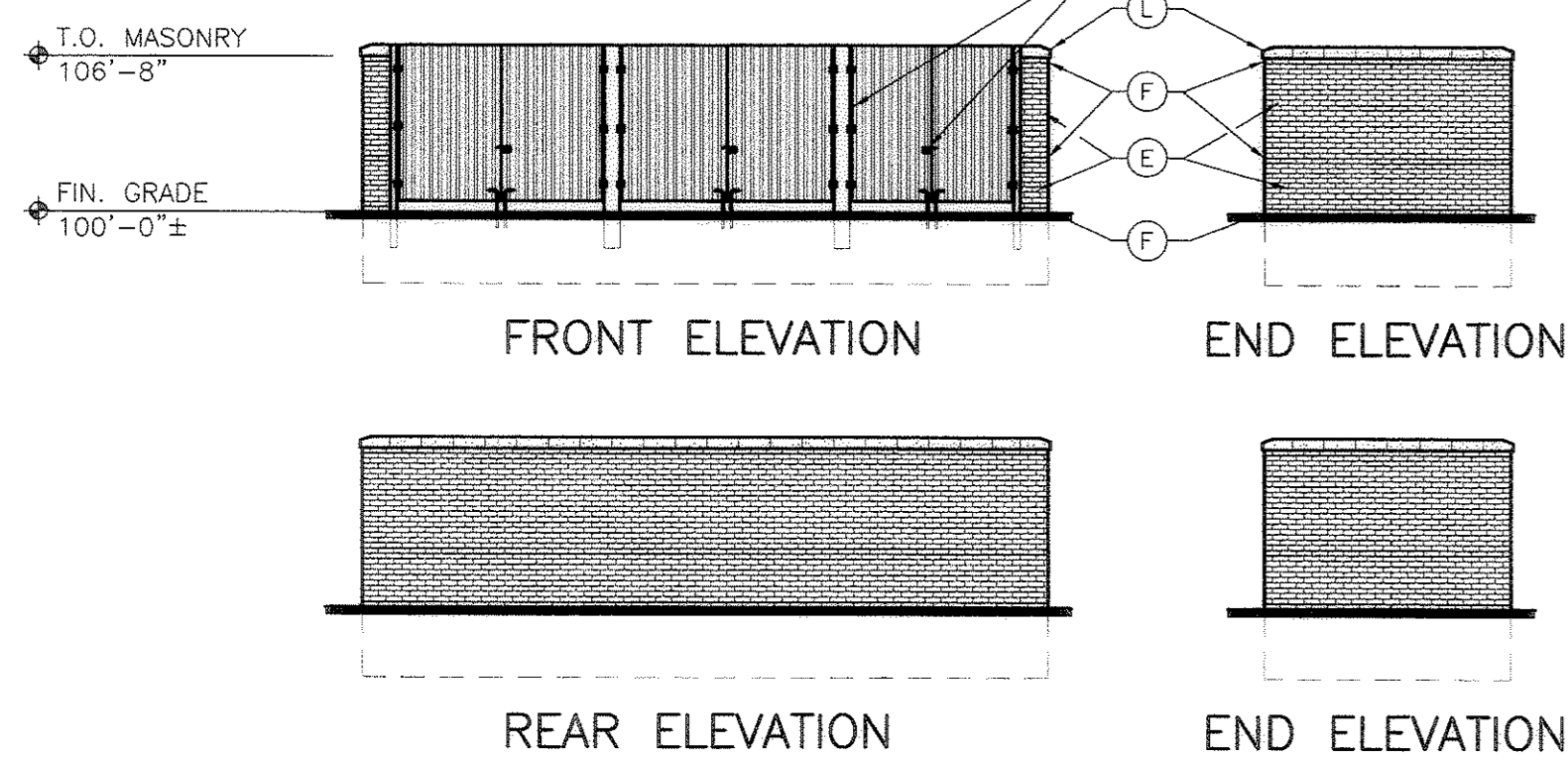
4 EAST ELEVATION BUILDING B
SCALE: 1/8"=1'-0"

