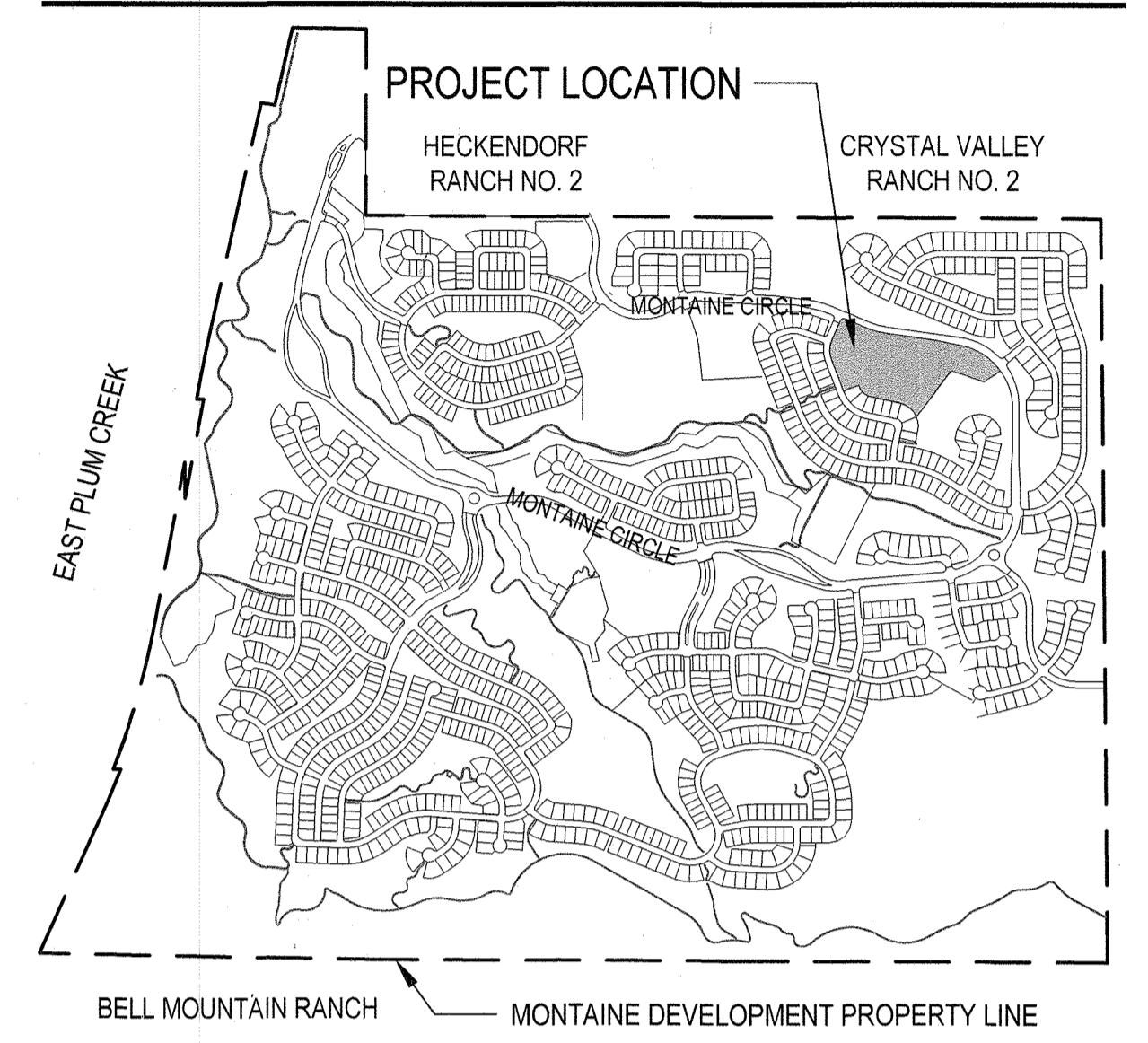


THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

VICINITY MAP



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	OVERALL SITE PLAN
3	SITE PLAN
4	SITE PLAN ENLARGEMENT
5	GRADING PLAN
6	GRADING PLAN
7	UTILITIES PLAN
8	UTILITIES PLAN
9	LANDSCAPE PLAN
10	LANDSCAPE PLAN ENLARGEMENT
11	LANDSCAPE CALCULATIONS AND NOTES
12	LANDSCAPE DETAILS
13	LANDSCAPE DETAILS
14	AMENITY BUILDING ELEVATIONS
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16	AMENITY BUILDING ELEVATIONS
17	POOLHOUSE BUILDING ELEVATIONS
18	TRASH ENCLOSURE ELEVATIONS
19	PHOTOMETRIC PLAN
20	PHOTOMETRIC PLAN
21	LIGHTING CUTSHEETS
22	LIGHTING CUTSHEETS
23	LIGHTING CUTSHEETS

ZONING COMPARISON AND SITE UTILIZATION TABLE

USE	PERMITTED PDP13-0005	PROVIDED SDP21-0004
	RECREATION CENTER	RECREATION CENTER
MINIMUM LOT WIDTH (NON TRANSACTION ZONE)	50'-0"	390'-0"
MINIMUM LOT AREA (NON TRANSACTION ZONE)	5,000 SF	410,940.22 SQ FT / 9.4 ACRES
BUILDING SEPARATION (LOT WIDTH - 80' OR GREATER)	15'-0"	45'-0"
BUILDING SETBACKS		
FRONT	20'-0"	20'-0"
SIDE (TO STREET)	20'-0"	20'-0"
SIDE (INTERIOR LOT)	20'-0"	20'-0"
REAR	20'-0"	20'-0"
MONUMENT SETBACK	10'-0"	10'-0"
LANDSCAPE BUFFER		
STANDARD	10'-0"	10'-0"
ADJACENT TO RESIDENTIAL	20'-0"	20'-0"
PARKING		
FITNESS CLUB/ REC	4 STALLS / 1,000 SF(GFA)	30 STALLS (7,164 GSF)
SPORT COURT	3 STALLS/ COURT	6 STALLS (2 COURTS)
POOL, SPA & POOL DECK	5 STALLS/ 1,000 SF	44 STALLS (8,705 SF)
TOTAL HANDICAP PARKING	-	4 STALLS (1 VAN)
TOTAL PARKING	79 STALLS	84 STALLS
PARKING CRITERIA	STANDARD STALL: 18' X 9' (80 STALLS, 95%) COMPACT STALL: 16' X 9' (0 STALLS, 0%) ADA STALL: 18' X 9' (4 STALLS, 5%) ADA LOADING SPACE: 18' X 9' (3 SPACES, 75% - STANDARD) 18' X 9' (1 SPACE, 25% - VAN)	
TOTAL BICYCLE PARKING	PROVIDE BIKE PARKING EQUAL TO 5% OFF-STREET PARKING (5)	8
NON-RESIDENTIAL MAXIMUM BUILDING HEIGHT	45'-0"	31'-0"
MAXIMUM BUILDING COVERAGE (NO-RESIDENTIAL)	60%	3.1% (12,637 SF)
BUILDING COVERAGE	CLUBHOUSE = 11,935 SQ FT BATHHOUSE = 702 SQ FT	
MAXIMUM GROSS FLOOR AREA	7,164 SQ FT	
OUTDOOR AMENITIES (POOL, PLAYGROUND, TRAILS, PATIOS & COURTS)	66,586 SQ FT	
PARKING AREA COVERAGE	37,868 SQ FT	
O.S./LANDSCAPE AREA COVERAGE	240,705 SQ FT	
UNIMPROVED LOT AREA (EXISTING & UNDISTURBED AREAS)	54,555 SQ FT	
TOTAL LOT AREA	412,351 SQ FT / 9.466 ACRES	
SINGLE FAMILY EQUIVALENT (SFE)	34.3	

SITE DEVELOPMENT GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3 AND 8.2 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- FILING 4 IS LOCATED ENTIRELY WITHIN UNSHADED ZONE X, DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN SPECIAL HAZARD AREA, PER FEMA FLOOD INSURANCE RATE MAP NUMBER 08035C0303G.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THIS SITE IS ZONED PD.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS. SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE 100 YEAR FLOODPLAIN OF A MAJOR DRAINAGEWAY DOES NOT FALL WITHIN THIS LOT.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- THERE IS ONE PROJECT MONUMENT SIGN LOCATED WITHIN THIS LOT (LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MONTAINE CIRCLE AND BURNELL ROAD/ENTRY DRIVE). PLEASE REFER TO THE LANTERNS MASTER SIGNAGE PLAN FOR SPECIFIC DESIGN INFORMATION AND DETAILS RELATED TO THIS SIGN.

PURPOSE STATEMENT

SITE PLANNING A PORTION OF AMENITY CENTER FOR RESIDENTS OF THE MONTAINE DEVELOPMENT.

BASIS OF BEARING

SOUTHEASTERLY LINE OF LOT 1, BLOCK 1, 1ST AMENDMENT TO HECKENDORF RANCH FILING NO. 2. FILED UNDER RECEPTION NO. 2008030059, DOUGLAS COUNTY RECORDS. SAID LINE DEARS S46°19'43"W. BOTH ENDS OF SAID LINE ARE MONUMENTED.

BENCHMARK

DISC IN THE NORTHWEST CONCRETE RAILROAD BRIDGE ABUTMENT STAMPED "M 337 1952" NAVD 88 ELEV. 6314.58 LOCATED 2.5 MILES SOUTH ALONG THE DENVER AND RIO GRANDE WESTERN RAILROAD FROM THE INTERSECTION OF FIFTH STREET IN CASTLE ROCK.

LEGAL DESCRIPTION

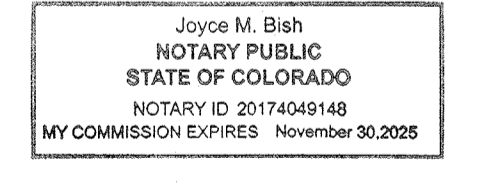
LOT 1, BLOCK 10, AND A PART OF TRACT N, THE LANTERNS FILING NO. 4, FINAL PLAT, AS RECORDED IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER AT RECEPTION NO.: 2020128470

SIGNATURE BLOCKS

OWNERSHIP CERTIFICATION:
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN:
TOLL SOUTHWEST LLC, (A DELAWARE LIMITED LIABILITY COMPANY)

SIGNED THIS 5th DAY OF April, 2022

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 5th DAY OF April, 2022 BY Peggie Carver
WITNESS MY HAND AND OFFICIAL SEAL.



NOTARY PUBLIC
MY COMMISSION EXPIRES: Nov. 30 2025

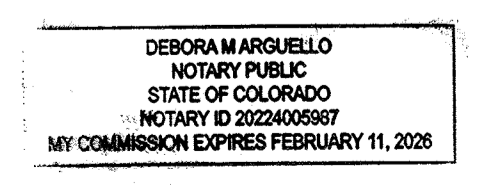
TITLE CERTIFICATION:

I, Ernest Shively, AN AUTHORIZED REPRESENTATIVE OF First American Title Insurance Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Ernest Shively AUTHORIZED REPRESENTATIVE
Ernest Shively TITLE COMPANY
SIGNED THIS 8th DAY OF April, 2022

Issued a commitment for title insurance File No. NCS-1049295-CO dated 3-25-22 that as of the date of the commitment

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 8th DAY OF April, 2022 BY Ernest Shively AS AUTHORIZED REPRESENTATIVE OF First American Title CO.



WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: Feb 11, 2022

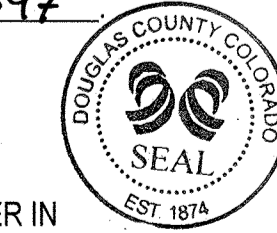
WATER RIGHTS DEDICATION AGREEMENT:
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE LANTERNS AMENDED AND RESTATED DEVELOPMENT AGREEMENT, RECORDED ON THE 8th DAY OF DECEMBER, 2018 AT RECEPTION NO. 2014071296 AND ACCORDINGLY 6.67 SFE ARE DEBITED FROM THE WATER BANK.

SURVEYOR'S CERTIFICATE:
I, Patrick M. Spreen, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.
Patrick M. Spreen 4/1/2022
REGISTERED LAND SURVEYOR DATE

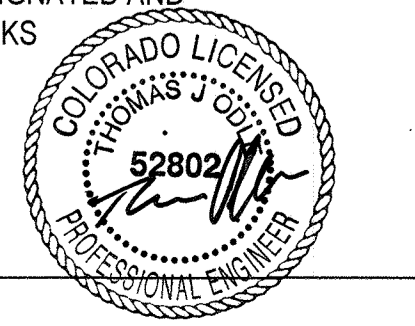


STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL:
THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 12 DAY OF April, 2022.
Thomas J. Odle
DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:
THIS INTERCHANGE OVERLAY PLANNED DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:31 PM ON THE 18th DAY OF April, 2022 AT RECEPTION NO. 2022027697
DOUGLAS COUNTY CLERK AND RECORDER
By: Theresa Mills, Deputy



CIVIL ENGINEER'S STATEMENT:
I, Thomas J. Odle, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
Thomas J. Odle 4/1/2022
REGISTERED PROFESSIONAL ENGINEER DATE



FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OR ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

PROJECT DIRECTORY

- OWNER**
TOLL BROTHERS SOUTHWEST LLC C/O
2400 E MONTAINE CIRCLE
CASTLE ROCK, CO 80104
CONTACT: ERIC LEHMAN
EMAIL: ELEHMAN@TOLLBROTHERS.COM
- SURVEYOR / CIVIL ENGINEER**
CVL CONSULTANTS OF COLORADO
10333 EAST DRY CREEK ROAD, SUITE 240
ENGLEWOOD, COLORADO 80112
720-482-9526
CONTACT: TOM ODLE, PE, PLS
EMAIL: TODLE@CVLINC.NET
- ARCHITECT**
VFLA
419 CANYON AVENUE, SUITE 200
FORT COLLINS, CO 80521
970-224-1191
CONTACT: DON BERNHOLTZ
EMAIL: DON@VFLA.COM
- ELECTRICAL ENGINEER**
JCAA CONSULTING ENGINEERS
4100 WADSWORTH BOULEVARD
WHEAT RIDGE, COLORADO 80033
303-278-7713
CONTACT: MEGAN SHEEHAN
EMAIL: MSHEEHAN@JCAACE.COM
- PLANNER/ LANDSCAPE ARCHITECT**
NORRIS DESIGN
1101 BANNOCK STREET
DENVER, COLORADO 80204
303-892-1166
CONTACT: SEAN MALONE
EMAIL: SMALONE@NORRIS-DESIGN.COM

THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

OWNER:
TOLL SOUTHWEST LLC C/O
TOLL BROTHERS, INC.
10 INVERNESS DRIVE, SUITE 125
ENGLEWOOD, COLORADO 80112
TEL: (303) 708-0730

NOT FOR CONSTRUCTION

DATE:
01/12/21 SDP 1ST SUB
06/29/21 SDP 2ND SUB
07/30/21 SDP 3RD SUB
08/17/21 SDP 4TH SUB
02/02/22 SDP 5TH SUB
02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

SHEET TITLE:
COVER PAGE

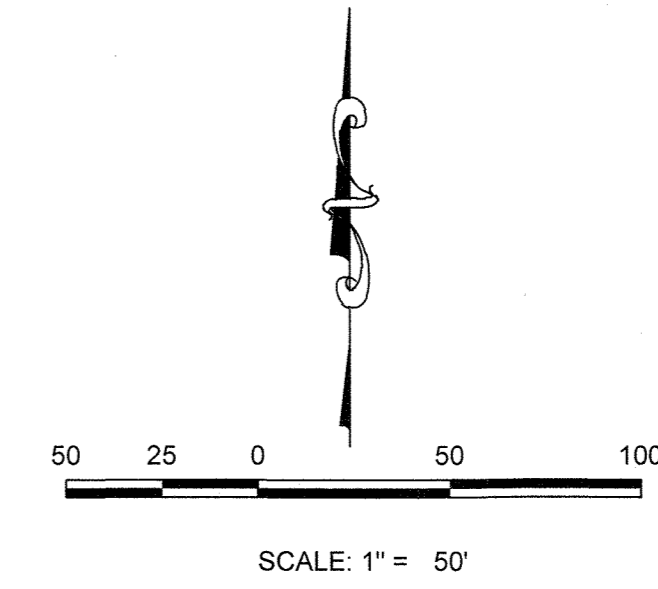


SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

THE LANTERNS - FAMILY AMENITY CENTER

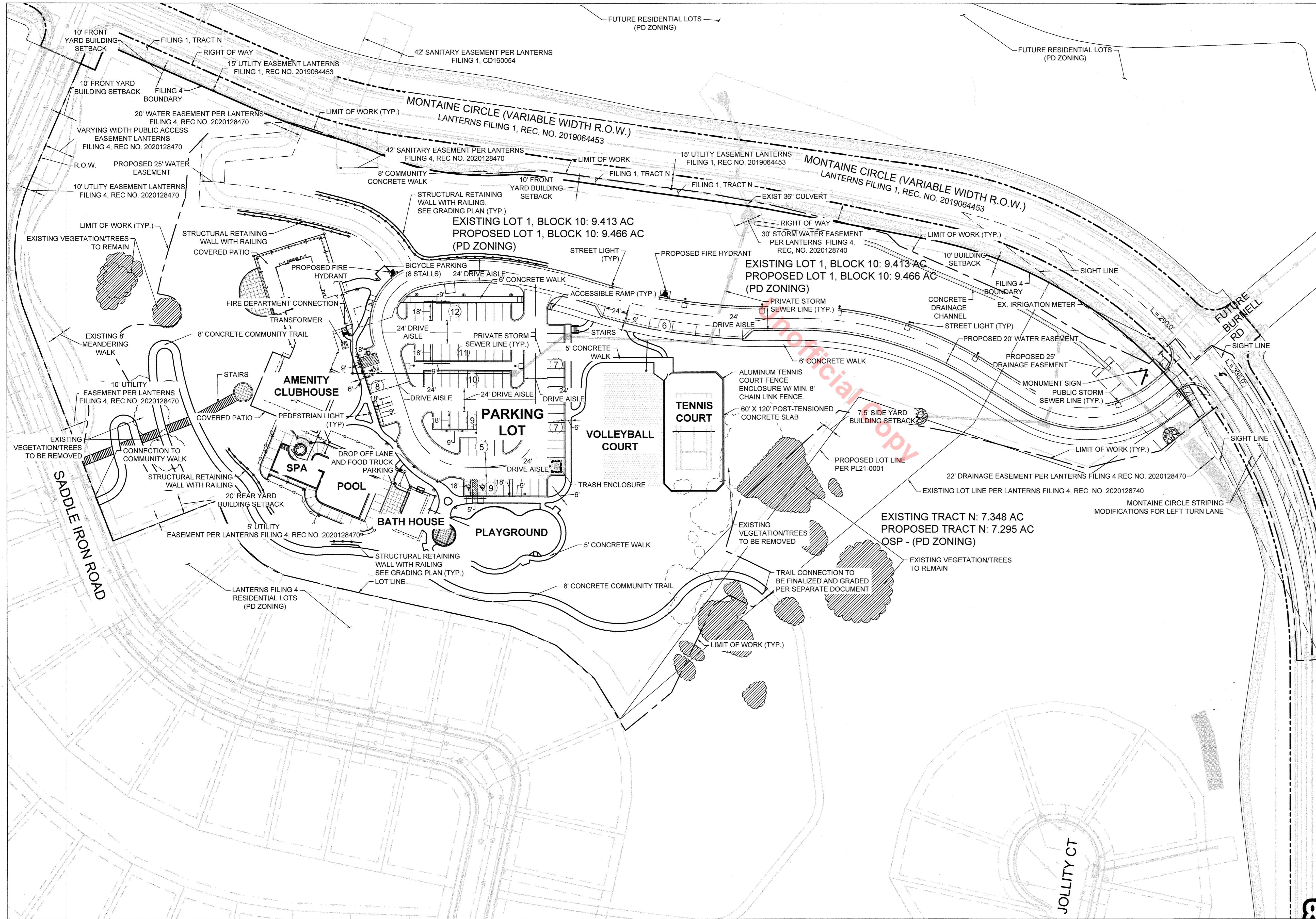
SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF THE NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

①	PARKING COUNT
○ □	PROPOSED LIGHTING
—	BOUNDARY LINE
- - - -	PROPOSED EASEMENT
- - - - -	SETBACK
—	LINE OF SIGHT
- - - - -	SAFETY TRIANGLE
· · · · ·	PUBLIC LAND DEDICATION (PLD)
—	CENTERLINE
- - - - -	PROPERTY LINE
—	EDGE OF PAVEMENT
—	PROPOSED STORM DRAIN
- - - - -	EXISTING 100-YR FLOODPLAIN
- - - - -	PROPOSED 100-YR FLOODPLAIN
- - - - -	PROPOSED MINOR DRAINAGE FLOWLINE
- - - - -	LIMIT OF WORK



10333 E. Dry Creek Rd.
Suite 240
Englewood, CO 80112
Tel: 720.482.952
www.cvlinc.net
westwoodps.com

CVL
a Westwood team

THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

OWNER:
TOLL BROTHERS, INC.
10 INVERNESS DRIVE, SUITE 125
ENGLEWOOD, COLORADO 80112
TEL: (303) 708-0730
TOLL SOUTHWEST LLC C/O

LAYOUT NOTES

- REFER TO THE LANTERNS SITE DEVELOPMENT PLAN AND SUBSEQUENT CONSTRUCTION DOCUMENTS FOR ALL COMMUNITY AND RELATED INFRASTRUCTURE IMPROVEMENTS.
- REFER TO CIVIL AND UTILITY PLANS FOR STREET CURB AND GUTTER, DETENTION POND, DRAINAGE INFRASTRUCTURE, UTILITIES AND OTHER ASSOCIATED SITE IMPROVEMENTS.
- EXISTING VEGETATION TO REMAIN AND EXISTING VEGETATION TO BE REMOVED IS APPROXIMATE AND WILL BE FURTHER DEFINED WITH THE CONSTRUCTION DOCUMENTS.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE. MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE (3:1).
- MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS AND PAVED AREAS SHALL BE 5% UNLESS OTHERWISE INDICATED ON THE PLANS.
- THERE IS ONE MONUMENT SIGN (15' X 15') LOCATED WITHIN THIS LOT (AT THE NORTHWEST CORNER OF THE INTERSECTION OF MONTAINE CIRCLE AND BURNELL ROAD/ENTRY DRIVE). PLEASE REFER TO THE LANTERNS MASTER SIGNAGE PLAN PER PDP AMENDMENT NO.4, REC. NO. 2020038452.

BENCHMARK/CONTROL POINT
DISC IN THE NORTHWEST CONCRETE RAILROAD BRIDGE
ABUTMENT STAMPED "M 337 1952" NAVD 88 ELEV. 6314.58
LOCATED 2.5 MILES SOUTH ALONG THE DENVER AND RIO GRANDE
WESTERN RAILROAD FROM THE INTERSECTION OF FIFTH STREET IN
CASTLE ROCK.

CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
534-6700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO



SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

DATE:
01/12/21 SDP 1ST SUB
06/29/21 SDP 2ND SUB
07/30/21 SDP 3RD SUB
08/17/21 SDP 4TH SUB
02/02/22 SDP 5TH SUB
02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

SHEET TITLE:
OVERALL
SITE PLAN

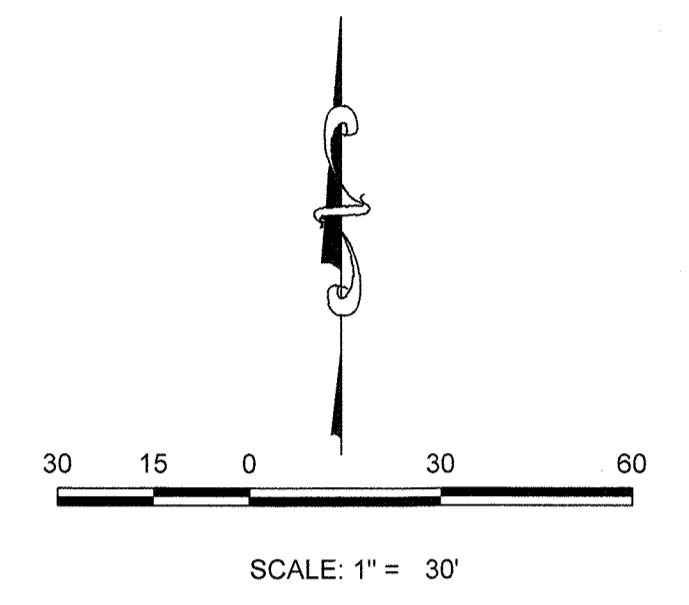
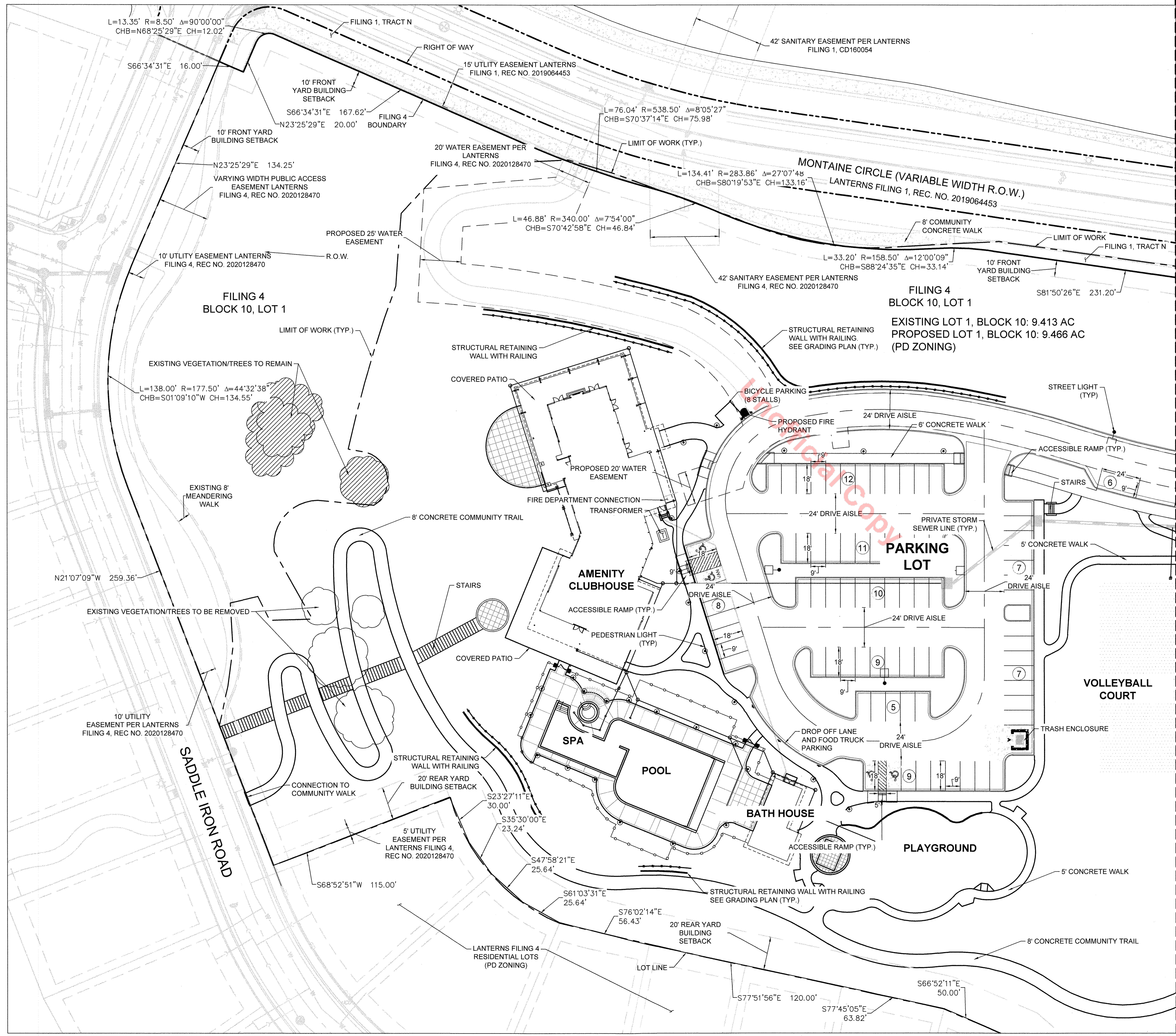
CHECKED BY: TJO
DRAWN BY: RDH

BENCHMARK/CONTROL POINT
DISC IN THE NORTHWEST CONCRETE RAILROAD BRIDGE
ABUTMENT STAMPED "M 337 1952" NAVD 88 ELEV. 6314.58
LOCATED 2.5 MILES SOUTH ALONG THE DENVER AND RIO GRANDE
WESTERN RAILROAD FROM THE INTERSECTION OF FIFTH STREET IN
CASTLE ROCK.

