

FINAL PD SITE PLAN – AMENDMENT #2 MEADOWS SUBDIVISION – FILING NO. 15

A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF SECTION 5,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

OWNER

MEADOWS NEIGHBORHOOD COMPANY
THE GRANGE
3692 MEADOWS BLVD.
CASTLE ROCK, CO 80109
CONTACT: MR. R. C. HANISCH

GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRALIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
2. PURSUANT TO TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE A GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THERE IS NO KNOWN 100 YEAR FLOOD PLAIN.

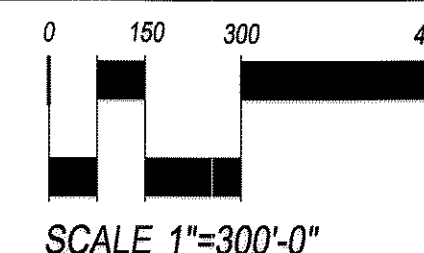
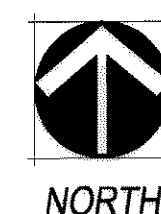
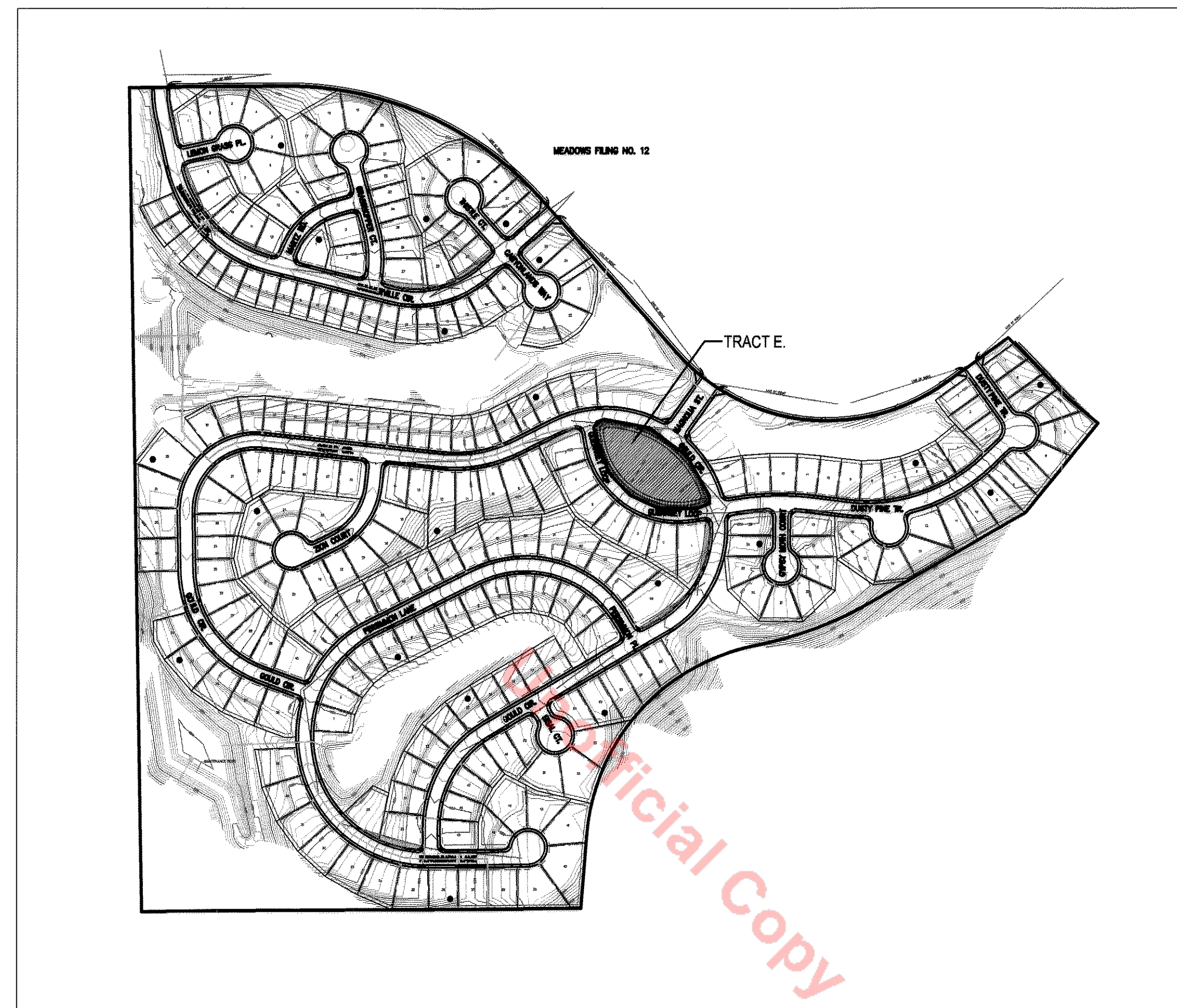
PURPOSE

THIS AMENDMENT ADD LANDSCAPE AND IRRIGATION IMPROVEMENTS TO TRACT E OF FILING 15.

