

# LOT 2A, KINNER REPLAT

## SITE DEVELOPMENT PLAN

SITUATED IN THE SW 1/4 OF SECTION 2, T. 8S., R. 67W. OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NO. SDP18-0006

**LEGAL DESCRIPTION:**

LOT 2A, KINNER REPLAT, ACCORDING TO THE LOT LINE VACATION CERTIFICATE RECORDED ON FEBRUARY 28, 2018 AT RECEPTION NO. 2018011797, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

**BASIS OF BEARINGS:**

BEARINGS ARE BASED ON THE SOUTH LINE OF LOT 4, KINNER REPLAT ASSUMED TO BEAR N89°38'16"W BOUNDED BY A FOUND REBAR AND 1" ILLEGIBLE YELLOW PLASTIC CAP AT THE SW CORNER OF SAID LOT 4 AND A FOUND REBAR AND 1 1/4" RED PLASTIC CAP L.S. NO. 14142 AT THE SE CORNER OF SAID LOT 4.

**BENCHMARK:**

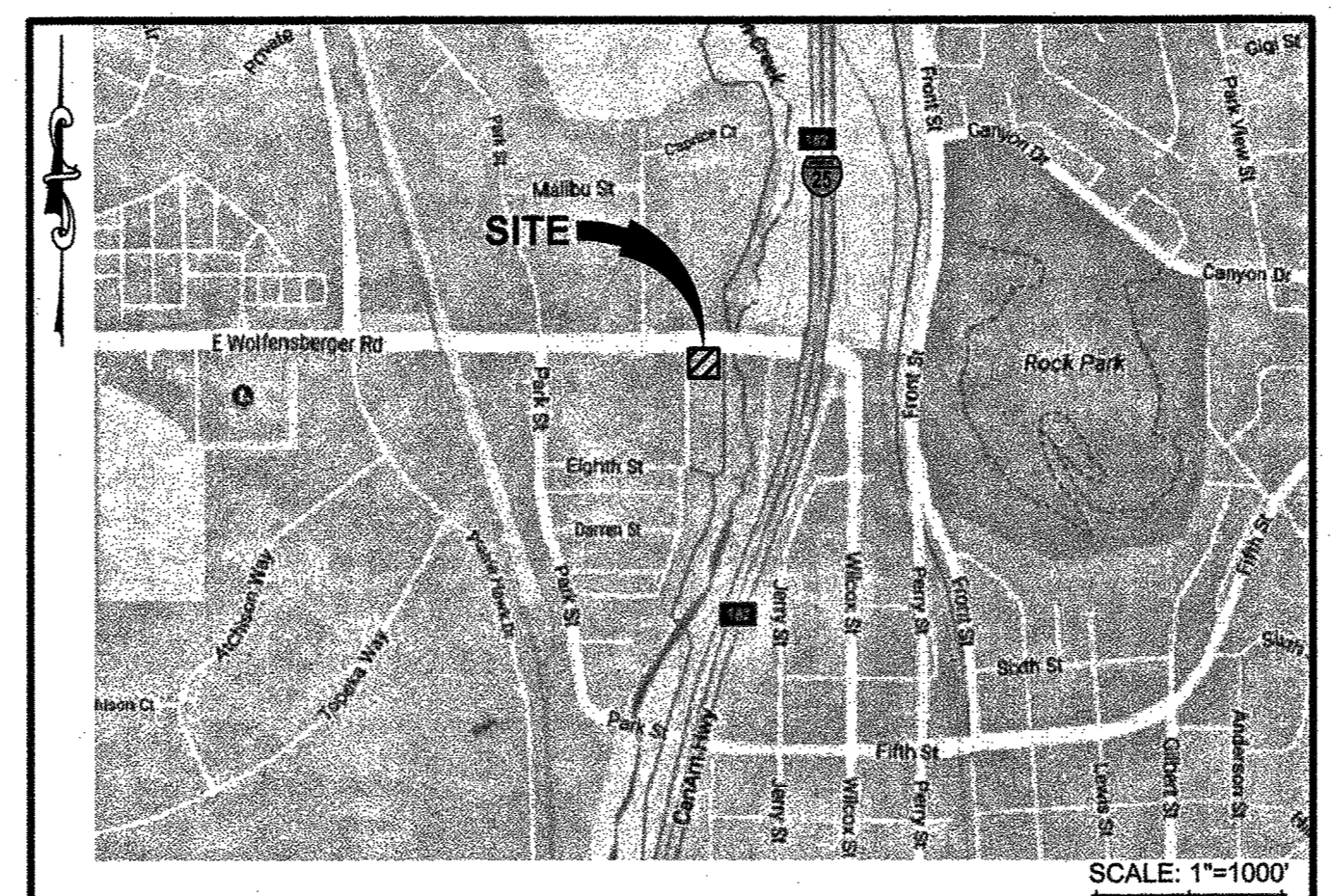
DOUGLAS COUNTY CONTROL NETWORK PT# 50166 - 3.25" DIAMETER ALUMINUM CAP STAMPED WITH 3.011003. ELEVATION = 6572.82 FEET (NAVD 1988 DATUM)

**GENERAL NOTES:**

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08035C0188G WITH A REVISED DATE OF MARCH 16, 2016, NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.  
  
NO MARKERS FOR THE DELINEATION OF WETLANDS WERE OBSERVED AT THE TIME OF SURVEY.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
- ALL NEW UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/STRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK BY A SEPARATE DOCUMENT.
- THIS SITE IS ZONED: B - BUSINESS/COMMERCIAL
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

**FIRE NOTES:**

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.



VICINITY MAP

**SHEET INDEX**

SHEET	TITLE
1 OF 10	COVER SHEET
2 OF 10	SITE PLAN
3 OF 10	GENERAL GRADING PLAN
4 OF 10	GENERAL UTILITIES PLAN
5 OF 10	CONCEPTUAL LANDSCAPE PLAN
6 OF 10	CONCEPTUAL LANDSCAPE PLAN
7 OF 10	BUILDING ELEVATIONS
8 OF 10	SITE DETAILS-SHEET 1
9 OF 10	SITE DETAILS-SHEET 2
10 OF 10	GENERAL LIGHTING PLAN

**SUMMARY TABLE**

	SQUARE FEET	PERCENTAGE (%)
TOTAL SITE AREA	24,182	100%
BUILDING FOOTPRINT	2,320	9.6%
PARKING & DRIVE AREA	11,215	46.4%
SIDEWALK/PEDESTRIAN AREA	2,609	10.8%
LANDSCAPE AREA	8,038	33.2%
<b>REQUIRED PROVIDED</b>		
BUILDING SETBACKS		
FRONT (KINNER ST.)	15 FT.	90.2 FT.
ST. SIDE (WOLFENBERGER)	10 FT.	25.3 FT.
INTERIOR SIDE	0 FT.	56.7 FT.
REAR	0 FT.	34.0 FT.
<b>REQUIRED PROVIDED</b>		
PARKING SPACES & STACKING		
RESTAURANT W/DT (10/1000)	23	17*
BUILDING GFA = 2,212 SQUARE FEET (10(2,212 + 1,000)) - (.25 x 10(2,212 + 1,000)) = X (22,12) - (.25 x 22,12) = X 22,12 - 5.53 = X 16.59 = X ROUNDS TO 17		
* PARKING REDUCTION APPROVED BY TCV18-0011		
BICYCLE PARKING (5% OF PARKING)	2	2
DRIVE-THRU STACKING	8	10
<b>ALLOWED PROVIDED</b>		
SIGNAGE		
(6) BUILDING MOUNTED SIGNS	243.6 S.F. (MAX. ALLOWED)	112.9 S.F. (TOTAL)
<b>ALLOWED PROVIDED</b>		
MAX. BUILDING HEIGHT	35 FT. MAX.	21'-6" (TOP OF PARAPET)
MAX. BUILDING COVERAGE	35%	9.5%
SINGLE FAMILY EQUIVALENT UNITS (SFE's)		16.6

**DESIGN TEAM:**

**APPLICANT/OWNER:**  
 BC WOLFENBERGER, LLC  
 7288 SOUTH TUCSON WAY  
 CENTENNIAL, COLORADO 80112  
 PHONE: (303) 733-4627  
 ATTN: BUZZ CALKINS

**ARCHITECT:**  
 ARCWEST ARCHITECTS, INC.  
 1525 RALEIGH STREET  
 DENVER, COLORADO 80204  
 PHONE: (303) 455-7741  
 ATTN: KEVIN ANDERSON

**CIVIL ENGINEER:**  
 ENGINEERING SERVICE COMPANY  
 14190 EAST EVANS AVENUE  
 AURORA, COLORADO 80014  
 PHONE: (303) 337-1393  
 ATTN: DAVID R. ADDOR, PE

**LANDSCAPE ARCHITECT:**  
 JIMENZ DESIGN GROUP, LLC  
 314 ROSE FINCH CIRCLE  
 HIGHLANDS RANCH, COLORADO 80129  
 PHONE: (303) 736-8259  
 ATTN: JULIO JIMENEZ, RLA

**LAND SURVEYOR:**  
 ENGINEERING SERVICE COMPANY  
 14190 EAST EVANS AVENUE  
 AURORA, COLORADO 80014  
 PHONE: (303) 337-1393  
 ATTN: CHARLES N. BECKSTROM, PLS

**PHOTOMETRICS:**  
 MARISCH LIGHTING DESIGN  
 PO BOX 175  
 SANTA, IDAHO 83866  
 PHONE: (208) 245-0835  
 ATTN: TIM MARISCH

**OWNER CERTIFICATION:**

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

BC WOLFENBERGER, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: Bradley Calkins, Jr. DATE: 6-1-18  
 BRADLEY CALKINS, JR., MANAGING MEMBER

**NOTARY BLOCK**

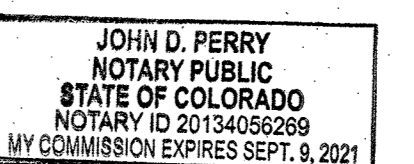
STATE OF Colorado } SS  
 COUNTY OF Arapahoe }

SUBSCRIBED AND SWORN TO BEFORE ME THIS 1<sup>st</sup> DAY OF June, 2018 BY BRADLEY CALKINS, JR.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: Sept. 9, 2021

John D. Perry  
 NOTARY PUBLIC



**TITLE CERTIFICATION:**

I, Scott Bennett, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE ALL OWNERS, MORTGAGES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

BY: Scott Bennett DATE: June 1, 2018  
 AUTHORIZED REPRESENTATIVE  
 LAND TITLE GUARANTEE COMPANY

**NOTARY BLOCK**

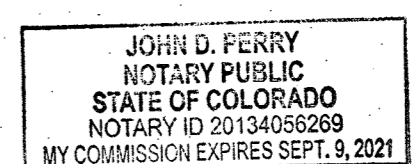
STATE OF Colorado } SS  
 COUNTY OF Arapahoe }

SUBSCRIBED AND SWORN TO BEFORE ME THIS 1<sup>st</sup> DAY OF June, 2018 BY Scott Bennett AS AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: Sept 9, 2021

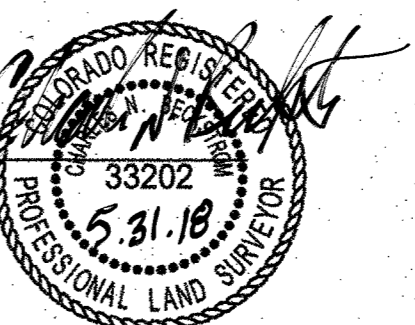
John D. Perry  
 NOTARY PUBLIC



**SURVEYOR'S CERTIFICATE:**

I, CHARLES N. BECKSTROM, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS REPRESENTED THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

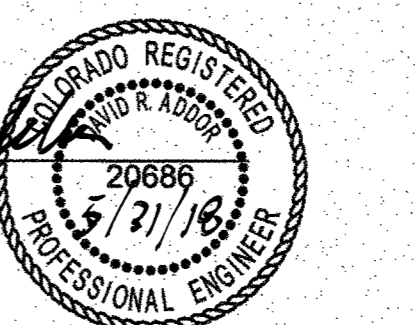
CHARLES N. BECKSTROM, L.S. NO. 33202  
 FOR AND ON THE BEHALF OF  
 ENGINEERING SERVICE COMPANY  
 14190 EAST EVANS AVENUE  
 AURORA, COLORADO 80014



**CIVIL ENGINEER'S CERTIFICATE:**

I, DAVID R. ADDOR, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

DAVID R. ADDOR, P.E. NO. 20688  
 FOR AND ON THE BEHALF OF  
 ENGINEERING SERVICE COMPANY  
 14190 EAST EVANS AVENUE  
 AURORA, COLORADO 80014



**STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL:**

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 1<sup>st</sup> DAY OF June, 2018

David R. Addor  
 DIRECTOR OF DEVELOPMENT SERVICES

**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATION:**

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 10:23 am ON THE 18 DAY OF June, 2018 AT RECEPTION NO.: 2018036287

DOUGLAS COUNTY CLERK AND RECORDER

BY: Kirsty Mann  
 DEPUTY



**VARIANCES:**

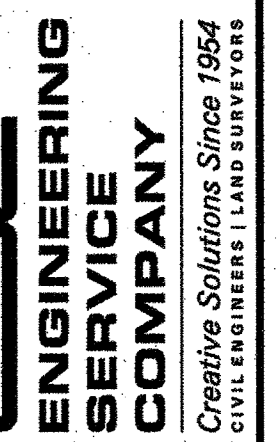
TCV18-0011 25% PARKING REDUCTION  
 APPROVED 05/22/2018  
 TCV18-0016 STREET TREE REDUCTION  
 APPROVED 05/21/2018

LOT 2A, KINNER REPLAT  
 SITE DEVELOPMENT PLAN  
 PROJECT NO. SDP18-0006

BC WOLFENBERGER, LLC  
 7288 SOUTH TUCSON WAY  
 CENTENNIAL, COLORADO 80112  
 PHONE: (303) 733-4627  
 ATTN: BUZZ CALKINS

No.	Description	Date
1	INITIAL SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	02/08/2018
2	SECOND SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	02/23/2018
3	THIRD SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	04/24/2018
4	FOURTH SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	05/08/2018

14190 East Evans Avenue  
 Aurora, Colorado 80014  
 engineering@esvc.com  
 P 303.337.1393  
 F 303.337.1488  
 civilengineers@landsurveyors.com  
 T 1.877.425.0689



