

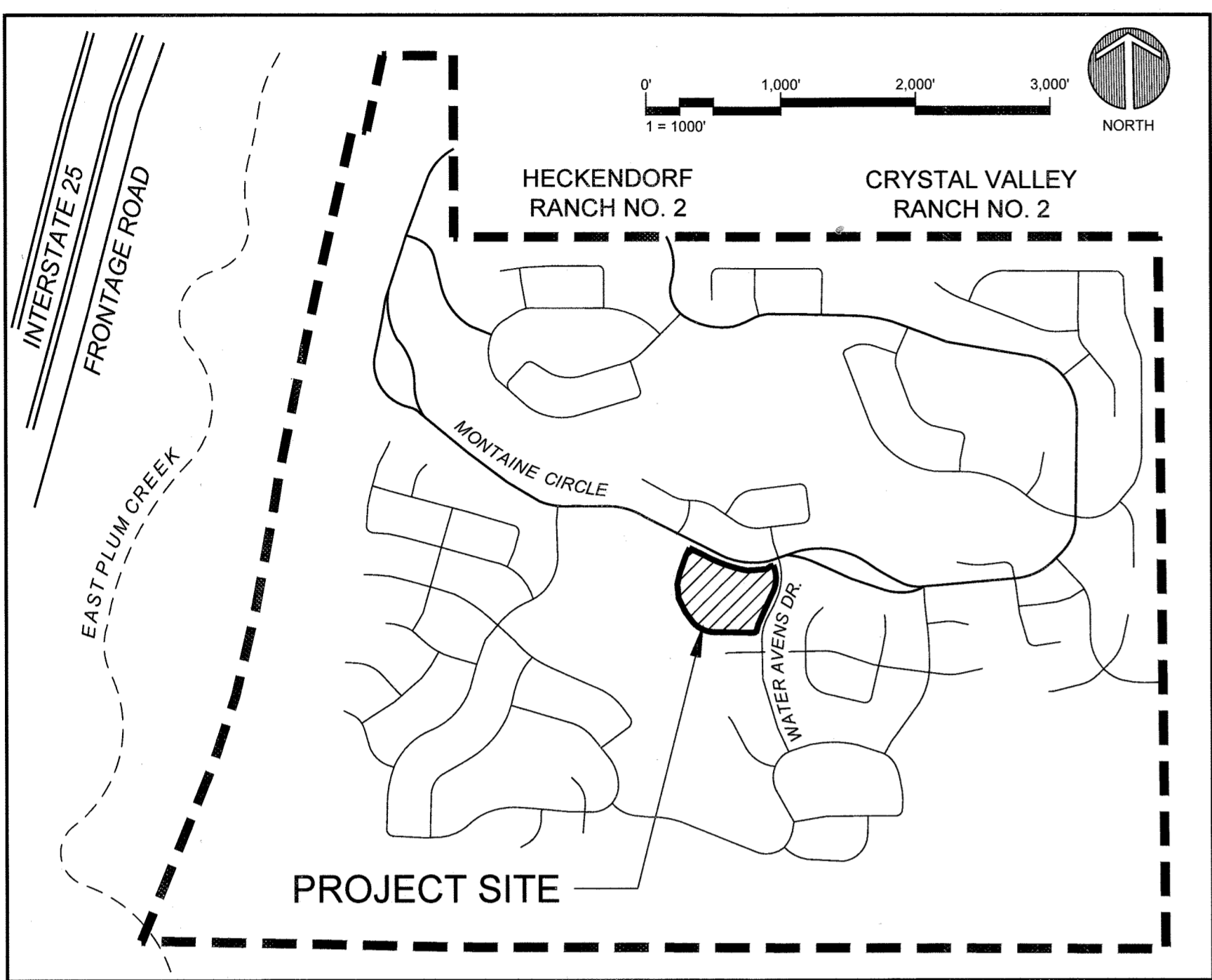
# SITE DEVELOPMENT PLAN

## THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP18-0046



### VICINITY MAP



### SIGNATURE BLOCKS

**OWNERSHIP CERTIFICATION**  
THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN:  
LANTERNS CFC LLC (A COLORADO LIMITED LIABILITY COMPANY)  
SIGNED THIS 10<sup>th</sup> DAY OF December 2019  
*Clay Carlson*

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 10<sup>th</sup> DAY OF December 2019 BY *Clay Carlson*  
WITNESS MY HAND AND OFFICIAL SEAL  
*Jenny L Moore*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 02/09/2020

JENNY L MOORE  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID # 20004003852  
MY COMMISSION EXPIRES 02-09-2020

**OWNERSHIP CERTIFICATION**  
THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN:  
LANTERNS SLC LLC (A COLORADO LIMITED LIABILITY COMPANY)  
SIGNED THIS 10<sup>th</sup> DAY OF December 2019  
*Clay Carlson*

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 10<sup>th</sup> DAY OF December 2019 BY *Clay Carlson*  
WITNESS MY HAND AND OFFICIAL SEAL  
*Jenny L Moore*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 02/09/2020

JENNY L MOORE  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID # 20004003852  
MY COMMISSION EXPIRES 02-09-2020

**OWNERSHIP CERTIFICATION**  
THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN:  
LANTERNS KDC LLC (A COLORADO LIMITED LIABILITY COMPANY)  
SIGNED THIS 10<sup>th</sup> DAY OF December 2019  
*Clay Carlson*

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 10<sup>th</sup> DAY OF December 2019 BY *Clay Carlson*  
WITNESS MY HAND AND OFFICIAL SEAL  
*Jenny L Moore*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 02/09/2020

JENNY L MOORE  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID # 20004003852  
MY COMMISSION EXPIRES 02-09-2020

**OWNERSHIP CERTIFICATION**  
THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN:  
LANTERNS RLC LLC (A COLORADO LIMITED LIABILITY COMPANY)  
SIGNED THIS 10<sup>th</sup> DAY OF December 2019  
*Clay Carlson*

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 10<sup>th</sup> DAY OF December 2019 BY *Clay Carlson*  
WITNESS MY HAND AND OFFICIAL SEAL  
*Jenny L Moore*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 02/09/2020

JENNY L MOORE  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID # 20004003852  
MY COMMISSION EXPIRES 02-09-2020

**OWNERSHIP CERTIFICATION**  
THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN:  
TOLL SOUTHWEST LLC (A DELAWARE LIMITED LIABILITY COMPANY)  
SIGNED THIS 9<sup>th</sup> DAY OF December 2019  
*Ma Bo*

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 9<sup>th</sup> DAY OF December 2019 BY *Ma Bo*  
WITNESS MY HAND AND OFFICIAL SEAL  
*Joyce M. Bish*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 11/30/2021

JOYCE M. BISH  
Notary Public - State of Colorado  
Notary ID 20174049148  
My Commission Expires Nov 30, 2021

MY COMMISSION EXPIRES: \_\_\_\_\_  
**TITLE CERTIFICATION**  
I, *Shari Jacobs*, AN AUTHORIZED REPRESENTATIVE OF *First American Title Insurance Company*, TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.  
*Shari Jacobs*  
AUTHORIZED REPRESENTATIVE  
*First American Title Ins. Co.*  
TITLE COMPANY  
SIGNED THIS 13<sup>th</sup> DAY OF December 2019

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 13<sup>th</sup> DAY OF December 2019 BY *Shari Jacobs*  
AS AUTHORIZED REPRESENTATIVE OF *First American Title Ins. Co.*  
WITNESS MY HAND AND OFFICIAL SEAL  
*Angie James Harris*  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID # 20004003852  
MY COMMISSION EXPIRES DECEMBER 11, 2021

**WATER RIGHTS DEDICATION AGREEMENT**  
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE LANTERNS AMENDED AND RESTATED DEVELOPMENT AGREEMENT, RECORDED ON THE 8th DAY OF DECEMBER, 2014 AT RECEPTION NO. 2014071296 AND ACCORDINGLY 5 SFE ARE DEBITED FROM THE WATER BANK. 2014

**SURVEYOR'S CERTIFICATE**  
I, *Patrick M. Stearns*, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REFLECTS THAT SURVEY.  
*Patrick M. Stearns* 12/4/19  
REGISTERED LAND SURVEYOR DATE

**CIVIL ENGINEER'S STATEMENT**  
I, *Thomas Odle*, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK CONSTRUCTION STANDARDS.  
*Thomas Odle* 12/4/19  
REGISTERED PROFESSIONAL ENGINEER DATE

**STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL**  
THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 20<sup>th</sup> DAY OF January 2020.  
*Scott S. Johnson*  
DIRECTOR OF DEVELOPMENT SERVICES

**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE**  
THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 4:33 PM ON THE 9<sup>th</sup> DAY OF January 2020 AT RECEPTION NO. 2020002370.  
DOUGLAS COUNTY CLERK AND RECORDER  
BY: *Mary Sammis*  
DEPUTY

### PROJECT DIRECTORY

OWNER	DEVELOPER	ARCHITECT	LANDSCAPE ARCHITECT	CIVIL ENGINEER	ELECTRICAL ENGINEER	SURVEYOR	LAND PLANNER
CARLSON ASSOCIATES, INC. 12450 1st Street Eastlake, Colorado 80514 Contact: Scott Carlson Email: scottcarlson@carlsonland.net	TOLL BROTHERS SOUTHWEST LLC C/O 10 Inverness Drive East, Suite 125 Englewood, Colorado 80112 303-708-0730 Contact: Ruggie Carvelth Email: rcarvelth@tollbrothers.com	DTJ DESIGN 3101 1st Avenue, Suite 130 Boulder, Colorado 80301 303-443-7533 Contact: Gage Duran Email: gduran@dtjdesign.com	DTJ DESIGN 3101 1st Avenue, Suite 130 Boulder, Colorado 80301 303-443-7533 Contact: Greg White, PLA Email: gwwhite@dtjdesign.com	CVL CONSULTANTS OF COLORADO 10333 East Dry Creek Road, Suite 240 Englewood, Colorado 80112 720-482-9526 Contact: Tom Odle, PE, PLS Email: todle@cvinc.net	JCAA CONSULTING ENGINEERS 4100 Wadsworth Boulevard Wheat Ridge, Colorado 80033 303-278-7713 Contact: Megan Sheehan Email: msheehan@jcaace.com	CVL CONSULTANTS OF COLORADO 10333 East Dry Creek Road, Suite 240 Englewood, Colorado 80112 720-482-9526 Contact: William Hesselbach, Jr., PE, PLS	NORRIS DESIGN 1101 Bannock Street Denver, Colorado 80204 303-892-1199 Contact: Mitch Black, PLA Email: mblack@norris-design.com

### SHEET INDEX

SHEET	DESCRIPTION
1	Cover Sheet
2	Site Plan
3	Grading Plan
4	Utilities Plan
5	Landscape Plan
6	Hydrozone Plan
7	Landscape Schedule & Notes
8	Amenity Building Elevations
9	Amenity Building Elevations
10	Poolhouse Building Elevations
11	Tennis Pavilion Building Elevations
12	Pavilion Building Elevations
13	Trash Enclosure and Pool Fence Elevations
14	Photometric Plan
15	Lighting Cutsheets
16	Lighting Cutsheets
17	Lighting Cutsheets

### LEGAL DESCRIPTION

LOT 1, BLOCK 5 OF THE LANTERNS FILING NO. 3, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.  
RECEPTION NO.: 2019089834, RECORDED 31 December 2019



	ZONING COMPARISON AND SITE UTILIZATION TABLE	
	PERMITTED PDP13-0005	PROVIDED SDP18-0046
MINIMUM LOT WIDTH (NON TRANSITION ZONE)	50'	490'
MINIMUM LOT AREA (NON TRANSITION ZONE)	5,000 SF	379,038.50 SF (8.7 ACRE)
BUILDING SEPARATION (LOT WIDTH - 80' OR GREATER)	15'	45'
BUILDING SETBACKS		
FRONT	10'	10'
SIDE (TO STREET)	15'	15'
SIDE (INTERIOR LOT)	7.5'	7.5'
REAR	20'	20'
PARKING		
FITNESS CLUB/ REC	4 STALLS/ 1,000 SF (GFA)	44 STALLS (10,981 GSF)
SPORT COURT	3 STALLS/ COURT	6 STALLS (2 COURTS)
POOL + POOL DECK	6 STALLS/ 1,000 SF	20 STALLS (4,000 SF)
TOTAL PARKING	70 STALLS	70 STALLS
TOTAL HANDICAP PARKING	ADA ABAAG TABLE F209.2	4 STALLS
TOTAL BICYCLE PARKING	PROVIDE BIKE PARKING EQUAL TO 5% OFF-STREET PARKING	16 STALLS
NON-RESIDENTIAL		
MAXIMUM BUILDING HEIGHT	45'-0"	45'-0"
MAXIMUM BUILDING COVERAGE (NON RESIDENTIAL)	60%	3.4% (12,910 SF)
BUILDING COVERAGE		CLUBHOUSE = 6,233 SQ FT BATHHOUSE = 1,105 SQ FT
MAXIMUM GROSS FLOOR AREA		11,726 SQ FT
PARKING AREA COVERAGE		29,602 SQ FT
O.S./LANDSCAPE AREA COVERAGE		294,637 SQ FT
TOTAL LOT AREA		379,038.50 SQ FT / 8.7 ACRES
SINGLE FAMILY EQUIVALENT (SFE)		5

### BASIS OF BEARING

SOUTHEASTERLY LINE OF LOT 1, BLOCK 1, 1ST AMENDMENT TO HECKENDORF RANCH FILING NO. 2, FILED UNDER RECEPTION NO. 2009030059, DOUGLAS COUNTY RECORDS. SAID LINE DEARS S46°19'43"W. BOTH ENDS OF SAID LINE ARE MONUMENTED.

### BENCHMARK

DISC IN THE NORTHWEST CONCRETE RAILROAD BRIDGE ABUTMENT STAMPED "M 337 1952" NAVD 88 ELEV. 6314.58 LOCATED 2.5 MILES SOUTH ALONG THE DENVER AND RIO GRANDE WESTERN RAILROAD FROM THE INTERSECTION OF FIFTH STREET IN CASTLE ROCK.

### SITE DEVELOPMENT GENERAL NOTES

- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.
- Pursuant to Section 4.3E and 8.2.3A of the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
- The landscape and irrigation plans contained in the Site Development Plan are conceptual only and subject to change with review of the Construction Documents.
- Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
- The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
- Approval of this conceptual Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
- No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flowline elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.
- The purpose and use of all tracts, to whom the tracts will be dedicated with the Plat and who will be responsible for maintenance is shown in a table on the Site Development Plan.
- All Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan shall be granted to the Town of Castle Rock with the Plat.
- This site is zoned PD.
- All emergency access roads, emergency access gates and signage shall comply with the Town of Castle Rock Fire Department requirements and shall be maintained by Metropolitan District, Homeowners Association, or other property management entity.
- Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.
- This development is impacted by the Town of Castle Rock Skyline/Ridge Protection Regulations. Skyline/Ridge areas must adhere to Chapter 17.48 of the Town of Castle Rock Municipal Code regarding mitigation procedures.
- Retaining walls, sections of retaining walls 4-feet in height or higher or tiered walls must be designed by a Structural Engineer licensed in the State of Colorado and must receive a Building Permit from the Town of Castle Rock prior to the issuance of the Public Works Permit.
- A sign permit for each sign must be obtained from the Town of Castle Rock Building Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code.
- The 100 Year Floodplain of a major drainage way does not fall within this Lot.
- There are two Monument Signs located within this Lot (one at the northeast corner within a Monument Tract and another at the south side of the curb cut/entry to the Lot). Please refer to the Lanterns Master Signage Plan for specific design information and details related to these two signs.

### FIRE NOTES

- If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
- Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
- Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
- Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
- Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
- Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
- "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.
- It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.

