

LEGAL DESCRIPTION

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 35, THENCE S89°09'30"E 946.04 FEET ALONG THE SOUTH LINE OF SAID SECTION 35 ALSO BEING THE NORTH LINE OF SAID SECTION 2 TO THE EAST RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD AND THE POINT OF BEGINNING; THENCE N25°47'42"W 1471.37 FEET ALONG SAID RIGHT OF WAY LINE TO THE NORTH LINE OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 35 AND A FOUND NUMBER 5 REBAR WITH A RED PLASTIC CAP, ILLEGIBLE; THENCE S89°18'41"E 578.06 FEET ALONG SAID NORTH LINE OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SECTION 35 TO THE WEST RIGHT OF WAY LINE OF LIGGETT ROAD AND A FOUND REBAR WITH A RED PLASTIC CAP MARKED "PLS 6935"; THENCE S28°20'19"E 1410.34 FEET ALONG SAID WEST RIGHT OF WAY LINE OF LIGGETT ROAD TO A FOUND NUMBER 5 REBAR WITH NO CAP BEING THE NORTHEASTERLY CORNER OF TRACT C OF CASTLE ROCK MARINE FILING NO. 1 AS RECORDED AT RECEPTION NUMBER 2009074562, PUBLIC RECORDS, COUNTY OF DOUGLAS, STATE OF COLORADO; THENCE S73°38'10"W 587.93 FEET ALONG THE NORTH BOUNDARY OF SAID TRACT C TO SAID EAST RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD; THENCE N 25°47'42"W 99.02 FEET ALONG SAID EAST RIGHT OF WAY LINE TO THE POINT OF BEGINNING. CONTAINING 811,829 SQUARE FEET, OR 18.637 ACRES (MORE OR LESS). THE BEARINGS AS SHOWN HEREON ARE BASED UPON THE WEST LINE OF SAID SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEARING N0°54'29"W 1314.78 FEET BETWEEN, A FOUND 2 1/2 INCH ALUMINUM CAP STAMPED "ARCHER & ASSOCIATES 10986 PLS 6935" MONUMENTING THE SOUTHWEST CORNER OF SAID SECTION 35 AND A FOUND NUMBER 5 REBAR WITH NO CAP MONUMENTING THE SOUTH ONE-SIXTEENTH CORNER OF SAID SECTION 35 AND SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN.

GENERAL NOTES

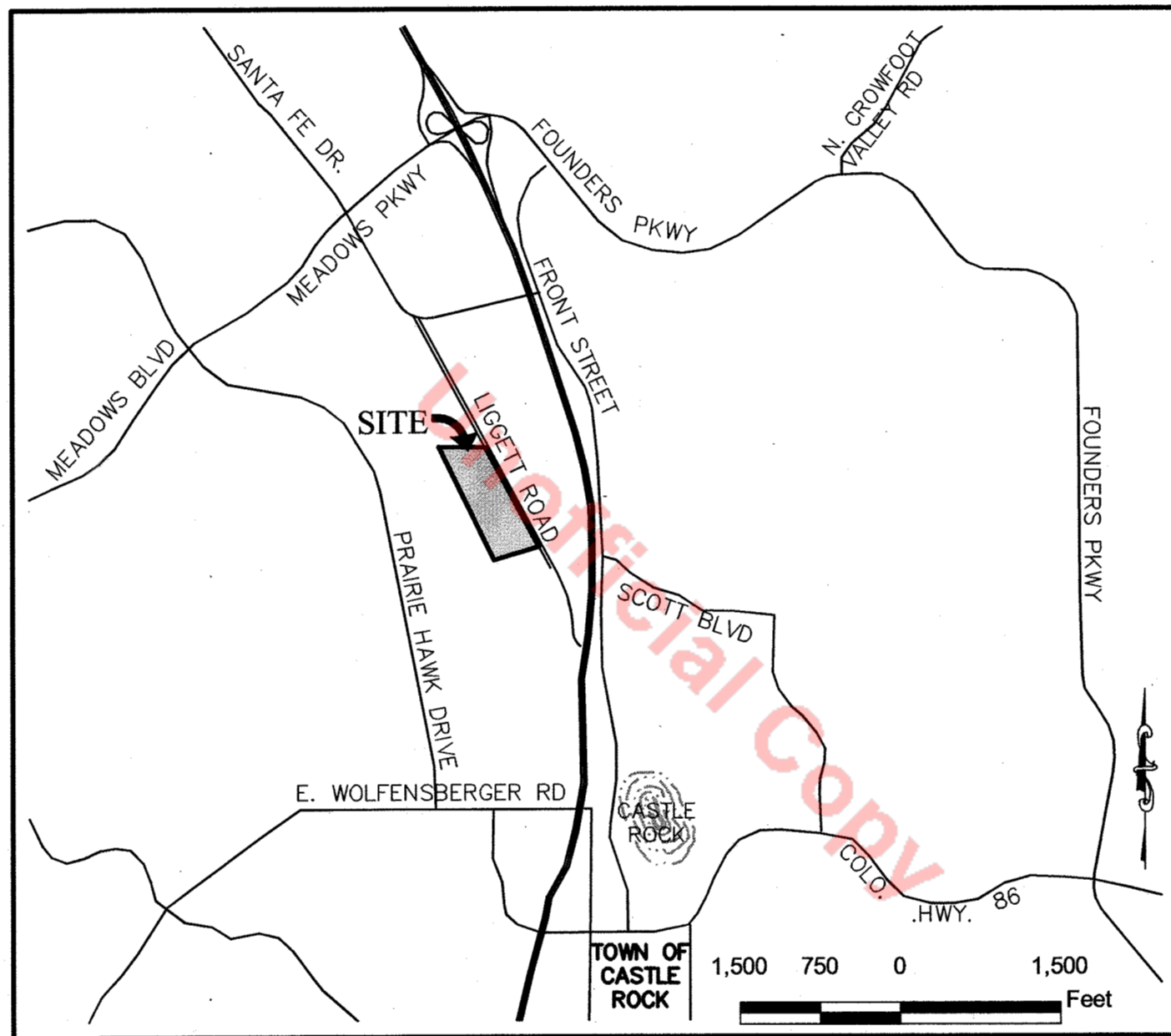
- 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL UPON WRITTEN NOTICE BY THE TOWN. THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. THIS SITE IS NOT WITHIN ANY FLOODPLAIN AND THERE ARE NO WETLANDS LOCATED ON SITE.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
10. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
11. THE ZONING RECORDATION INFORMATION, INCLUDING DATE AND RECEPTION NUMBER OR "THIS SITE IS ZONED I-2."
12. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
13. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
14. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
15. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
16. THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE HANGMAN'S GULCH ANNEXATION AND DEVELOPMENT AGREEMENT, RECORDED ON THE 25TH DAY OF MARCH, 2014 AT RECEPTION NO. 2014014187 AND ACCORDINGLY 2.0 SFE ARE DEBITED FROM THE WATER BANK.

FIRE NOTES

- 1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

HANGMAN'S GULCH FILING NO. 2
SITE DEVELOPMENT PLAN
A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

Sheet List Table
SHEET NUMBER SHEET TITLE
1 COVER SHEET
2 SITE PLAN
3 GRADING PLAN
4 DRAINAGE PLAN
5 UTILITY PLAN
6-10 BUILDING ELEVATIONS
11 LIGHTING PLAN
12 LANDSCAPE PLAN
13 SIGNAGE PLAN

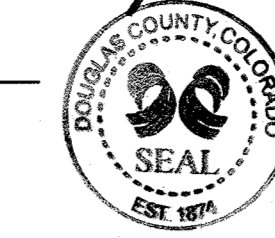


VICINITY MAP
PARKING CALCULATIONS: 1" = 150'.
MINI-WAREHOUSE = 1 SPACE/100 UNITS + 1 SPACE/EMPLOYEE
MINI-WAREHOUSE = 399/100 UNITS + 3 EMPLOYEES (ASSUMED)
TOTAL SPACES REQUIRED: 7 SPACES
SINGLE FAMILY EQUIVALENT (SFE) CALCULATIONS
USAGE AVERAGE DEMAND TAP SIZE SFE
DOMESTIC USAGE 375 GPD 3/4" 0.94
IRRIGATION USAGE 5,233 GPD 3/4" 13.10
TOTAL GPD 5,609 GPD TOTAL SFE 14.04

SITE DATA
DESCRIPTION ZONING REQUIREMENTS LOT 1 LOT 2
ZONING I-2 I-2 I-2
SITE AREA N/A 150,732.48 SF. 99,491.02 SF.
GROSS FLOOR AREA N/A 60,077 SF. 0
FAR N/A 39.9% 0
BUILDING COVERAGE N/A 60,077 SF. 0
NUMBER OF BUILDINGS N/A 8 0
HARD SURFACE N/A 54,362 SF. 66,396 SF.
LANDSCAPE AREA 10% 32,895 SF. 31,789 SF.
SETBACKS
-FRONT 15 15 0
-REAR 0 0 20
-SIDE 0 0 5
MAXIMUM HEIGHT 50' 18'-7" 0
PARKING REQUIREMENTS 7 11 (INCL. HC SPACE) 0
PARKING AREA N/A 2,084 SF. 66,396 SF.
PARKING AREA LANDSCAPE 163 SF. 429 SF. N/A

DOUGLAS COUNTY CLERK AND RECORDERS CERTIFICATE
THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 12:47 PM ON THE 10th DAY OF May, 2017 AT RECEPTION NO. 2017031392

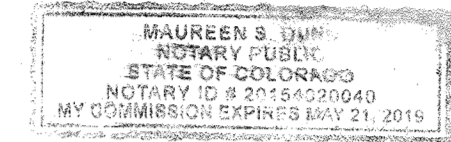
BY: Eric Stearns
DEPUTY CLERK



TITLE CERTIFICATION
I, Eric Stearns, AN AUTHORIZED REPRESENTATIVE OF COMMONWEALTH LAND TITLE INSURANCE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE, EXCEPT FOR DUDLEY TRUSS, LISTED IN RECEIPTION NO. 2002101983, DATED OCTOBER 3, 2002 AT RECEPTION NO. 2002101983.

AUTHORIZED REPRESENTATIVE COMMONWEALTH LAND TITLE INSURANCE COMPANY
SIGNED THIS 24th DAY OF April, 2017

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 24th DAY OF April, 2017 BY ERIC STEARNS AS AUTHORIZED REPRESENTATIVE OF COMMONWEALTH LAND TITLE INSURANCE COMPANY. WITNESS MY HAND AND OFFICIAL SEAL.

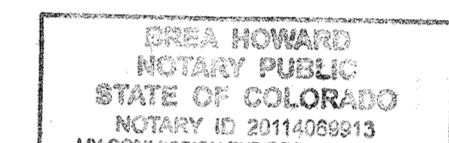


NOTARY PUBLIC
MY COMMISSION EXPIRES: 5-21-19

OWNERSHIP CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

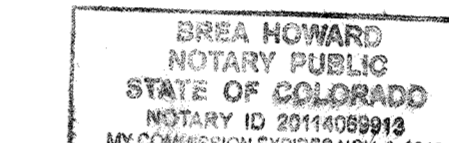
Adam B. Scott
ADAM B. SCOTT
SIGNED THIS 24 DAY OF April, 2017

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 24 DAY OF April, 2017 BY ADAM B. SCOTT AS AUTHORIZED REPRESENTATIVE OF ARBROATH, LLC. WITNESS MY HAND AND OFFICIAL SEAL.



