

SITE DEVELOPMENT PLAN

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2

LOCATED IN THE SOUTHWEST ONE- QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 1.41 ACRES

LEGAL DESCRIPTION:

LOT 2, FOUNDERS MARKETPLACE FILING NO. 4, AMENDMENT NO. 2, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

SAID PARCEL OF LAND CONTAINING 1.41 ACRES MORE OR LESS.

OWNERSHIP CERTIFICATION

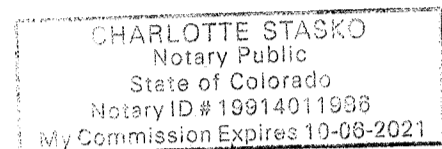
VIPER HOLDINGS, LLC, A COLORADO LIMITED LIABILITY COMPANY
 BY: Tyler Breitman AS
 Tyler Breitman
 Manager OF VIPER HOLDINGS, LLC
 SIGNED THIS 9 DAY OF April, 2019

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 9th DAY OF April 2019.

WITNESS MY HAND AND OFFICIAL SEAL.

Charlotte Stasko
 NOTARY PUBLIC



TITLE CERTIFICATION

I, Robert Hayes, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantees Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Robert Hayes
 AUTHORIZED REPRESENTATIVE

Land Title Guarantees Company
 TITLE COMPANY

SIGNED THIS 10th DAY OF April, 2019

NOTARY BLOCK

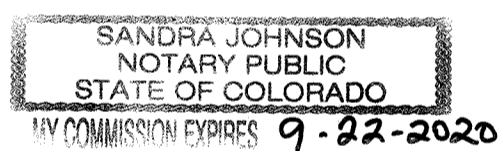
SUBSCRIBED AND SWORN TO BEFORE ME THIS 10th DAY OF April, 2019 BY

Robert Hayes AS AUTHORIZED

REPRESENTATIVE OF Land Title Guarantees Co.

WITNESS MY HAND AND OFFICIAL SEAL.

Sandra Johnson
 NOTARY PUBLIC



MY COMMISSION EXPIRES: 9-22-20

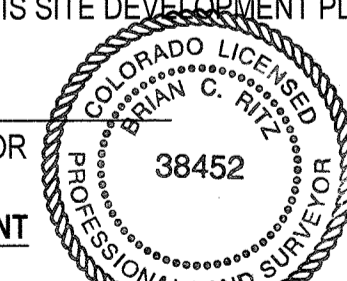
WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE FOUNDERS MARKETPLACE FILING NO. 1 SUBDIVISION IMPROVEMENTS AGREEMENT, RECORDED ON THE 5TH DAY OF AUGUST, 2004 AT RECEPTION NO 200408106 AND ACCORDINGLY 7.67 SFE ARE DEBITED FROM THE WATER BANK.

SURVEYOR'S CERTIFICATE

I, Brian Ritz, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS REVIEWED BY ME. THE MONUMENTS SHOWN THEREON WERE SET ON JUNE 21, 2017 AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

Brian Ritz
 REGISTERED LAND SURVEYOR

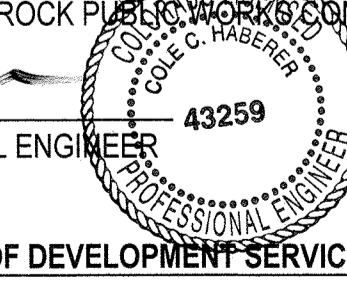


4/9/2019
 DATE

CIVIL ENGINEER'S STATEMENT

I, Cole Haberer, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Cole Haberer
 REGISTERED PROFESSIONAL ENGINEER



4/10/2019
 DATE

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 18th DAY OF April, 2019.

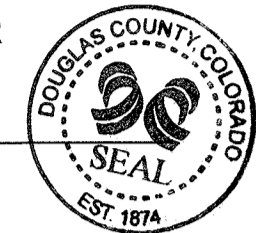
Bill Detweiler
 DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 10:28 AM ON THE 23 DAY OF April, 2019 AT RECEPTION NO. 2019021219

DOUGLAS COUNTY CLERK AND RECORDER

BY: Claire Bieger
 DEPUTY



SITE DEVELOPMENT PLAN GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.

2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.

3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.

4. ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP: COMMUNITY-PANEL NO. 08035C0189G, EFFECTIVE MARCH 16, 2016, THE SITE IS LOCATED IN ZONE X UNSHADED. THESE ARE AREAS OF 0.2% ANNUAL CHANCE OF FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.