THE LANTERNS - ACTIVE ADULT AMENITY CENTER  
SITE DEVELOPMENT PLAN  
TOLL BROTHERS SOUTHWEST LLC C/O  
TOWN OF CASTLE ROCK, COLORADO

DRAWN BY:	GGV
CHECKED BY:	GBW
PROJECT NO.:	2017044_40
ISSUE DATE:	10/01/2019
REVISIONS:	
SDP 02	11/28/2018
SDP 03	02/05/2019
SDP 04	03/12/2019
SDP 09	10/28/2019
SHEET TITLE:	

CALL UNCC  
TWO WORKING DAYS  
BEFORE YOU DIG  
1-800-922-1987  
534-6700 METRO DENVER AREA  
UTILITY NOTIFICATION CENTER OF COLORADO  
SITE DEVELOPMENT PLAN  
LOT 1, BLOCK 5 - LANTERNS FILING NO. 3  
SDP18-0046

COVER SHEET

SHEET NUMBER:

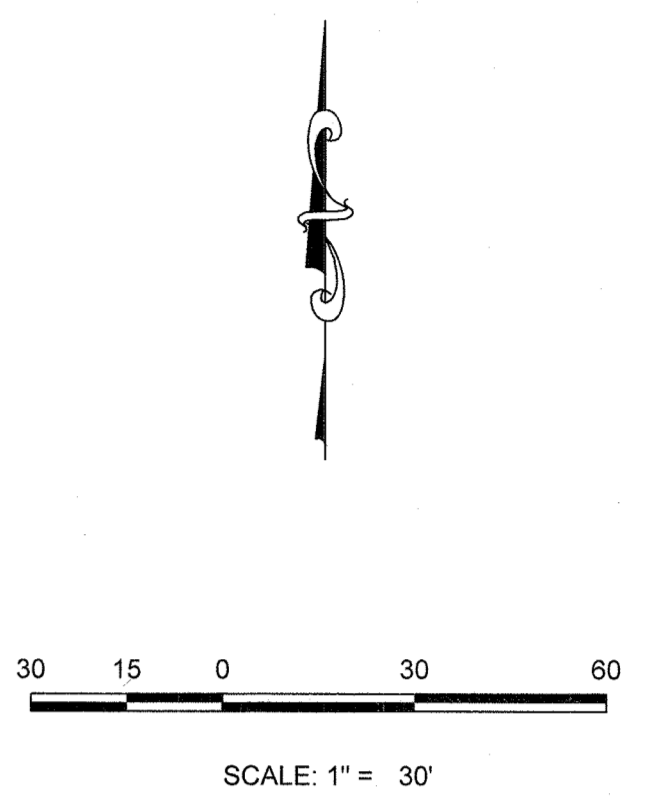
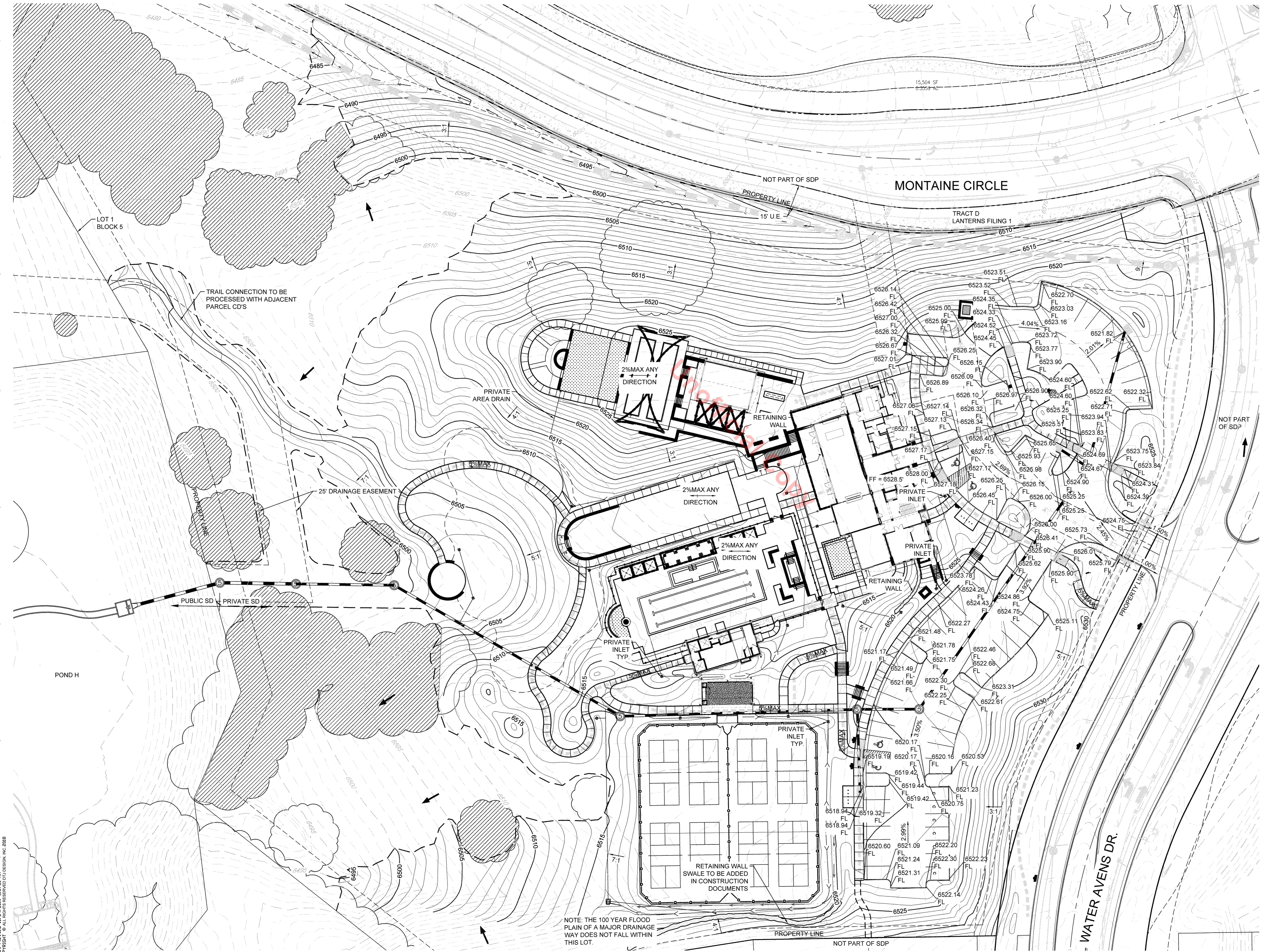
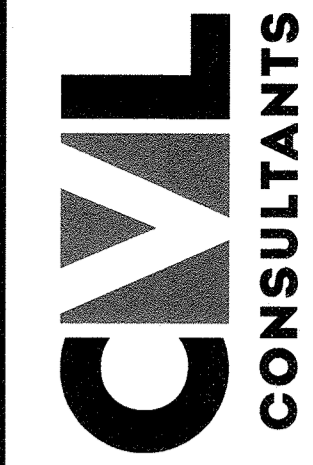
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User: gbw  
Last Modified: 12/27/2019 10:42:18 AM  
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# SITE DEVELOPMENT PLAN

## THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP18-0046



THE LANTERNS - ACTIVE ADULT AMENITY CENTER  
SITE DEVELOPMENT PLAN

TOLL BROTHERS SOUTHWEST LLC C/O  
TOWN OF CASTLE ROCK, COLORADO

Drawing: 09/10/2019, Project: Montrose, CA, Engineering: Sheet: SDP18-0046, Rec: Center, SDP18-0046, Grading: PL, ANap, Lost: 10/28/2019, 10:02:01 AM, Copyright: © All rights reserved by UNCC, Inc. 088

NOTE: THE 100 YEAR FLOOD PLAIN OF A MAJOR DRAINAGE WAY DOES NOT FALL WITHIN THIS LOT.

**CALL UNCC**  
TWO WORKING DAYS  
**BEFORE YOU DIG**  
1-800-922-1987  
534-6700 METRO DENVER AREA  
UTILITY NOTIFICATION CENTER OF COLORADO

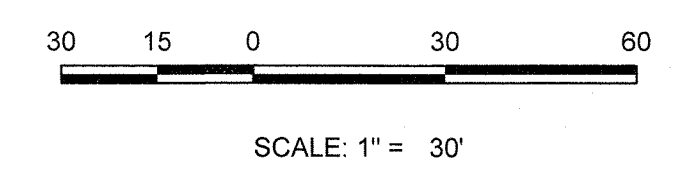
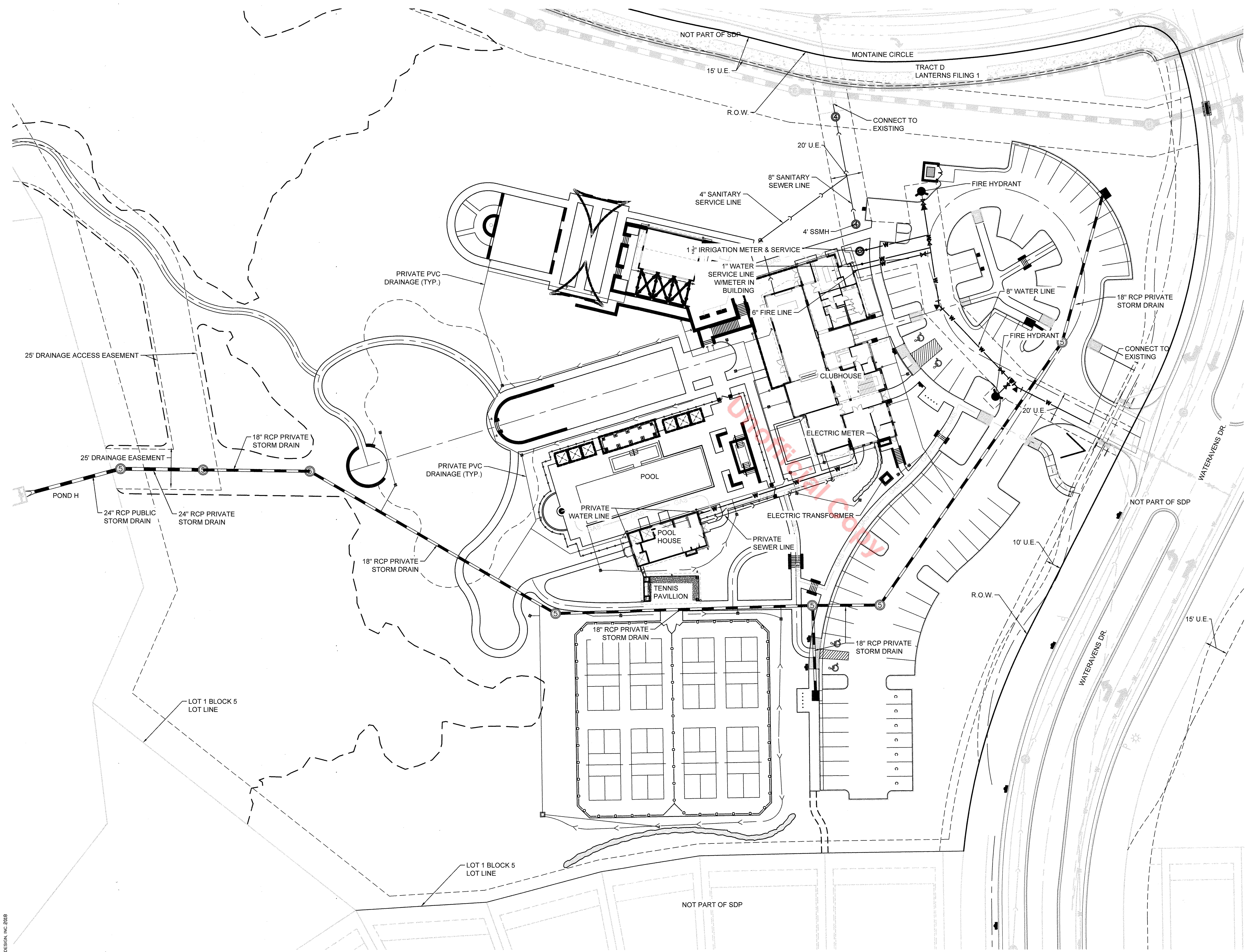
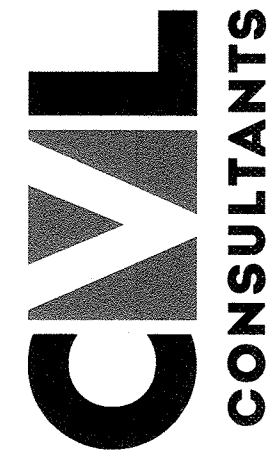
**SITE DEVELOPMENT PLAN**  
THE LANTERNS - ACTIVE ADULT AMENITY  
SDP18-0046

DRAWN BY:	
CHECKED BY:	
PROJECT NO.:	SDP18-0046
ISSUE DATE:	10/28/2019
REVISIONS:	
SDP 09 10/28/2019	
SHEET TITLE:	
GRADING PLAN	
SHEET NUMBER:	

# SITE DEVELOPMENT PLAN

## THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP18-0046



### LEGEND

- BLOCK NUMBER
- LOT TYPE
- LOT NUMBER
- PROPOSED BUTTERFLY VALVE
- PROPOSED CAP WITH END OF LINE BLOWOFF
- PROPOSED REDUCER
- PROPOSED FVALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WL FITTING WITH THRUST BLOCK
- PROPOSED FLARED END SECTION
- PROPOSED LOW POINT BLOW-OFF
- PROPOSED AIR VALVE
- EXISTING BLOW OFF VALVE
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- PROPOSED LIGHT POLE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- CENTERLINE
- RIGHT-OF-WAY
- PROPERTY LINE
- EDGE OF PAVEMENT
- PROPOSED STORM DRAIN
- PROPOSED SEWER LINE WITH MANHOLE
- PROPOSED SEWER LATERAL
- PROPOSED WATER LINE
- PROPOSED WATER LATERAL W/ METER
- EXISTING 60\"/>
- GAS LINE
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD HIGH VOLTAGE LINE
- EXISTING WATER LINE
- EXISTING ELECTRIC LINE
- EXISTING SANITARY SEWER LINE
- EXISTING TELEPHONE LINE
- EXISTING 100-YR FLOODPLAIN
- PROPOSED 100-YR FLOODPLAIN
- MINOR DRAINAGE WAY

**NOTES:**

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK RED WATER PRESSURE ZONE.