NOTARY PUBLIC
MY COMMISSION EXPIRES: NOV 1, 2019

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 24 DAY OF April, 2017 BY KYLE A. SCOTT AS AUTHORIZED REPRESENTATIVE OF ARBROATH, LLC. WITNESS MY HAND AND OFFICIAL SEAL.



NOTARY PUBLIC
MY COMMISSION EXPIRES: NOV 1, 2019

CIVIL ENGINEER'S STATEMENT
I, RICHARD J. WEED BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.



RICHARD J. WEED PLS 22076 DATE 4-21-17
FOR AND ON BEHALF OF ATWELL

SURVEYOR'S CERTIFICATE
I, SHAWN D. CLARKE, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT I HAVE REVIEWED THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.



SHAWN D. CLARKE PLS 38061 DATE 4-21-17
FOR AND ON BEHALF OF ATWELL

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
DEVELOPER: ARBROATH, LLC
LAND SURVEYOR: ATWELL, LLC

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK ON THE 4th DAY OF MAY, 2017.
DIRECTOR OF DEVELOPMENT SERVICES: JEFF FRENCH

1209 5/4/17
DIRECTOR OF DEVELOPMENT SERVICES

TRACT USE TABLE
TRACT NAME USE OWNERSHIP MAINTENANCE
TRACT A STORM WATER DETENTION OWNER

HANGMAN'S GULCH FILING NO. 2
SIDE DEVELOPMENT PLAN
PROJECT NO. SDP 16-0026

BENCHMARK:
NGS BENCH MARK Q 337
3.5" BRASS DISK SET FLUSH IN THE RAIL ROAD BRIDGE ABUTMENT LOCATED IN SEC. 2, T 8 S, R 67 W OF THE 6TH P.M., 1.3 MI (2.09 KM) NORTH OF CASTLE ROCK, ON THE DENVER AND RIO GRANDE TRACKS, 6 FT (1.83 M) WEST OF THE WEST RAIL OF THE MAIN TRACK, TOP WEST END RAIL, NORTH ABUTMENT OF THE BRIDGE WALL, BRIDGE NO. 30.21.
ELEVATION = 6153.20 FEET (NAV88)

811 Know what's below. Call before you dig.
ATWELL 866.850.4200 www.atwell-group.com
REVISIONS: SDP REV. 1 - 07/27/16, SDP REV. 2 - 09/20/16, SDP REV. 3 - 02/13/17, SDP REV. 4 - 04/11/17
DATE: 06/03/16
DR: JSE CH: KR
JOB: 15001241
PROJECT NAME: CASTLE LOCK II
SHEET NAME: COVER SHEET
SHEET NO.: 1

HANGMAN'S GULCH FILING NO. 2

SITE DEVELOPMENT PLAN

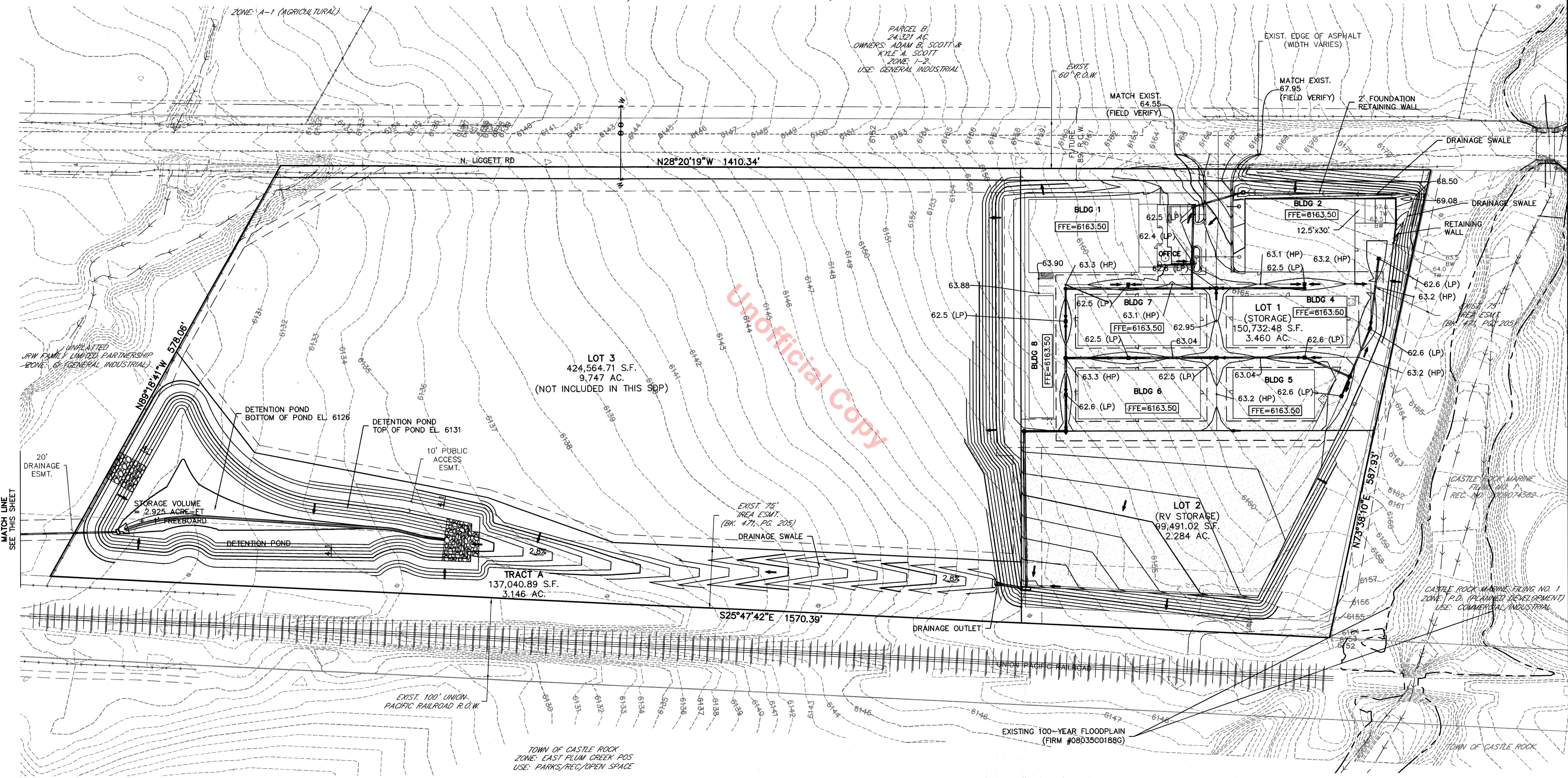
A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

811
Know what's below. Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

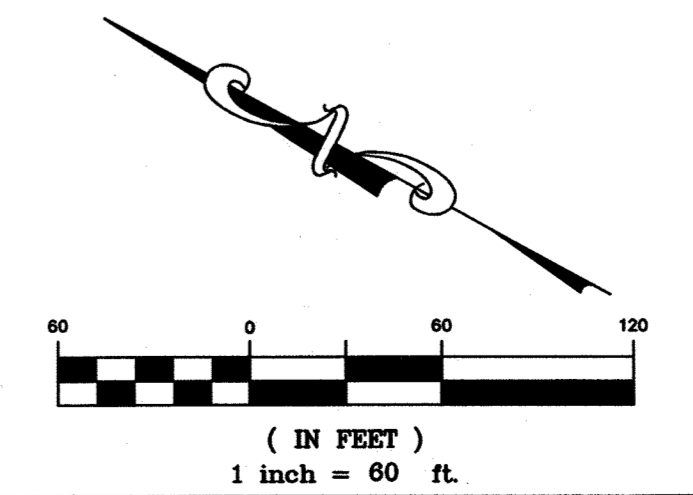
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ATWELL
866.850.4200 www.atwell-group.com
143 UNION BOULEVARD, SUITE 700
LAKEWOOD, CO 80228
303.462.1100



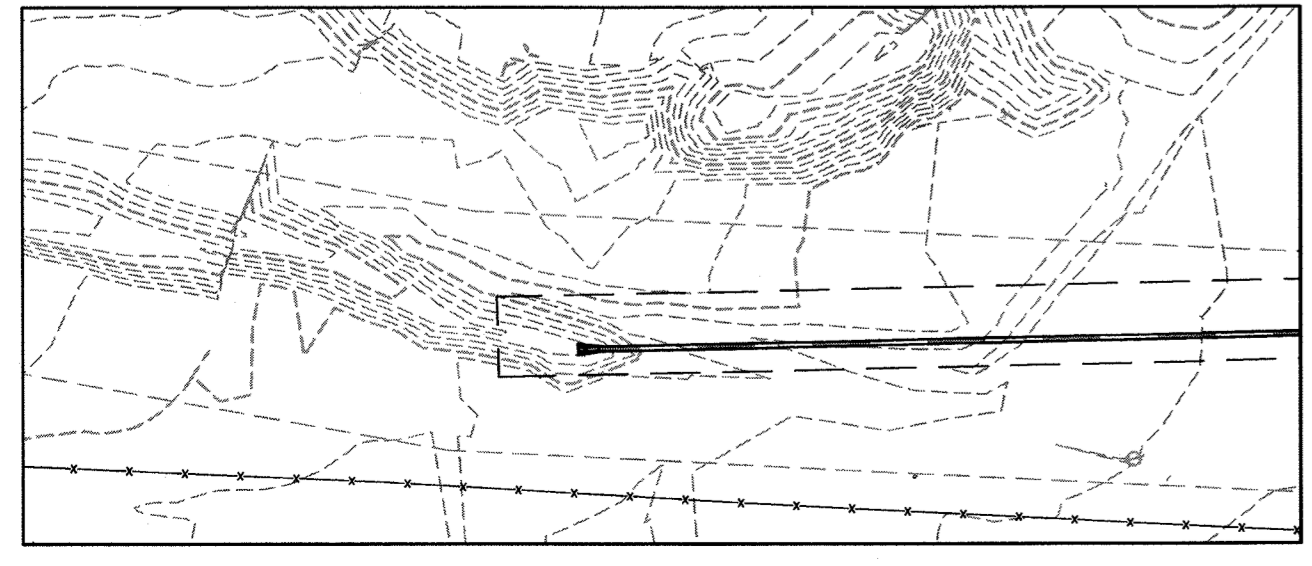
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	CUT	FILL	FILL +10% SHRINK (CY)	TOTAL	
OVERALL TOTAL	16,617	28,777	31,655	15,038	SHORT



BENCHMARK:
NGS BENCH MARK Q 337
3.5" BRASS DISK SET FLUSH IN THE RAIL ROAD BRIDGE ABUTMENT LOCATED IN SEC. 2, T 8 S, R 67 W OF THE 6TH P.M., 1.3 MI (2.09 KM) NORTH OF CASTLE ROCK, ON THE DENVER AND RIO GRANDE TRACKS, 6 FT (1.83 M) WEST OF THE WEST RAIL OF THE MAIN TRACK, TOP WEST END RAIL, NORTH ABUTMENT OF THE BRIDGE WALL, BRIDGE NO. 30.21.
ELEVATION = 6153.20 FEET (NAVD88)