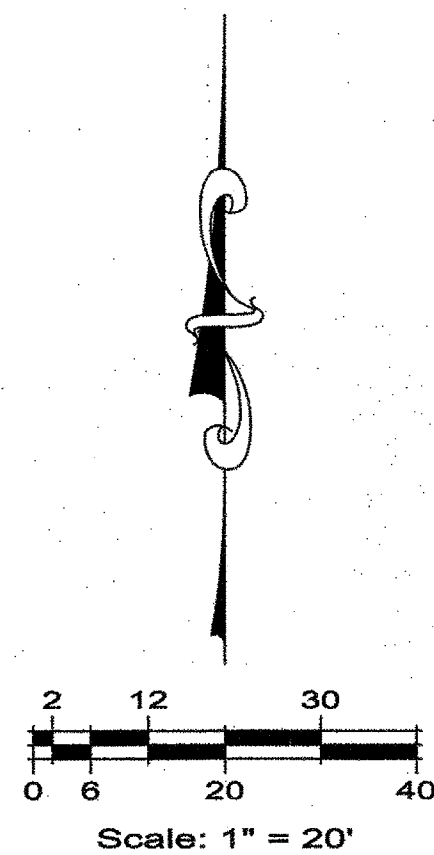
COVER SHEET

# LOT 2A, KINNER REPLAT

## SITE DEVELOPMENT PLAN

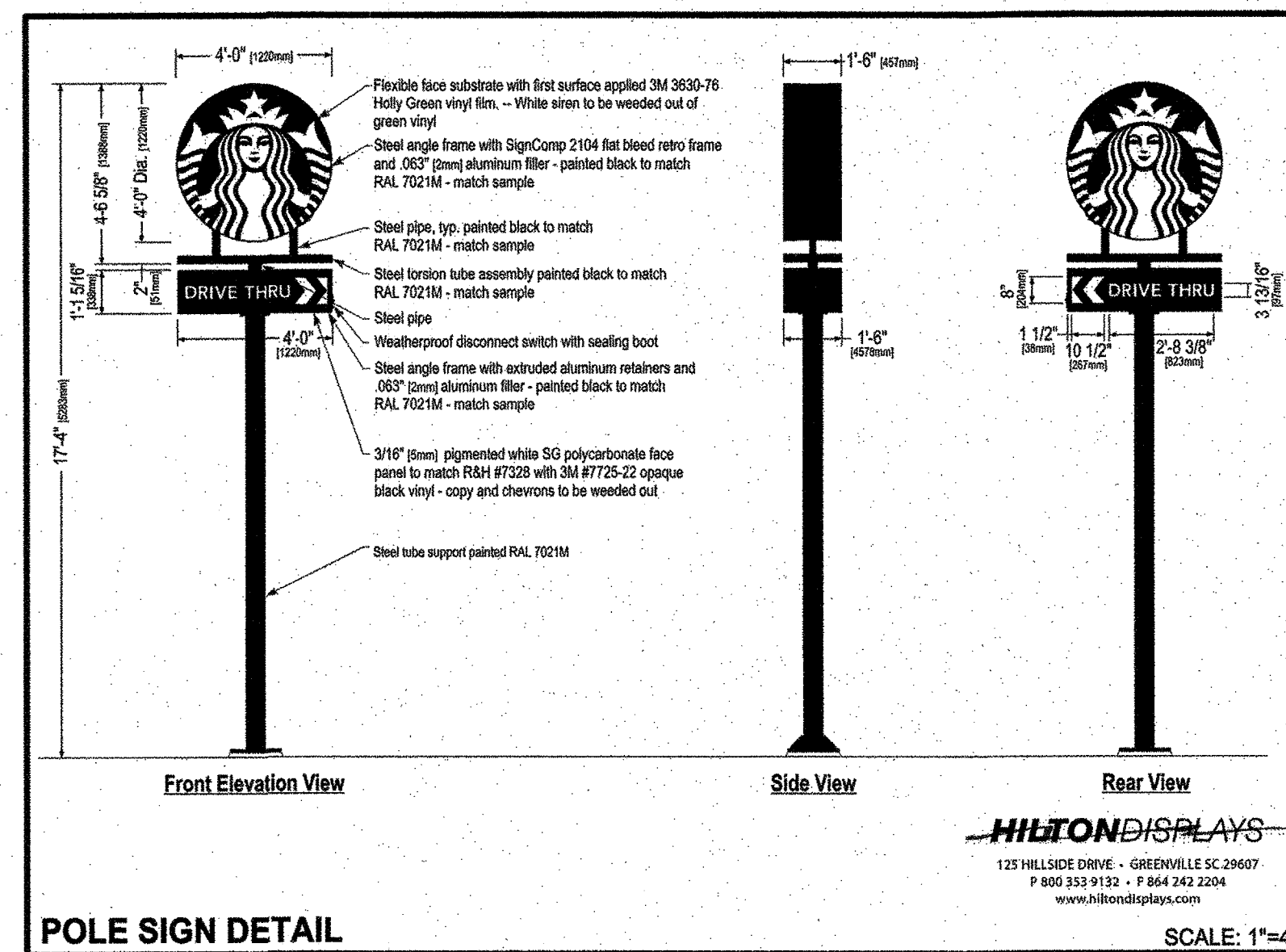
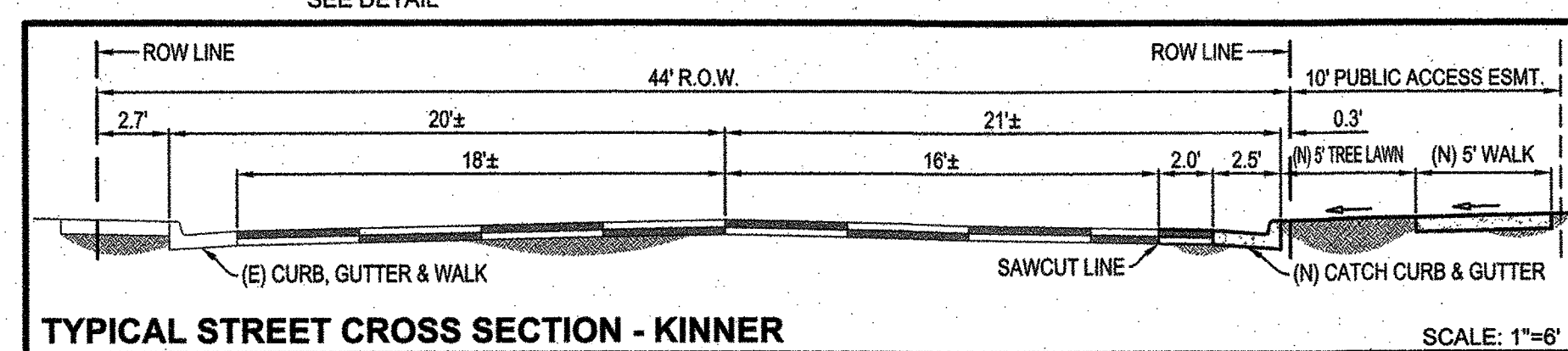
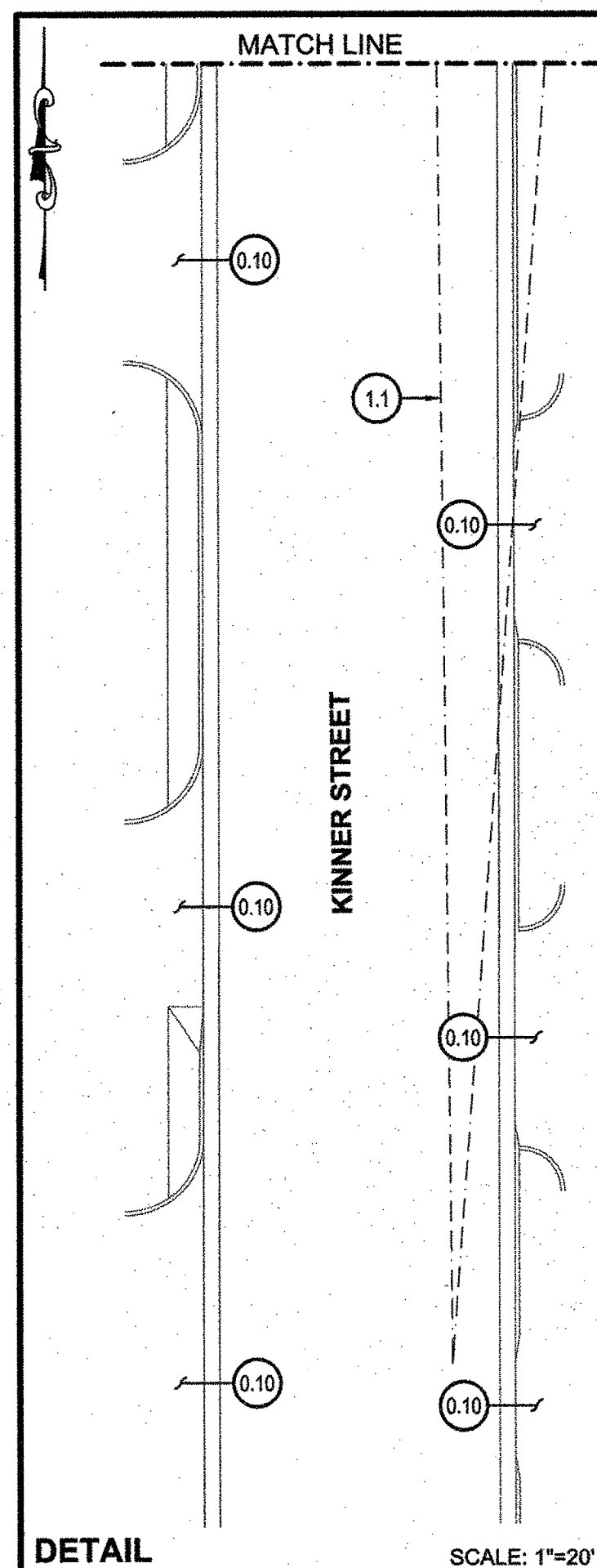
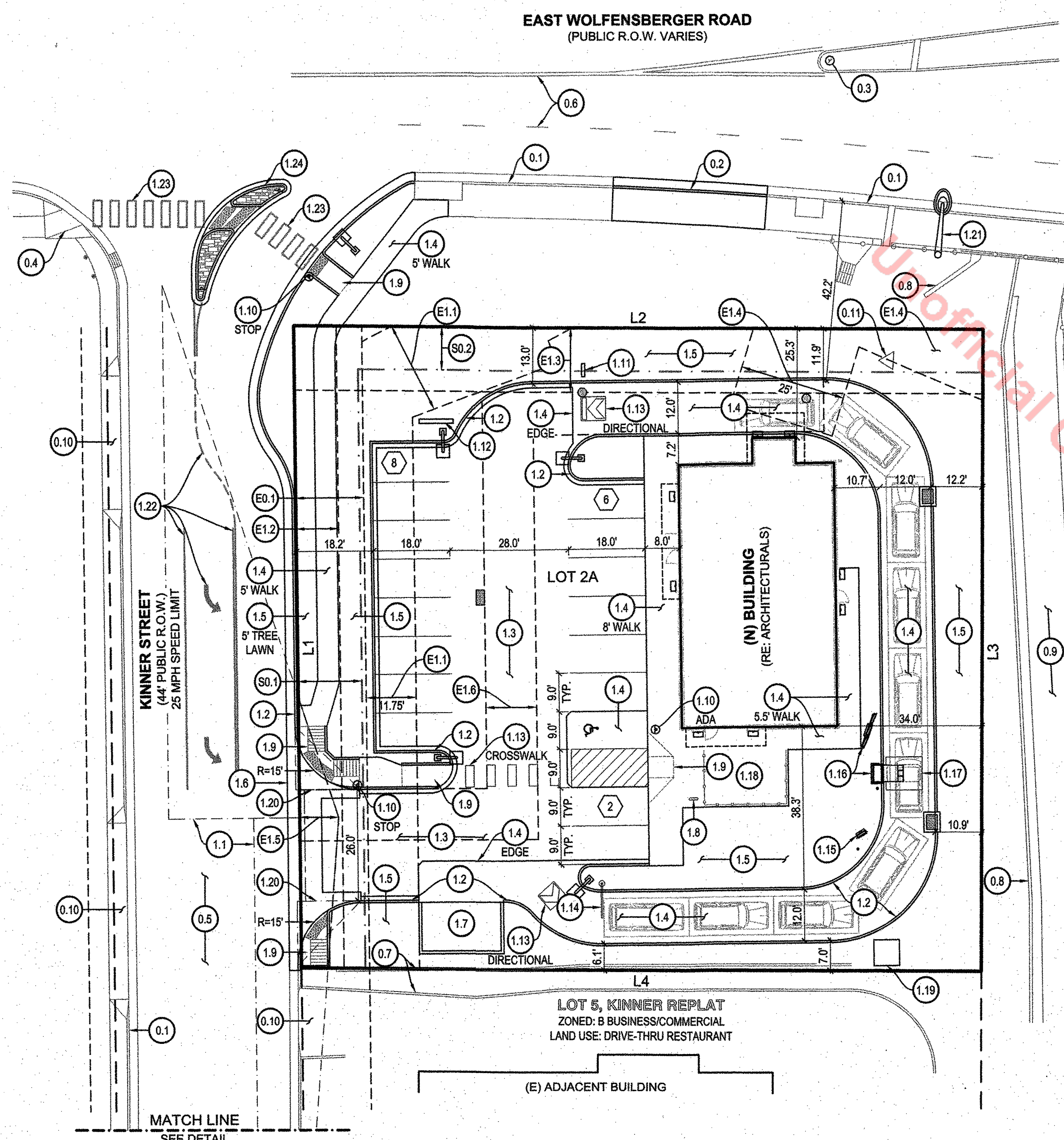
SITUATED IN THE SW 1/4 OF SECTION 2, T.8S., R.67W. OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NO. SDP18-0006



### LINE DATA TABLE

COURSE	BEARING	LENGTH
L1	N00°33'58"W	149.97'
L2	S89°38'59"E	162.40'
L3	S00°18'31"W	149.98'
L4	N89°38'16"W	160.11'