SIGN TYPE AND AREA INFORMATION

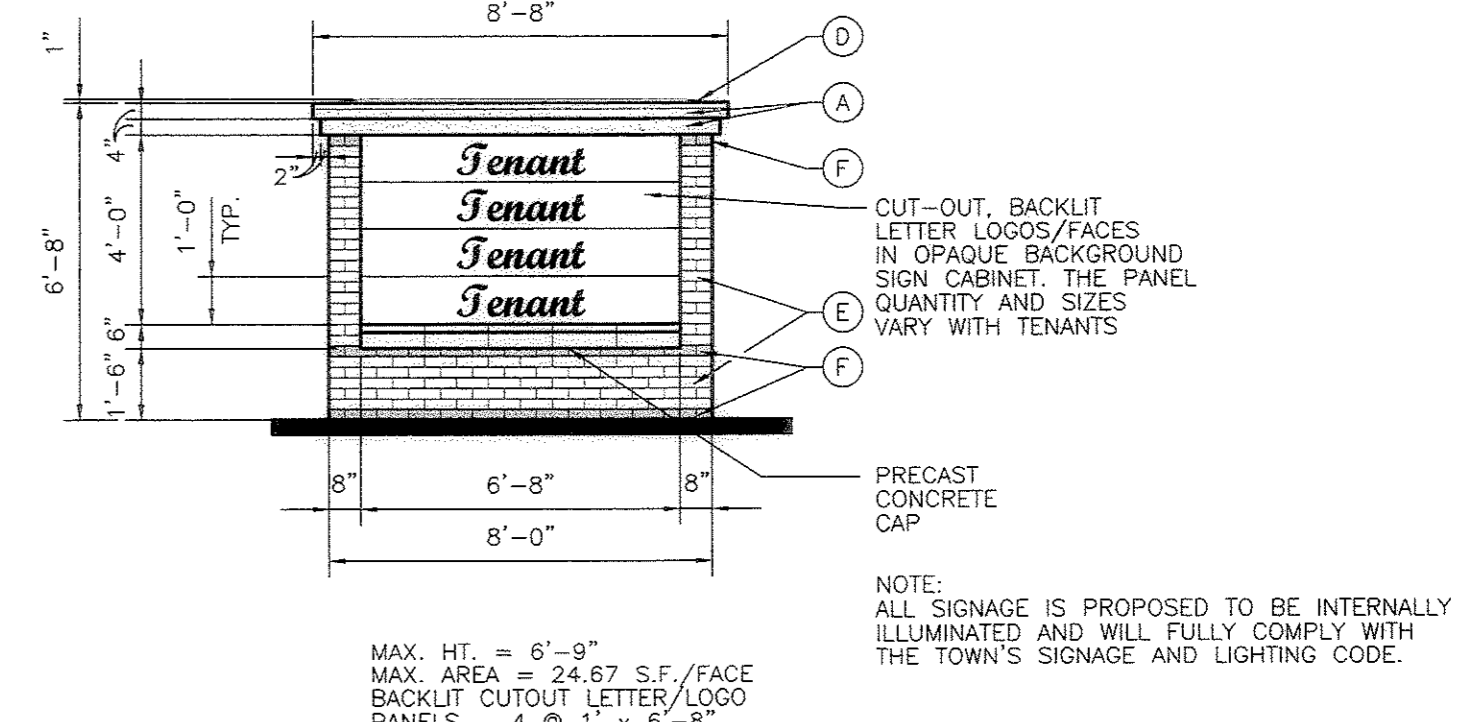
WALL TYPE	NUMBER	MAX. AREA ALLOWED	AREA PROPOSED
WALL SIGNS: BLDG 'A' BLDG 'B'	VARIES WITH EACH TENANT LEASE	2.5 SQUARE FEET PER LINEAL FOOT OF TENANT FRONTAGE WITH STOREFRONT AND/OR PUBLIC ENTRANCE	VARIES WITH EACH TENANT LEASE
FREE STANDING: JOINT I.D.	1	50 S.F./EA. FACE	26.64x2 = 53.28 S.F.

TENANT WALL SIGNAGE REQUIREMENTS

- ALL TENANT WALL SIGNS REQUIRE WRITTEN APPROVAL BY THE CASTLE ROCK DEVELOPMENT COMPANY ARCHITECTURAL CONTROL COMMITTEE PRIOR TO SIGN PERMIT APPLICATION TO THE TOWN OF CASTLE ROCK.
- ALL SIGNS REQUIRE PERMIT APPROVAL BY THE TOWN OF CASTLE ROCK PRIOR TO INSTALLATION.
- ALL SIGNAGE IS PROPOSED TO BE INTERNALLY ILLUMINATED AND WILL FULLY COMPLY WITH THE TOWN'S SIGNAGE AND LIGHTING CODE.
- TENANT SIGN ALLOWANCE FOR RETAIL BUILDING 'A' AND RETAIL BUILDING 'B':
 - A. MAXIMUM SIGN ALLOWED: EACH TENANT IS PERMITTED 2.5 S.F. OF SIGNAGE PER LINEAL FOOT OF TENANT FRONTAGE WHICH CONTAINS STOREFRONT AND/OR PUBLIC ENTRANCE.
 - B. SIGNS MUST COMPLY WITH THE MEADOWS SIGNAGE CRITERIA (ORDINANCE NO. 203-18) AND THE TOWN OF CASTLE ROCK SIGN CODE, SECTION 19.04.
 - C. EXPOSED RACEWAYS AND WIRING ARE NOT PERMITTED ON BUILDING EXTERIOR.



