

# PLAT IDENTIFICATION SHEET



RECEPTION#:

DATE:

TIME:

OFFICIAL RECORDS  
DOUGLAS COUNTY CO  
CAROLE R. MURRAY  
CLERK & RECORDER  
RECORDING FEE: \$131.00  
13 PGS

# 2003020010  
02/14/2003 10:32 AM

FEE: \$

# UNOFFICIAL COPY

GRANTOR:  
(owner/signer)

US Home

GRANTEE:  
(subdivision name or name of plat)

Hagen/Moore #2  
Preliminary Plat / Final PD  
Site Plan

LEGAL:  
(section-township-range)

35-7-67

NEW SUBDIVISION ABBREV: \_\_\_\_\_

# PRELIMINARY PLAT/FINAL PD SITE PLAN FOR HAZEN/MOORE FILING NO. 2

BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 35,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## LEGAL DESCRIPTION

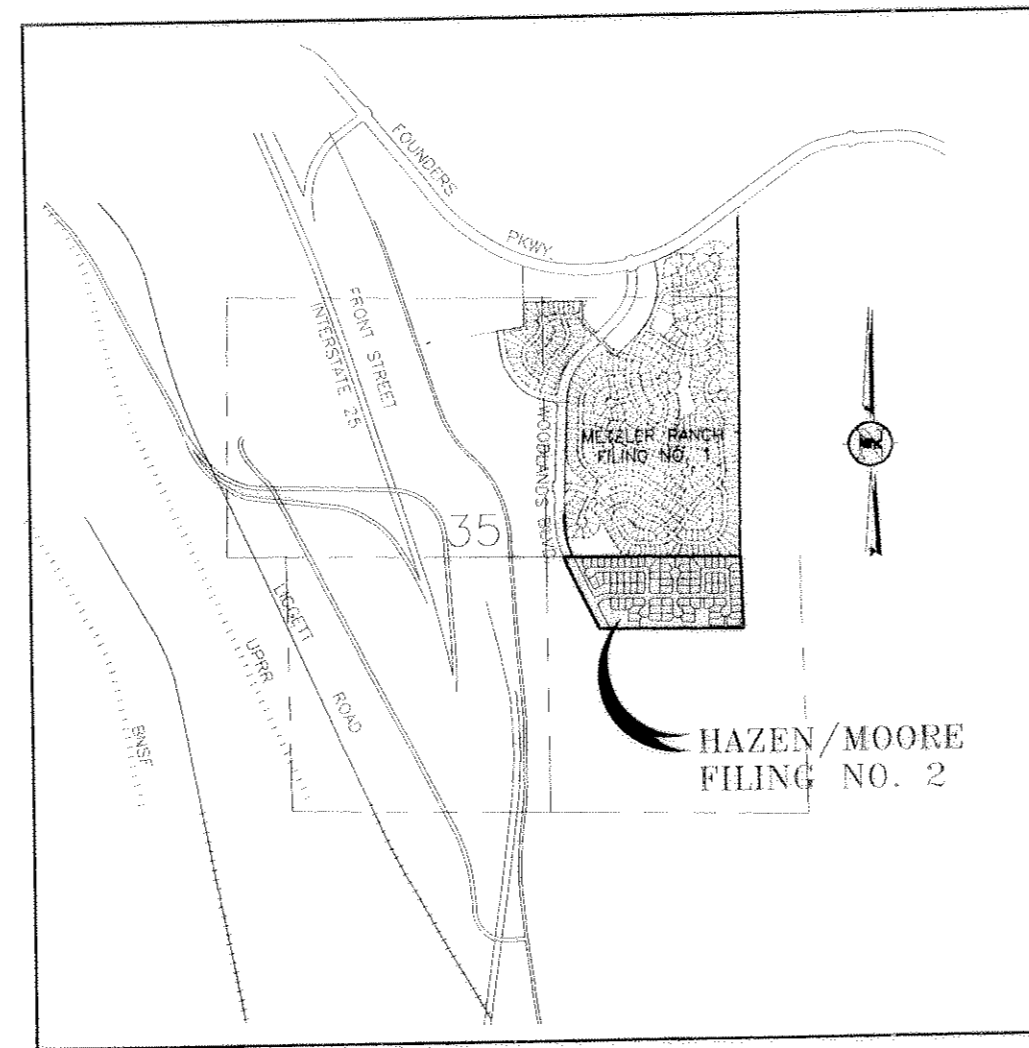
A PARCEL OF LAND BEING A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 35, ALSO BEING THE TRUE POINT OF BEGINNING; THENCE SOUTH 01°16'13" EAST A DISTANCE OF 744.12 FEET; THENCE NORTH 89°09'22" WEST A DISTANCE OF 1503.39 FEET; THENCE NORTH 26°30'45" WEST A DISTANCE OF 784.35 FEET TO A POINT OF CURVATURE; THENCE ALONG SAID CURVE TO THE RIGHT 71.70 FEET, HAVING A CENTRAL ANGLE OF 03°54'45" AND A RADIUS OF 1050.00 FEET WITH A CHORD BEARING NORTH 24°33'23" WEST A DISTANCE OF 71.69 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35 AND THE SOUTHERN BOUNDARY OF METZLER RANCH FILING NO. 1, RECEPTION NO. 9836530; THENCE ALONG SAID SECTION LINE AND SAID BOUNDARY SOUTH 89°09'20" EAST A DISTANCE OF 1857.93 FEET TO THE TRUE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINS 1,250,731 SQUARE FEET, OR 28.713 ACRES, MORE OR LESS.

## NOTES:

- THE EXISTING TOPOGRAPHY, SHOWN ON THE PRELIMINARY PLAT, WAS PRODUCED FROM AERIAL PHOTOGRAPHY WITH CONTOUR INTERVALS OF TWO (2) FEET.
- THE PRELIMINARY DRAINAGE STUDY FOR THIS AREA WAS PREPARED BY ROCKY MOUNTAIN CONSULTANTS, INC., AND IS INCLUDED AS A PART OF THIS SUBMITTAL.
- ALL LOTS SHALL HAVE UTILITY EASEMENTS ALONG THE REAR LOT LINES, SIDE LOT LINES WHERE SHOWN AND ALONG LOCAL STREET RIGHT-OF-WAY AND ARE FOR EXCLUSIVE USE OF GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, STREET LIGHTING, FIRE HYDRANT AND POSTAL FACILITIES, AND ARE LOCATED AS FOLLOWS: FRONT LOT AT R.O.W., 10'; SIDE LOT AT R.O.W., 10'; SIDE LOT BETWEEN LOTS WHERE SHOWN, 5'; REAR LOT 10'. OTHER UTILITIES SHALL HAVE THE RIGHT TO CROSS AT SUBSTANTIALLY RIGHT ANGLES, BUT IN NO EVENT SHALL ANY WATER METERS, OTHER STRUCTURES, TREES AND SHRUBS BE ALLOWED IN THE ABOVE DESCRIBED AREAS. CONCRETE DRIVEWAYS AND SIDEWALKS ARE PERMISSIBLE AS LONG AS THEY CROSS AT SUBSTANTIALLY RIGHT ANGLES AND DO NOT EXCEED TWENTY-SIX (26) FEET IN WIDTH.
- ALL UTILITIES, DRAINAGE, SIGHT DISTANCE AND EMERGENCY ACCESS EASEMENTS AS SHOWN ON THE PRELIMINARY PLAT SHALL BE DEDICATED TO THE TOWN OF CASTLE ROCK WITH THE FINAL PLAT.
- TRACTS A,B,C,D AND E ARE TO BE DEDICATED AS PRIVATE OPEN SPACE TO THE HOMEOWNERS ASSOCIATION FOR HAZEN/MOORE FILING NO. 2 FOR OWNERSHIP AND MAINTENANCE AND WILL BE USED FOR UTILITIES, DRAINAGE, OPEN SPACE, TRAILS, SIGNAGE, TRAILS, TRAILS, OR PARK FACILITIES.
- THE ENTIRE TRACT SHALL BE A DEDICATED DRAINAGE EASEMENT.
- SIGNAGE IDENTIFICATION SIGNS AND STREET SIGNS WILL COMPLY WITH THE TOWN OF CASTLE ROCK'S SIGN CODE.
- STREET LIGHTING WILL CONFORM TO THE TOWN OF CASTLE ROCK REQUIREMENTS. LIGHT STANDARDS SHALL BE PLACED APPROXIMATELY 2.5' BEHIND THE ATTACHED WALK ON ALL LOCAL STREETS.
- UTILITY LINES REFLECT PRELIMINARY UTILITY STUDIES. ALIGNMENT AND SIZES MAY CHANGE DURING FINAL DESIGN.
- ALL STREET CORNERS & INTERSECTIONS OF STREET & TRAIL WILL HAVE HANDICAP SIDEWALK RAMPS.
- THE TOWN OF CASTLE ROCK REQUIRES A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SERVICE LINES. WATER LINE SERVICES ARE GENERALLY LOCATED 5' UPHILL FROM THE LOWEST SIDE LOT LINE. SANITARY SEWER SERVICES ARE GENERALLY LOCATED 10' DOWNHILL FROM THE CENTER OF THE LOT.
- THERE IS NO FLOOD HAZARD AREA WITHIN THIS DEVELOPMENT.
- THERE SHALL BE NO PHASING ON THIS PROJECT.
- THE DEVELOPER OF THIS PROPERTY WILL BE RESPONSIBLE FOR CONFORMANCE WITH THE TOWN OF CASTLE ROCK'S "2003 WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY."
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS, AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIAL AND A 15% FEE.
- PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHT-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SCRUB MUST REPLACE A SCRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL IN THE CASE OF DISEASED LANDSCAPE MATERIAL. A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE EMERGENCY ACCESS ROAD, EMERGENCY ACCESS GATE AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS.
- APPROVAL OF THE PRELIMINARY PLAT/FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS AS SHOWN ON THIS PLAT.



VICINITY MAP  
SCALE: 1" = 2000'

1	OF 13	COVER
2-3	OF 13	SITE PLAN
4-5	OF 13	PRELIMINARY GRADING PLAN
6-9	OF 13	LANDSCAPE PLAN
10-13	OF 13	LAND SUITABILITY PLAN

TOWN OF CASTLE ROCK PLANNED DEVELOPMENT AND ZONING FOR THIS DEVELOPMENT WAS RECORDED ON THE 17th DAY OF OCTOBER, 2001, WITH A RECEPTION NUMBER OF 01097409.

## HAZEN/MOORE PD - DEVELOPMENT STANDARDS

STANDARD	USE AREAS R-SF4
Minimum Lot Area (s.f.)	See Note (1) Below
Minimum Setbacks:	
Front to Garage	18'
Front (residence)	20'
Rear	20' (Note 2)
Side Interior Lot	5'
Side to Street	15'
Max. Building Height	35'
Max. Bldg. Lot Coverage	N/A

## NOTES:

- 1.5% OF THE TOTAL R-SF4 ACREAGE SHALL BE ALLOWED TO HAVE A MINIMUM LOT SIZE RANGING FROM 5,000 TO 5,500 SQUARE FEET; NO LESS THAN AN ADDITIONAL 15% OF THE TOTAL R-SF4 ACREAGE SHALL HAVE A MINIMUM LOT SIZE RANGING FROM 8,000 TO 10,000 SQUARE FEET.
- RAISED DECKS WILL BE ALLOWED A 15' REAR SET BACK WHEN LOT BACKS ONTO PUBLIC OR PRIVATE OPEN SPACE WITH A DEPTH OF AT LEAST 20 FEET.

## OWNER/DEVELOPER

U.S. HOME CORPORATION, INC.  
DEVELOPER

*Varnell Roberts*  
AUTHORIZED REPRESENTATIVE, VARNELL ROBERTS, SR. V.P.  
SIGNED THIS 31 DAY OF January, 2003.

STATE OF COLORADO }  
COUNTY OF Douglas } ss

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 31st DAY OF January, 2003 A.D. BY *Varnell Roberts* LANDOWNER OF HAZEN/MOORE FILING NO. 2.

WITNESS MY HAND AND OFFICIAL SEAL MY COMMISSION EXPIRES:

*Maricela R. Pinsky* March 5, 2005  
NOTARY PUBLIC

## TITLE CERTIFICATION

I, ERIC STEARNS, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 31st DAY OF January, 2003.

AUTHORIZED REPRESENTATIVE

LAND TITLE GUARANTEE COMPANY  
TITLE INSURANCE COMPANY

SIGNED THIS 31st DAY OF January, 2003.

STATE OF COLORADO }  
COUNTY OF Douglas } ss

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 31st DAY OF January, 2003 A.D. BY *Eric Stearns* AS AUTHORIZED REPRESENTATIVE OF *Land Title Guarantee Company*

WITNESS MY HAND AND OFFICIAL SEAL MY COMMISSION EXPIRES:

*Susan I. Rasmussen* 9-1-03  
NOTARY PUBLIC

## SITE DATA

SINGLE FAMILY DETACHED	
1. NUMBER OF LOTS	76
2. GROSS DENSITY	2.65 LOTS/ACRE
3. LAND USE	RESIDENTIAL
4. BUILDING TYPE	SINGLE FAMILY DETACHED
5. ROADWAY AREA (LOCAL & ARTERIAL R.O.W.)	6.94 ACRES
6. LOT AREA	16.07 ACRES
7. PRIVATE OPEN SPACE (TRACTS A,B,C,D & E)	5.70 ACRES
8. TOTAL PLAN AREA (LOTS, OPEN SPACE & ROW)	28.71 ACRES
9. MINIMUM LOT AREA	7,700 S.F.
10. MAXIMUM LOT AREA	15,323 S.F.
11. AVERAGE LOT AREA	9,211 S.F.

DESIGNED BY: WFM	REVISIONS			
	NO.	DESCRIPTION	DATE	BY
CHECKED BY: GSE				
DRAWN BY: JGA	3	PER TOWN OF CR COMMENTS 02/11/03		WFM
	4	PER TOWN OF CR COMMENTS 06/15/03		GE
	5	PER TCR 10/28/02 COMMENTS 11/26/03		GE
	6	PER TCR 01/06/03 COMMENTS 01/08/03		GE

**RMC**  
ROCKY MOUNTAIN CONSULTANTS, INC.  
CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING  
8301 E. Prentice Ave., Suite 101  
Englewood, CO 80111  
(303) 741-6000  
FAX (303) 741-6106  
Date: 01/30/03 Job No. 22.0965.04.02

## SURVEYOR'S STATEMENT

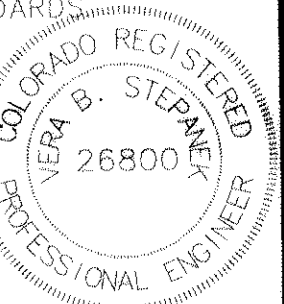
I, JOHN R. WEST, JR., A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE PRELIMINARY PLAT/FINAL PD FOR HAZEN/MOORE FILING NO. 2 WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

*John R. West, Jr.* 1-31-03  
JOHN R. WEST, JR. PLS 25645 DATE

## CIVIL ENGINEER'S STATEMENT

I, VERA B. STEPANEK, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS PRELIMINARY PLAT/FINAL PD SITE PLAN FOR HAZEN/MOORE FILING NO. 2 HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

*Vera B. Stepanek* 01-30-03  
VERA B. STEPANEK PE 26800 DATE



## TOWN CERTIFICATION

A. PLANNING COMMISSION RECOMMENDATION:

THE PRELIMINARY PLAT/FINAL PD SITE PLAN FOR HAZEN/MOORE FILING NO. 2 WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 16 DAY OF June, 2003.

*Samuel J. Jodan* 6/15/03  
CHAIRMAN ( ) DATE  
*William A. Sellman* 6-17-03  
DIRECTOR OF DEVELOPMENT SERVICES DATE

B. TOWN COUNCIL APPROVAL

THE FINAL PD SITE PLAN FOR THE PRELIMINARY PLAT/FINAL PD SITE PLAN FOR HAZEN/MOORE FILING NO. 2 WERE APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 9 DAY OF July, 2003.