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF THE NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

①	PARKING COUNT
○ □	PROPOSED LIGHTING
---	BOUNDARY LINE
- - - -	PROPOSED EASEMENT
· · · · ·	SETBACK
---	LINE OF SIGHT
- - - -	SAFETY TRIANGLE
· · · · ·	PUBLIC LAND DEDICATION (PLD)
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	PROPOSED STORM DRAIN
---	EXISTING 100-YR FLOODPLAIN
---	PROPOSED 100-YR FLOODPLAIN
---	PROPOSED MINOR DRAINAGE FLOWLINE
---	LIMIT OF WORK

- LAYOUT NOTES**
- REFER TO THE LANTERNS SITE DEVELOPMENT PLAN AND SUBSEQUENT CONSTRUCTION DOCUMENTS FOR ALL COMMUNITY AND RELATED INFRASTRUCTURE IMPROVEMENTS.
 - REFER TO CIVIL AND UTILITY PLANS FOR STREET CURB AND GUTTER, DETENTION POND, DRAINAGE INFRASTRUCTURE, UTILITIES AND OTHER ASSOCIATED SITE IMPROVEMENTS.
 - EXISTING VEGETATION TO REMAIN AND EXISTING VEGETATION TO BE REMOVED IS APPROXIMATE AND WILL BE FURTHER DEFINED WITH THE CONSTRUCTION DOCUMENTS.
 - ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE. MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE (3:1).
 - MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS AND PAVED AREAS SHALL BE 5% UNLESS OTHERWISE INDICATED ON THE PLANS.
 - THERE IS ONE MONUMENT SIGN (18" X 18") LOCATED WITHIN THIS LOT (AT THE NORTHWEST CORNER OF THE INTERSECTION OF MONTAINE CIRCLE AND BURNELL ROAD/ENTRY DRIVE). PLEASE REFER TO THE LANTERNS MASTER SIGNAGE PLAN PER PDP AMENDMENT NO.4, REC. NO. 2020038452.

CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
534-6700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO



SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

10335 E. Dry Creek Rd.
Suite 240
Englewood, CO 80112
Tel: 720.482.9552
www.cvlinc.net
westwoods.com



THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

OWNER:
TOLL BROTHERS, INC.
10 INVERNESS DRIVE, SUITE 125
ENGLEWOOD, COLORADO 80112
TEL: (303) 708-0730
TOLL SOUTHWEST LLC C/O

DATE:
01/12/21 SDP 1ST SUB
06/29/21 SDP 2ND SUB
07/30/21 SDP 3RD SUB
08/17/21 SDP 4TH SUB
02/02/22 SDP 5TH SUB
02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

SHEET TITLE:
SITE PLAN

CHECKED BY:
DRAWN BY:
TJO
RDH

BENCHMARK/CONTROL POINT
DISC IN THE NORTHWEST CONCRETE RAILROAD BRIDGE
ABUTMENT STAMPED "M 337 1962" NAVD 88 ELEV. 6314.58
LOCATED 2.5 MILES SOUTH ALONG THE DENVER AND RIO GRANDE
WESTERN RAILROAD FROM THE INTERSECTION OF FIFTH STREET IN
CASTLE ROCK.

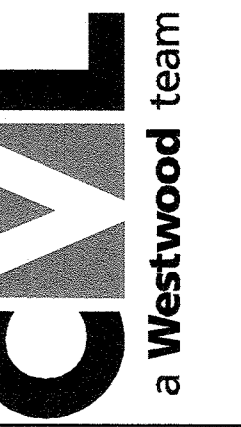
THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN

LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF THE NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

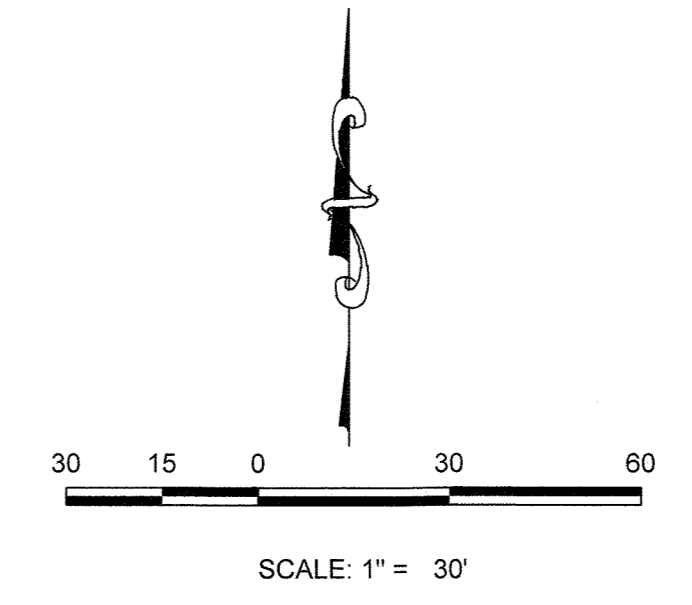
10333 E. Dry Creek Rd.
Suite 240
Englewood, CO 80122
Tel: 720.482.9552
www.cvlinc.net
westwoodpa.com



THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

OWNER:

TOLL BROTHERS, INC.
10 INVERNESS DRIVE, SUITE 125
ENGLEWOOD, COLORADO 80112
TEL: (303) 708-0730
TOLL: SOUTHWEST LLC C/O



LEGEND

①	PARKING COUNT
⊙ □	PROPOSED LIGHTING
—	BOUNDARY LINE
- - -	PROPOSED EASEMENT
- · - · -	SETBACK
- · - · -	LINE OF SIGHT
- · - · -	SAFETY TRIANGLE
· · · · ·	PUBLIC LAND DEDICATION (PLD)
- - -	CENTERLINE
- - -	RIGHT-OF-WAY
- - -	PROPERTY LINE
- - -	EDGE OF PAVEMENT
36" SS	PROPOSED STORM DRAIN
- - -	EXISTING 100-YR FLOODPLAIN
- - -	PROPOSED 100-YR FLOODPLAIN
- - -	PROPOSED MINOR DRAINAGE FLOWLINE
- - -	LIMIT OF WORK

- LAYOUT NOTES**
- REFER TO 'THE LANTERNS SITE DEVELOPMENT PLAN' AND SUBSEQUENT CONSTRUCTION DOCUMENTS FOR ALL COMMUNITY AND RELATED INFRASTRUCTURE IMPROVEMENTS.
 - REFER TO CIVIL AND UTILITY PLANS FOR STREET CURB AND GUTTER, DETENTION POND, DRAINAGE INFRASTRUCTURE, UTILITIES AND OTHER ASSOCIATED SITE IMPROVEMENTS.
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 - MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS AND PAVED AREAS SHALL BE 5% UNLESS OTHERWISE INDICATED ON THE PLANS.
 - THERE IS ONE MONUMENT SIGN (10' X 16') LOCATED WITHIN THIS LOT (AT THE NORTHWEST CORNER OF THE INTERSECTION OF MONTAINE CIRCLE AND BURNELL ROAD/ENTRY DRIVE). PLEASE REFER TO THE LANTERNS MASTER SIGNAGE PLAN PER PDP AMENDMENT NO.4, REC. NO. 2020038452.

DATE:

01/12/21 SDP 1ST SUB
06/29/21 SDP 2ND SUB
07/30/21 SDP 3RD SUB
08/17/21 SDP 4TH SUB
02/02/22 SDP 5TH SUB
02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

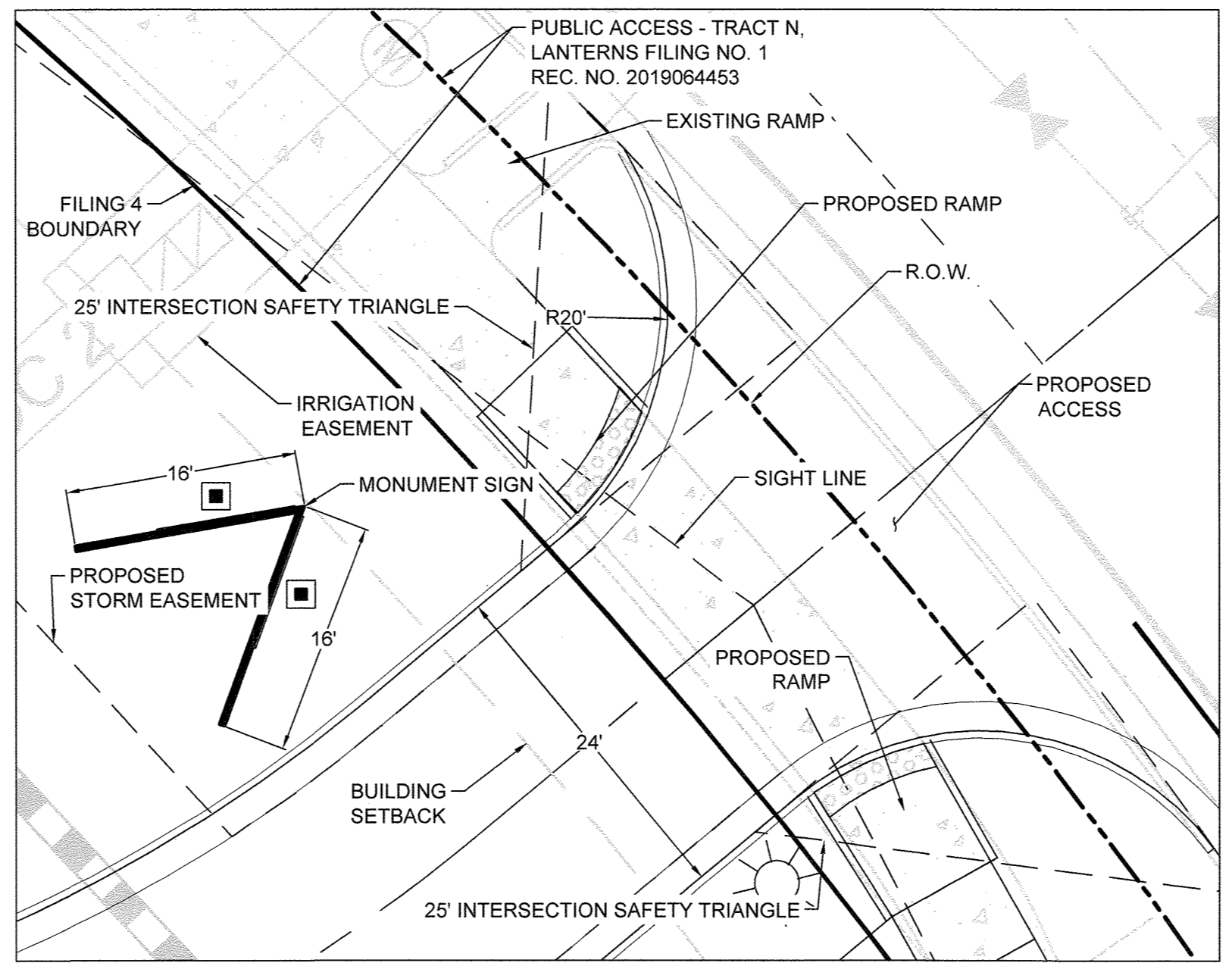
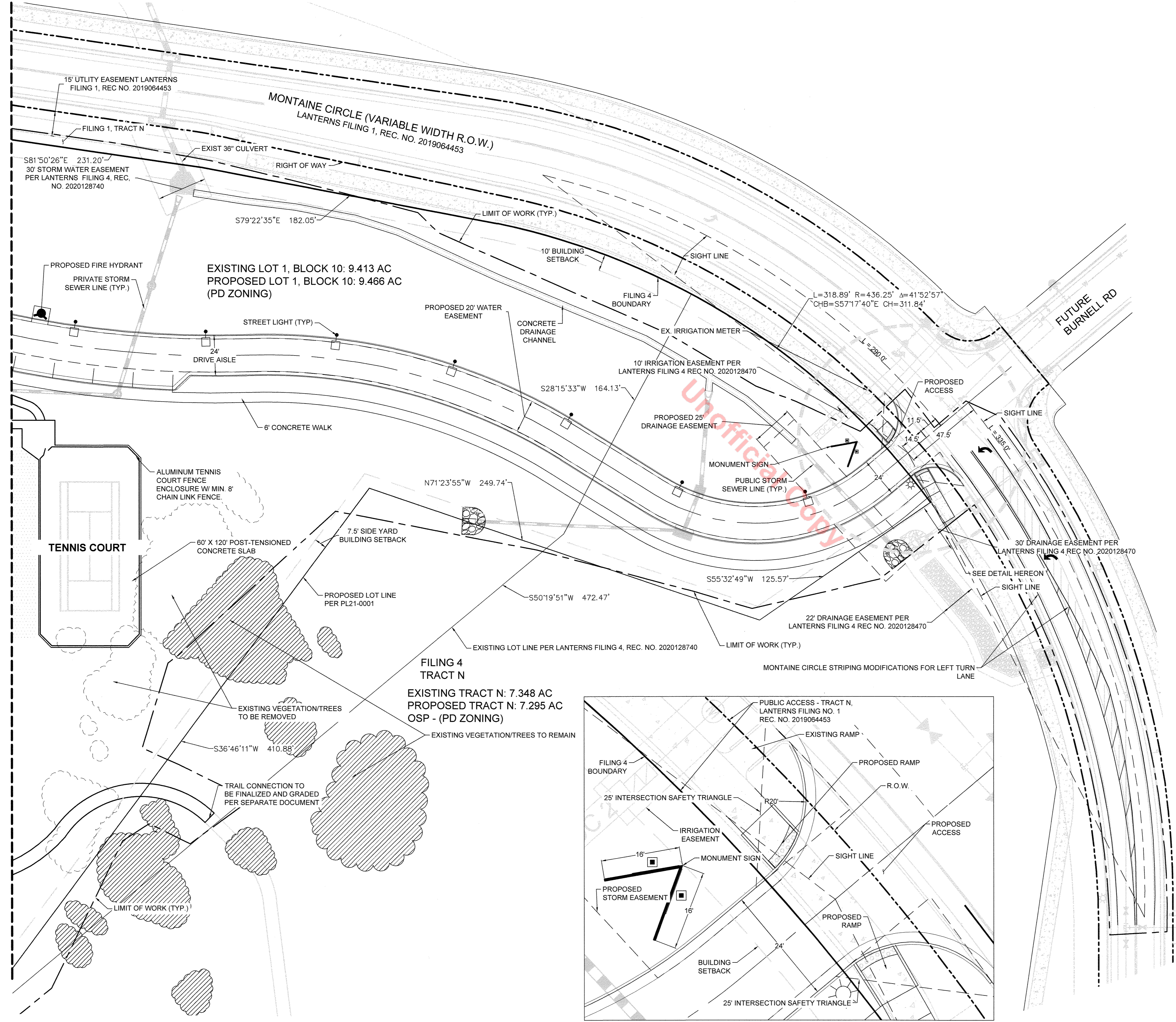
SHEET TITLE:
SITE PLAN



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TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
534-8700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

SEE SHEET 3



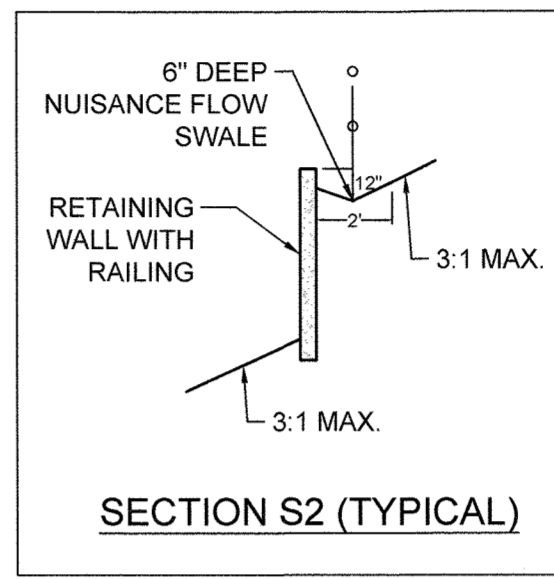
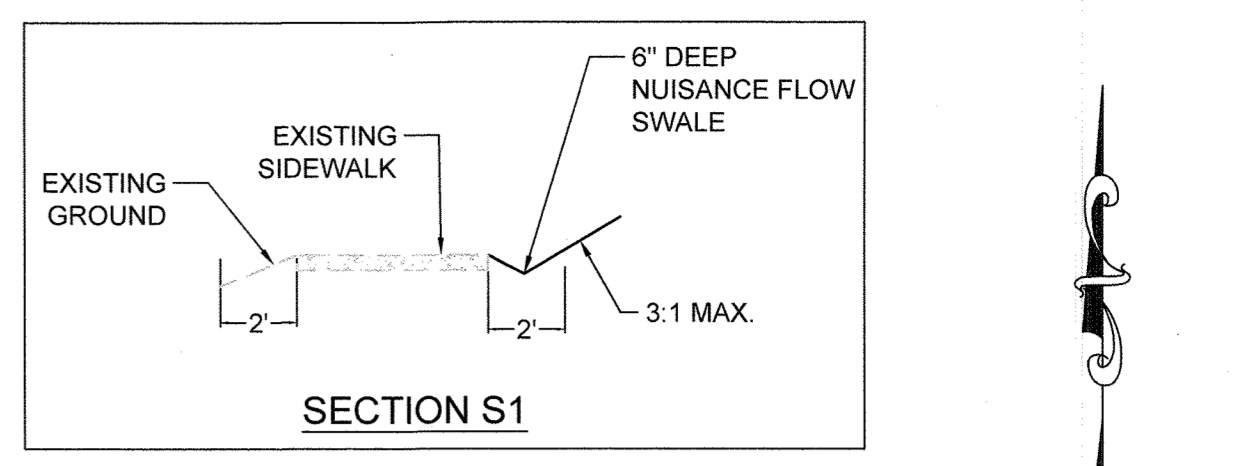
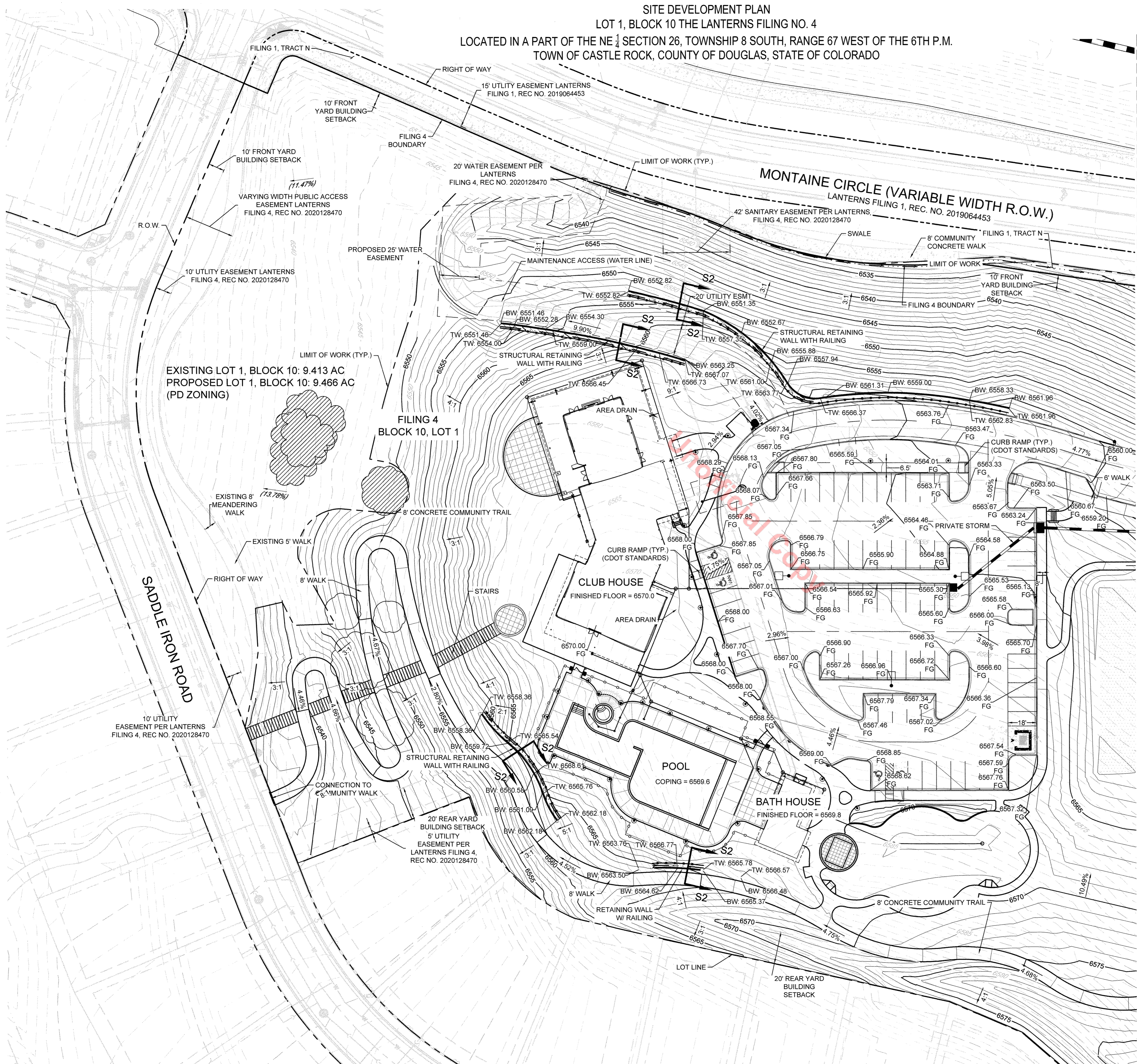
ENTRY & SIGN AREA ENLARGEMENT SCALE 1"=10'

CHECKED BY: TJO
DRAWN BY: RDH

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF THE NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SCALE: 1" = 30'

LEGEND

- BLOCK NUMBER
- LOT TYPE
- LOT NUMBER
- PROPOSED BUTTERFLY VALVE
- PROPOSED CAP WITH END OF LINE BLOWOFF
- PROPOSED REDUCER
- PROPOSED VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WL FITTING WITH THRUST BLOCK
- PROPOSED FLARED END SECTION
- PROPOSED LOW POINT BLOW-OFF
- PROPOSED AIR VALVE
- EXISTING BLOW OFF VALVE
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- PROPOSED LIGHTING
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- CENTERLINE
- RIGHT-OF-WAY
- PROPERTY LINE
- EDGE OF PAVEMENT
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED SEWER LINE WITH MANHOLE
- PROPOSED SEWER LATERAL
- PROPOSED WATER LATERAL
- PROPOSED WATER LATERAL W/ METER
- EXISTING 60" RAW WATER LINE
- GAS LINE
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD HIGH VOLTAGE LINE
- EXISTING WATER LINE
- EXISTING ELECTRIC LINE
- EXISTING SANITARY SEWER LINE
- EXISTING TELEPHONE LINE
- EXISTING 100-YR FLOODPLAIN
- PROPOSED 100-YR FLOODPLAIN MINOR DRAINAGE WAY

NOTES:

- RETAINING WALLS, SECTIONS OF TIERED WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- THE 100 YEAR FLOODPLAIN OF A MAJOR DRAINAGE WAY DOES NOT FALL WITHIN THIS LOT.

CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
534-6700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO



SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO. 4
SDP21-0004

10333 E. Dry Creek Rd.
Suite 240
Englewood, CO 80112
Tel: 720.482.9522
www.cvlinc.net
westwoodsps.com

CVL
a Westwood team

THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

OWNER:
TOLL BROTHERS, INC.
10 INVERNESS DRIVE, SUITE 125
ENGLEWOOD, COLORADO 80112
TEL: (303) 708-0730
TOLL SOUTHWEST LLC C/O

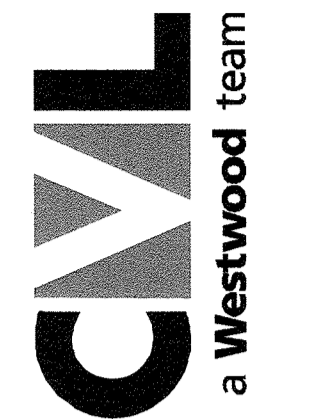
DATE:
01/12/21 SDP 1ST SUB
06/29/21 SDP 2ND SUB
07/30/21 SDP 3RD SUB
08/17/21 SDP 4TH SUB
02/02/22 SDP 5TH SUB
02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

SHEET TITLE:
GRADING PLAN

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF THE NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

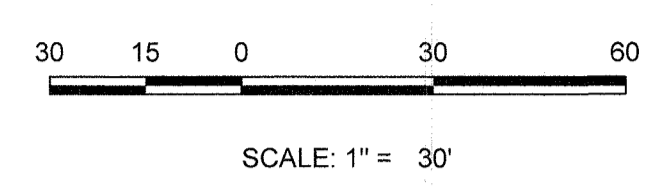


THE LANTERNS - FAMILY AMENITY CENTER
 SITE DEVELOPMENT PLAN
 TOWN OF CASTLE ROCK, COLORADO

OWNER:
 TOLL BROTHERS, INC.
 10 INVERNESS DRIVE, SUITE 125
 ENGLEWOOD, COLORADO 80112
 TEL: (303) 708-0730
 TOLL SOUTHWEST LLC C/O

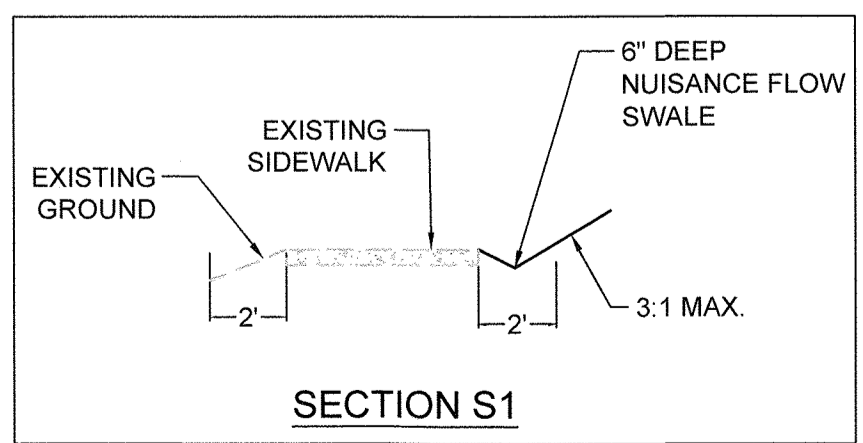
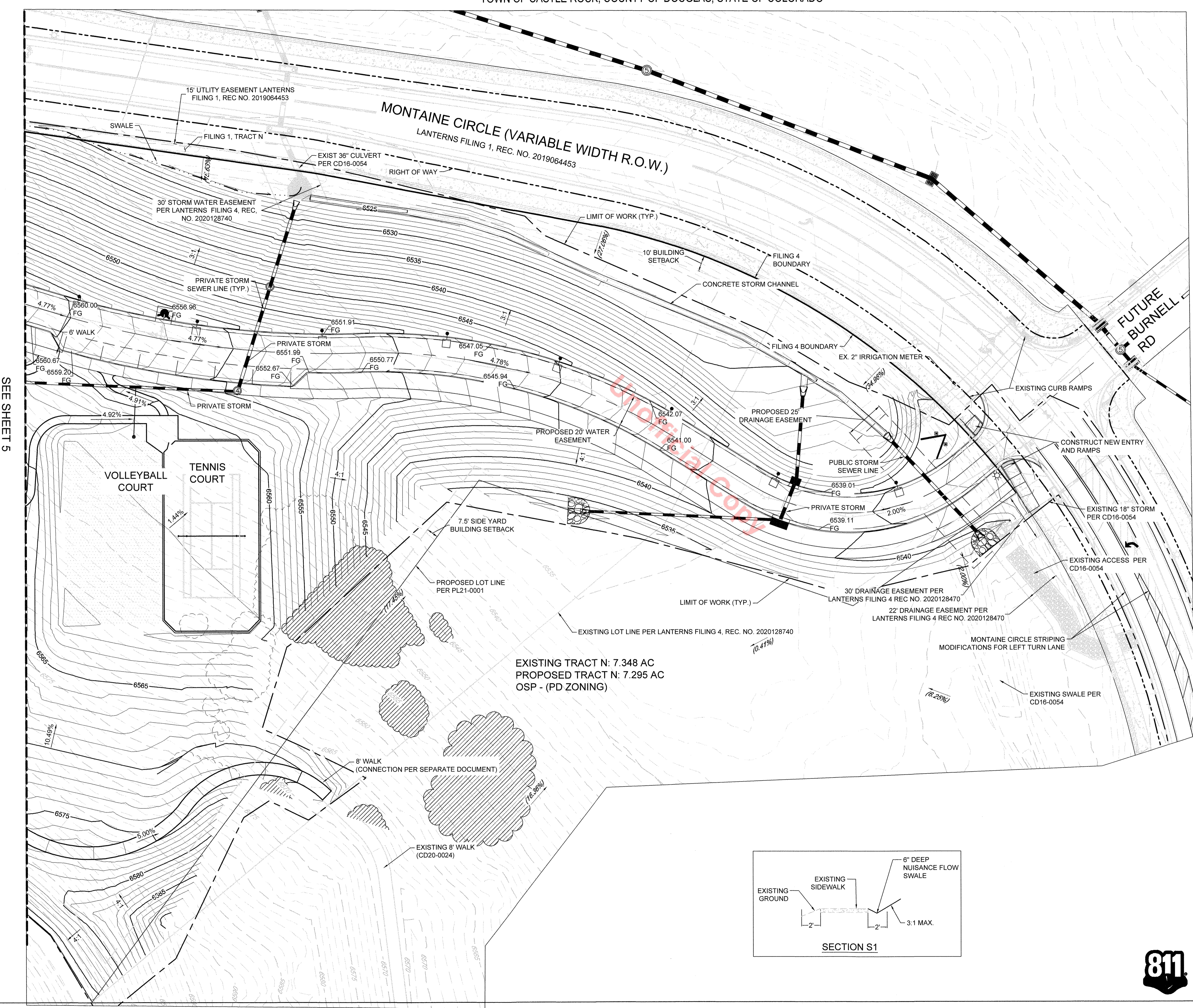
DATE:
 01/12/21 SDP 1ST SUB
 06/29/21 SDP 2ND SUB
 07/30/21 SDP 3RD SUB
 08/17/21 SDP 4TH SUB
 02/02/22 SDP 5TH SUB
 02/15/22 SDP 6TH SUB
 03/03/22 SDP 7TH SUB

SHEET TITLE:
 GRADING PLAN



LEGEND

- ② BLOCK NUMBER
- Ⓐ LOT TYPE
- 6 LOT NUMBER
- ☒ PROPOSED BUTTERFLY VALVE
- ⌒ PROPOSED CAP WITH END OF LINE BLOWOFF
- ⌒ PROPOSED REDUCER
- ⌒ PROPOSED VALVE
- ⌒ PROPOSED FIRE HYDRANT
- ⌒ PROPOSED WL FITTING WITH THRUST BLOCK
- ⌒ PROPOSED FLARED END SECTION
- ⌒ PROPOSED LOW POINT BLOW-OFF
- ⌒ PROPOSED AIR VALVE
- ⌒ EXISTING BLOW OFF VALVE
- ⌒ EXISTING VALVE
- ⌒ EXISTING FIRE HYDRANT
- ⌒ PROPOSED LIGHTING
- ⌒ PROPOSED STORM DRAIN INLET
- ⌒ PROPOSED STORM DRAIN MANHOLE
- CENTERLINE
- RIGHT-OF-WAY
- PROPERTY LINE
- EDGE OF PAVEMENT
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED SEWER LINE WITH MANHOLE
- PROPOSED SEWER LATERAL
- PROPOSED WATER LINE
- PROPOSED WATER LATERAL W/ METER
- RW — EXISTING 60" RAW WATER LINE
- GAS — GAS LINE
- FO — EXISTING FIBER OPTIC LINE
- HV — EXISTING OVERHEAD HIGH VOLTAGE LINE
- W — EXISTING WATER LINE
- E — EXISTING ELECTRIC LINE
- S — EXISTING SANITARY SEWER LINE
- TEL — EXISTING TELEPHONE LINE
- EXISTING 100-YR FLOODPLAIN
- PROPOSED 100-YR FLOODPLAIN
- MINOR
- DRAINAGE WAY



CALL UNCC
 TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
 534-6700 METRO DENVER AREA
 UTILITY NOTIFICATION CENTER OF COLORADO



SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10-LANTERNS FILING NO.4
 SDP21-0004

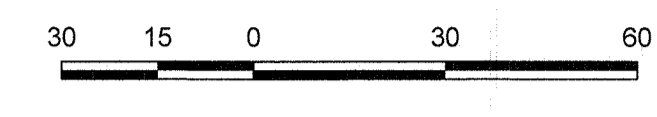
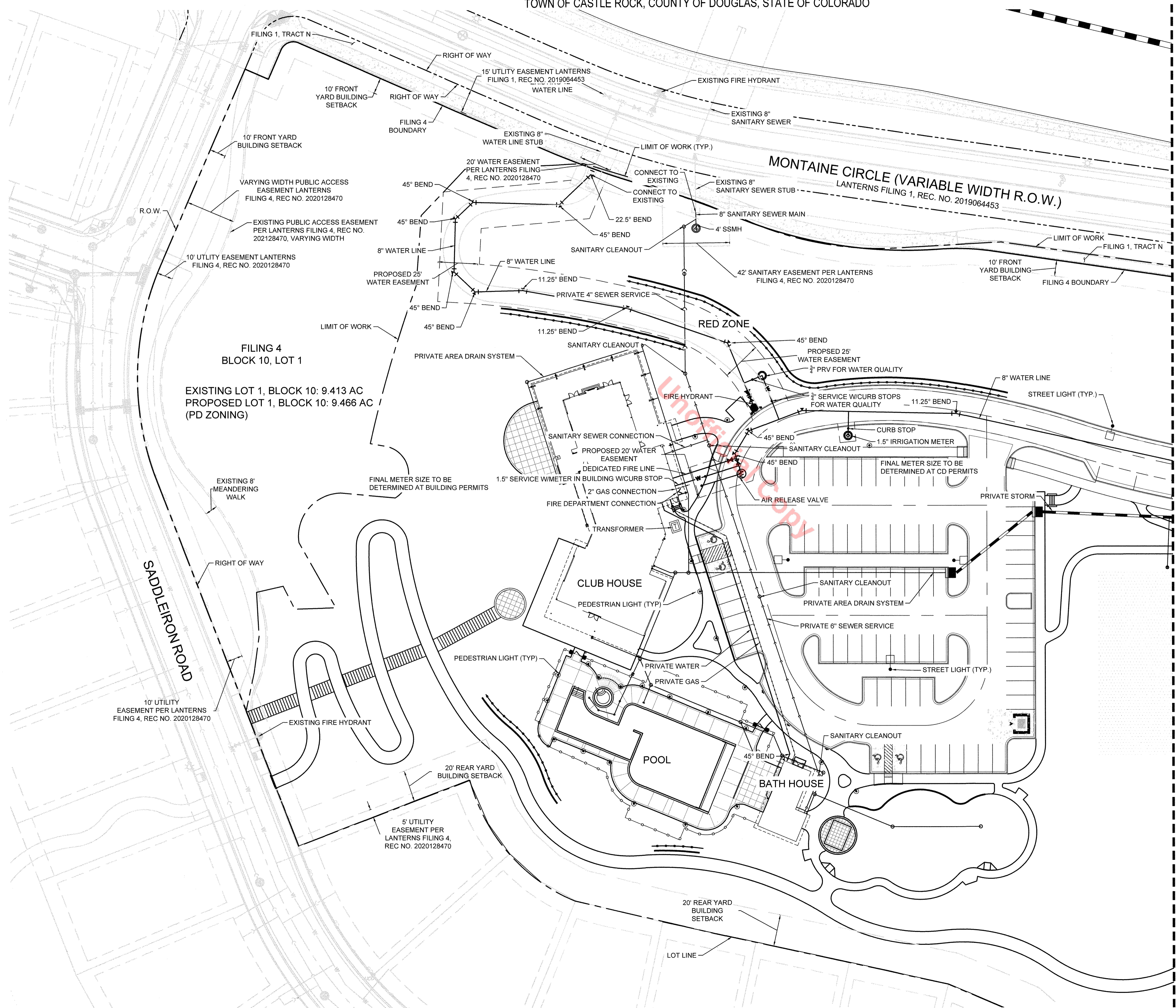
CHECKED BY:
 DRAWN BY:
 TJO RDH

SEE SHEET 5

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF THE NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND	
	BLOCK NUMBER
	LOT TYPE
	LOT NUMBER
	PROPOSED BUTTERFLY VALVE
	PROPOSED CAP WITH END OF LINE BLOWOFF
	PROPOSED REDUCER
	PROPOSED VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED W/L FITTING WITH THRUST BLOCK
	PROPOSED FLARED END SECTION
	PROPOSED LOW POINT BLOW-OFF
	PROPOSED AIR VALVE
	EXISTING BLOW OFF VALVE
	EXISTING VALVE
	EXISTING FIRE HYDRANT
	PROPOSED LIGHTING
	PROPOSED STORM DRAIN INLET
	PROPOSED STORM DRAIN MANHOLE
	CENTER-LINE
	RIGHT-OF-WAY
	PROPERTY LINE
	EDGE OF PAVEMENT
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	PROPOSED SEWER LINE WITH MANHOLE
	PROPOSED SEWER LATERAL
	PROPOSED WATER LINE
	PROPOSED WATER LATERAL W/ METER
	GAS LINE
	EXISTING FIBER OPTIC LINE
	EXISTING OVERHEAD HIGH VOLTAGE LINE
	EXISTING WATER LINE
	EXISTING ELECTRIC LINE
	EXISTING SANITARY SEWER LINE
	EXISTING TELEPHONE LINE
	EXISTING 100-YR FLOODPLAIN
	PROPOSED 100-YR FLOODPLAIN
	MINOR DRAINAGE WAY

SEE SHEET 8

FILING 4
BLOCK 10, LOT 1
EXISTING LOT 1, BLOCK 10: 9.413 AC
PROPOSED LOT 1, BLOCK 10: 9.466 AC
(PD ZONING)

- NOTES:
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS PORTION OF SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK RED WATER PRESSURE ZONE.

CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
534-6700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO



SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

10333 E. Dry Creek Rd.
Suite 240
Englewood, CO 80112
Tel: 720.482.952
www.cvlinc.net
westwoodsps.com

a Westwood team

THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

OWNER:
TOLL BROTHERS, INC.
10 INVERNESS DRIVE, SUITE 125
ENGLEWOOD, COLORADO 80112
TEL: (303) 708-0730
TOLL SOUTHWEST LLC C/O

DATE:
01/12/21 SDP 1ST SUB
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07/30/21 SDP 3RD SUB
08/17/21 SDP 4TH SUB
02/02/22 SDP 5TH SUB
02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

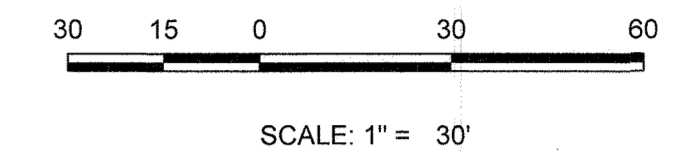
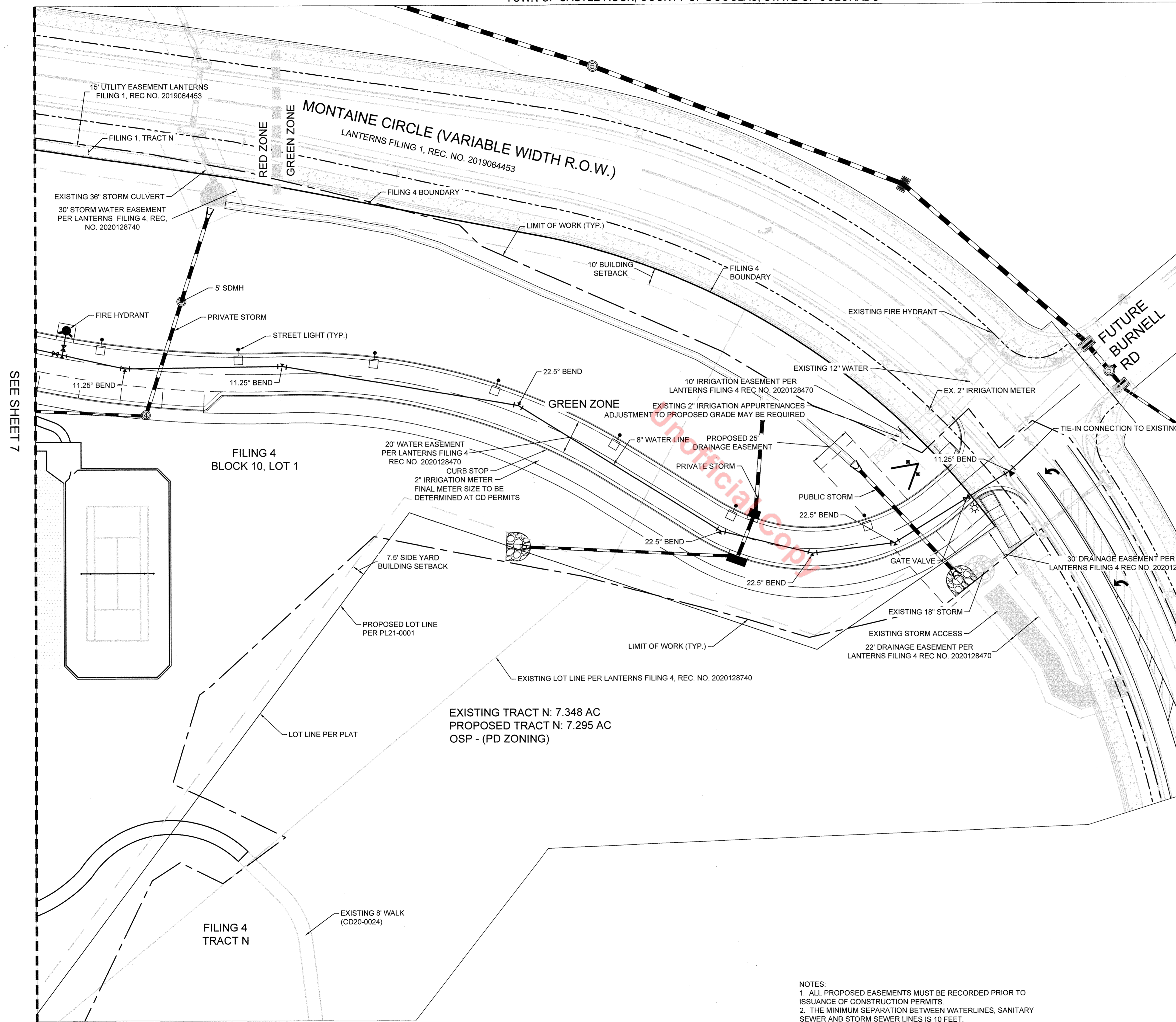
SHEET TITLE:
UTILITY PLAN

CHECKED BY: TJO
DRAWN BY: RDH

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF THE NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

- ② BLOCK NUMBER
- Ⓐ LOT TYPE
- 6 LOT NUMBER
- ☒ PROPOSED BUTTERFLY VALVE
- ⊥ PROPOSED CAP WITH END OF LINE BLOWOFF
- ⊥ PROPOSED REDUCER
- ⊥ PROPOSED VALVE
- ⊥ PROPOSED FIRE HYDRANT
- ⊥ PROPOSED WL FITTING WITH THRUST BLOCK
- ⊥ PROPOSED FLARED END SECTION
- ⊥ PROPOSED LOW POINT BLOW-OFF
- ⊥ PROPOSED AIR VALVE
- ⊥ EXISTING BLOW OFF VALVE
- ⊥ EXISTING FIRE HYDRANT
- ⊥ PROPOSED LIGHTING
- ⊥ PROPOSED STORM DRAIN INLET
- ⊥ PROPOSED STORM DRAIN MANHOLE
- CENTERLINE
- RIGHT-OF-WAY
- PROPERTY LINE
- EDGE OF PAVEMENT
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED SEWER LINE WITH MANHOLE
- PROPOSED SEWER LATERAL
- PROPOSED WATER LINE
- PROPOSED WATER LATERAL W/ METER
- RW — EXISTING 60" RAW WATER LINE
- GAS — GAS LINE
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD HIGH VOLTAGE LINE
- EXISTING WATER LINE
- EXISTING ELECTRIC LINE
- EXISTING SANITARY SEWER LINE
- TEL — TELEPHONE LINE
- EXISTING 100-YR FLOODPLAIN
- PROPOSED 100-YR FLOODPLAIN
- MINOR DRAINAGE WAY

EXISTING TRACT N: 7.348 AC
 PROPOSED TRACT N: 7.295 AC
 OSP - (PD ZONING)

- NOTES:
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS PORTION OF SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN WATER PRESSURE ZONE.

10333 E. Dry Creek Rd.
 Suite 240
 Englewood, CO 80112
 Tel: 720.482.952
 www.cvlinc.net
 westwoodps.com

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THE LANTERNS - FAMILY AMENITY CENTER
 SITE DEVELOPMENT PLAN
 TOWN OF CASTLE ROCK, COLORADO

OWNER:
 TOLL BROTHERS, INC.
 10 INVERNESS DRIVE, SUITE 125
 ENGLEWOOD, COLORADO 80112
 TEL: (303) 708-0730
 TOLL SOUTHWEST LLC C/O

DATE:
 01/12/21 SDP 1ST SUB
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 07/30/21 SDP 3RD SUB
 08/17/21 SDP 4TH SUB
 02/02/22 SDP 5TH SUB
 02/15/22 SDP 6TH SUB
 03/03/22 SDP 7TH SUB

SHEET TITLE:
 UTILITY PLAN

CALL UNCC
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BEFORE YOU DIG
 1-800-922-1987
 534-6700 METRO DENVER AREA
 UTILITY NOTIFICATION CENTER OF COLORADO

811
 SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10-LANTERNS FILING NO.4
 SDP21-0004

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND

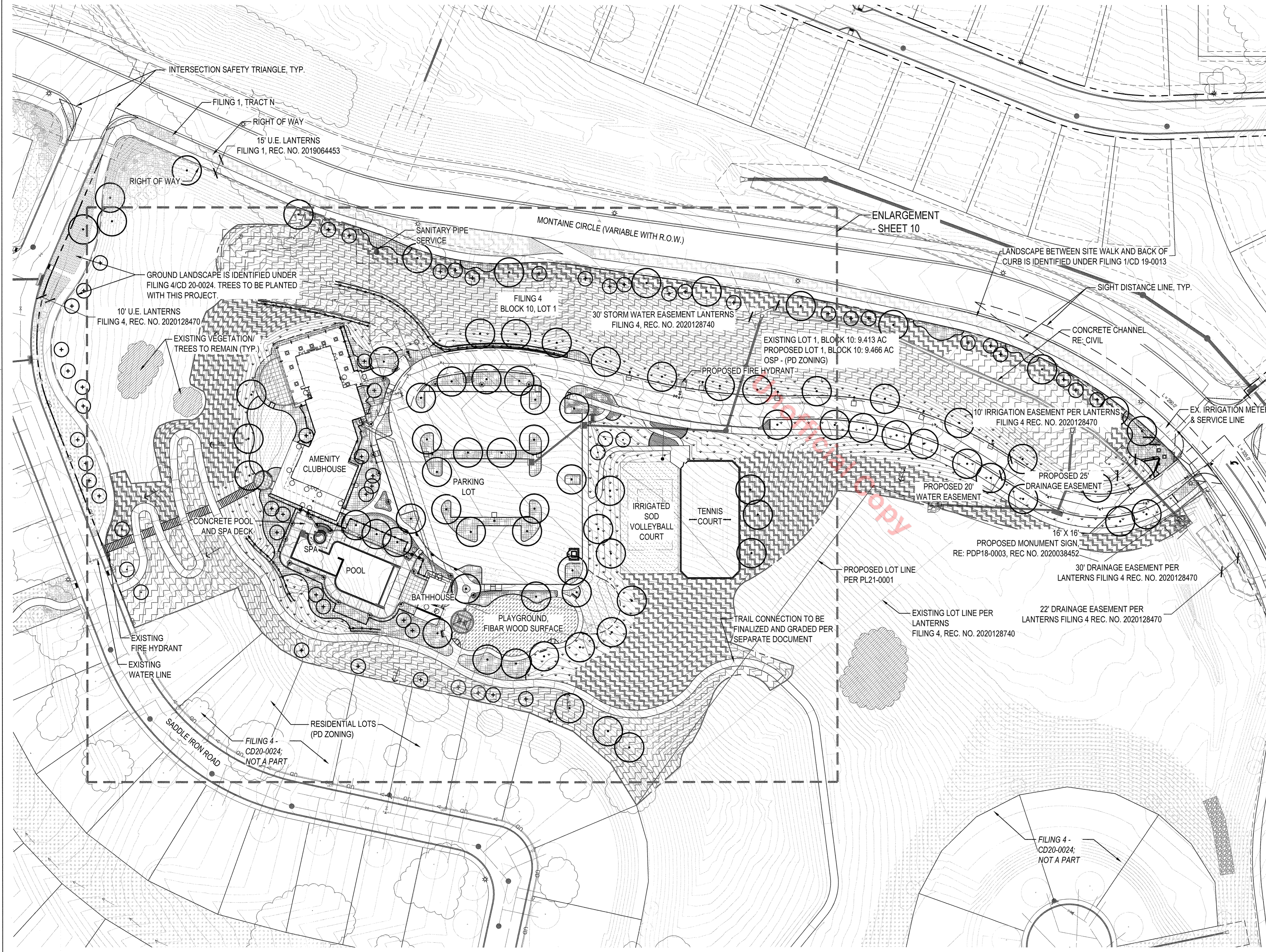
- PROPOSED CANOPY TREE [83]
- PROPOSED ORNAMENTAL TREE [7]
- PROPOSED EVERGREEN TREE [54]
- TEXAS HYBRID BLUEGRASS - HIGH HYDROZONE
- SHRUB BED (ROCK MULCH) - LOW HYDROZONE
- PERENNIALS (WOOD MULCH) - LOW HYDROZONE
- IRRIGATED GRASS SEED MIX - LOW HYDROZONE
- TEMPORARY IRRIGATED GRASS SEED MIX - LOW HYDROZONE
- NON-IRRIGATED GRASS SEED MIX - LOW HYDROZONE
- PLAYGROUND SURFACE
- EXISTING VEGETATION TO BE REMOVED
- EXISTING VEGETATION TO REMAIN
- LIMIT OF LANDSCAPE IMPROVEMENT
- ENLARGEMENT
- STEEL EDGER
- RETAINING WALL, RE: CIVIL

CASTLE ROCK SPECIFIC LANDSCAPE NOTES:

1. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
9. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
10. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
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13. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
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1. SOD AREAS 10' OR WIDER MAY BE IRRIGATED WITH OVERHEAD IRRIGATION.
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THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

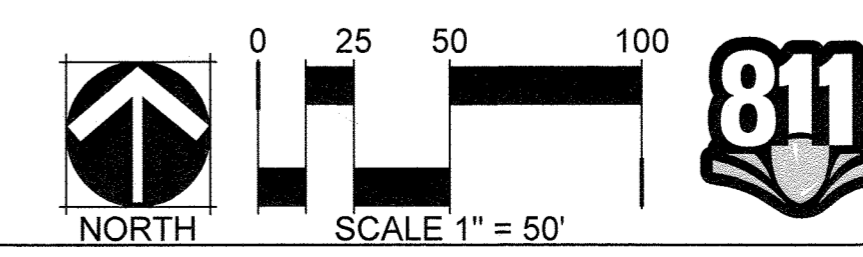
OWNER:
TOLL SOUTHWEST LLC C/O
TOLL BROTHERS, INC.
10 INVERNESS DRIVE, SUITE 125
ENGLEWOOD, COLORADO 80112
TEL: (303) 708-0730