6 TRASH ENCLOSURE ELEVATIONS
SCALE: 1/8"=1'-0"

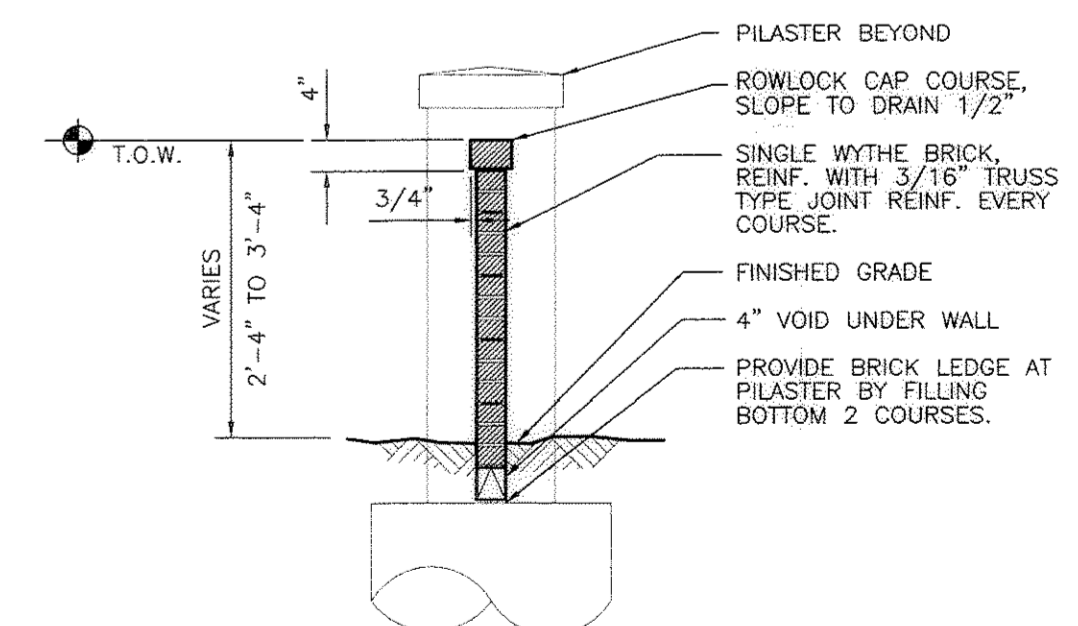