*Matthew S. Buntz* 7-13-03  
MAYOR DATE

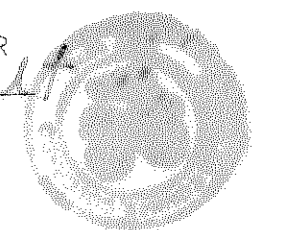
ATTEST:  
*Sally A. Mum* 7-13-03  
TOWN CLERK DATE



## DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 10:32 A.M. ON THE 19th DAY OF FEBRUARY, 2003, IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ MAP \_\_\_\_\_ RECEPTION NUMBER 2003020010

DOUGLAS COUNTY CLERK AND RECORDER  
BY: *Sheryl M. Mum*  
DEPUTY



## CONTACT INFORMATION

OWNER/DEVELOPER  
U.S. HOME CORPORATION  
9990 PARK MEADOWS DRIVE  
LONE TREE, CO 80124  
CONTACT: VARNELL ROBERTS  
PHONE: (303)779-6100  
FAX: (303)779-0715

PLANNER & LANDSCAPE ARCHITECT  
PLAN WEST  
6130 GREENWOOD PLAZA BLVD., SUITE 110  
GREENWOOD VILLAGE, CO 80111  
CONTACT: BILL HOWARD  
PHONE: (303)741-1411  
FAX: (303)741-1492

ENGINEER/SURVEYOR  
ROCKY MOUNTAIN CONSULTANTS, INC.  
8301 E. PRENTICE AVE., SUITE 101  
GREENWOOD VILLAGE, CO 80111  
CONTACT: WILLIAM(BILL)MAYER  
PHONE: (303)741-6000  
FAX: (303)741-6106

## ORIGIN BENCHMARK

NGS STATION K23 A BRASS DISK SET IN A CONCRETE POST 0.4' ABOVE THE GROUND. LOCATED IN THE CENTER OF SECTION 20, T7S, R67W. FROM THE INTERCHANGE OF US HIGHWAY 85 AND INTERSTATE 25, GO NORTHWEST ON US 85 FOR 3.4 MILES TO THE STATION ON THE LEFT. ELEVATION = 5984.83' NAVD 88

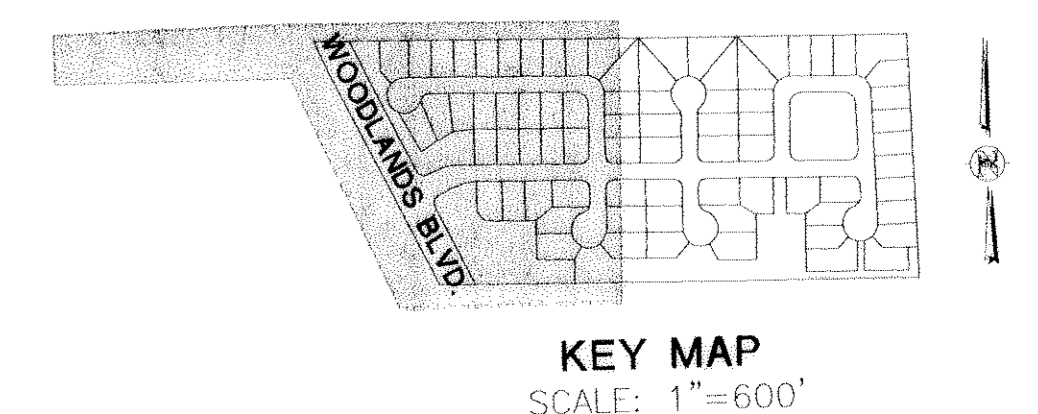
## PROJECT BENCHMARK

DOUGLAS COUNTY CONTROL POINT 2010010. A STANDARD DOUGLAS COUNTY 3 1/4" ALUMINUM CAP ON STEEL ROD SET IN CONCRETE. LOCATED 4'-140' SOUTH OF THE SOUTHEAST CORNER OF SECTION 26, T7S, R67W. ELEVATION = 6365.03' NAVD 88

PRELIMINARY PLAT/FINAL PD SITE PLAN FOR HAZEN/MOORE FILING NO. 2

SHEET 1 OF 13

PREPARED BY: ROCKY MOUNTAIN CONSULTANTS, INC.

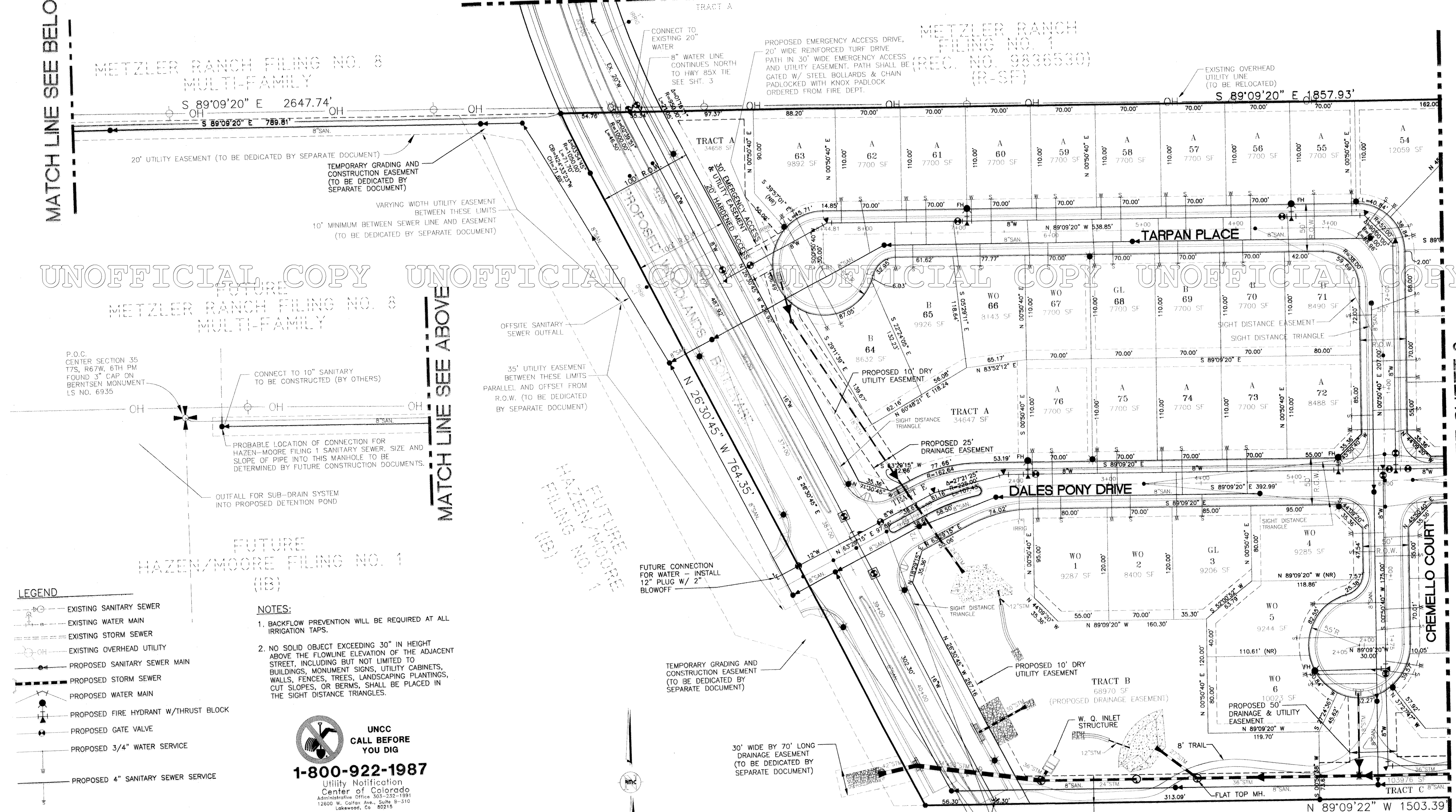


MATCH LINE SEE BELOW

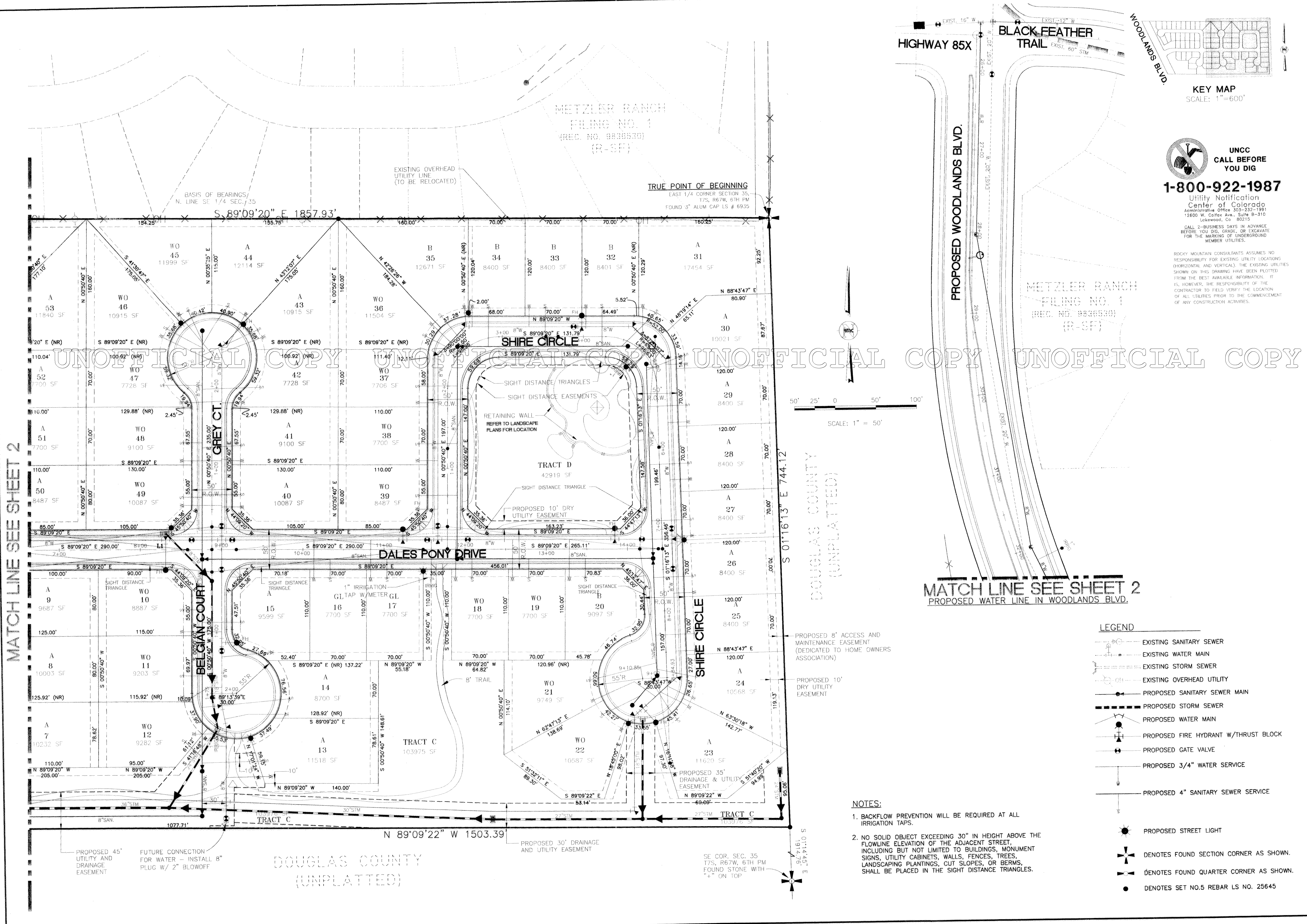
PROPOSED WATER LINE IN WOODLANDS BLVD.  
**MATCH LINE SEE SHEET 3**

MATCH LINE SEE SHEET 3

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY



MATCH LINE SEE SHEET 2



METZLER RANCH  
 FILING NO. 1  
 REC. NO. 8836530  
 (R-ST)

BLACK FEATHER TRAIL  
 EXIST. 60" STM

HIGHWAY 85X

WOODLANDS BLVD.

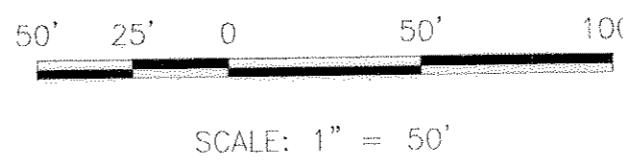
KEY MAP  
 SCALE: 1"=600'



UNCC  
 CALL BEFORE YOU DIG  
 1-800-922-1987

Utility Notification  
 Center of Colorado  
 Administrative Office 303-232-1891  
 12600 W. Colfax Ave., Suite B-310  
 Lakewood, Co 80215  
 CALL 2-BUSINESS DAYS IN ADVANCE  
 BEFORE YOU DIG, GRADE, OR EXCAVATE  
 FOR THE MARKING OF UNDERGROUND  
 MEMBER UTILITIES.

ROCKY MOUNTAIN CONSULTANTS ASSUMES NO  
 RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS  
 (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES  
 SHOWN ON THIS DRAWING HAVE BEEN PLOTTED  
 FROM THE BEST AVAILABLE INFORMATION. IT  
 IS, HOWEVER, THE RESPONSIBILITY OF THE  
 CONTRACTOR TO FIELD VERIFY THE LOCATION  
 OF ALL UTILITIES PRIOR TO THE COMMENCEMENT  
 OF ANY CONSTRUCTION ACTIVITIES.



MATCH LINE SEE SHEET 2  
 PROPOSED WATER LINE IN WOODLANDS BLVD.

LEGEND

- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- EXISTING OVERHEAD UTILITY
- PROPOSED SANITARY SEWER MAIN
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN
- PROPOSED FIRE HYDRANT W/THRUST BLOCK
- PROPOSED GATE VALVE
- PROPOSED 3/4" WATER SERVICE
- PROPOSED 4" SANITARY SEWER SERVICE
- PROPOSED STREET LIGHT
- DENOTES FOUND SECTION CORNER AS SHOWN.
- DENOTES FOUND QUARTER CORNER AS SHOWN.
- DENOTES SET NO.5 REBAR LS NO. 25645

NOTES:

1. BACKFLOW PREVENTION WILL BE REQUIRED AT ALL IRRIGATION TAPS.
2. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, MONUMENT SIGNS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPING PLANTINGS, CUT SLOPES, OR BERMS, SHALL BE PLACED IN THE SIGHT DISTANCE TRIANGLES.

DOUGLAS COUNTY  
 (UNPLATTED)

DOUGLAS COUNTY  
 (UNPLATTED)

**RMC**  
 8301 E. Prentice Ave.  
 Suite 101  
 Englewood, CO 80150  
 (303) 751-1000  
 FAX (303) 741-6006

ROCKY MOUNTAIN CONSULTANTS, INC.  
 CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING

NO.	DATE	BY	REVISIONS
1	8/9/01	WJM	PER U.S. HOME COMMENTS
2	8/23/01	WJM	PER U.S. HOME COMMENTS
3	7/17/02	WJM	PER CITY OF CR. COMMENTS
4	1/17/03	WJM	PER U.S. HOME COMMENTS
5	7/8/03	WJM	PER U.S. HOME COMMENTS

HAZEN/MOORE FILING NO. 2  
 PRELIMINARY PLAT/FINAL PD SITE PLAN  
 SITE PLAN

DATE: 01/08/03  
 DESIGNED BY: TLK  
 DRAWN BY: CHP  
 CHECKED BY: WJM

JOB NO.  
 22.0965.044.01  
 SHEET  
 3 OF 13

NO.	REVISIONS	DATE	BY
1	PER U.S. HOME COMMENTS	8/9/01	WJM
2	PER U.S. BANK OF C. COMMENTS	8/21/02	WJM
3	REV. INTERSECTION	8/21/02	WJM
4	REV. TOWN OF C.R. COMMENTS	8/13/02	WJM
5	PER TCR	1/6/03	WJM
6	PER TCR	1/6/03	WJM