6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.

7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.

8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

9. ALL PROPOSED UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK BY SEPARATE DOCUMENT.

10. THIS SITE IS ZONED INTEGRATED BUSINESS (IB) WITHIN THE MALL AND OFFICE CENTER INFILL PD.

11. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.

12. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.

13. THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.

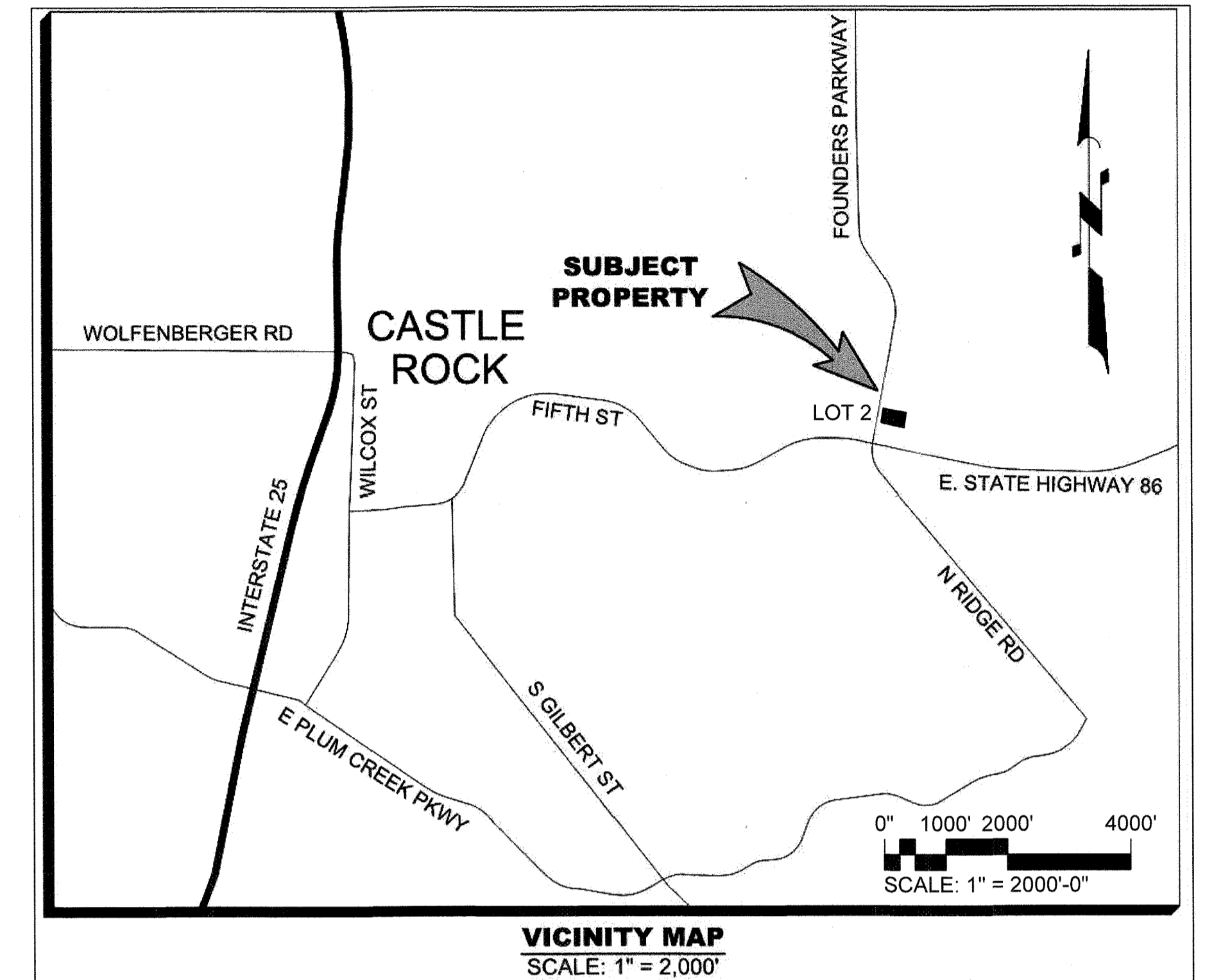
14. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.

15. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

FIRE NOTES

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.