THE LANTERNS - ACTIVE ADULT AMENITY CENTER  
SITE DEVELOPMENT PLAN

TOLL BROTHERS SOUTHWEST LLC C/O  
TOWN OF CASTLE ROCK, COLORADO

Drawing: H:\Projects\Montrose\CAD\Engineering\Sheet Sets\VA Rec Center\SDP\VA-UTILITY PLANS.dwg  
- Last Revised: 10/24/2019, 10:03 AM  
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DRAWN BY:	
CHECKED BY:	
PROJECT NO.:	SDP18-0046
ISSUE DATE:	10/28/2019
REVISIONS:	
	SDP 09 10/28/2019
SHEET TITLE:	
	UTILITY PLAN
SHEET NUMBER:	

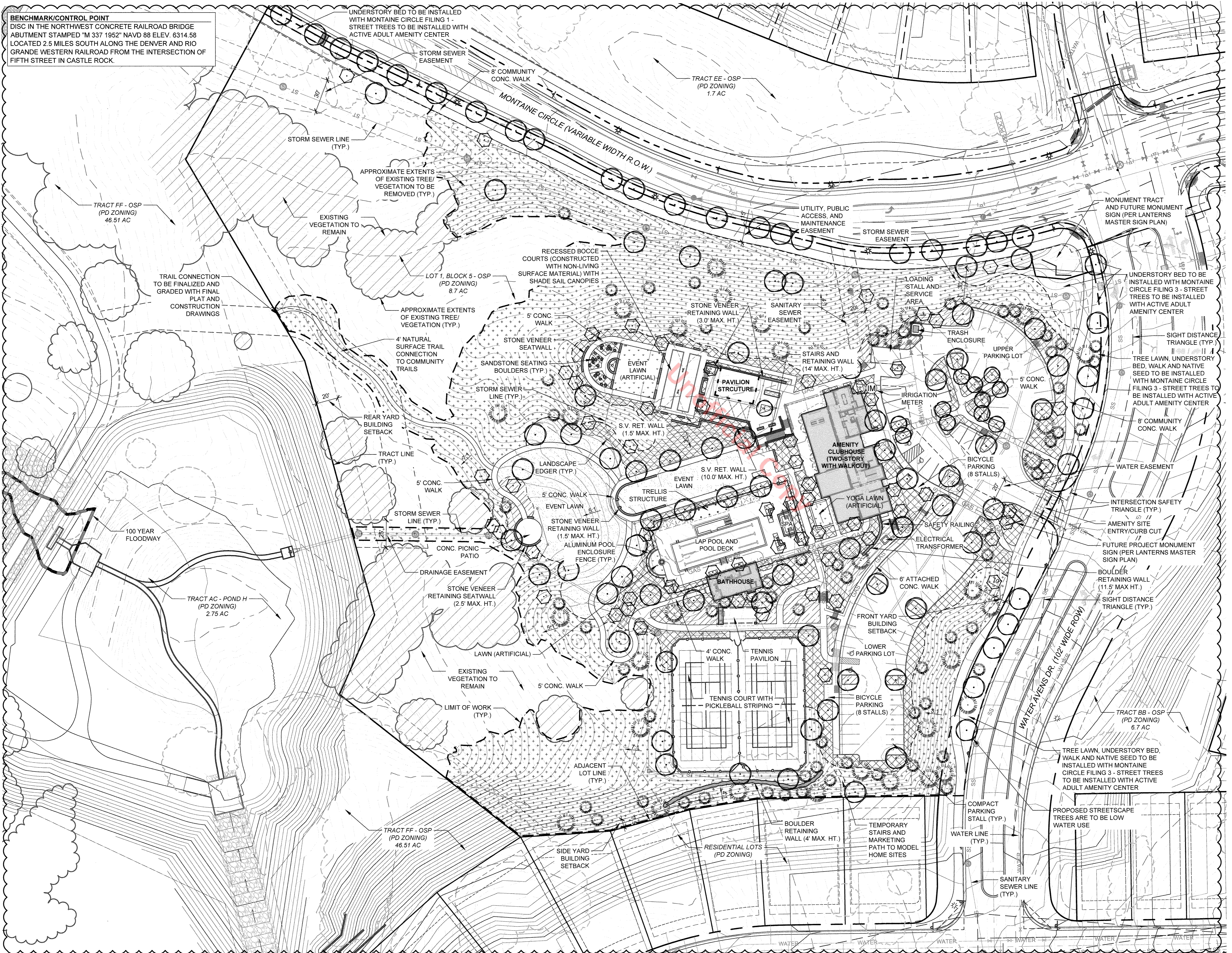


SITE DEVELOPMENT PLAN  
THE LANTERNS - ACTIVE ADULT AMENITY  
SDP18-0046

# SITE DEVELOPMENT PLAN THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP18-0046



### LANDSCAPE LEGEND

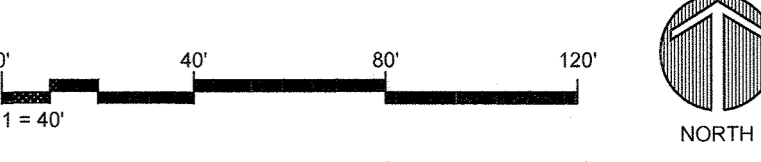
	LIMIT OF WORK
	RIGHT-OF-WAY LINE
	LOT LINE
	DECIDUOUS TREE (LOW HYDROZONE, NOTE 16)
	ORNAMENTAL TREE (LOW HYDROZONE, NOTE 16)
	EVERGREEN TREE (LOW HYDROZONE)
	EXISTING VEGETATION TO BE REMOVED
	EXISTING VEGETATION TO REMAIN
	MANICURED TURF (MOD. TO HIGH HYDROZONE)
	NATIVE SEED (PERMANENT IRRIGATION) (LOW HYDROZONE)
	NATIVE SEED (TEMPORARY IRRIGATION) (LOW HYDROZONE)
	SHRUB/ GRASS MIX (MODERATE HYDROZONE)
	SHRUB/ PERENNIAL MIX (MODERATE HYDROZONE)

- ### LANDSCAPE NOTES
- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
  - QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
  - ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
  - DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
  - PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
  - DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
  - IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
  - IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
  - IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXIST ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION; INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
  - NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOE LINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON PLANS.
  - NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS.
  - AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
  - LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
  - DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY LIVING PLANT MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
  - SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
  - ALL STREETSCAPE TREES ARE TO BE LOW WATER USE.

- ### IRRIGATION NOTES
- SOD AREAS 10' OR WIDER MAY BE IRRIGATED WITH OVERHEAD IRRIGATION.
  - SOD AREAS 10' OR NARROWER WILL BE IRRIGATED WITH SUBSURFACE DRIP IRRIGATION.
  - TREES ARE TO BE IRRIGATED USING SUBSURFACE DRIP EMITTERS.
  - IRRIGATED NATIVE SEED GRASSES ARE TO USE ROTORS UNLESS OTHERWISE NOTED.

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**SITE DEVELOPMENT PLAN**  
LOT 1, BLOCK 5 - LANTERNS FILING NO. 3  
SDP18-0046



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**THE LANTERNS - ACTIVE ADULT AMENITY CENTER**  
 SITE DEVELOPMENT PLAN  
 TOLL BROTHERS SOUTHWEST LLC C/O  
 TOWN OF CASTLE ROCK, COLORADO

DRAWN BY: GGV  
CHECKED BY: GBW  
PROJECT NO.: 2017044.40  
ISSUE DATE: 10/01/2018

REVISIONS:

SDP 02	11/28/2018
SDP 03	02/05/2019
SDP 04	03/12/2019
SDP 09	10/28/2019

SHEET TITLE:

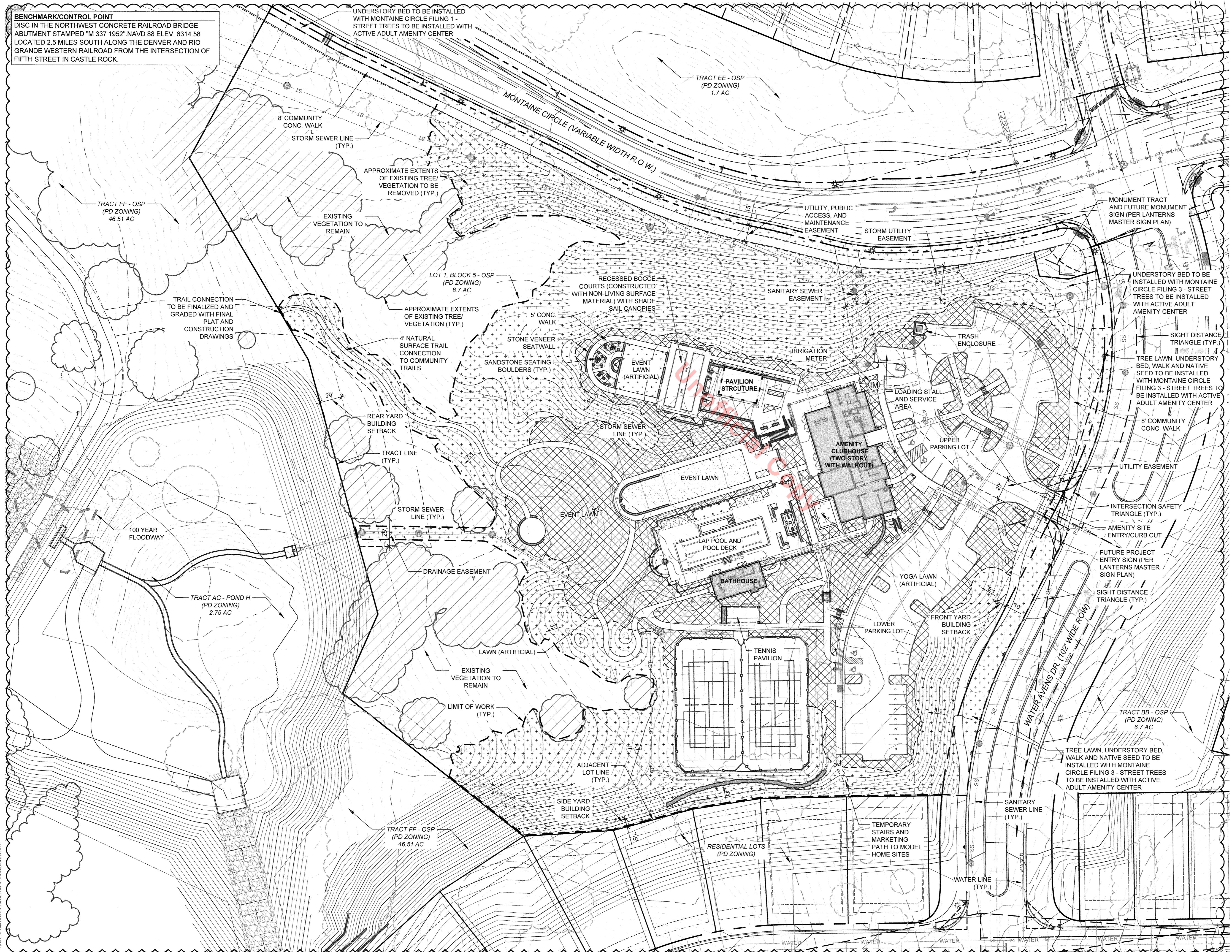
**LANDSCAPE PLAN**

Drawing: L:\017044\_2018\Monitors Active\Amenity Center\SDP18-0046\SDP18-0046\_LandscapePlan.dwg  
 Last Modified: 10/01/2018 11:14:53 AM  
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# SITE DEVELOPMENT PLAN THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP18-0046



**BENCHMARK/CONTROL POINT**  
DISC IN THE NORTHWEST CONCRETE RAILROAD BRIDGE ABUTMENT STAMPED "M 337 1952" NAVD 88 ELEV. 6314.58 LOCATED 2.5 MILES SOUTH ALONG THE DENVER AND RIO GRANDE WESTERN RAILROAD FROM THE INTERSECTION OF FIFTH STREET IN CASTLE ROCK.

### LANDSCAPE LEGEND

- LIMIT OF WORK
- - - RIGHT-OF-WAY LINE
- LOT LINE
- [Stippled Box] HIGH HYDROZONE
- [Cross-hatched Box] MODERATE HYDROZONE
- [Dotted Box] LOW HYDROZONE

- ### LANDSCAPE NOTES
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- ### IRRIGATION NOTES
- SOD AREAS 10' OR WIDER MAY BE IRRIGATED WITH OVERHEAD IRRIGATION.
  - SOD AREAS 10' OR NARROWER IN WIDTH WILL BE IRRIGATED WITH SUBSURFACE DRIP IRRIGATION.
  - TREES ARE TO BE IRRIGATED WITH SUBSURFACE DRIP EMITTERS.
  - NATIVE SEED GRASSES THAT ARE IRRIGATED ARE TO USE ROTATORS UNLESS OTHERWISE NOTED.

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**SITE DEVELOPMENT PLAN**  
LOT 1, BLOCK 5 - LANTERNS FILING NO. 3  
SDP18-0046

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**THE LANTERNS - ACTIVE ADULT AMENITY CENTER**  
SITE DEVELOPMENT PLAN  
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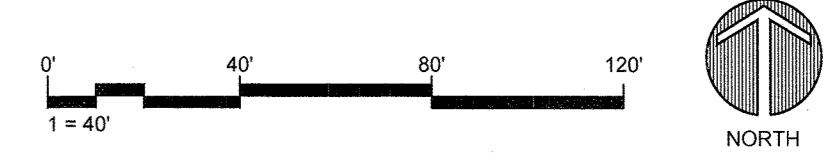
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PROJECT NO.: 2017044.40  
ISSUE DATE: 10/01/2018

REVISIONS:

SDP 02	11/26/2018
SDP 03	02/05/2019
SDP 04	03/12/2019
SDP 09	10/28/2019

SHEET TITLE:  
**LANDSCAPE HYDROZONE PLAN**

SHEET NUMBER:  
**6 of 17**



Drawn: 11/02/2018, 20: Mountain Active Adult Clubhouse SDP18-0046, Landscape Hydrozone Plan.dwg  
Last Saved: October 01, 2019 9:02:16 AM by: Overhead  
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# SITE DEVELOPMENT PLAN

## THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP18-0046

ELEVATION LEGEND		
NOTE	MATERIAL DESCRIPTION / COLOR	IMAGE
E1	SLATE GRAY STANDING SEAM ROOF	
E2	MATCHING DARK ANODIZED/CLAD/PAINTED METAL	
E3	STAINED WOOD	
E4	ARCTIC WHITE BOARD & BATTEN SIDING	
E5	SANDSTONE COBBLE, CULTURED STONE w/ MATCHING PRECAST CAP	
E6	SCREENED MECHANICAL UNITS BEYOND	
E11	EXTERIOR LIGHTING	

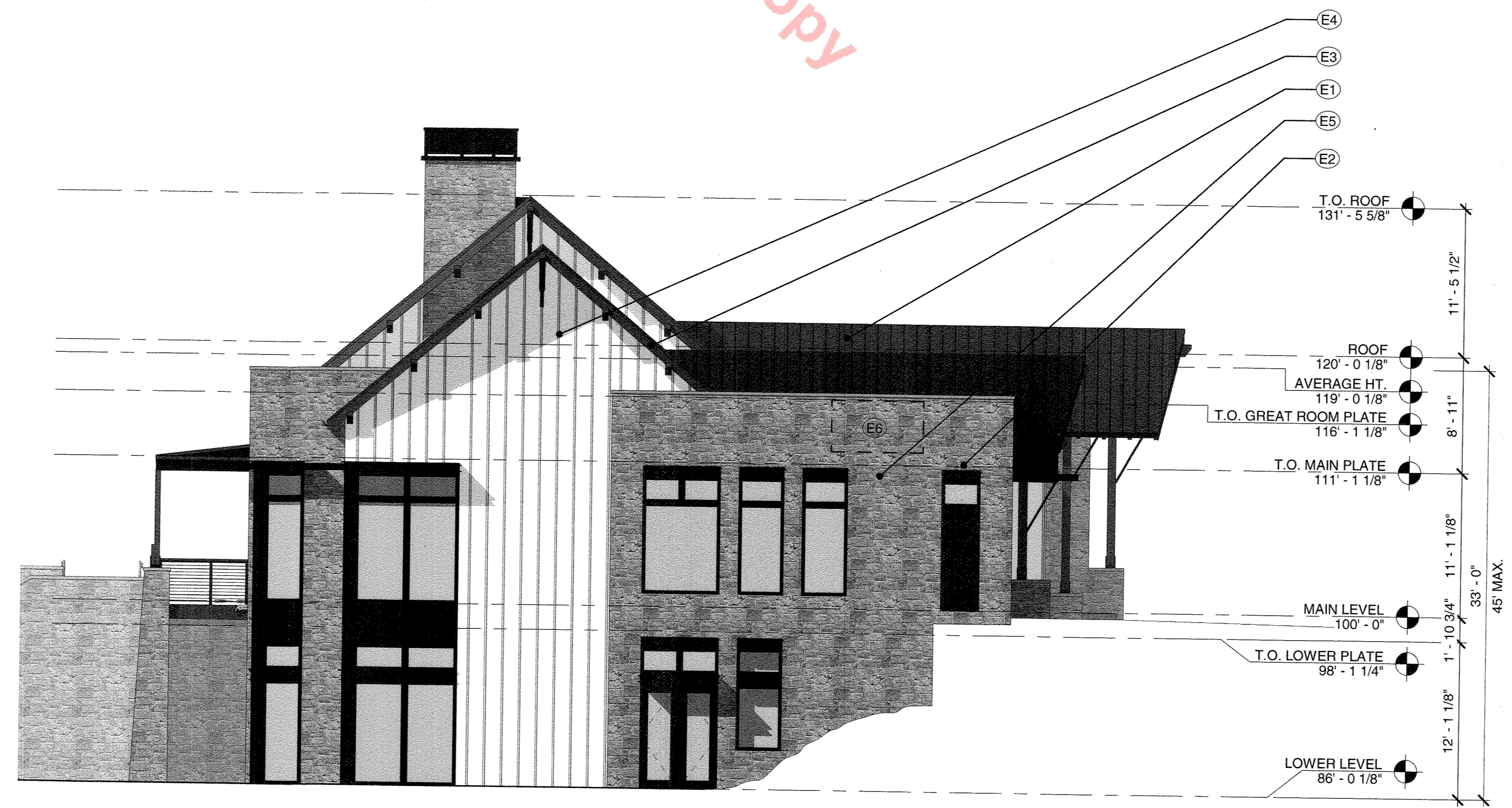
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1 AMENITY-FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