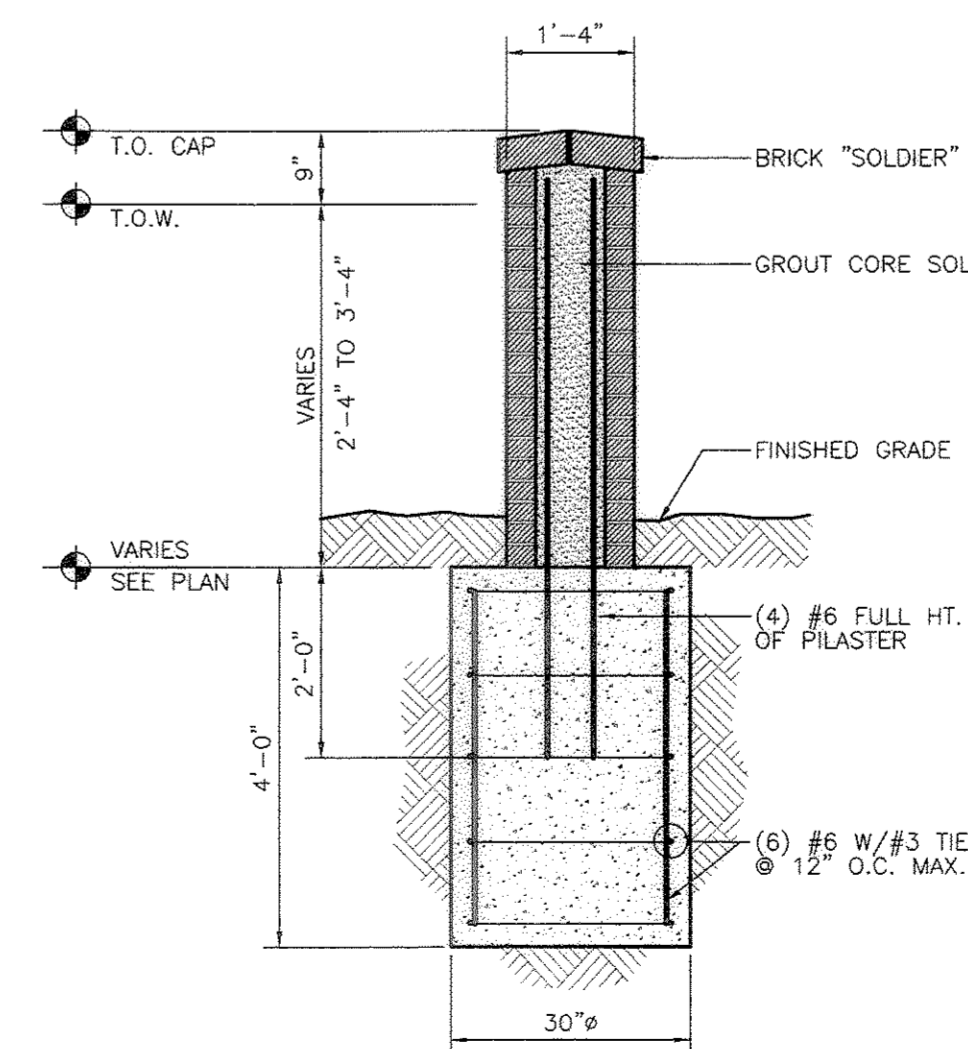
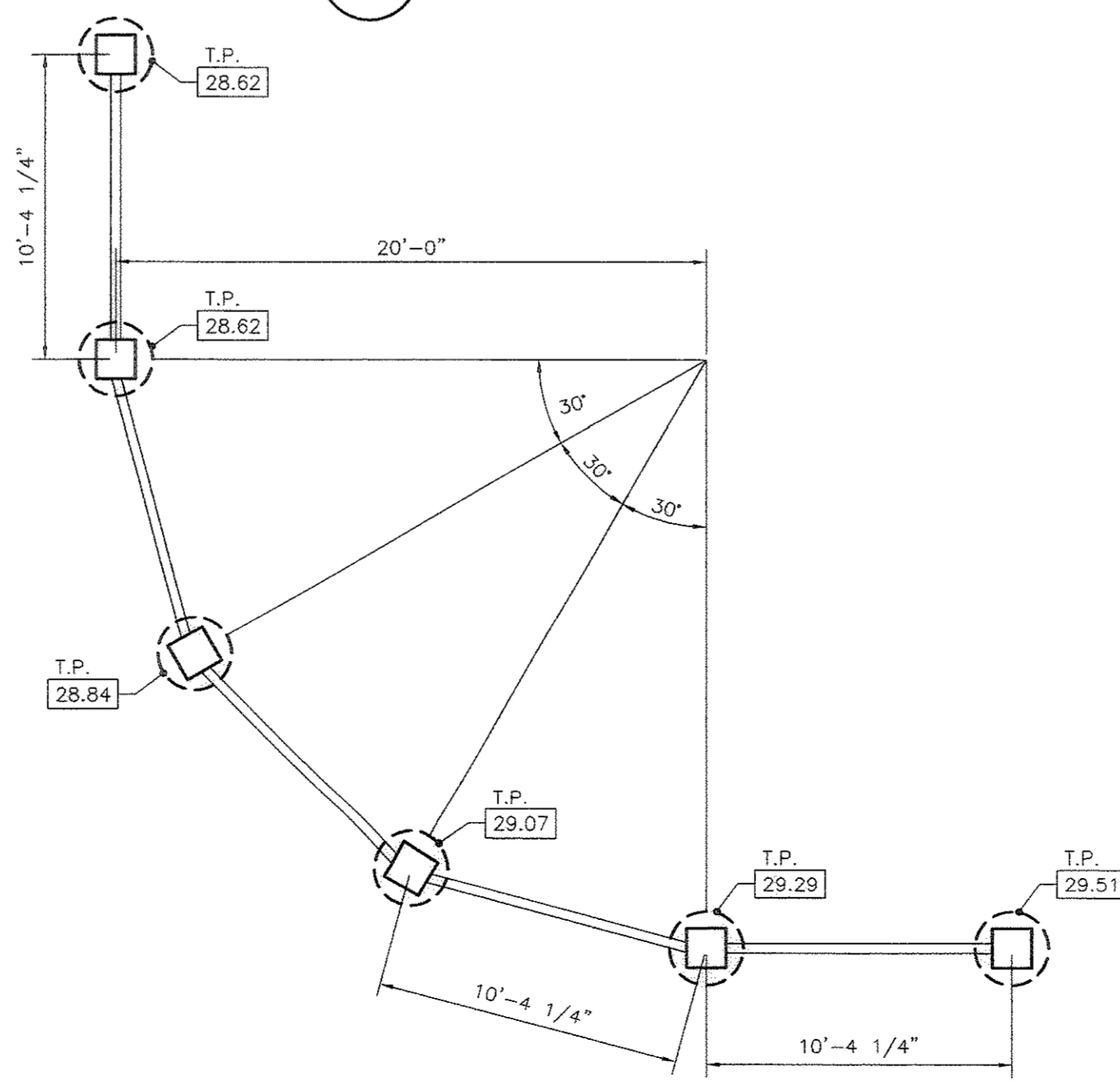