ABBROATH, LLC 2034 LIGGETT ROAD CASTLE ROCK, CO 80109 303.588.6005 KYLE SCOTT
REVISIONS
SDP REV. 1 - 07/27/16
SDP REV. 2 - 09/20/16
SDP REV. 3 - 02/13/17
SDP REV. 4 - 04/11/17
DATE 06/03/16
DR. JSE CH. KR
P.M. KR
BOOK ---
JOB 15001241
PROJECT NAME CASTLE LOCK II
SHEET NAME GRADING PLAN
SHEET NO. 3



LEGEND

- PROPERTY BOUNDARY
- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- EXISTING SECTION LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED STORM
- EXISTING STORM
- DRAINAGE BASIN BOUNDARY
- △ DESIGN POINT

AREA IN ACRES — **A-5** — BASIN DESIGNATION
 0.28119 — 5-YEAR RUNOFF
 0.28119 — 100-YEAR RUNOFF

HANGMAN'S GULCH FILING NO. 2

SITE DEVELOPMENT PLAN

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

RUNOFF SUMMARY TABLE

DESIGN POINT	BASIN	Q5 (CFS)	Q100 (CFS)
1	A-1	0.36	0.94
2	A-2	0.31	0.71
2.1	A-1, A-2	0.65	1.60
3	A-3	0.36	0.74
M1	A-1 to A-3	0.98	2.28
4	A-4	0.77	1.47
4.1	A-1 to A-4	1.68	3.63
5	A-5	0.30	0.74
L-1	L-1	0.87	2.54
M2	L-1, A-5	1.11	3.13
6	A-6	0.40	0.75
M3	L-1, A-5, A-6	1.42	3.71
7	A-7	1.20	2.30
8	A-8	1.14	2.18
9	A-9	0.83	1.67
9.1	L-1, A-5, A-6, A-7, A-8, A-9	3.98	8.70
10	A-10	0.96	1.82
10.1	L-1, A-5, A-6, A-7, A-8, A-9, A-10	6.14	13.17
11	A-11	1.03	1.97
11.1	L-1, A-5, A-6, A-7, A-8, A-9, A-10, A-11	6.88	14.60
12	A-12	0.72	1.41
M4	L-1, A-5, A-6, A-7, A-8, A-9, A-10, A-11, A-12	7.39	15.61
13	A-13	0.46	0.87
13.1	L-1, A-5, A-6, A-7, A-8, A-9, A-10, A-11, A-12, A-13	7.71	16.24
14	A-14	8.37	15.51
14.1	L-1, A-5, A-6, A-7, A-8, A-9, A-10, A-11, A-12, A-13, A-14	13.80	27.70

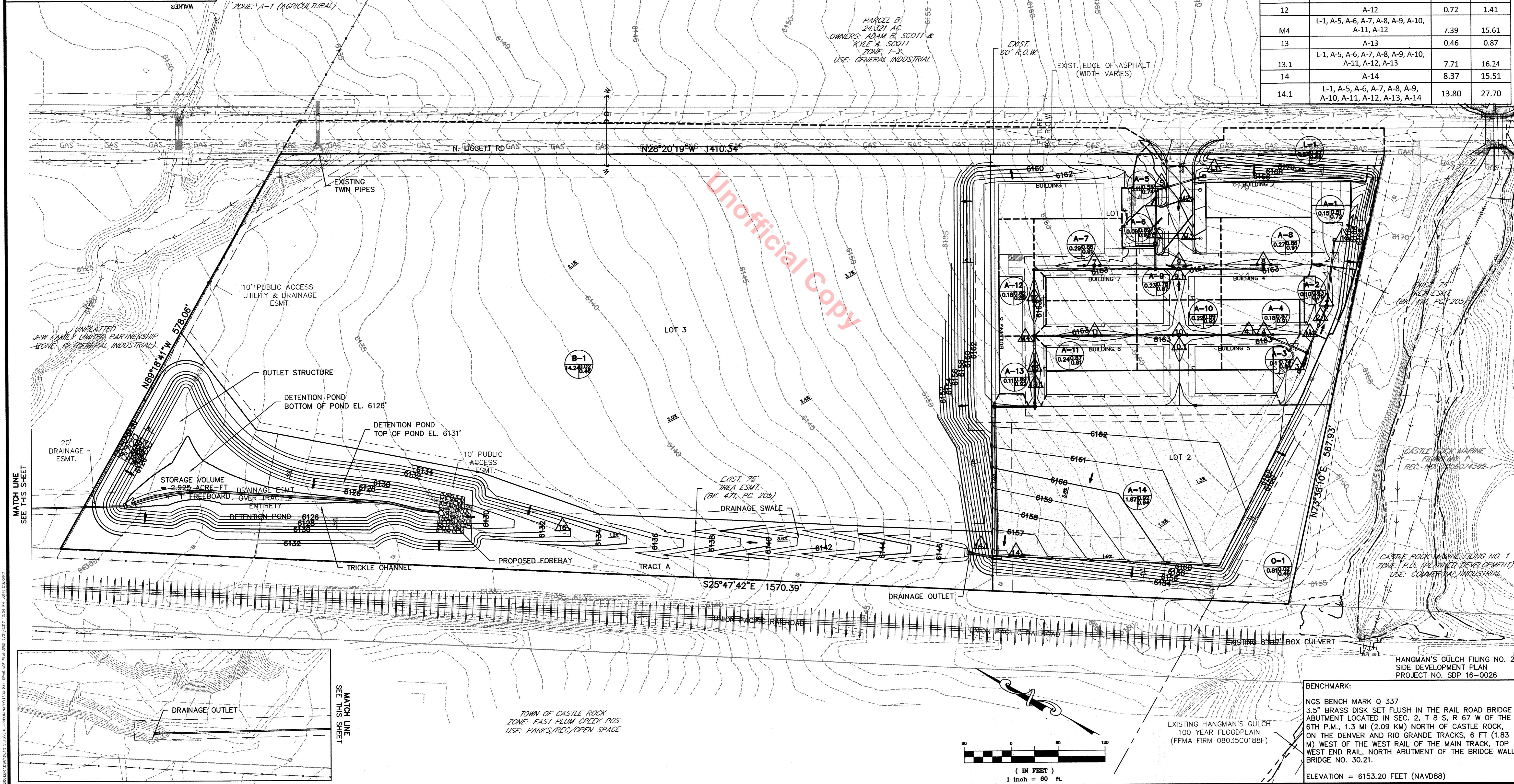
811
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 CASTLE ROCK, CO 80109
 303.588.6005
 KYLE SCOTT

REVISIONS

SDP REV. 1	07/27/16
SDP REV. 2	09/20/16
SDP REV. 3	02/13/17
SDP REV. 4	04/11/17

DATE 06/03/16
 DR. JSE | CH. KR
 P.M. KR
 BOOK ---
 JOB 15001241
 PROJECT NAME CASTLE LOCK II
 SHEET NAME DRAINAGE PLAN
 SHEET NO. 4

GAD FILE: 15001241-DRAINAGE PLAN.DWG

HANGMAN'S GULCH FILING NO. 2

SITE DEVELOPMENT PLAN

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND	
	PROPERTY BOUNDARY
	PROPOSED RIGHT-OF-WAY
	EXISTING RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED SANITARY
	EXISTING SANITARY
	PROPOSED SANITARY SERVICE
	EXISTING SANITARY SERVICE
	PROPOSED STORM
	EXISTING STORM
	PROPOSED WATER
	EXISTING WATER
	PROPOSED WATER SERVICE
	EXISTING WATER SERVICE
	PROPOSED HYDRANT
	EXISTING HYDRANT
	PROPOSED WATER VALVE

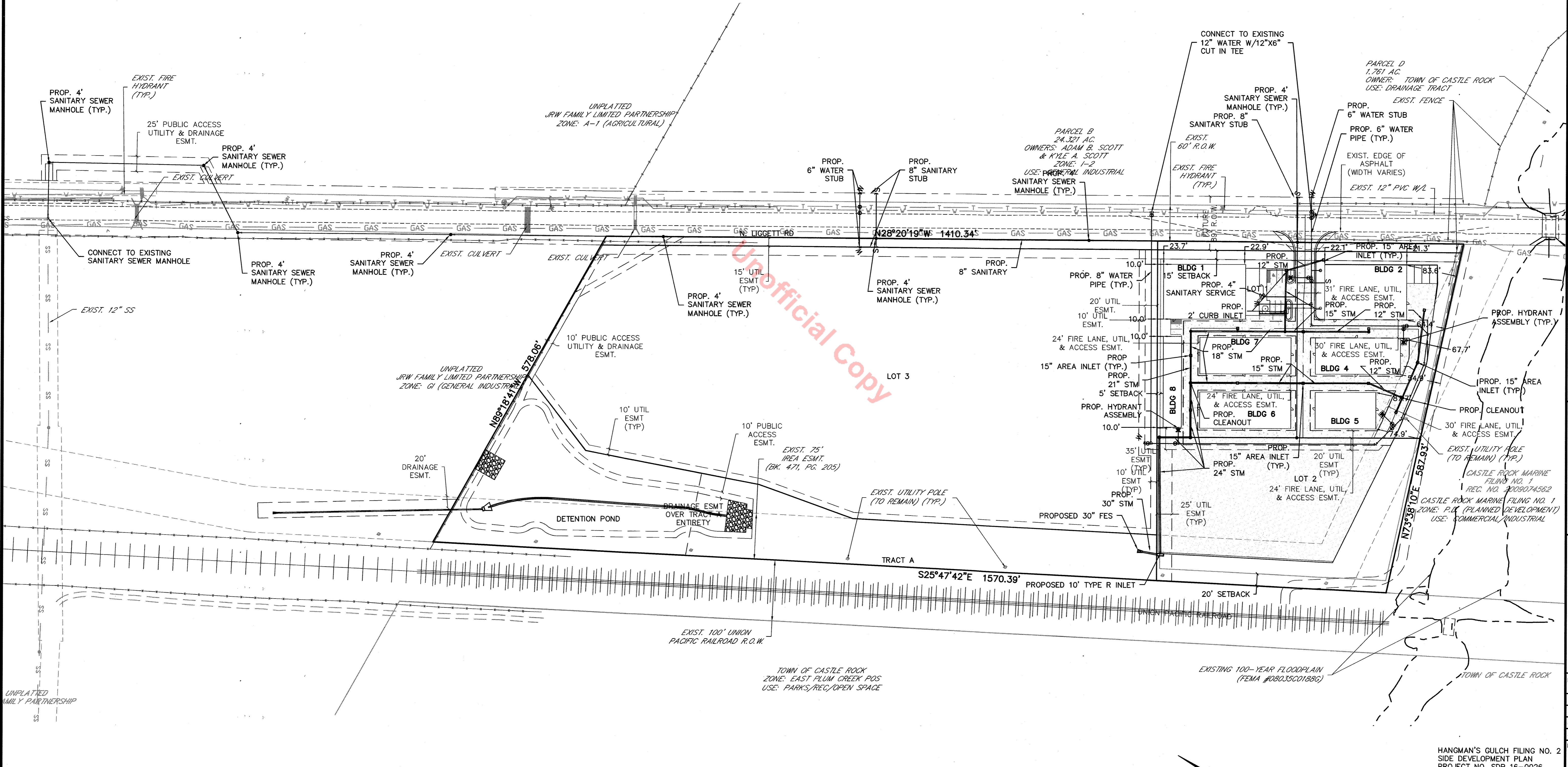
811
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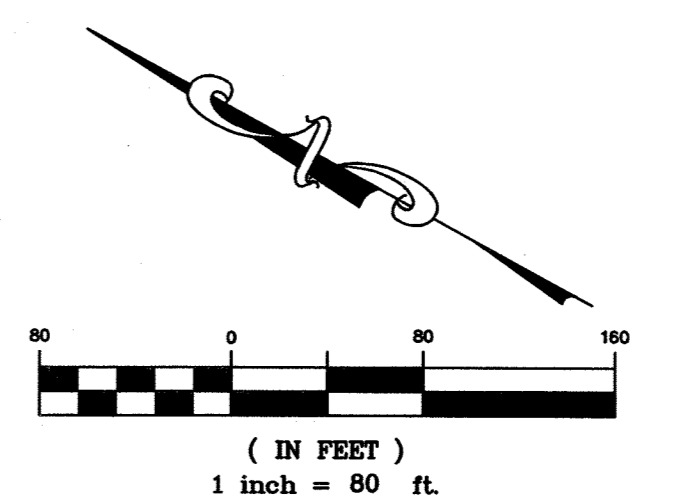
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- NOTES**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW (2) WATER PRESSURE ZONE.