2 AMENITY-LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

GENERAL NOTE:  
SEE NOTE 17 ON THE COVER SHEET AND THE LANTERNS MASTER SIGNAGE PLAN FOR MONUMENT SIGN INFORMATION AND DETAIL

THE LANTERNS - ACTIVE ADULT AMENITY CENTER  
SITE DEVELOPMENT PLAN

TOLL BROTHERS SOUTHWEST LLC C/O  
TOWN OF CASTLE ROCK, COLORADO

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**SITE DEVELOPMENT PLAN**  
LOT 1, BLOCK 5 - LANTERNS FILING NO. 3  
SDP18-0046

AMENITY BUILDING ELEVATIONS

SHEET NUMBER:

# SITE DEVELOPMENT PLAN

## THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP18-0046

ELEVATION LEGEND		
NOTE	MATERIAL DESCRIPTION / COLOR	IMAGE
E1	SLATE GRAY STANDING SEAM ROOF	
E2	MATCHING DARK ANODIZED/CLAD/PAINTE METAL	
E3	STAINED WOOD	
E4	ARCTIC WHITE BOARD & BATTEN SIDING	
E5	SANDSTONE COBBLE, CULTURED STONE w/ MATCHING PRECAST CAP	
E6	SCREENED MECHANICAL UNITS BEYOND	
E11	EXTERIOR LIGHTING	

GENERAL NOTE:  
SEE NOTE 17 ON THE COVER SHEET AND THE LANTERNS MASTER SIGNAGE PLAN FOR MONUMENT SIGN INFORMATION AND DETAIL



3 AMENITY-REAR ELEVATION  
9 SCALE: 1/8" = 1'-0"



4 AMENITY-RIGHT ELEVATION  
9 SCALE: 1/8" = 1'-0"



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SITE DEVELOPMENT PLAN  
TOLL BROTHERS SOUTHWEST LLC C/O  
TOWN OF CASTLE ROCK, COLORADO

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PROJECT NO.:	SDP18-0046
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SITE DEVELOPMENT PLAN  
LOT 1, BLOCK 5 - LANTERNS FILING NO. 3  
SDP18-0046

SHEET TITLE:  
**AMENITY BUILDING ELEVATIONS**

SHEET NUMBER:

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User: ce  
Date: 10/01/2018 4:34:32 PM  
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# SITE DEVELOPMENT PLAN THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP18-0046

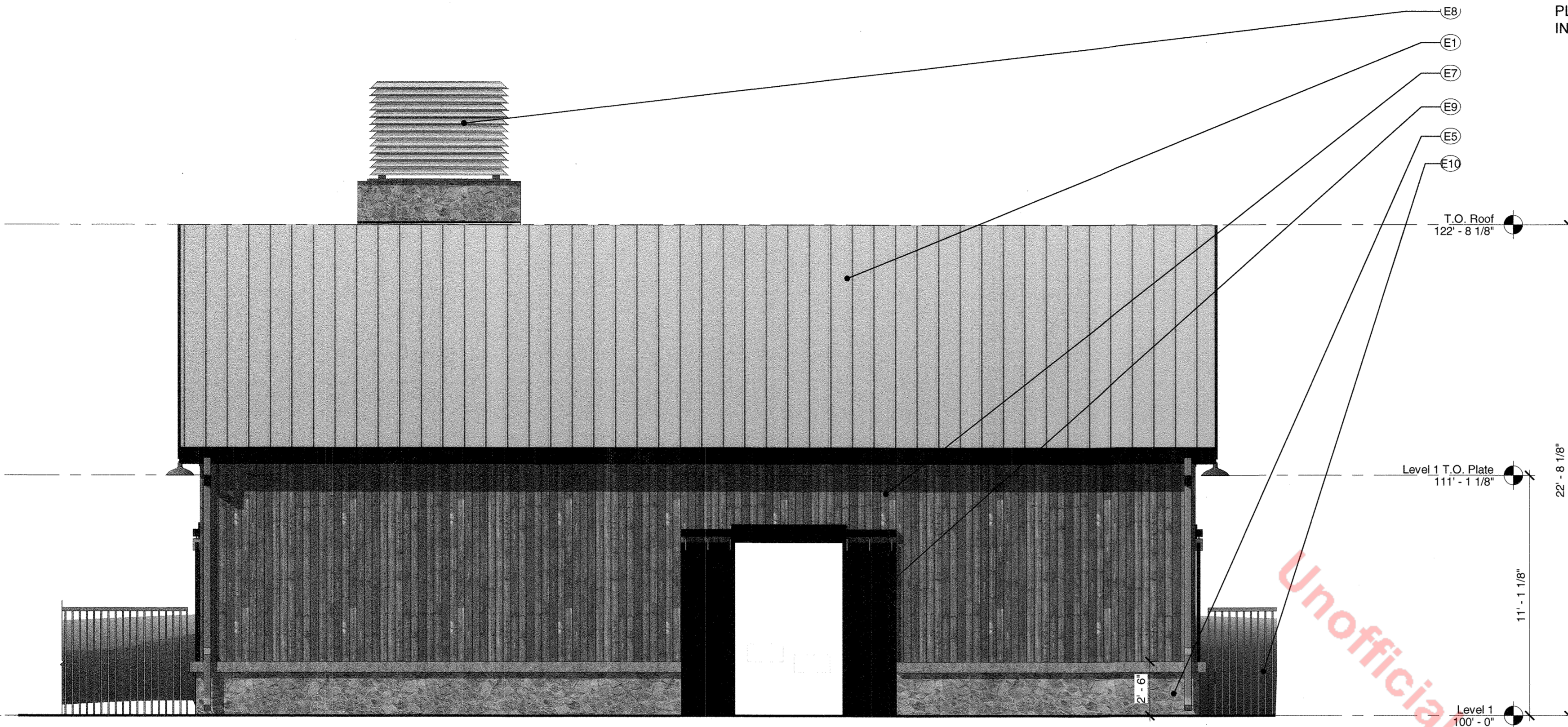


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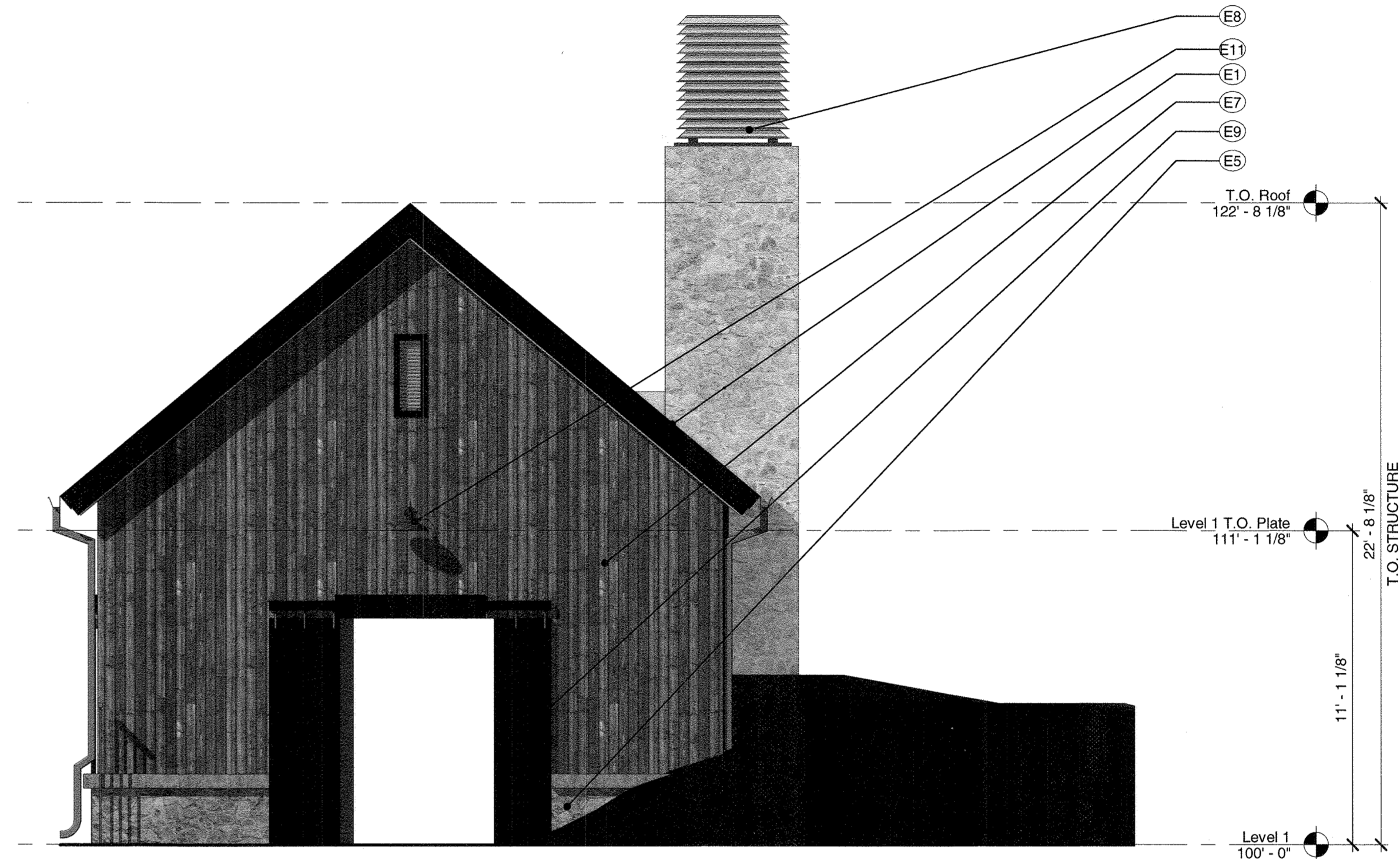
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ELEVATION LEGEND													
NOTE	MATERIAL DESCRIPTION / COLOR	IMAGE	NOTE	MATERIAL DESCRIPTION / COLOR	IMAGE	NOTE	MATERIAL DESCRIPTION / COLOR	IMAGE	NOTE	MATERIAL DESCRIPTION / COLOR	IMAGE		
E1	SLATE GRAY STANDING SEAM ROOF		E3	STAINED WOOD		E5	SANDSTONE COBBLE, CULTURED STONE w/ MATCHING PRECAST CAP		E8	GALVANIZED CHIMNEY SHROUD			
E2	MATCHING DARK ANODIZED GLASS PAINTED METAL		E4	ARCTIC WHITE BOARD & BATTEN SIDING		E7	BARNWOOD CEDAR CHANNEL SIDING		E9	BARN DOOR PER BUILDER'S SPEC, MATCH CEDAR SIDING		E10	POOL FENCE PER BUILDER'S SPEC
											E11	EXTERIOR LIGHTING	

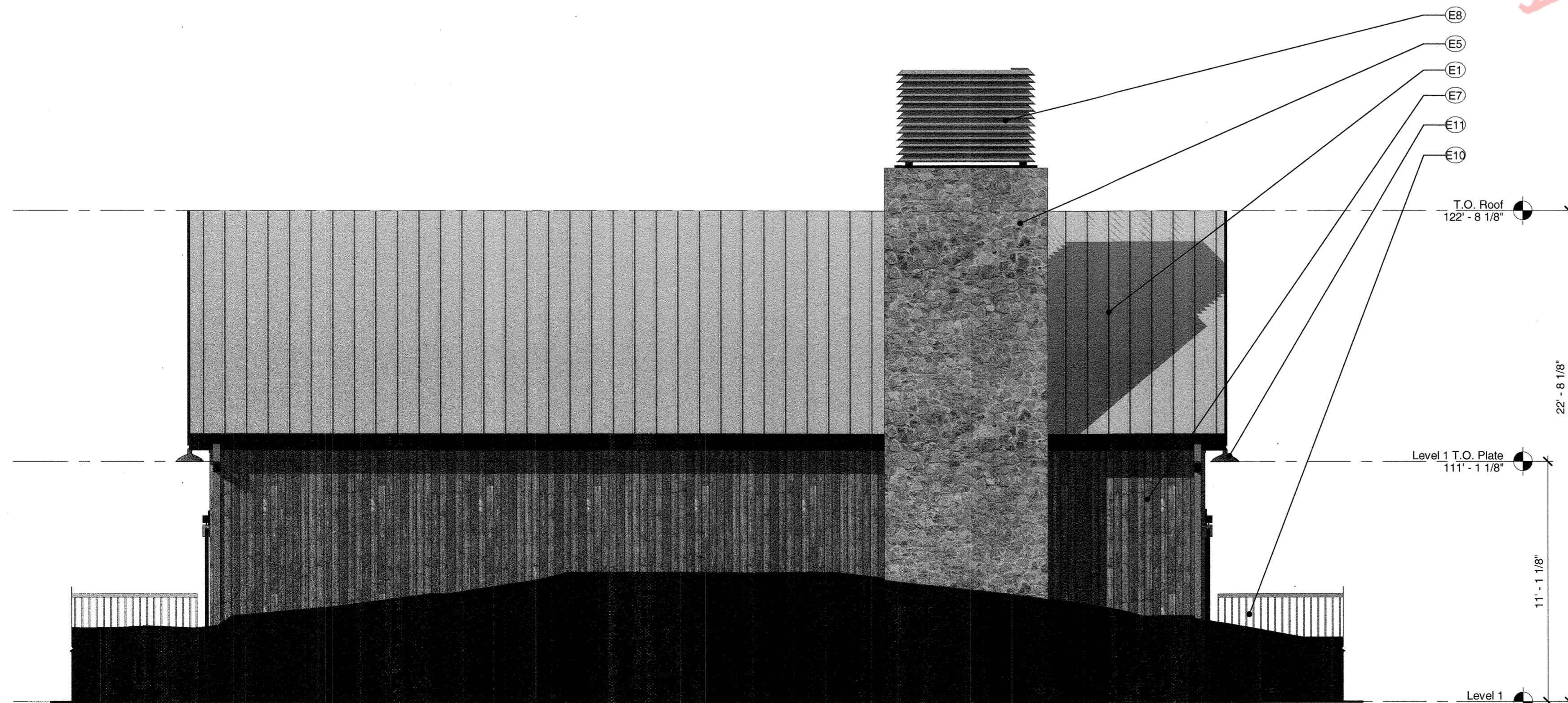
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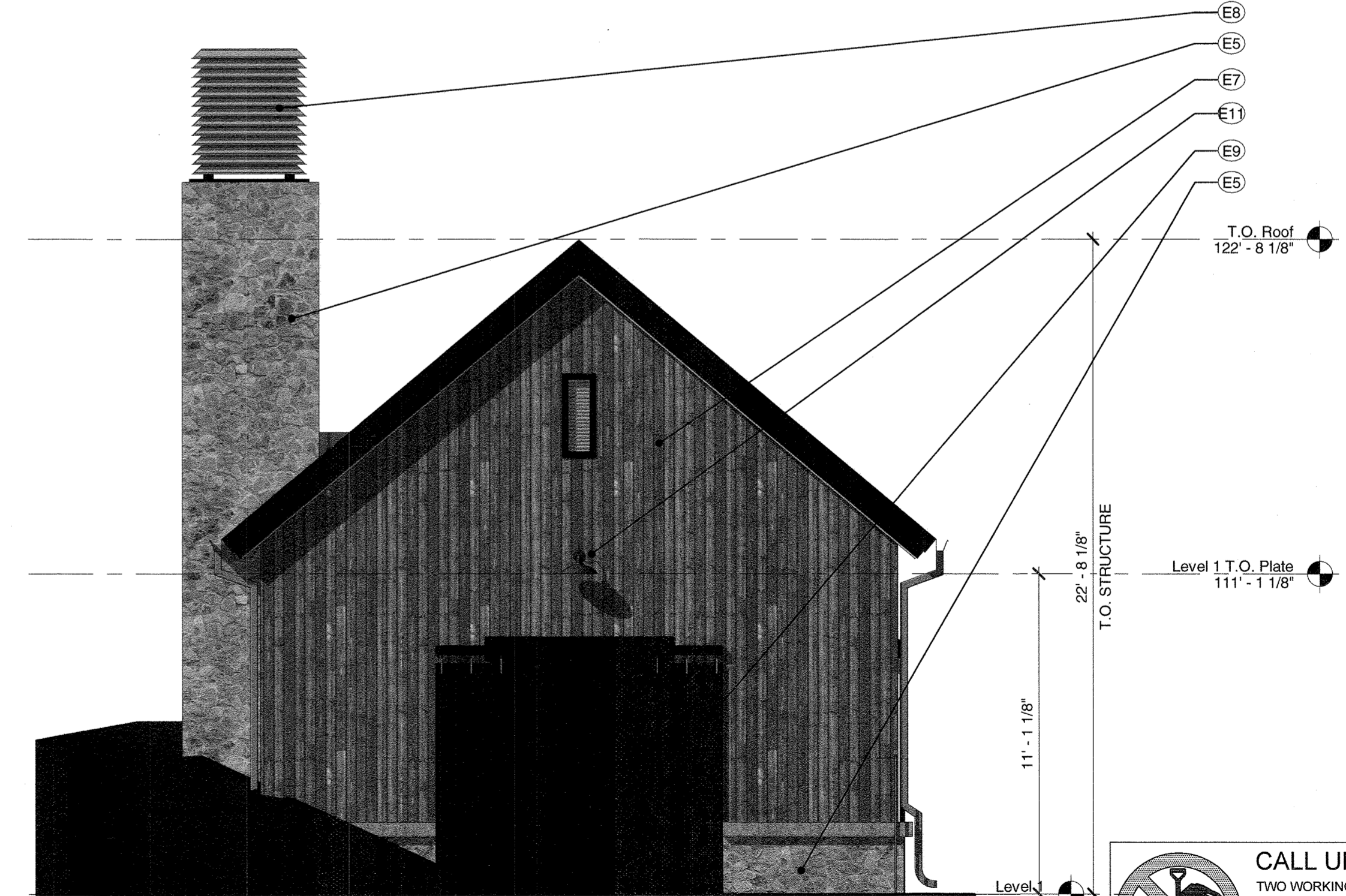
4 BATHHOUSE - FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 BATHHOUSE - RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