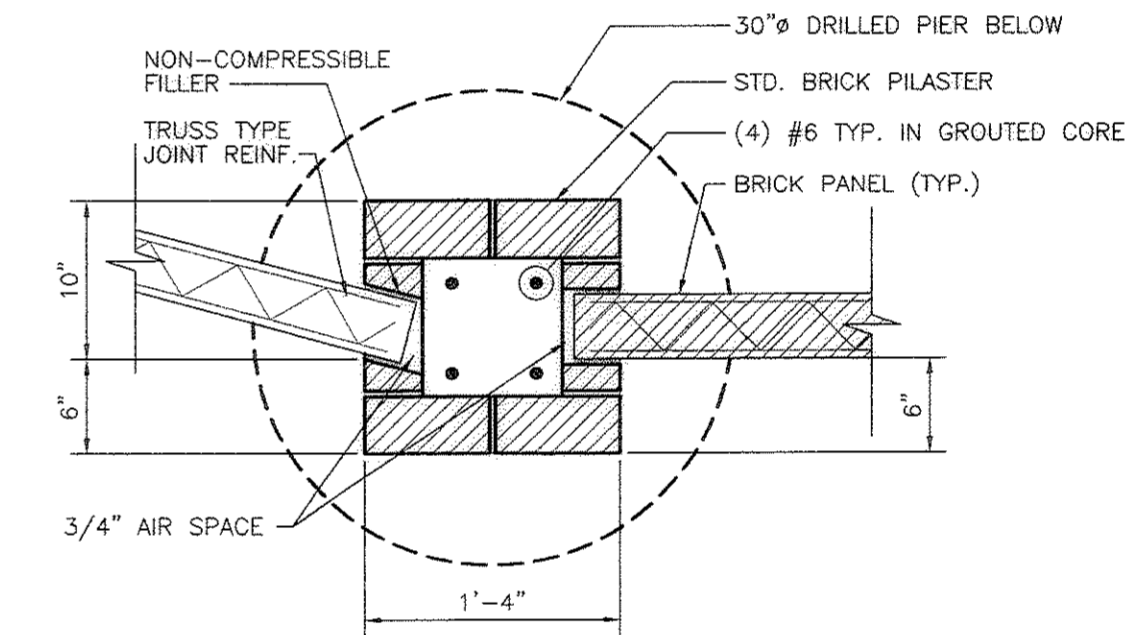
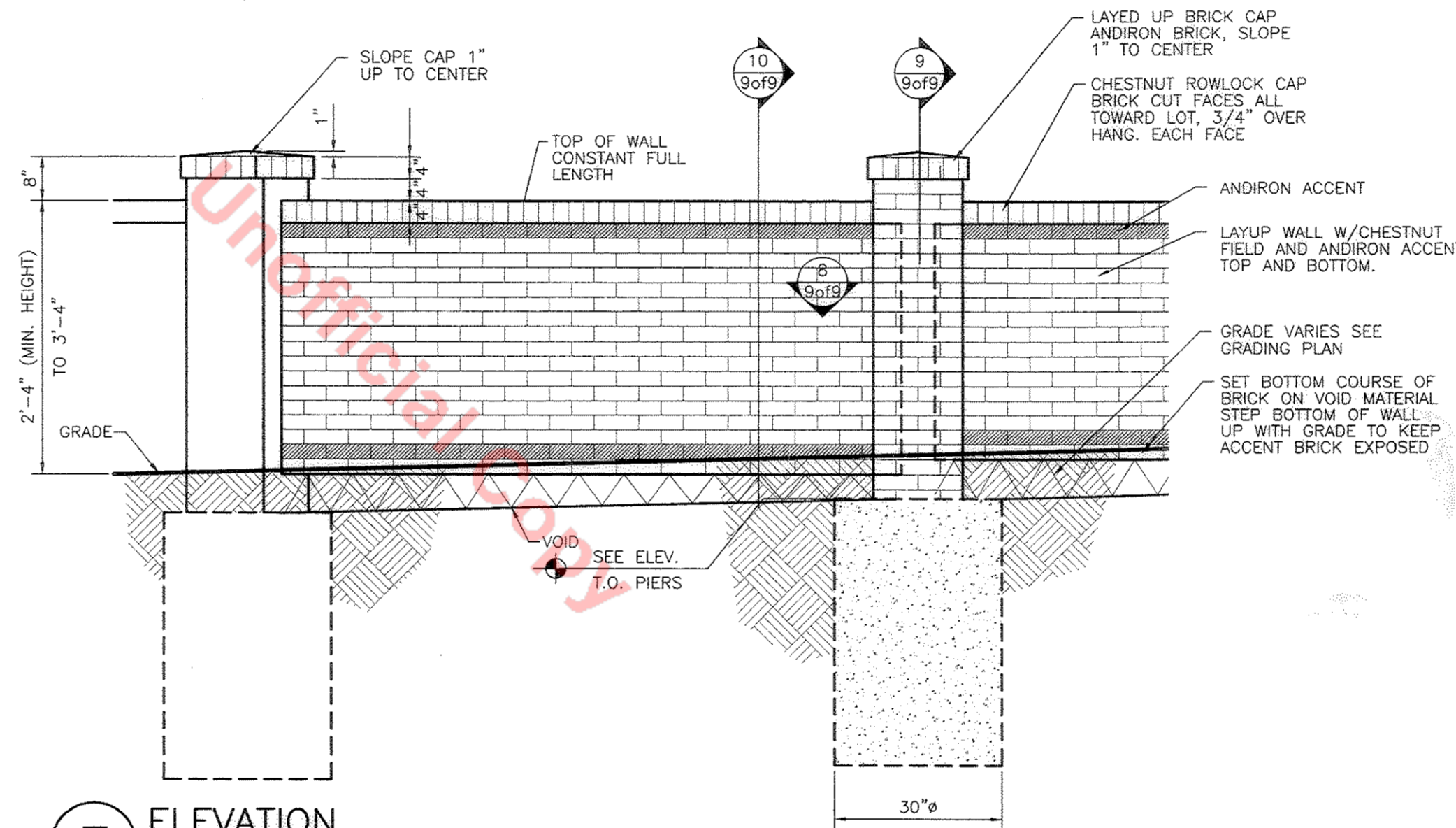
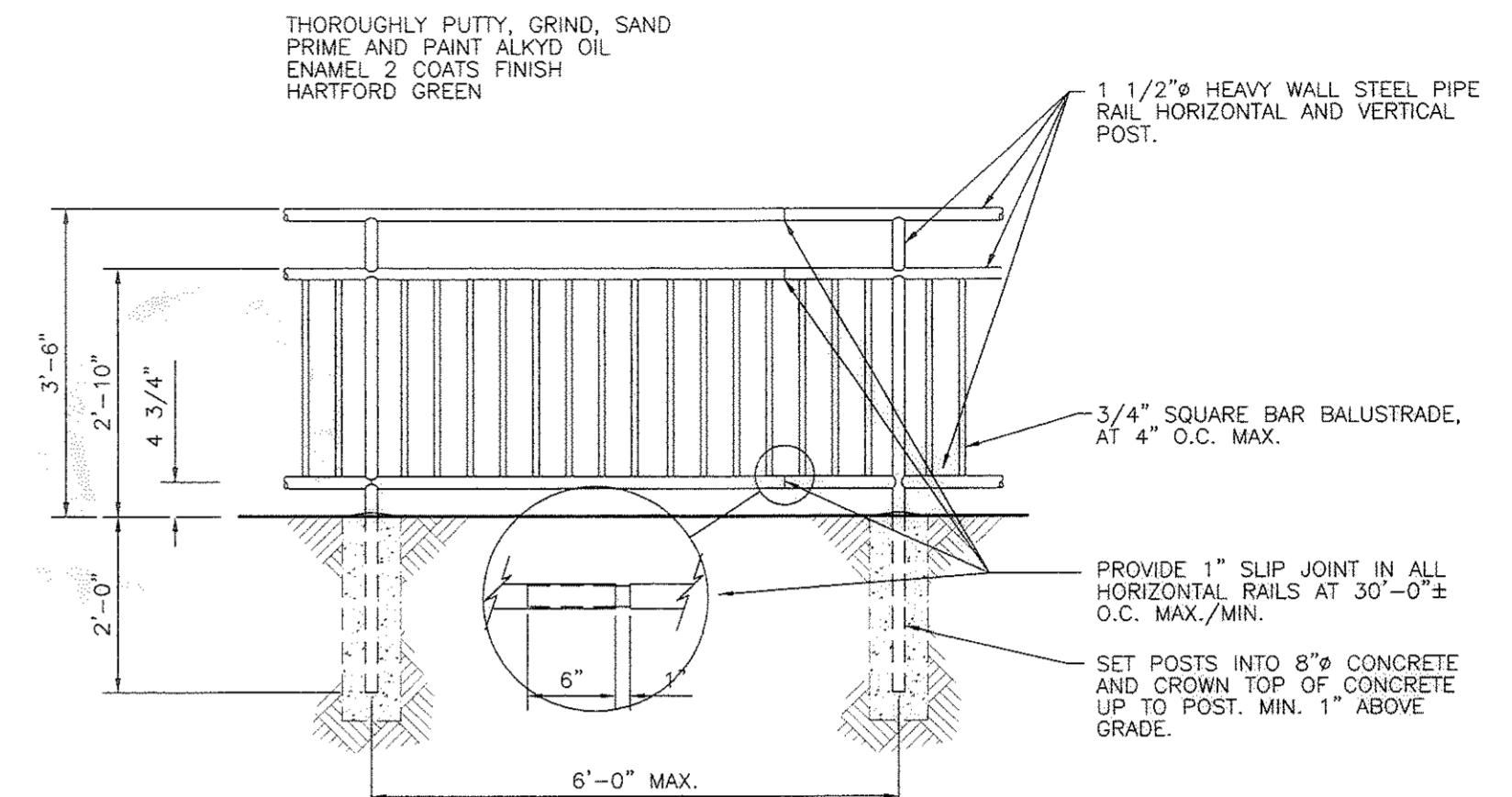