### SITE PLAN KEYNOTE LEGEND:

- |                       |   |
|-----------------------|---|
| #                     | ITEM DESCRIPTION  |
| <b>EXISTING ITEMS</b> |   |
| 0.1                   | (E) CURB, GUTTER & WALK   |
| 0.2                   | (E) ACCESS CURB CUT TO BE REMOVED   |
| 0.3                   | (E) SIGN  |
| 0.4                   | (E) ADA RAMP  |
| 0.5                   | (E) ASPHALT   |
| 0.6                   | (E) STREET STRIPING   |
| 0.7                   | (E) CURB TO REMAIN  |
| 0.8                   | (E) RETAINING WALL  |
| 0.9                   | (E) CONCRETE TRAIL  |
| 1.0                   | (E) CURB CUT  |
| 1.11                  | (E) TOWER MONUMENT SIGN TO BE REMOVED   |
| <b>NEW ITEMS</b>      |   |
| 1.1                   | (N) SIGHT TRIANGLE  |
| 1.2                   | (N) CURB & GUTTER   |
| 1.3                   | (N) ASPHALT   |
| 1.4                   | (N) CONCRETE  |
| 1.5                   | (N) LANDSCAPING   |
| 1.6                   | (N) 8' CROSSSPAN  |
| 1.7                   | (N) TRASH ENCLOSURE, RE: DETAIL ON SHEET 7  |
| 1.8                   | (N) BIKE RACK (2 STALLS), RE: DETAIL ON SHEET 8   |
| 1.9                   | (N) ADA RAMP  |
| 1.10                  | (N) SIGN  |
| 1.11                  | (N) "THANK YOU" AND "EXIT ONLY" SIGN  |
| 1.12                  | (N) POLE SIGN, RE: DETAIL, DESIGNED BY OTHERS   |
| 1.13                  | (N) PAVEMENT GRAPHICS   |
| 1.14                  | (N) CLEARANCE BAR   |
| 1.15                  | (N) PRE-MENU BOARD IN ACCORDANCE WITH STARBUCKS STANDARDS   |
| 1.16                  | (N) ORDER POINT CANOPY WITH DIGITAL ORDER SCREEN AND MENU BOARD IN ACCORDANCE WITH STARBUCKS STANDARDS  |
| 1.17                  | (N) 3/4-INCH PVC CONDUIT AND DETECTOR LOOP CENTERED ON ORDER POINT AND DRIVE-THROUGH WINDOW 2-INCHES BELOW FINISHED GRADE. EXTEND 2-INCH CONDUIT TO DRIVE-THRU WINDOW. CONTRACTOR SHALL INSTALL ALL WORK PRIOR TO INSTALLATION OF ORDER POINT STAR PATTERN AND IN ACCORDANCE WITH STARBUCKS STANDARDS |
| 1.18                  | (N) CONCRETE PATIO WITH RAILING, RE: DETAIL ON SHEET 8  |
| 1.19                  | (N) CONCRETE PAD FOR TRANSFORMER - APPROXIMATE LOCATION ONLY  |
| 1.20                  | (N) DRIVEWAY SAFETY TRIANGLE  |
| 1.21                  | (N) STREET LIGHT  |
| 1.22                  | (N) STREET STRIPING   |
| 1.23                  | (N) CROSSWALK STRIPING  |
| 1.24                  | (N) TRAFFIC DIRECTIONAL ISLAND WITH PATTERNED CONCRETE AND ADA WALK-THRU  |

### BUILDING SETBACK KEYNOTE LEGEND:

- |      |                                     |
|------|-------------------------------------|
| #    | ITEM DESCRIPTION                    |
| S0.1 | 15' FRONT SETBACK (KINNER ST.)      |
| S0.2 | 10' SIDE SETBACK (WOLFENBERGER RD.) |

### EASEMENT KEYNOTE LEGEND:

- |                           |  |
|---------------------------|--|
| #                         | ITEM DESCRIPTION   |
| <b>EXISTING EASEMENTS</b> |  |
| E0.1                      | 16' UTILITY EASEMENT, (REC. NO. 1976188522)                                |
| <b>NEW EASEMENTS</b>      |  |
| E1.1                      | (N) UTILITY EASEMENT, (REC NO. <u>2018035791</u> )                         |
| E1.2                      | (N) 10' PUBLIC ACCESS & MAINTENANCE EASEMENT, (REC NO. <u>2018035795</u> ) |
| E1.3                      | (N) 15' IREA UTILITY EASEMENT, (REC NO. <u>2018033563</u> )                |
| E1.4                      | (N) DRAINAGE EASEMENT, (REC NO. <u>2018035793</u> )                        |
| E1.5                      | (N) SIGHT DISTANCE EASEMENT, (REC NO. <u>2018035792</u> )                  |
| E1.6                      | (N) 12' DRAINAGE ACCESS EASEMENT, (REC NO. <u>2018035794</u> )             |

### GENERAL NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, A UTILITY LOCATOR SERVICE AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTERS AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CONSTRUCTION OR CONSTRUCTION STAKING FOR THIS PROJECT SHALL BE DONE PER THE SIGNED AND APPROVED CIVIL CONSTRUCTION PLANS. ENGINEERING SERVICE COMPANY IS NOT LIABLE FOR ANY DISCREPANCIES BETWEEN ANY BID SET AND/OR BUILDING SET AND THE APPROVED CIVIL CONSTRUCTION PLANS.

### BENCHMARK:

DOUGLAS COUNTY CONTROL NETWORK PT# 50166 - 3.25" DIAMETER ALUMINUM CAP STAMPED WITH 3.011003  
ELEVATION = 6572.82 FEET (NAVD 1988 DATUM)

BC WOLFENBERGER, LLC  
7288 SOUTH TUCSON WAY  
CENTENNIAL, COLORADO 80112  
PHONE: (303) 733-4627  
ATTN: BUZZ CALKINS

No.	Description	Date
1	INITIAL SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	02/08/2018
2	SECOND SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	03/23/2018
3	THIRD SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	04/24/2018
4	FOURTH SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	05/08/2018

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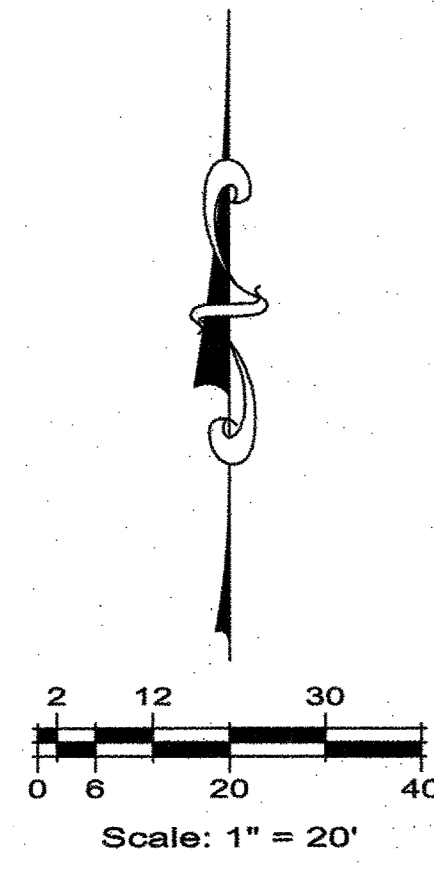
## SITE PLAN

# LOT 2A, KINNER REPLAT

## SITE DEVELOPMENT PLAN

SITUATED IN THE SW 1/4 OF SECTION 2, T.8S., R.67W. OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NO. SDP18-0006

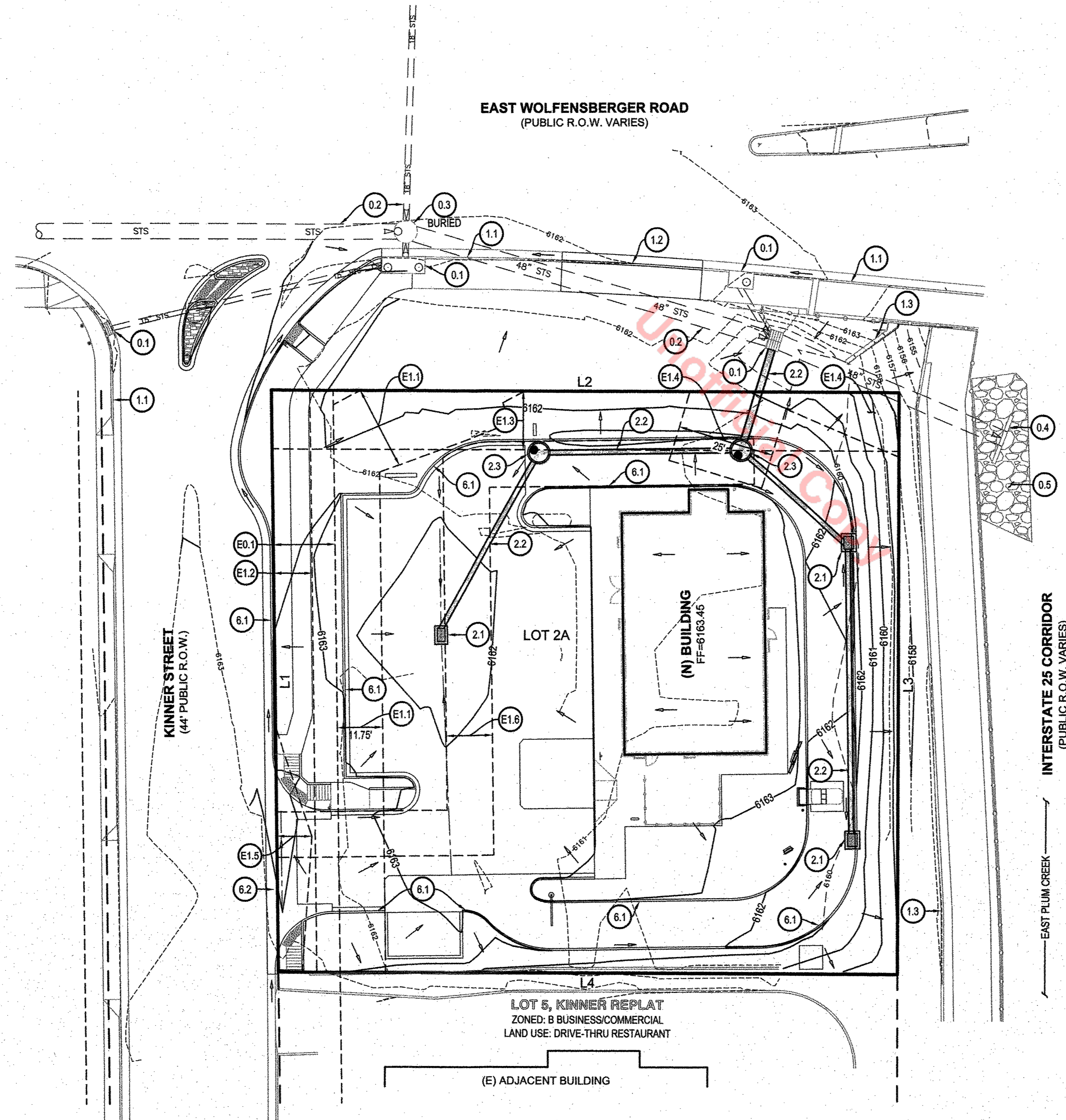


### LINE DATA TABLE

COURSE	BEARING	LENGTH
L1	N00°33'58"W	149.97'
L2	S89°38'59"E	162.40'
L3	S00°18'31"W	149.98'
L4	N89°38'16"W	160.11'

### LEGEND

	(E) STORM SEWER LINE
	(N) STORM SEWER LINE (PRIVATE)
	(E) CONTOUR LINE
	(N) CONTOUR LINE
	(N) 2"-"CATCH" CURB AND GUTTER
	(N) 1"-"SPILL" CURB AND GUTTER
	(E) MANHOLE
	(N) MANHOLE
	DRAINAGE FLOW ARROW



### GENERAL GRADING PLAN KEYNOTE LEGEND:

#	ITEM DESCRIPTION
<b>EXISTING ITEMS</b>	
0.1	(E) STORM INLET
0.2	(E) STORM SEWER LINE
0.3	(E) STORM MANHOLE
0.4	(E) OUTFALL HEADWALL
0.5	(E) RIPRAP
1.1	(E) CURB, GUTTER & WALK
1.2	(E) ACCESS CURB CUT TO BE REMOVED
1.3	(E) RETAINING WALL
<b>NEW ITEMS</b>	
2.1	(N) STORM INLET
2.2	(N) STORM SEWER LINE
2.3	(N) STORM MANHOLE
5.6	(N) GAS SERVICE LINE - APPROXIMATE LOCATION ONLY, DESIGNED BY OTHERS
5.7	(N) GAS METER - APPROXIMATE LOCATION ONLY, DESIGNED BY OTHERS
6.1	(N) CURB & GUTTER

### EASEMENT KEYNOTE LEGEND:

#	ITEM DESCRIPTION
<b>EXISTING EASEMENTS</b>	
E0.1	(E) 16' UTILITY EASEMENT, (REC. NO. 1976188522)
<b>NEW EASEMENTS</b>	
E1.1	(N) UTILITY EASEMENT, (REC NO. 2018035794)
E1.2	(N) 10' PUBLIC ACCESS & MAINTENANCE EASEMENT, (REC NO. 2018035794)
E1.3	(N) 15' IREA UTILITY EASEMENT, (REC NO. 2018035794)
E1.4	(N) DRAINAGE EASEMENT, (REC NO. 2018035794)
E1.5	(N) SIGHT DISTANCE EASEMENT, (REC NO. 2018035794)
E1.6	(N) 12' DRAINAGE ACCESS EASEMENT, (REC NO. 2018035794)

### GENERAL NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, A UTILITY LOCATOR SERVICE AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CONSTRUCTION OR CONSTRUCTION STAKING FOR THIS PROJECT SHALL BE DONE PER THE SIGNED AND APPROVED CIVIL CONSTRUCTION PLANS. ENGINEERING SERVICE COMPANY IS NOT LIABLE FOR ANY DISCREPANCIES BETWEEN ANY BID SET AND/OR BUILDING SET AND THE APPROVED CIVIL CONSTRUCTION PLANS.
- ALL NEW GRADING AND DRAINAGE PATTERNS SHOWN HEREON IS PRELIMINARY AND SHALL NOT RELIED UPON FOR CONSTRUCTION.

### FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08035C0188G WITH A REVISED DATE OF MARCH 16, 2016, NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

### BENCHMARK:

DOUGLAS COUNTY CONTROL NETWORK PT# 50166 - 3.25" DIAMETER ALUMINUM CAP STAMPED WITH 3.011003.  
ELEVATION = 6572.82 FEET (NAVD 1988 DATUM)

**BC WOLFENBERGER, LLC**  
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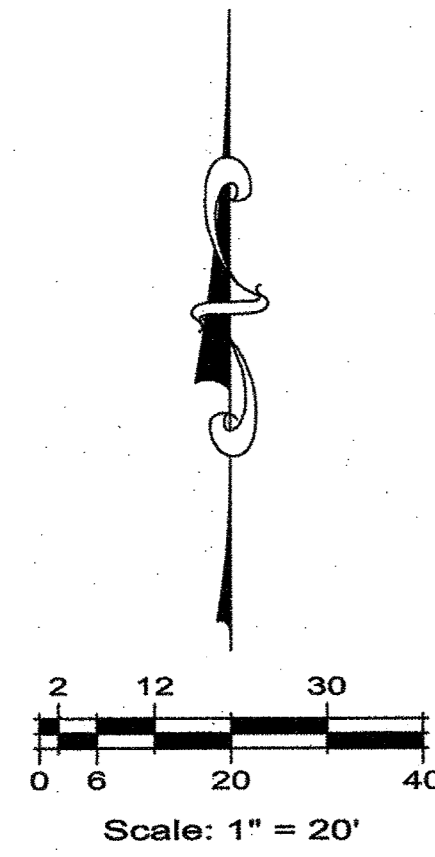
GENERAL GRADING PLAN

# LOT 2A, KINNER REPLAT

## SITE DEVELOPMENT PLAN

SITUATED IN THE SW 1/4 OF SECTION 2, T.8S., R.67W. OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NO. SDP18-0006

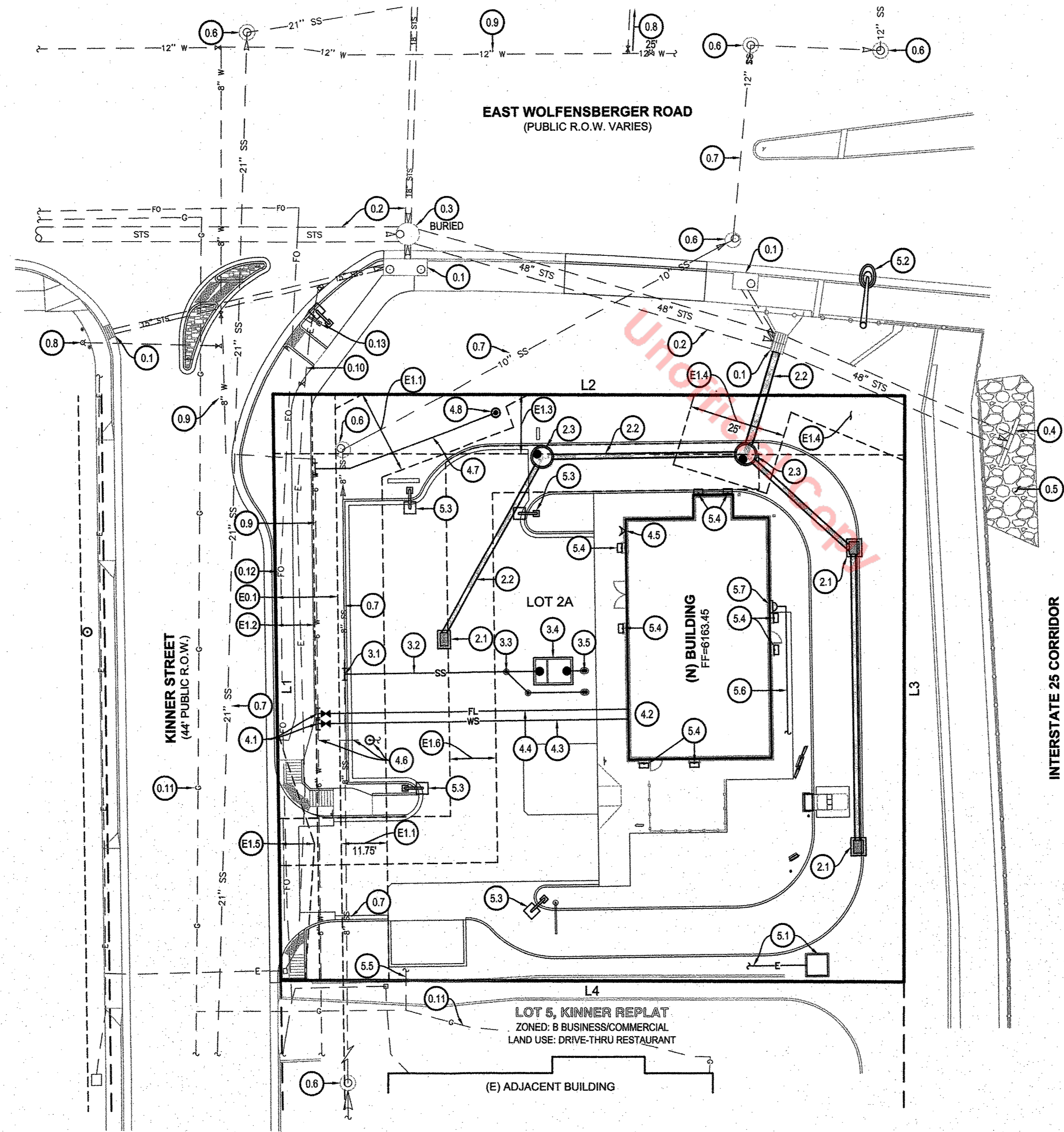


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L4	N89°38'16"W	160.11'

### LEGEND

---	(E) ELECTRICAL LINE
---	(E) FIBER-OPTIC LINE
---	(E) GAS LINE
---	(E) SANITARY SEWER LINE
---	(E) STORM SEWER LINE
---	(E) TELEPHONE LINE
---	(E) WATER LINE
---	(N) ELECTRICAL LINE
---	(N) GAS LINE
---	(N) SANITARY SEWER LINE
---	(N) STORM SEWER LINE (PRIVATE)
---	(N) WATER LINE
⊙	(E) FIRE HYDRANT
⊙	(E) LIGHT POLE
⊙	(E) MANHOLE
⊙	(E) TELEPHONE PEDESTAL
⊙	(E) WATER METER
⊙	(E) WATER VALVE
⊙	(N) LIGHT POLE
⊙	(N) MANHOLE
⊙	(N) STREET LIGHT



### GENERAL UTILITIES PLAN KEYNOTE LEGEND:

- | #                     | ITEM DESCRIPTION  |
|-----------------------|---|
| <b>EXISTING ITEMS</b> |   |
| 0.1                   | (E) STORM INLET   |
| 0.2                   | (E) STORM SEWER LINE  |
| 0.3                   | (E) STORM MANHOLE   |
| 0.4                   | (E) OUTFALL HEADWALL  |
| 0.5                   | (E) RIPRAP  |
| 0.6                   | (E) SANITARY MANHOLE  |
| 0.7                   | (E) SANITARY SEWER LINE   |
| 0.8                   | (E) FIRE HYDRANT  |
| 0.9                   | (E) WATER LINE  |
| 0.10                  | (E) ELECTRICAL LINE   |
| 0.11                  | (E) GAS LINE  |
| 0.12                  | (E) COMMUNICATIONS LINE   |
| 0.13                  | (E) LIGHT POLE TO BE RELOCATED  |
| <b>NEW ITEMS</b>      |   |
| 2.1                   | (N) STORM INLET   |
| 2.2                   | (N) STORM SEWER LINE  |
| 2.3                   | (N) STORM MANHOLE   |
| 3.1                   | (N) SANITARY SERVICE TAP  |
| 3.2                   | (N) SANITARY SERVICE LINE   |
| 3.3                   | (N) SANITARY CLEANOUT - TYPICAL   |
| 3.4                   | (N) GREASE TRAP   |
| 3.5                   | (N) 2-WAY SANITARY CLEANOUT   |
| 4.1                   | (N) WATER TAPS  |
| 4.2                   | (N) INTERNAL WATER METER  |
| 4.3                   | (N) 1 1/2" WATER SERVICE LINE   |
| 4.4                   | (N) 1 1/2" FIRE LINE - PRIVATE  |
| 4.5                   | (N) FIRE DEPARTMENT CONNECTION (F.D.C.)   |
| 4.6                   | REMOVE (E) 1" WATER TAP, METER AND LINE   |
| 4.7                   | (N) 3/4" IRRIGATION LINE  |
| 4.8                   | (N) 3/4" IRRIGATION METER   |
| 5.1                   | (N) TRANSFORMER AND ELECTRICAL SERVICE LINE - APPROXIMATE LOCATION ONLY, DESIGNED BY OTHERS |
| 5.2                   | (N) STREET LIGHT  |
| 5.3                   | (N) LIGHT POLE  |
| 5.4                   | (N) BUILDING MOUNTED LIGHT  |
| 5.5                   | REMOVE (E) GAS SERVICE TAP  |
| 5.6                   | (N) GAS SERVICE LINE - APPROXIMATE LOCATION ONLY, DESIGNED BY OTHERS                        |
| 5.7                   | (N) GAS METER - APPROXIMATE LOCATION ONLY, DESIGNED BY OTHERS                               |

### EASEMENT KEYNOTE LEGEND:

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|---------------------------|---|
| <b>EXISTING EASEMENTS</b> |   |
| E0.1                      | (E) 16' UTILITY EASEMENT, (REC. NO. 1976188522)                     |
| <b>NEW EASEMENTS</b>      |   |
| E1.1                      | (N) UTILITY EASEMENT, (REC. NO. 2018035794)                         |
| E1.2                      | (N) 10' PUBLIC ACCESS & MAINTENANCE EASEMENT, (REC. NO. 2018035795) |
| E1.3                      | (N) 15' IREA UTILITY EASEMENT, (REC. NO. 2018033563)                |
| E1.4                      | (N) DRAINAGE EASEMENT, (REC. NO. 2018035793)                        |
| E1.5                      | (N) SIGHT DISTANCE EASEMENT, (REC. NO. 2018035792)                  |
| E1.6                      | (N) 12' DRAINAGE ACCESS EASEMENT, (REC. NO. 2018035794)             |

### UTILITY NOTES:

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.

### GENERAL NOTES:

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### BENCHMARK:

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**ENGINEERING SERVICE COMPANY**

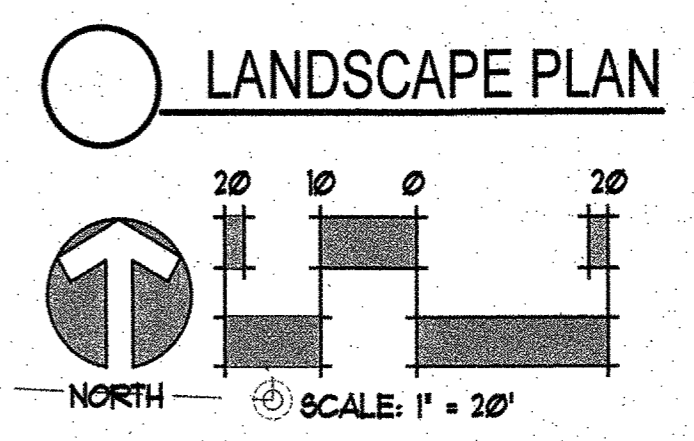
## GENERAL UTILITIES PLAN

# LOT 2A, KINNER REPLAT

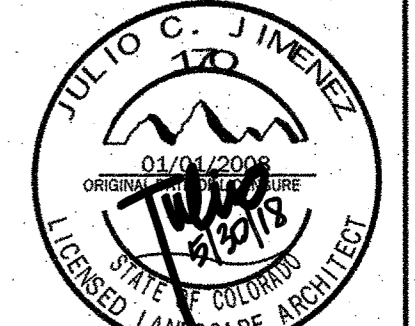
## SITE DEVELOPMENT PLAN

SITUATED IN THE SW 1/4 OF SECTION 2, T.8S., R.67W. OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NO. SDP18-0006



CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES



TOWN OF CASTLE ROCK UTILITIES DEPARTMENT CERTIFICATION NUMBER: 15-1398

BC WOLFENBERGER, LLC  
7268 SOUTH TUCSON WAY  
CENTENNIAL, COLORADO 80112  
PHONE: (303) 733-4627  
ATTN: BUZZ CALKINS

### MINIMUM PLANT MATERIAL SIZES

**GENERAL REQUIREMENTS:**

LANDSCAPE REQ. SECTION 4.2.2.B.2.a-h  
LARGE CANOPY DECIDUOUS TREES: 2" CAL., MIN.  
EVERGREEN TREES: 6 FT. MIN.  
ORNAMENTAL TREES: 1 1/2" CAL., MIN.  
SHRUBS: 5 GAL. CONT.  
GRASSES & PERENNIALS: 1 GAL. CONT.

### STREET TREES

LANDSCAPE REQ. SECTION 8.2.2.b.c and d.  
ONE TREE/FOUR SHRUBS PER 40 LF. FRONTAGE.  
75% TO BE LARGE CANOPY TREES

STREET	FRONTAGE (LF)	TREES REQ. (75% L.C.)	TREES PROV.	SHRUBS REQ.	SHRUBS PROV.
WOLFENBERGER ROAD:	140 LF.	4	1	16	11 5GAL.
KINNER STREET:	126 LF.	3	0	12	11 5GAL.

NOTE: TCY 18-0016 AS OF MAY 21, 2018, THE TECHNICAL CRITERIA VARIANCE FOR THE APPROVAL OF STREET TREES, AS SHOWN ON THE PLAN, HAS BEEN SUBMITTED AND APPROVED.

### SITE DATA TABLE

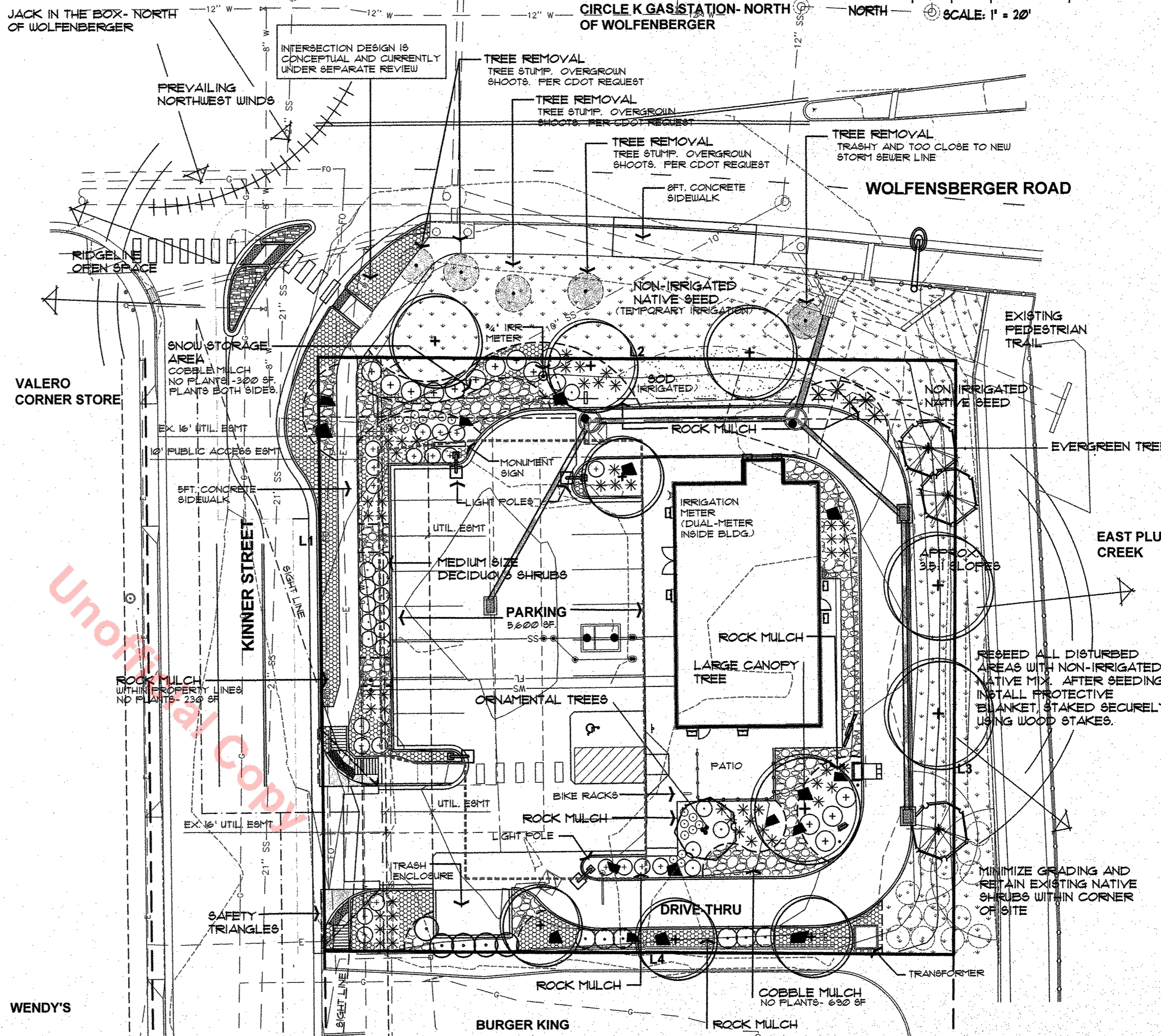
DESCRIPTION	AREA (SF)	PERMANENT IRRIGATION
SITE AREA: 24,182 SF (0.56 AC)	24,182 SF	
LANDSCAPE REQUIRED: 2,418 SF (10%)	2,418 SF	
BUILDING AREA: 2,320 SF	2,320 SF	
HARDSCAPE AREA: 19,824 SF	19,824 SF	
LANDSCAPE PROVIDED: 8,038 SF (33%)	8,038 SF	
NATIVE SEED (TEMPORARY IRR.) EAST PROPERTY LINE	2,220 SF	1,685 SF TREE CANOPY
SOD AREAS (OVERHEAD IRRIGATED) PLANTING BEDS	540 SF	540 SF
PLANT COVERAGE EXPOSED MULCH	4,324 SF	4,324 SF W/TREE CANOPIES
OUTSIDE PROPERTY LINE:		
CDOT ROW WOLFENBERGER (NATIVE SEED-TEMPORARY IRR.)	3,420 SF	685 SF TREE CANOPY
EAST PROPERTY LINE TO TRAIL (NATIVE SEED-TEMPORARY IRR.)	1,130 SF	500 SF TREE CANOPY
<b>TOTAL</b>	<b>4,550 SF</b>	<b>1,184 SF</b>