3 BATHHOUSE - BACK ELEVATION  
SCALE: 1/4" = 1'-0"



1 BATHHOUSE - LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

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SITE DEVELOPMENT PLAN  
LOT 1, BLOCK 5 - LANTERNS FILING NO. 3  
SDP18-0046

THE LANTERNS - ACTIVE ADULT AMENITY CENTER  
SITE DEVELOPMENT PLAN  
TOLL BROTHERS SOUTHWEST LLC C/O  
TOWN OF CASTLE ROCK, COLORADO

DRAWN BY:	CE
CHECKED BY:	GD
PROJECT NO.:	SDP18-0046
ISSUE DATE:	10/01/2018

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SDP 03	02/05/2019
SDP 04	03/12/2019
SDP 09	10/28/2019

SHEET TITLE:  
POOL/MECH  
BUILDING  
ELEVATIONS

SHEET NUMBER:

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# SITE DEVELOPMENT PLAN

## THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP18-0046

ELEVATION LEGEND		
NOTE	MATERIAL DESCRIPTION COLOR	IMAGE
E1	SLATE GRAY STANDING SEAM ROOF	
E2	MATCHING DARK ANODIZED/CLAD/PAINTE METAL	
E3	STAINED WOOD	
E4	ARCTIC WHITE BOARD & BATTEN SIDING	
E5	SANDSTONE CORBLE CULTURED STONE w/ MATCHING PRECAST CAP	

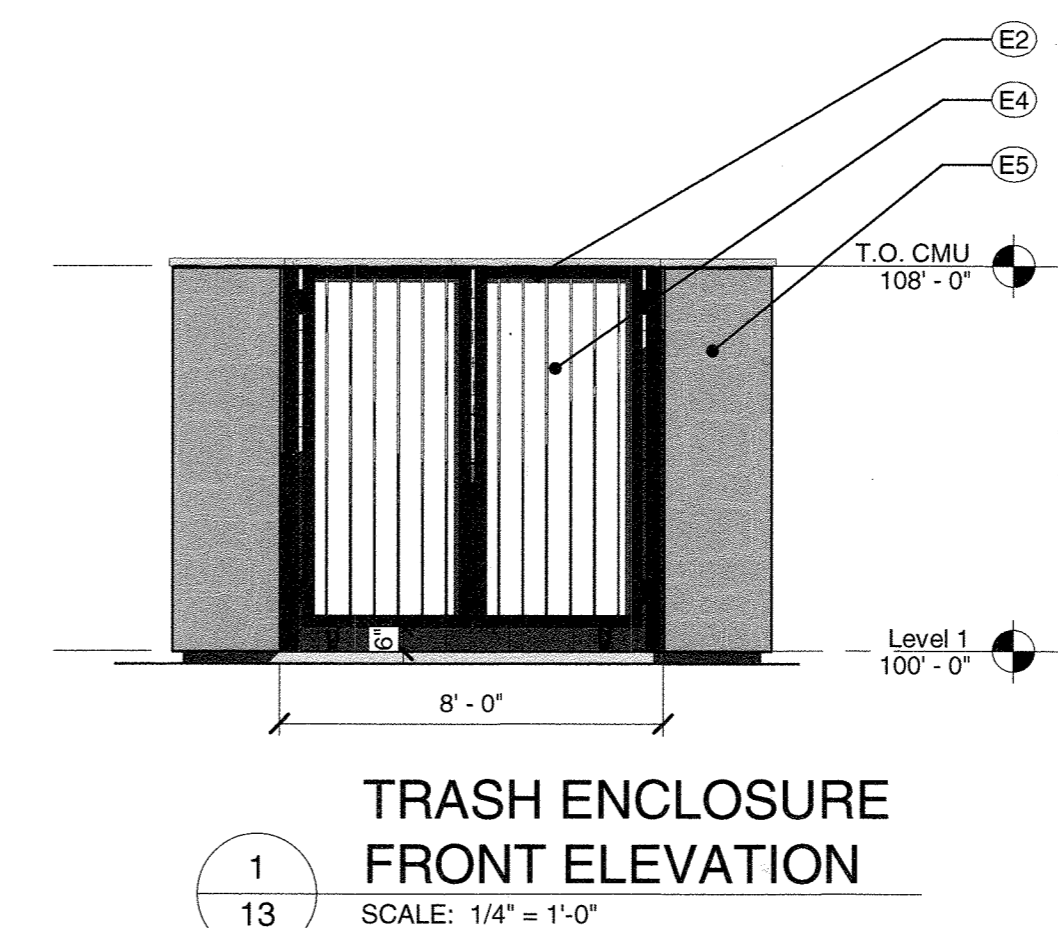
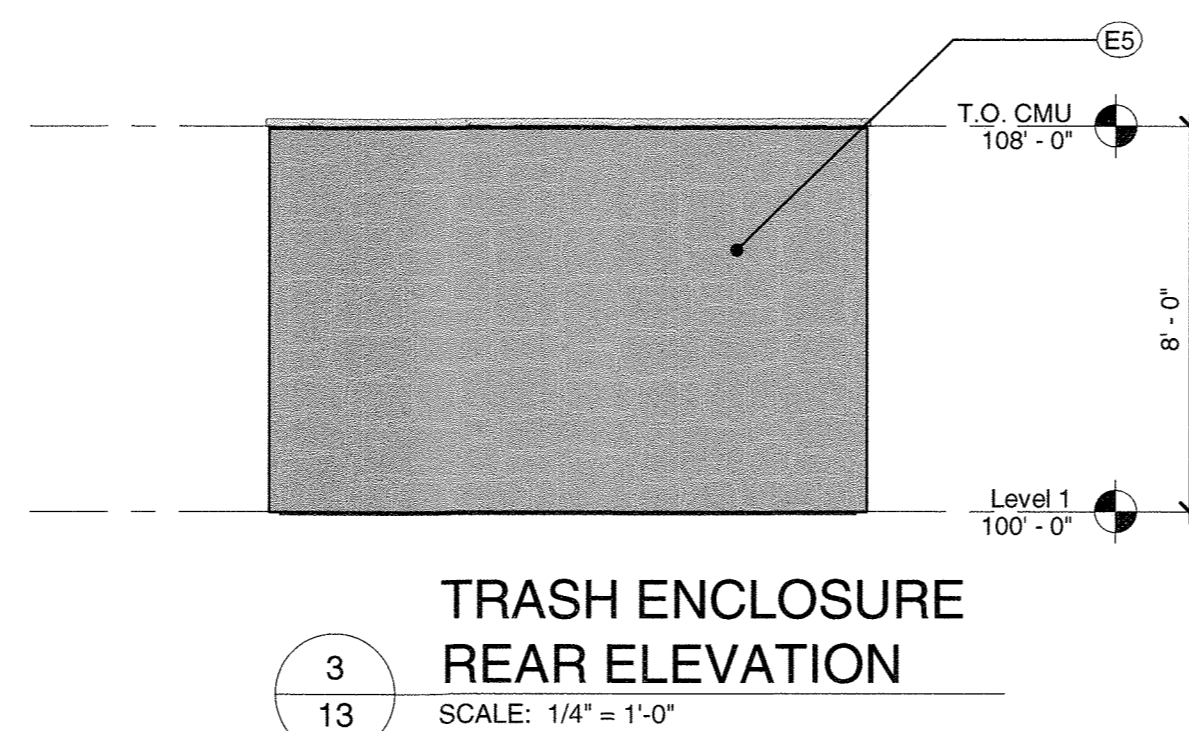
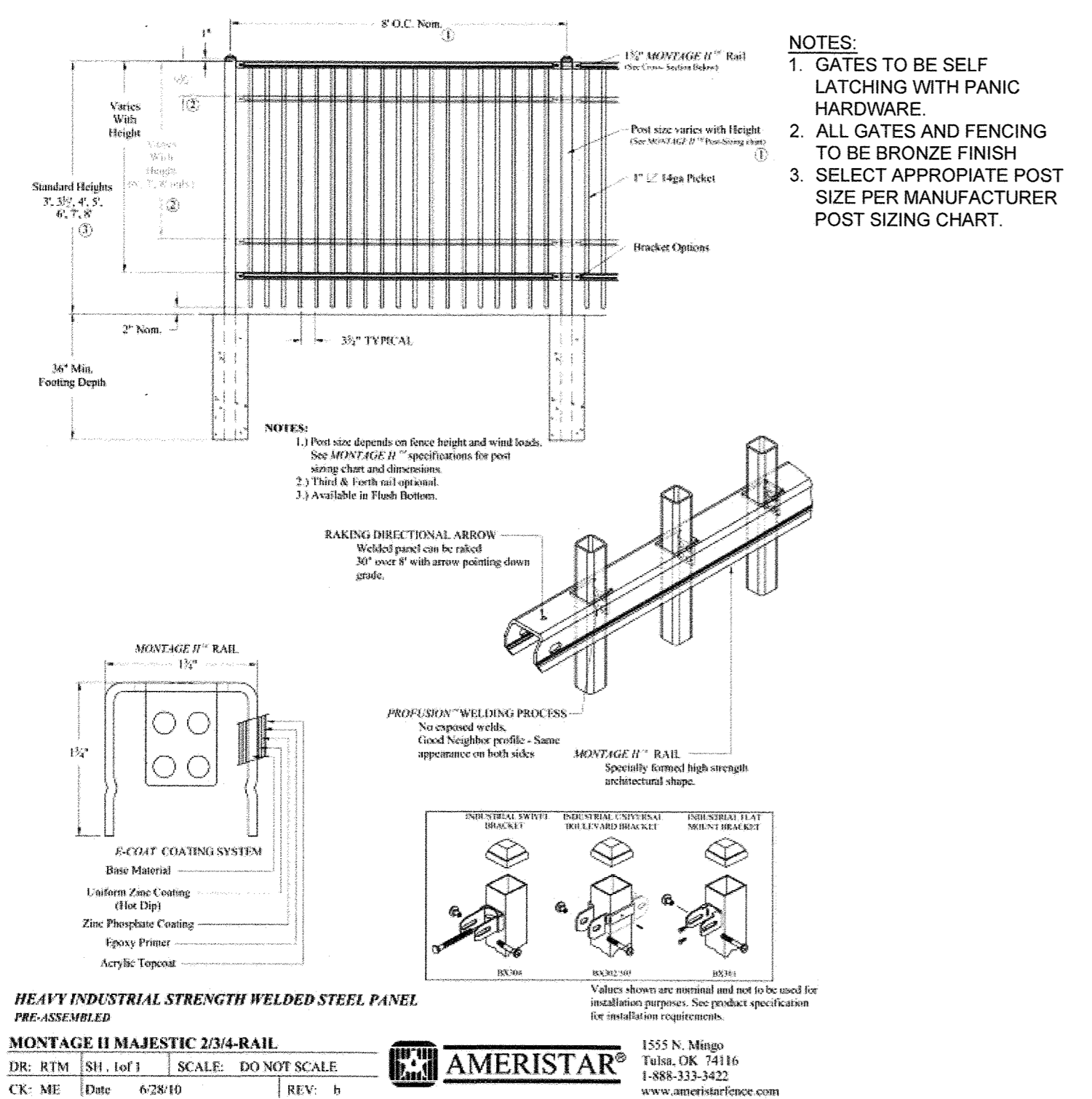
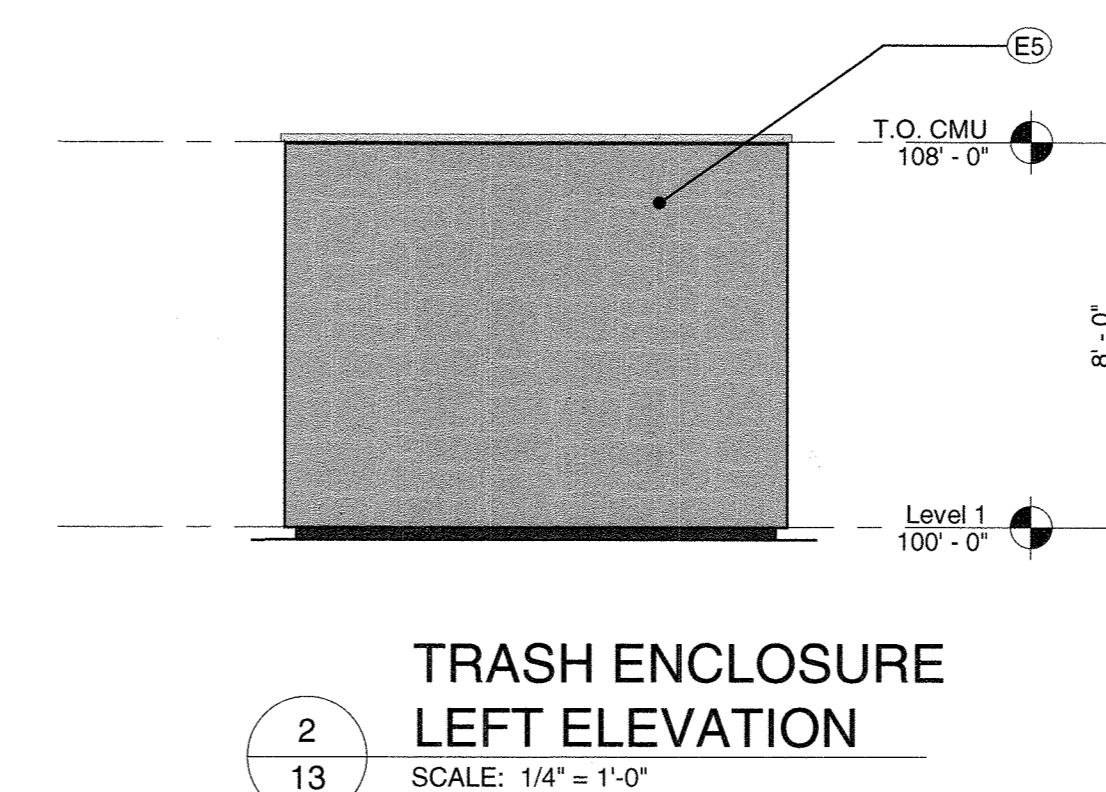
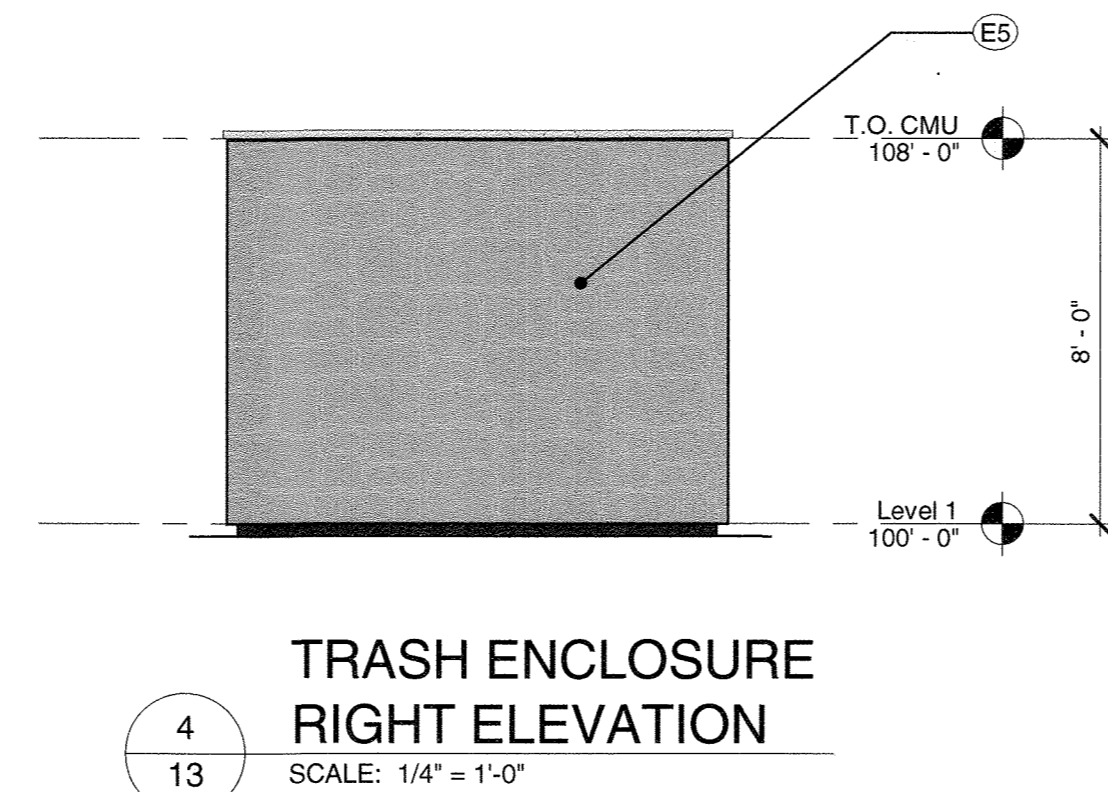
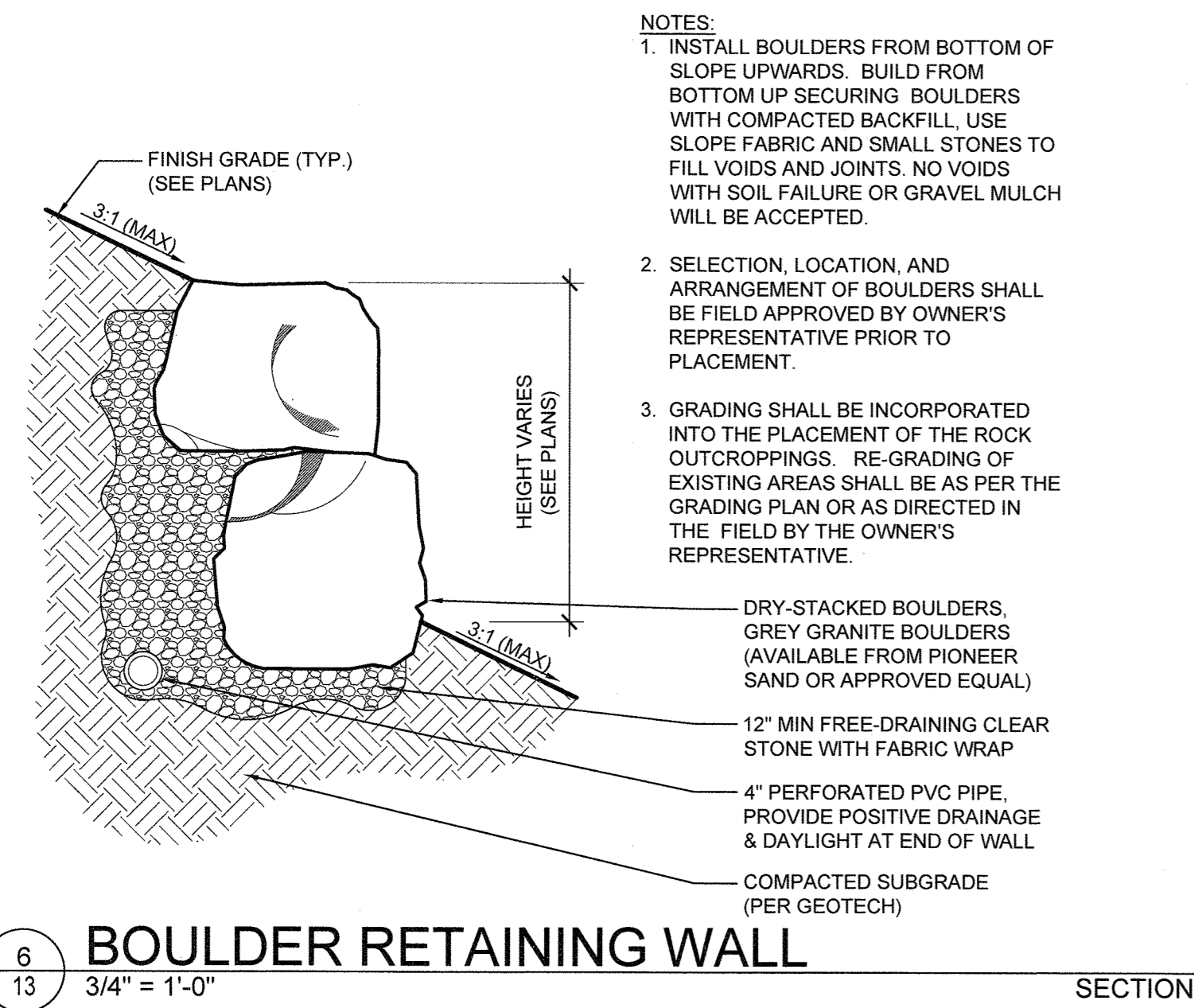
GENERAL NOTE:  
SEE NOTE 17 ON THE COVER SHEET AND THE LANTERNS MASTER SIGNAGE PLAN FOR MONUMENT SIGN INFORMATION AND DETAIL