BENCHMARK:
NGS BENCH MARK Q 337
3.5" BRASS DISK SET FLUSH IN THE RAIL ROAD BRIDGE ABUTMENT LOCATED IN SEC. 2, T 8 S, R 67 W OF THE 6TH P.M., 1.3 MI (2.09 KM) NORTH OF CASTLE ROCK, ON THE DENVER AND RIO GRANDE TRACKS, 6 FT (1.83 M) WEST OF THE WEST RAIL OF THE MAIN TRACK, TOP WEST END RAIL, NORTH ABUTMENT OF THE BRIDGE WALL, BRIDGE NO. 30.21.

ELEVATION = 6153.20 FEET (NAVD88)

ARBOATH, LLC 2034 LIGGETT ROAD CASTLE ROCK, CO 80109 303.686.6005 KYLE SCOTT
--

REVISIONS	
SDP REV. 1 - 07/27/16	
SDP REV. 2 - 09/20/16	
SDP REV. 3 - 02/13/17	
SDP REV. 4 - 04/11/17	

DATE	06/03/16
DR.	JSE
CH.	KR
P.M.	KR
BOOK	--
JOB	15001241
PROJECT NAME	CASTLE LOCK II
SHEET NAME	UTILITY PLAN
SHEET NO.	5

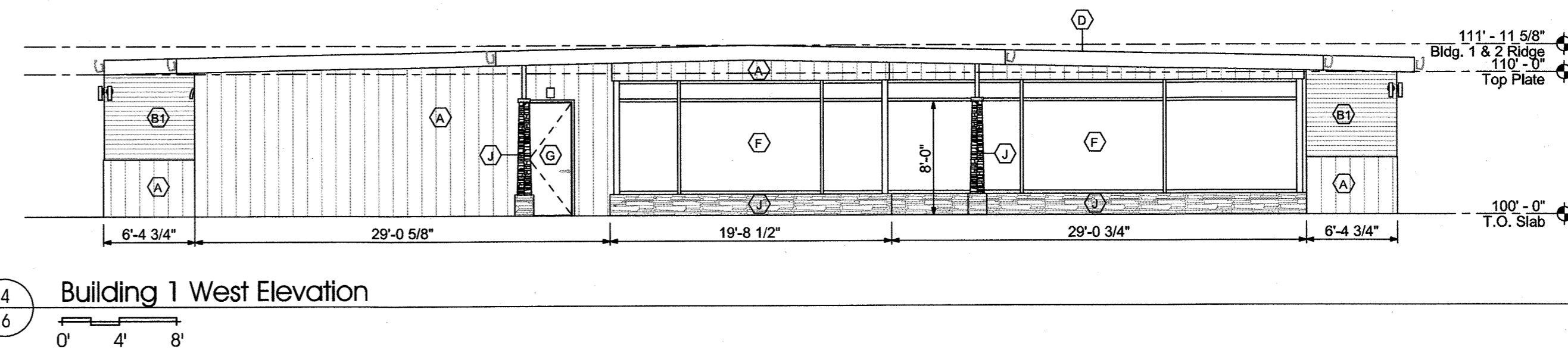
HANGMAN'S GULCH FILING NO. 2

SITE DEVELOPMENT PLAN

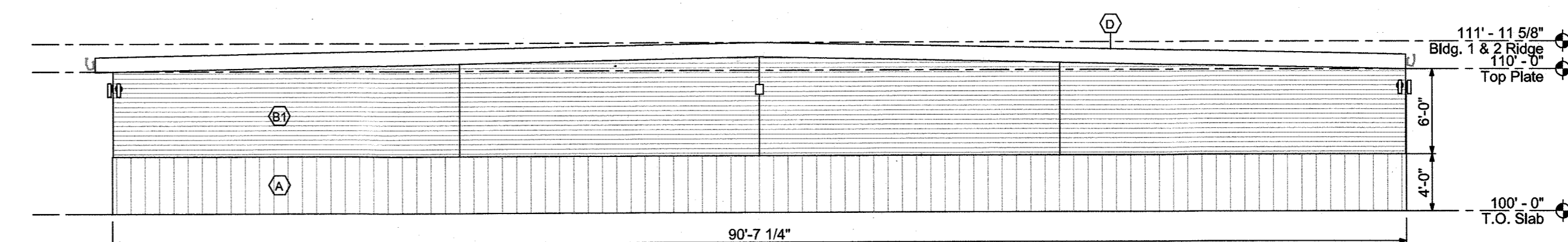
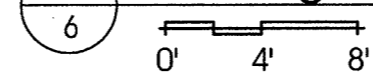
A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO

Material Legend

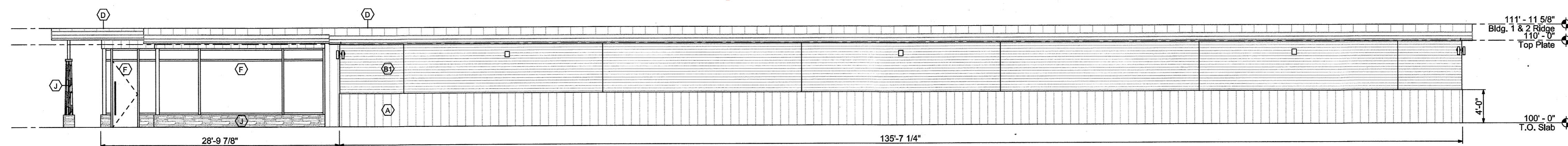
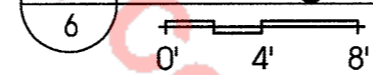
- (A) Metal: Metal Sales; Prefinished, PVDF Kynar 500, 24 ga.; Industrial Rib/Deep Rib Series; 2" deep rib; color: Mistique Plus (W31); vertical orientation.
- (B) Metal: Metal Sales; Prefinished, PVDF Kynar 500, 24 ga.; 7/8" Corrugated; color: Taupe (74); horizontal orientation.
- (C) Not used.
- (D) Not used.
- (E) Metal Roof: Metal Sales; Prefinished, PVDF Kynar 500, 24 ga. Magna-Loc 180, 16" coverage, 2" rib height, with pencil ribs; color: Ash Grey (25).
- (F) Overhead Colling Door: Janus International or equivalent; Prefinished/painted colling metal door and steel roll-up frame; color: to match Ash Grey (25).
- (G) Storefront: Vistawall or equal; finish: clear anodized.
- (H) Location: Office entry storefront doors and glazing.
- (I) Hollow Metal Door: Prefinished/painted hollow metal door; color: to match Ash Grey (25).



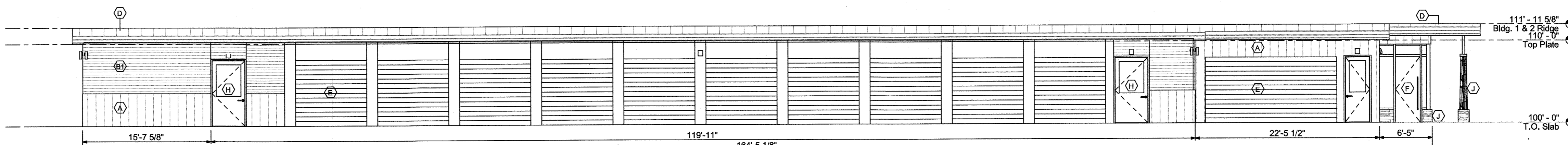
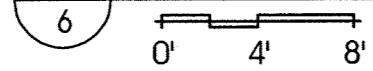
4 Building 1 West Elevation



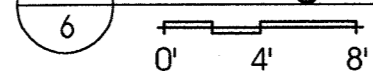
3 Building 1 East Elevation



2 Building 1 South Elevation



1 Building 1 North Elevation



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HANGMAN'S GULCH FILING NO. 2
SIDE DEVELOPMENT PLAN
PROJECT NO. SDP 16-0026

BENCHMARK:	SHEET NAME
NGS BENCH MARK Q 337 3.5" BRASS DISK SET FLUSH IN THE RAIL ROAD BRIDGE ABUTMENT LOCATED IN SEC. 2, T 8 S, R 67 W OF THE 6TH P.M., 1.3 MI (2.09 KM) NORTH OF CASTLE ROCK, ON THE DENVER AND RIO GRANDE TRACKS, 6 FT (1.83 M) WEST OF THE WEST RAIL OF THE MAIN TRACK, TOP WEST END RAIL, NORTH ABUTMENT OF THE BRIDGE WALL, BRIDGE NO. 30.21.	Building Elevations
ELEVATION = 6153.20 FEET (NAVD88)	SHEET NO. 6



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303.588.6005
KYLE SCOTT

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SDP REV. 2 - 09/20/16	
SDP REV. 3 - 02/13/17	

DATE	06/03/16
DR. SE	CH.
P.M. JS	
BOOK	
JOB	15001241

PROJECT NAME
CASTLE LOCK II

SHEET NAME	Building Elevations
SHEET NO.	6

HANGMAN'S GULCH FILING NO. 2

SITE DEVELOPMENT PLAN

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



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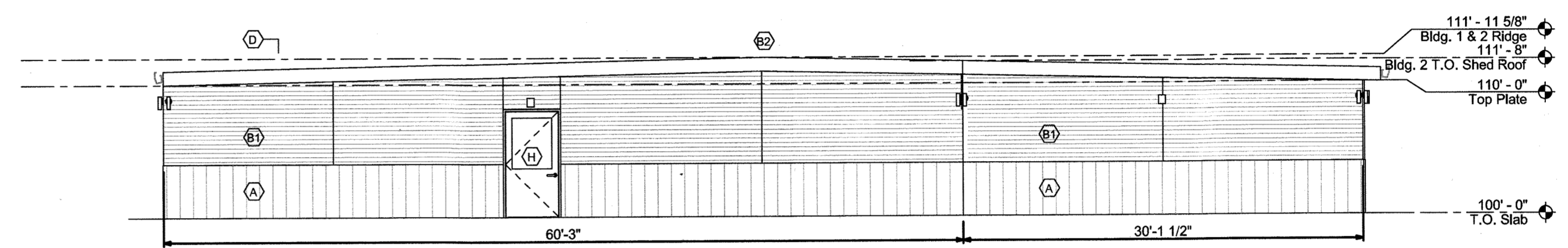
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 2024 LOCETT ROAD
 CASTLE ROCK, CO 80109
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 KYLE SCOTT