### LEGEND

- SMALL TREES TO BE REMOVED
- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS  
MEDIUM SIZE, DROUGHT TOLERANT
- EVERGREEN SHRUBS  
LOW SPREADING, DROUGHT TOLERANT
- GRASSES  
ORNAMENTAL GRASSES, ACCENT
- PERENNIALS  
ACCENT GROUPINGS
- METAL EDGING  
RYERSON STEEL EDGER, OR APPROVED EQUAL, ROLLED TOP AND NO SHARP EDGES.
- SOD  
600 BUFFALO GRASS SOD - OVERHEAD IRRIGATION GRAPT TURF FARMS
- NATIVE SEEDING  
NON-IRRIGATED SEED MIX. INSTALL ON EASTERN SLOPE AND ON WOLFENBERGER ROW.
- WOOD MULCH  
4" LAYER OF SHREDDED WESTERN RED CEDAR, WITHOUT GEOTEXTILE FABRIC TO BE INSTALLED ON ALL TREE RINGS ON SOD AND SEEDING AREAS.
- COBBLE MULCH  
CLEAN WASHED 4-6" RIVER ROCK, PLACED OVER GEOTEXTILE FABRIC. GRAY/WHITE COLOR. USE PEA GRAVEL INFILL TO COVER OPEN VOIDS BETWEEN LARGER STONES. NO FABRIC SHALL BE EXPOSED.
- ROCK MULCH  
CRUSHED GRANITE, DARK GREY, 1"-1 1/2" IN SIZE, SPREAD AT A MINIMUM DEPTH OF 2" OVER GEOTEXTILE FABRIC. NOT FABRIC SHALL BE EXPOSED.
- CHEROKEE BOULDERS  
CHEROKEE BOULDERS, ABOUT 30"x18"x18" IN SIZE, AND BURIED IN THEIR ORIGINAL SIZE, OR SIMILAR BOULDER TYPE APPROVED BY DEVELOPER AVAILABLE: THE ROCK GARDEN, FT. COLLINS, 910.472.1115

### CONCEPTUAL LANDSCAPE NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED ON THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMF).
- IRRIGATION SYSTEM IS TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEM IS TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- DUE TO EXISTING SOIL STRUCTURE AND WATER RESTRICTION WITHIN 8FT. FROM THE FOUNDATION, NO IN-GROUND PLANTS WILL BE PLACED ADJACENT TO THE BUILDING. PLANTERS WITH DRIP IRRIGATION WILL BE INCORPORATED INTO THE LANDSCAPE PLANTING SCHEME.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTING, CROPS, CUT SLOPES, AND BERRIES, SHALL BE PLACED WITHIN THE SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- IN ADDITION TO SOIL AMENDMENT THAT WILL BE PLACED DIRECTLY IN THE PLANTING PITS, THE ENTIRE PLANTING BED SHALL RECEIVE A MINIMUM OF 4 CUBIC YARDS OF 'BLACK TEA' COMPOST, AS DISTRIBUTED BY BOSS COMPOST, BRIGHTON, COLORADO OR APPROVED EQUAL. COMPOST TO BE SPREAD EVENLY AND ROTOTILLED TO A DEPTH OF EIGHT(8) INCHES.
- A SOIL INSPECTION, INCLUDING APPLICATION OF SOIL AMENDMENTS AND SOIL PREPARATION, SHALL BE COORDINATED FOR APPROVAL BY THE TOWN OF CASTLE ROCK. CONTRACTOR SHALL HAVE WRITTEN VERIFICATION/DELIVERY TICKETS OF APPROVED SOIL AMENDMENT TYPE AND VOLUME FOR TOWN'S INSPECTOR TO REVIEW. THE SOIL INSPECTION WILL INCLUDE REVIEW FOR ADHERENCE TO SOIL AMENDMENT AND INSTALLATION CRITERIA NOTED ON THE PERFORMANCE STANDARDS.



### PLANT SCHEDULE

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER REQ./HYDROZONE
<b>LARGE CANOPY TREES</b>					
SHL	3	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER LOCUST	2 1/2" CAL.	LOW
KCT	2	GYNOCALADUS DIOCUS 'ESPRESSO'	KENTUCKY COFFEETREE 'ESPRESSO'	2" CAL.	LOW
COA	1	QUERCUS MEHLERBERGII	CHINKAPIN OAK	2" CAL.	LOW
CFE	4	FYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	2" CAL.	LOW
<b>EVERGREEN TREES</b>					
BOP	2	P. HELDREICHI V. LEUCODERMUS	BOSNIAN PINE	6FT., B4B	LOW
PIN	1	PINUS EDULIS	PINON PINE	6FT., B4B	LOW
<b>ORNAMENTAL TREES</b>					
CBC	1	MALUS x CORALBURST	CORALBURST CRABAPPLE	1 1/2" CAL.	MOD
<b>DECIDUOUS AND EVERGREEN SHRUBS</b>					
GMJ	14	JUNIPERUS PROCUMBENS 'GREENMOUND'	GREENMOUND JUNIPER	5 GAL.	LOW
SCJ	10	JUNIPERUS SABINA 'SCANDIA'	SCANDIA JUNIPER	5 GAL.	LOW
PMH	10	ARCTOSTAPHYLOS x COLORADENSIS	PANCHITO MANZANITA	5 GAL.	LOW
THB	5	FRANGULA ALNUS 'COLUMNARIIS'	TALL HEDGE BUCKTHORNE	5 GAL.	LOW
LFR	6	LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	5 GAL.	LOW
RLC	13	RIBES RUBRUM 'REDLAKE'	REDLAKE CURRRANT	5 GAL.	LOW
FCB	4	SPIRAEA x FLOWERING CHOICE	FLOWERING CHOICE SPIREA	5 GAL.	LOW
<b>GRASSES &amp; PERENNIALS</b>					
VMG	5	MISCANTHUS SINENSIS 'CABARET'	VARIEGATED MAIDEN GRASS	5 GAL. CONT.	LOW
KFG	52	CALAMAGROSTIS AC. 'KARL FORESTER'	FEATHER RED GRASS	1 GAL.	LOW
DAY-A	10	HENIEROCALLIS SP. 'AUTUMN RED'	RED DAYLILY	1 GAL.	LOW
MNS	9	SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GAL.	LOW

### BOUNDARY DIMENSIONS

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4	FOURTH SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	05/09/2018

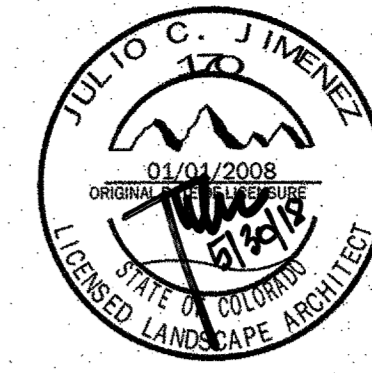
## CONCEPTUAL LANDSCAPE PLAN

# LOT 2A, KINNER REPLAT

## SITE DEVELOPMENT PLAN

SITUATED IN THE SW 1/4 OF SECTION 2, T.8S., R.67W. OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NO. SDP18-0006



TOWN OF CASTLE ROCK UTILITIES  
DEPARTMENT CERTIFICATION  
NUMBER: 15-1398

### SITE INVENTORY

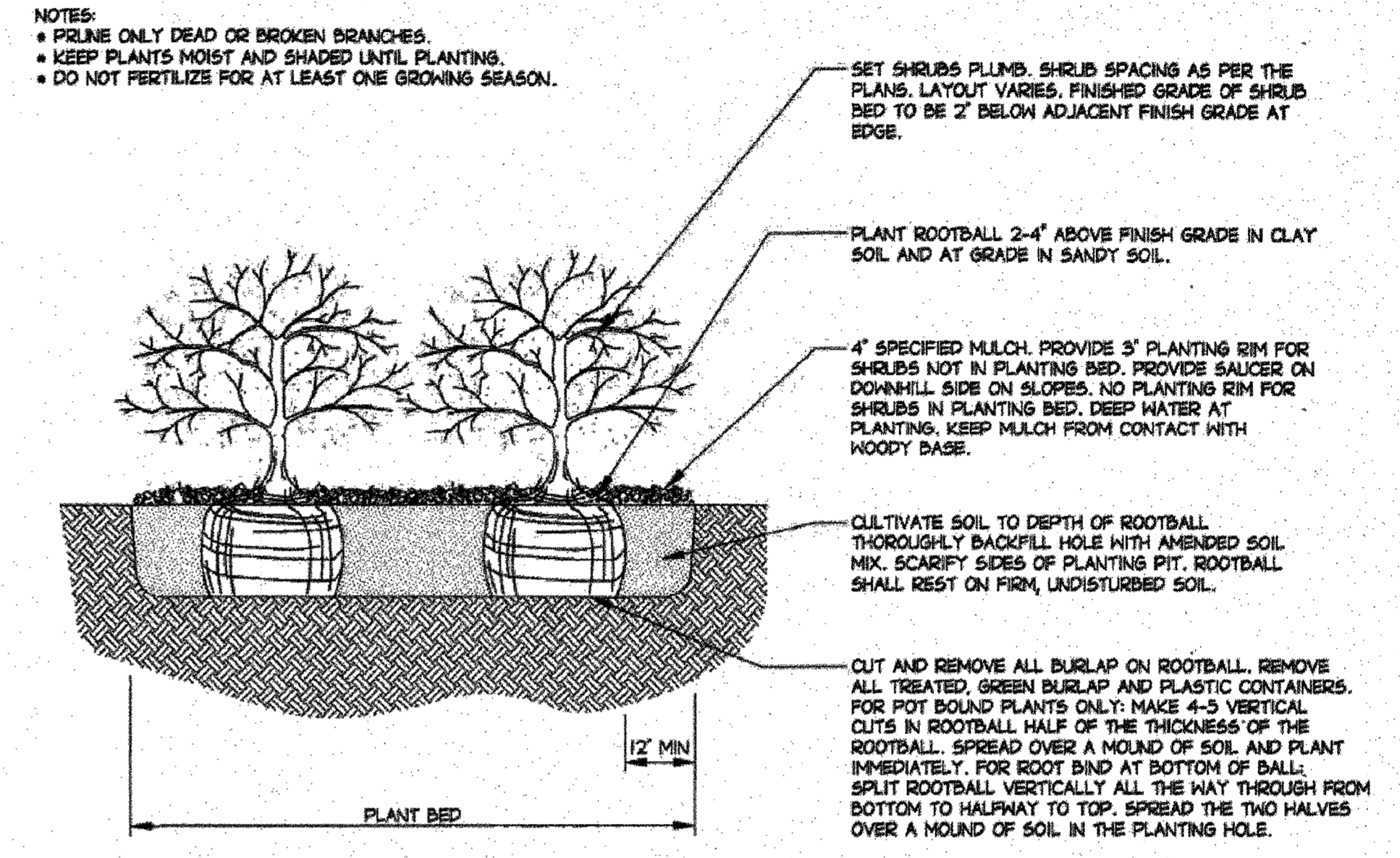
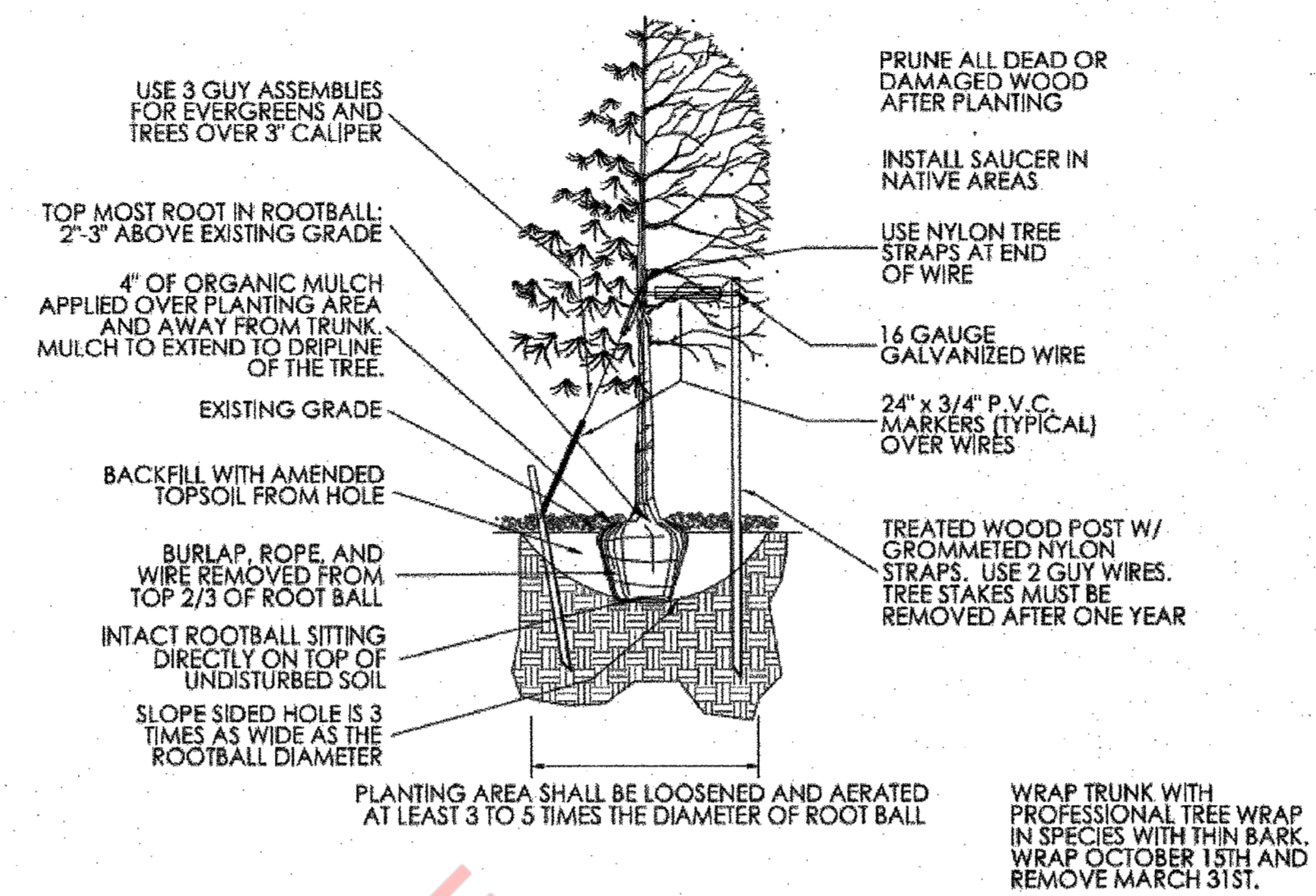


### Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional Julio Jimenez  
Town of Castle Rock Registration # 15-1398 State of Colorado License Landscape Architect # 0000170  
Company Name Jimenez Design Group, LLC Address 314 Rose Finch Circle, Highlands Ranch, Co, 80129  
Phone 303.913.7417 Email juliojdo@comcast.net Date 5/5/18  
PROJECT NAME Lot 2A-KINNER REPLAT (No. SDP18-0006)

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
24,182sf	2,418sf (required)  (8,038sf proposed)	540 (800 Buffalo Grass)	1,474 (18%)	5 @ 2 trees/1,000SF	13	10 @ 4 shrubs/1,000SF	33-5gal. 71-1gal.	50 cyds 12,588sf (sod, seed shrub beds) @4cy/1000	Yes X No
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscapes	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
5,600	568	15	120	1	10ft	1	1	2	5

### LANDSCAPE DETAILS



### NOTES

#### GENERAL NOTES:

- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR, AND OBSERVE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR AND/OR OWNER'S REPRESENTATIVE OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND HAVE BECOME ACCEPTABLE.
- CONTRACTOR SHALL NOTIFY UNCC UTILITY LOCATORS, AT 1-800-922-1987, AT LEAST 48 HRS. PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL MAKE HIMSELF AWARE TO THE LOCATIONS OF EXISTING UTILITIES, AND SHALL BECOME RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES, OR ANY PERSONAL INJURY.
- DEVELOPER/GENERAL CONTRACTOR SHALL INSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT OR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- LANDSCAPE PLAN COMPLIES WITH THE TOWN OF CASTLE ROCK MUNICIPAL CODE STANDARDS FOR THE COUNTY OF OVERLAY DISTRICT. LANDSCAPE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS, INCLUDING PERMITTING AND TRAFFIC CONTROL PLANNING, IF NECESSARY.
- THE DEVELOPER, HIS SUCCESSOR AND ASSIGNS SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPE MATERIAL SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.

#### LANDSCAPE NOTES:

- A SOIL INSPECTION, INCLUDING APPLICATION OF SOIL AMENDMENTS AND SOIL PREPARATION, SHALL BE COORDINATED FOR APPROVAL BY THE TOWN OF CASTLE ROCK. CONTRACTOR SHALL HAVE WRITTEN VERIFICATION/DELIVERY TICKETS OF APPROVED SOIL AMENDMENT TYPE AND VOLUME FOR TOWN'S INSPECTOR TO REVIEW. THE SOIL INSPECTION WILL INCLUDE REVIEW FOR ADHERENCE TO SOIL AMENDMENT AND INSTALLATION CRITERIA NOTED ON THE PERFORMANCE STANDARDS.
- COBBLE, ROCK AND WOOD MULCH TO BE PLACED ONLY ON LOCATIONS SHOWN ON THE PLAN. COBBLE MULCH SHALL BE INSTALLED OVER GEOTEXTILE FILTER FABRIC. NO FABRIC UNDER WOOD MULCH. ALL AREAS NOT SPECIFIED AS WOOD MULCH SHALL RECEIVE ROCK OR COBBLE MULCH.
- IN ADDITION TO SOIL AMENDMENT THAT WILL BE PLACED DIRECTLY IN THE PLANTING PITS, THE ENTIRE PLANTING BED SHALL RECEIVE A MINIMUM OF 4 CUBIC YARDS OF CLASS I, OR CLASS II COMPOST, AS DISTRIBUTED BY BOSS COMPOST, BRIGHTON, COLORADO OR APPROVED EQUAL. COMPOST TO BE SPREAD EVENLY AND ROTOTILLED TO A DEPTH OF EIGHT(8) INCHES.
- ALL IN-GROUND LANDSCAPE MATERIAL TO BE LOCATED NO CLOSER THAN 8FT. FROM THE BUILDING FOUNDATION, WITH THE EXCEPTION OF FREE STANDING, ABOVE-GROUND, PLANTERS THAT WILL BE WATERED WITH A SLOW RELEASE DRIP IRRIGATION SYSTEM. NO IRRIGATION SHALL OCCUR CLOSE TO THE BUILDING EXCEPT WITHIN THE PLANTERS. NO OVERHEAD SPRAYS ARE INTENDED TO BE USED ON THE SITE. IRRIGATION SYSTEM INSTALLATION, OPERATION AND MAINTENANCE SHALL CONFORM TO THE TOWN OF CASTLE ROCK STANDARD REQUIREMENTS.

#### PLANTING:

- ALL LANDSCAPE SHALL COMPLY WITH APPLICABLE ZONING AND DEVELOPMENT REGULATIONS.
- FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE PLAN. SHOULD A DISCREPANCY IN QUANTITIES OCCUR, THE PLANT QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THOSE IN THE PLANT SCHEDULE. PLANT LOCATIONS ARE DIAGRAMATIC. STAKE LOCATIONS AND HAVE LANDSCAPE ARCHITECT VERIFY AND APPROVE PRIOR TO INSTALLATION.
- ALL TREES AND SHRUBS SHALL MEET THE MINIMUM STANDARDS ESTABLISHED BY THE COLORADO NURSERY ASSOCIATION. ANY TREES AND/OR SHRUBS THAT HAVE BROKEN ROOTBALLS WILL BE REJECTED.
- PLANTS OF LIKE SPECIES AND VARIETY SHALL HAVE SIMILAR SIZE AND SHAPE. IF DURING INSPECTION, ANY OF THE PLANTS ARE DEEMED TO BE BELOW STANDARD, THOSE PLANTS SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED WITH AN ACCEPTABLE PLANT OF THE TYPE SPECIFIED. ALL REJECTED PLANT MATERIAL SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. THE OWNER'S REPRESENTATIVE SHALL BE THE SOLE JUDGE AS TO THE QUALITY AND ACCEPTABILITY OF PLANT MATERIAL.

- PROVIDE A STAKED LAYOUT OF ALL PLANTING AND LARGE TREE LOCATIONS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK. ALL TREES SHALL BE STANDARD IN FORM WITH DISTINCT CENTRAL LEADERS. TREES WILL NOT BE ACCEPTED IF CENTRAL LEADER IS VISIBLY DAMAGED. PRUNE ALL DAMAGED TWIGS AFTER INSTALLATION. ALL BRANCHES WHICH MIGHT HINDER EITHER PEDESTRIAN OR VEHICULAR MOVEMENTS SHALL BE REMOVED.
- TREES SHALL BE PLANTED WITH THE TOP OF THE ROOTBALL 2-4 INCHES HIGHER THAN THE FINISHED GRADE. THIS INCLUDES TREES THAT ARE SET ON SLOPES. ALWAYS SET ROOTBALL ON UNDISTURBED SOIL. CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN PLANTING PIT. CUT OFF REMAINDER OF BASKET ONCE THE TREE HAS BEEN SET AND PRIOR TO BACKFILLING. AT A MINIMUM, THE TOP 1/2 OF THE BURLAP AND WIRE BASKET SHALL BE REMOVED. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP.
- AFTER SQUARELY PLACING TREES OR SHRUBS IN PLANTING PITS, BACKFILLED PLANTING HOLE USING A MIXTURE OF TWO-THIRD EXISTING SOIL AND ONE-THIRD SOIL AMENDMENT, OR AS REQUESTED IN WRITING BY THE OWNER. ALL BACKFILL SHALL BE FREE OF DEBRIS OR STONES 1-INCH OR LARGER.

#### SODDING AND SEEDING:

SOD: 60% BUFFALO GRASS, IN AREAS SHOWN ON THE PLAN  
SEED: CASTLE ROCK LOW-GROW DRILLED SEED MIX

SPECIES	VARIETY	NOTES	% IN MIX	PLS/ACRE
BUFFALO GRASS	TEXOKA	FNU6	20	3.2
BLUE GRAMMA	HACHITA	FNU6	20	0.6
WESTERN WHEATGRASS	ARRIBA	FNC6	20	3.2
SIDEWATER GRAMMA	VAUGHN	FNU6	20	1.8
THICKSPIKE WHEATGRASS	CRITANA	FNC6	10	1.0
STREAMBANK WHEATGRASS	SODAR	FNC6	10	1.2
<b>TOTAL</b>			<b>110.0</b>	

SEED TO BE APPLIED USING A MECHANICAL DRILL TO A DEPTH OF NOT LESS THAN 1/4-INCH AND NOT MORE THAN 3/4-INCH. ROW SPACING SHALL BE NO MORE THAN 6-INCHES. MATERIAL USED FOR MULCH SHALL CONSIST OF WEE-FREE LONG-STEMMED STRAW, AT LEAST 50% OF THE MULCH, BY WEIGHT, SHALL BE 10-INCHES OR MORE IN LENGTH. MULCH SHALL BE APPLIED AND MECHANICALLY ANCHORED TO A DEPTH OF AT LEAST 4-INCHES. MULCH SHALL BE APPLIED AT A RATE OF 4,000 LBS OF STRAW PER ACRE.

ALL SEEDING AND MULCHING TO COMPLY WITH THE TOWN OF CASTLE ROCK GRADING, EROSION AND SEDIMENT CONTROL (GESC) MANUAL.

#### EROSION CONTROL BLANKET:

INSTALL ON SLOPES GREATER THAN 4% MORE SPECIFICALLY ON THE EASTERN SECTION OF THE PROJECT SITE. SEE LANDSCAPE PLAN FOR EROSION CONTROL BLANKET REQUIREMENT.

ALL EROSION CONTROL BLANKET AND NETTING SHALL BE MADE OF 100% NATURAL AND BIODEGRADABLE MATERIALS; NO PLASTIC OR OTHER SYNTHETIC MATERIAL, EVEN IF PHOTO DEGRADABLE.  
EROSION CONTROL BLANKET SHALL BE PLACED SMOOTHLY, BUT LOOSELY, ON THE SOIL SURFACE, WITHOUT STRETCHING.

MATERIAL SPECIFICATIONS OF EROSION CONTROL BLANKET SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS NOTED ON THE GESC MANUAL.  
A SAMPLE OF BLANKET SHALL BE SUBMITTED AT LEAST TWO WEEKS IN ADVANCE OF ITS USE FOR APPROVAL BY THE TOWN GESC INSPECTOR.

THE CONTRACTOR SHALL MAINTAIN THE PROJECT SITE CLEAN AND WEED-FREE, AND ALL PLANT MATERIAL SHALL REMAIN IN HEALTHY CONDITION, FOR A PERIOD OF 90 DAYS AFTER PROJECT ACCEPTANCE.

- ALL TREES AND SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF ONE-YEAR AFTER PROJECT ACCEPTANCE. CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANT THAT DIES OR IS FOUND TO BE IN UNHEALTHY CONDITION. CONTRACTOR WILL NOT BE HELD RESPONSIBLE IF PLANT DIES DUE TO OVERWATERING OR DIRECT DAMAGE BY HUMAN ACTIONS.
- PLANT SPECIES, SIZES AND LOCATIONS SHALL FOLLOW THE APPROVED LANDSCAPE PLAN. IF THE SITE CONDITIONS, UNDERGROUND UTILITIES AND/OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE AND RECEIVE APPROVAL FROM OWNERS AND THE CITY PRIOR TO MAKING ANY MODIFICATIONS.

#### MULCHING:

- ROCK MULCH: INSTALL A 3' COVER OF CRUSHED GRANITE, PLACED OF GEOTEXTILE LANDSCAPE FABRIC. NO PLASTIC WILL BE ALLOWED. ROCK MULCH MULCH SHALL BE EVENLY SPREAD AND NO FABRIC SHALL BE VISIBLE.
- COBBLE MULCH: 4-6" SIZE WASHED COLORADO RIVER ROCK SHALL BE PLACED AT ALL LOCATIONS SHOWN ON THE PLAN. INSTALL WEED BARRIER PRIOR TO COBBLE PLACEMENT. FILL IN GAPS BETWEEN COBBLE WITH PEAGRAVEL TO PREVENT ANY FABRIC FROM BECOMING VISIBLE.
- TREE RINGS: PROVIDE 8FT. DIAMETER TREE RINGS, COVERED WITH 4" LAYER OF WOOD MULCH, AROUND BASE OF ALL TREES PLANTED IN SODDED OR SEEDING AREAS. TREE RINGS FOR EVERGREEN TREES SHALL EXTEND, AT A MINIMUM, TO THE DRIP LINE OF THE TREE.  
NO METAL EDGING OR FABRIC WILL BE REQUIRED. HOWEVER, A 3" GLENITE SAUCER WILL BE REQUIRED TO RETAIN MULCH IN PLACE. DO NOT PLACE WOOD MULCH ADJACENT TO TREE TRUNK.

#### GENERAL IRRIGATION

- IRRIGATION WATER WILL BE PROVIDED FROM A 3/4" INDEPENDENT WATER METER.
- A "SMART" IRRIGATION CONTROLLER WILL BE PROVIDED, INCLUDING BATTERY BACK-UP OR NON-VOLATILE MEMORY.
- REDUCED PRESSURE ASSEMBLY WILL BE INSTALLED AT THE POINT OF CONNECTION, AND IT MUST PASS A BACKFLOW PREVENTION TEST PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
- A RAIN SENSOR WILL BE INCORPORATED INTO THE IRRIGATION SYSTEM AND CONNECTED TO THE IRRIGATION CONTROLLER.