HAZEN/MOORE FILING NO. 2  
 PRELIMINARY PLAT/FINAL PD SITE PLAN  
 PRELIMINARY GRADING PLAN WEST PROJECT AREA

DATE: 01/08/03  
 DESIGNED BY: GSE  
 DRAWN BY: JGA  
 CHECKED BY: WJM

JOB NO:  
 22.0965.044.02  
 SHEET  
 4 OF 13



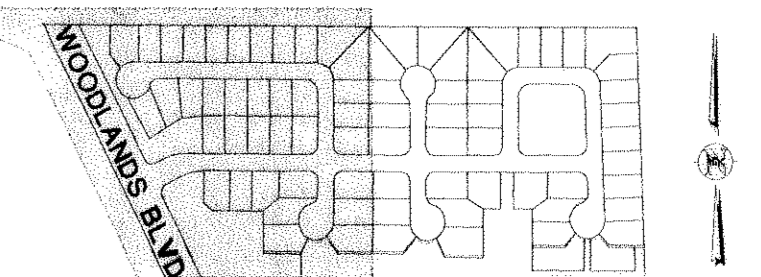
**UNCC**  
 CALL BEFORE YOU DIG

**1-800-922-1987**

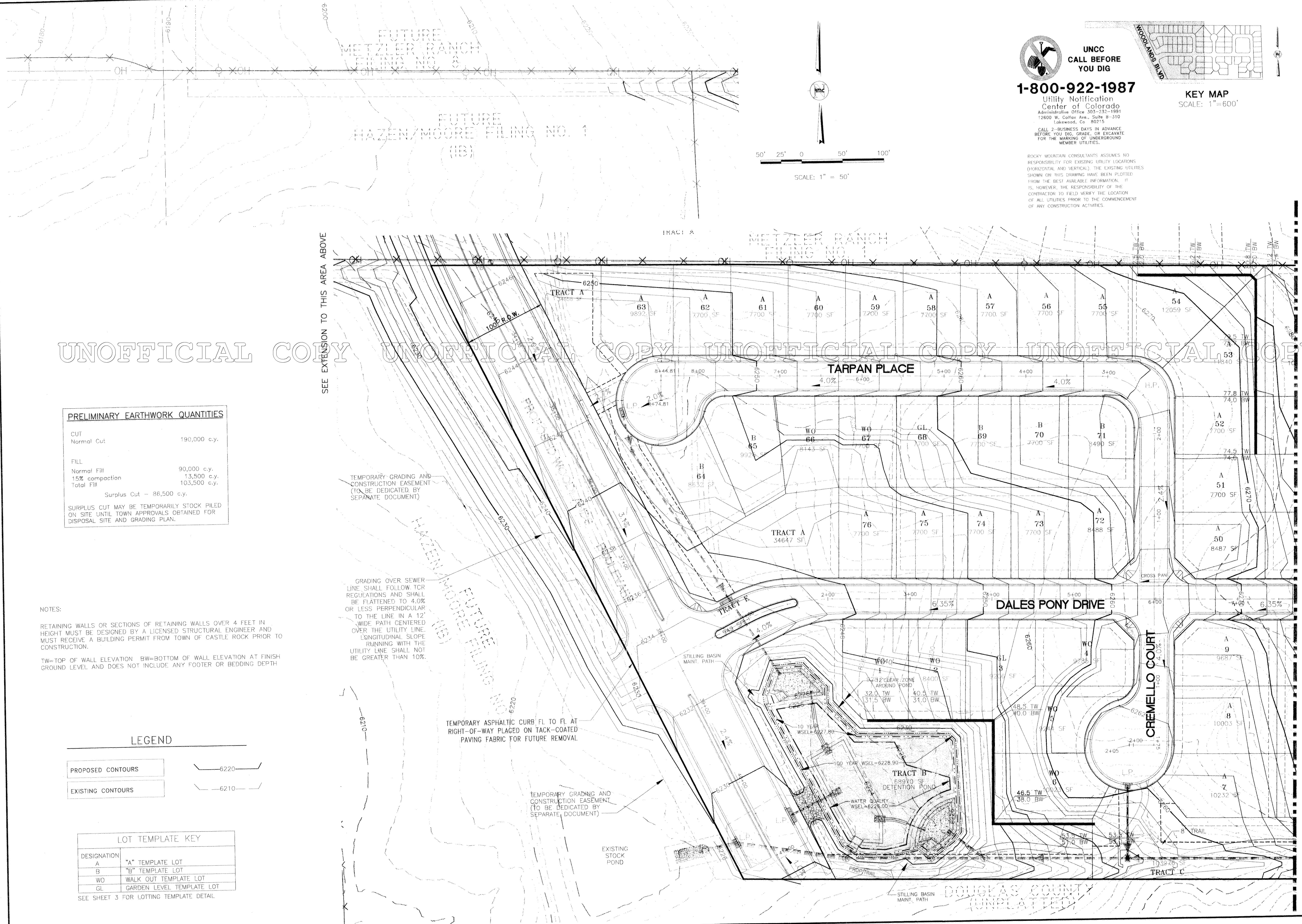
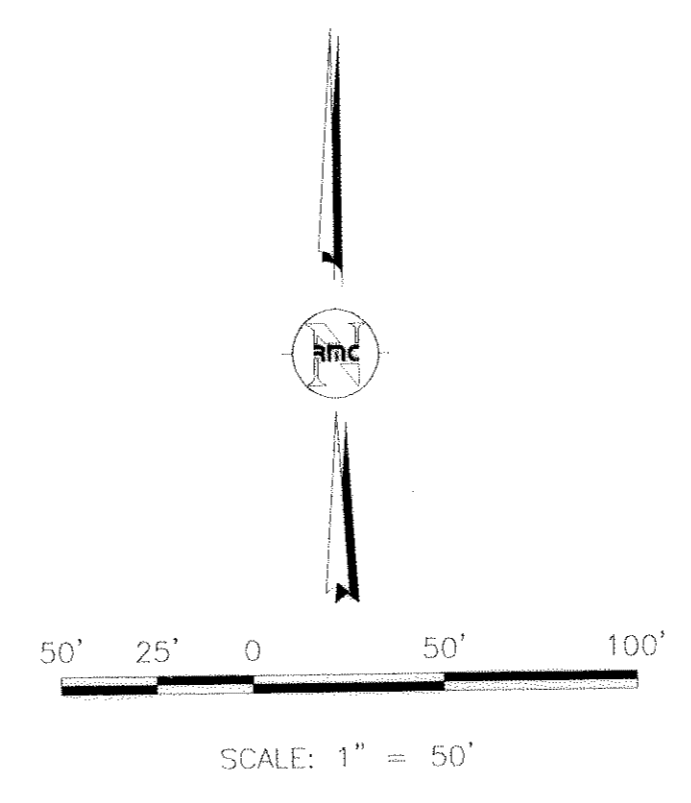
Utility Notification  
 Center of Colorado  
 Administrative Office 303-332-1991  
 12600 W. Colfax Ave., Suite B-310  
 Lakewood, Co 80215

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

ROCKY MOUNTAIN CONSULTANTS ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



**KEY MAP**  
 SCALE: 1"=600'



**PRELIMINARY EARTHWORK QUANTITIES**

CUT	
Normal Cut	190,000 c.y.
FILL	
Normal Fill	90,000 c.y.
15% compaction	13,500 c.y.
Total Fill	103,500 c.y.
Surplus Cut -	86,500 c.y.

SURPLUS CUT MAY BE TEMPORARILY STOCK PILED ON SITE UNTIL TOWN APPROVALS OBTAINED FOR DISPOSAL SITE AND GRADING PLAN.

**NOTES:**

RETAINING WALLS OR SECTIONS OF RETAINING WALLS OVER 4 FEET IN HEIGHT MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND MUST RECEIVE A BUILDING PERMIT FROM TOWN OF CASTLE ROCK PRIOR TO CONSTRUCTION.

TW=TOP OF WALL ELEVATION BW=BOTTOM OF WALL ELEVATION AT FINISH GROUND LEVEL AND DOES NOT INCLUDE ANY FOOTER OR BEDDING DEPTH

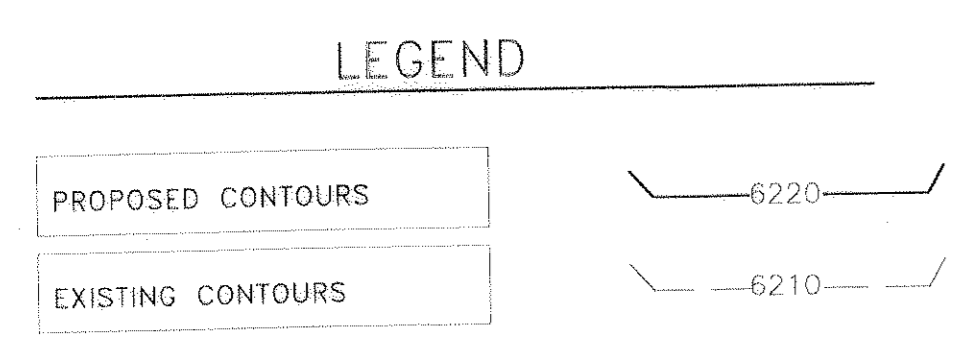
GRADING OVER SEWER LINE SHALL FOLLOW TCR REGULATIONS AND SHALL BE FLATTENED TO 4.0% OR LESS PERPENDICULAR TO THE LINE IN A 12' WIDE PATH CENTERED OVER THE UTILITY LINE. LONGITUDINAL SLOPE RUNNING WITH THE UTILITY LINE SHALL NOT BE GREATER THAN 10%.

TEMPORARY GRADING AND CONSTRUCTION EASEMENT (TO BE DEDICATED BY SEPARATE DOCUMENT)

TEMPORARY ASPHALTIC CURB FL TO FL AT RIGHT-OF-WAY PLACED ON TACK-COATED PAVING FABRIC FOR FUTURE REMOVAL

TEMPORARY GRADING AND CONSTRUCTION EASEMENT (TO BE DEDICATED BY SEPARATE DOCUMENT)

EXISTING STOCK POND



**LOT TEMPLATE KEY**

DESIGNATION	DESCRIPTION
A	"A" TEMPLATE LOT
B	"B" TEMPLATE LOT
WO	WALK OUT TEMPLATE LOT
GL	GARDEN LEVEL TEMPLATE LOT

SEE SHEET 3 FOR LOTTING TEMPLATE DETAIL

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

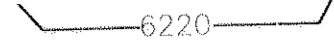
SEE EXTENSION TO THIS AREA ABOVE

MATCH LINE SEE SHEET 5

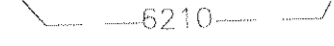
DOUGLAS COUNTY (UNPLATTED)

**LEGEND**

PROPOSED CONTOURS



EXISTING CONTOURS



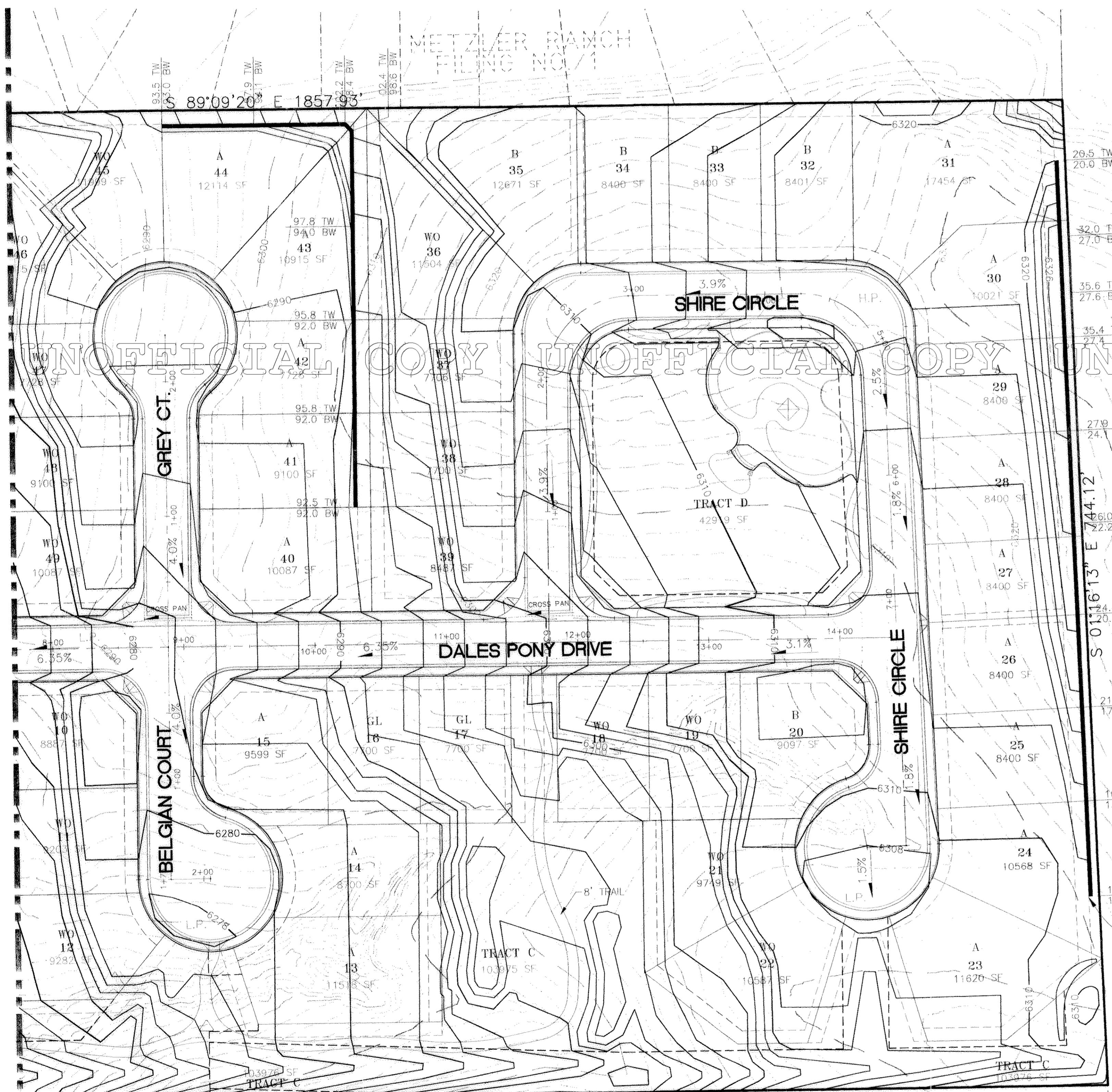
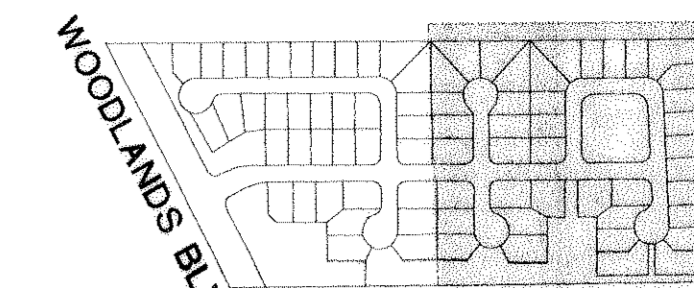
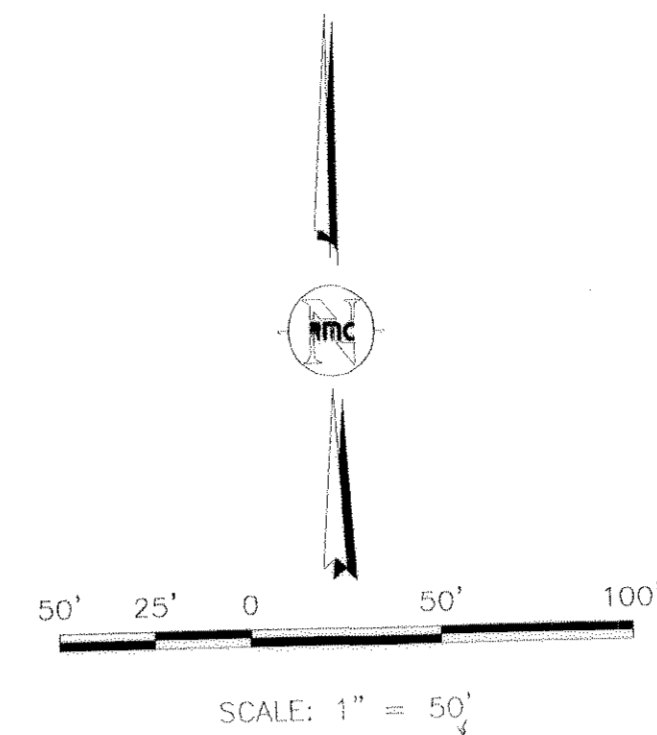
**LOT TEMPLATE KEY**

DESIGNATION	DESCRIPTION
A	"A" TEMPLATE LOT
B	"B" TEMPLATE LOT
WO	WALK OUT TEMPLATE LOT
GL	GARDEN LEVEL TEMPLATE LOT

**NOTES:**

RETAINING WALLS OR SECTIONS OF RETAINING WALLS OVER 4 FEET IN HEIGHT MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND MUST RECEIVE A BUILDING PERMIT FROM TOWN OF CASTLE ROCK PRIOR TO CONSTRUCTION.