REVISIONS	
SDP REV. 1	07/27/16
SDP REV. 2	09/20/16
SDP REV. 3	02/13/17

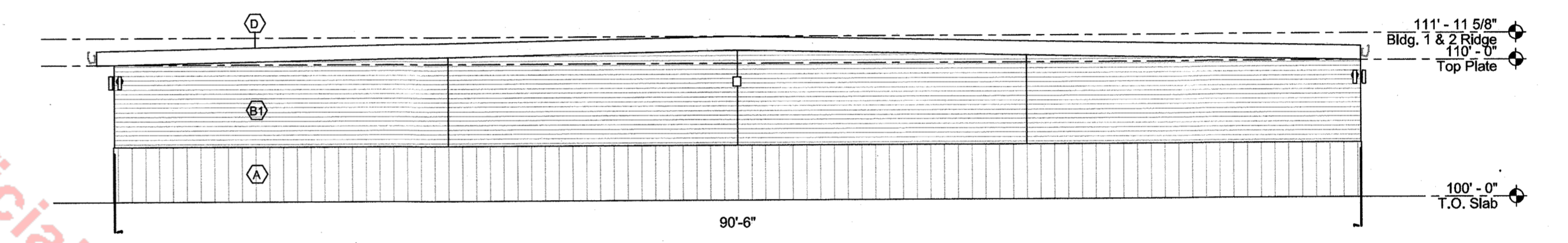
DATE	06/03/16
DR.	SE CH.
P.M.	JS
BOOK	--
JOB	15001241

PROJECT NAME
CASTLE LOCK II

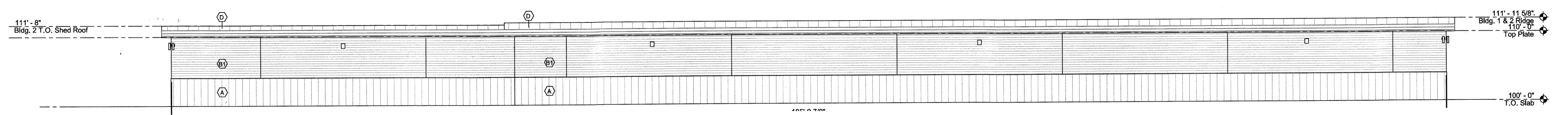
SHEET NAME
Building Elevations
SHEET NO.
7



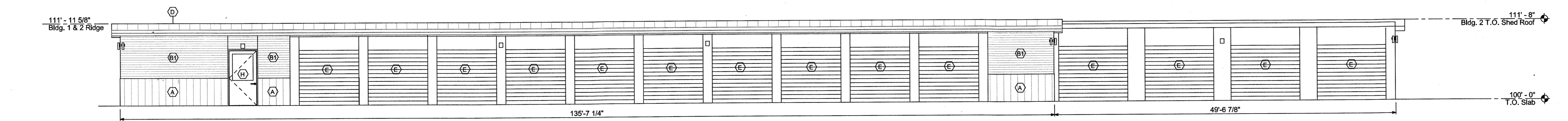
4 Building 2 West Elevation
Scale: 0' 4' 8'



3 Building 2 East Elevation
Scale: 0' 4' 8'



2 Building 2 South Elevation
Scale: 0' 4' 8'



1 Building 2 North Elevation
Scale: 0' 4' 8'

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HANGMAN'S GULCH FILING NO. 2
SIDE DEVELOPMENT PLAN
PROJECT NO. SDP 16-0026

BENCHMARK:
 NGS BENCH MARK Q 337
 3.5" BRASS DISK SET FLUSH IN THE RAIL ROAD BRIDGE ABUTMENT LOCATED IN SEC. 2, T 8 S, R 67 W OF THE 6TH P.M., 1.3 MI (2.09 KM) NORTH OF CASTLE ROCK, ON THE DENVER AND RIO GRANDE TRACKS, 6 FT (1.83 M) WEST OF THE WEST RAIL OF THE MAIN TRACK, TOP WEST END RAIL, NORTH ABUTMENT OF THE BRIDGE WALL, BRIDGE NO. 30.21.
 ELEVATION = 6153.20 FEET (NAVD88)

CAD FILE: 1602 - SDP SHEET 7.DWG

HANGMAN'S GULCH FILING NO. 2

SITE DEVELOPMENT PLAN

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



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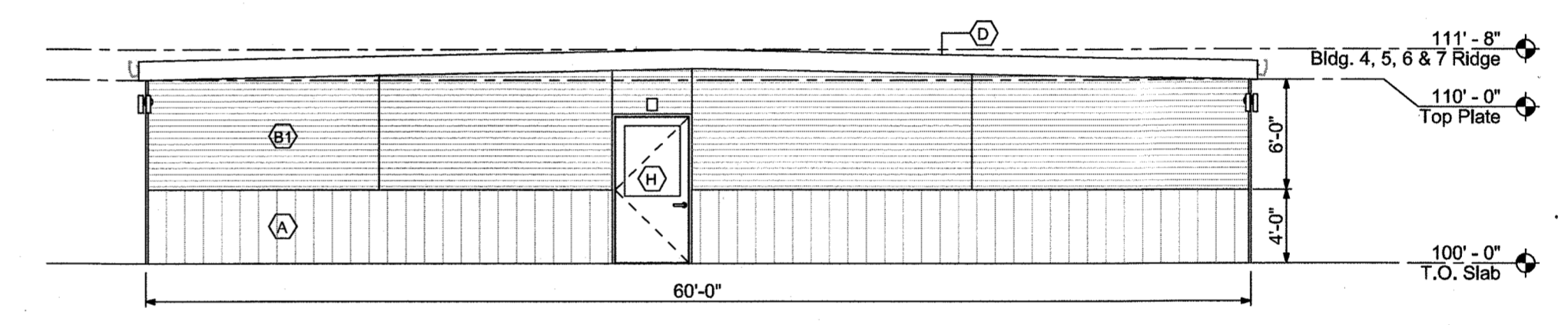
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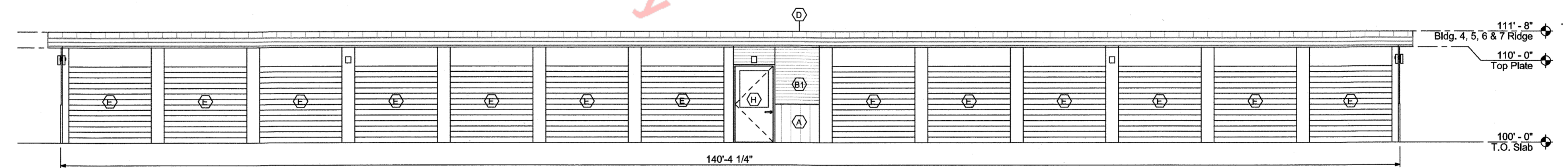


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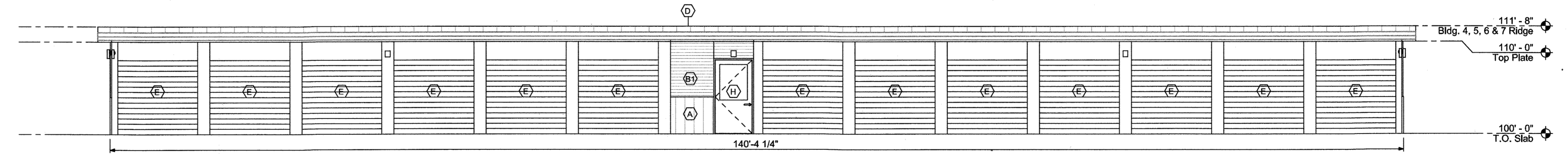
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3 Building 4 East Elevation
8
0' 4' 8'



2 Building 4 South Elevation
8
0' 4' 8'



1 Building 4 North Elevation
8
0' 4' 8'

ARBROATH, LLC
2034 LIGGETT ROAD
CASTLE ROCK, CO 80109
303.588.6005
KYLE SCOTT

REVISIONS	
SDP REV. 1	07/27/16
SDP REV. 2	09/20/16
SDP REV. 3	02/13/17

DATE	06/03/16	
DR.	SE	CH.
P.M.	J.S.	
BOOK	--	
JOB	15001241	

HANGMAN'S GULCH FILING NO. 2
SIDE DEVELOPMENT PLAN
PROJECT NO. SDP 16-0026

BENCHMARK:
NGS BENCH MARK Q 337
3.5" BRASS DISK SET FLUSH IN THE RAIL ROAD BRIDGE ABUTMENT LOCATED IN SEC. 2, T 8 S, R 67 W OF THE 6TH P.M., 1.3 MI (2.09 KM) NORTH OF CASTLE ROCK, ON THE DENVER AND RIO GRANDE TRACKS, 6 FT (1.83 M) WEST END RAIL OF THE MAIN TRACK, TOP WEST END RAIL, NORTH ABUTMENT OF THE BRIDGE WALL, BRIDGE NO. 30.21.
ELEVATION = 6153.20 FEET (NAVD88)