NOT FOR CONSTRUCTION

DATE:
01/12/21 SDP 1ST SUB
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07/30/21 SDP 3RD SUB
08/17/21 SDP 4TH SUB
02/02/22 SDP 5TH SUB
02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

SHEET TITLE:
LANDSCAPE PLAN

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004



CHECKED BY: SM, GB, TK
DRAWN BY: GB, CR, TK

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND

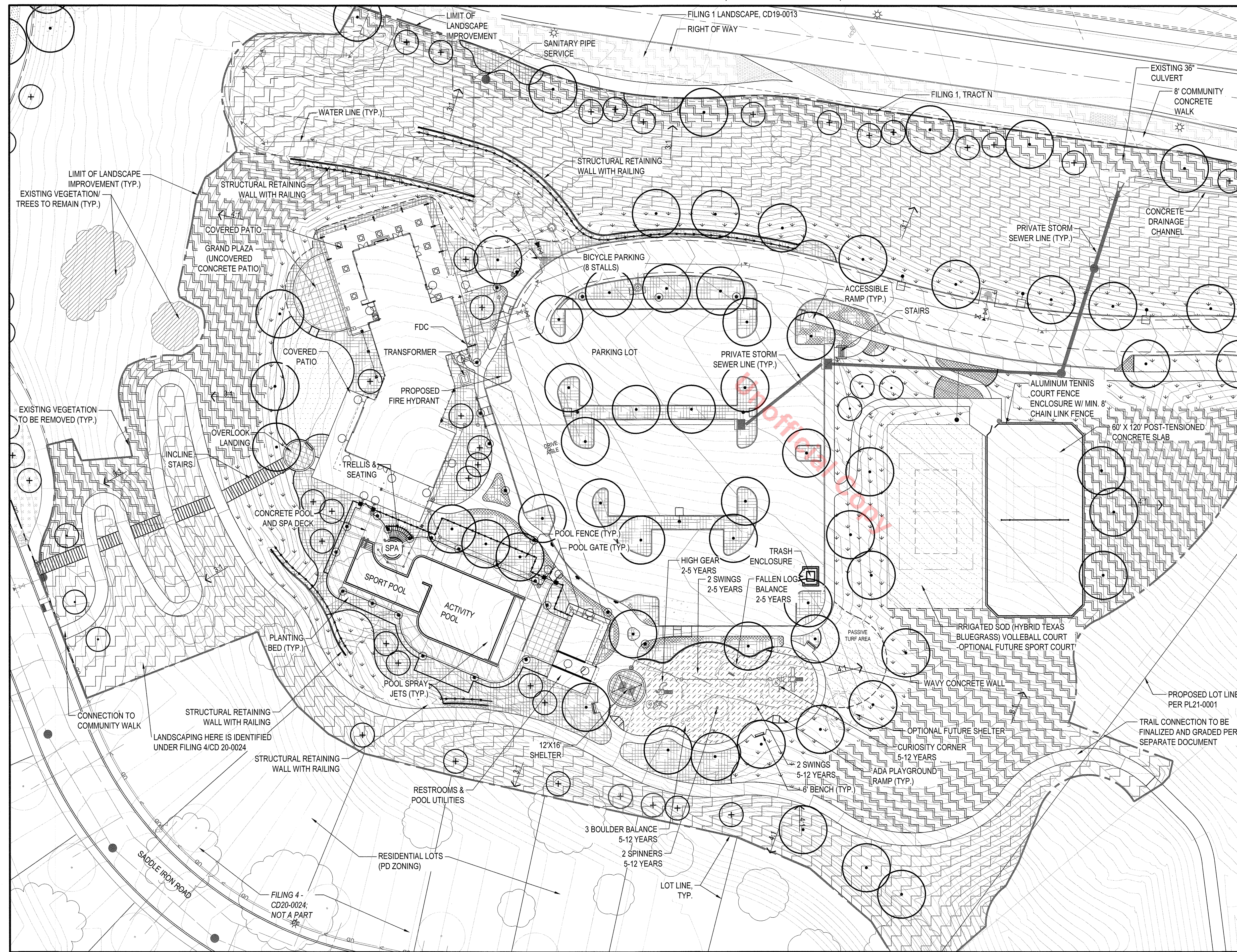
- PROPOSED CANOPY TREE [83]
- PROPOSED ORNAMENTAL TREE [7]
- PROPOSED EVERGREEN TREE [54]
- TEXAS HYBRID BLUEGRASS - HIGH HYDROZONE
- SHRUB BED (ROCK MULCH) - LOW HYDROZONE
- PERENNIALS (WOOD MULCH) - LOW HYDROZONE
- IRRIGATED GRASS SEED MIX - LOW HYDROZONE
- TEMPORARY IRRIGATED GRASS SEED MIX - LOW HYDROZONE
- NON-IRRIGATED GRASS SEED MIX - LOW HYDROZONE
- PLAYGROUND SURFACE
- EXISTING VEGETATION TO BE REMOVED
- EXISTING VEGETATION TO REMAIN
- LIMIT OF LANDSCAPE IMPROVEMENT
- ENLARGEMENT
- STEEL EDGER
- RETAINING WALL, RE: CIVIL

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SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

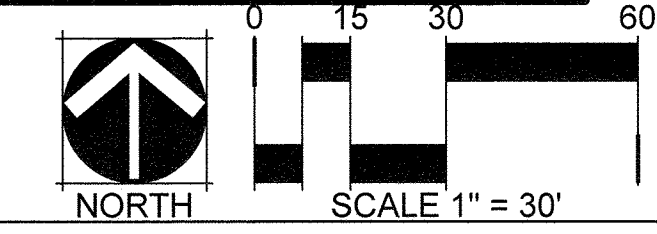
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CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
534-6700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO



SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

CHECKED BY: SM, GB
DRAWN BY: GB, CR, TK

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN

LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

COMMERCIAL SITE LANDSCAPE SITE INVENTORY

TOWN OF CASTLE ROCK REGISTERED PROFESSIONAL: SEAN MALONE
TOWN OF CASTLE ROCK REGISTRATION #: 16-1722
STATE OF COLORADO LICENSE LANDSCAPE ARCHITECT #: 517
COMPANY: NORRIS DESIGN
ADDRESS: 1101 BANNOCK STREET, DENVER, COLORADO 80204
PHONE: 303-892-1166
EMAIL: SMALONE@NORRIS-DESIGN.COM
DATE: 07/30/2021

MONTAINE FAMILY - COMMERCIAL SITE LANDSCAPE INVENTORY

GROSS SITE AREA	REQUIRED LANDSCAPE AREA IN SQ.FT.	PROPOSED LANDSCAPE AREA IN SQ.FT.	TURFGRASS LIST SPECIES (AREA IN SQ.FT.)	NONLIVING ORNAMENTAL (AREA IN SQ.FT.)	NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED	NUMBER OF SHRUBS REQUIRED	NUMBER OF SHRUBS PROVIDED	SOIL PREP AMOUNT (IN CUBIC YRDS PER 1000 SQ.FT.)	SEPARATE IRRIGATION SERVICE CONNECTIONS
412,351 SQ.FT.	41,235 SQ.FT.	240,705 SQ.FT.	TEXAS HYBRID BLUEGRASS (11,636)	0	82	138	164	504	4 CU.YDS PER 1000 SQ.FT.	YES
PARKING LOT (AREA IN SQ.FT.)	REQUIRED PARKING LOT (AREA IN SQ.FT.)	PROPOSED PARKING LOT (AREA IN SQ.FT.)	NUMBER OF PARKING SPACES	NONLIVING ORNAMENTAL (AREA IN SQ.FT.)	NUMBER OF INTERIOR LANDSCAPE ISLANDS	MINIMUM WIDTH OF INTERIOR LANDSCAPE ISLANDS	NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED	NUMBER OF SHRUBS REQUIRED	NUMBER OF SHRUBS PROVIDED
37,868	3,786	7,377	84	0	8	9'	8	18	15	140

- NOTES:
- GROSS AREA MINIMUM LANDSCAPE AREA IS 10%. PARKING AREA MINIMUM LANDSCAPE AREA IS 10%.
 - REQUIRED TREES = 2 TREES PER 1,000 SF OF REQUIRED LANDSCAPE AREA
 - REQUIRED SHRUBS = 4 SHRUBS PER 1,000 SF OF REQUIRED LANDSCAPE AREA

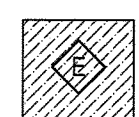
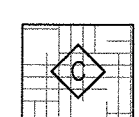
MONTAINE FAMILY - STREETSCAPE REQUIREMENT TABLE

STREET	LINEAR FEET	TREES REQUIRED (1 TREE / 40 LF)	TREES PROVIDED	SHRUBS REQUIRED (4 SHRUBS / 1 REQUIRED TREE)	SHRUBS PROVIDED
MONTAINE PARKWAY	1214	30	32	120	120
SADDLE IRON ROAD	563	14	14	56*	56

NOTES
* PROVIDED IN FILING 4

LANDSCAPE SUMMARY TABLE

LANDSCAPE TYPE	SQUARE FOOTAGE	PERCENTAGE
IRRIGATED NATIVE SEED	42,599	18%
TEMPORARY IRRIGATED NATIVE SEED	63,398	15%
TURF (TEXAS HYBRID BLUEGRASS)	11,636	5%
NON-IRRIGATED NATIVE SEED	93,426	39%
IRRIGATED BED	27,767	12%
TOTAL AREA LANDSCAPE	238,826	
TOTAL PROJECT SITE	412,351	

	ENGINEERED WOOD FIBER	SF
	ENGINEERED WOOD FIBER	13,144
	SHRUB BED MULCH	SF
	MULTI. COLOR RIVER ROCK, 1 1/2" DIA.	27,831

COMPOSITE LANDSCAPE WATER USE RATING CHART

LANDSCAPE ZONE	LWU RATING RANGE
VERY LOW WATER USE	0.0 to 1.5
LOW WATER USE	+1.5 to 3.0
MODERATE WATER USE	+3.0 to 4.5
HIGH WATER USE	+4.5

NOTES:
THE LWUR RATING RANGE IS BASED ON POST ESTABLISHMENT WATERING SCHEDULES.
TEMPORARY IRRIGATION IS NOT INCLUDED IN THE CLWUR CALCULATION

IRRIGATION ZONE	PLANT NAME (COMMON)	APPLICATION RATE (INCHES/MONTH)	LANDSCAPE ZONE	% OF IRRIGATED AREA (TA)	IA (IRRIGATED AREA IN SQ FT FOR EACH ZONE)	LWUR (LANDSCAPE WATER USE RATING)	TOTAL AREA (TA)	CLWUR (LWUR X IA)/TA
SPRAY	IRRIGATED TURF (TEXAS HYBRID BLUEGRASS)	4.5 in./mo.	HIGH	14%	11,636	4.5	82,002	0.64
DRIP	SHRUB BED	2.4 in./mo.	LOW	34%	27,767	2.4	82,002	0.81
SPRAY ROTORS	IRRIGATED NATIVE SEED	2.0 in./mo.	LOW	52%	42,599	2.0	82,002	1.04
TOTALS				100	82,002		82,002	2.49
TOTAL OF THE CLWUR								2.49

LANDSCAPE PLANTING NOTES

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- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
- ALL STREETSCAPE TREES ARE TO BE LOW WATER USE.

CONCEPTUAL IRRIGATION STANDARD NOTES:

- ALL TURF AREAS 10' OR WIDER MAY BE IRRIGATED WITH OVERHEAD IRRIGATION
- TREES ARE TO BE IRRIGATED USING SUBSURFACE DRIP EMITTERS
- NATIVE SEED GRASSES THAT ARE IRRIGATED ARE TO USE ROTORS UNLESS OTHERWISE NOTED
- TURF AREAS LESS THAN 10' IN WIDTH WILL BE IRRIGATED WITH SUBSURFACE DRIP IRRIGATION

GRADING NOTES

- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE. MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE (3:1).
- MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS SHALL BE 5% UNLESS OTHERWISE INDICATED ON THE PLANS.
- ALL SLOPES EQUAL TO 3:1 ARE TO BE CALLED OUT ON THE LANDSCAPE SHEETS

THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

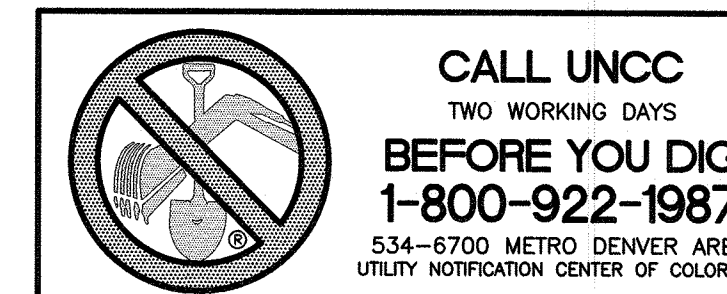
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SHEET TITLE:
LANDSCAPE
CALCULATIONS &
NOTES

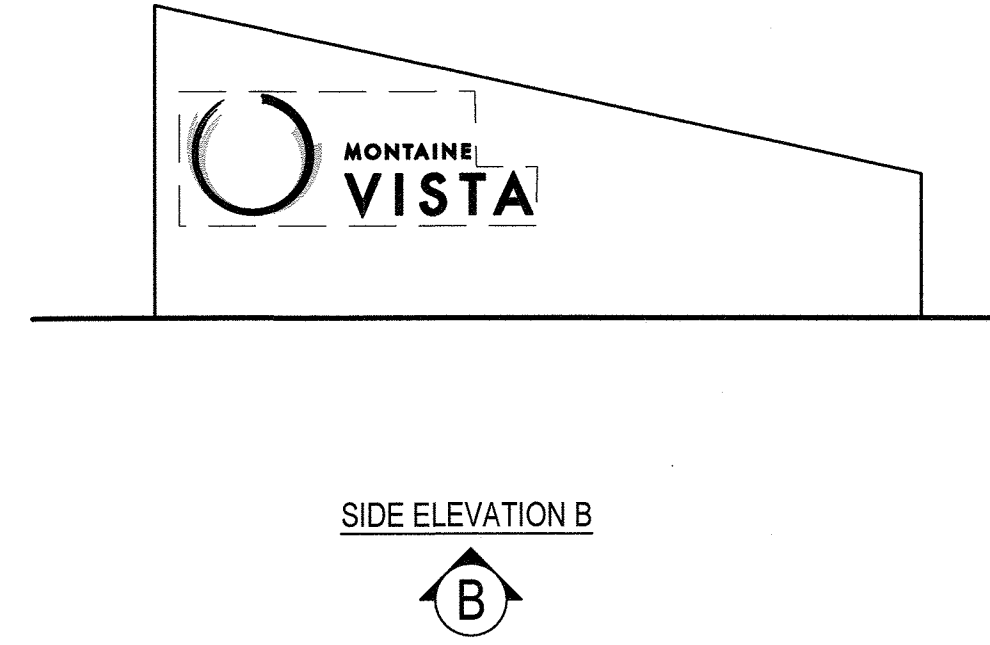
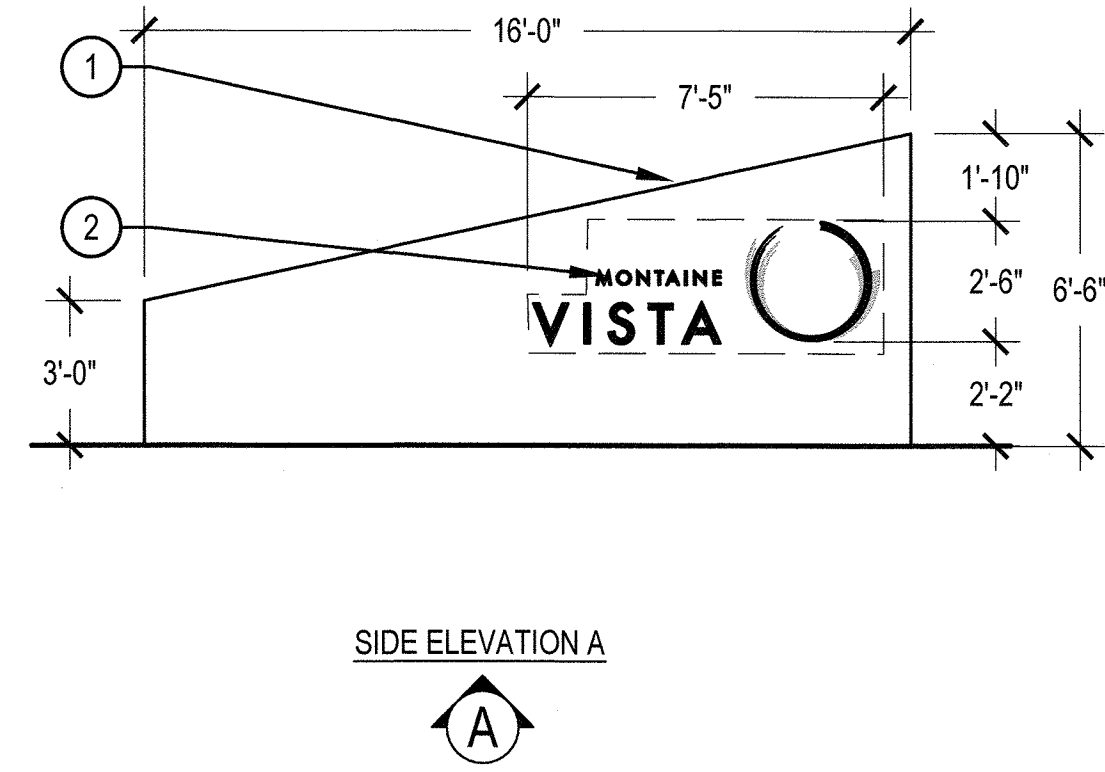
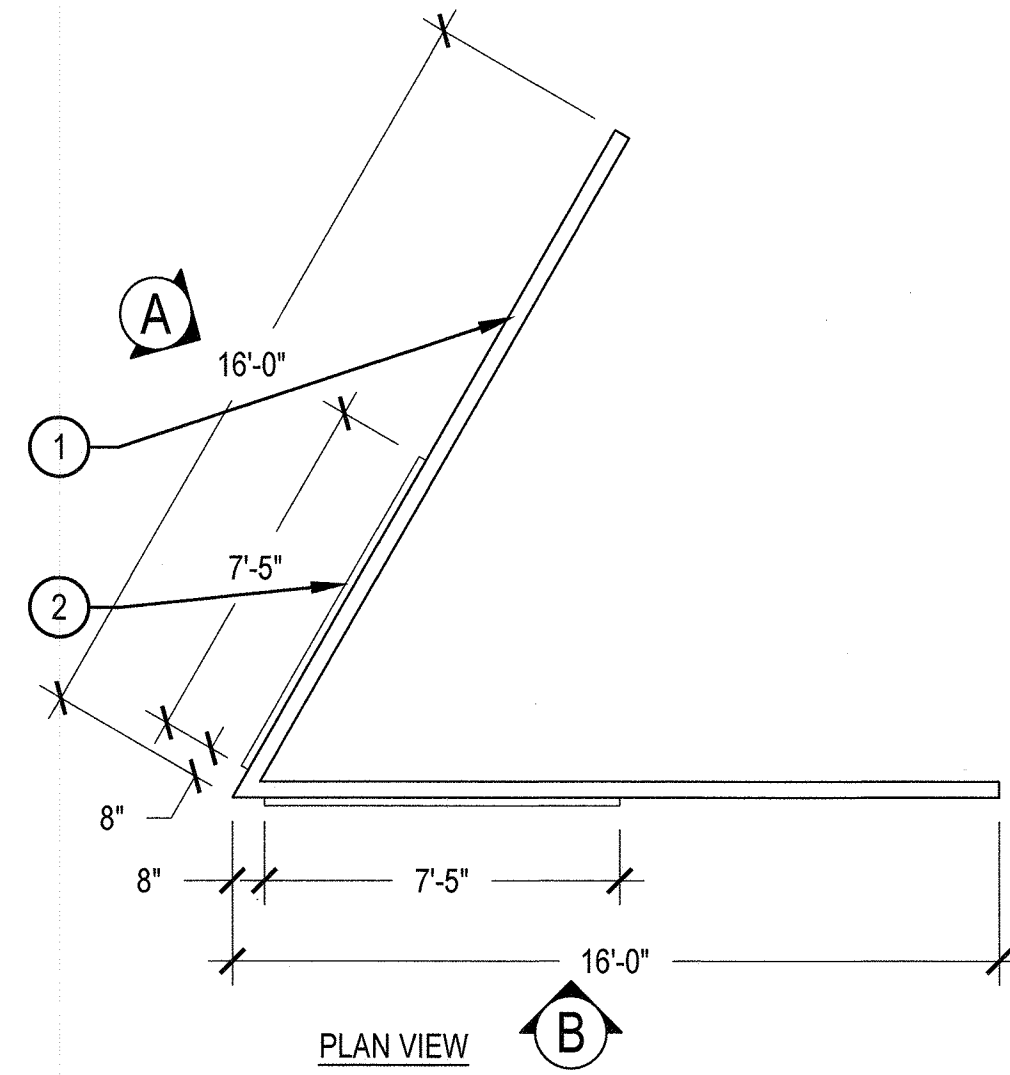


SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

THE LANTERNS - FAMILY AMENITY CENTER

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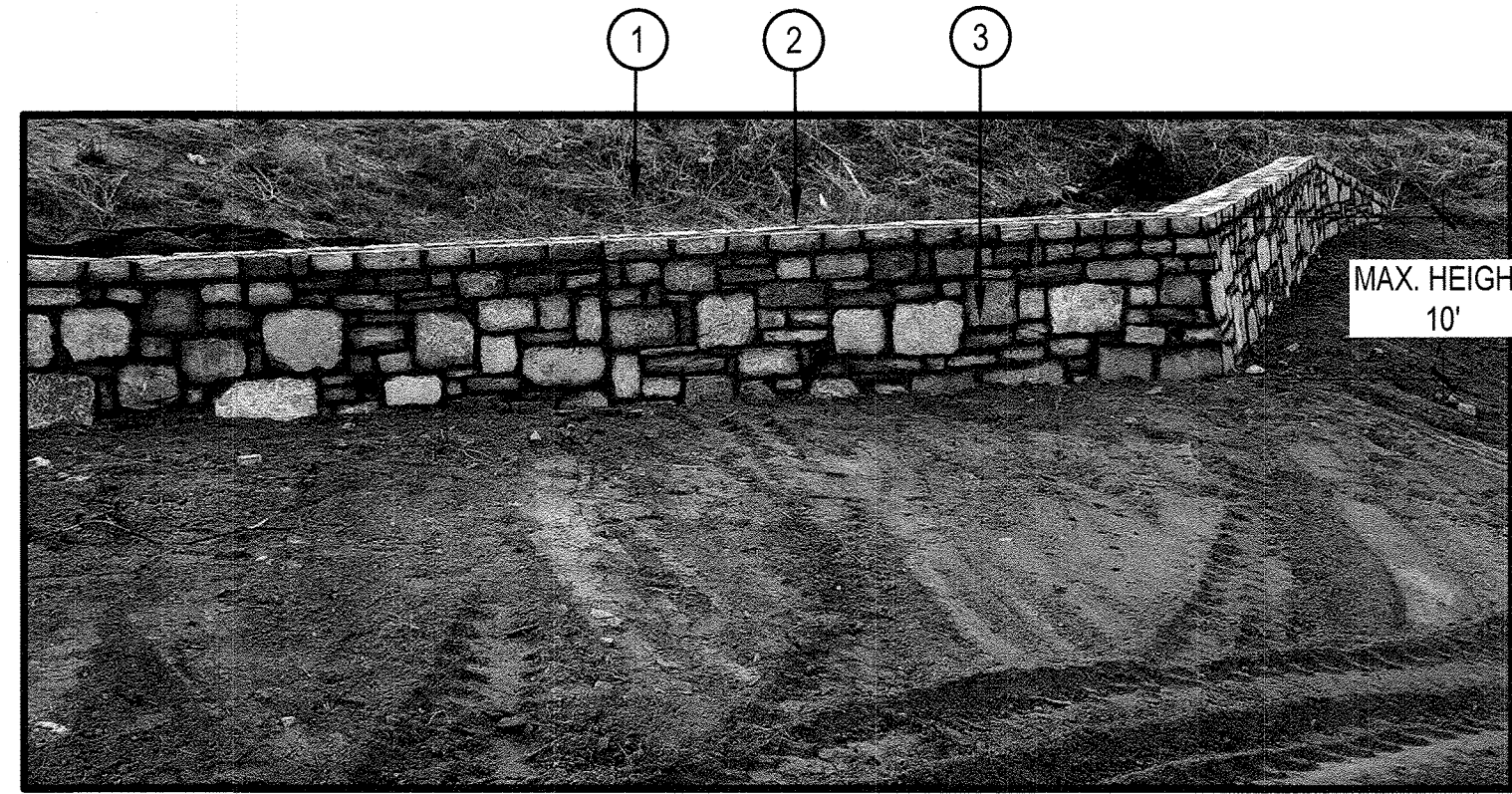
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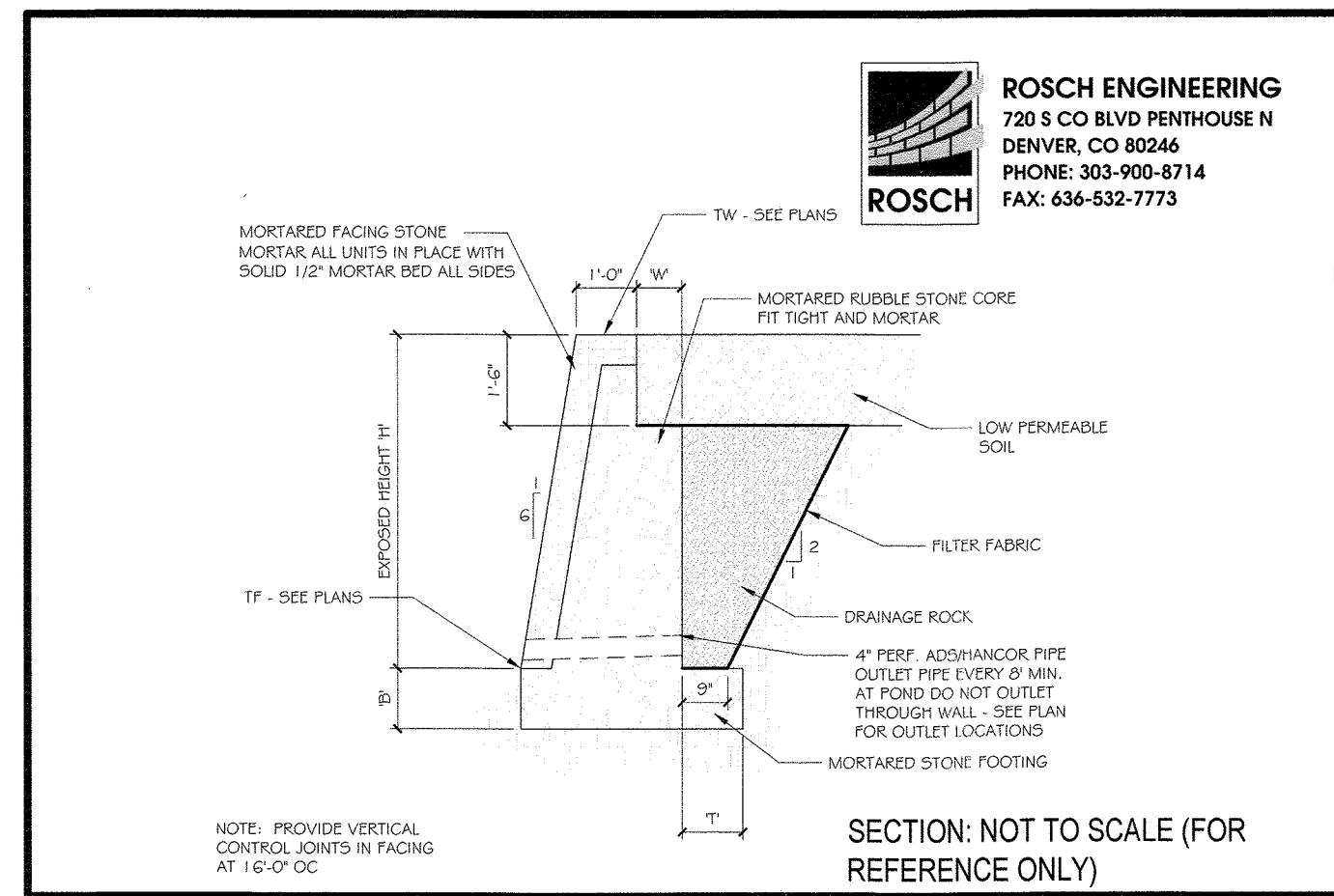
- ① 4" CORTEN CABINET
- ② PIN MOUNTED BRUSHED STAINLESS STEEL LETTERS AND LOGO, "MONTAINE" LETTERS TO BE 3.5" TALL AND "VISTA" LETTERS TO BE 10" TALL. 37.54 SQUARE FEET TOTAL