LEGAL DESCRIPTION

TRACT E, THE MEADOWS FILING NO. 15, COUNTY OF DOUGLAS, STATE OF COLORADO

VICINITY MAP



SHEET INDEX

SHEET 1 OF 4 COVER SHEET
SHEET 2 OF 4 LANDSCAPE NOTES
SHEET 3 OF 4 LANDSCAPE PLAN
SHEET 4 OF 4 IRRIGATION PLAN

OWNER CERTIFICATION

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS
IN THE TOWN OF CASTLE ROCK KNOWN AS TRACT E, THE MEADOWS FILING NO. 15

THE MEADOWS NEIGHBORHOOD COMPANY

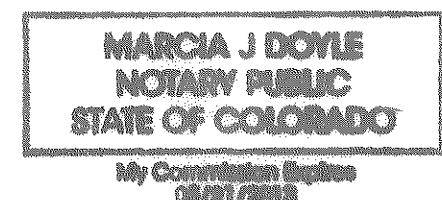
BY Robert C. Harned Jr. - Vice President MNC

SIGNED THIS 9th DAY OF MAY, 2011

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 9 DAY OF May, 2011

Marcia J. Doyle
WITNESS MY HAND AND OFFICIAL SEAL



NOTARY PUBLIC

MY COMMISSION EXPIRES 5/21/2013

TOWN CERTIFICATION

THIS FINAL PD SITE PLAN AMENDMENT WAS APPROVED BY THE
TOWN OF CASTLE ROCK, COLORADO
ON THE 17th DAY OF JUNE, 2011

[Signature]
DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PD SITE AMENDMENT WAS FILED FOR RECORD IN THE OFFICE FOR THE
COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 1:54 PM,
ON THE 17th DAY OF JUNE, 2011

AT RECEPTION NO. 2011036911

Tulayna Pae - Deputy Clerk
DOUGLAS COUNTY CLERK AND RECORDER



TITLE CERTIFICATION

I, Brenda Beecher, AN AUTHORIZED REPRESENTATIVE OF
Land Title Guaranty Company, A TITLE INSURANCE COMPANY LICENSED TO DO
BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS
AND STATE THAT ALLSOWS OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE
LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

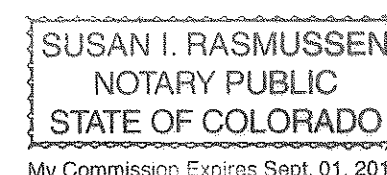
[Signature]
(AUTHORIZED REPRESENTATIVE)

STATE OF COLORADO
COUNTY OF Douglas

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF
May, 2011, BY Brenda Beecher, AS AUTHORIZED
REPRESENTATIVE OF Land Title Guaranty Company

WITNESS MY HAND AND OFFICIAL SEAL.
MY COMMISSION EXPIRES: 09-01-2011

Susan I. Rasmussen
NOTARY PUBLIC



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FINAL PD SITE PLAN
AMENDMENT #2
03/22/11
COVER SHEET
SHEET 1 OF 4

FINAL PD SITE PLAN – AMENDMENT #2
MEADOWS SUBDIVISION – FILING NO. 15

A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF SECTION 5,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL NOTES

- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTED BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.

- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE, CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 3 cu.yrds/1,000sf OF ORGANIC SOIL TILLED TO A DEPTH OF 6" OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
- TREES AND PERMANENT STRUCTURES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, DRAINAGE EASEMENTS OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- SHRUB, GROUND COVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" X 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3' OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 4" DEPTH, SHREDDED CEDAR OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH OF DOUBLE SHREDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUND COVER OR PERENNIAL AREAS.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.
- THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE TOWN OF CASTLE ROCK AND DOUGLAS COUNTY'S SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE (SPECIFICATIONS AND DETAILS PROVIDED WITH THE PLANS VERSUS THE TOWN OF CASTLE ROCK AND DOUGLAS COUNTY'S SPECIFICATIONS AND DETAILS).
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.
- MAINTAIN A MINIMUM OF 3' CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, OR OTHER FIRE SERVICE EQUIPMENT. NO TREES OR SHRUBS WILL BE ALLOWED WITHIN THESE AREAS.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL SITE INSPECTIONS WITH THE TOWN OF CASTLE ROCK AND OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ALSO OBTAIN ALL PERMITS NECESSARY TO COMPLETE THE WORK.
- THE LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACTOR PROFESSIONAL.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES, AND BERMS SHALL BE PLACED IN A SIGHT DISTANCE EASEMENT.
- PLANT SPECIES AND LOCATION SHOULD FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY DICTATE CHANGES TO THE PLAN, THEN THE CONTRACTOR MUST GET APPROVAL FROM THE TOWN AND THE OWNER'S REPRESENTATIVE PRIOR TO IMPLEMENTATION.
- CONTRACTOR SHALL BE FAMILIAR WITH AND FOLLOW ALL BEST MANAGEMENT PRACTICES PER THE TOWN OF CASTLE ROCK CODE.
- REFER TO THE SIGNAGE PACKAGE SUBMITTED CONCURRENTLY FOR SIGNAGE/MONUMENTATION LOCATIONS AND ELEVATIONS.