PROJECT NAME	CASTLE LOCK II
SHEET NAME	Building Elevations
SHEET NO.	8

HANGMAN'S GULCH FILING NO. 2

SITE DEVELOPMENT PLAN

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



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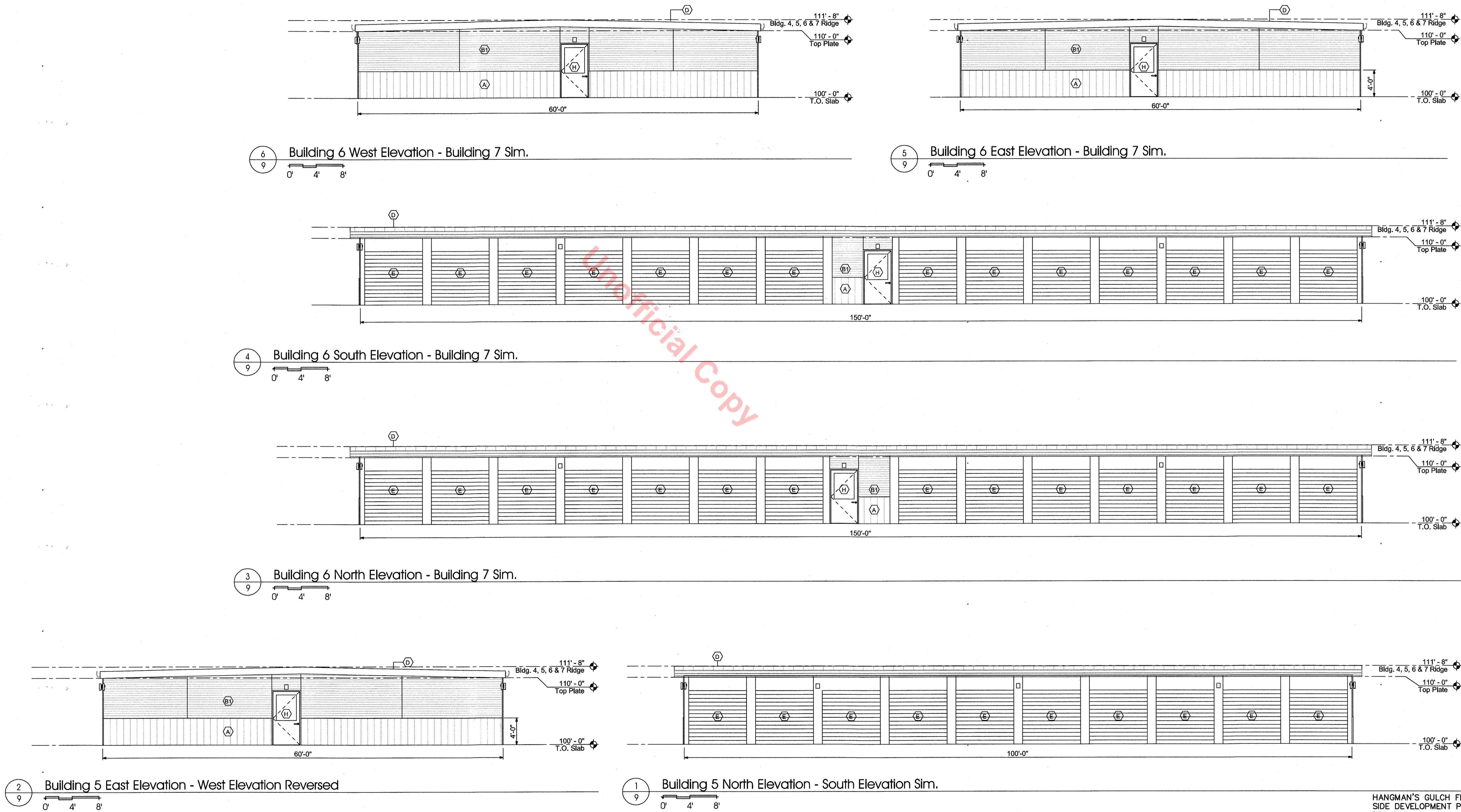
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2034 LUCETT ROAD
CASTLE ROCK, CO 80109
303.588.6005
KYLE SCOTT

REVISIONS	
SDP REV. 1	07/27/16
SDP REV. 2	09/20/16
SDP REV. 3	02/13/17

DATE	06/03/16	
DR.	SE	CH.
P.M.	JS	
BOOK	--	
JOB	15001241	

PROJECT NAME: HANGMAN'S GULCH FILING NO. 2
SIDE DEVELOPMENT PLAN
PROJECT NO. SDP 16-0026

SHEET NAME	Building Elevations
SHEET NO.	9



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BENCHMARK:
NGS BENCH MARK Q 337
3.5" BRASS DISK SET FLUSH IN THE RAIL ROAD BRIDGE ABUTMENT LOCATED IN SEC. 2, T 8 S, R 67 W OF THE 6TH P.M., 1.3 MI (2.09 KM) NORTH OF CASTLE ROCK, ON THE DENVER AND RIO GRANDE TRACKS, 6 FT (1.83 M) WEST OF THE WEST RAIL OF THE MAIN TRACK, TOP WEST END RAIL, NORTH ABUTMENT OF THE BRIDGE WALL, BRIDGE NO. 30.21.
ELEVATION = 6153.20 FEET (NAVD88)

HANGMAN'S GULCH FILING NO. 2

SITE DEVELOPMENT PLAN

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



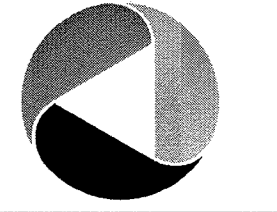
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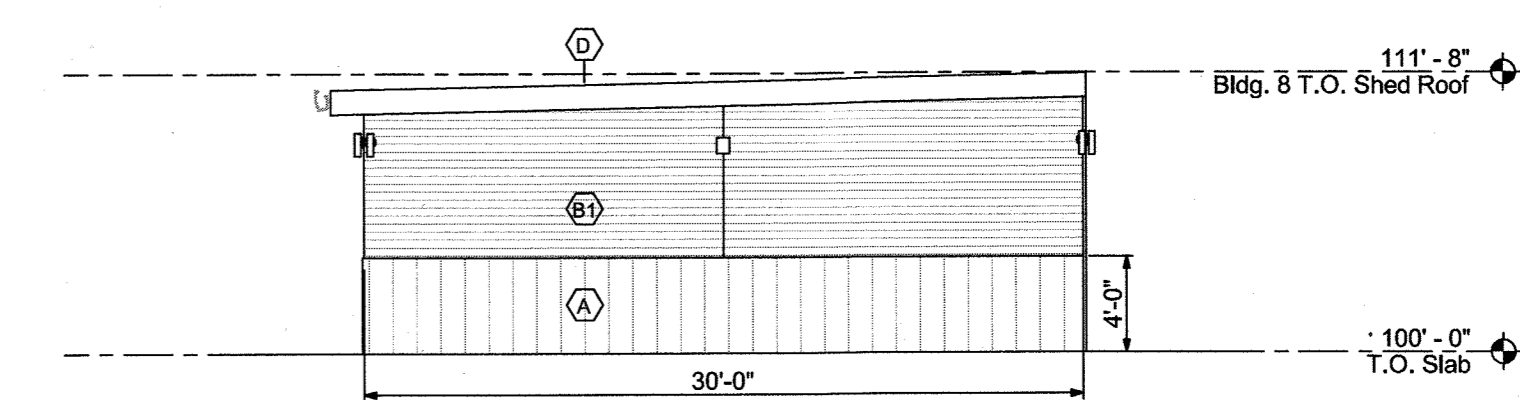
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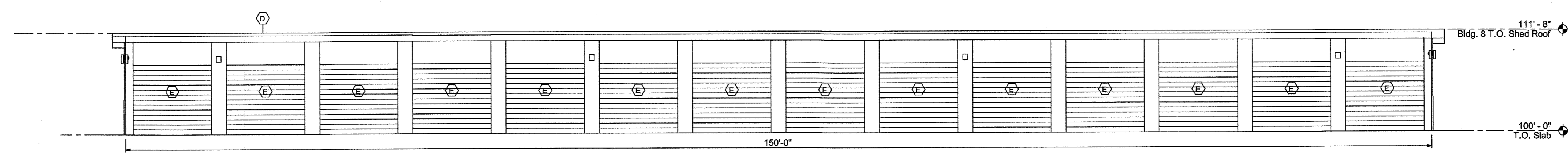


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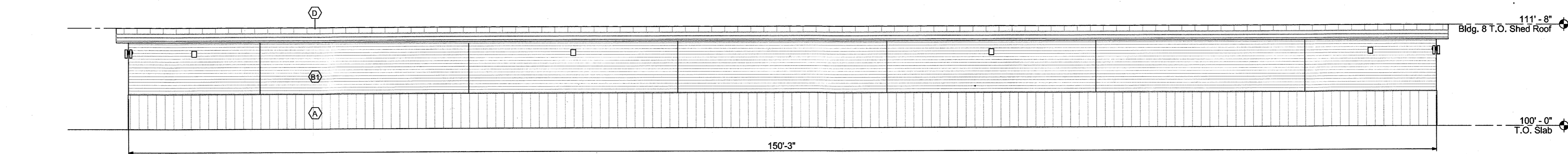
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3
10 Building 8 North Elevation - South Elevation Reversed
0' 4' 8'



2
10 Building 8 West Elevation
0' 4' 8'



1
10 Building 8 East Elevation
0' 4' 8'

ARRBROATH, LLC
2034 LISGETT ROAD
CASTLE ROCK, CO 80109
303.598.6005
KYLE SCOTT

REVISIONS	
SDP REV. 1	07/27/16
SDP REV. 2	09/20/16
SDP REV. 3	02/13/17

DATE	06/03/16
DR.	SE
P.M.	JS
BOOK	--
JOB	15001241

HANGMAN'S GULCH FILING NO. 2
SIDE DEVELOPMENT PLAN
PROJECT NO. SDP 16-0026

BENCHMARK:
NGS BENCH MARK Q 337
3.5" BRASS DISK SET FLUSH IN THE RAIL ROAD BRIDGE ABUTMENT LOCATED IN SEC. 2, T 8 S, R 67 W OF THE 6TH P.M., 1.3 MI (2.09 KM) NORTH OF CASTLE ROCK, ON THE DENVER AND RIO GRANDE TRACKS, 6 FT (1.83 M) WEST OF THE WEST RAIL OF THE MAIN TRACK, TOP WEST END RAIL, NORTH ABUTMENT OF THE BRIDGE WALL, BRIDGE NO. 30.21.
ELEVATION = 6153.20 FEET (NAVD88)

PROJECT NAME	CASTLE LOCK II
SHEET NAME	Building Elevations
SHEET NO.	10

HANGMAN'S GULCH FILING NO. 2

SITE DEVELOPMENT PLAN

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH A PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO



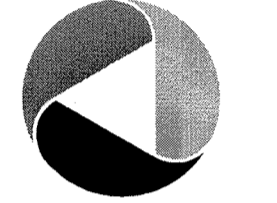
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866.850.4200 www.atwell-group.com
143 UNION BOULEVARD, SUITE 700
LAKEWOOD, CO 80228
303.462.1100



Saiber
SAIBER ARCHITECTURE
255 Clayton Street #300
Denver Colorado 80206
303.388.3313
saibersaiber.com

ABBROATH, LLC
2034 LISGETT ROAD
CASTLE ROCK, CO 80109
303.988.6005
KYLE SCOTT

REVISIONS	
SDP REV. 1 - 07/27/16	
SDP REV. 2 - 09/20/16	
SDP REV. 3 - 02/13/17	

DATE 06/03/16

DR. SE CH.