TW=TOP OF WALL ELEVATION BW=BOTTOM OF WALL ELEVATION AT FINISH GROUND LEVEL AND DOES NOT INCLUDE ANY FOOTER OR BEDDING DEPTH



# PRELIMINARY PLAT/FINAL PD SITE PLAN FOR HAZEN MOORE FILING NO. 2

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## Plant Legend

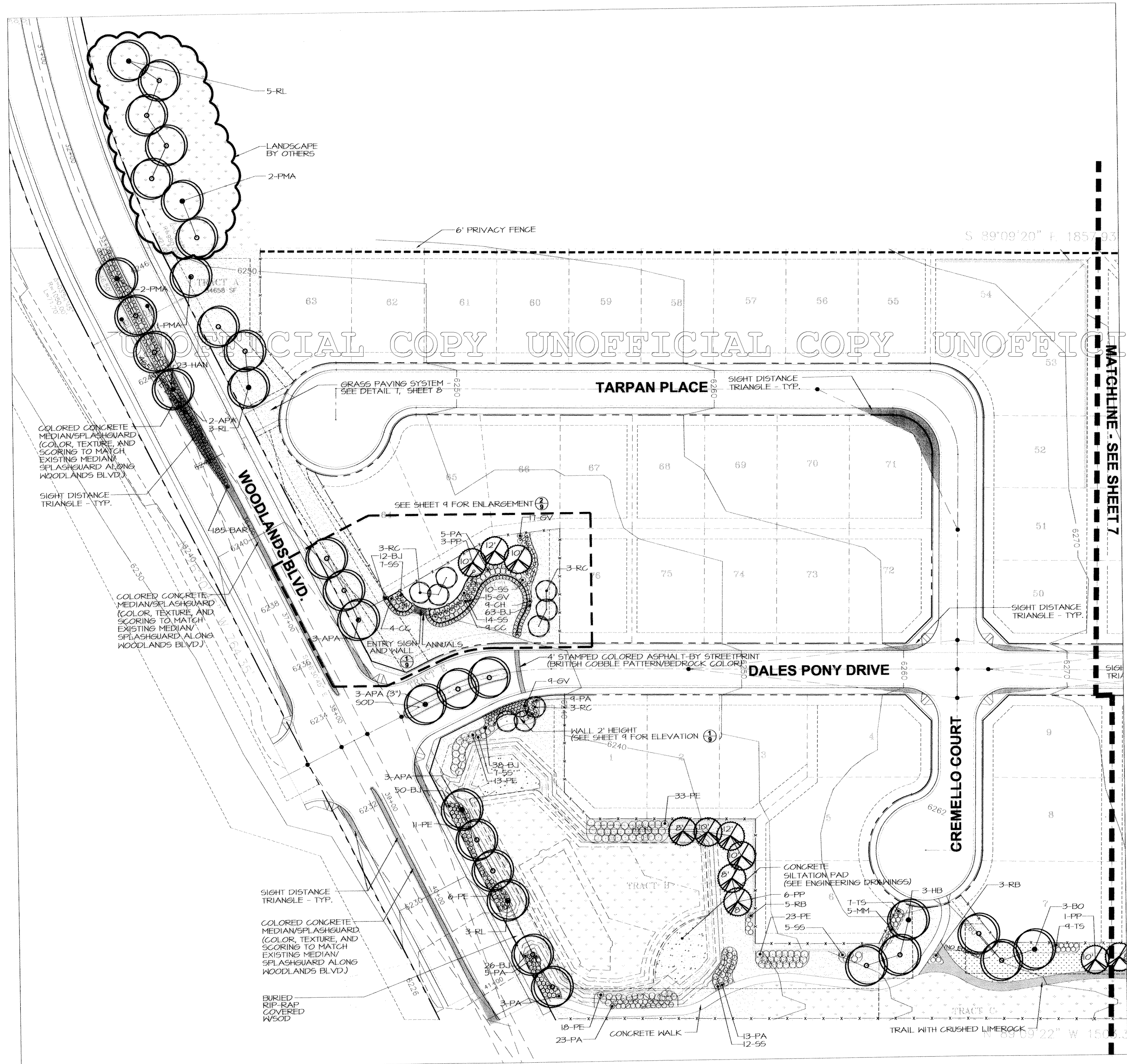
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
<b>DECIDUOUS TREES</b>				
22	APA	Fraxinus americana 'Autumn Purple'	Autumn Purple Ash	2-1/2" & 3"
7	BO	Quercus macrocarpa	Bur Oak	2-1/2"
5	PMA	Fraxinus pennsylvanica 'Patmore'	Patmore Ash	2-1/2"
9	HB	Geltis occidentalis	Hackberry	2-1/2"
11	RL	Tilia americana 'Redmond'	Redmond Linden	2-1/2"
8	ADM	Acer x freemanii 'Autumnblaze'	Autumn Blaze Maple	2-1/2" & 3"
<b>EVERGREEN TREES</b>				
11	PP	Pinus ponderosa	Ponderosa Pine	8/10/12"
<b>ORNAMENTAL TREES</b>				
20	RC	Malus Radiant	Radiant Crab	2"
<b>DECIDUOUS SHRUBS</b>				
104	PE	Cotoneaster lucidus	Peking Cotoneaster	#5
27	GO	Quercus gambelii	Gambel Oak	#5
44	GV	Ligustrum x vicaryi	Golden Vicary Privet	#5
66	MM	Gerocarpus montanus	Mountain Mahogany	#5
128	PA	Prunus glandulosa	Pink Flowering Almond	#5
24	RB	Chrysothamnus nauseosus	Rabbit Brush	#5
55	SS	Spiraea japonica 'Snowmound'	Snowmound Spirea	#5
16	TS	Rhus trilobata	Three Leaf Sumac	#5
31	BB	Berberis thunbergii atropurpurea	Crimson Pygmy Barberry	#5
31	LA	Amorpha canescens	Leadplant	#5
47	PO	Potentilla fruticosa 'Gold Drop'	Golddrop Potentilla	#5
23	HAN	Symphoricarpos x chenaultii 'Hancock'	Hancock Coralberry	#5
<b>EVERGREEN SHRUBS</b>				
28	CC	Cotoneaster dammeri 'Coral Beauty'	Coral Beauty Cotoneaster	#5
36	CH	Cotoneaster horizontalis	Rock Cotoneaster	#5
185	BAR	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Juniper	#5
298	BJ	Juniperus sabina 'Broadmoor'	Broadmoor Juniper	#5

## Key

- SOD
- TRANSITION SEED
- SEED
- CRUSHED LIMESTONE TRAIL
- 6' PRIVACY FENCE
- 3' SPLIT RAIL FENCE

## Landscape Notes

- The reproduction of any information generated by engineers and architects on these drawings is for the express purpose of coordination and ease of reference only. Inclusion of said information on these drawings does not constitute a representation by Plan West as to the sufficiency or accuracy of said information.
- Verify field conditions and notify the Landscape Architect of any discrepancies prior to proceeding with the work. Provide a staked layout of new site improvements including, but not limited to, planting layout, bed lines, concrete flatwork, playgrounds, entry monumentation, landscape walls, concrete curbs and turf areas for approval prior to beginning the work.
- Location of existing utilities shall be verified by the contractor prior to actual construction. For information contact the Utility Notification Center of Colorado 1-800-922-1457.
- Plant material quality shall comply with the current A.N.A. standards for nursery stock. Plant material shall meet or exceed the sizes specified. All trees shall have well branched tops with straight, well developed single leaders unless otherwise specified in the plant schedule. The Landscape Architect (Plan West Inc.) reserves the right to refuse plant material of inferior quality.
- All landscaped areas are to receive soil amendments prior to planting, sodding or irrigated seed.
- Soil amendment will be A-1 Organics BioComp compost, applied at the rate of 4 cubic yards per 1000 square feet, tilled to a minimum of 8 inches in park, 2 cubic yards per 1000 square feet tilled to 6" in native seed areas, and 3 cubic yards per 1000 square feet tilled to 6" depth on remainder of landscape area.
- Place Agriform fertilizer tablets around plant material with back fill mix per manufacturer's specifications.
- Back fill plant mix shall consist of 1 part A-1 Organics BioComp compost per 2 parts soil from the excavated hole.
- All planter beds to be lined with steel edger, except where a bed comes up to a walk. Edger is to be Ryerson, pro-steel, or approved equal.
- All trees are to be planted a minimum of 10' from the face of curb on arterial roadways and a minimum of 6' from the face of curb on local streets. Trees to be planted within 150' from an intersection with an arterial road will also be planted a minimum of 10' from the face of curb.
- All shrub beds to receive small wood mulch at a 3' depth.
- Sod shall be Colorado grown and will be a blend of Kentucky Blue Grass.
- Plant material within the site triangles will have a mature height of 30' or less above the elevation of the flowline.
- Seed mixes are as follows:  
Transition Seed Mix  
Arkansas Valley Seed Co.'s  
Care-Free Mix  
20Z - 5R3200 Blue Fescue  
20Z - 5R5100 Chewings Fescue  
20Z - Creeping Red Fescue  
20Z - 5R3100 Hard Fescue  
10Z - Omni Perennial Ryegrass  
10Z - NuBlue Kentucky Bluegrass  
APPLICATION RATE: 20-25 lbs. per acre.
- NATIVE SEED  
Arkansas Valley Seed Co.'s  
Multi-Color High Altitude Mix  
30Z - Ephraim Crested Wheatgrass  
20Z - Blue Fescue  
20Z - Perennial Ryegrass  
15Z - Canada Bluegrass  
10Z - Chewings Fescue  
5Z - Wildflower Mix  
APPLICATION RATE: 20-25 lbs. per acre.
- Contractor shall secure and pay all applicable taxes, permits and fees in connection with the work under the contract. Provide for protection of all utilities, private or public property public safety, and existing site improvements for the duration of the contract and repair or replace damages to same without additional costs to the Owner. The contractor shall keep the premises clean and orderly and dispose of waste and debris at an approved location off-site daily during construction and prior to final acceptance.
- Landscaping shall be warranted for a period of twelve (12) months from the date of final acceptance. Warranty shall include, but not be limited to:  
Sod- Warranty against death, unsatisfactory growth, and bare areas. If any of the above situations apply, sod shall be replaced in those areas.  
Seed- Warranty against major settlement, unsatisfactory growth, and bare areas. If any of the above situations occur or the seed does not fill in at a satisfactory rate (to be determined by the landscape architect), affected areas shall be prepared and reseeded. Warranty period may be extended at this time.  
Plant Material- Trees, shrubs, and groundcover shall be warranted against death or unsatisfactory growth. Plants shall be replaced by the contractor at no extra cost to the owner, during the warranty period. Any areas damaged by replacement shall be restored to original condition at the contractor's expense. Warranty period to be extended at this time.  
The warranty shall also include all equipment and workmanship for the irrigation system.
- Landscaping shall be maintained by the contractor for a period of twelve (12) months from the date of final acceptance. After this twelve (12) month period the HOA will own and maintain landscaping.  
Sodded Areas- Maintain sodded areas by mowing and edging weekly, monitoring water and spraying for weeds and insects at the manufacturer's recommended rate.  
Seeded Areas- Maintain seeded areas by watering, mowing, controlling weed growth, regrading, replanting, and mulching as required to insure that seeded areas are in vigorous growing and free of eroded areas.  
Plant Material- Maintain trees, shrubs, and other plants by pruning, cultivating and weeding as required for healthy growth. Tighten and repair stake and guy supports and reset trees, shrubs, groundcovers and flowers to proper grades or vertical positions as required. Restore or replace damaged wrappings. Spray as required to keep trees, shrubs and other plants free of insects and disease.
- All landscaped areas shall be irrigated by an automatic, underground irrigation system. All irrigation taps shall have a backflow preventor as approved by the Town of Castle Rock.
- Contractor shall construct project as illustrated in construction drawings. It is the contractor's responsibility to verify all quantities.
- At least one (1) tree shall be planted in the required front yard setback per each dwelling unit. In some instances, a receipt of purchase for a 2-1/2" caliper tree from a local nursery may be substituted. The purchased tree shall be planted in the front yard setback.
- Deciduous trees shall be at least two-inch caliper measured four (4) inches above the ground, except ornamental and flowering trees shall be at least one and one half (1.5) inch caliper measured four (4) inches above the ground. Coniferous trees shall be at least six (6) feet tall.



## HAZEN MOORE FILING NO. 2

**APPLICANT AND OWNER**  
 US Home  
 4940 Park Meadows Drive  
 Lone Tree, Colorado 80111  
 Phone: (303) 754-0600  
 Fax: (303) 221-1436

**ENGINEER**  
 Rocky Mountain Consultants, Inc.  
 2801 E. Prentice Ave., Suite 101  
 Englewood, Colorado 80111  
 (303) 741-6106

**APPLICANT'S REPRESENTATIVE**  
 PLAN WEST, INC.  
 6130 Greenwood Plaza Blvd., Ste.110  
 Greenwood Village, Colorado 80111  
 Phone: (303) 741-1411  
 Fax: (303) 741-1442

**Landscape Plan**  
 Town of Castle Rock  
 Colorado

job no. 05/00  
 date 9-8-00  
 revisions  
 11-27-02 8-2-01  
 11-10-03 7-31-02  
 10-9-02

sheet 6 of 13

**PLAN WEST INC**  
 6130 Greenwood Plaza Blvd., Ste.110  
 Greenwood Village, Colorado 80111  
 Phone: (303) 741-1411  
 Fax: (303) 741-1492

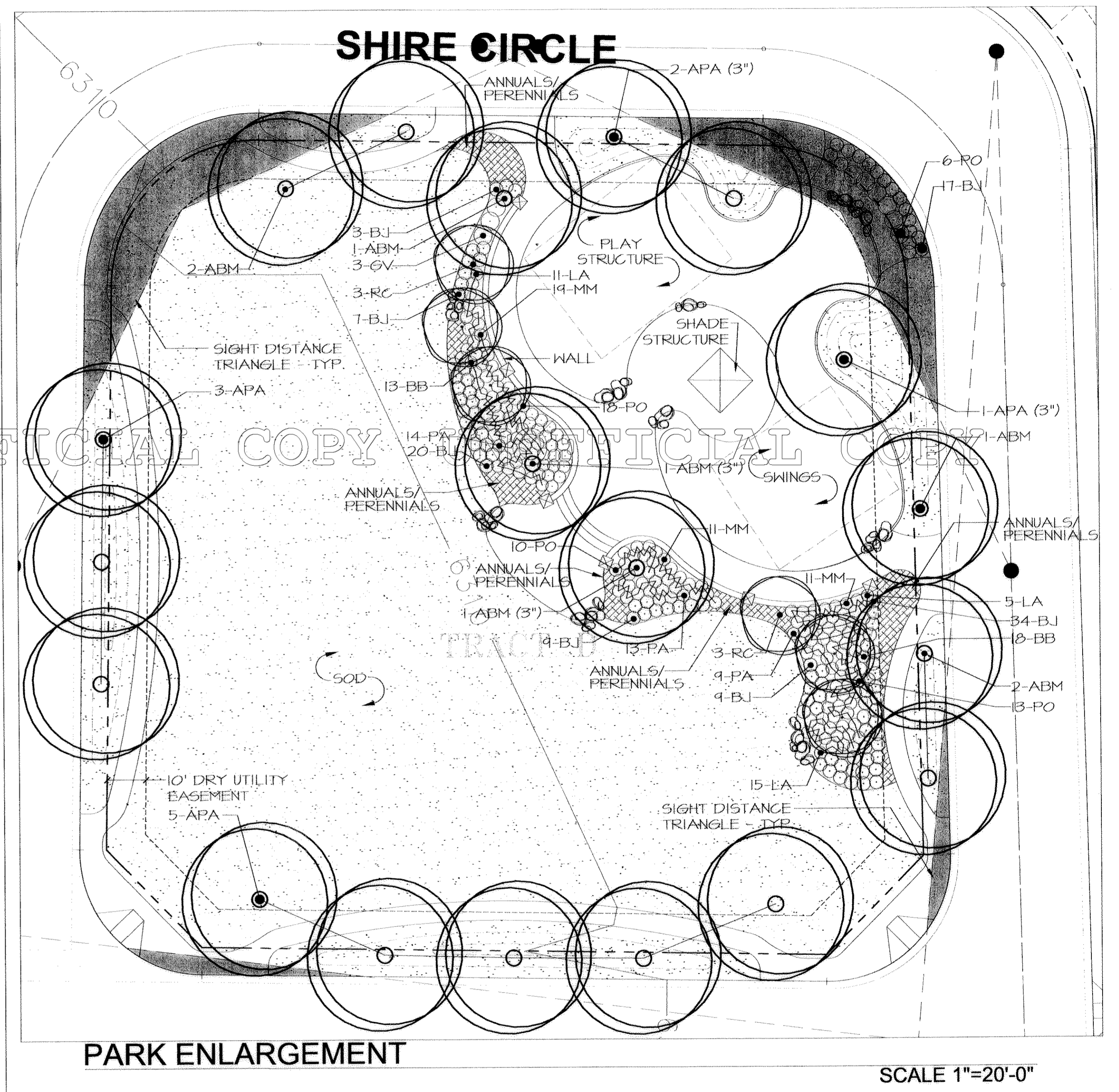
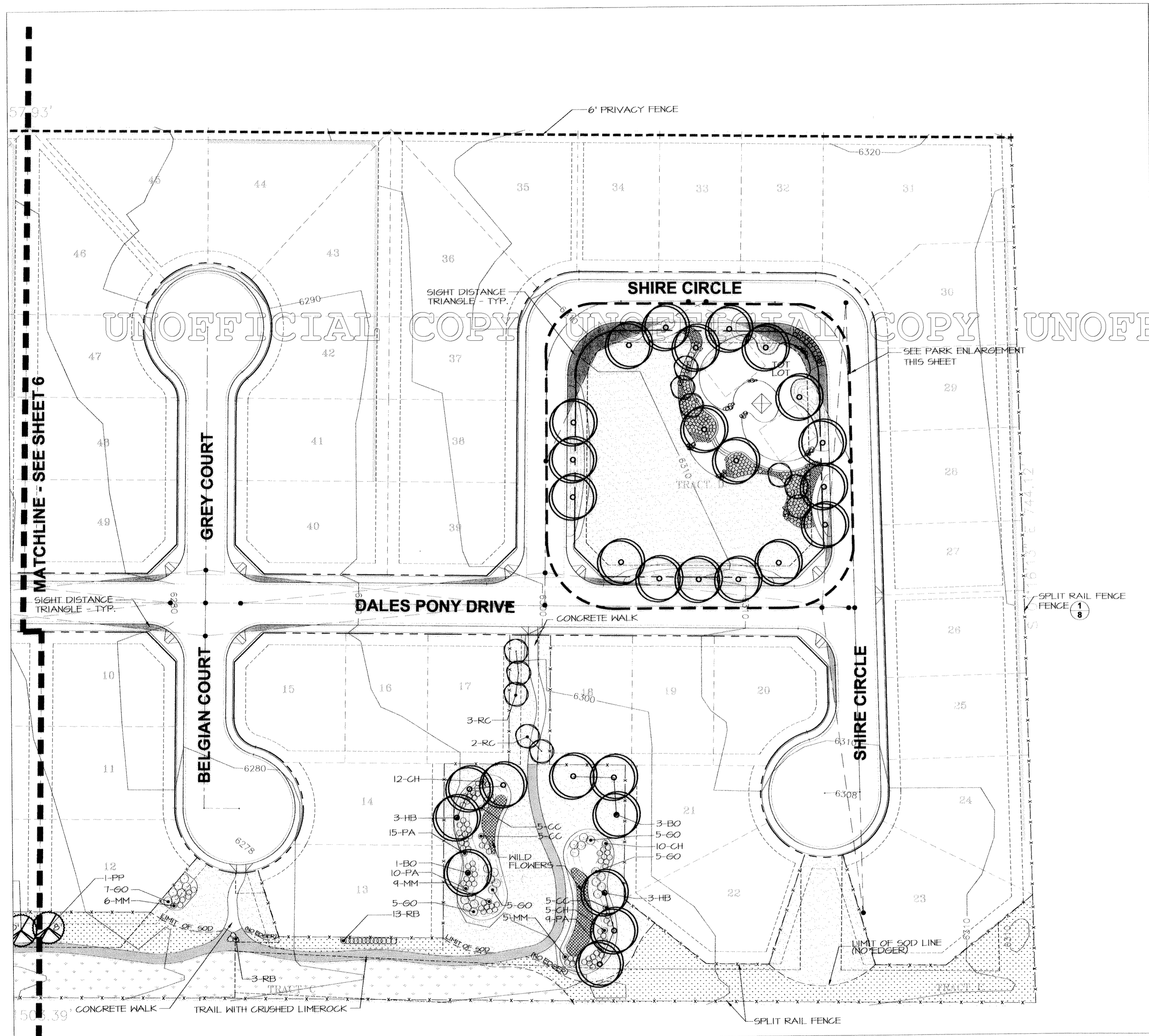
Scale 1" = 50'

North

THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND EASE OF REFERENCE ONLY. INCLUSION OF SAID INFORMATION ON THESE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE SUFFICIENCY OR ACCURACY OF SAID INFORMATION.