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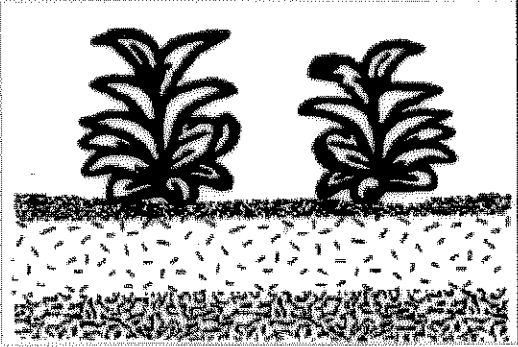
NORRIS DESIGN
Planning | Landscape Architecture

FINAL PD SITE PLAN – AMENDMENT #2
MEADOWS SUBDIVISION – FILING NO. 15

A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF SECTION 5,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE PLAN

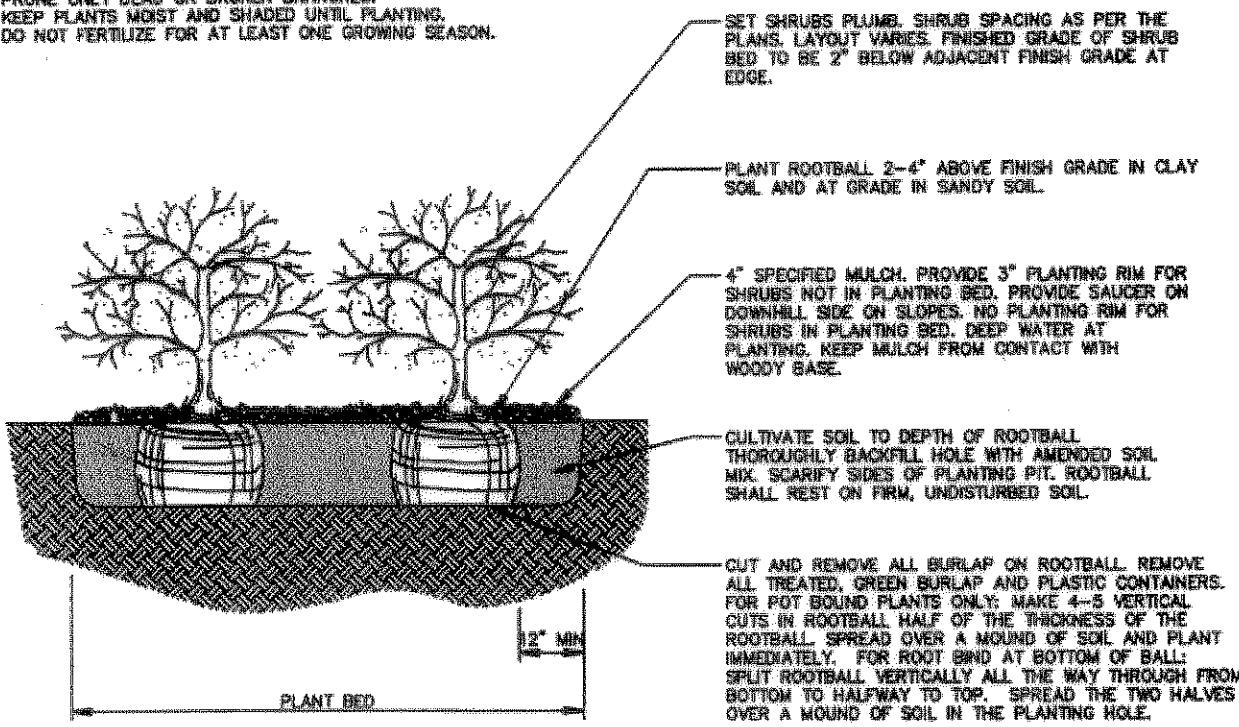
- Shredded, aged mulch 3" deep for perennials, for ground covers.
- Undisturbed soil.
- Keep plants moist and shaded until planting.
- Plant ground cover and perennials level and at grade.
- Soil to be well cultivated to a minimum depth of 6".
- In clay soil work in topsoil and organic compost. See specs. for ratio and quantity.
- In sand work in topsoil, organic compost and aged manure. See specs. for ratio and quantity.
- No scale.



1 PERENNIAL & GROUND COVER

DETAIL PROVIDED BY TOWN OF CASTLE ROCK WEBSITE NOT TO SCALE

- PRUNE ONLY DEAD OR BROKEN BRANCHES.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.



2 SHRUB

DETAIL PROVIDED BY TOWN OF CASTLE ROCK NOT TO SCALE

NOTES:

- PREPARE AREA TO BE PLANTED BY BREAKING UP BARREN SOIL.
- SEED SHALL BE MIXED WITH SUFFICIENT AMOUNT OF SAND AND NATIVE SOIL FOR PROPER APPLICATION
- UPON SEEDING, APPLY BIOSOL ORGANIC FERTILIZER PER MANUFACTURER SPECIFIED RATES.
- ALL SHRUBS SHALL BE 5 GAL., PERENNIALS AND ORNAMENTAL GRASSES SHALL BE 1 GAL. AT TIME OF PLANTING.
- OVERSEED ALL DISTURBED AREAS WITH DOUGLAS COUNTY AND CASTLE ROCK PERMANENT DRILL SEED MIX AS SPECIFIED ON SHEET 3 OF THE TOWN OF CASTLE ROCK G.E.S.C. PLAN STANDARD NOTES AND DETAILS.
- REFER TO TOWN OF CASTLE ROCK G.E.S.C. PLAN STANDARD NOTES AND DETAILS FOR STORM INLET PROTECTION.