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SDP18-0046

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SDP 04	03/12/2019
SDP 09	10/28/2019
SHEET TITLE:	TRASH ENCLOSURE ELEVATIONS & SITE DETAILS
SHEET NUMBER:	

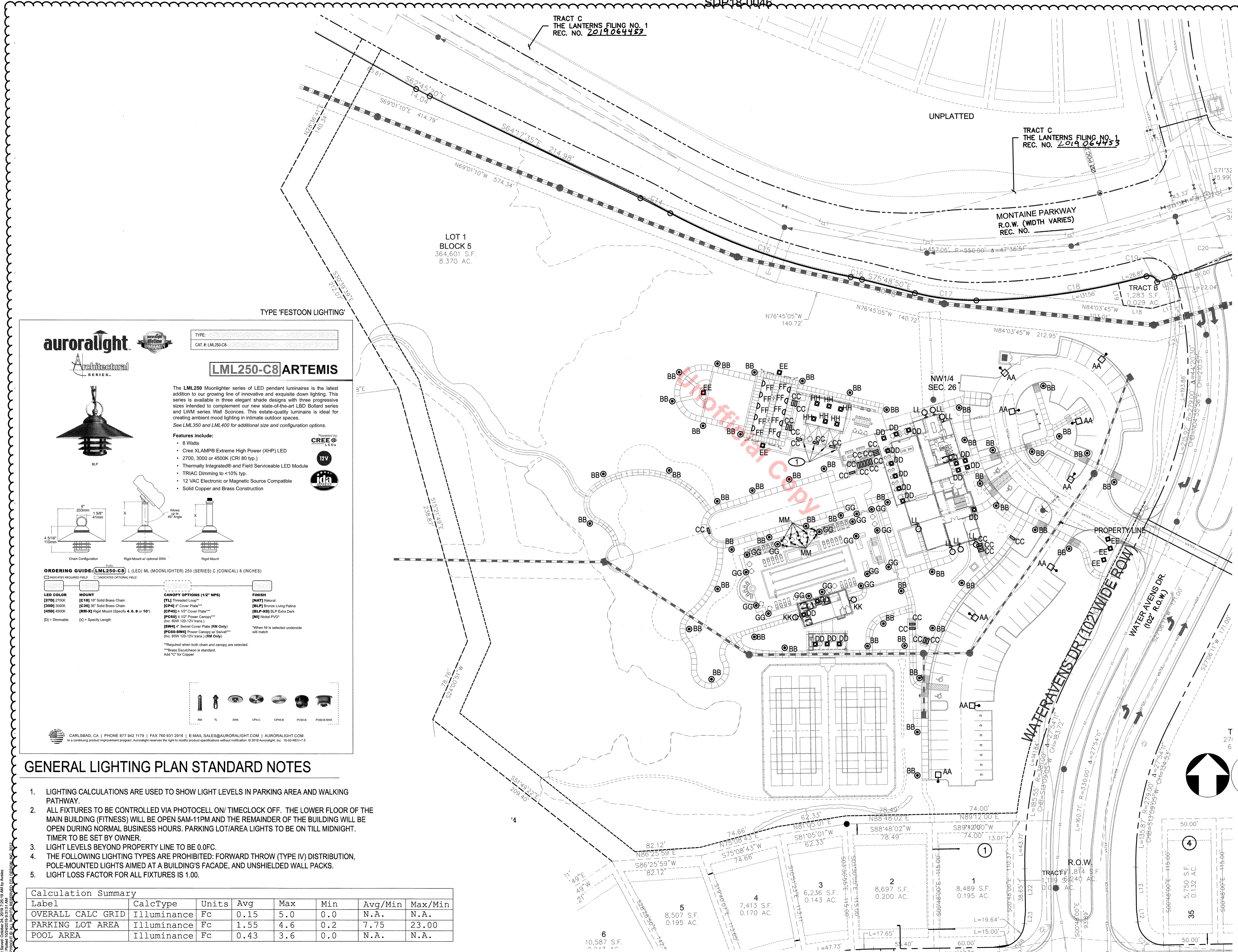
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP18-0046

## SHEET NOTES

- 1 FESTOON LIGHTING, MANUFACTURER: AURORALIGHT. DESIGN BASED ON A QUANTITY OF 48 LAMP HEADS. REFER TO LANDSCAPE ARCHITECTURE PLANS FOR FURTHER DESIGN INFORMATION.



**auroralight** ARCHITECTURAL SERIES

**LML250-C8 ARTEMIS**

The LML250 Moonlighter series of LED pendant luminaires is the latest addition to our growing line of innovative and exclusive down lighting. This series is available in three elegant shades of the-art LBD Bollard series and LWM series Wall Scones. This estate-quality luminaire is ideal for creating ambient mood lighting in intimate outdoor spaces. See LML350 and LML400 for additional size and configuration options.

**Features include:**

- 8 Watts
- Cree XLAMP® Extreme High Power (XHP) LED
- 2700, 3000 or 4500K (CRI 80 tp.)
- Thermally Integrated® and Field Serviceable LED Module
- TRIAC Dimming to <10% tp.
- 12 VAC Electronic or Magnetic Source Compatible
- Solid Copper and Brass Construction

Powered by **CREE** LEDs

12V

ida

**ORDERING GUIDE: (LML250-C8) L (LED) ML (MOONLIGHTER) 250 (SERIES) C (CONICAL) 8 (INCHES)**

INDICATES REQUIRED FIELD    INDICATES OPTIONAL FIELD

<b>LED COLOR</b>	<b>MOUNT</b>	<b>CANOPY OPTIONS (1/2" NPS)</b>	<b>FINISH</b>
[270] 2700K	[C18] 18" Solid Brass Chain	[TL] Threaded Loop**	[MAT] Natural
[300] 3000K	[C18] 18" Solid Brass Chain	[CP4] 4" Cover Plate**	[BLP] Bronze Living Patina
[450] 4500K	[RM-X] Right Mount (Specify 4, 6, 8 or 10")	[CP45] 4 1/2" Cover Plate***	[BLP-X] BLP Extra Dark
[D] = Dimmable	[X] = Specify Length	[PC60] 4 1/2" Power Canopy*** (inc. 60W 120-12V Invis.)	[NPL] Nickel PVD*
		[SW4] 4" Swivel Cover Plate (RM Only)	*When Nil is selected underside will match.
		[PC60-SW4] Swivel Canopy w/ Swivel*** (inc. 60W 120-12V Invis.) (RM Only)	

\*\*Required when both chain and canopy are selected.  
\*Brass Escalation is standard.  
Add "C" for Copper.

RM TL SWK GNC CP60 PC60-SW4

CARLSBAD, CA | PHONE 877 942 1179 | FAX 760 931 2916 | E-MAIL SALES@AURORALIGHT.COM | AURORALIGHT.COM  
As a continuing product improvement program, Auroralight reserves the right to modify product specifications without notification. © 2019 Auroralight, Inc. 10-05-REV1-5

### GENERAL LIGHTING PLAN STANDARD NOTES

1. LIGHTING CALCULATIONS ARE USED TO SHOW LIGHT LEVELS IN PARKING AREA AND WALKING PATHWAY.
2. ALL FIXTURES TO BE CONTROLLED VIA PHOTOCELL ON/ TIME/CLACK OFF. THE LOWER FLOOR OF THE MAIN BUILDING (FITNESS) WILL BE OPEN 5AM-11PM AND THE REMAINDER OF THE BUILDING WILL BE OPEN DURING NORMAL BUSINESS HOURS. PARKING LOT/AREA LIGHTS TO BE ON TILL MIDNIGHT. TIMER TO BE SET BY OWNER.
3. LIGHT LEVELS BEYOND PROPERTY LINE TO BE 0.0FC.
4. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.
5. LIGHT LOSS FACTOR FOR ALL FIXTURES IS 1.00.

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL CALC GRID	Illuminance	Fc	0.15	5.0	0.0	N.A.	N.A.
PARKING LOT AREA	Illuminance	Fc	1.55	4.6	0.2	7.75	23.00
POOL AREA	Illuminance	Fc	0.43	3.6	0.0	N.A.	N.A.

**1 PHOTOMETRIC PLAN**  
SCALE: 1"=40'-0"

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534-6700 METRO DENVER AREA  
UTILITY NOTIFICATION CENTER OF COLORADO  
SITE DEVELOPMENT PLAN  
LOT 1, BLOCK 5 - LANTERNS FILING NO. 3  
SDP18-0046



# SITE DEVELOPMENT PLAN THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP18-0046

**TYPE 'EE'**

**UUT-50563**  
Utah 2 Floodlight - Constant Current

**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6061 extruded & LME Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

**Pre-paint**  
8 step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before product painting.

**Memory Retentive - Silicon Gasket**  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

**Thermal management**  
LME Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

**Surge Suppression**  
Standard 10kV surge suppressor provided with all fixtures.

**BUG Rating**  
B0 - U3 - G4

**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

**Paint**  
UV Stabilized 4.5MIL thick powder coat paint and baked at 200 Deg. C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.