1 VISTA REC CENTER MONUMENT - LAYOUT / ELEVATION

SCALE: 1/4" = 1'-0"



CHARACTER IMAGE



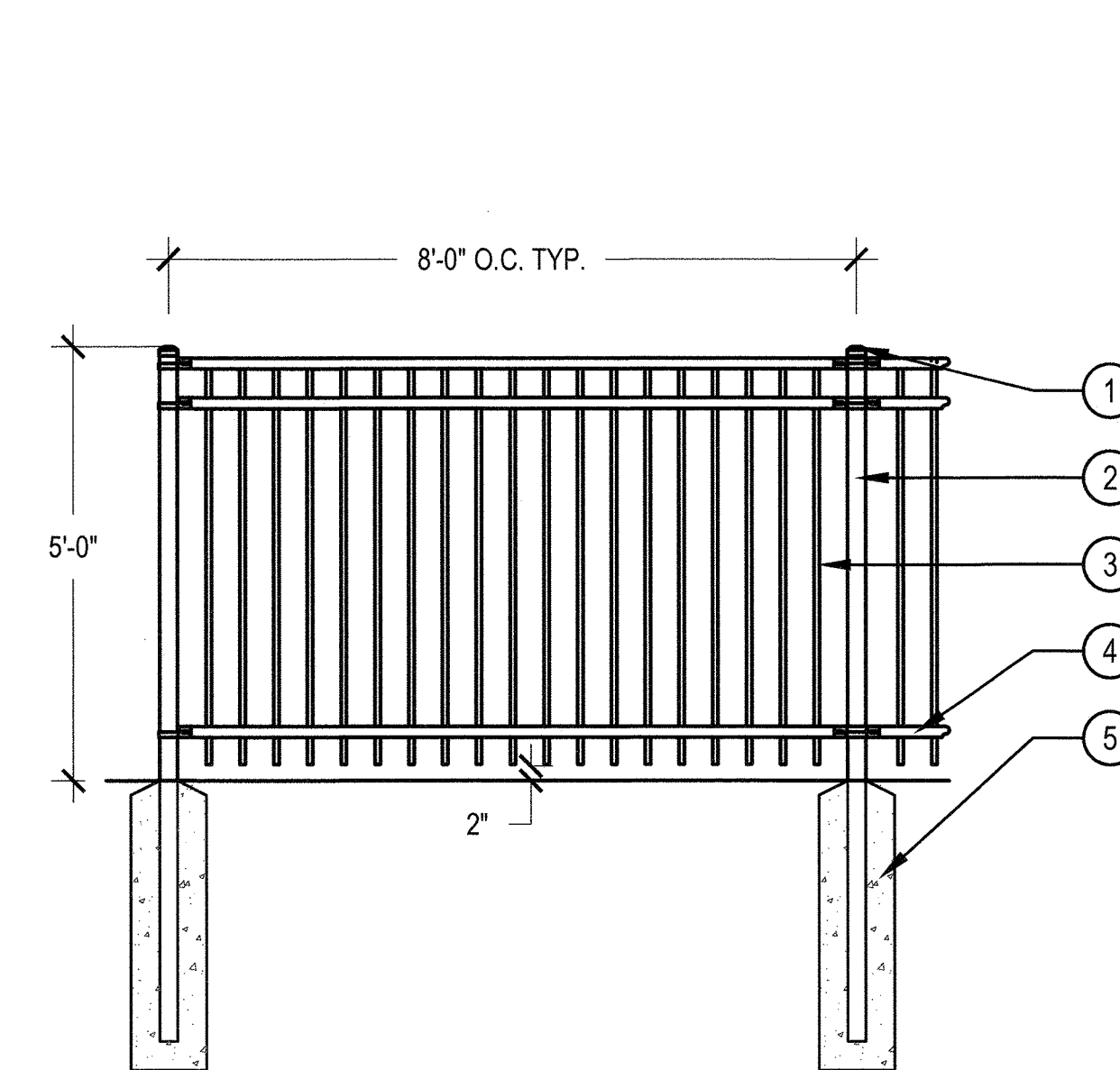
- ① SWALE AT TOP OF WALL; REF: CIVIL DRAWINGS
- ② 42" RAILING WHEN WALL EXCEEDS 30" IN HEIGHT; REF: LANDSCAPE DETAIL
- ③ MORTARED FACING STONE

WALL DESIGNER CONTACT:
 1. RETAINING WALL STRUCTURAL DETAILS TO BE PROVIDED BY ROSCH ENGINEERING UNDER SEPARATE COVER AT THE TIME OF BUILDING DEPARTMENT SUBMITTAL.
 2. CONTACT: STEVE KELLEY, ROSCH COMPANY
 PHONE: 303.900.8714

- NOTES:
1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSE. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW AND APPROVAL BY OWNER AND PERMITTING PURPOSES. PERMIT DETAILS SHALL MATCH DIMENSIONS AND MATERIALS SPECIFIED HERE BUT MAY INCLUDE RAILING.
 2. GEOGRID NOT REQUIRED FOR THIS WALL TYPE. WALL DESIGN WILL NOT RESTRICT ADJACENT 2-RAIL FENCE OR PROPOSED LANDSCAPE USE.
 3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,000 PSI AT 28 DAYS.
 4. STONE COLOR AND MORTAR JOINTS WILL VARY

2 RETAINING WALL

SCALE: 3/4" = 1'-0"



- ① 2 1/2" POST CAP
- ② 2 1/2" SQUARE X 16 GAUGE POST
- ③ 3/8" SQUARE X 18 GAUGE PICKET, 3" ON CENTER
- ④ 1 1/2" X 1 1/2" X 16 GAUGE TOP AND BOTTOM RAILS
- ⑤ CONCRETE FOOTING PER MANUFACTURER. SLOPE CONCRETE AWAY FROM POST FOR POSITIVE DRAINAGE

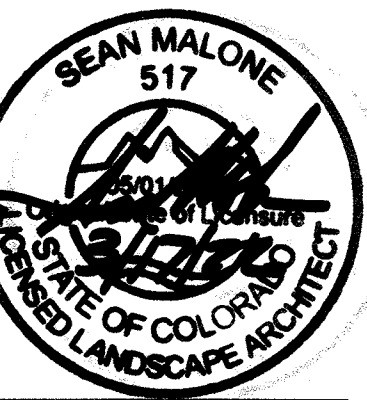
NOTES:
 MANUFACTURER: AMERISTAR
 MODEL: MONTAGE PLUS
 STYLE: MAJESTIC 3 RAIL
 COLOR: BLACK TO MATCH EXISTING OR APPROVED EQUAL

3 METAL FENCE - POOL

SCALE: 1/2" = 1'-0"

THE LANTERNS - FAMILY AMENITY CENTER
 SITE DEVELOPMENT PLAN
 TOWN OF CASTLE ROCK, COLORADO

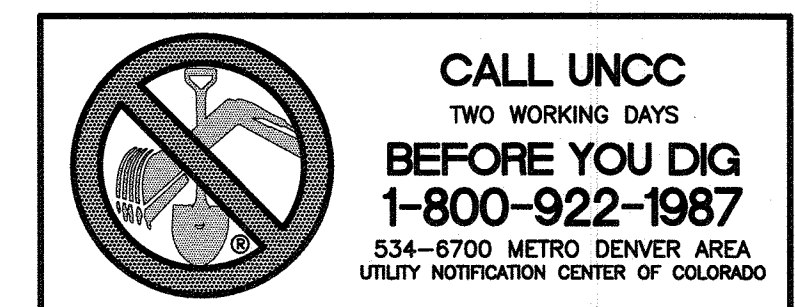
OWNER:
 TOLL SOUTHWEST LLC C/O
 TOLL BROTHERS, INC.
 10 INVERNESS DRIVE, SUITE 125
 ENGLEWOOD, COLORADO 80112
 TEL: (303) 708-0730



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 - 07/30/21 SDP 3RD SUB
 - 08/17/21 SDP 4TH SUB
 - 02/02/22 SDP 5TH SUB
 - 02/15/22 SDP 6TH SUB
 - 03/03/22 SDP 7TH SUB

SHEET TITLE:
 LAND DETAILS

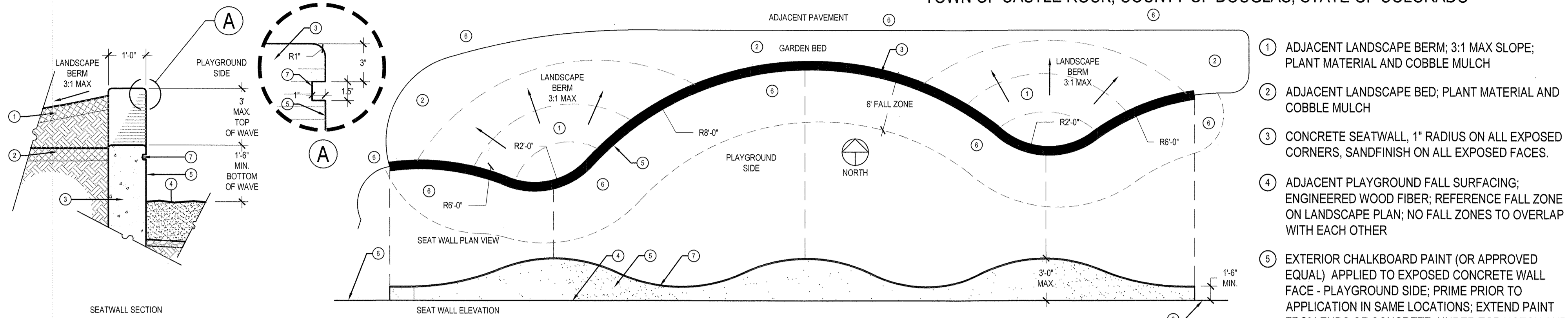


SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10-LANTERNS FILING NO.4
 SDP21-0004

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

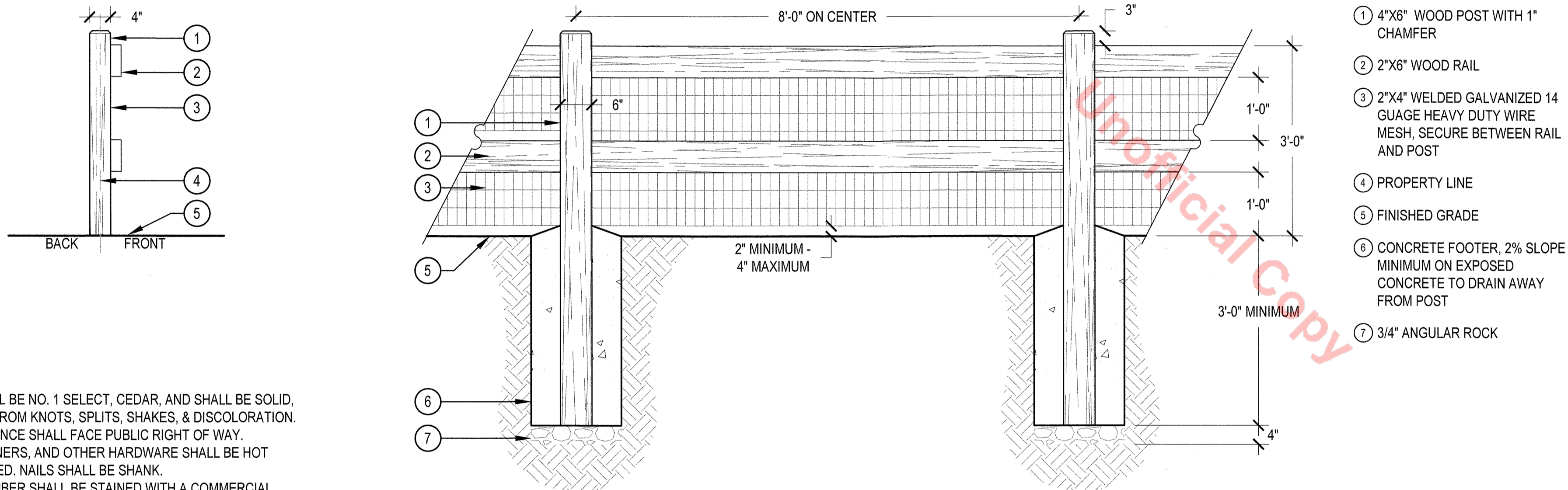


- ① ADJACENT LANDSCAPE BERM; 3:1 MAX SLOPE; PLANT MATERIAL AND COBBLE MULCH
- ② ADJACENT LANDSCAPE BED; PLANT MATERIAL AND COBBLE MULCH
- ③ CONCRETE SEATWALL, 1" RADIUS ON ALL EXPOSED CORNERS, SANDFINISH ON ALL EXPOSED FACES.
- ④ ADJACENT PLAYGROUND FALL SURFACING; ENGINEERED WOOD FIBER; REFERENCE FALL ZONE ON LANDSCAPE PLAN; NO FALL ZONES TO OVERLAP WITH EACH OTHER
- ⑤ EXTERIOR CHALKBOARD PAINT (OR APPROVED EQUAL) APPLIED TO EXPOSED CONCRETE WALL FACE - PLAYGROUND SIDE; PRIME PRIOR TO APPLICATION IN SAME LOCATIONS; EXTEND PAINT FROM ENDS OF CONCRETE, UNDER TOP NOTCH AND 6" BELOW FINISH GRADE.
- ⑥ SURROUNDING HARDSCAPE; REFERENCE PLAN
- ⑦ NOTCH FORMED IN CONCRETE - 1" DEPTH X 1.5" TALL RUNNING THE ENTIRE EXPOSED FACE OF THE PLAYGROUND AND FOLLOWING THE RISE AND FALL OF THE WALL CONSISTANTLY

- NOTES:
1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR MATERIAL AND DIMENSIONS. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW AND APPROVAL BY OWNER AND PERMITTING PURPOSES.
 2. PERMIT DETAILS SHALL MATCH DIMENSIONS AND MATERIALS SPECIFIED HERE. GEOGRID NOT REQUIRED FOR THIS WALL TYPE. NO RESTRICTION TO PLANT MATERIAL ON THE NORTH SIDE OF THIS WALL.
 3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,000 PSI AT 28 DAYS.
 4. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2'-1/2'.
 5. VERTICAL CONTROL JOINTS SHALL BE 10' ON CENTER WITH EXPANSION JOINTS 50' ON CENTER, UNLESS OTHERWISE NOTED.
 6. VERTICAL FACES OF WALL SHALL BE PLUMB, WITH NO INCONSISTENCIES GREATER THAN 1/4" IN 10'-0" MEASURED IN ANY DIRECTION ALONG THE FACE OF THE WALL.
 7. WALL SHALL BE INSTALLED SO HORIZONTAL CURVES ARE SMOOTH AND FREE-FLOWING AS SHOWN ON PLANS.

1 WAVY CONCRETE SEAT WALL - PLAYGROUND

SCALE: N.T.S.



- NOTES:
1. ALL LUMBER SHALL BE NO. 1 SELECT, CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, & DISCOLORATION.
 2. FRONT SIDE OF FENCE SHALL FACE PUBLIC RIGHT OF WAY.
 3. ALL NAILS, FASTENERS, AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.
 4. ALL EXPOSED LUMBER SHALL BE STAINED WITH A COMMERCIAL GRADE SEALANT. REFER TO MATERIAL SCHEDULE FOR COLOR.

2 2-RAIL FENCE - RETAINING WALL

SCALE: 3/4" = 1'-0"

THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

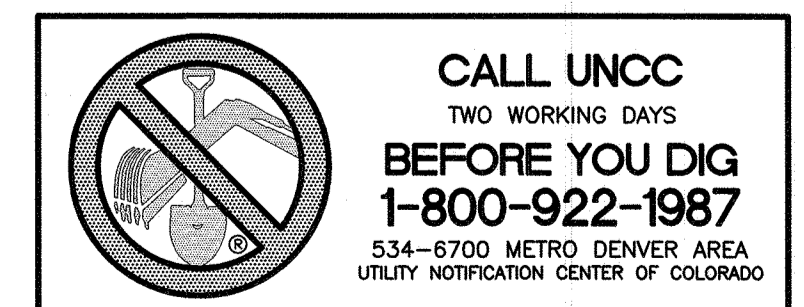
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03/03/22 SDP 7TH SUB

SHEET TITLE:
LAND DETAILS



SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

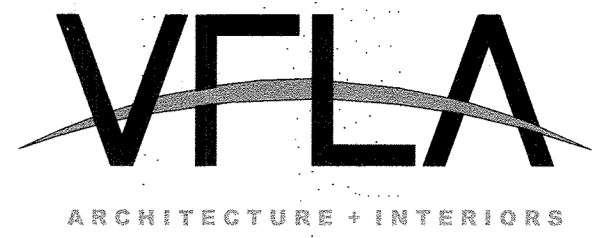
THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN

LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER: 2021-14



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SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

OWNER:
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02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

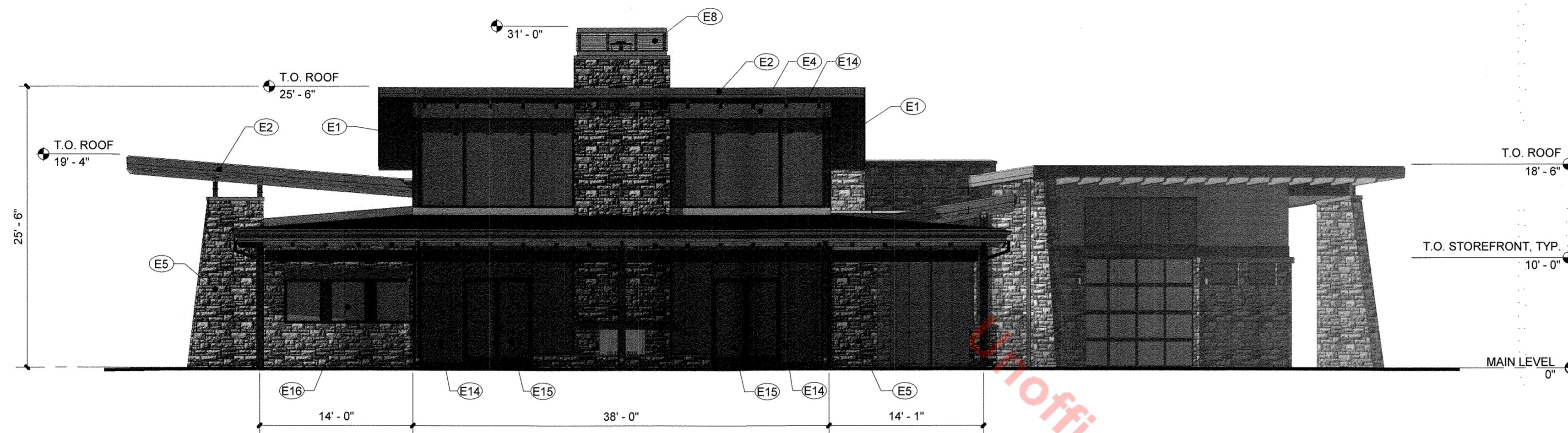
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AMENITY
BUILDING
ELEVATIONS

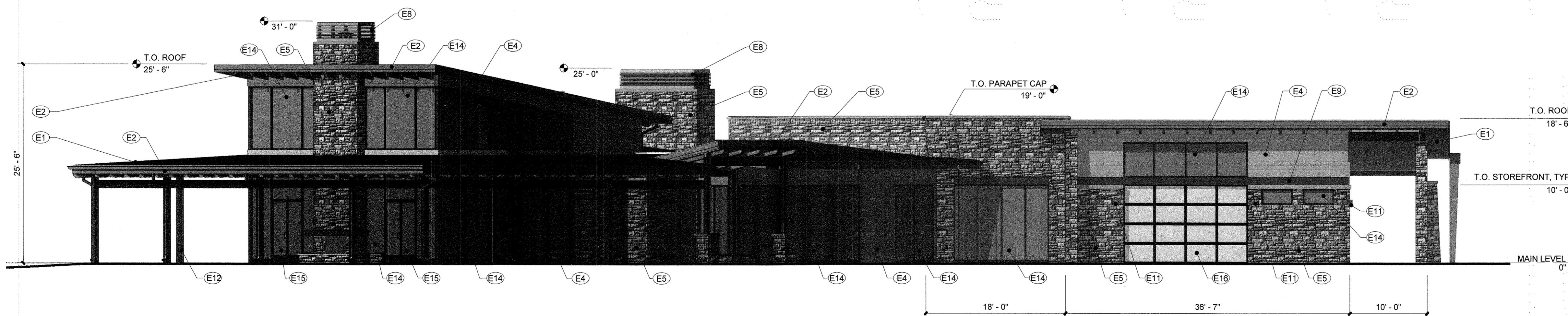
14 of 23

ELEVATION LEGEND		
NOTE	MATERIAL DESCRIPTION /COLOR	IMAGE OR DESCRIPTION
E1	SLATE GRAY STANDING SEAM ROOF	
E2	MATCHING DARK ANODIZED/PREFINISHED/PAINTED METAL	
E3	STAINED WOOD PLANK SOFFIT, WITH TIMBERS WHERE INDICATED	
E4	HORIZONTAL SIDING	
E5	SANDSTONE COBBLE CULTURED STONE W/ MATCHING PRECAST CAP	
E6	SCREENED MECHANICAL UNITS BEYOND	
E8	GALVANIZED CHIMNEY SHROUD	
E9	PAINTED ACCENT TRIM	
E11	EXTERIOR LIGHTING	
E12	EXPOSED STEEL STRUCTURE	
E13	POOL FENCE PER BUILDER'S SPEC	
E14	STOREFRONT GLAZING	TRANSPARENT GLAZING IN BLACK-ANODIZED FRAMES
E15	GLASS DOOR	TRANSPARENT GLAZED DOOR WITH BLACK-ANODIZED FRAME
E16	GLASS SECTIONAL OVERHEAD DOOR	TRANSPARENT GLAZED DOOR WITH BLACK-ANODIZED FRAME

GENERAL NOTE: SEE NOTE 17 ON THE COVER SHEET AND THE LANTERNS MASTER SIGNAGE PLAN FOR MONUMENT SIGN INFORMATION AND DETAIL



1 FAMILY AMENITY - NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



2 FAMILY AMENITY - WEST ELEVATION
SCALE: 1/8" = 1'-0"

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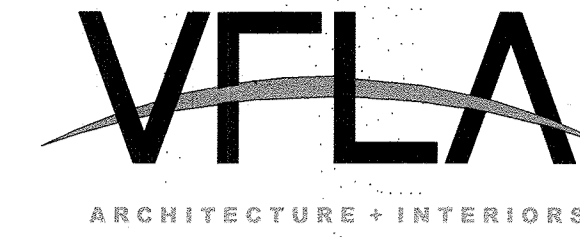


SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4
 LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

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THE LANTERNS - FAMILY AMENITY CENTER
 SITE DEVELOPMENT PLAN
 TOWN OF CASTLE ROCK, COLORADO

ELEVATION LEGEND		
NOTE	MATERIAL DESCRIPTION /COLOR	IMAGE OR DESCRIPTION
E1	SLATE GRAY STANDING SEAM ROOF	
E2	MATCHING DARK ANODIZED/PREFINISHED/PAINTED METAL	
E3	STAINED WOOD PLANK SOFFIT, WITH TIMBERS WHERE INDICATED	
E4	HORIZONTAL SIDING	
E5	SANDSTONE COBBLE, CULTURED STONE w/ MATCHING PRECAST CAP	
E6	SCREENED MECHANICAL UNITS BEYOND	
E8	GALVANIZED CHIMNEY SHROUD	
E9	PAINTED ACCENT TRIM	
E11	EXTERIOR LIGHTING	
E12	EXPOSED STEEL STRUCTURE	
E13	POOL FENCE PER BUILDER'S SPEC	
E14	STOREFRONT GLAZING	TRANSPARENT GLAZING IN BLACK-ANODIZED FRAMES
E15	GLASS DOOR	TRANSPARENT GLAZED DOOR WITH BLACK-ANODIZED FRAME
E16	GLASS SECTIONAL OVERHEAD DOOR	TRANSPARENT GLAZED DOOR WITH BLACK-ANODIZED FRAME

GENERAL NOTE: SEE NOTE 17 ON THE COVER SHEET AND THE LANTERNS MASTER SIGNAGE PLAN FOR MONUMENT SIGN INFORMATION AND DETAIL.