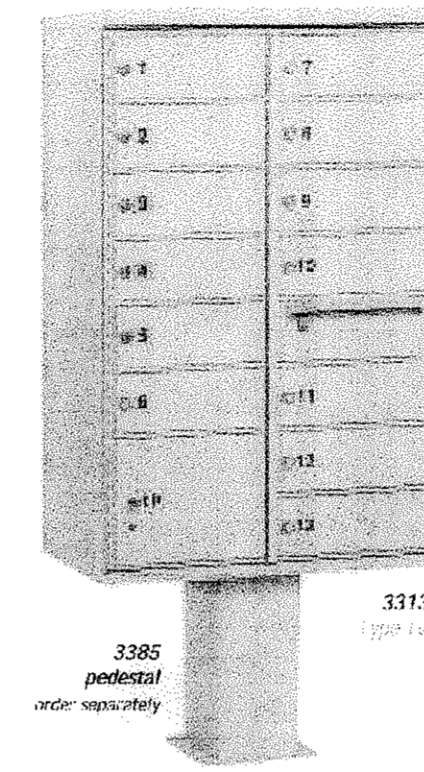
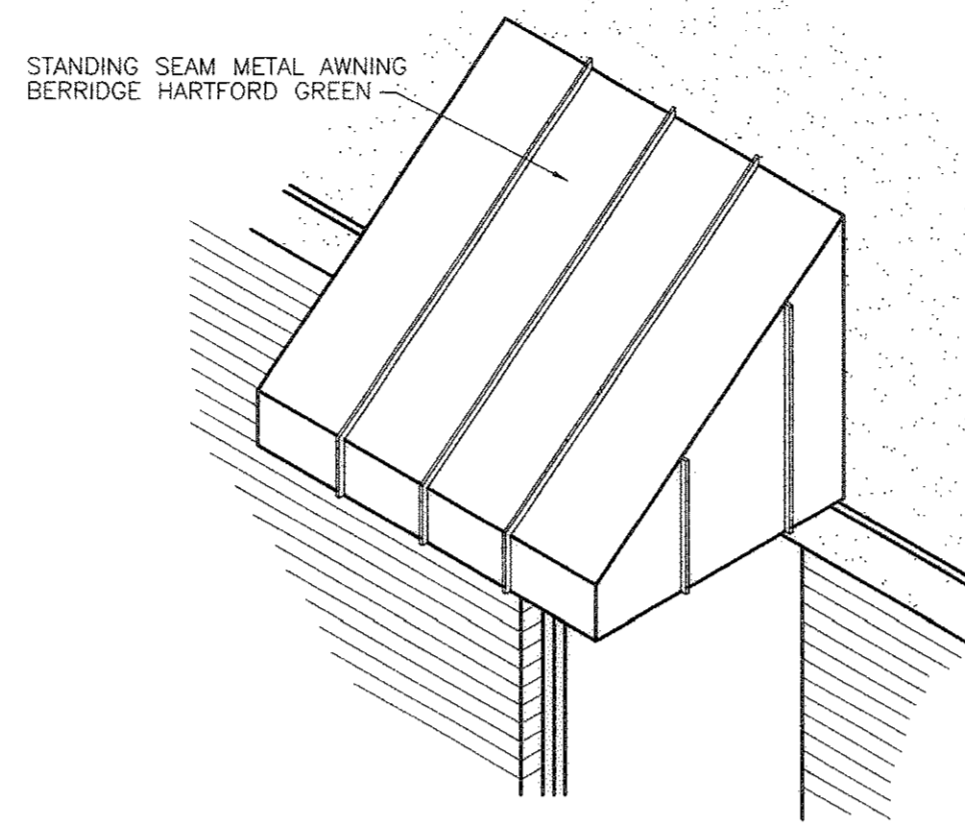