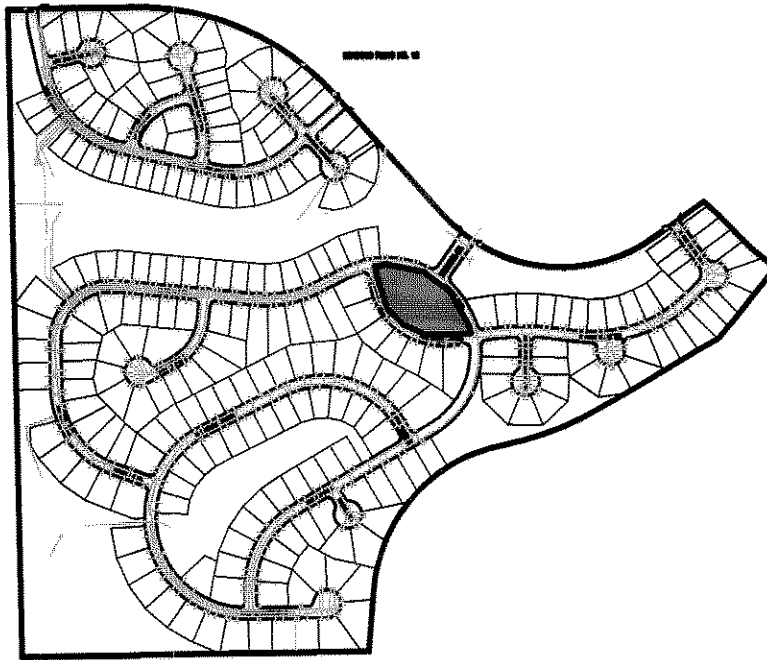


Plant Schedule

Registered Professional Sean Malone Registration # 8098
Company Name Norris Design Address 1101 Bannock Street Denver, CO 80204
Phone 303-892-1166 Email smalone@norris-design.com Date 01/27/11

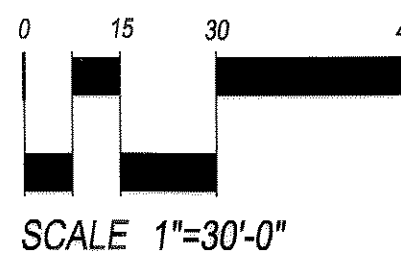
IRRIGATION (DRIP OR SPRAY)	PLANT NAME (SCIENTIFIC)	PLANT NAME (COMMON)	PLANTING SIZE	LEGEND ABBREV.	MATURE SIZE	NO. OF PLANTS	APPLICATION RATE (INCHES/MONTH)	WATER USE (VERY LOW, LOW, MODERATE, HIGH)	SQ. FT. OF ZONE (TURF ONLY)	PERCENTAGE OF TOTAL AREA	SQ. FT. OF TOTAL LANDSCAPED AREA
DECIDUOUS SHRUBS											
DRIP	CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	5 Gal.	BMS	4X4	13	2	LOW	N/A		
DRIP	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE POTENTILLA	5 Gal.	BCK	4X4	20	2	LOW	N/A		
DRIP	PEROVSKIA ARTIFOLIOGLA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	5 Gal.	RSD	2X2	20	2	VERY LOW	N/A		
DRIP	ROSA WOODSII	WOODS ROSE	5 Gal.	RWO	3X4	14	2	VERY LOW	N/A		
DRIP	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 Gal.	CPB	2X3	10	2	LOW	N/A		
DRIP	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	5 Gal.	PBS	2X5	8	2	LOW	N/A		
SPREADING (LOW-GROWING) JUNITERS											
DRIP	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	5 Gal.	BUF	1X8	30	2	MODERATE	N/A		
PERENNIALS											
DRIP	ASTER NOVAE-ANGLIAE 'PURPLE DOME'	PURPLE DOME ASTER	1 Gal.	APD	3X2	74	2	LOW	N/A		
DRIP	GAILLARDIA ARISTATA 'GOBLIN'	GOBLIN DWARF BLANKET FLOWER	1 Gal.	GGG	1X1	66	2	VERY LOW	N/A		
DRIP	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 Gal.	DDY	1X1	80	2	LOW	N/A		
ORNAMENTAL GRASSES											
DRIP	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 Gal.	FRG	5X2	18	2	LOW	N/A		
DRIP	HELIOTRICHON SEMPERVIRENS	BLUE AVENA GRASS	1 Gal.	BAG	4X3	10	2	LOW	N/A		
DRIP	MISCANTHUS SINENSIS 'FLAME'	FLAME MAIDEN GRASS	1 Gal.	FMS	10X4	50	2	LOW	N/A		
DRIP	ORYZOPSIS HYMENODES	INDIAN RICE GRASS	1 Gal.	IRG	2X2	54	2	LOW	N/A		
DRIP	PENNISETUM ORIENTALE	FOUNTAIN GRASS	1 Gal.	FNG	2X2	24	2	LOW	N/A		
LANDSCAPED AREA											
DRIP	TOTAL PROPOSED DRIP BED								N/A	14%	6,174
DRIP	TOTAL EXISTING DRIP BED								N/A	3%	1,182
SPRAY	TOTAL PROPOSED IRRIGATED NATIVE SEED								N/A	31%	13,698
N/A	TOTAL EXISTING NON IRRIGATED NATIVE SEED								N/A	38%	16,613
SPRAY	TOTAL EXISTING SOD								6,343	14%	6,343
									6,343	100%	43,910