OWNER:
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 TOLL BROTHERS, INC.
 10 INVERNESS DRIVE, SUITE 125
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 TEL: (303) 708-0730

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 03/03/22 SDP 7TH SUB

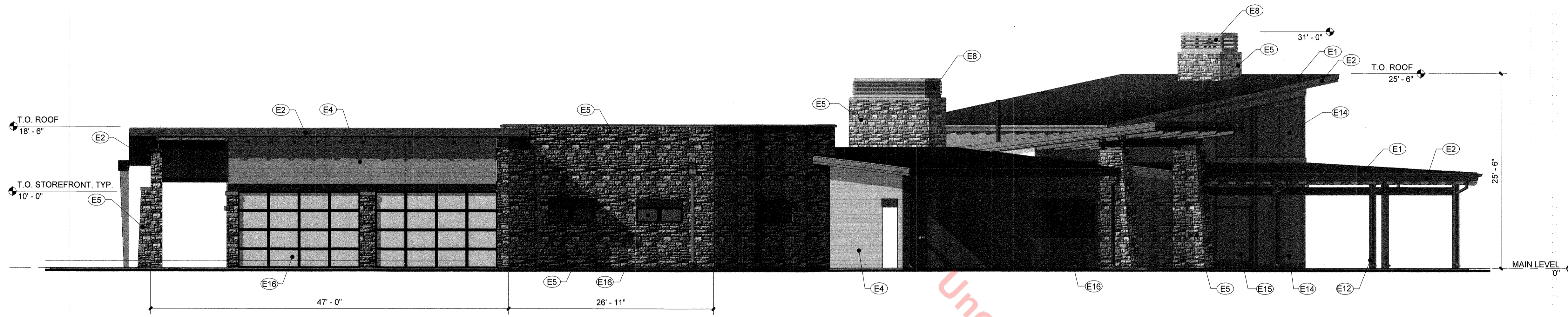
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AMENITY BUILDING ELEVATIONS

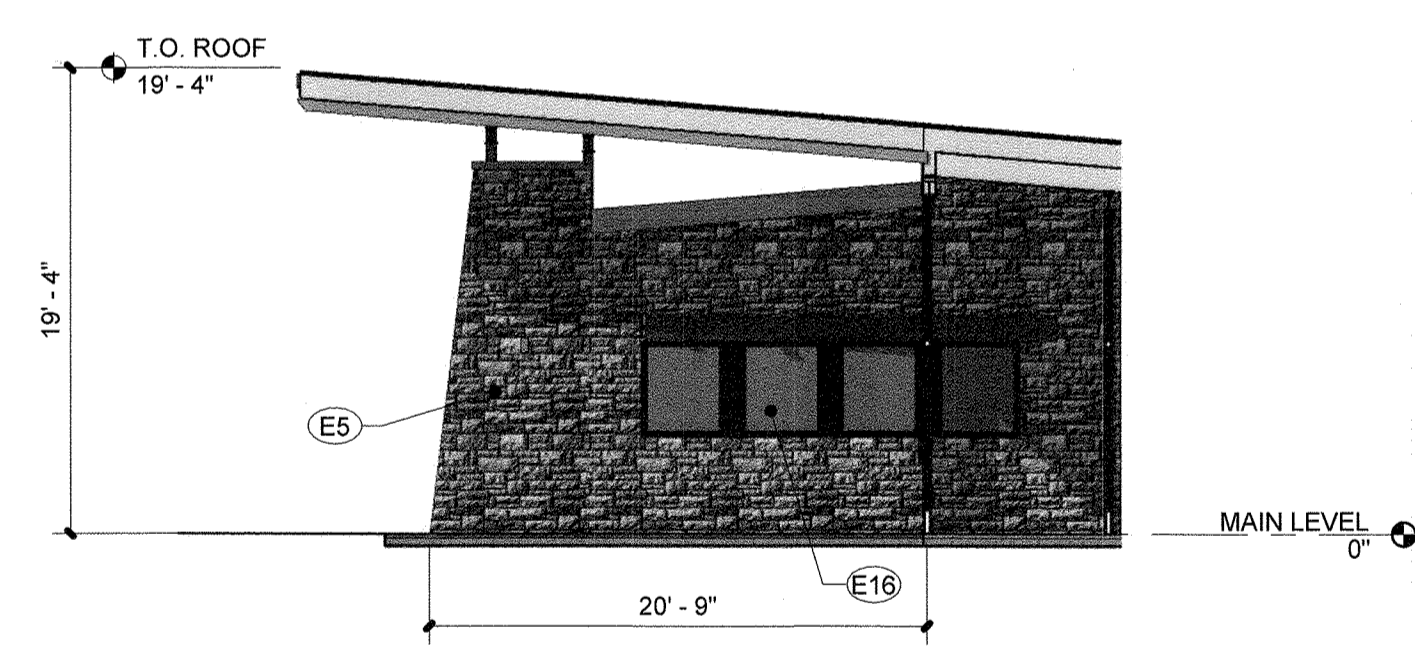


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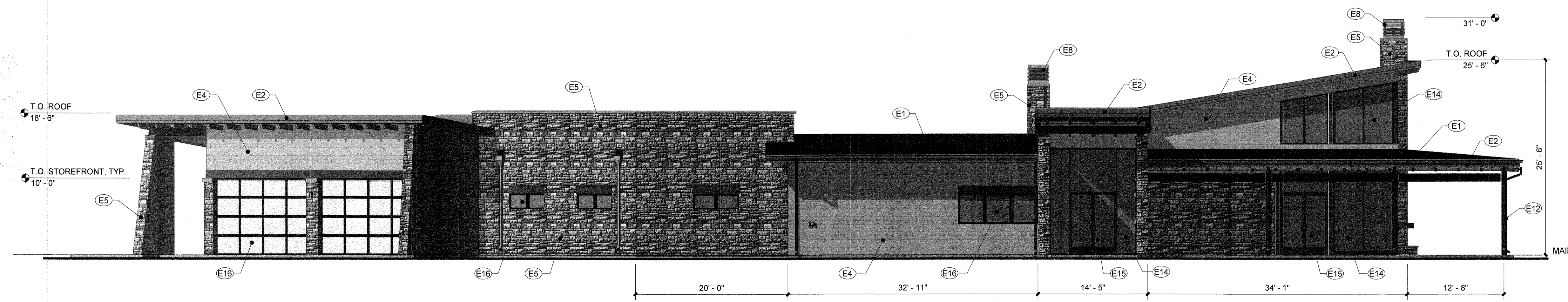
SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10-LANTERNS FILING NO.4
 SDP21-0004



2 FAMILY AMENITY - EAST ELEVATION
 SCALE: 1/8" = 1'-0"



3 FAMILY AMENITY - NORTHEAST ENTRY WALL ELEVATION
 SCALE: 1/8" = 1'-0"



1 FAMILY AMENITY - NORTHEAST ELEVATION
 SCALE: 1/8" = 1'-0"

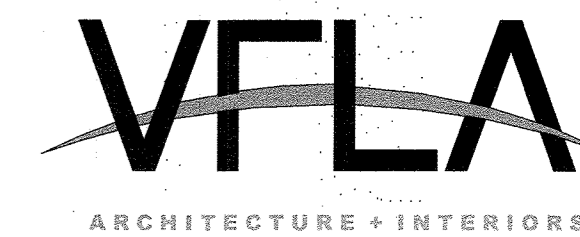
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THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4
 LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER: 2021-14



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THE LANTERNS - FAMILY AMENITY CENTER
 SITE DEVELOPMENT PLAN
 TOWN OF CASTLE ROCK, COLORADO

ELEVATION LEGEND		
NOTE	MATERIAL DESCRIPTION /COLOR	IMAGE OR DESCRIPTION
E1	SLATE GRAY STANDING SEAM ROOF	
E2	MATCHING DARK ANODIZED/PREFINISHED/PAINTED METAL	
E3	STAINED WOOD PLANK SOFFIT, WITH TIMBERS WHERE INDICATED	
E4	HORIZONTAL SIDING	
E5	SANDSTONE COBBLE, CULTURED STONE w/ MATCHING PRECAST CAP	
E6	SCREENED MECHANICAL UNITS BEYOND	
E8	GALVANIZED CHIMNEY SHROUD	
E9	PAINTED ACCENT TRIM	
E11	EXTERIOR LIGHTING	
E12	EXPOSED STEEL STRUCTURE	
E13	POOL FENCE PER BUILDER'S SPEC	
E14	STOREFRONT GLAZING	TRANSPARENT GLAZING IN BLACK-ANODIZED FRAMES
E15	GLASS DOOR	TRANSPARENT GLAZED DOOR WITH BLACK-ANODIZED FRAME
E16	GLASS SECTIONAL OVERHEAD DOOR	TRANSPARENT GLAZED DOOR WITH BLACK-ANODIZED FRAME

GENERAL NOTE: SEE NOTE 17 ON THE COVER SHEET AND THE LANTERNS MASTER SIGNAGE PLAN FOR MONUMENT SIGN INFORMATION AND DETAIL.

OWNER:
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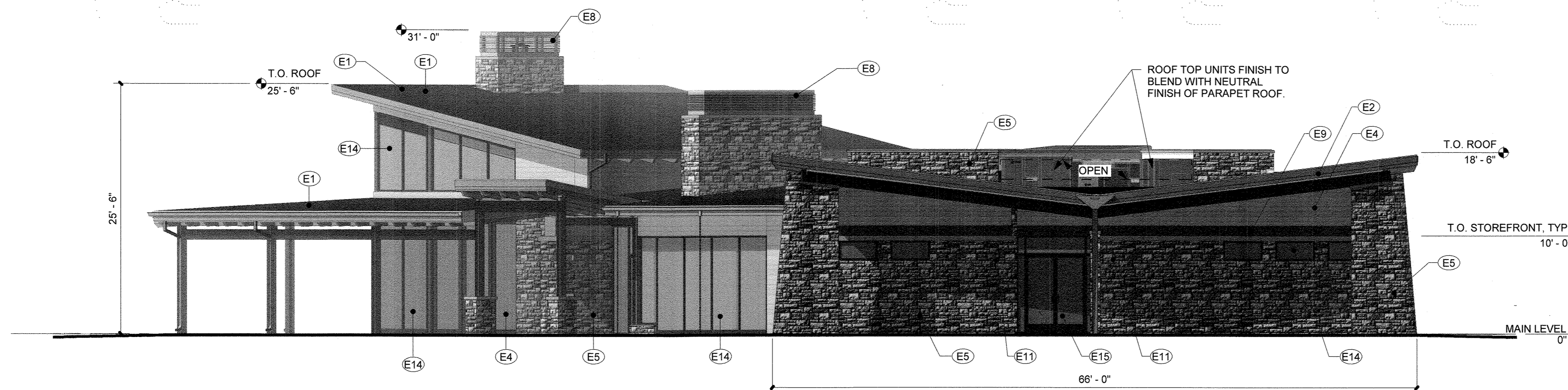
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AMENITY BUILDING ELEVATIONS

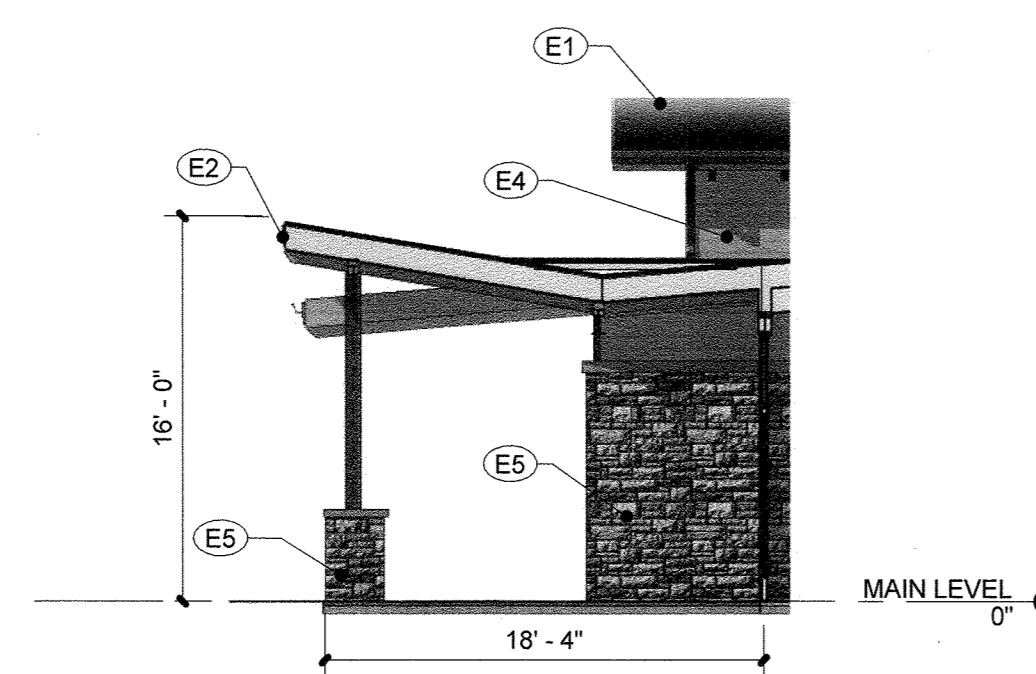
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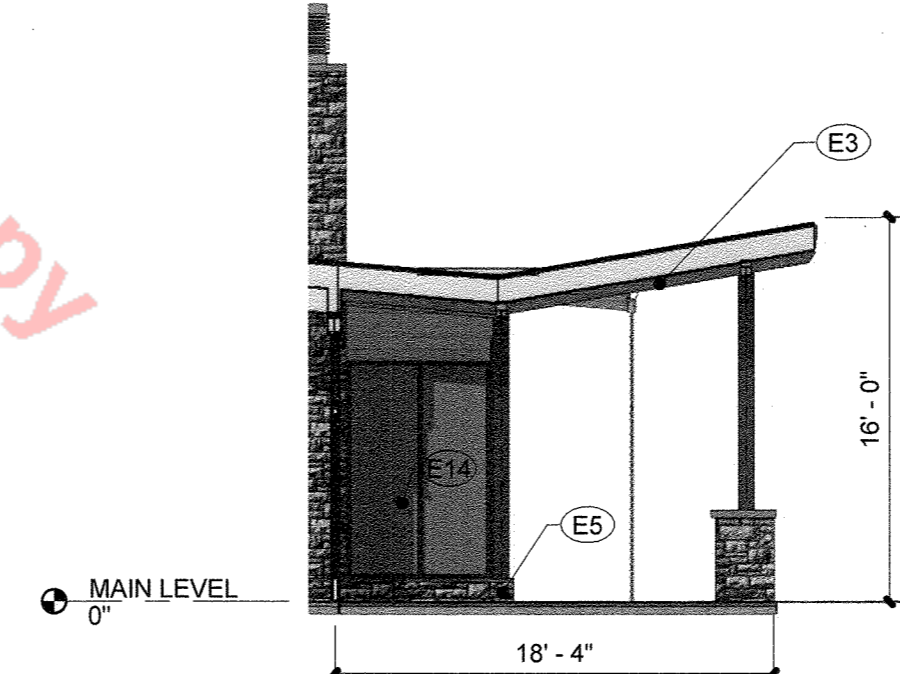
SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10-LANTERNS FILING NO.4
 SDP21-0004



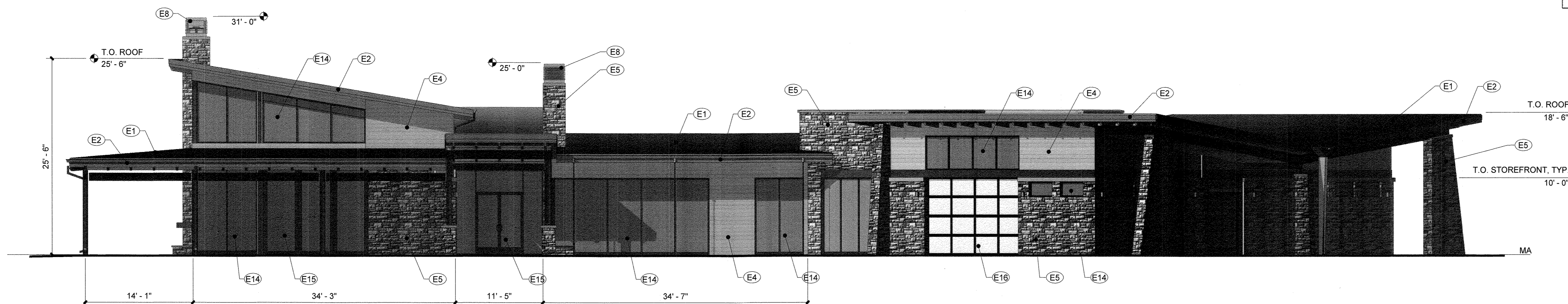
2 FAMILY AMENITY - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 FAMILY AMENITY - SOUTHWEST ENTRY WALL ELEVATION
 SCALE: 1/8" = 1'-0"



4 FAMILY AMENITY - SOUTHWEST ENTRY WALL ELEVATION 2
 SCALE: 1/8" = 1'-0"



1 FAMILY AMENITY - SOUTHWEST ELEVATION
 SCALE: 1/8" = 1'-0"

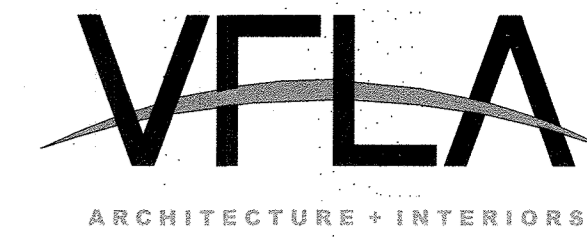
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THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4
 LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER: 2021-14

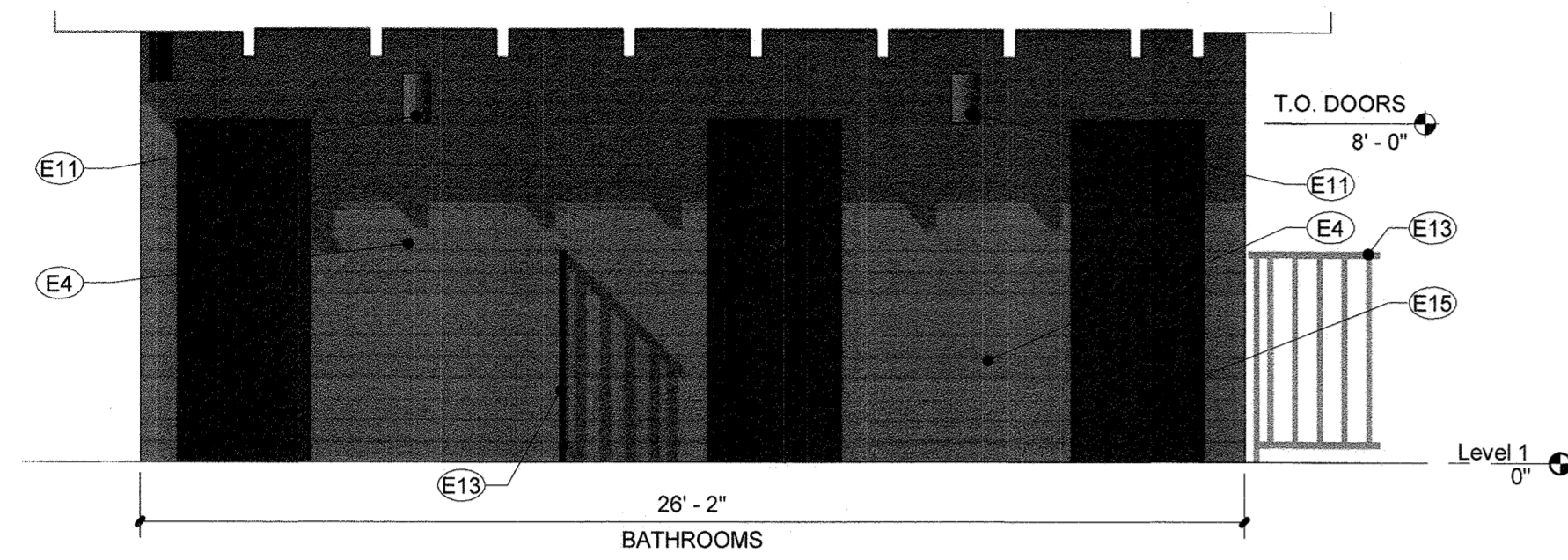


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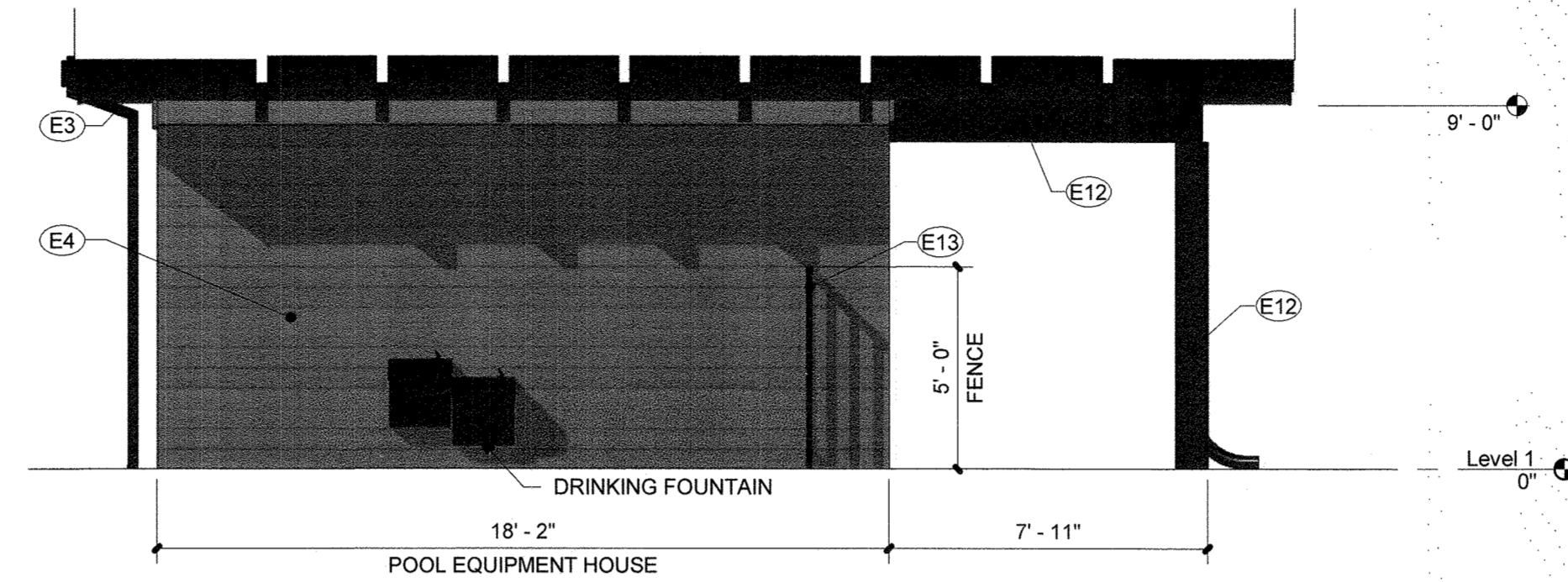
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THE LANTERNS - FAMILY AMENITY CENTER
 SITE DEVELOPMENT PLAN
 TOWN OF CASTLE ROCK, COLORADO

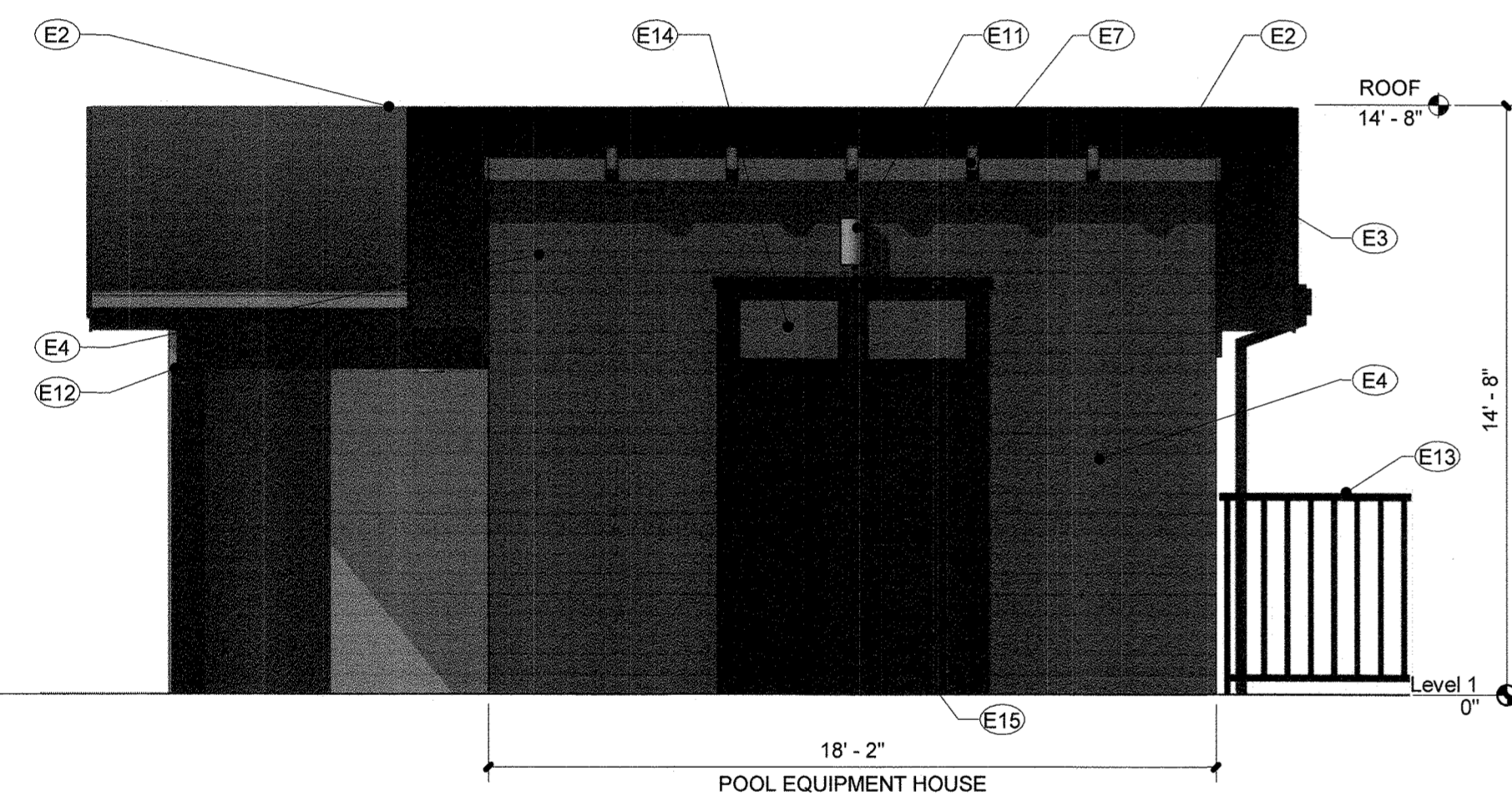
ELEVATION LEGEND		
NOTE	MATERIAL DESCRIPTION /COLOR	IMAGE OR DESCRIPTION
E1	SLATE GRAY STANDING SEAM ROOF	
E2	MATCHING DARK ANODIZED/PREFINISHED/PAINTED METAL	
E3	STAINED WOOD PLANK SOFFIT	
E4	HORIZONTAL SIDING	
E7	STAINED TIMBERS	
E11	EXTERIOR LIGHTING	
E12	EXPOSED STEEL STRUCTURE	
E13	POOL FENCE PER BUILDER'S SPEC, 5 FOOT MIN. HEIGHT	
E14	STOREFRONT GLAZING	TRANSPARENT GLAZING IN BLACK-ANODIZED FRAMES
E15	HOLLOW METAL DOOR	PAINTED