Zoning Comparison		
Zoning	Mall and Office Center Infill PD	
	Requirement	Provided (Lot 2)
Permitted Uses	As per Section III of the PD Zoning Regulations	Car Wash
Minimum Lot Size	1 acre	1.41 Acres
Maximum Building Coverage	35%	7.57%
Minimum front yard setback*	20 feet	47.8 feet
Minimum rear yard setback*	10 feet	79.5 feet
Minimum side yard setback*	10 feet	15.0 feet
Minimum side to street setback*	20 feet	155.0 feet
Maximum building height	25-feet (Moderate skyline) 35-feet (Minor skyline)	25 feet
Maximum buildable slope	33.33%	5.6%
Minimum Parking	Car wash and detail requires: 1 space per employee plus 1 space per bay or stall plus adequate space for pull-out and drive aisles	Provided = 7 spaces
		Total required = 6 Employees = 5 Tunnel Bay = 1
Minimum ADA Parking	Per Muni. Code 1 ADA space required for 1 to 25 total lot spaces	Provided = 1
		Total Required = 1 Total lot spaces = 7
Vacuum Stations	0	24
Site Utilization		
	S.F.	% of Total
Building Coverage	4,660	7.57%
Parking Coverage	21,756	35.35%
Other Coverage: Site Drive Aisles	9,186	14.93%
Other Coverage: Sidewalk	2,338	3.80%
Shared Drive	6,957	11.30%
Landscape/Open Space Coverage	16,645	27.05%
Total	61,542	100%



- 2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- 3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- 4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- 5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- 6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- 7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- 8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

BASIS OF BEARING

THE BASIS OF BEARING IS THE WEST LINE SW 1/4 SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST AND BEARS N 01 DEG. 18 MIN. 43SEC WEST, 2,647.44'.

BENCHMARK STATEMENT

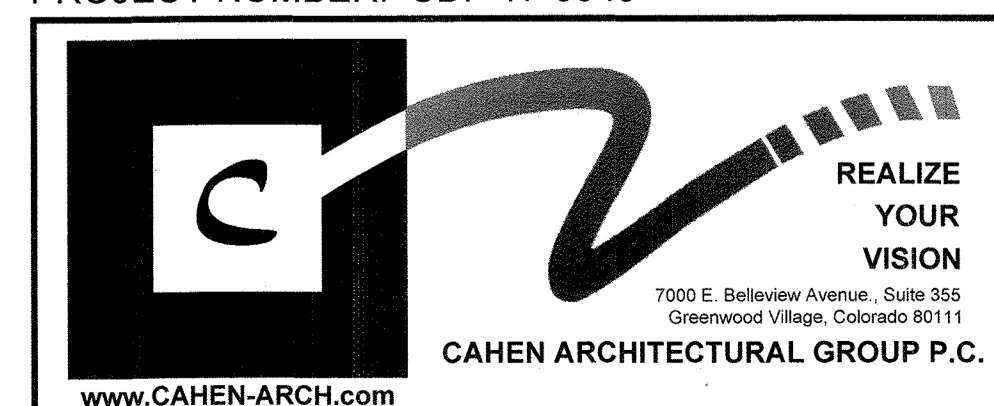
WEST 1/4 CORNER, SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST - 5 FT. WC FOUND 3.25 ALUM. CAP "LPI LPS 23561".

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	SITE PLAN
3	GENERAL GRADING PLAN
4	GENERAL UTILITY PLAN
5	CONCEPTUAL LANDSCAPE PLAN
6	BUILDING ELEVATIONS
7	BUILDING ELEVATIONS
8	GENERAL LIGHTING PLAN
9	SITE DETAIL / FIXTURES

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2
 PROJECT NUMBER: SDP 17-0046