P.M. JS

BOOK --

JOB 15001241

PROJECT NAME

CASTLE LOCK II

SHEET NAME

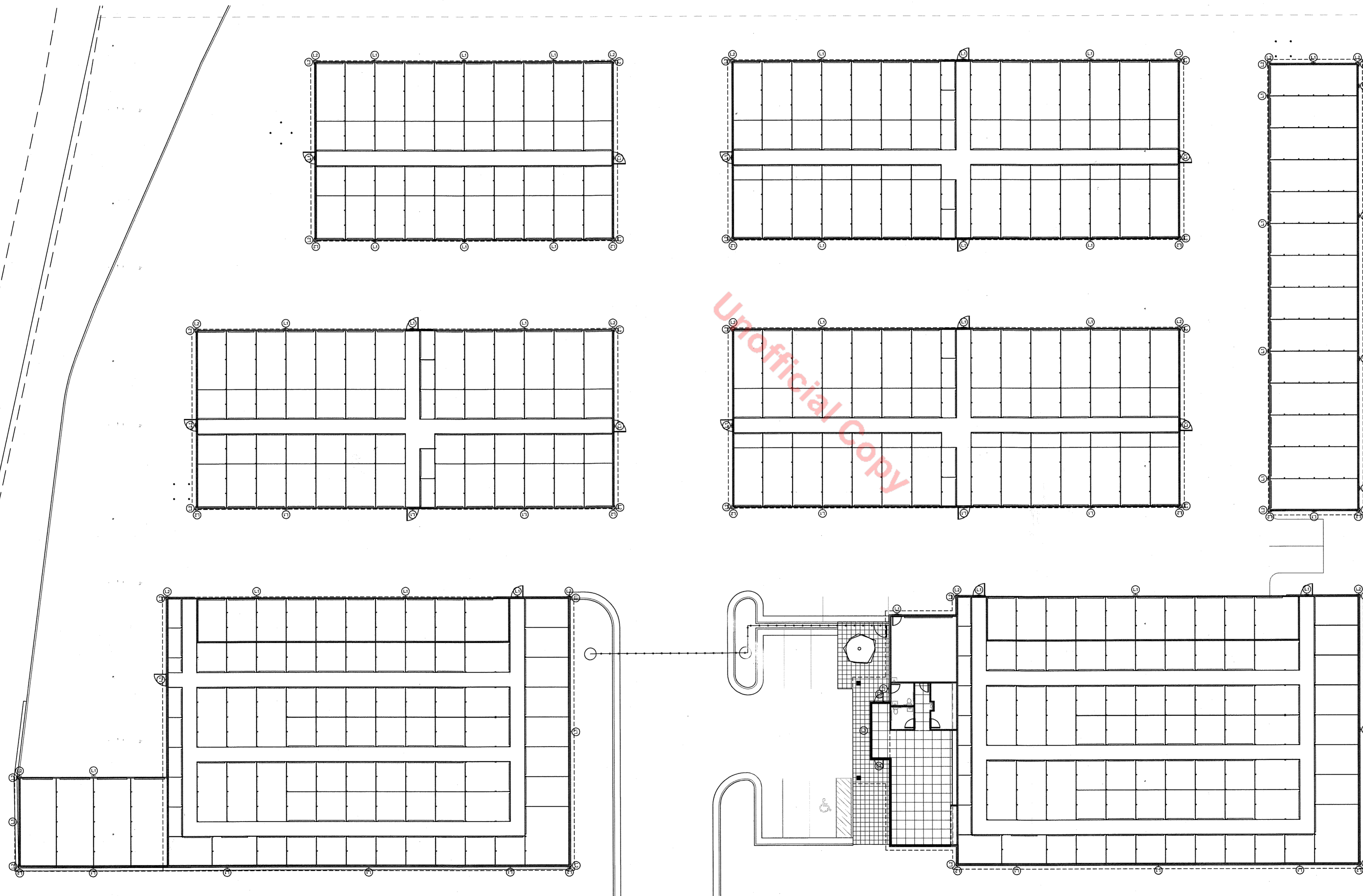
Lighting Plan

SHEET NO.

11

ELEVATION = 6153.20 FEET (NAVD88)

CAD FILE: 1602 - SDP SHEET 11.DWG



1
11 Exterior Building Lighting Locations
0' 10' 20'

- Lighting Legend
- ⊙ Lumark; XTOR3A-N-WT
 - ⊙ B-K Lighting; Catskill; CK-LED-x31-FL-SAP-9-11-A
 - ⊙ 9W recessed LED downlight in soffit

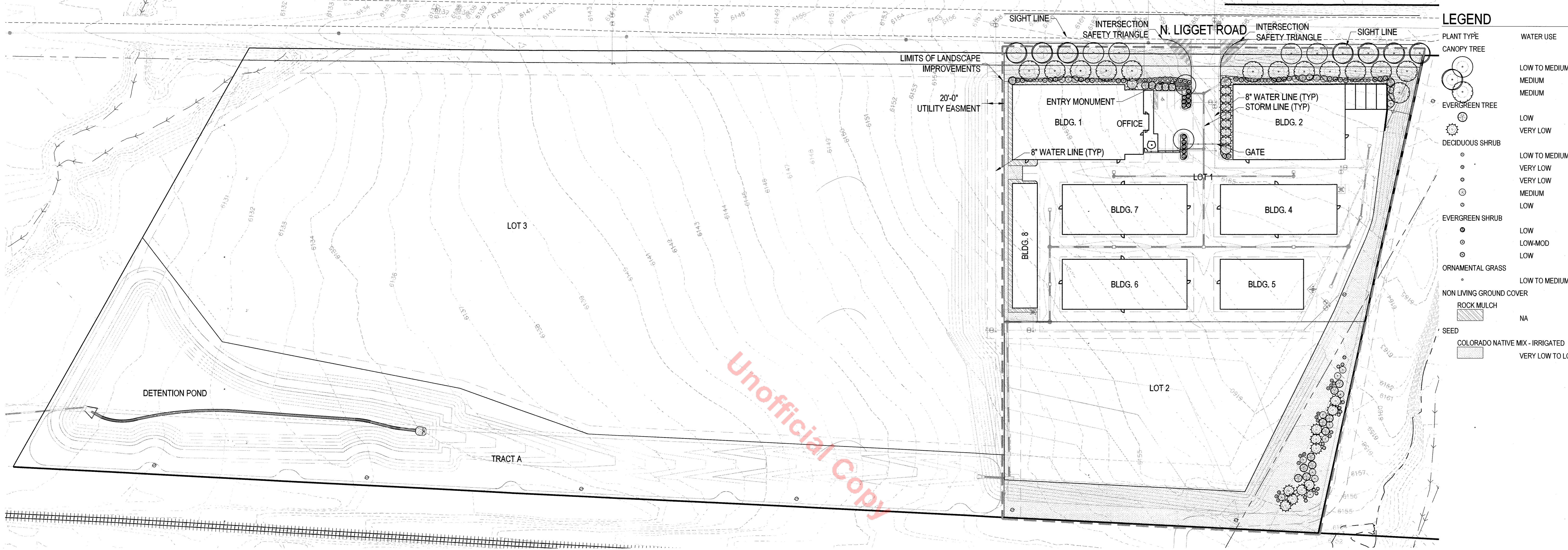
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PROJECT NO. SDP 16-0026

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SITE DEVELOPMENT PLAN

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811
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1-303.531.4905, 1-303.531.4908

1 CONCEPTUAL LANDSCAPE PLAN

LANDSCAPE CALCULATIONS

LOT	SITE AREA	LANDSCAPE AREA		TURF GRASS LIST SPECIES IN SF	NONLIVING MATERIAL IN SF	TREES		SHRUBS		SOIL PREP AMOUNT IN CU YDS	SEPARATE IRRIGATION SERVICE CONNECTIONS
		REQUIRED	PROVIDED			REQUIRED	PROVIDED	REQUIRED	PROVIDED		
LOT 1	150,732 SF	15,073 SF	32,895 SF	SF IRRIGATED COLORADO NATIVE MIX	SF ROCK MULCH	31	31	61	88	4 CU YDS / 1000 SF 32,895 / 1000 = 32.89 32.89 X 4 = 132 CY	YES
LOT 2	99,491 SF	9,949 SF	31,790 SF	SF IRRIGATED COLORADO NATIVE MIX	SF ROCK MULCH	20	20	40	40	4 CU YDS / 1000 SF 31,790 / 1000 = 31.79 31.79 X 4 = 127 CY	YES
TOTAL	250,223 SF	25,022 SF	64,685 SF	SF IRRIGATED COLORADO NATIVE MIX	SF ROCK MULCH	51	51	101	128	4 CU YDS / 1000 SF 64,685 / 1000 = 64.68 64.68 X 4 = 259 CY	YES

REQUIREMENT:
10% OF GROSS SITE AREA SHALL RECEIVE LANDSCAPED IMPROVEMENTS.
2 TREES FOR EACH 1000 SF OF REQUIRED LANDSCAPED AREA.
4 SHRUBS FOR EACH 1000 SF OF REQUIRED LANDSCAPED AREA.

PARKING LOT IN SF	LANDSCAPE AREA		NO. OF PARKING SPACES	NONLIVING MATERIAL IN SF	TREES		SHRUBS		NO. OF INTERIOR LANDSCAPE ISLANDS	MIN. WIDTH OF INTERIOR LANDSCAPED
	REQUIRED	PROVIDED			REQUIRED	PROVIDED	REQUIRED	PROVIDED		
1,628 SF	163 SF	429 SF	7	429 SF	1	1	2	2	0	0

REQUIREMENT:
A MINIMUM OF 10% OF THE PARKING LOT AREA SHALL BE LANDSCAPED.
2 TREES FOR EACH 1000 SF OF LANDSCAPED AREA
4 SHRUBS FOR EACH 1000 SF OF LANDSCAPED AREA

ROW LF	TREES	
	REQUIRED	PROVIDED
437	11	11

REQUIREMENT:
1 DECIDUOUS SHADE TREE OR EVERGREEN TREE FOR EVERY 40 LINEAR FEET OF PUBLIC ROW

Unofficial Copy

GENERAL LANDSCAPE NOTES:

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

GENERAL IRRIGATION NOTES:

- TREES WILL BE IRRIGATED WITH BUBBLERS UNLESS THEY ARE LOCATED IN IRRIGATED TURF AREAS. SHRUB AND PERENNIAL BEDS WILL BE IRRIGATED WITH DRIP EMITTERS. TURF AND IRRIGATED NATIVE AREAS WILL BE IRRIGATED WITH OVERHEAD SPRAY.
- SEPARATE IRRIGATION ZONES WILL BE PROVIDED FOR PLANTS IN DIFFERENT EXPOSURE AREAS.



REGISTERED LANDSCAPE ARCHITECT:
Paul Shoukas, Colorado # 416
TOCR CERTIFICATION # 105

TOWN APPROVAL BLOCK:
TOWN OF CASTLE ROCK APPROVAL PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM DATE OF DEVELOPMENT SERVICES APPROVAL