# PRELIMINARY PLAT/FINAL PD SITE PLAN FOR HAZEN MOORE FILING NO. 2

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PARK ENLARGEMENT

SCALE 1"=20'-0"

## HAZEN MOORE FILING NO. 2

**APPLICANT AND OWNER**  
 US Home  
 4940 Park Meadows Drive  
 LoneTree, Colorado 80111  
 Phone: (303) 754-0600  
 Fax: (303) 221-1436

**ENGINEER**  
 Rocky Mountain Consultants, Inc.  
 8301 E. Prentice Ave., Suite 101  
 Englewood, Colorado 80111  
 (303) 741-6106

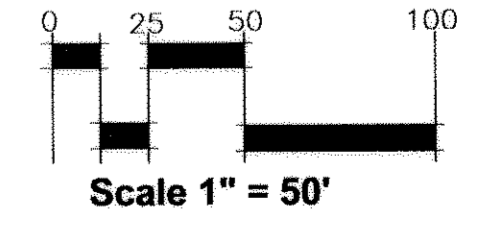
**Landscape Plan**  
 Town of Castle Rock  
 Colorado

**APPLICANT'S REPRESENTATIVE**  
 PLAN WEST, INC.  
 6130 Greenwood Plaza Blvd., Ste.110  
 Greenwood Village, Colorado 80111  
 Phone: (303) 741-1411  
 Fax: (303) 741-1412

job no. 05/00  
 date 9-8-00  
 revisions  
 11-27-02 8-2-01  
 1-10-03 7-31-02  
 10-9-02

sheet 7 of 13

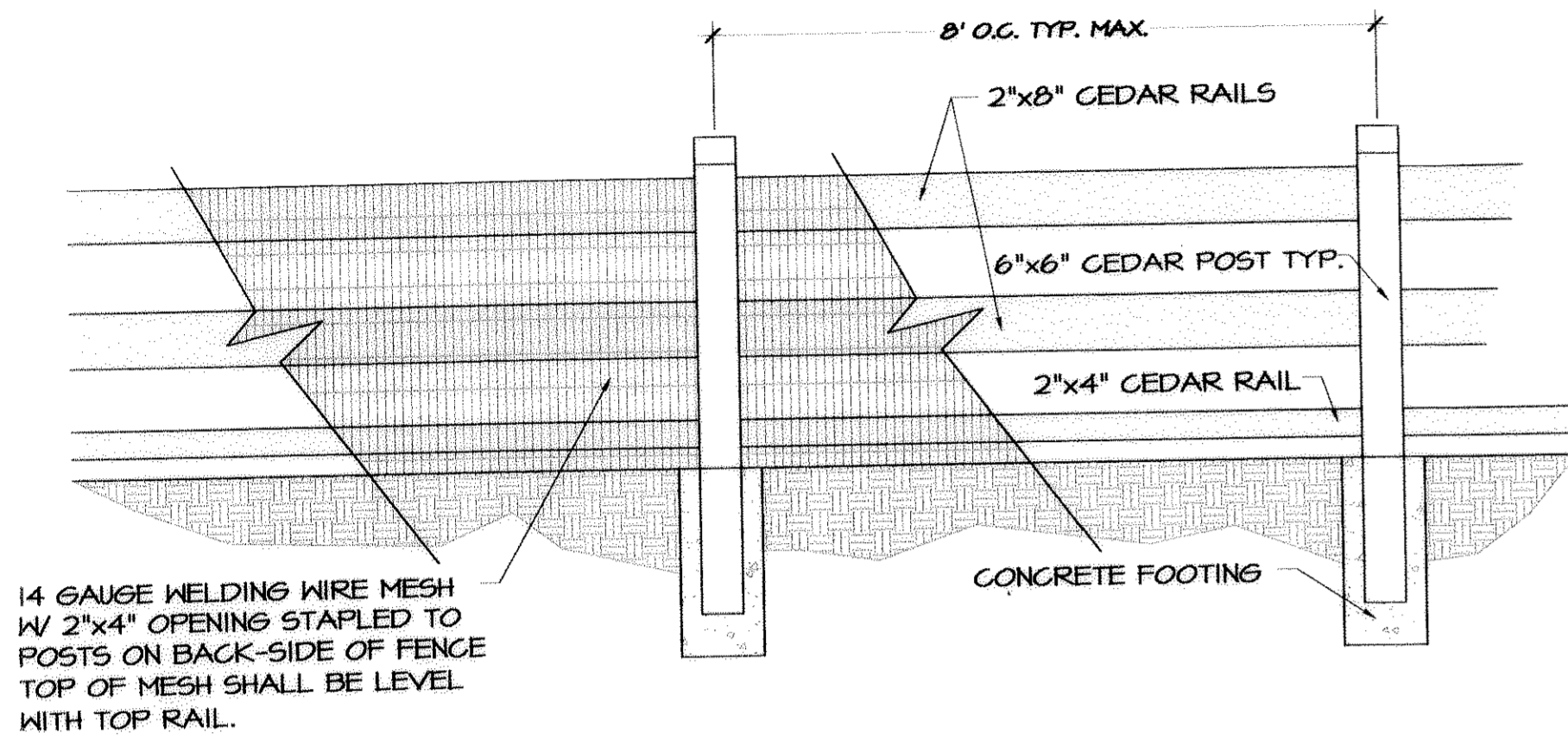
THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND EASE OF REFERENCE ONLY. INCLUSION OF SAID INFORMATION ON THESE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE SUFFICIENCY OR ACCURACY OF SAID INFORMATION.



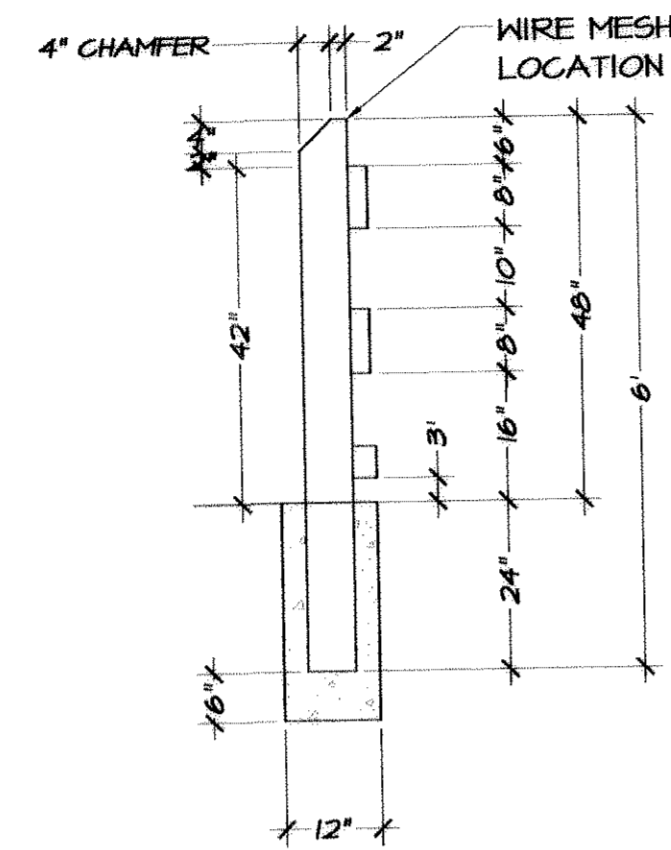
**PLAN WEST INC**  
 6130 Greenwood Plaza Blvd., Ste.110  
 Greenwood Village, Colorado 80111  
 Phone: (303) 741-1411  
 Fax: (303) 741-1492

# PRELIMINARY PLAT/FINAL PD SITE PLAN FOR HAZEN/MOORE FILING NO. 2

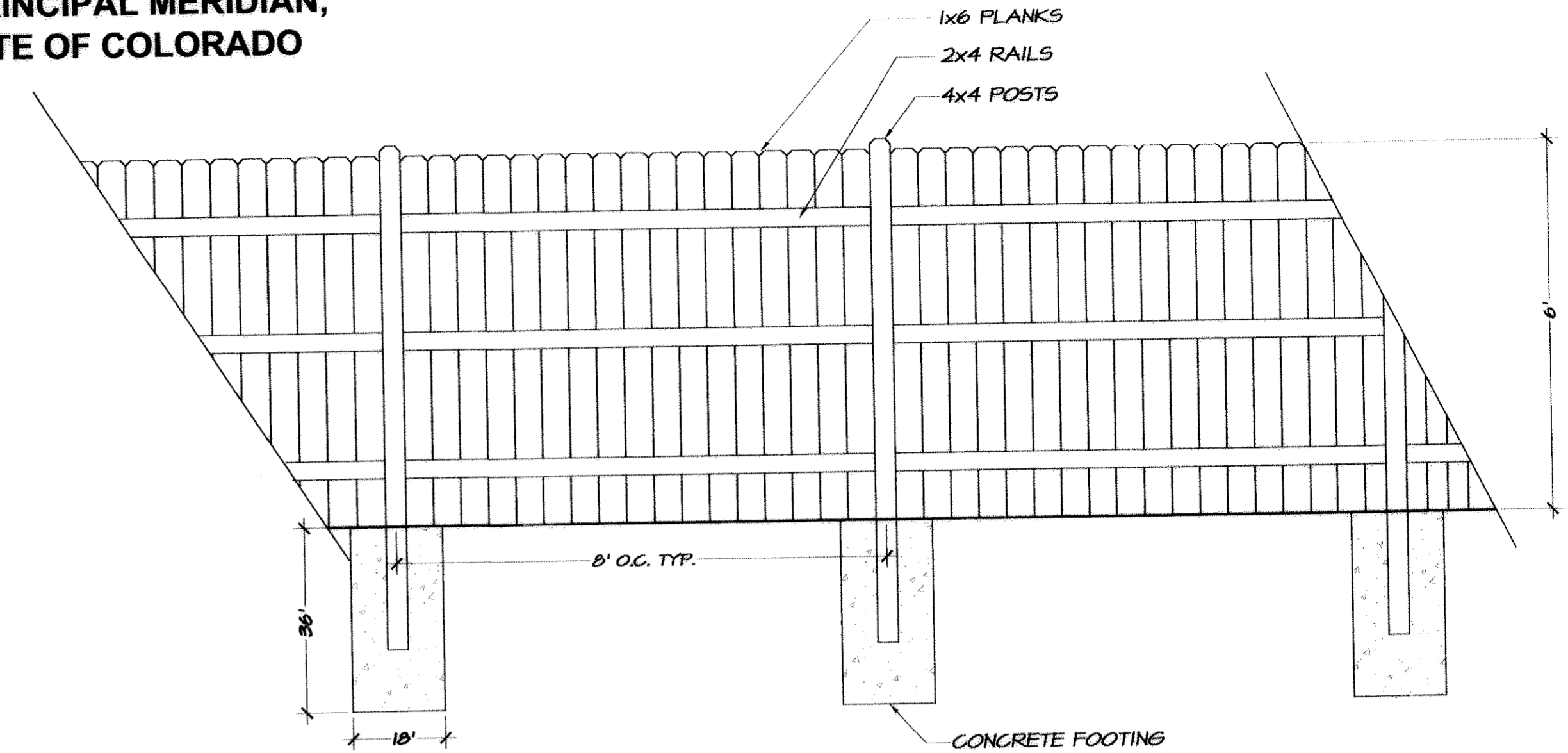
A PARCEL OF LAND LOCATED IN THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**1 RAIL FENCE ELEVATION**  
SCALE 1/2"=1'-0"