KEY MAP



LEGEND

- EXISTING TREE TO REMAIN
- EXISTING EVERGREEN TREE TO REMAIN
- EXISTING ORNAMENTAL TREE TO REMAIN
- EXISTING SHRUBS TO REMAIN
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- EXISTING SOD TO REMAIN
- EXISTING NATIVE TURF TO REMAIN
- EXISTING NATIVE TURF TO REMAIN AND ADD IRRIGATION
- IRRIGATED PERENNIALS
- EDGER



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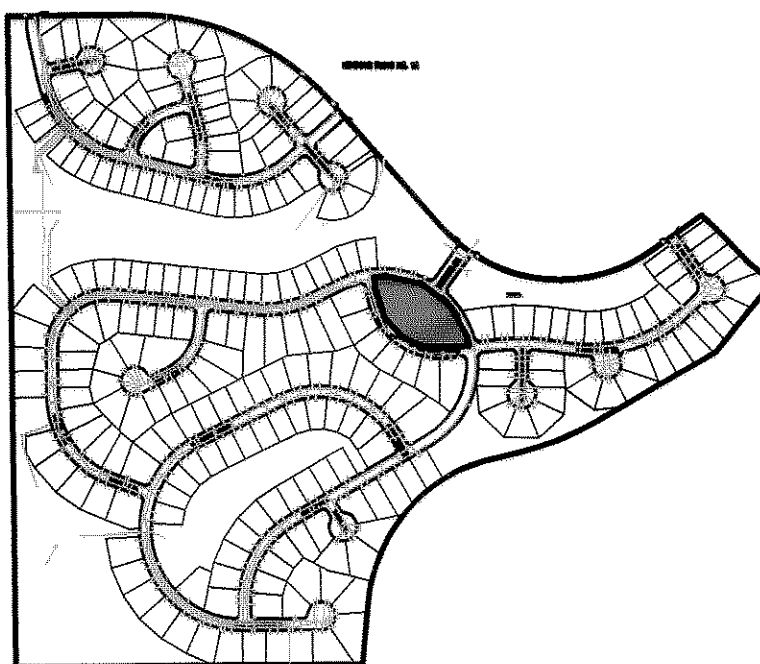
NORRIS DESIGN
Planning | Landscape Architecture

FINAL PD SITE PLAN – AMENDMENT #2
MEADOWS SUBDIVISION – FILING NO. 15

A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF SECTION 5,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

IRRIGATION PLAN

KEY MAP

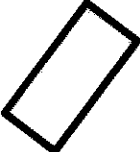


IRRIGATION CHART

1384500 January 18, 2011											
Registered Professional											
Colorado Property Care											
Company Name											
303.814.6070											
Phone											
F. Circle											
Diamond											
F. Square											
Model											
Zone	Hydrozone	Plant Type	Head Type	Nozzle	App. Rate	GPM	Inches/Month	Run Time	Run Time	Water Usage	
		(1.1 ft. Native, Prunus, etc.)	(Piston, Torus, Bubbler, etc.)	(Pistol, etc.)	(gph/ft)	(Per Zone)	(Peak not to exceed 1.5 inch or 1.5 weight)	(Minutes/Month)	(Minutes Every Third Day)	(Gallons per acre)	
1	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
2	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
3	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
4	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
5	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
6	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
7	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
8	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
9	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
10	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
11	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
12	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
13	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
14	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
15	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
16	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
17	High	Turf	Rotor	1/2"	1.83	12	6	147	20	14400	
18	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
19	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
20	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
21	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
22	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
23	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
24	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
25	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
26	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
27	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
28	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
29	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
30	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
31	Low	Frees	Drip	5 gal	0.8	12	6	900	60	10800	
Total								15340	1484	258,000	

- IRRIGATION INFORMATION PROVIDED BY COLORADO PROPERTY CARE, LLC. CONTACT JOE CAIN @ 303.814.6070 WITH QUESTIONS
- TOWN OF CASTLE ROCK REGISTRATION NUMBER # 5161

IRRIGATION SCHEDULE



Valve Boxes:
3 - 12" Standard Round (Quick Coupler and Drip Drain Valve)
3 - 18" Standard Rectangle (2 Native - 1 Drip Assembly)

Valves:
1 - Replace existing 1" Drip Valve with Hunter ICZ-151 1.5" Inlet x 1" Outlets (2) (Drip Zones)
2 - New Hunter ICV-151G 1.5" Globe Valve (Native Turf Zones) utilize 2 spare wires
Heads / Emitters:



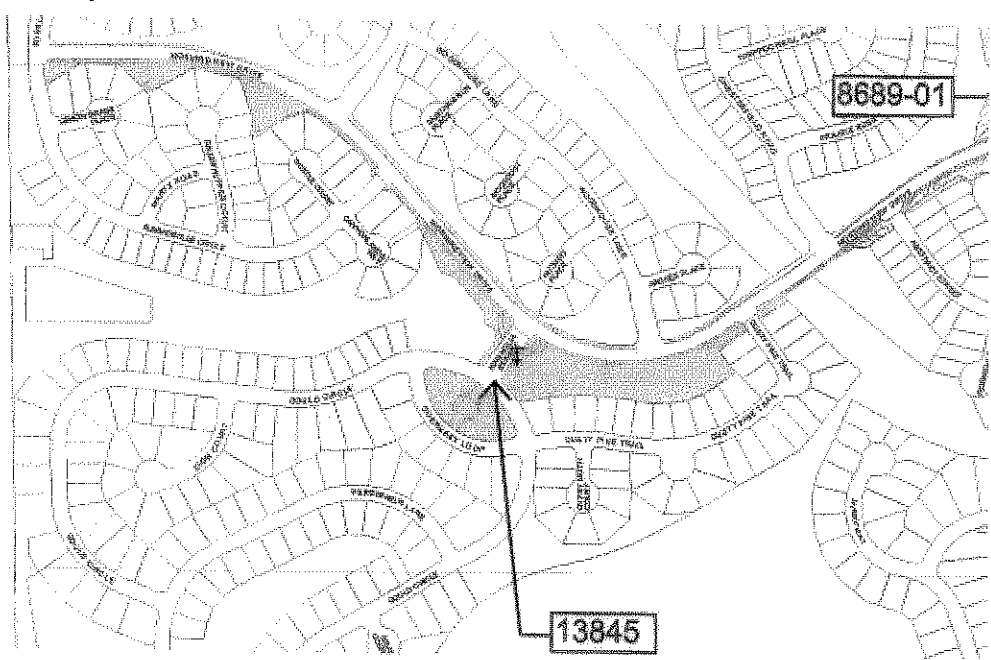
8 - Hunter I-20 - 12" (12" above ground height rotor heads w check valve & 4.0 nozzles)
Hunter / RaniBird Bubblers & Emitters - determent on final plant material list (low point drain ball-valve included)

Quick Coupler:
1 Hunter 1" HQ44 - LRC (locking rubber cover)



Lateral Lines:
PVC 1.25" - Rotor Zones
Poly 0.75" - Drip Zones

Installation as specified in approved final design or per the TOCR specifications (see attachments).