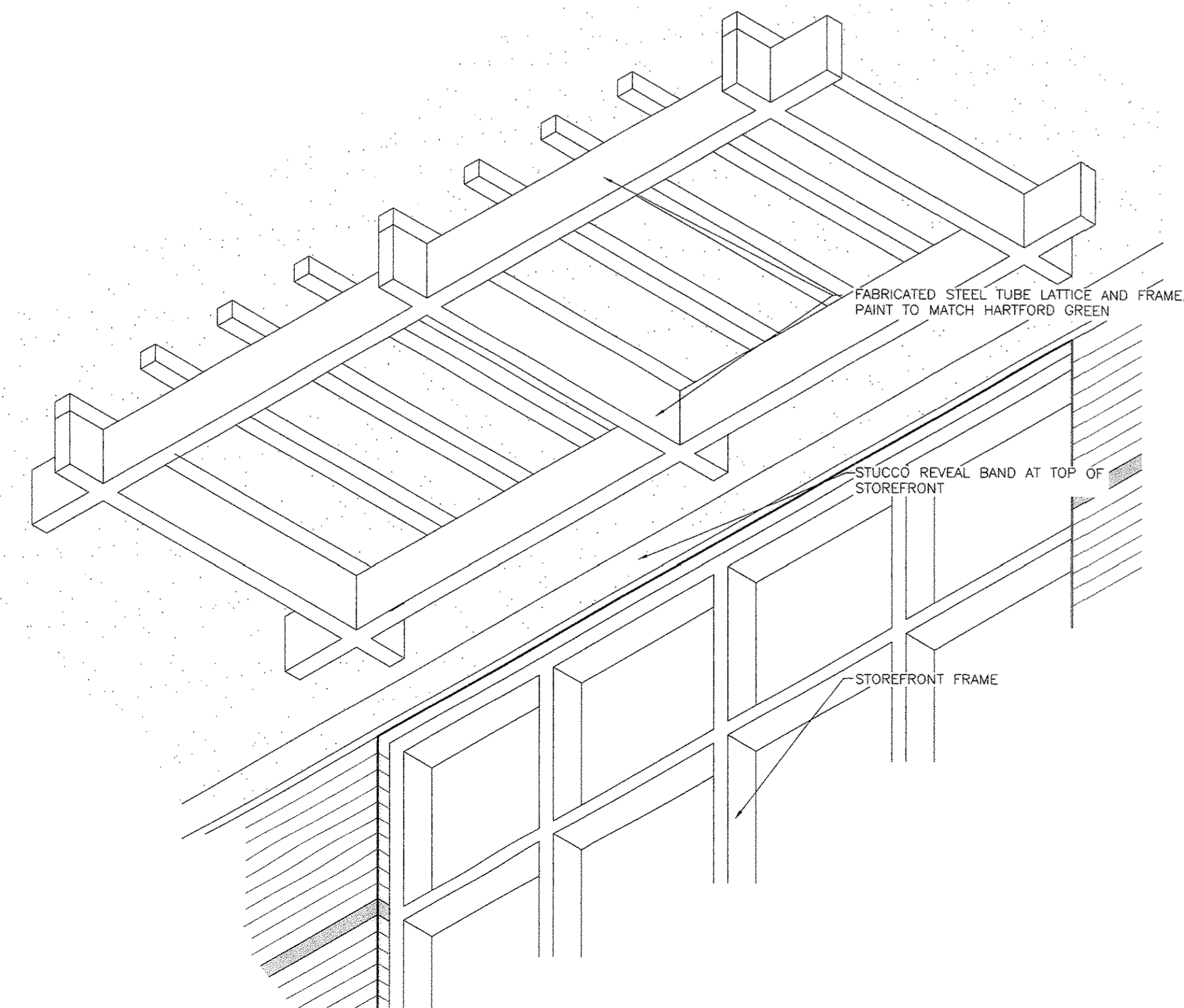
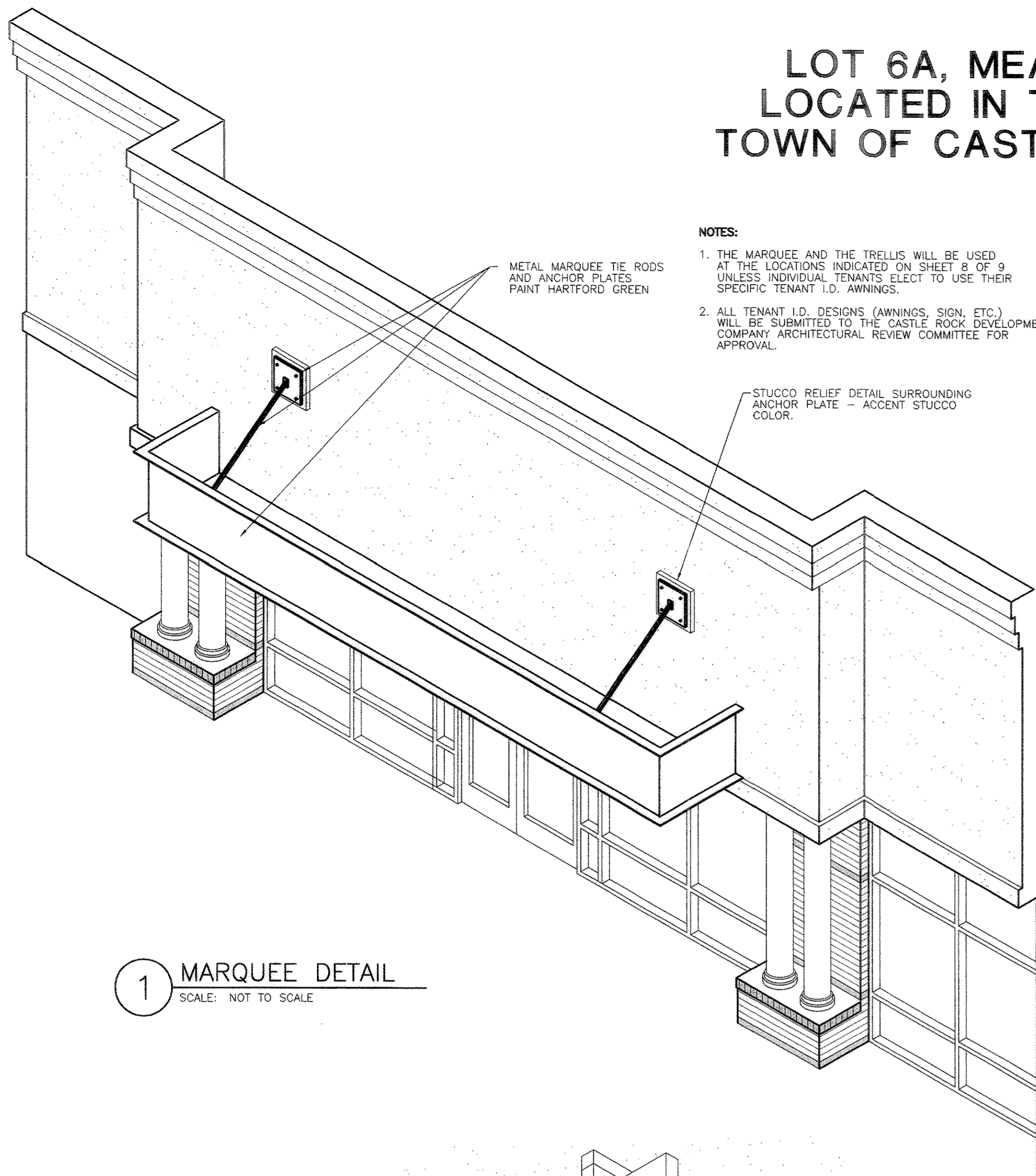