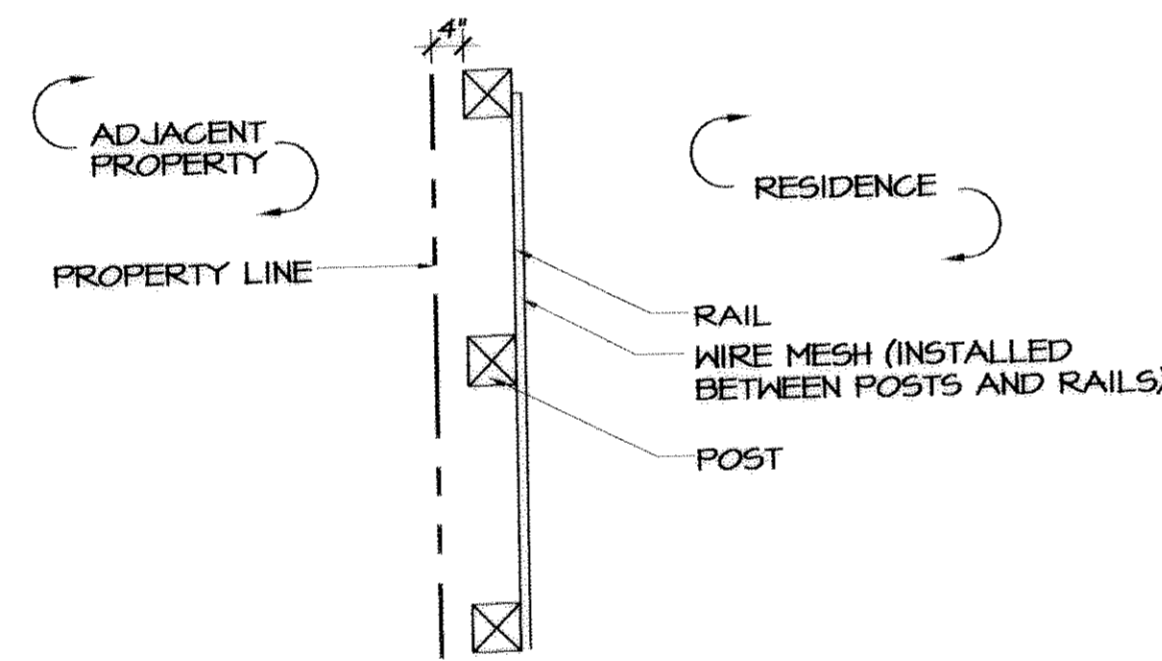


**2 PRIVACY FENCE ELEVATION**  
SCALE 1/2"=1'-0"

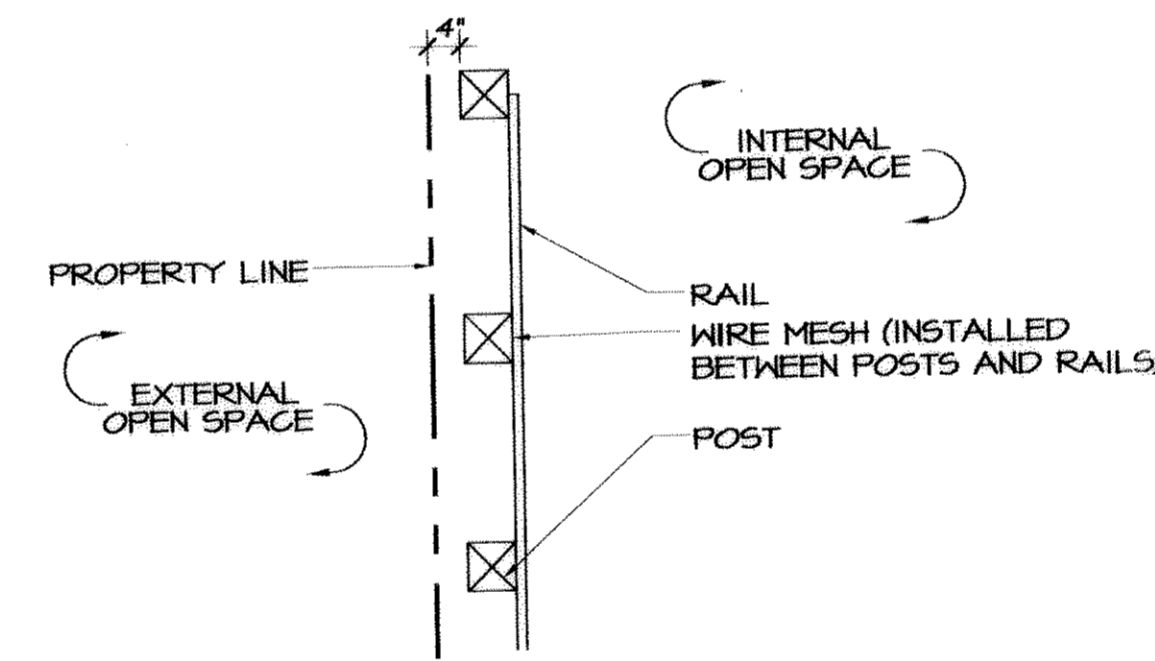


**3 RETAINING WALL/RAIL FENCE**  
NOT TO SCALE

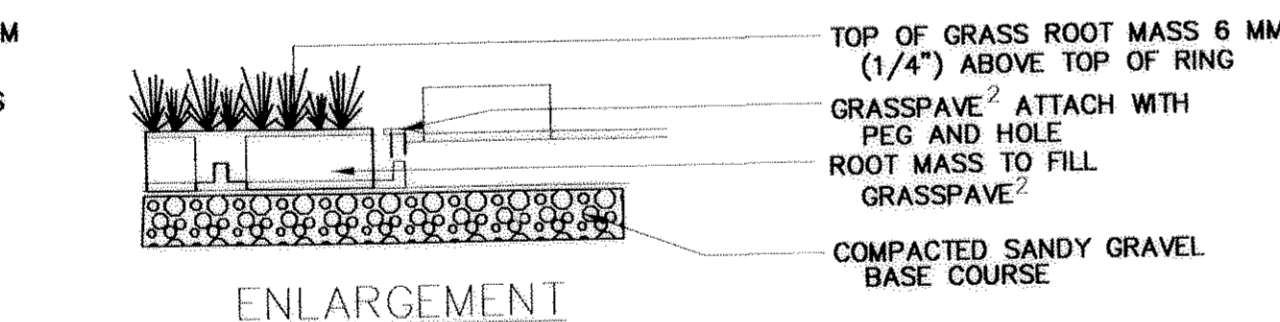
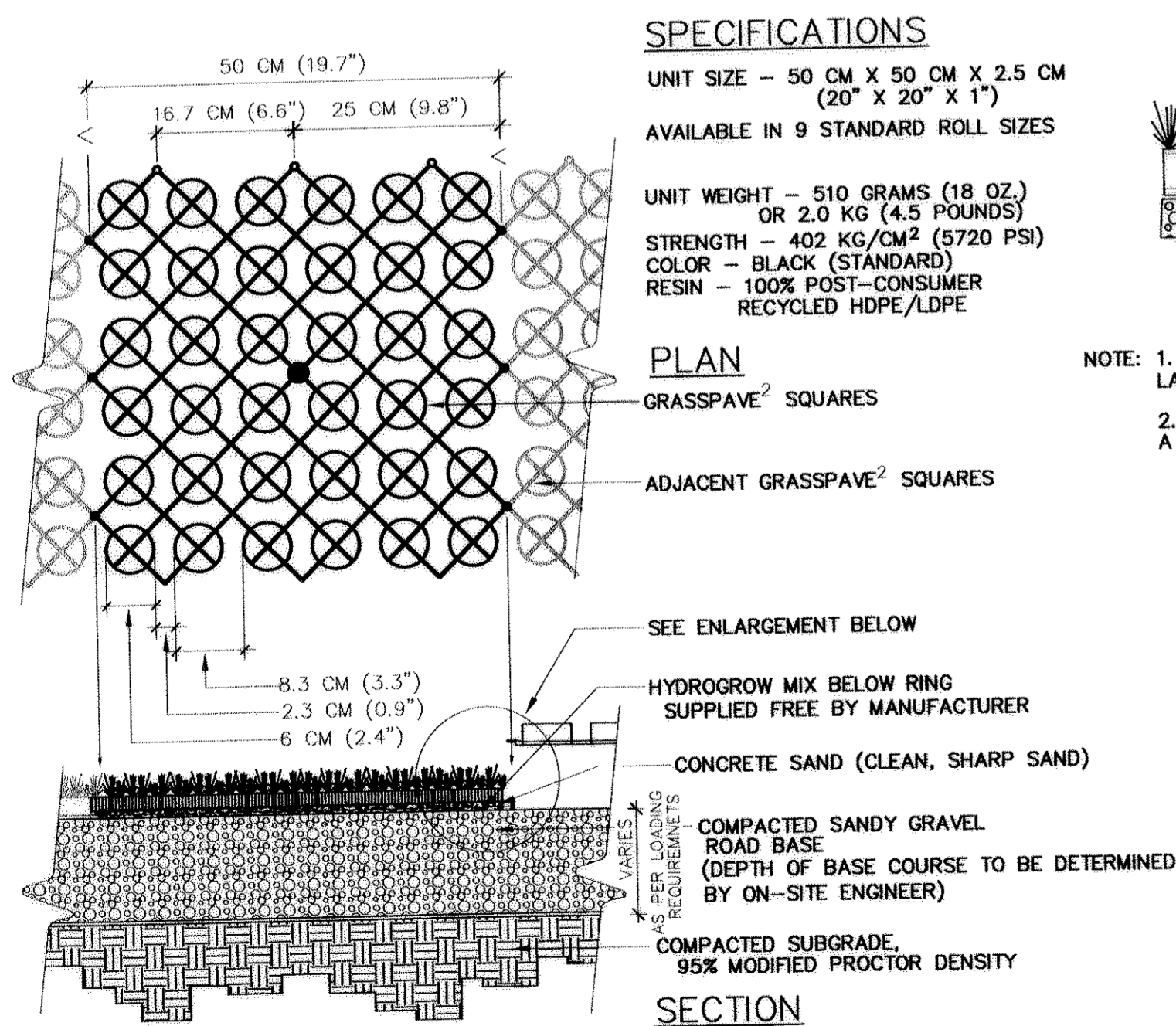
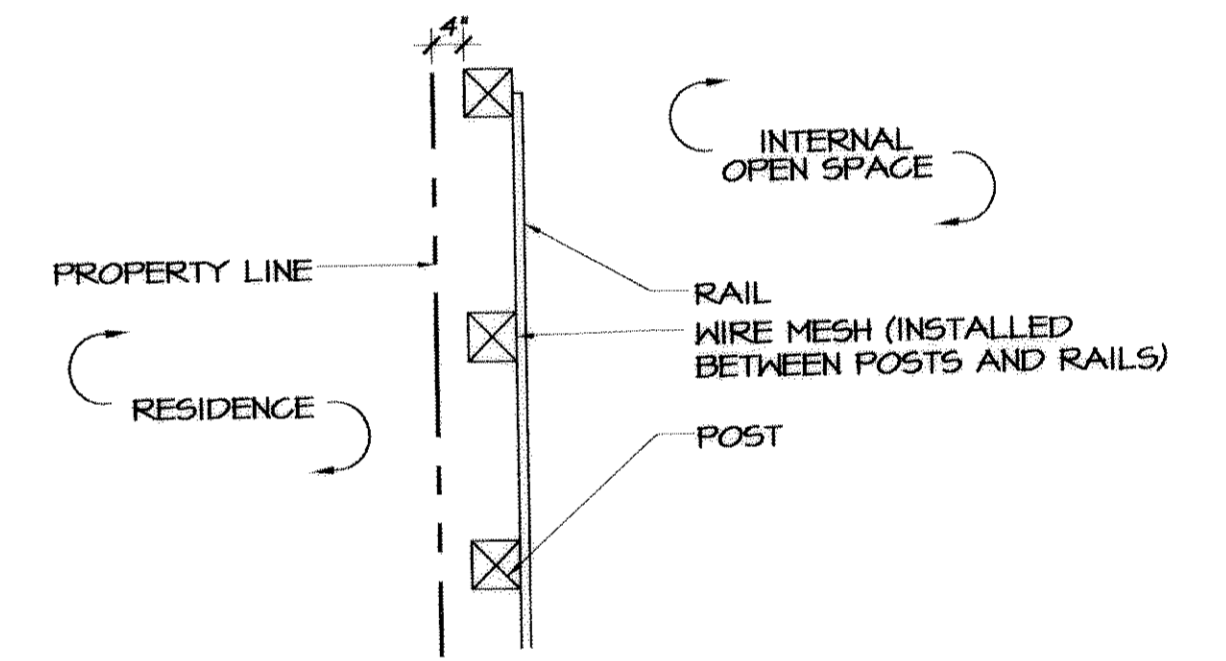
**4 RAIL FENCE - Ex. 1**  
SCALE 1/2"=1'-0"



**5 RAIL FENCE - Ex. 2**  
SCALE 1/2"=1'-0"



**6 RAIL FENCE - Ex. 3**  
SCALE 1/2"=1'-0"



NOTE: 1. GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.  
2. THE PROPOSED EMERGENCY ACCESS ROAD SHALL BE CAPABLE OF SUPPORTING A 60,000-POUND EMERGENCY VEHICLE (SEE SPECIFICATIONS FOR PSI RATING).

**7 GRASS PAVING DETAIL - GRASSPAVE 2**  
NOT TO SCALE

## GENERAL NOTES:

- ALL LUMBER SHALL BE NO. 1 SELECT, ROUGH CUT CEDAR AND SHALL BE SOLID, STRAIGHT, AND FREE FROM KNOTS, SPLITS, SHAKES, AND DISCOLORATION. ALL CHAMFERED EDGES AND ROUTED AREAS SHALL BE UNIFORM AND FREE FROM SAW MARKS.
- ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.
- POSTS SHALL BE SECURELY BRACED IN THEIR FINAL POSITION FOR A MINIMUM OF 24 HOURS BEFORE BOARDS ARE NAILED.
- ALL EXPOSED LUMBER SHALL BE STAINED WITH KWAL HOWELLS SANDLEWOOD RUSTIC STAIN.
- RETAINING WALLS OR SECTIONS OF RETAINING WALL OVER 4' IN HEIGHT MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO CONSTRUCTION.

## HAZEN/MOORE FILING NO. 2

**APPLICANT AND OWNER**  
US Home  
9940 Park Meadows Drive  
LoneTree, Colorado 80111  
Ph: (303) 754-0500  
Fx: (303) 221-1436

**ENGINEER**  
Rocky Mountain Consultants, Inc.  
8301 E. Prentice Ave., Suite 101  
Englewood, Colorado 80111  
Ph: (303) 741-6000  
Fx: (303) 741-6106

**Detail Sheet**  
Town of Castle Rock  
Colorado

**APPLICANT'S REPRESENTATIVE**  
PLAN WEST, INC.  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
Ph: (303) 741-1411  
Fx: (303) 741-1442

job no. 05/00  
date 9-8-00  
revisions  
1-10-03 10-09-02 2-11-02  
11-27-02 7-31-02

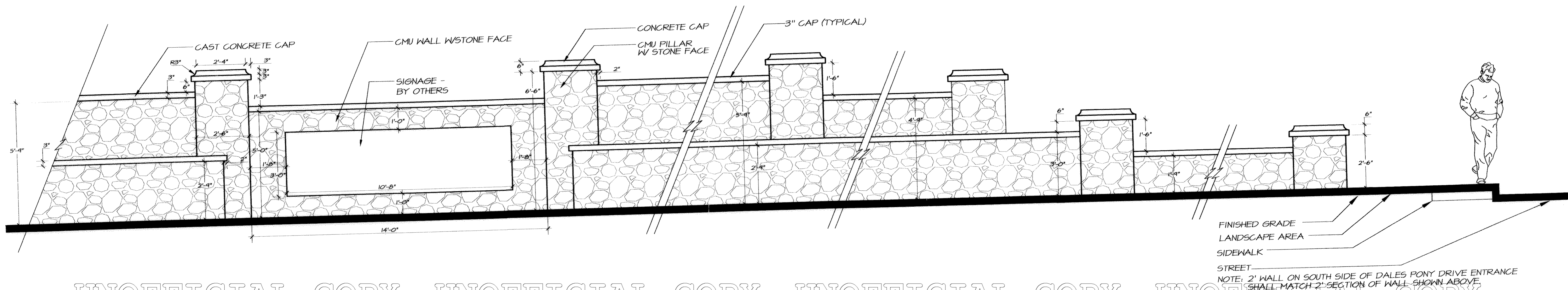
sheet 8 of 13

THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND CASE OF REFERENCE ONLY. INCLUSION OF SAID INFORMATION ON THESE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE SUFFICIENCY OR ACCURACY OF SAID INFORMATION.

**PLAN WEST INC**  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
Phone: (303) 741-1411  
Fax: (303) 741-1492

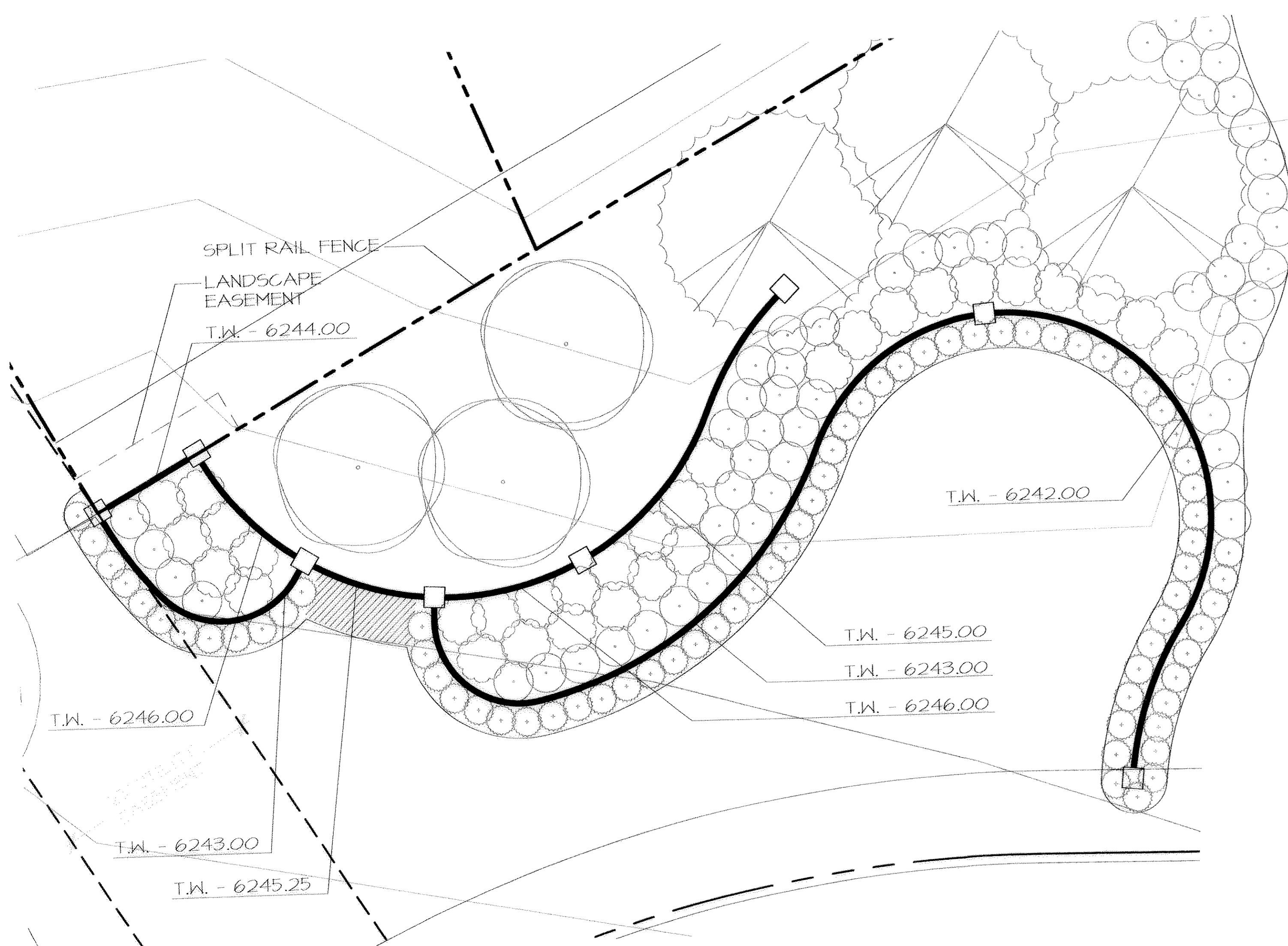
# PRELIMINARY PLAT/FINAL PD SITE PLAN FOR HAZEN/MOORE FILING NO. 2

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 35,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