1

TAP LOCATION

NOT TO SCALE

2

HI-POP (12") GEAR DRIVEN ROTOR

DETAIL PROVIDED BY TOWN OF CASTLE ROCK WEBSITE NOT TO SCALE

3

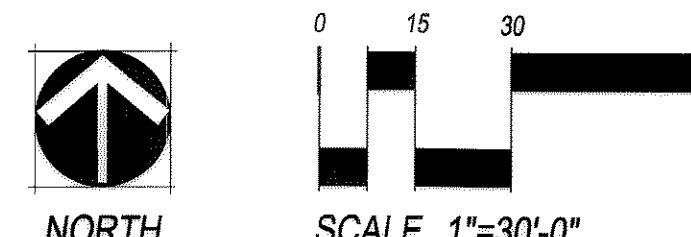
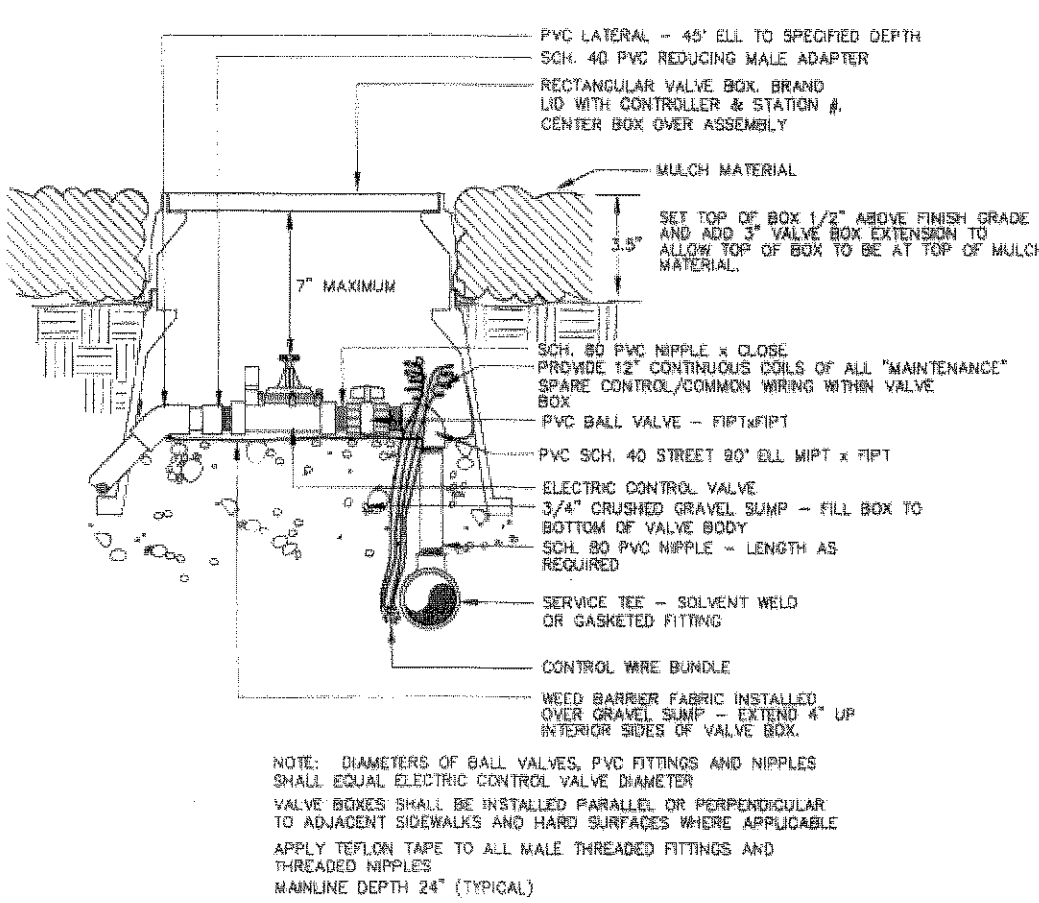
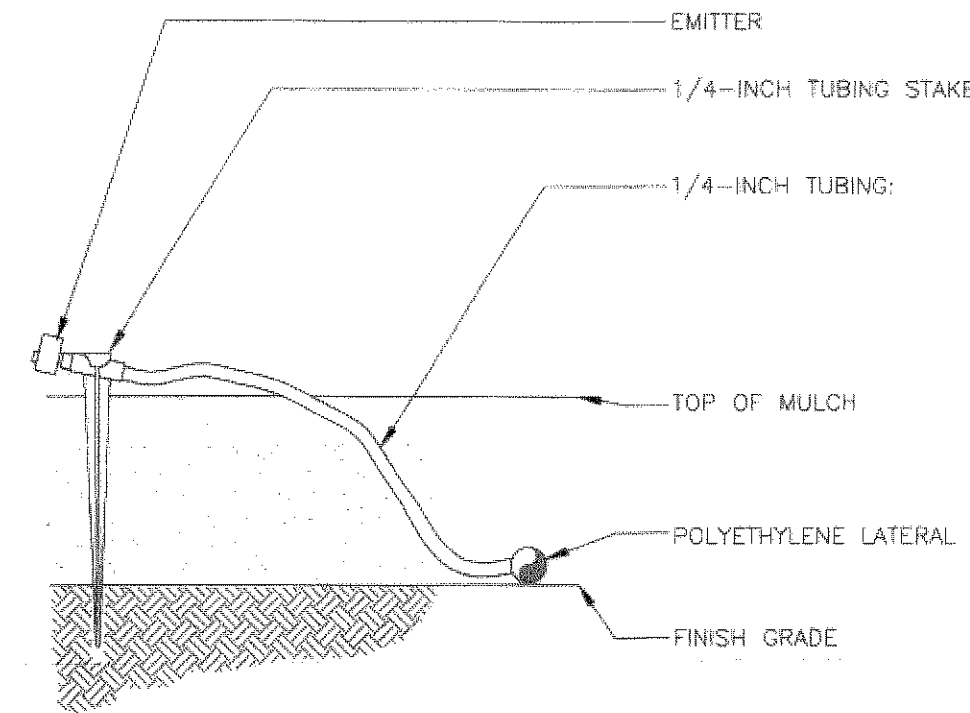
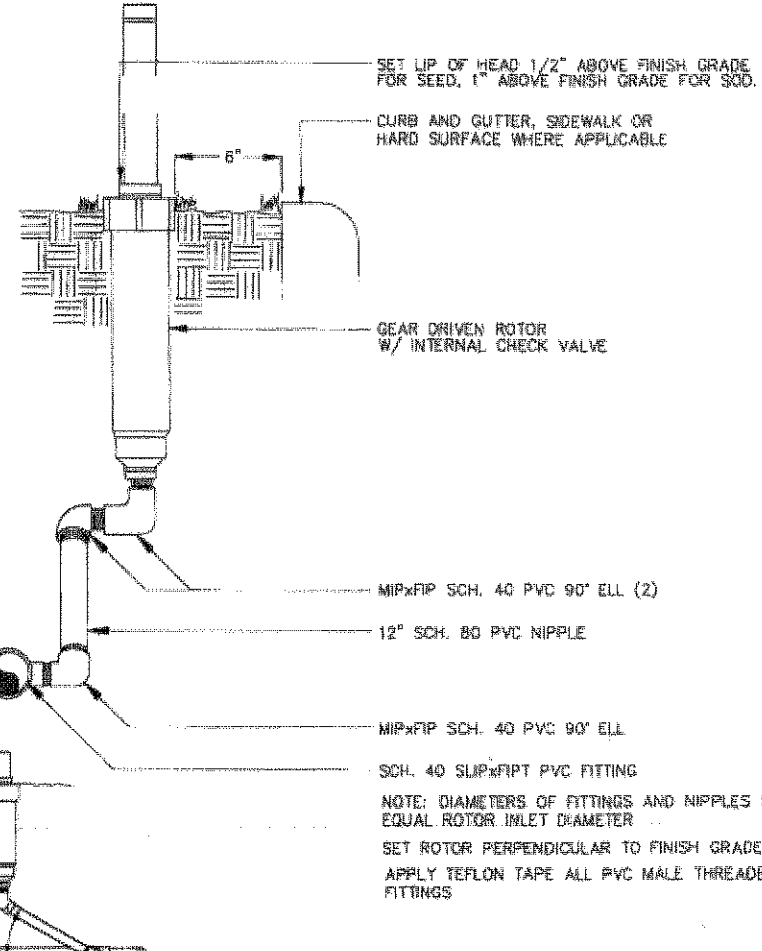