7 JOINT I.D. MONUMENT SIGN
SCALE: 1/4"=1'-0"

	DES. BY	DRAWN BY	DATE
	REVISION		
No.			
Galloway, Romero & Associates Design Engineering Planning 5350 DTC Parkway, CO 80111 Tel. (303) 770-8864 Fax. (303) 770-3636			
DCL Concepts, LLC 8174 South Holly Street, #605 Castle Rock, CO 80107-4064 Tel. (720) 489-0424 Fax. (720) 489-0423			
DCL RETAIL AT MEADOWS LOT 6A, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 LIMELIGHT AVENUE CASTLE ROCK, COLORADO			
Project No:	DC35		
Sheet Scale:	FULL		
Designed By:	JCS		
Drawn By:	TMR		
Date:	AUGUST 2006		
Disk File:	DC35_F_08-ELEV		
FINAL PD SITE PLAN: FPD 06-005 Building Elevations			
8 of 9			

FINAL PD SITE PLAN

LOT 6A, MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1 LOCATED IN THE NW 1/4 OF SECTION 34, T. 7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



NO.	REVISION	DATE

Galloway, Romero & Associates
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5350 DTC Parkway CO 80111
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8174 South Holly Street, #505
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Fax. (720) 489-0423

DCL RETAIL AT MEADOWS
LOT 6A, THE MEADOWS FILING NO. 17, AREA NO. 4, AMENDMENT NO. 1
LIMELIGHT AVENUE
CASTLE ROCK, COLORADO

Project No: DC35
Sheet Scale: FULL
Designed By: JCS
Drawn By: TMR
Date: AUGUST 2008
Disk File: DC35_F_09-BLDG DTL5

FINAL PD SITE PLAN: FPD 06-005
Architectural Details