#### TOWN OF CASTLE ROCK STANDARD CONSTRUCTION NOTES

- INSTALLING CONTRACTOR SHALL CONTACT CASTLE ROCK WATER AT 720.133.6011 TO SCHEDULE A PRE-CONSTRUCTION MEETING BEFORE BEGINNING THE INSTALLATION OF THE LANDSCAPING.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- SOIL INSPECTION IS REQUIRED BEFORE PLANT INSTALLATION AND SCHEDULING SOIL INSPECTION SHOULD BE DISCUSSED AT THE LANDSCAPE PRE-CONSTRUCTION MEETING.
- INSTALLING CONTRACTOR IS TO PROVIDE SUBMITTAL FORMS FOR SOD AND NATIVE SEED MIX AT TIME OF LANDSCAPE INSPECTION.
- SOIL AMENDMENT SHALL BE A MINIMUM OF FOUR (4) CUBIC YARDS OF ORGANIC MATTER PER ONE-THOUSAND SQUARE FEET. THIS SOIL AMENDMENT SHALL BE ROTOTILLED TO A DEPTH OF SIX (6) INCHES. CLASS I OR CLASS II COMPOST IS REQUIRED.
- TREES, LARGE SHRUBS AND PERMANENT OBJECTS ARE NOT PERMITTED IN WATER, SANITARY AND STORM SEWER UTILITY EASEMENTS.
- ALL LANDSCAPE IS TO BE INSTALLED PER TOWN OF CASTLE ROCK PLANTING DETAILS.
- PLANT SPECIES AND LOCATIONS SHOULD FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE TOWN OF CASTLE ROCK AND THE OWNER'S REPRESENTATIVE.
- TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR REPLACING LANDSCAPE OR IRRIGATION REMOVED IN UTILITY EASEMENTS DUE TO THE UTILITY LINE MAINTENANCE OR REPAIR (FUR 14.3.13).
- TOWN PERMIT AND TOWN APPROVED LANDSCAPE PLANS ARE REQUIRED ON SITE DURING INSTALLATION OF THE LANDSCAPE AND IRRIGATION.
- TOWN INSPECTOR WILL NOT APPROVE LANDSCAPE AND OVERHEAD IRRIGATION ON SLOPES STEEPER THAN 3:1.
- OVERHEAD IRRIGATION IS NOT PERMITTED ON SLOPES EQUAL TO 3:1 OR IN AREAS LESS THAN 10' IN WIDTH.

BC WOLFENBERGER, LLC  
7268 SOUTH TUCSON WAY  
CENTENNIAL, COLORADO 80112  
PHONE: (303) 733-4627  
ATTN: BUZZ CALKINS

No.	Description:	Date:
1	INITIAL SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	02/09/2018
2	SECOND SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	03/22/2018
3	THIRD SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	04/26/2018
4	FOURTH SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	05/02/2018

JIMENEZ DESIGN GROUP, LLC  
Highlands Ranch, CO 80129  
Phone: 303.736.8259  
Fax: 303.736.8259  
www.jimenezdesign.com  
ES&S: UNREVIEWED LANDSCAPE DEVELOPMENT PLAN ELEMENTS

Recipient of these plans understands that the graphics contained within have been prepared by the Jimenez Design Group, LLC, and can not be modified or changed in any way without prior approval from JDG.

### CONCEPTUAL LANDSCAPE PLAN

Designed By: JJC Date: 05/08/2018  
Project No.: 00-520 Scale: AS SHOWN  
Sheet No.: 6 of 10

LOT 2A, KINNER REPLAT  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0006

SIGNAGE REGULATIONS			
PER 18.04.052 - CASTLE ROCK MUNICIPAL CODE			
1. THE MAXIMUM AREA PER SIGN FACE SHALL BE:			
1. FOR FREESTANDING SIGNS, FIFTY (50) SQUARE FEET			
2. FOR JOINT IDENTIFICATION SIGNS, ONE HUNDRED (100) SQUARE FEET			
3. FOR WALL SIGNS TWENTY-FIVE PERCENT (25%) OF THE WALL AREA			
* THE FOLLOWING MAXIMUM SIGN AREAS ARE PERMITTED PER LOT, WHICHEVER IS GREATER:			
1. TWO AND ONE-HALF (2 1/2) SQUARE FEET OF SIGN FOR EACH LINEAR FOOT OF BUILDING FRONTAGE			
2. ONE AND ONE-HALF (1 1/2) SQUARE FEET OF SIGN FOR EACH LINEAR FOOT OF LOT FRONTAGE			

SIGNAGE CALCULATIONS			
	TOTAL BLDG FRONTAGE (LF)	SIGN FACTOR	MAX SIGNAGE (SF)
SIGN CALCULATION OPTION 1	38.67 LF	2.5	91.67 SF
	TOTAL LOT FRONTAGE (LF)	SIGN FACTOR	MAX SIGNAGE (SF)
SIGN CALCULATION OPTION 2	182.4 LF	1.5	243.6 SF

PROPOSED SIGNAGE		
LOCATION	SIGN DESCRIPTION	TOTAL AREA (SF)
WEST ELEVATION	SIGN A	16.19
	SIGN A2	20.13
SOUTH ELEVATION	SIGN B	20.13
NORTH ELEVATION	SIGN C	20.13
EAST ELEVATION	SIGN D	20.13
	SIGN D2	16.19
	<b>GRAND TOTAL AREA (SF)</b>	<b>112.99 SF</b>

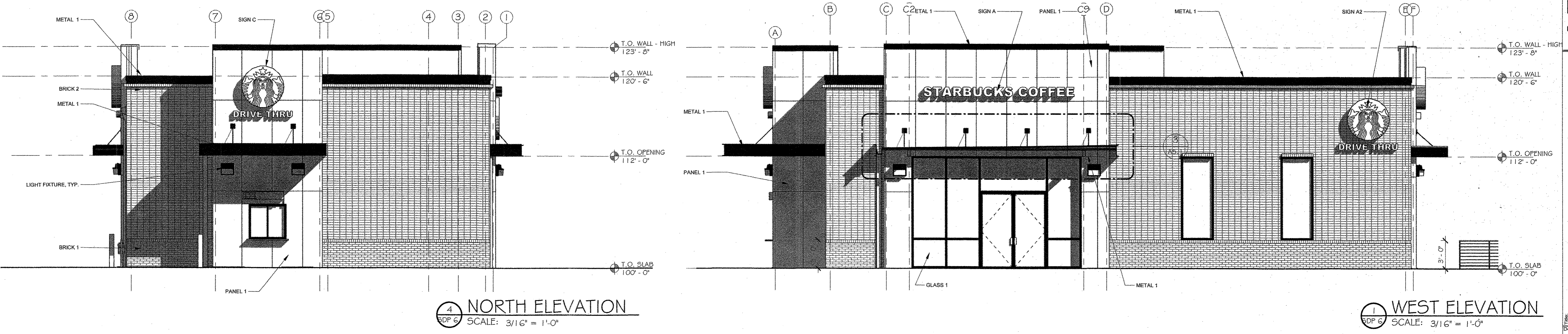
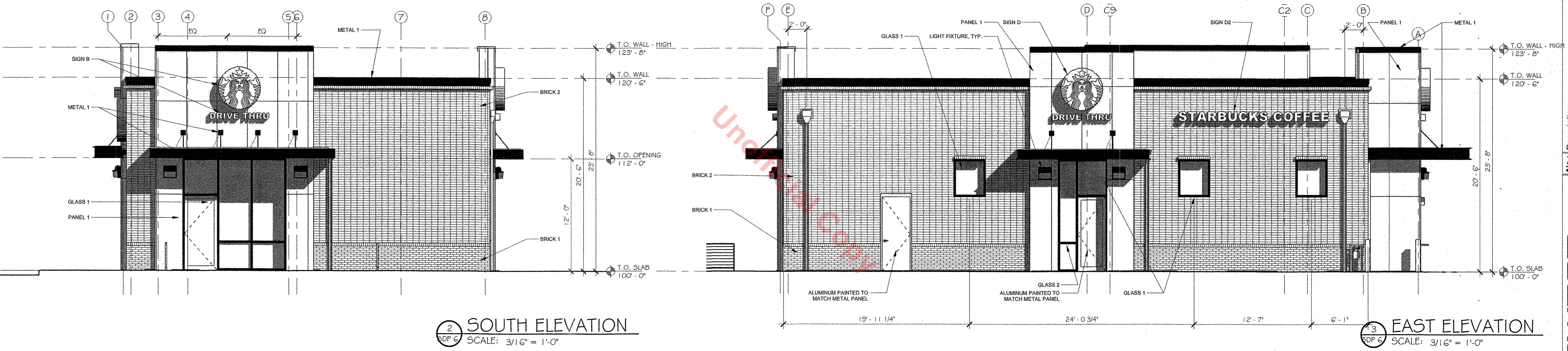
# LOT 2A, KINNER REPLAT

## SITE DEVELOPMENT PLAN

SITUATED IN THE SW 1/4 OF SECTION 2, T.8S., R.67W. OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NO. SDP18-0006

MATERIALS LEGEND			MATERIALS LEGEND			MATERIALS LEGEND		
I.D.	IMAGE / COLOR	MATERIAL AND DESCRIPTION	I.D.	IMAGE / COLOR	MATERIAL AND DESCRIPTION	I.D.	IMAGE / COLOR	MATERIAL AND DESCRIPTION
BRICK 1		MATERIAL: GENERAL SHALE STANDARD COMMON BOND BRICK, COFFEEBEAN W/ WHITE MORTAR LOCATIONS: NORTH, SOUTH, EAST & WEST ELEVATIONS TO 36" A.F.F.	PANEL 1		MATERIAL: DRI-DESIGN PREFINISHED DARK BRONZE ALUMINUM WALL PANEL (36" x 96" MODULE) LOCATION: NORTH, SOUTH & WEST BUMP-OUT ARCHITECTURAL ELEMENTS	GLASS 1		MATERIAL: CLEAR STOREFRONT GLAZING & DARK BRONZE ALUMINUM FRAMES LOCATION: WEST & SOUTH ELEVATIONS
BRICK 2		MATERIAL: GENERAL SHALE STANDARD STACKED BRICK, SMOKE GRAY VELOUR W/ WHITE MORTAR LOCATIONS: NORTH, SOUTH, EAST & WEST ELEVATIONS ABOVE 36" A.F.F.	METAL 1		MATERIAL: DARK BRONZE METAL FINISH LOCATION: TOP OF PARAPET, CANOPY'S @ NORTH, SOUTH & WEST ELEVATIONS	GLASS 2		MATERIAL: OPAQUE STOREFRONT PANEL & DARK BRONZE ALUMINUM FRAMES LOCATIONS: EAST ELEVATION (SERVICE ENTRY)



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Date:	Description:	No.:
02/08/2018	INITIAL SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	1
03/23/2018	SECOND SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	2
04/24/2018	THIRD SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	3
05/08/2018	FOURTH SITE DEVELOPMENT PLAN REVIEW SUBMITTAL	4