**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

**Optics & LED**  
Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

**Lumen - Maintenance Life**  
L80/B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Utah Product Family**

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**TYPE 'EE'**

**UUT-50563**  
Utah 2 Floodlight - Constant Current

**PROJECT** \_\_\_\_\_ **DATE** \_\_\_\_\_

**QUANTITY** \_\_\_\_\_ **TYPE** \_\_\_\_\_ **NOTE** \_\_\_\_\_

**ORDERING EXAMPLE || UUT - 50563 - 4w LED - W30 - 02 - 120/277v**

LAMP	LED COLOR	FINISH COLOR	VOLTAGE
4w LED	W30 - 2700K	01 - BLACK RAL 9011	120/277v
4w LED	W30 - 3000K	02 - DARK GREY RAL 7043	120/277v
4w LED	W30 - 3500K	03 - WHITE RAL 9003	120/277v
4w LED	W30 - 4000K	04 - METALLIC SILVER RAL 9006	120/277v
		05 - MATTE SILVER RAL 9006	120/277v
		06 - LIGMAN BRONZE	120/277v
		07 - CUSTOM RAL	120/277v

**ADDITIONAL OPTIONS**

F - Frosted Lens  
DIM - 0-10v Dimming  
NAT - Natatorium Rated

AS431 - Anti Glare Visor  
AB091 - Remote Driver Box

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**TYPE 'FF'**

**UHA-60385**  
Harrier 1 Ingrade

**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6061 extruded & LME Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

**Pre-paint**  
8 step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before product painting.

**Memory Retentive - Silicon Gasket**  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

**Thermal management**  
LME Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

**Surge Suppression**  
Standard 10kV surge suppressor provided with all fixtures.

**BUG Rating**  
B1 - U3 - G4

**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

**Paint**  
UV Stabilized 4.5MIL thick powder coat paint and baked at 200 Deg. C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.

**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

**Optics & LED**  
Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

**Lumen - Maintenance Life**  
L80/B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Harrier Product Family**

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**TYPE 'FF'**

**UHA-60385**  
Harrier 1 Ingrade

**PROJECT** \_\_\_\_\_ **DATE** \_\_\_\_\_

**QUANTITY** \_\_\_\_\_ **TYPE** \_\_\_\_\_ **NOTE** \_\_\_\_\_

**ORDERING EXAMPLE || UHA-60385-8w - N - W30-120/277v**

LAMP	FRAME	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
8w LED	A - Aluminum	N - Narrow 20'	W30 - 2700K	01 - BLACK RAL 9011	120/277v
8w LED	A - Aluminum	C - HOLES FINISH COLOR	W30 - 3000K	02 - DARK GREY RAL 7043	120/277v
8w LED	S - Stainless Steel	M - Medium 30'	W30 - 3500K	03 - WHITE RAL 9003	120/277v
8w LED	NO FINISH COLOR	W - Wide 50'	W30 - 4000K	04 - METALLIC SILVER RAL 9006	120/277v
				05 - MATTE SILVER RAL 9006	120/277v
				06 - LIGMAN BRONZE	120/277v
				07 - CUSTOM RAL	120/277v

**ADDITIONAL OPTIONS**

F - Frosted Lens  
NAT - Natatorium Rated  
A60212 - Anti Slip Lens  
A6091 - 0-10v Dimming Box  
DIM - 0-10v Dimming

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**TYPE 'GG'**

**ULB-10851**  
LBX 5 Small Bollard

**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6061 extruded & LME Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

**Pre-paint**  
8 step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before product painting.

**Memory Retentive - Silicon Gasket**  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

**Thermal management**  
LME Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

**Surge Suppression**  
Standard 10kV surge suppressor provided with all fixtures.

**BUG Rating**  
B0 - U3 - G1

**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

**Paint**  
UV Stabilized 4.5MIL thick powder coat paint and baked at 200 Deg. C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.

**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

**Optics & LED**  
Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

**Lumen - Maintenance Life**  
L80/B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**LBX Product Family**

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**TYPE 'GG'**

**ULB-10851**  
LBX 5 Small Bollard

**PROJECT** \_\_\_\_\_ **DATE** \_\_\_\_\_

**QUANTITY** \_\_\_\_\_ **TYPE** \_\_\_\_\_ **NOTE** \_\_\_\_\_

**ORDERING EXAMPLE || ULB - 10851 - 14w - W30 - 02 - 120/277v - Options**

LAMP	LED COLOR	FINISH COLOR	VOLTAGE
14w LED	W30 - 2700K	01 - BLACK RAL 9011	120/277v
14w LED	W30 - 3000K	02 - DARK GREY RAL 7043	120/277v
14w LED	W30 - 3500K	03 - WHITE RAL 9003	120/277v
14w LED	W30 - 4000K	04 - METALLIC SILVER RAL 9006	120/277v
		05 - MATTE SILVER RAL 9006	120/277v
		06 - LIGMAN BRONZE	120/277v
		07 - CUSTOM RAL	120/277v

**ADDITIONAL OPTIONS**

NAT - Natatorium Rated  
HCT - Custom Bollard Height

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**TYPE 'HH'**

**UJE-95081**  
Jet 43 Cylindrical Pendant

**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6061 extruded & LME Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

**Pre-paint**  
8 step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before product painting.

**Memory Retentive - Silicon Gasket**  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

**Thermal management**  
LME Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

**Surge Suppression**  
Standard 10kV surge suppressor provided with all fixtures.

**BUG Rating**  
B1 - U0 - G0

**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

**Paint**  
UV Stabilized 4.5MIL thick powder coat paint and baked at 200 Deg. C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.

**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

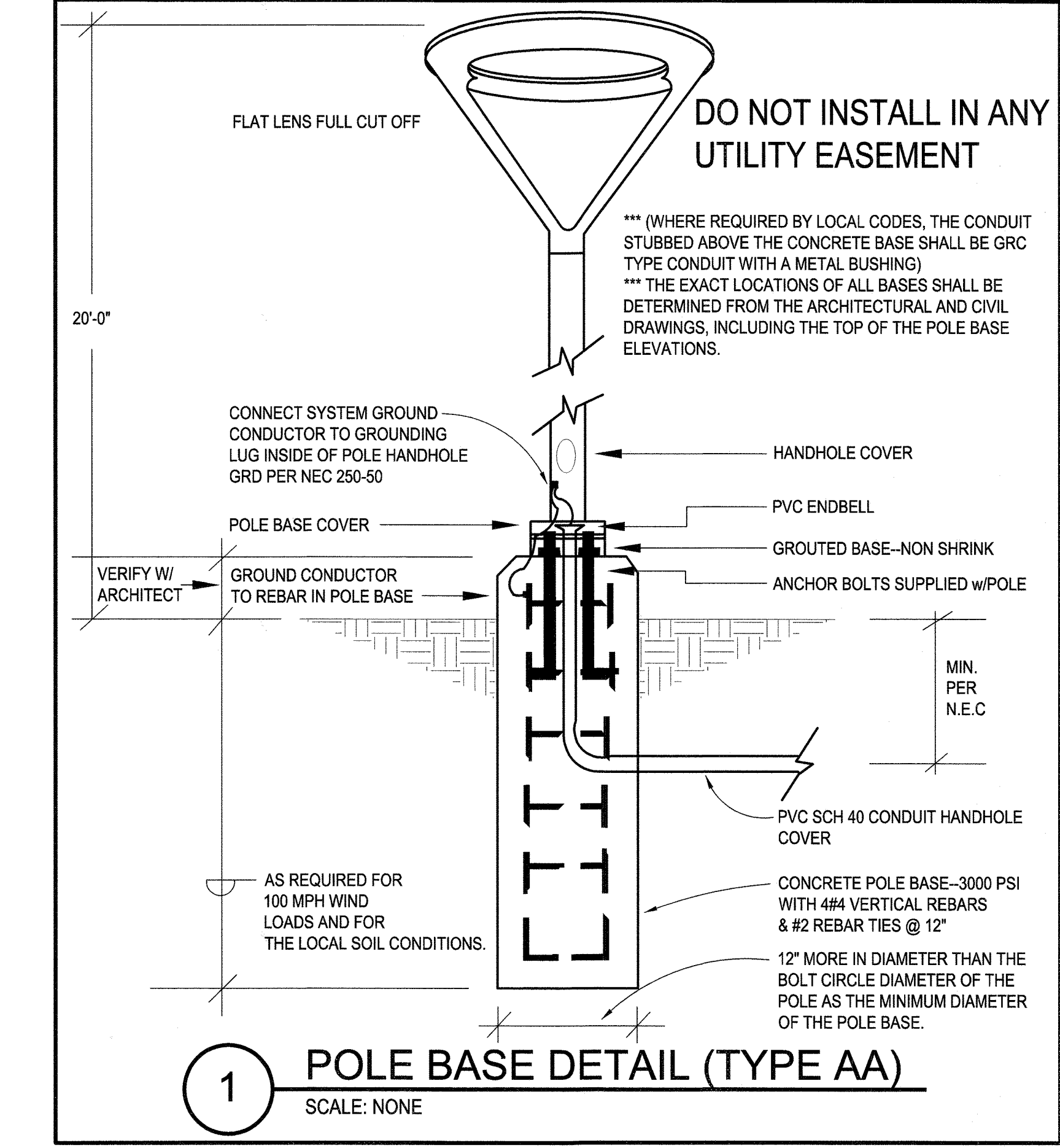
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

**Optics & LED**  
Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

**Lumen - Maintenance Life**  
L80/B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Jet Product Family**

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Hillsboro, Oregon 97124 | F: 503.645.8100  
www.ligmanlightingusa.com



THE LANTERNS - ACTIVE ADULT AMENITY CENTER  
SITE DEVELOPMENT PLAN  
TOLL BROTHERS SOUTHWEST LLC C/O  
TOWN OF CASTLE ROCK, COLORADO

DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
PROJECT NO: SDP18-0046  
ISSUE DATE: 10/01/2018  
REVISIONS:

SDP 02	11/26/2018
SDP 03	02/05/2019
SDP 04	03/12/2019
SDP 09	10/28/2019

SHEET TITLE:

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534-6700 METRO DENVER AREA  
UTILITY NOTIFICATION CENTER OF COLORADO  
SITE DEVELOPMENT PLAN  
LOT 1, BLOCK 5 - LANTERNS FILING NO. 3  
SDP18-0046

# SITE DEVELOPMENT PLAN

## THE LANTERNS - ACTIVE ADULT AMENITY CENTER

A PARCEL OF LAND BEING A PART OF THE WEST HALF OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP18-0046



THE LANTERNS - ACTIVE ADULT AMENITY CENTER  
 SITE DEVELOPMENT PLAN  
 TOLL BROTHERS SOUTHWEST LLC C/O  
 TOWN OF CASTLE ROCK, COLORADO

DRAWN BY: AV  
 CHECKED BY: MS  
 PROJECT NO: SDP18-0046  
 ISSUE DATE: 10/01/2018  
 REVISIONS:  
 SDP 02 11/28/2018  
 SDP 03 02/05/2019  
 SDP 04 03/12/2019  
 SDP 09 10/28/2019  
 SHEET TITLE: LIGHTING CUTSHEETS  
 SHEET NUMBER: 17 of 17

TYPE 'HH'

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**LIGMAN LIGHTING USA**

### UJE-95081

Jet 43 Cylindrical Pendant

PROJECT	DATE
QUANTITY	TYPE
NOTE	

ORDERING EXAMPLE || UJE - 95081 - 14w - M - W30 - 02 - 120/277v - Options

LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
14w LED 1107 Lumens	N - Narrow 20° M - Medium 25° W - Wide 36° VW - Very Wide 71°	W27 - 2700K W30 - 3000K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS

DIM - 0-10v Dimming	AR0521 - Canopy Suspension	AG - Anti Glare Baffle
NAT - Natatorium Rated	AR0701 - Canopy	HEX - Heated Cover
AR0321 - Swivel Canopy Square	SME - Swivel Mount Extension	F - Frosted Lens
AR0421 - Swivel Canopy Round	HCT - Custom Pendant Length	LSL - Linear Spread Lens

TYPE 'KK'

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Hillsboro, Oregon 97124 | 503.645.8100  
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**LIGMAN LIGHTING USA**

### UCI-30131

Cinati Type I, II, III & IV Surface

Length - 11.5" | Height - 6.3" | Weight 4.8 lbs  
IP65 - Suitable For Wet Locations  
IK08 - Impact Resistant (Vandal Resistant)

**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

**Pre-paint**  
8 step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before product painting.

**Memory Retentive - Silicon Gasket**  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

**Thermal Management**  
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

**Surge Suppression**  
Standard 150v surge suppressor provided with all fixtures.

**BUG Rating**  
80 - U0 - G0

**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

**Paint**  
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.

**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmosphere and moisture.

**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green tinge.

**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80

**Lumen - Maintenance Life**  
800 (810) at 50,000 hours (This means that at least 50% of the LED still achieve 80% of their original flux)

A cone shaped wall wash luminaire. Suitable for outdoor use, or down light applications. This luminaire is provided with precision optics and high powered LEDs, to provide narrow, medium, wide and very wide distributions. The vandal resistant tempered glass is available in clear or lightly frosted versions.

This product is suitable for commercial, as well as residential applications and with the selection of optics available can provide an excellent lighting solution. Integral electronic driver. Fixture is mounted over a 3" octagonal junction box. For Type I, II, III & IV, please see UCI-30131

Additional Options (Consult Factory For Pricing)

TYPE 'KK'

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### UCI-30131

Cinati Type I, II, III & IV Surface

PROJECT	DATE
QUANTITY	TYPE
NOTE	

ORDERING EXAMPLE || UCI - 30131 - 18w - T2 - W30 - 02 - 120/277v - Options

LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
18w LED 1793 Lumens	T1 - Type I Distribution T2 - Type II Distribution T3 - Type III Distribution T4 - Type IV Distribution	W27 - 2700K W30 - 3000K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS

NAT - Natatorium Rated	DM - 0-10v Dimming	SCE - Surface Conduit Entry Box	F - Frosted Lens	AMB - Turtle Friendly Amber LED
------------------------	--------------------	---------------------------------	------------------	---------------------------------

TYPE 'LL'

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**LIGMAN LIGHTING USA**

### UJE-30351

Jet 31 Cylindrical Surface

Length 7.4" | Height 8.6" | Weight 4.8 lbs  
IP65 - Suitable For Wet Locations  
IK08 - Impact Resistant (Vandal Resistant)

**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

**Pre-paint**  
8 step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before product painting.

**Memory Retentive - Silicon Gasket**  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

**Thermal Management**  
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

**Surge Suppression**  
Standard 150v surge suppressor provided with all fixtures.

**BUG Rating**  
81 - U0 - G0

**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

**Paint**  
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.

**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmosphere and moisture.

**High Impact UV Stabilized Polycarbonate Lens**  
Manufactured with Ultra High Impact, UV Stabilized Injection Moulded Polycarbonate.

**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80

**Lumen - Maintenance Life**  
800 (810) at 50,000 hours (This means that at least 50% of the LED still achieve 80% of their original flux)

Cylindrical or rectangular form surface wall-mounted downlight. High performance, high output and numerous options ensure jet can be configured for any application.

Wall luminaires with a selection of light distributions. The Jet offers a variety of beam spread options that facilitates wider spacing and even light distribution between the light fixtures. The up/down light versions can be manufactured using different beam spreads for the up and down optics as well as different wattages upon request.

Mounting plate for 3" junction box is provided with the fixture. A 4" junction box mounting plate is available as an option, please specify. Matching surface mount conduit boxes are available as an option.

Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

For the Square Downlight, see Jet 32, 34 and 52. For 20w, 28w and 38w type II, III & IV distributions, see Tangy 29 to 32 surface wall luminaires. For RGBW options, see Jet 51 to 54.