COVER SHEET

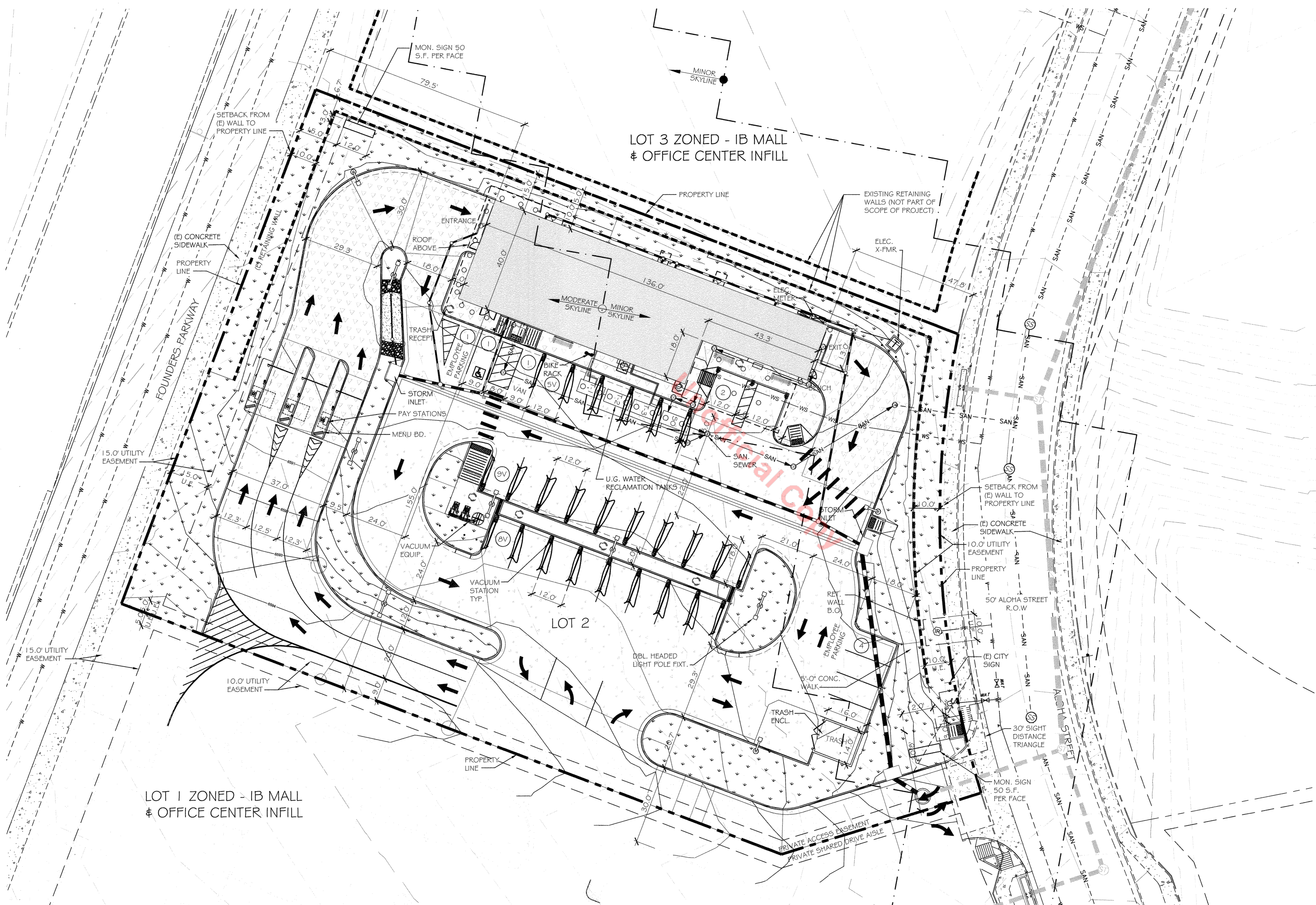
DATE: APRIL 21, 2019
 REV: MARCH 6, 2019
 SCALE: AS SHOWN
 JOB NO: 17007
SHEET 1 OF 9



SITE DEVELOPMENT PLAN

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2

LOCATED IN THE SOUTHWEST ONE- QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
1.41 ACRES



LEGEND

- PROPERTY BOUNDARY / LOC
- ROW
- EASEMENT/ UTILITIES
- SKYLINE BOUNDARY
- EXISTING RETAINING WALL (NOT PART OF SCOPE OF THIS PROJECT)
- CONCRETE PAVEMENT
- HEATED CONCRETE PAVEMENT
- ASPHALT DRIVE
- LANDSCAPE
- WATER SERVICES
- SEWER LINE
- STM
- LIGHT POLES
- TRENCH DRAIN
- VACUUM STATION
- TRASH RECEPTACLE
- BIKE RACK
- BENCH
- V - VACUUM STATIONS
- NUMBER OF VACUUM STATIONS
- REGULAR PARKING SPOT
- NUMBER OF PARKINGS

LOT 1 ZONED - IB MALL & OFFICE CENTER INFILL

LOT 3 ZONED - IB MALL & OFFICE CENTER INFILL

SITE PLAN 01

SCALE: 1" = 20'-0"

PLAN NORTH

0" 5' 10' 20' 40'
SCALE: 1" = 20'-0"

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2
PROJECT NUMBER: SDP 17-0046