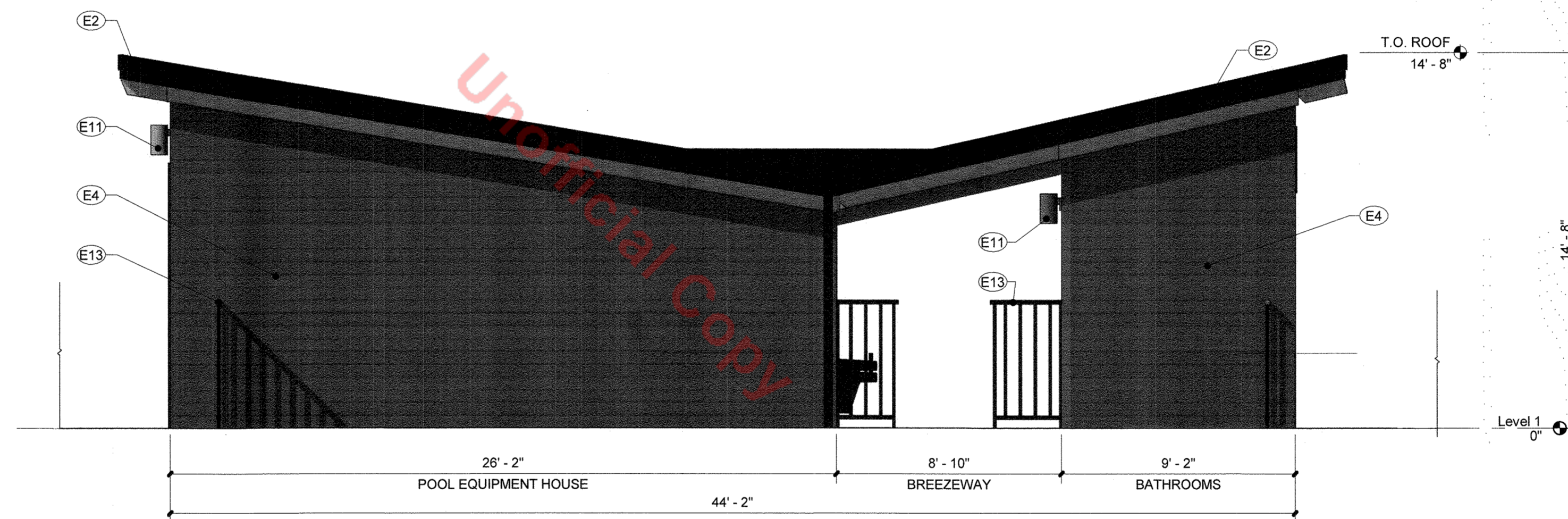
6 POOL HOUSE - BREEZEWAY ELEVATION 1
 SCALE: 1/4" = 1'-0"



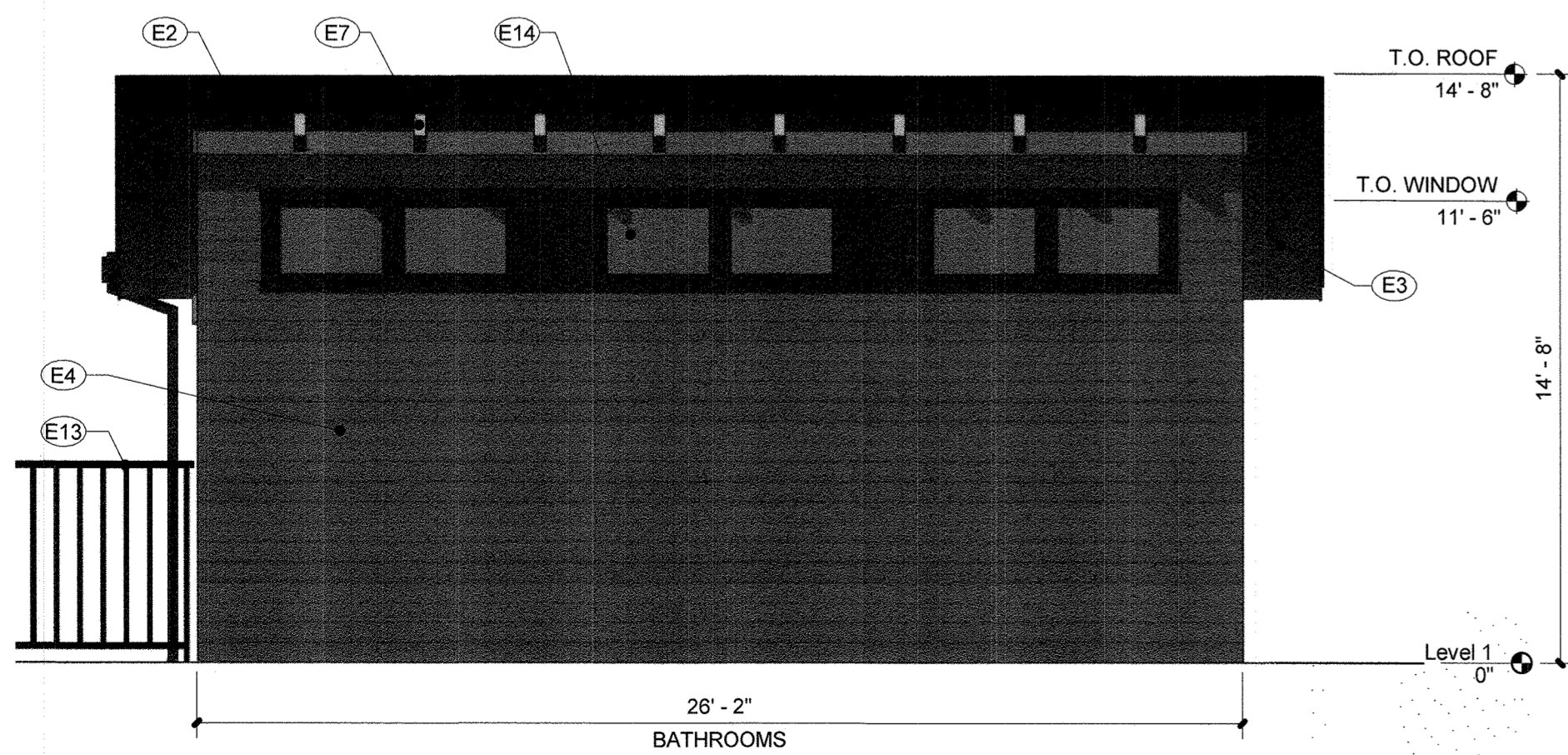
5 POOL HOUSE - BREEZEWAY ELEVATION 2
 SCALE: 1/4" = 1'-0"



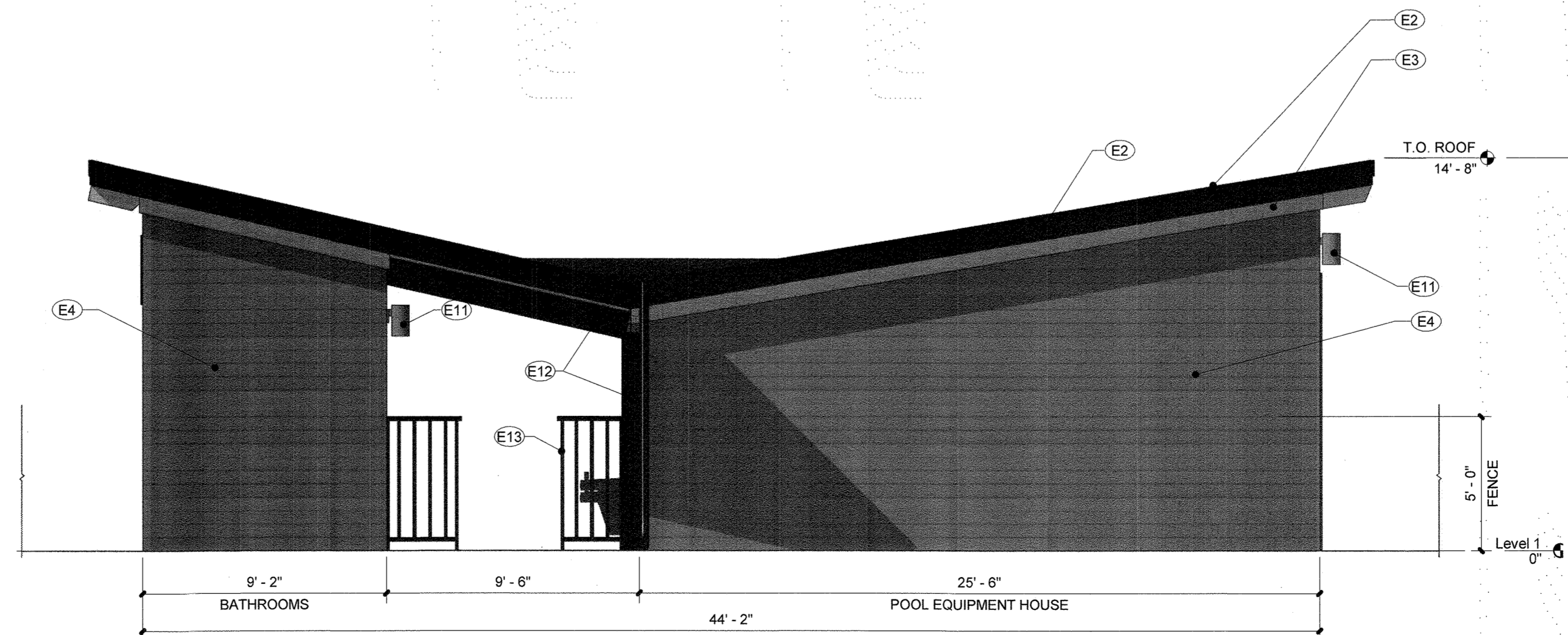
4 POOL HOUSE - NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 POOL HOUSE - WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 POOL HOUSE - SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 POOL HOUSE - EAST ELEVATION
 SCALE: 1/4" = 1'-0"

GENERAL NOTE: SEE NOTE 17 ON THE COVER SHEET AND THE LANTERNS MASTER SIGNAGE PLAN FOR MONUMENT SIGN INFORMATION AND DETAIL

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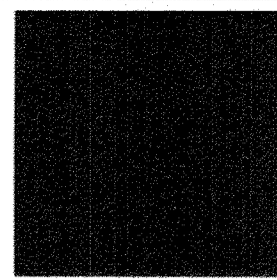
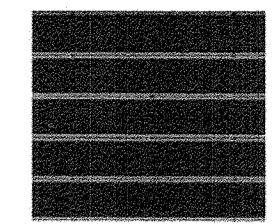
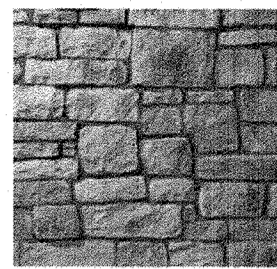
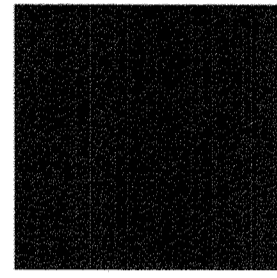


SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10-LANTERNS FILING NO.4
 SDP21-0004

POOLHOUSE ELEVATIONS

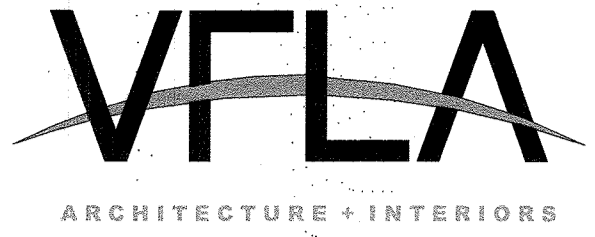
THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4
 LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

ELEVATION LEGEND		
NOTE	MATERIAL DESCRIPTION /COLOR	IMAGE
E2	DARK GRAY ANODIZED / PREFINISHED / PAINTED METAL	
E4	HORIZONTAL SIDING	
E5	SANDSTONE COBBLE, CULTURED STONE w/ MATCHING PRECAST CAP	
E12	EXPOSED STEEL STRUCTURE, PAINTED	

GENERAL NOTE: SEE NOTE 17 ON THE COVER SHEET AND THE LANTERNS MASTER SIGNAGE PLAN FOR MONUMENT SIGN INFORMATION AND DETAIL

PROJECT NUMBER: 2021-14



Strength in design. Strength in partnership.
 Strength in community.

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 108 East Lincolnway, Cheyenne, WY 82001 | 307.636.8710
 www.VFLA.com

THE LANTERNS - FAMILY AMENITY CENTER
 SITE DEVELOPMENT PLAN
 TOWN OF CASTLE ROCK, COLORADO

OWNER:

TOLL SOUTHWEST LLC C/O
 TOLL BROTHERS, INC.
 10 INVERNESS DRIVE, SUITE 125
 ENGLEWOOD, COLORADO 80112
 TEL: (303) 708-0730

NOT FOR
 CONSTRUCTION

DATE:

- 01/12/21 SDP 1ST SUB
- 06/29/21 SDP 2ND SUB
- 07/30/21 SDP 3RD SUB
- 08/17/21 SDP 4TH SUB
- 02/02/22 SDP 5TH SUB
- 02/15/22 SDP 6TH SUB
- 03/03/22 SDP 7TH SUB

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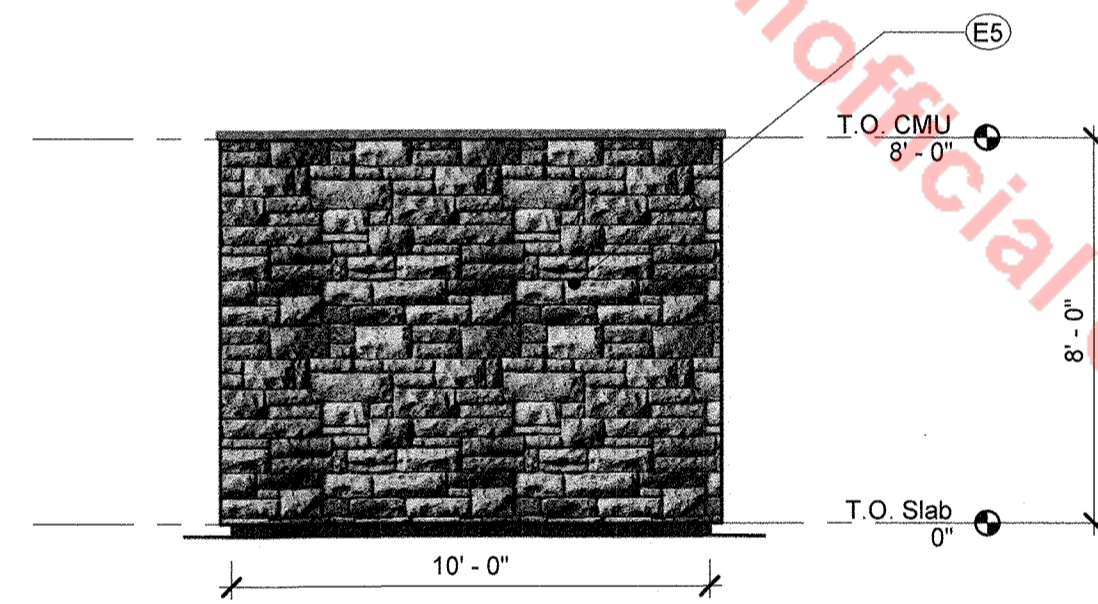
**TRASH
 ENCLOSURE
 ELEVATIONS**



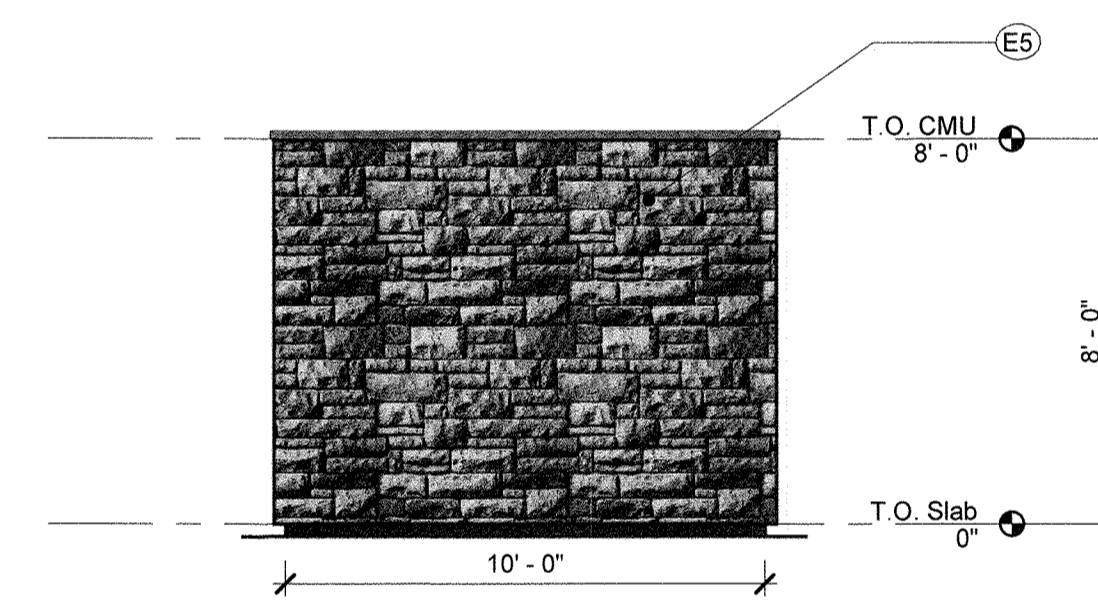
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 534-6700 METRO DENVER AREA
 UTILITY NOTIFICATION CENTER OF COLORADO



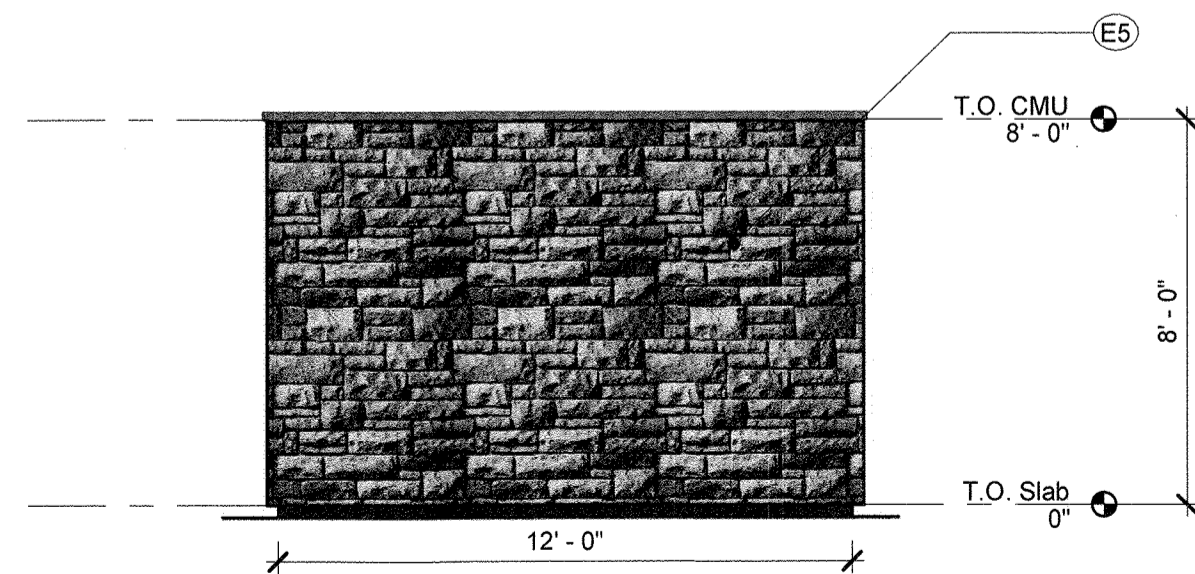
SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10-LANTERNS FILING NO.4
 SDP21-0004



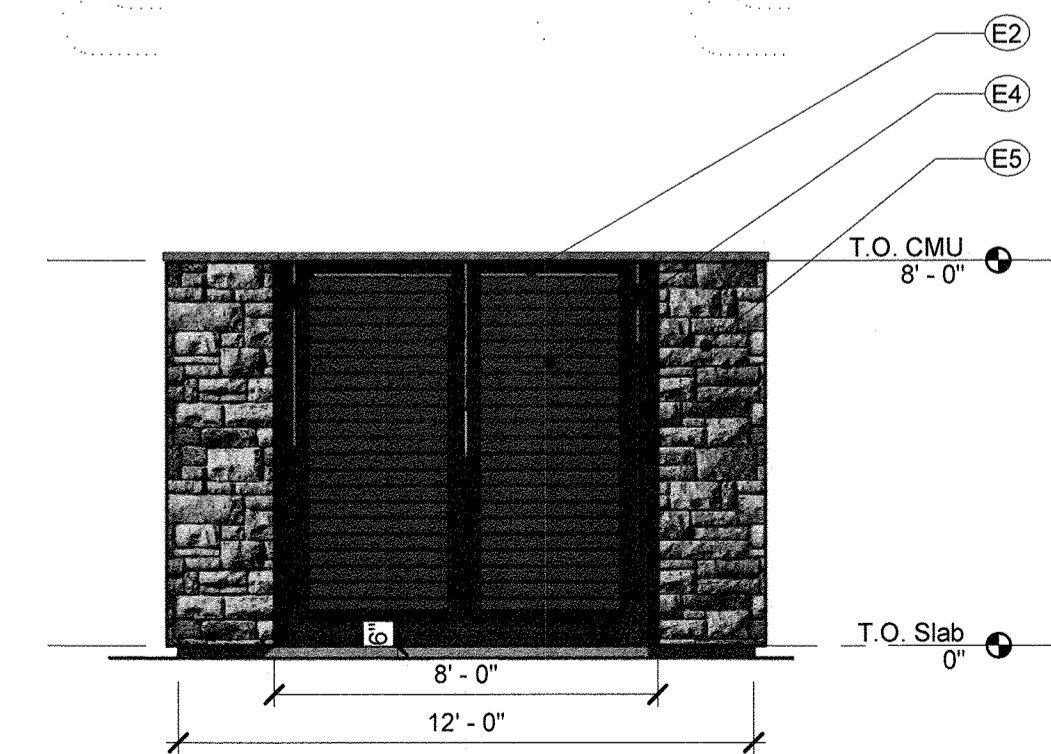
4 TRASH ENCLOSURE RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



2 TRASH ENCLOSURE LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



3 TRASH ENCLOSURE REAR ELEVATION
 SCALE: 1/4" = 1'-0"



1 TRASH ENCLOSURE FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

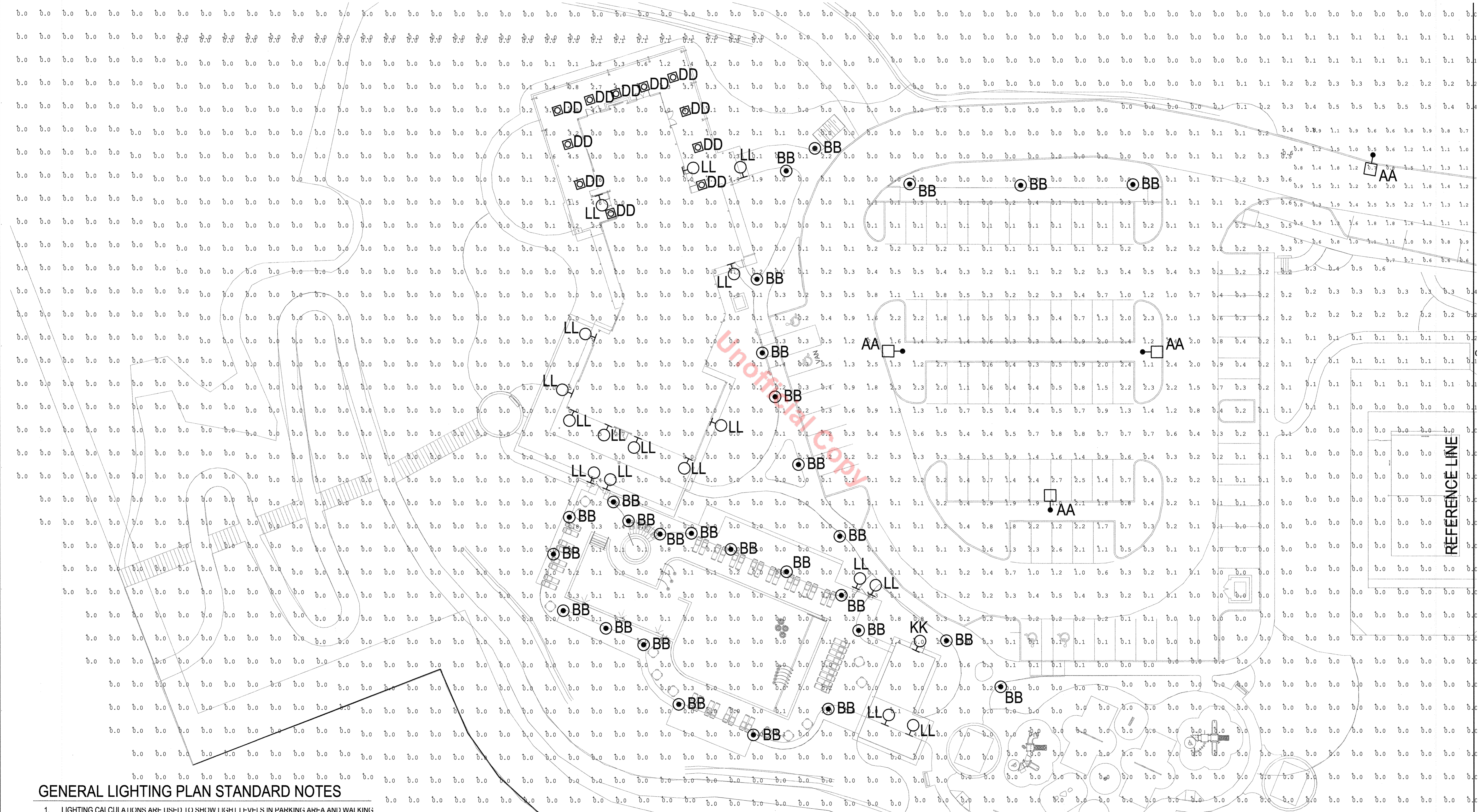
THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com



THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

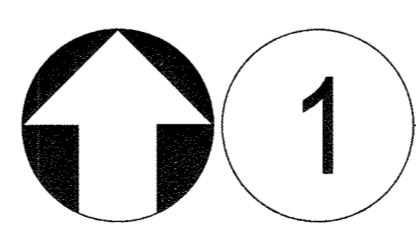
OWNER:
TOLL SOUTHWEST LLC C/O
TOLL BROTHERS, INC.
10 INVERNESS DRIVE, SUITE 125
ENGLEWOOD, COLORADO 80112
TEL: (303) 708-0730

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08/17/21 SDP 4TH SUB
02/02/22 SDP 5TH SUB
02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

GENERAL LIGHTING PLAN STANDARD NOTES

1. LIGHTING CALCULATIONS ARE USED TO SHOW LIGHT LEVELS IN PARKING AREA AND WALKING PATHWAY.
2. ALL FIXTURES TO BE CONTROLLED VIA PHOTOCELL ON/ TIMECLOCK OFF. THE LOWER FLOOR OF THE MAIN BUILDING (FITNESS) WILL BE OPEN 5AM-11PM AND THE REMAINDER OF THE BUILDING WILL BE OPEN DURING NORMAL BUSINESS HOURS. PARKING LOT/AREA LIGHTS AND MONUMENT SIGN TO BE ON TILL MIDNIGHT. TIMER TO BE SET BY OWNER.
3. ALL LIGHTS ON PROPERTY, EXCEPT THOSE REQUIRED FOR SECURITY AT ENTRANCES, STAIRWAYS AND LOADING DOCKS, SHALL BE CIRCUITED SUCH THAT THE LIGHTING SHALL BE REDUCED BY 50% WITHIN ONE HOUR AFTER THE END OF BUSINESS HOURS, AND BE REMAIN IN 50% REDUCED MODE UNTIL ONE HOUR PRIOR TO THE COMMENCEMENT OF BUSINESS.
4. LIGHT LEVELS BEYOND PROPERTY LINE TO BE 0.0FC.
5. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.
6. LIGHT LOSS FACTOR FOR ALL FIXTURES IS 1.00.