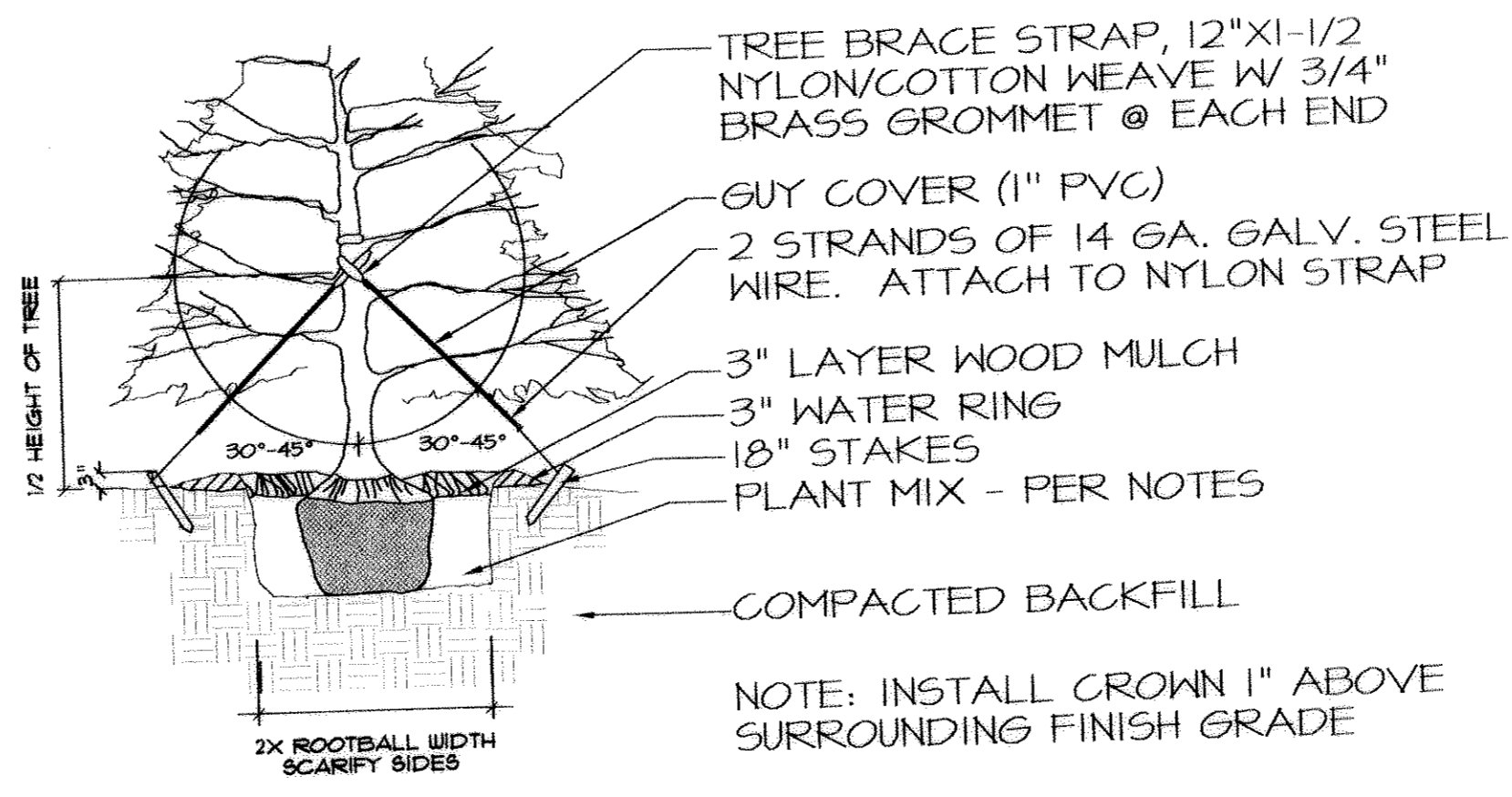
UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

1/9 ENTRY WALL ELEVATION

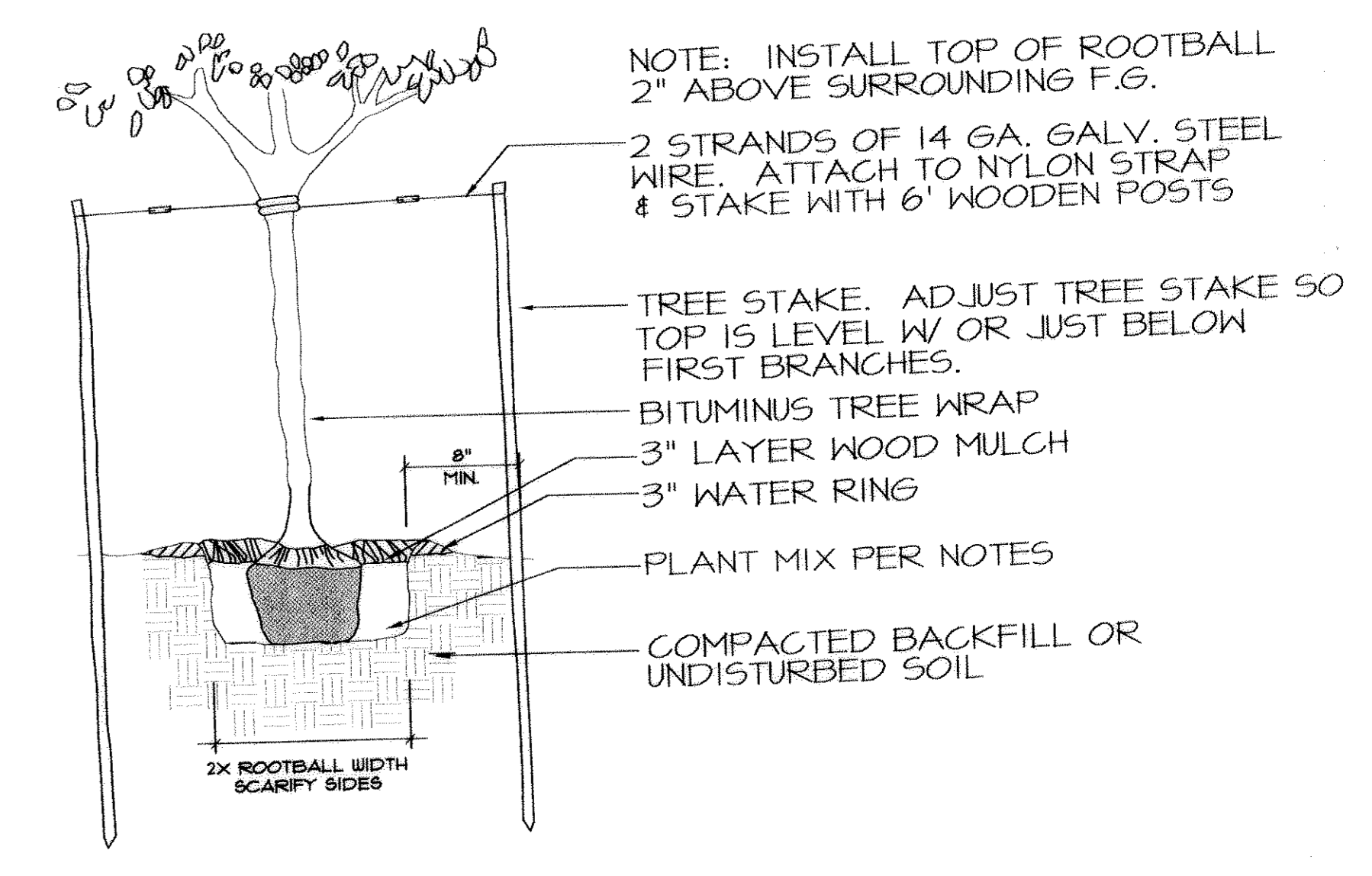


2/9 ENTRY WALL PLAN VIEW ENLARGEMENT

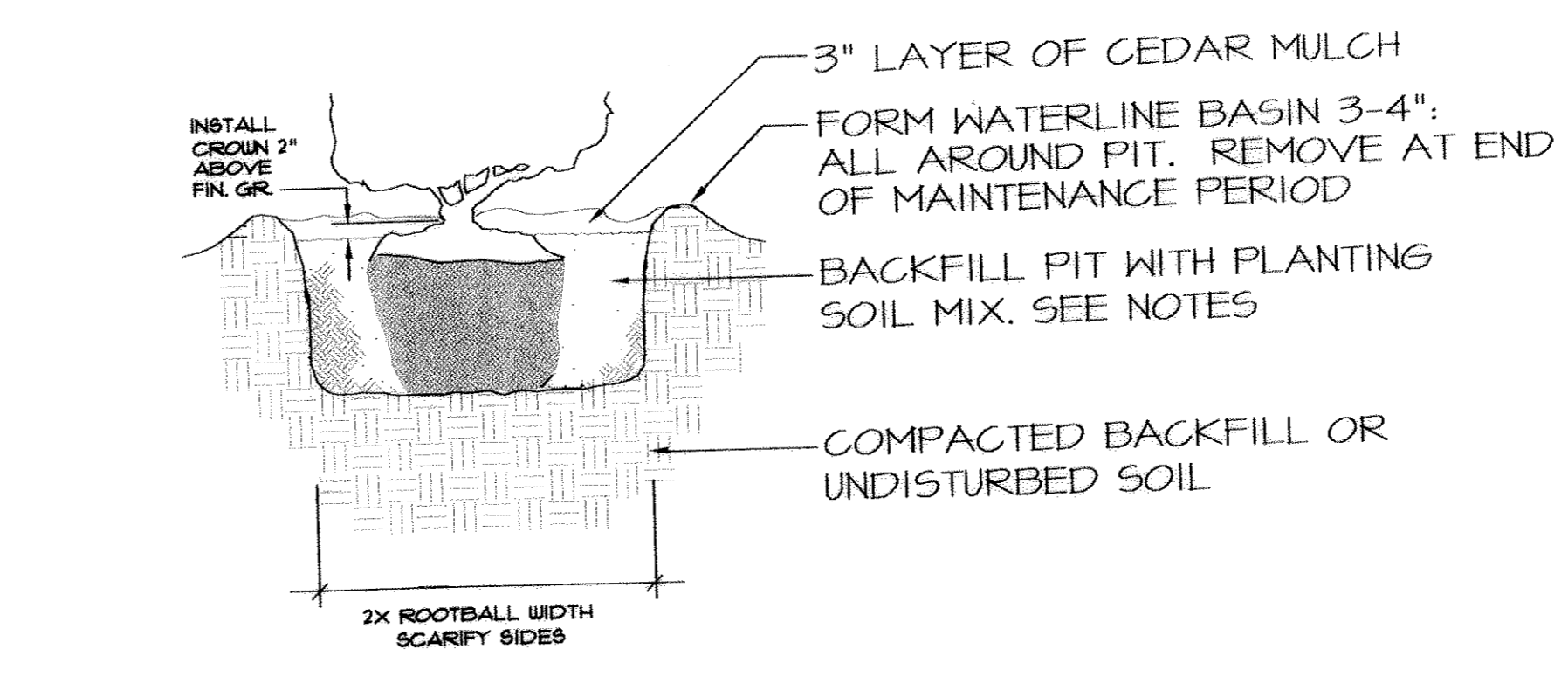
Scale: 1" = 10'-0"



3/9 EVERGREEN TREE PLANTING NOT TO SCALE



5/9 DECIDUOUS TREE PLANTING NOT TO SCALE



4/9 SHRUB PLANTING DETAIL NOT TO SCALE

**APPLICANT AND OWNER**  
US Home  
4950 Park Meadows Drive  
LoneTree, Colorado 80111  
Ph: (303) 754-0600  
F: (303) 221-1436

**APPLICANT'S REPRESENTATIVE**  
PLAN WEST, INC.  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
Ph: (303) 741-1411  
F: (303) 741-1492

**ENGINEER**  
Rocky Mountain Consultants, Inc.  
2301 E. Prentice Ave., Suite 101  
Englewood, Colorado 80111  
Ph: (303) 741-6000  
F: (303) 741-6106

**Detail Sheet**  
Town of Castle Rock  
Colorado

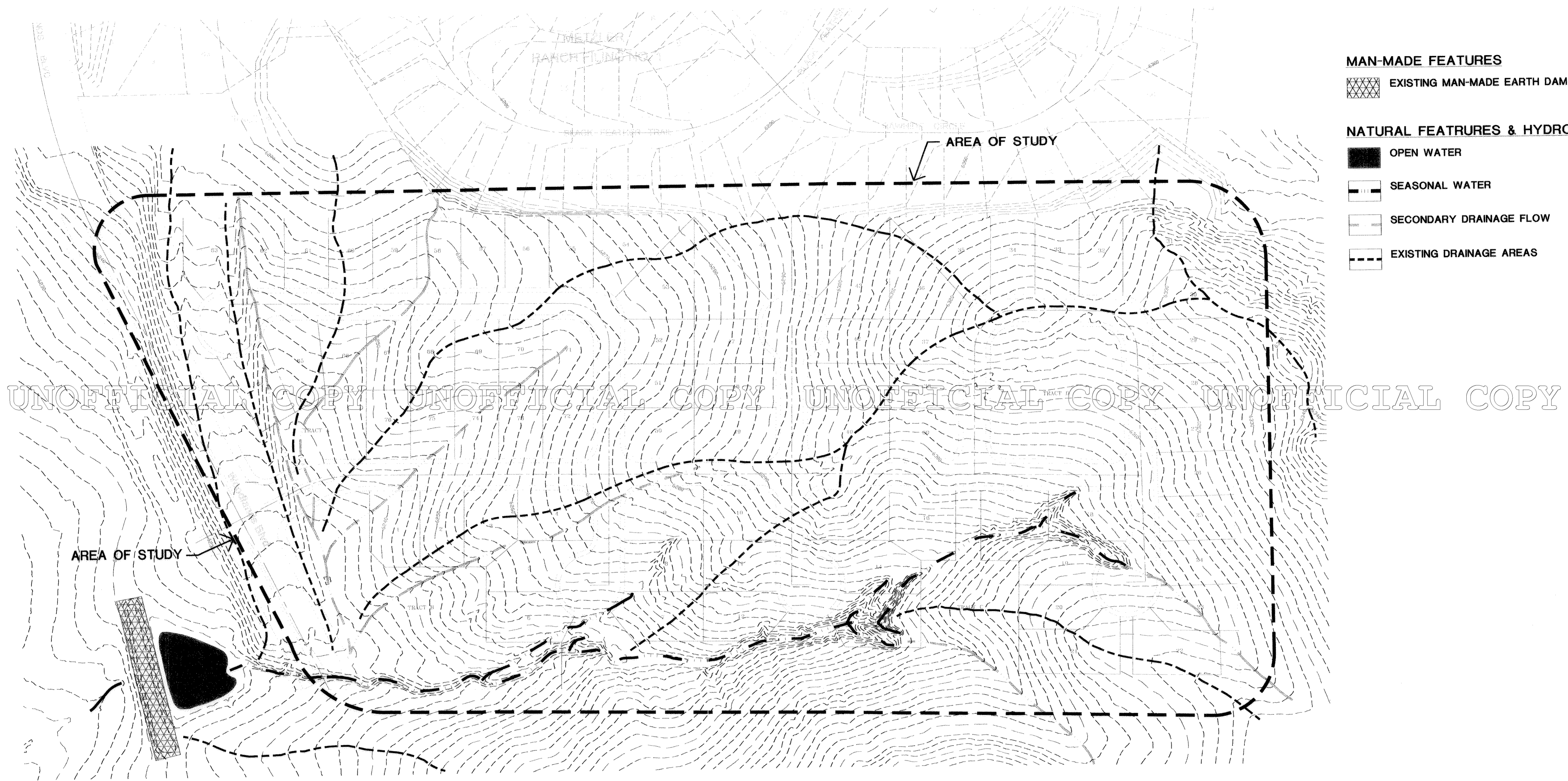
job no. 05/00  
date 2-11-02  
revisions  
11-27-02 7-31-02  
1-10-03 10-09-02






sheet 9 of 13

THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND EASE OF REFERENCE ONLY. DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE SUFFICIENCY OR ACCURACY OF SAID INFORMATION.