Additional Options (Consult Factory For Pricing)

TYPE 'LL'

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**LIGMAN LIGHTING USA**

### UJE-30351

Jet 31 Cylindrical Surface

PROJECT	DATE
QUANTITY	TYPE
NOTE	

ORDERING EXAMPLE || UJE - 30351 - 15w - M - W30 - 02 - 120/277v - Options

LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
15w LED 1107 Lumens	N - Narrow 20° M - Medium 25° W - Wide 36° VW - Very Wide 71°	W27 - 2700K W30 - 3000K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS

NAT - Natatorium Rated	SCE - Surface Conduit Entry Box	DM - 0-10v Dimming	HCT - Custom Height
AR0321 - Swivel Canopy Square	AR0421 - Swivel Canopy Round	AR0521 - Canopy Suspension	AR0701 - Canopy
AR0821 - Swivel Canopy Round	AR0921 - Swivel Canopy Square	AR1021 - Swivel Canopy Square	AR1121 - Swivel Canopy Square
AR1221 - Swivel Canopy Square	AR1321 - Swivel Canopy Square	AR1421 - Swivel Canopy Square	AR1521 - Swivel Canopy Square
AR1621 - Swivel Canopy Square	AR1721 - Swivel Canopy Square	AR1821 - Swivel Canopy Square	AR1921 - Swivel Canopy Square
AR2021 - Swivel Canopy Square	AR2121 - Swivel Canopy Square	AR2221 - Swivel Canopy Square	AR2321 - Swivel Canopy Square
AR2421 - Swivel Canopy Square	AR2521 - Swivel Canopy Square	AR2621 - Swivel Canopy Square	AR2721 - Swivel Canopy Square
AR2821 - Swivel Canopy Square	AR2921 - Swivel Canopy Square	AR3021 - Swivel Canopy Square	AR3121 - Swivel Canopy Square
AR3221 - Swivel Canopy Square	AR3321 - Swivel Canopy Square	AR3421 - Swivel Canopy Square	AR3521 - Swivel Canopy Square
AR3621 - Swivel Canopy Square	AR3721 - Swivel Canopy Square	AR3821 - Swivel Canopy Square	AR3921 - Swivel Canopy Square
AR4021 - Swivel Canopy Square	AR4121 - Swivel Canopy Square	AR4221 - Swivel Canopy Square	AR4321 - Swivel Canopy Square
AR4421 - Swivel Canopy Square	AR4521 - Swivel Canopy Square	AR4621 - Swivel Canopy Square	AR4721 - Swivel Canopy Square
AR4821 - Swivel Canopy Square	AR4921 - Swivel Canopy Square	AR5021 - Swivel Canopy Square	AR5121 - Swivel Canopy Square
AR5221 - Swivel Canopy Square	AR5321 - Swivel Canopy Square	AR5421 - Swivel Canopy Square	AR5521 - Swivel Canopy Square
AR5621 - Swivel Canopy Square	AR5721 - Swivel Canopy Square	AR5821 - Swivel Canopy Square	AR5921 - Swivel Canopy Square
AR6021 - Swivel Canopy Square	AR6121 - Swivel Canopy Square	AR6221 - Swivel Canopy Square	AR6321 - Swivel Canopy Square
AR6421 - Swivel Canopy Square	AR6521 - Swivel Canopy Square	AR6621 - Swivel Canopy Square	AR6721 - Swivel Canopy Square
AR6821 - Swivel Canopy Square	AR6921 - Swivel Canopy Square	AR7021 - Swivel Canopy Square	AR7121 - Swivel Canopy Square
AR7221 - Swivel Canopy Square	AR7321 - Swivel Canopy Square	AR7421 - Swivel Canopy Square	AR7521 - Swivel Canopy Square
AR7621 - Swivel Canopy Square	AR7721 - Swivel Canopy Square	AR7821 - Swivel Canopy Square	AR7921 - Swivel Canopy Square
AR8021 - Swivel Canopy Square	AR8121 - Swivel Canopy Square	AR8221 - Swivel Canopy Square	AR8321 - Swivel Canopy Square
AR8421 - Swivel Canopy Square	AR8521 - Swivel Canopy Square	AR8621 - Swivel Canopy Square	AR8721 - Swivel Canopy Square
AR8821 - Swivel Canopy Square	AR8921 - Swivel Canopy Square	AR9021 - Swivel Canopy Square	AR9121 - Swivel Canopy Square
AR9221 - Swivel Canopy Square	AR9321 - Swivel Canopy Square	AR9421 - Swivel Canopy Square	AR9521 - Swivel Canopy Square
AR9621 - Swivel Canopy Square	AR9721 - Swivel Canopy Square	AR9821 - Swivel Canopy Square	AR9921 - Swivel Canopy Square
AR10021 - Swivel Canopy Square	AR10121 - Swivel Canopy Square	AR10221 - Swivel Canopy Square	AR10321 - Swivel Canopy Square
AR10421 - Swivel Canopy Square	AR10521 - Swivel Canopy Square	AR10621 - Swivel Canopy Square	AR10721 - Swivel Canopy Square
AR10821 - Swivel Canopy Square	AR10921 - Swivel Canopy Square	AR11021 - Swivel Canopy Square	AR11121 - Swivel Canopy Square
AR11221 - Swivel Canopy Square	AR11321 - Swivel Canopy Square	AR11421 - Swivel Canopy Square	AR11521 - Swivel Canopy Square
AR11621 - Swivel Canopy Square	AR11721 - Swivel Canopy Square	AR11821 - Swivel Canopy Square	AR11921 - Swivel Canopy Square
AR12021 - Swivel Canopy Square	AR12121 - Swivel Canopy Square	AR12221 - Swivel Canopy Square	AR12321 - Swivel Canopy Square
AR12421 - Swivel Canopy Square	AR12521 - Swivel Canopy Square	AR12621 - Swivel Canopy Square	AR12721 - Swivel Canopy Square
AR12821 - Swivel Canopy Square	AR12921 - Swivel Canopy Square	AR13021 - Swivel Canopy Square	AR13121 - Swivel Canopy Square
AR13221 - Swivel Canopy Square	AR13321 - Swivel Canopy Square	AR13421 - Swivel Canopy Square	AR13521 - Swivel Canopy Square
AR13621 - Swivel Canopy Square	AR13721 - Swivel Canopy Square	AR13821 - Swivel Canopy Square	AR13921 - Swivel Canopy Square
AR14021 - Swivel Canopy Square	AR14121 - Swivel Canopy Square	AR14221 - Swivel Canopy Square	AR14321 - Swivel Canopy Square
AR14421 - Swivel Canopy Square	AR14521 - Swivel Canopy Square	AR14621 - Swivel Canopy Square	AR14721 - Swivel Canopy Square
AR14821 - Swivel Canopy Square	AR14921 - Swivel Canopy Square	AR15021 - Swivel Canopy Square	AR15121 - Swivel Canopy Square
AR15221 - Swivel Canopy Square	AR15321 - Swivel Canopy Square	AR15421 - Swivel Canopy Square	AR15521 - Swivel Canopy Square
AR15621 - Swivel Canopy Square	AR15721 - Swivel Canopy Square	AR15821 - Swivel Canopy Square	AR15921 - Swivel Canopy Square
AR16021 - Swivel Canopy Square	AR16121 - Swivel Canopy Square	AR16221 - Swivel Canopy Square	AR16321 - Swivel Canopy Square
AR16421 - Swivel Canopy Square	AR16521 - Swivel Canopy Square	AR16621 - Swivel Canopy Square	AR16721 - Swivel Canopy Square
AR16821 - Swivel Canopy Square	AR16921 - Swivel Canopy Square	AR17021 - Swivel Canopy Square	AR17121 - Swivel Canopy Square
AR17221 - Swivel Canopy Square	AR17321 - Swivel Canopy Square	AR17421 - Swivel Canopy Square	AR17521 - Swivel Canopy Square
AR17621 - Swivel Canopy Square	AR17721 - Swivel Canopy Square	AR17821 - Swivel Canopy Square	AR17921 - Swivel Canopy Square
AR18021 - Swivel Canopy Square	AR18121 - Swivel Canopy Square	AR18221 - Swivel Canopy Square	AR18321 - Swivel Canopy Square
AR18421 - Swivel Canopy Square	AR18521 - Swivel Canopy Square	AR18621 - Swivel Canopy Square	AR18721 - Swivel Canopy Square
AR18821 - Swivel Canopy Square	AR18921 - Swivel Canopy Square	AR19021 - Swivel Canopy Square	AR19121 - Swivel Canopy Square
AR19221 - Swivel Canopy Square	AR19321 - Swivel Canopy Square	AR19421 - Swivel Canopy Square	AR19521 - Swivel Canopy Square
AR19621 - Swivel Canopy Square	AR19721 - Swivel Canopy Square	AR19821 - Swivel Canopy Square	AR19921 - Swivel Canopy Square
AR20021 - Swivel Canopy Square	AR20121 - Swivel Canopy Square	AR20221 - Swivel Canopy Square	AR20321 - Swivel Canopy Square
AR20421 - Swivel Canopy Square	AR20521 - Swivel Canopy Square	AR20621 - Swivel Canopy Square	AR20721 - Swivel Canopy Square
AR20821 - Swivel Canopy Square	AR20921 - Swivel Canopy Square	AR21021 - Swivel Canopy Square	AR21121 - Swivel Canopy Square
AR21221 - Swivel Canopy Square	AR21321 - Swivel Canopy Square	AR21421 - Swivel Canopy Square	AR21521 - Swivel Canopy Square
AR21621 - Swivel Canopy Square	AR21721 - Swivel Canopy Square	AR21821 - Swivel Canopy Square	AR21921 - Swivel Canopy Square
AR22021 - Swivel Canopy Square	AR22121 - Swivel Canopy Square	AR22221 - Swivel Canopy Square	AR22321 - Swivel Canopy Square
AR22421 - Swivel Canopy Square	AR22521 - Swivel Canopy Square	AR22621 - Swivel Canopy Square	AR22721 - Swivel Canopy Square
AR22821 - Swivel Canopy Square	AR22921 - Swivel Canopy Square	AR23021 - Swivel Canopy Square	AR23121 - Swivel Canopy Square
AR23221 - Swivel Canopy Square	AR23321 - Swivel Canopy Square	AR23421 - Swivel Canopy Square	AR23521 - Swivel Canopy Square
AR23621 - Swivel Canopy Square	AR23721 - Swivel Canopy Square	AR23821 - Swivel Canopy Square	AR23921 - Swivel Canopy Square
AR24021 - Swivel Canopy Square	AR24121 - Swivel Canopy Square	AR24221 - Swivel Canopy Square	AR24321 - Swivel Canopy Square
AR24421 - Swivel Canopy Square	AR24521 - Swivel Canopy Square	AR24621 - Swivel Canopy Square	AR24721 - Swivel Canopy Square
AR24821 - Swivel Canopy Square	AR24921 - Swivel Canopy Square	AR25021 - Swivel Canopy Square	AR25121 - Swivel Canopy Square
AR25221 - Swivel Canopy Square	AR25321 - Swivel Canopy Square	AR25421 - Swivel Canopy Square	AR25521 - Swivel Canopy Square
AR25621 - Swivel Canopy Square	AR25721 - Swivel Canopy Square	AR25821 - Swivel Canopy Square	AR25921 - Swivel Canopy Square
AR26021 - Swivel Canopy Square	AR26121 - Swivel Canopy Square	AR26221 - Swivel Canopy Square	AR26321 - Swivel Canopy Square
AR26421 - Swivel Canopy Square	AR26521 - Swivel Canopy Square	AR26621 - Swivel Canopy Square	AR26721 - Swivel Canopy Square
AR26821 - Swivel Canopy Square	AR26921 - Swivel Canopy Square	AR27021 - Swivel Canopy Square	AR27121 - Swivel Canopy Square
AR27221 - Swivel Canopy Square	AR27321 - Swivel Canopy Square	AR27421 - Swivel Canopy Square	AR27521 - Swivel Canopy Square
AR27621 - Swivel Canopy Square	AR27721 - Swivel Canopy Square	AR27821 - Swivel Canopy Square	AR27921 - Swivel Canopy Square
AR28021 - Swivel Canopy Square	AR28121 - Swivel Canopy Square	AR28221 - Swivel Canopy Square	AR28321 - Swivel Canopy Square
AR28421 - Swivel Canopy Square	AR28521 - Swivel Canopy Square	AR28621 - Swivel Canopy Square	AR28721 - Swivel Canopy Square
AR28821 - Swivel Canopy Square	AR28921 - Swivel Canopy Square	AR29021 - Swivel Canopy Square	AR29121 - Swivel Canopy Square
AR29221 - Swivel Canopy Square	AR29321 - Swivel Canopy Square	AR29421 - Swivel Canopy Square	AR29521 - Swivel Canopy Square
AR29621 - Swivel Canopy Square	AR29721 - Swivel Canopy Square	AR29821 - Swivel Canopy Square	AR29921 - Swivel Canopy Square
AR30021 - Swivel Canopy Square	AR30121 - Swivel Canopy Square	AR30221 - Swivel Canopy Square	AR30321 - Swivel Canopy Square
AR30421 - Swivel Canopy Square	AR30521 - Swivel Canopy Square	AR30621 - Swivel Canopy Square	AR30721 - Swivel Canopy Square
AR30821 - Swivel Canopy Square	AR30921 - Swivel Canopy Square	AR31021 - Swivel Canopy Square	AR31121 - Swivel Canopy Square
AR31221 - Swivel Canopy Square	AR31321 - Swivel Canopy Square	AR31421 - Swivel Canopy Square	AR31521 - Swivel Canopy Square
AR31621 - Swivel Canopy Square	AR31721 - Swivel Canopy Square	AR31821 - Swivel Canopy Square	AR31921 - Swivel Canopy Square
AR32021 - Swivel Canopy Square	AR32121 - Swivel Canopy Square	AR32221 - Swivel Canopy Square	AR32321 - Swivel Canopy Square
AR32421 - Swivel Canopy Square	AR32521 - Swivel Canopy Square	AR32621 - Swivel Canopy Square	AR32721 - Swivel Canopy Square
AR32821 - Swivel Canopy Square	AR32921 - Swivel Canopy Square	AR33021 - Swivel Canopy Square	AR33121 - Swivel Canopy Square
AR33221 - Swivel Canopy Square	AR33321 - Swivel Canopy Square	AR33421 - Swivel Canopy Square	AR33521 - Swivel Canopy Square
AR33621 - Swivel Canopy Square	AR33721 - Swivel Canopy Square	AR33821 - Swivel Canopy Square	AR33921 - Swivel Canopy Square
AR34021 - Swivel Canopy Square	AR34121 - Swivel Canopy Square	AR34221 - Swivel Canopy Square	AR34321 - Swivel Canopy Square
AR34421 - Swivel Canopy Square	AR34521 - Swivel Canopy Square	AR34621 - Swivel Canopy Square	AR34721 - Swivel Canopy Square
AR34821 - Swivel Canopy Square	AR34921 - Swivel Canopy Square	AR35021 - Swivel Canopy Square	AR35121 - Swivel Canopy Square
AR35221 - Swivel Canopy Square	AR35321 - Swivel Canopy Square	AR35421 - Swivel Canopy Square	AR35521 - Swivel Canopy Square
AR35621 - Swivel Canopy Square	AR35721 - Swivel Canopy Square	AR35821 - Swivel Canopy Square	AR35921 - Swivel Canopy Square
AR36021 - Swivel Canopy Square	AR36121 - Swivel Canopy Square	AR36221 - Swivel Canopy Square	AR36321 - Swivel Canopy Square
AR36421 - Swivel Canopy Square	AR36521 - Swivel Canopy Square	AR36621 - Swivel Canopy Square	AR36721 - Swivel Canopy Square
AR36821 - Swivel Canopy Square	AR36921 - Swivel Canopy Square	AR37021 - Swivel Canopy Square	AR37121 - Swivel Canopy Square
AR37221 - Swivel Canopy Square	AR37321 - Swivel Canopy Square	AR37421 - Swivel Canopy Square	AR37521 - Swivel Canopy Square
AR37621 - Swivel Canopy Square	AR37721 - Swivel Canopy Square	AR37821 - Swivel Canopy Square	AR37921 - Swivel Canopy Square</