PHOTOMETRIC PLAN

SCALE: 1"=20'-0"

Calculation Summary		Units	Avg	Max	Min	Avg/Min	Max/Min
Label	CalcType						
DRIVE	Illuminance	Fc	1.20	2.6	0.1	12.00	26.00
OVERALL CALCS	Illuminance	Fc	0.28	5.0	0.0	N.A.	N.A.
OVERALL CALCS 1	Illuminance	Fc	0.03	1.0	0.0	N.A.	N.A.



SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

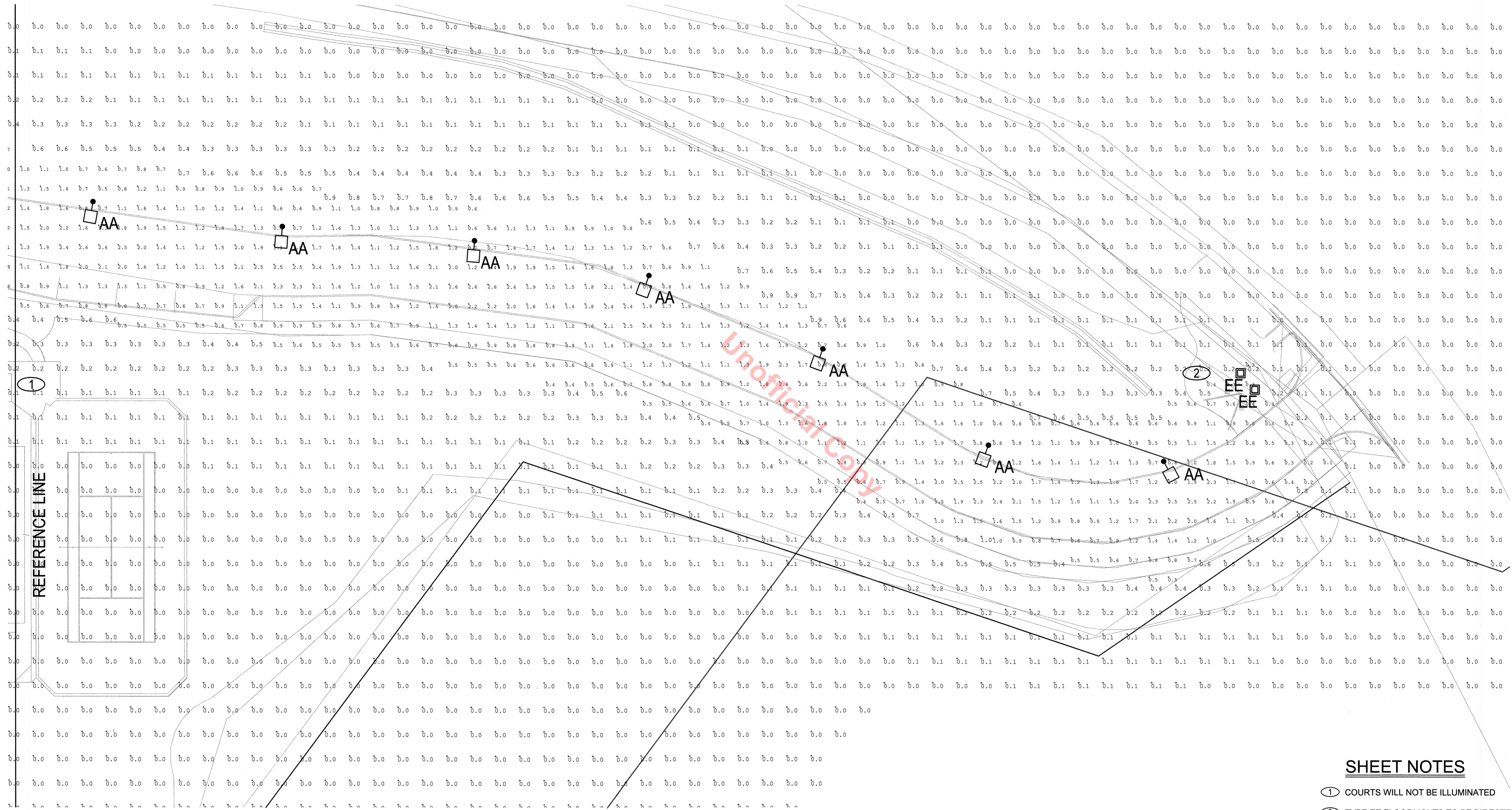
CHECKED BY: SM, GB, CR, TK
DRAWN BY:

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SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

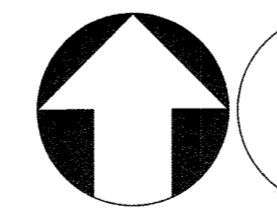
LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO



GENERAL LIGHTING PLAN STANDARD NOTES

1. LIGHTING CALCULATIONS ARE USED TO SHOW LIGHT LEVELS IN PARKING AREA AND WALKING PATHWAY.
2. ALL FIXTURES TO BE CONTROLLED VIA PHOTOCELL ON/ TIMECLOCK OFF. THE LOWER FLOOR OF THE MAIN BUILDING (FITNESS) WILL BE OPEN 5AM-11PM AND THE REMAINDER OF THE BUILDING WILL BE OPEN DURING NORMAL BUSINESS HOURS. PARKING LOT/AREA LIGHTS AND MONUMENT SIGN TO BE ON TILL MIDNIGHT. TIMER TO BE SET BY OWNER.
3. ALL LIGHTS ON PROPERTY, EXCEPT THOSE REQUIRED FOR SECURITY AT ENTRANCES, STAIRWAYS AND LOADING DOCKS, SHALL BE CIRCUITED SUCH THAT THE LIGHTING SHALL BE REDUCED BY 50% WITHIN ONE HOUR AFTER THE END OF BUSINESS HOURS, AND BE REMAIN IN 50% REDUCED MODE UNTIL ONE HOUR PRIOR TO THE COMMENCEMENT OF BUSINESS.
4. LIGHT LEVELS BEYOND PROPERTY LINE TO BE 0.0FC.
5. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.
6. LIGHT LOSS FACTOR FOR ALL FIXTURES IS 1.00.

 **1** PHOTOMETRIC PLAN DRIVE
SCALE: 1"=20'-0"

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
DRIVE	Illuminance	Fc	1.20	2.6	0.1
OVERALL CALCS	Illuminance	Fc	0.28	5.0	0.0
OVERALL CALCS 1	Illuminance	Fc	0.03	1.0	0.0

SHEET NOTES

- 1 COURTS WILL NOT BE ILLUMINATED
- 2 TYPE EE FLOODLIGHTS TO BE DIRECTED SO THAT THE LIGHT SOURCE IS NOT VISIBLE OFF OF THE PROPERTY AND ILLUMINANCE TO BE CONTAINED WITHIN THE VERTICAL FACE OF THE SIGN

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534-6700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO



SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10-LANTERNS FILING NO.4
SDP21-0004

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10 INVERNESS DRIVE, SUITE 125
ENGLEWOOD, COLORADO 80112
TEL: (303) 708-0730

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02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

SHEET TITLE:
PHOTOMETRIC
PLAN DRIVE

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



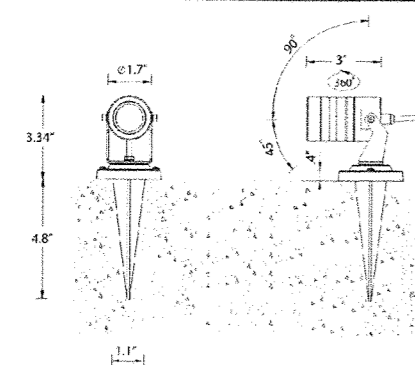
1101 Bannock Street
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 P 303.892.1166
 www.norris-design.com

UUT-50563

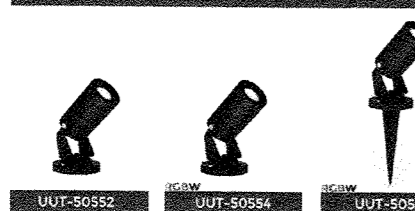
Utah 2 Floodlight - Constant Current



Length - 1.7' | Height - 8.1' | Weight - 6.3 lbs
 IP65 - Suitable For Wet Locations
 IK04 - Impact Resistant (Vandal Resistant)



Utah Product Family



Construction

Aluminum
 Less than 0.1% copper content - Marine Grade 6061 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength - clean detailed product lines and excellent heat dissipation.

Finish
 A deep degrease and phosphate process that includes descaling and etching, as well as a zinc and nickel phosphate process before product painting.

Memory Retentive - Silicon Gasket
 Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gasket's exact profile and seal over years of use and compression.

Thermal management
 LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal sink design by Ligman used in conjunction with the driver, controls the heat below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
 Standard 15kv surge suppressor provided with all fixtures.

Finishing
 All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
 UV Stabilized 4.5Mil thick powder coat paint and baked at 200 Deg C. Thin process ensures that Ligman products can withstand harsh environments. Rated for use in salt-crystalline.

Hardware
 Provided hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
 Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
 Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
 Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life
 L80 @ 50,000 hours (This means that at least 80% of the LED will achieve 80% of their original flux)

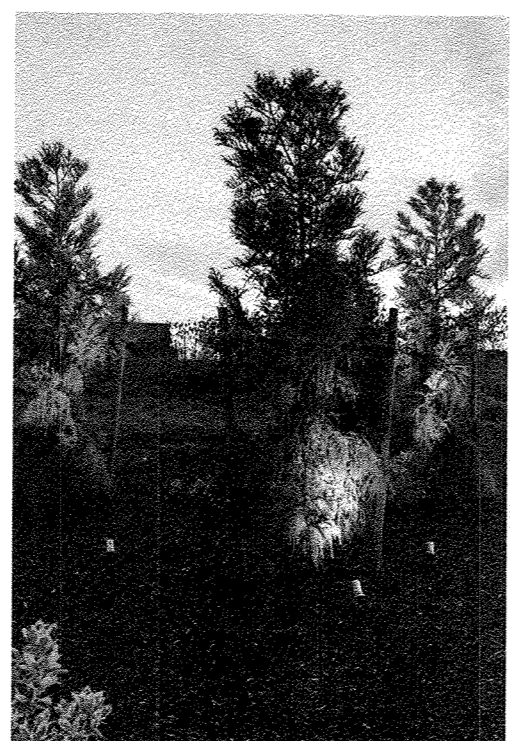
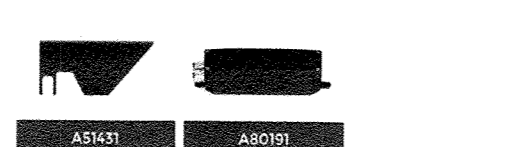
Miniature adjustable spotlight range. Contemporary simplicity and a diminutive footprint allows designers to paint landscaping with light whilst avoiding visual clutter.

A mini floodlight designed to use a single high power LED. These floodlights are designed to illuminate plants and fulfill architectural details and sign boards. RGBW full colors render for each LEDs and static white for color temperature 2700K, 3000K, 3500K and 4000K. LED CRI >80 and life time 50,000 Hours.

Plastic ground spike for garden type. Accessory visor must be order separately. Remote driver box is not included, but is available as an accessory. This luminaire is constant current type and need connecting in series.

This is a constant current fixture. It can support one driver per fixture.

Additional Options (Consult Factory For Pricing)



UUT-50563

Utah 2 Floodlight - Constant Current

PROJECT		DATE	
QUANTITY		TYPE	
		NOTE	

ORDERING EXAMPLE || UUT - 50563 - 4w LED - W30 - 02 - 120/277v

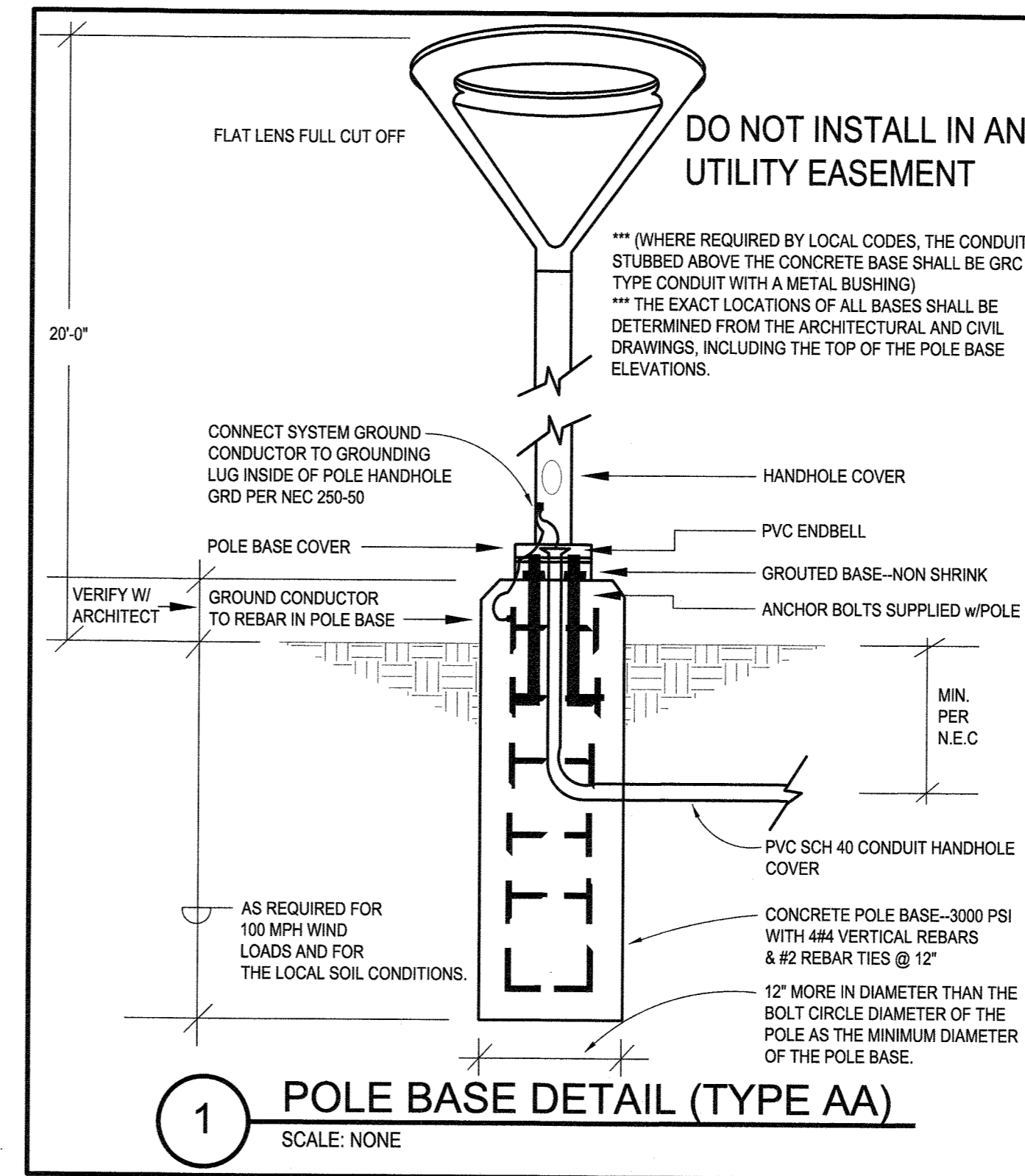
LAMP	LED COLOR	FINISH COLOR	VOLTAGE
4w LED	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7021 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - specify

ADDITIONAL OPTIONS

F - Frosted Lens
 DIM - 0.15v Dimming
 NAT - Natatorium Rated

ASH41 - Anti Glare Visor
 AR091 - Remote Driver Box

TYPE 'EE'



Unofficial Copy

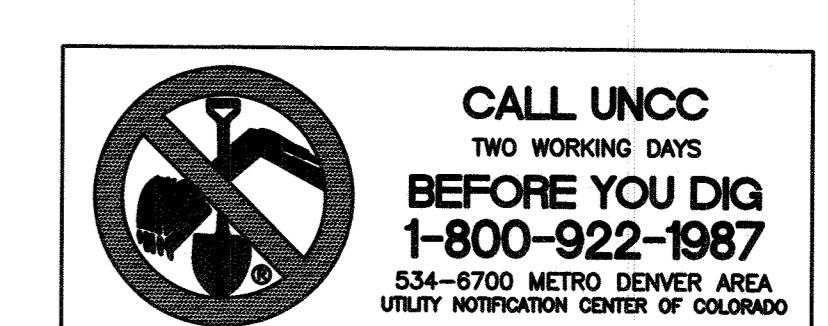
THE LANTERNS - FAMILY AMENITY CENTER
 SITE DEVELOPMENT PLAN
 TOWN OF CASTLE ROCK, COLORADO

OWNER:
 TOLL SOUTHWEST LLC C/O
 TOLL BROTHERS, INC.
 10 INVERNESS DRIVE, SUITE 125
 ENGLEWOOD, COLORADO 80112
 TEL: (303) 708-0730

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 02/15/22 SDP 6TH SUB
 03/03/22 SDP 7TH SUB

SHEET TITLE:
 LIGHTING CUTSHEETS



SITE DEVELOPMENT PLAN
 LOT 1, BLOCK 10-LANTERNS FILING NO.4
 SDP21-0004

THE LANTERNS - FAMILY AMENITY CENTER

SITE DEVELOPMENT PLAN
LOT 1, BLOCK 10 THE LANTERNS FILING NO. 4

LOCATED IN A PART OF NE 1/4 SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

THE LANTERNS - FAMILY AMENITY CENTER
SITE DEVELOPMENT PLAN
TOWN OF CASTLE ROCK, COLORADO

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08/17/21 SDP 4TH SUB
02/02/22 SDP 5TH SUB
02/15/22 SDP 6TH SUB
03/03/22 SDP 7TH SUB

SHEET TITLE:
LIGHTING
CUTSHEETS

TYPE 'KK'

UCI-30131
Cinati Type I, II, III & IV Surface

7144 NE Progress Ct | P: 503.645.0500
Hillsboro, Oregon 97124 | F: 503.645.8100
www.ligmanlightingusa.com

LIGMAN LIGHTING USA

Construction
Aluminum
Less than 0.1% copper content - Marine Grade 6060 extruded & LMS Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre-paint
8 step-degrease and phosphate process that includes deacidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive - Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LMS Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 150v surge suppressor provided with all fixtures.

BUG Rating
B0 - I0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4MIL thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 50% of the LED still achieve 80% of their original flux)

Cone-shaped wall-mounted downlight fixtures. Simple clean form hiding multiple high-performance glare free optic choices.

A cone shaped wall wash luminaire. Suitable for outdoor up, or down light applications. This luminaire is provided with precision optics and high powered LEDs, to provide narrow, medium, wide and very wide distributions. The vandal resistant tempered glass is available in clear or lightly frosted versions.

This product is suitable for commercial, as well as residential applications and with the selection of optics available can provide an excellent lighting solution. Integral electronic driver. Fixture is mounted over a 3" octagonal junction box. For Type III, III & IV, please see UCI-30131

Additional Options (Consult Factory For Pricing)

SCE - Surface Conduit Entry Box

Length - 11.5" | Height - 6.3" | Weight 8 lbs
IP65 - Suitable For Wet Locations
IK08 - Impact Resistant (Vandal Resistant)

Mounting Detail

TYPE 'KK'

UCI-30131
Cinati Type I, II, III & IV Surface

7144 NE Progress Ct | P: 503.645.0500
Hillsboro, Oregon 97124 | F: 503.645.8100
www.ligmanlightingusa.com

LIGMAN LIGHTING USA

PROJECT _____ **DATE** _____

QUANTITY _____ **TYPE** _____ **NOTE** _____

ORDERING EXAMPLE || UCI - 30131 - 18w - T2 - W30 - 02 - 120/277v - Options

LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
1503 Lumens	T1 - Type I Distribution T2 - Type II Distribution T3 - Type III Distribution T4 - Type IV Distribution	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	C1 - BLACK RAL 9011 C2 - DARK GREY RAL 7043 C3 - WHITE RAL 9003 C4 - METALLIC SILVER RAL 9006 C5 - MATTE SILVER RAL 9006 C6 - LIGMAN BRONZE C7 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS

NAT - Natatorium Rated
DIM - 0-10v Dimming
SCE - Surface Conduit Entry Box
F - Frosted Lens
AMB - Turtle Friendly Amber LED

CONSTRUCTION
Aluminum
Less than 0.1% copper content - Marine Grade 6060 extruded & LMS Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre-paint
8 step-degrease and phosphate process that includes deacidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive - Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LMS Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 150v surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4MIL thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

High Impact UV Stabilized Polycarbonate Lens
Manufactured with Ultra High Impact, UV Stabilized Injection Moulded Polycarbonate.

Optics & LED
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 50% of the LED still achieve 80% of their original flux)

Length 7.4" | Height 8.6" | Weight 4.8 lbs
IP65 - Suitable For Wet Locations
IK08 - Impact Resistant (Vandal Resistant)

Mounting Detail

Jet Product Family

TYPE 'LL'

UJE-30351
Jet 31 Cylindrical Surface

7144 NE Progress Ct | P: 503.645.0500
Hillsboro, Oregon 97124 | F: 503.645.8100
www.ligmanlightingusa.com

LIGMAN LIGHTING USA

PROJECT _____ **DATE** _____

QUANTITY _____ **TYPE** _____ **NOTE** _____

ORDERING EXAMPLE || UJE - 30351 - 15w - M - W30 - 02 - 120/277v - Options

LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
15w LED 1007 Lumens	N - Narrow 20" M - Medium 24" W - Wide 36" VW - Very Wide 71"	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	C1 - BLACK RAL 9011 C2 - DARK GREY RAL 7043 C3 - WHITE RAL 9003 C4 - METALLIC SILVER RAL 9006 C5 - MATTE SILVER RAL 9006 C6 - LIGMAN BRONZE C7 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS

NAT - Natatorium Rated
SCE - Surface Conduit Entry Box
DIM - 0-10v Dimming
REMG - Remote Emergency Battery Pack
AMB - Turtle Friendly Amber LED

WCT - Custom Weight
AMB - 4" Junction Box Mounting Plate
F - Frosted Lens
RPA - Round Pole Adapter

Cylindrical or rectangular form surface wall-mounted downlight. High performance, high output and numerous options ensure Jet can be configured for any application.

Wall luminaires with a selection of light distributions and LED wattages, that include; narrow, medium, wide, very wide and elliptical light distributions. The Jet offers a variety of beam spread options that facilitates wider spacing and even light distribution between the light fixtures. The up/down light versions can be manufactured using different beam spreads for the up and down optics as well as different wattages upon request.

Mounting plate for 3" junction box is provided with the fixture. A 4" junction box mounting plate is available as an option, please specify. Matching surface mount conduit boxes are available as an option.

Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

For the Square downlight option, see Jet 32, 34 and 52. For 20w, 28w and 38w type II, III & IV distributions, see Tango 29 to 32 surface wall luminaires. For RGBW options, see Jet 51 to 54.

Additional Options (Consult Factory For Pricing)

SCE - Surface Conduit Entry Box
RPA - Round Pole Adapter

Length 7.4" | Height 8.6" | Weight 4.8 lbs
IP65 - Suitable For Wet Locations
IK08 - Impact Resistant (Vandal Resistant)

Mounting Detail

LUMINAIRE SCHEDULE

DESIGNATION	DESCRIPTION	LAMPS		QTY. OF FIXTURES	LIGHT LOSS FACTOR	VOLTAGE	TOTAL VA	MANUFACTURER		MOUNTING		REMARKS
		LUMENS	TYPE					DESIGN BASIS		TYPE	HEIGHT	
								NAME	CATALOG SERIES			
AA	PUREFORM LED POST TOP-3000K TYPE III DISTRIBUTION WITH HOUSE-SIDE SHIELD	8074	LED	11	1.00	UNIV	56	PHILIPS GARDCO	PPT-140L-1675-HW-G2-T3-3-12-0-BK RA5CB20D18LP	POLE	20'-0"	PROVIDE HOUSE SIDE SHIELD
BB	WALKWAY BOLLARD	423	LED	28	1.00	UNIV	14	LIGMAN	LBX-54-LB-10851	SURFACE GROUND	17.8"	
DD	7" ROUND CANOPY DOWNLIGHT	977	LED	11	1.00	UNV	14	PHILIPS LIGHTOLIER	S7R830K10	RECESSED	11'-0"	PROVIDE JUNCTION BOX WITH FIXTURE
EE	FLOOD LIGHT	160	LED	2	1.00	UNIV	3.5	LIGMAN	UT-5053-W30	RECESSED	0"	
KK	WALL SURFACE DOWNLIGHT	1552	LED	1	1.00	UNIV	18.3	LIGMAN	CK-30131-T3-W30	SURFACE WALL	12'-0"	
LL	CYLINDRICAL WALL SCENCE	1095	LED	17	1.00	UNIV	15	LIGMAN	JE-30351-M-W30	SURFACE WALL	6'-6"	

- NOTE:
1. ALL FIXTURES TO BE FULL CUT-OFF FIXTURES.
2. LIGHT LOSS FACTOR USED ON ALL FIXTURES IS FACTOR 1.0.

CHECKED BY: SM, GS
DRAWN BY: GB, CR, TK



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SDP21-0004