**PLAN WEST INC**  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
Phone: (303) 741-1411  
Fax: (303) 741-1492

# HAZEN/MOORE LAND SUITABILITY ANALYSIS



- MAN-MADE FEATURES**
-  EXISTING MAN-MADE EARTH DAM
- NATURAL FEATURES & HYDROLOGY**
-  OPEN WATER
  -  SEASONAL WATER
  -  SECONDARY DRAINAGE FLOW
  -  EXISTING DRAINAGE AREAS

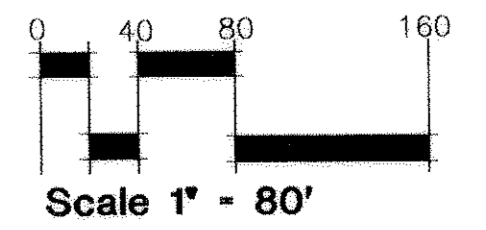

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

**Figure 2**

**Hazen/Moore  
Site Features Inventory**

<p><b>Owner</b> Castle One, LLC, a Colorado limited liability company 6000 South Greenwood Plaza Englewood, Colorado 80112</p>	<p><b>Landscape Architects and Planners</b> Plan West, Inc. 6130 Greenwood Plaza Blvd., Ste. 110 Greenwood Village, Colorado 80111 Phone: 303-741-1411 Fax: 303-741-1492</p>	<p><b>Douglas County Colorado</b> job no. 05/00 date 02-24-01 revisions</p>
--	--	---

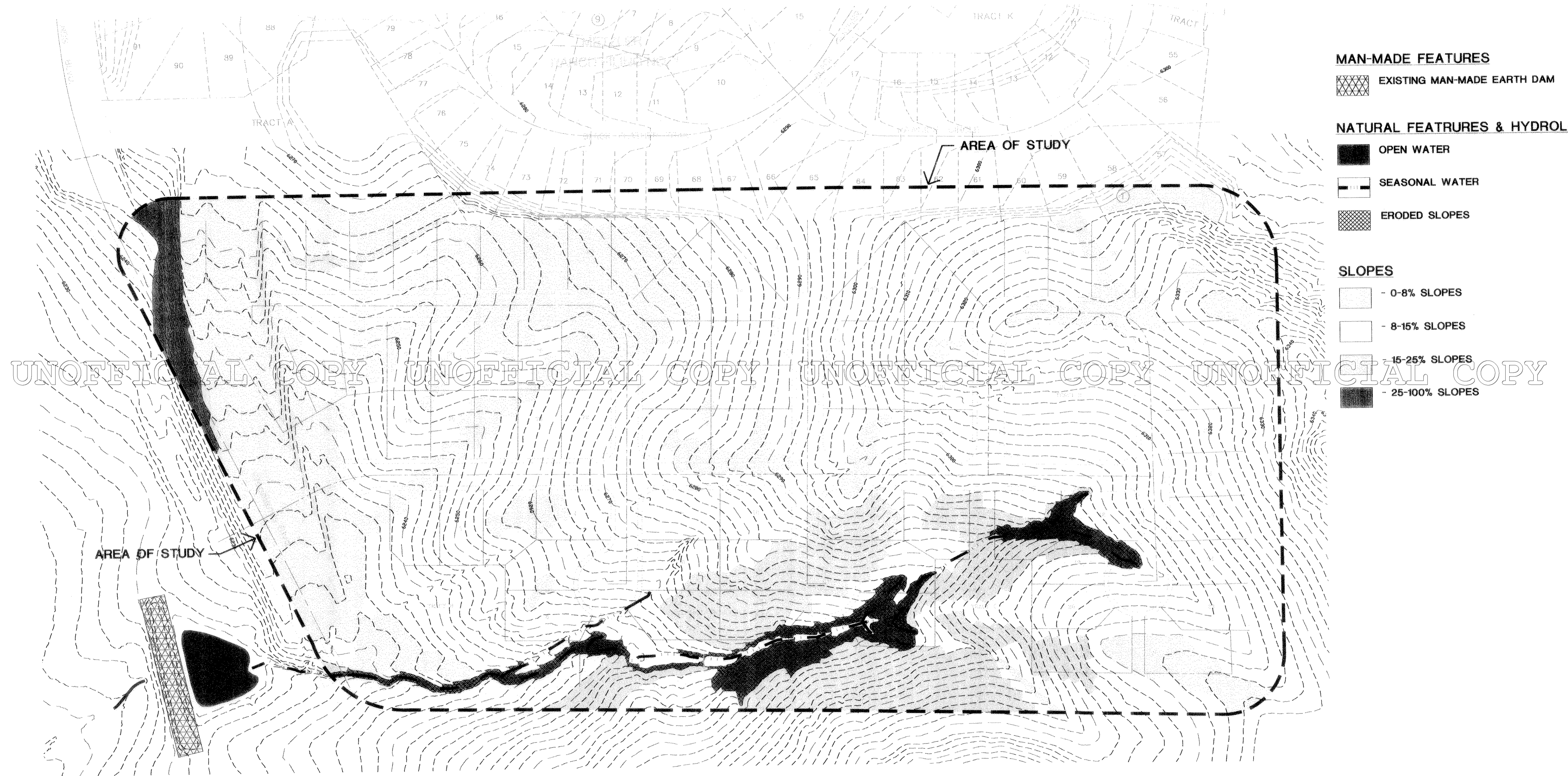
THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND EASE OF REFERENCE ONLY. INCLUSION OF SAID INFORMATION ON THESE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE SUFFICIENCY OR ACCURACY OF SAID INFORMATION.

**PLAN WEST INC**  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
(303) 741-1411  
fax: (303) 741-1492

# HAZEN/MOORE

## LAND SUITABILITY ANALYSIS



### MAN-MADE FEATURES

 EXISTING MAN-MADE EARTH DAM


### NATURAL FEATURES & HYDROLOGY


 OPEN WATER


 SEASONAL WATER


 ERODED SLOPES

### SLOPES

 - 0-8% SLOPES

 - 8-15% SLOPES

 - 15-25% SLOPES

 - 25-100% SLOPES

**Figure 3**

### Hazen/Moore Slope Analysis

#### Owner

Castle One, LLC,  
a Colorado limited liability company  
6000 South Greenwood Plaza  
Englewood, Colorado 80112

#### Landscape Architects and Planners

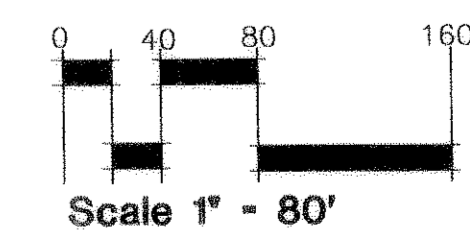
Plan West, Inc.  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
Phone: 303-741-1411  
Fax: 303-741-1492

#### Douglas County Colorado

job no. 05/00  
date 02-24-01  
revisions

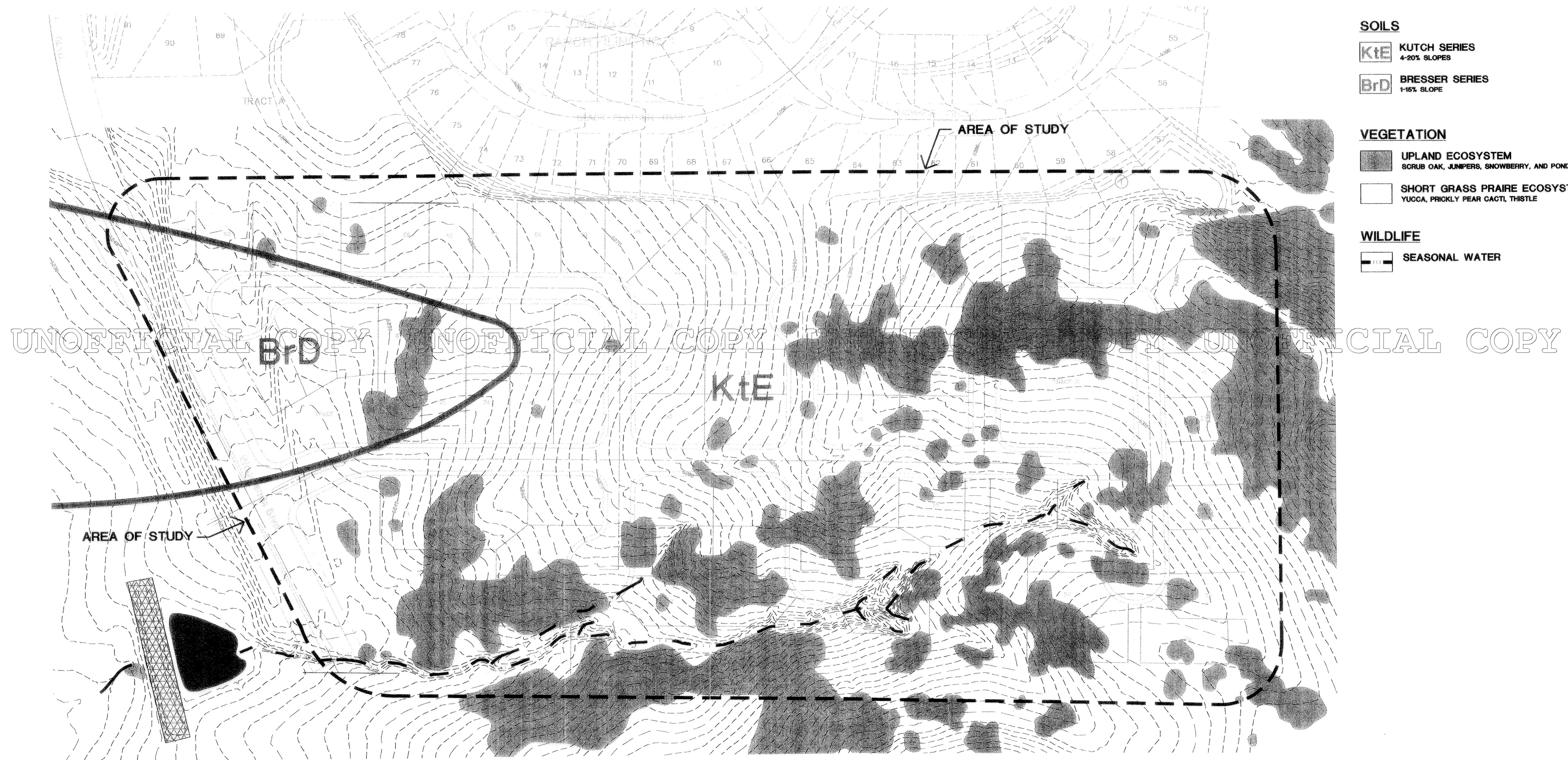
sheet 11 of 13

THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND EASE OF REFERENCE ONLY. INCLUSION OF SAID INFORMATION ON THESE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE SUFFICIENCY OR ACCURACY OF SAID INFORMATION.



**PLAN WEST INC**  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
(303) 741-1411  
fax: (303) 741-1492

# HAZEN/MOORE LAND SUITABILITY ANALYSIS



## SOILS

**KtE** KUTCH SERIES  
4-20% SLOPES

**BrD** BRESSER SERIES  
1-15% SLOPE

## VEGETATION

**UPLAND ECOSYSTEM**  
SCRUB OAK, JUNPERS, SNOWBERRY, AND PONDEROSA PINE

**SHORT GRASS PRAIRE ECOSYSTEM**  
YUCCA, PRICKLY PEAR CACTI, THISTLE

## WILDLIFE

**SEASONAL WATER**

**Figure 4**

**Hazen/Moore  
Soils, Vegetation and Wildlife Inventory**

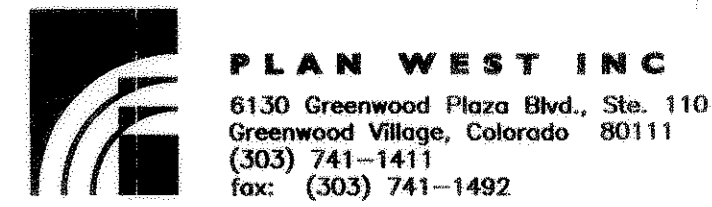
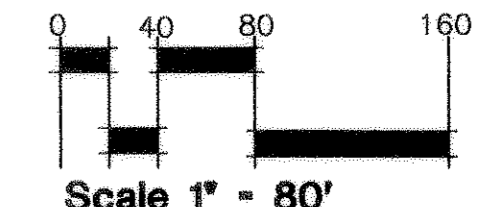
**Owner**  
Castle One, LLC,  
a Colorado limited liability company  
6000 South Greenwood Plaza  
Englewood, Colorado 80112

**Landscape Architects and Planners**  
Plan West, Inc.  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
Phone: 303-741-1411  
Fax: 303-741-1492

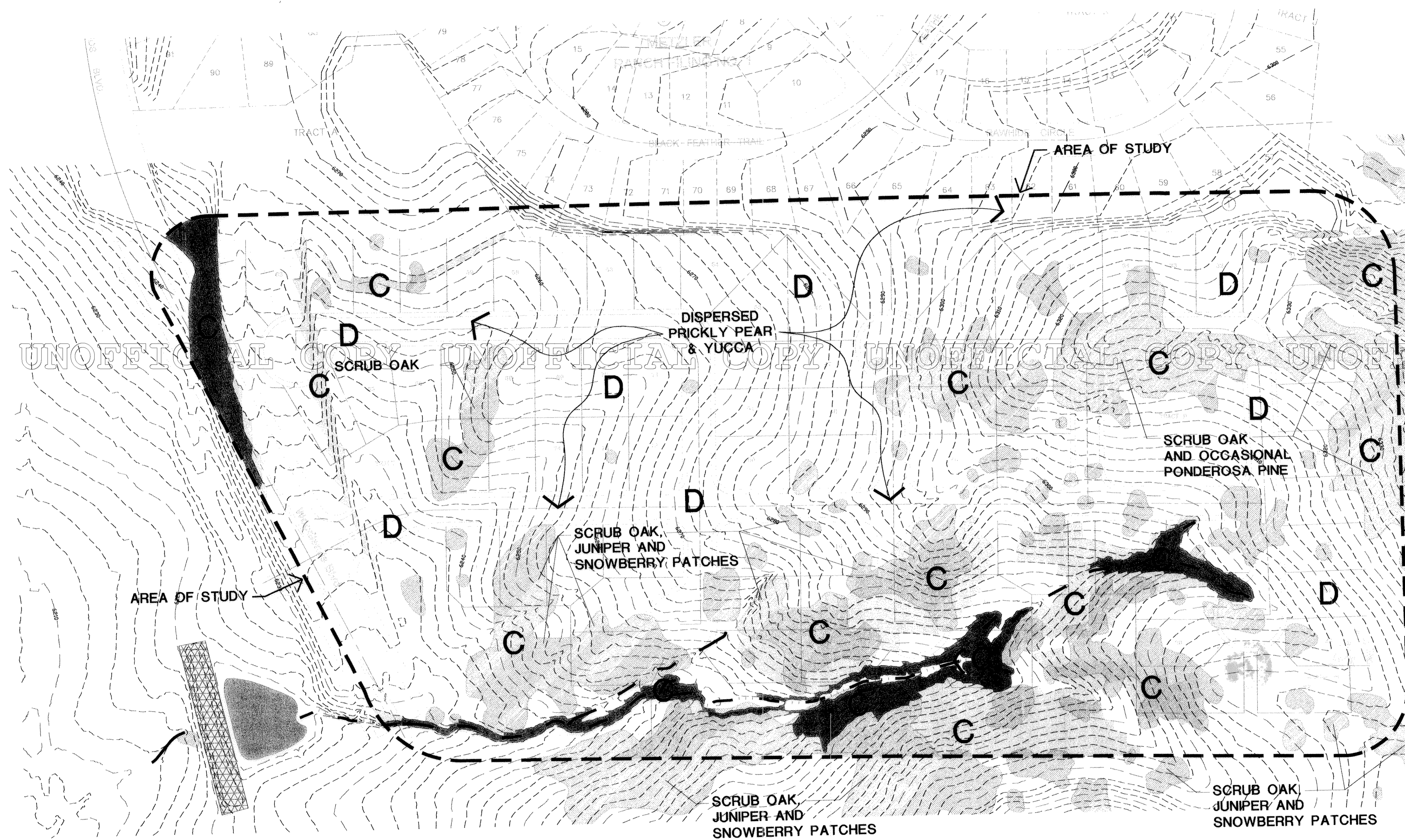
**Douglas County  
Colorado**  
job no. **05/00**  
date **02-24-01**  
revisions

sheet **12** of **13**

THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND EASE OF REFERENCE ONLY. INCLUSION OF SAID INFORMATION ON THESE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE SUFFICIENCY OR ACCURACY OF SAID INFORMATION.



# HAZEN/MOORE LAND SUITABILITY ANALYSIS



**A** PRESERVATION AREA  
MOST SIGNIFICANT NATURAL  
RESOURCE AREA ENCOURAGE  
PRESERVATION

THERE ARE NONE

**B** LIMITED DEVELOPMENT AREA  
DEVELOPMENT ALLOWED TO EDGE  
OF AREA, OR INTO AREA WITH  
MITIGATION.

THERE ARE NONE

**C** DEVELOPMENT WITH POSSIBLE  
PRESERVATION AREA  
DEVELOPMENT ALLOWED TO  
ENCROACH. INCORPORATE  
FEATURES INTO LAND USE DESIGN,  
IF POSSIBLE.

▨ SLOPES 15% TO 25%

▨ SLOPES 25+%

▨ NOTABLE VEGETATION

**D** NO DEVELOPMENT  
CONSTRAINTS

UNCONSTRAINED DEVELOPMENT AREA  
Approximately 21.8 ACRES

TOTAL SITE STUDY AREA  
Approximately 21.8 ACRES

**Figure 5**

**Owner**

Castle One, LLC  
a Colorado limited liability company  
6000 South Greenwood Plaza  
Englewood, Colorado 80112

**Landscape Architects and Planners**

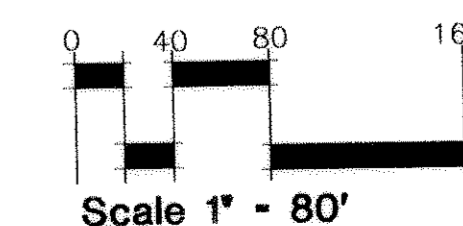
Plan West, Inc.  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
Phone: 303-741-1411  
Fax: 303-741-1492

**Douglas County  
Colorado**

job no. 05/00  
date 02-24-01  
revisions  
11-19-01

sheet 13 of 13

THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND EASE OF REFERENCE ONLY. INCLUSION OF SAID INFORMATION ON THESE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE SUFFICIENCY OR ACCURACY OF SAID INFORMATION.



**PLAN WEST INC**  
6130 Greenwood Plaza Blvd., Ste. 110  
Greenwood Village, Colorado 80111  
(303) 741-1411  
fax: (303) 741-1492