**ARCWEST ARCHITECTS**  
1825 RALEIGH STREET, SUITE 320, DENVER, CO 80204  
ARCWESTARCHITECTS.COM 303-455-7741

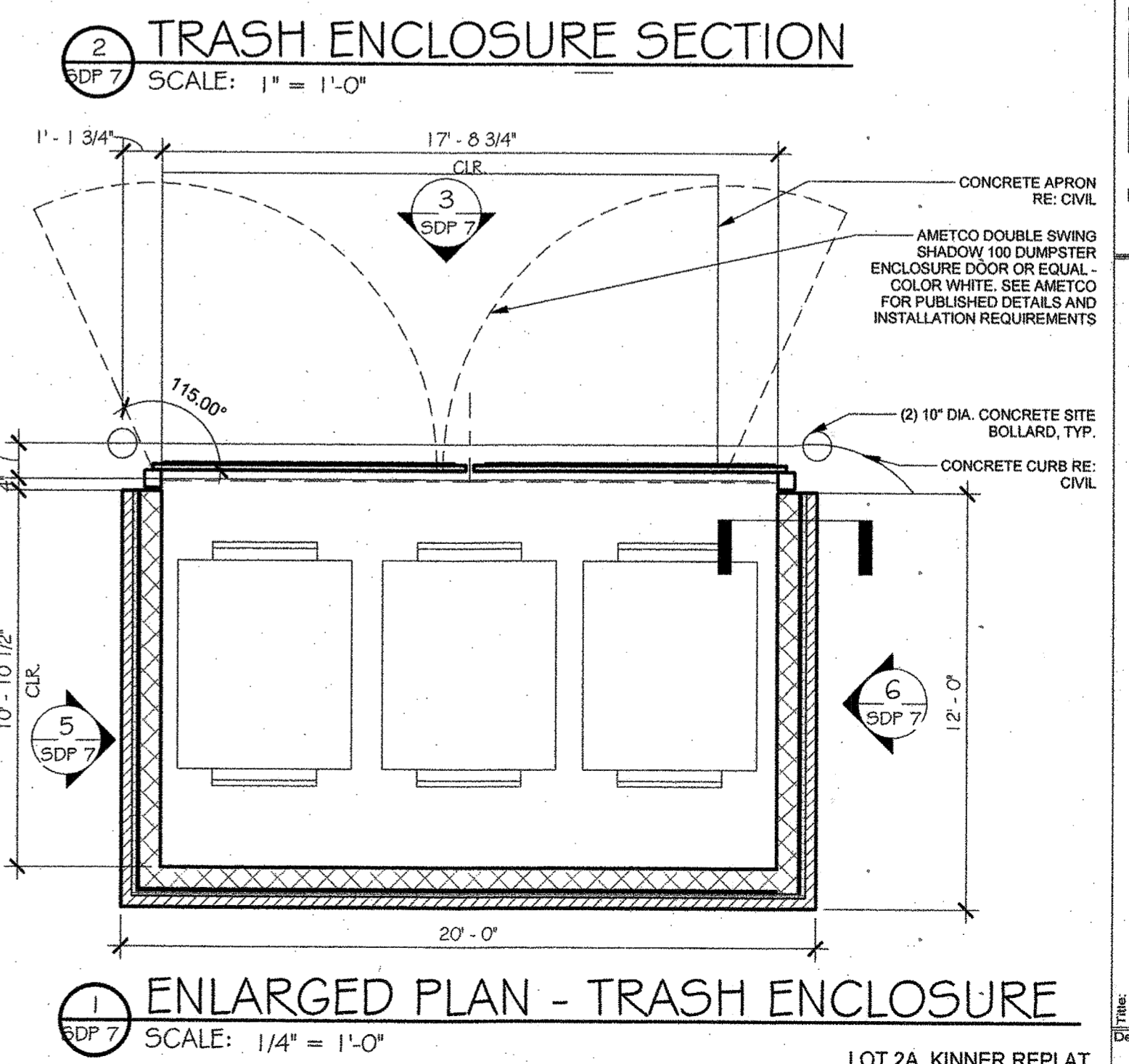
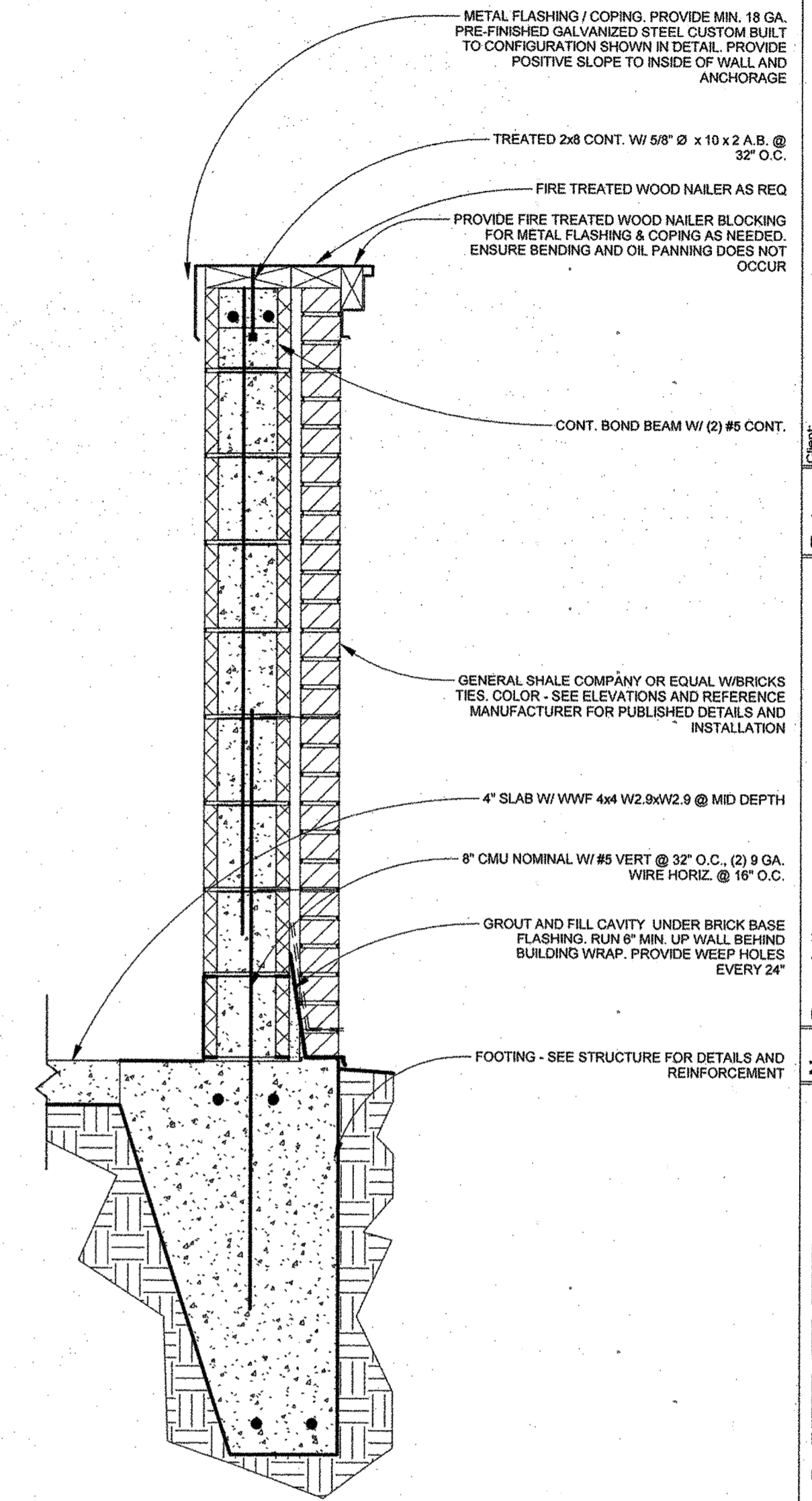
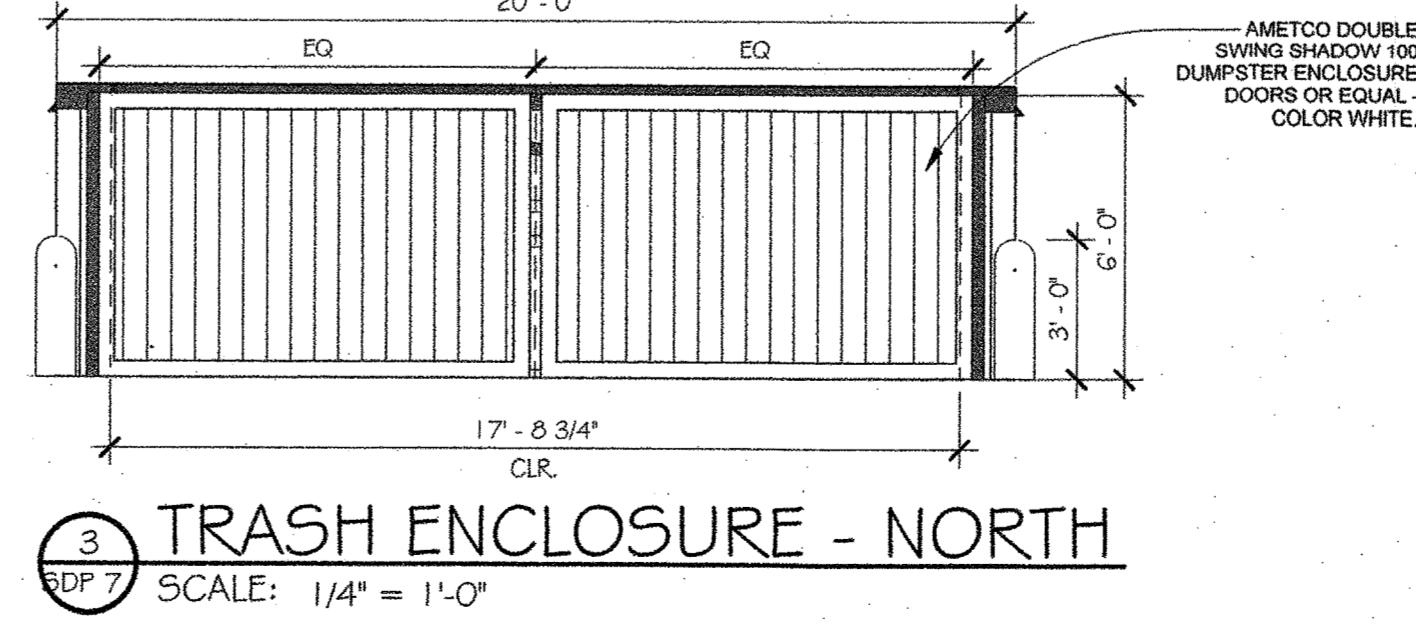
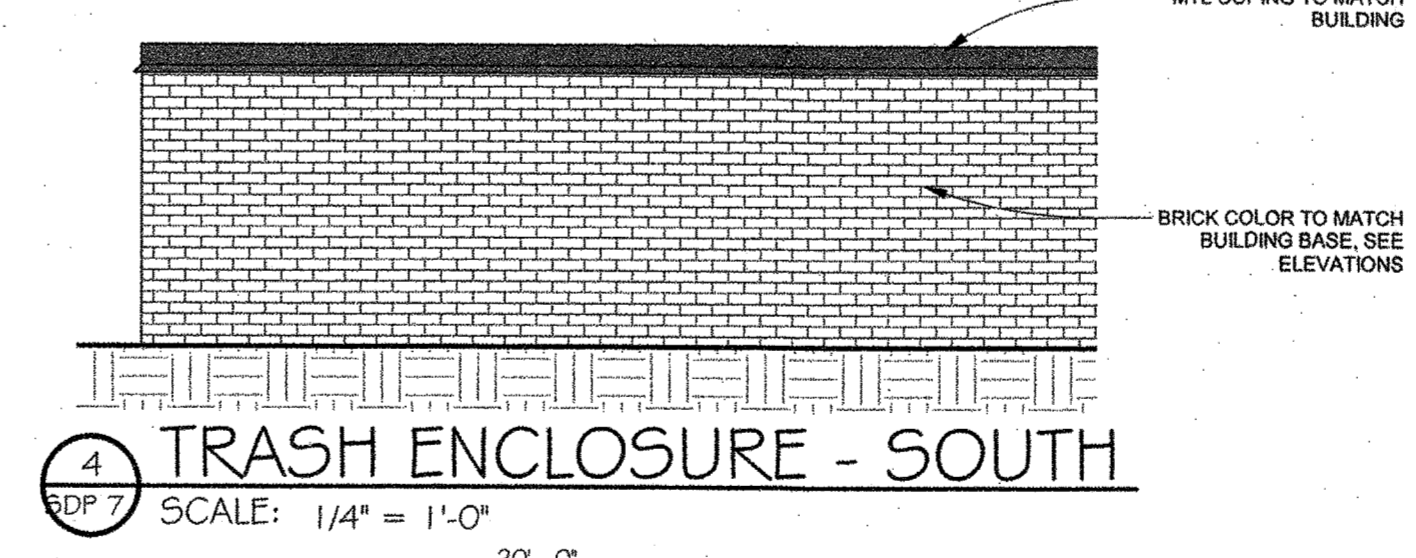
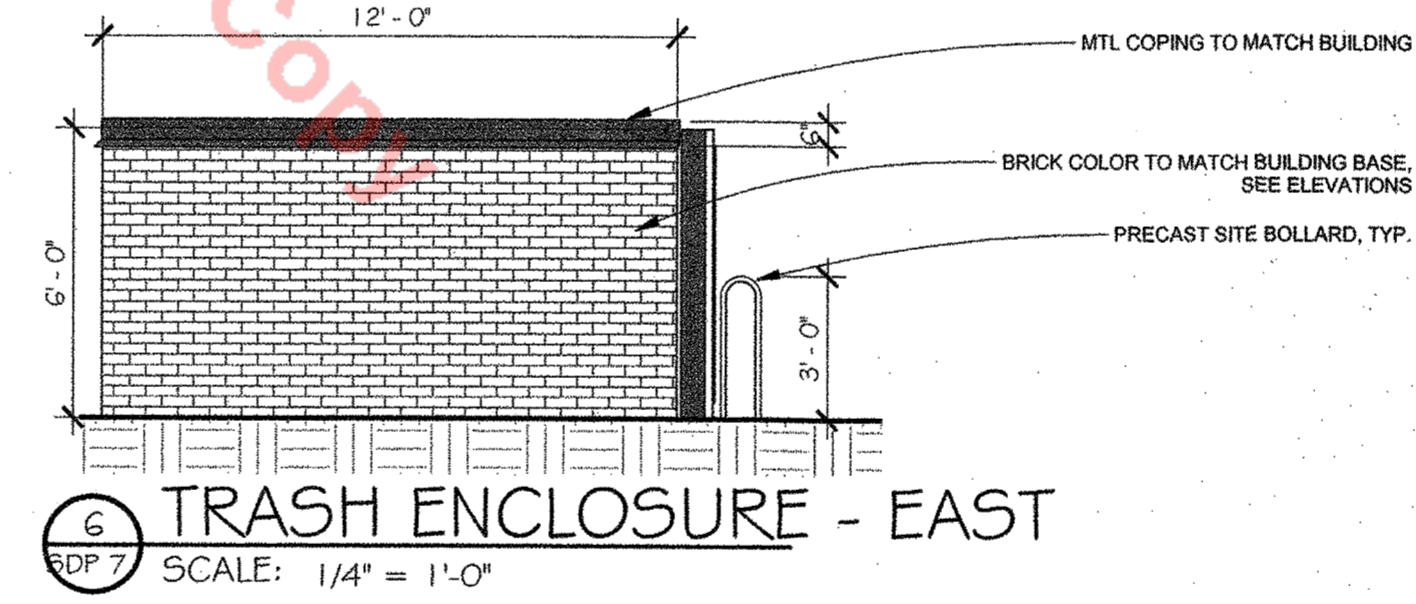
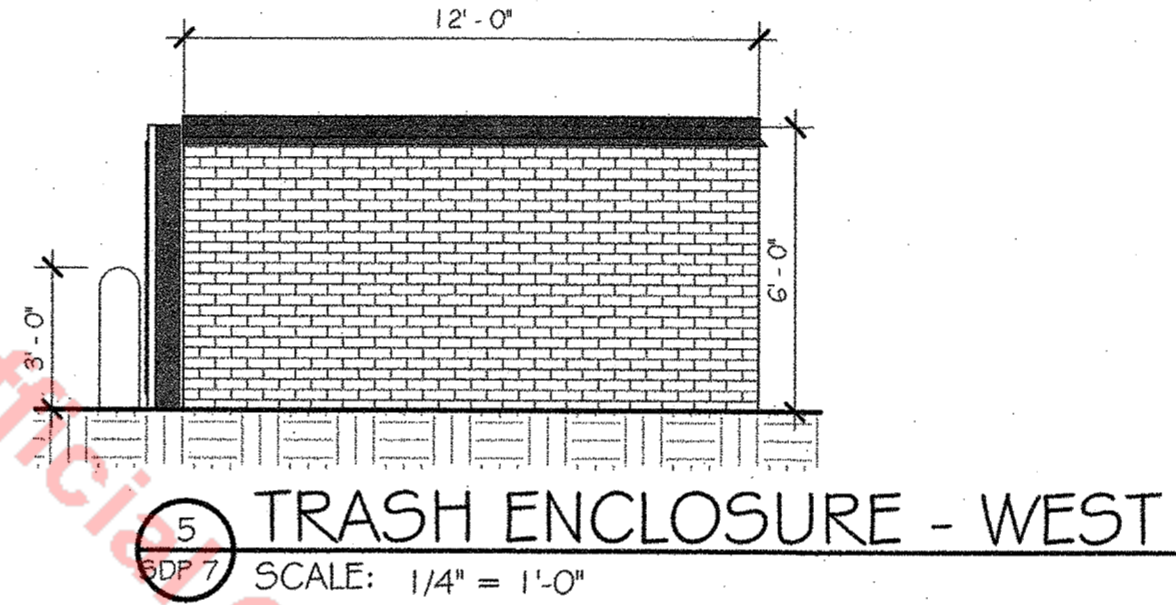
**BUILDING ELEVATIONS**

# LOT 2A, KINNER REPLAT

## SITE DEVELOPMENT PLAN

SITUATED IN THE SW 1/4 OF SECTION 2, T.8S., R.67W. OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NO. SDP18-0006



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**ARCWEST ARCHITECTS**  
1628 RALEIGH STREET, SUITE 320, DENVER, CO 80204  
ARCWESTARCHITECTS.COM 303-455-7741

**SITE DETAILS - SHEET 1**

Designed By: KHA	Date: 05/08/2018
Project No.: 17067	Scale: VARIES
Sheet No.:	8 of 10

LOT 2A, KINNER REPLAT  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP18-0006