APPROVED BY: _____ DATE: _____

DEVELOPMENT SERVICES: _____ DATE: _____

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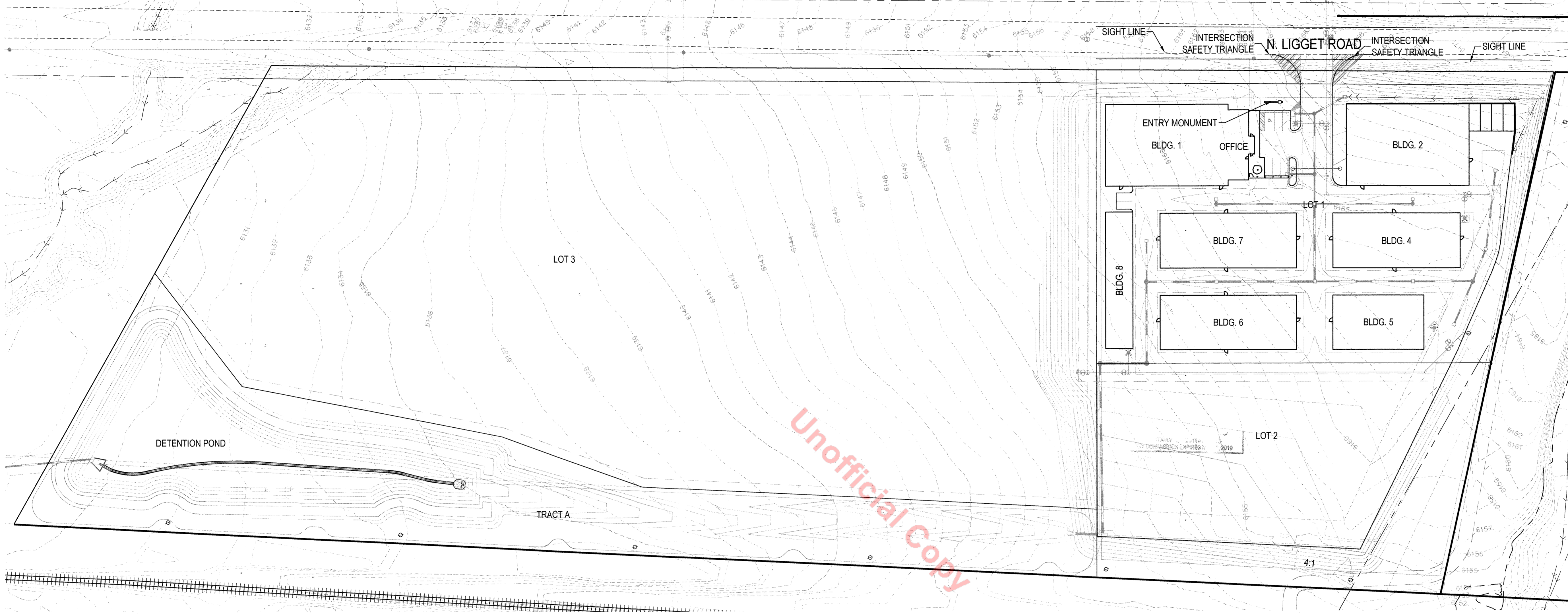
ELEVATION = 6153.20 FEET (NAVD88)

ARRBROATH, LLC 2034 LIGGETT ROAD CASTLE ROCK, CO 80109 303.588.6005 KYLE SCOTT
REVISIONS
SDP REV. 1 - 07/27/16
SDP REV. 2 - 09/20/16
SDP REV. 3 - 02/13/17
DATE: 06/03/16
DR: _____ CH: _____
P.M. PS: _____
BOOK: _____
JOB: 15001241
PROJECT NAME: HANGMAN'S GULCH FILING NO. 2 SIDE DEVELOPMENT PLAN
CAD FILE: SHEETS-01.DWG
SHEET NAME: CASTLE ROCK II
SHEET NO. 12 OF 13

HANGMAN'S GULCH FILING NO. 2

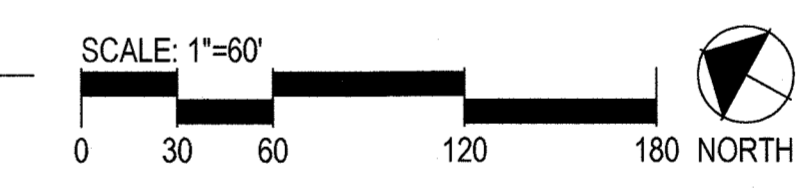
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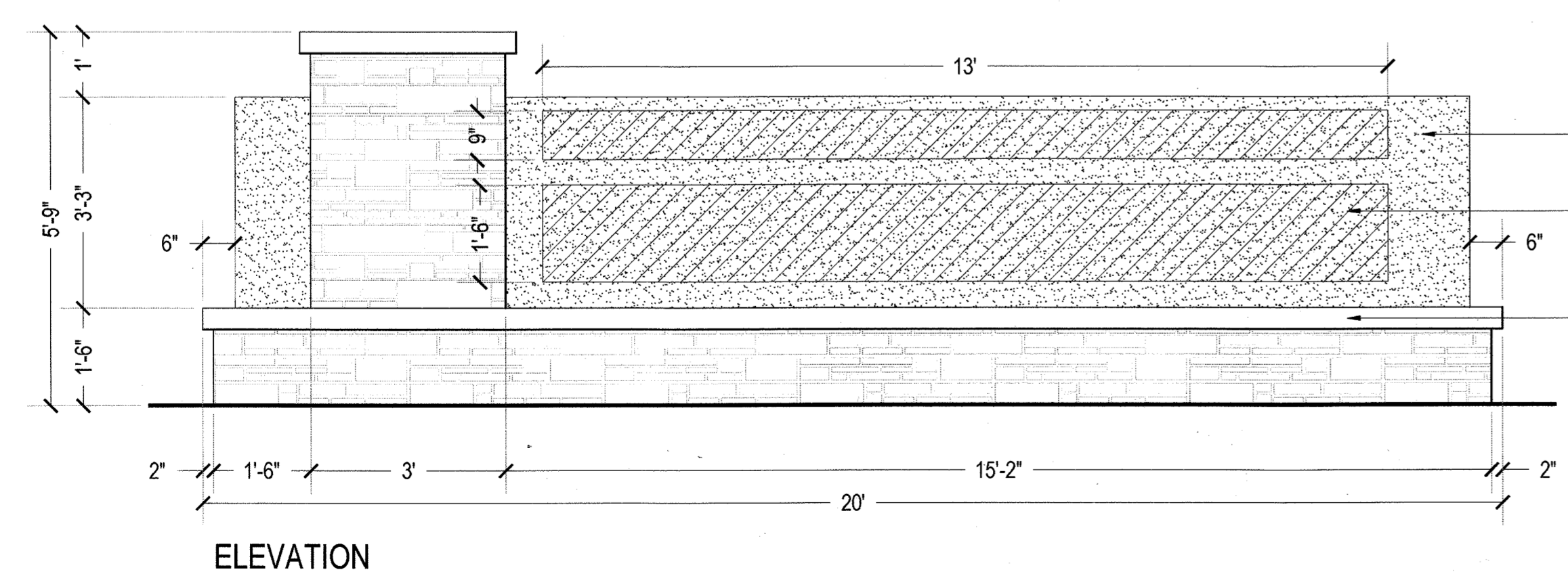
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1 CONCEPTUAL SIGNAGE PLAN

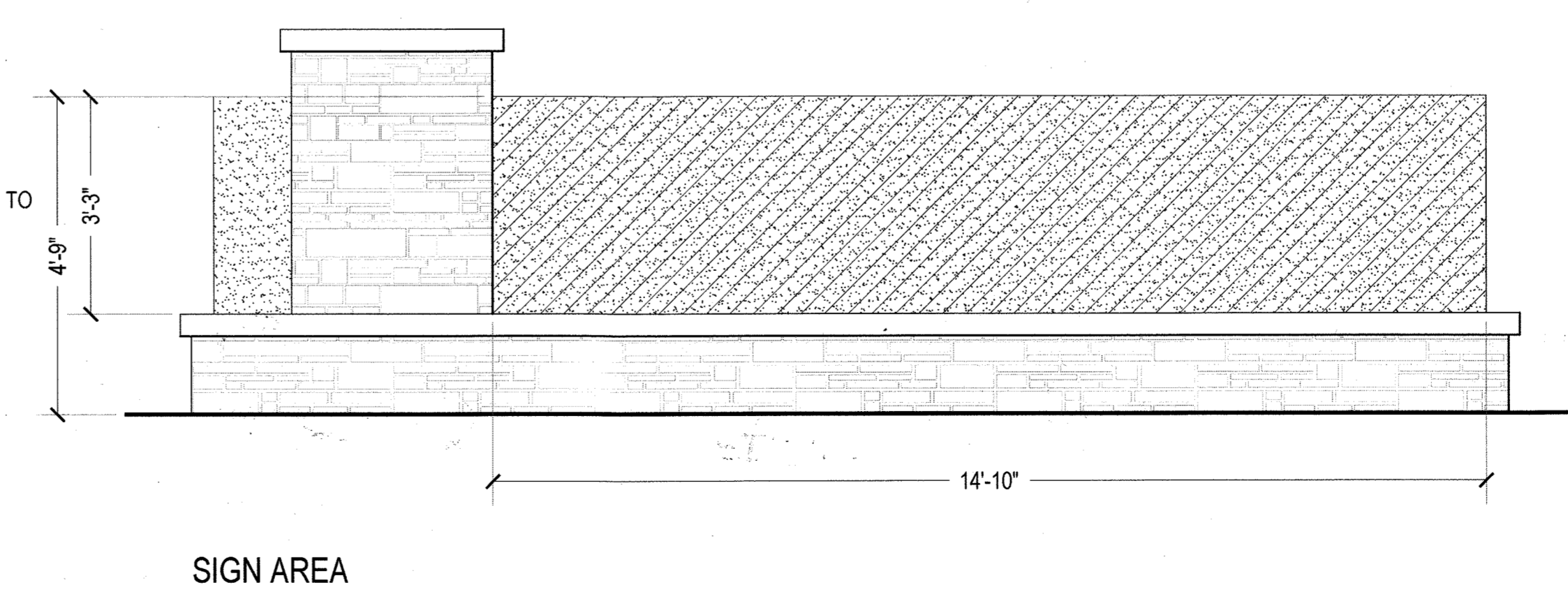


- NOTES:
- SIGNAGE AREA: 48,208 SF PER CODE 19.04.052 B.1 TO A MAX. AREA OF 50 SF.
 - SIGNAGE MAX AREA: 640 SF PER CODE 19.04.052 C.2A.
 - SIGNAGE HEIGHT: 5' PER CODE 19.04.052 D.1 (MAX. HEIGHT AT 20').

- NOTES:
- SIGNAGE AREA: 48,208 SF PER CODE 19.04.052 B.1 TO A MAX. AREA OF 50 SF.
 - SIGNAGE MAX AREA: 640 SF PER CODE 19.04.052 C.2A.
 - SIGNAGE HEIGHT: 5' PER CODE 19.04.052 D.1 (MAX. HEIGHT AT 20').

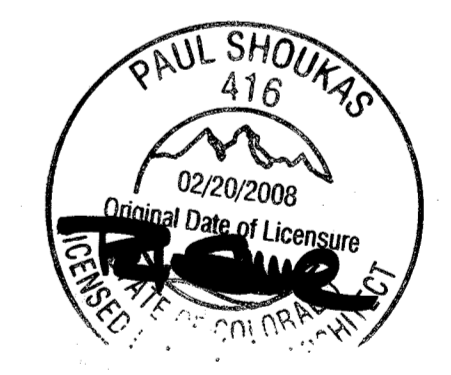


STUCCO WALL
 RAISED LETTERS, YELLOW GREEN (CCFF66), PIN MOUNT THRU BOLTS TO COUNTERSINK WASHERS / NUT ASSEMBLY, WITH UP LIGHTING
 NATURAL STONE CAP 4" THICK. MANUFACTURER: SUNSET STONE OR COMPARABLE, TYP.



2 ENTRY MONUMENT SIGN

SCALE: 1/2" = 1'-0"



REGISTERED LANDSCAPE ARCHITECT:
 Paul Shoukas, Colorado # 416
 TOCR CERTIFICATION # 105

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 APPROVED BY: _____
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REVISIONS SDP REV. 1 - 07/27/16 SDP REV. 2 - 09/20/16 SDP REV. 3 - 02/13/17	
DATE: 06/03/16 DR: CH P.M. PS BOOK: -- JOB: 15001241 PROJECT NAME: CASTLE LOCK II SHEET NAME: SIGNAGE PLAN SHEET NO.: _____	

CAD FILE: SHEETS-01.DWG 13 OF 13