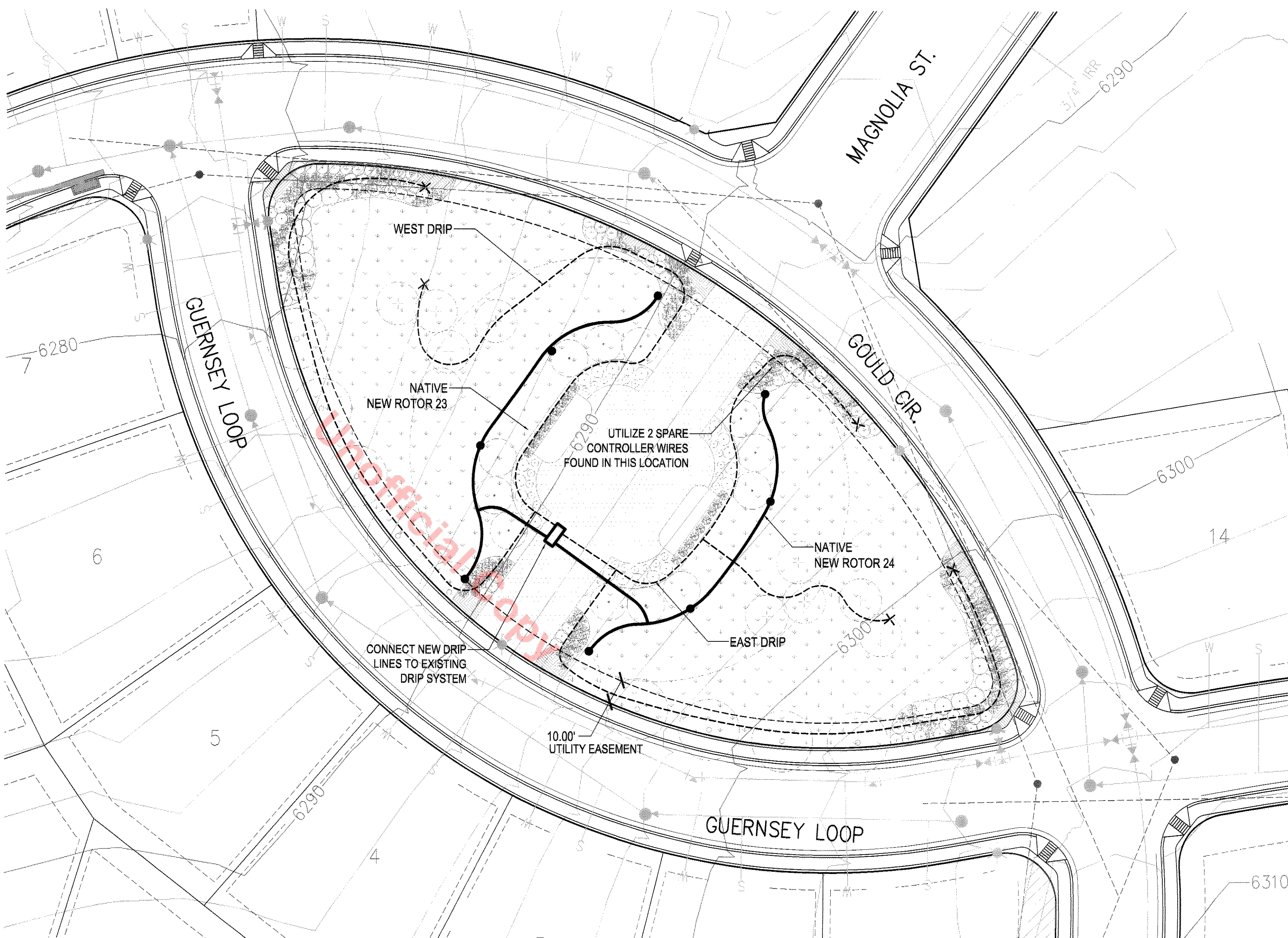
DRIP EMITTER ON STAKE

DETAIL PROVIDED BY TOWN OF CASTLE ROCK WEBSITE NOT TO SCALE

4

ELECTRIC CONTROL VALVE IN MULCH BEDS

DETAIL PROVIDED BY TOWN OF CASTLE ROCK WEBSITE NOT TO SCALE



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