SITE PLAN

REALIZE YOUR VISION
7000 E. Bellevue Avenue, Suite 355
Greenwood Village, Colorado 80111
www.CAHEN-ARCH.com

DATE: APRIL 21, 2017 REV: MARCH 6, 2019
SCALE: AS SHOWN
JOB NO: 17007
SHEET 2 OF 9

BENCHMARK

FOUND ALUMINUM CAP, AZTEC SURVEYING CONTROL POINT #202 LOCATED ON THE EAST PROPERTY LINE ON THE NORTH SIDE OF HWY 98, ELEVATION = 6596.55, THE RELATIVE NAVD 88, TOWN OF CASTLE ROCK ELEVATION = 6598.87, THE VERTICAL SHIFT BEING BASED ON A FOUND TOWN OF CASTLE ROCK BENCHMARK #40, BEING THE FRONT CORNER OF LOTS G AND H, CASTLE CREST SUBDIVISION, HAVING A TOWN OF CASTLE ROCK PUBLISHED ELEVATION OF 6596.30.

SITE DEVELOPMENT PLAN

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1.41 ACRES



PROPOSED CONTOURS PROVIDED ON FOUNDERS MARKETPLACE LOT 1 TO SHOW GRADING COORDINATION WITHIN THE JOINT ACCESS. PLEASE REFERENCE THE PUBLIC SERVICE CREDIT UNION CONSTRUCTION DOCUMENTS FOR DETAIL GRADING OF JOINT ACCESS WITHIN LOT 1

REMOVE 14 LF EXISTING 18\"/>

CIVIL LEGEND

EXISTING		PROPOSED
	CURB AND GUTTER (SPILL)	
	CURB AND GUTTER (CATCH)	
	STORM SEWER	
	SANITARY SEWER	
	WATER LINE	
	GAS LINE	
	ELECTRICAL	
	OVERHEAD POWER LINES	
	IRRIGATION LINE	
	FIBER OPTIC LINE	
	ELECTRICAL BOX	
	SITE LIGHT	
	SIGN	
	MANHOLES	
	INLET	
	METER PIT	
	GATE VALVE	
	THRUST BLOCK	
	BLOW-OFF W PLUG (H.P.)	
	CLEAN OUT	
	TREE	
	RETAINING WALL	
	UTILITY POLE	
	GAS METER	
	FIRE HYDRANT	
	WATER METER	
	FIRE DEPARTMENT CONNECTION	

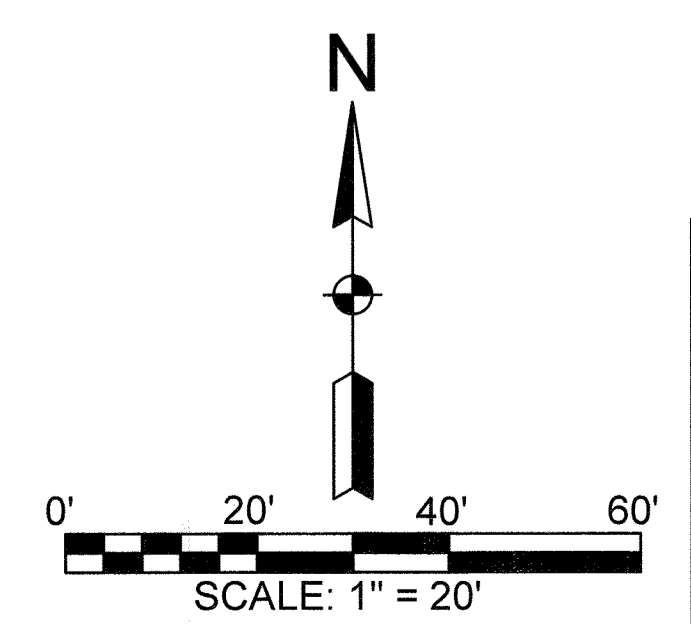
HATCHING LEGEND

EXISTING		PROPOSED
	STANDARD CONCRETE	
	HEATED CONCRETE	
	LANDSCAPE	
	ASPHALT	

GRADING LEGEND

EXISTING		PROPOSED
	SLOPE	
	MAJOR CONTOUR	
	MINOR CONTOUR	
	SPOT ELEVATION	

GENERAL GRADING PLAN
FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2
SITE DEVELOPMENT PLAN
SDP 17-0046



REALIZE YOUR VISION

7076 South Alton Way, Building A
Centennial, Colorado 80112

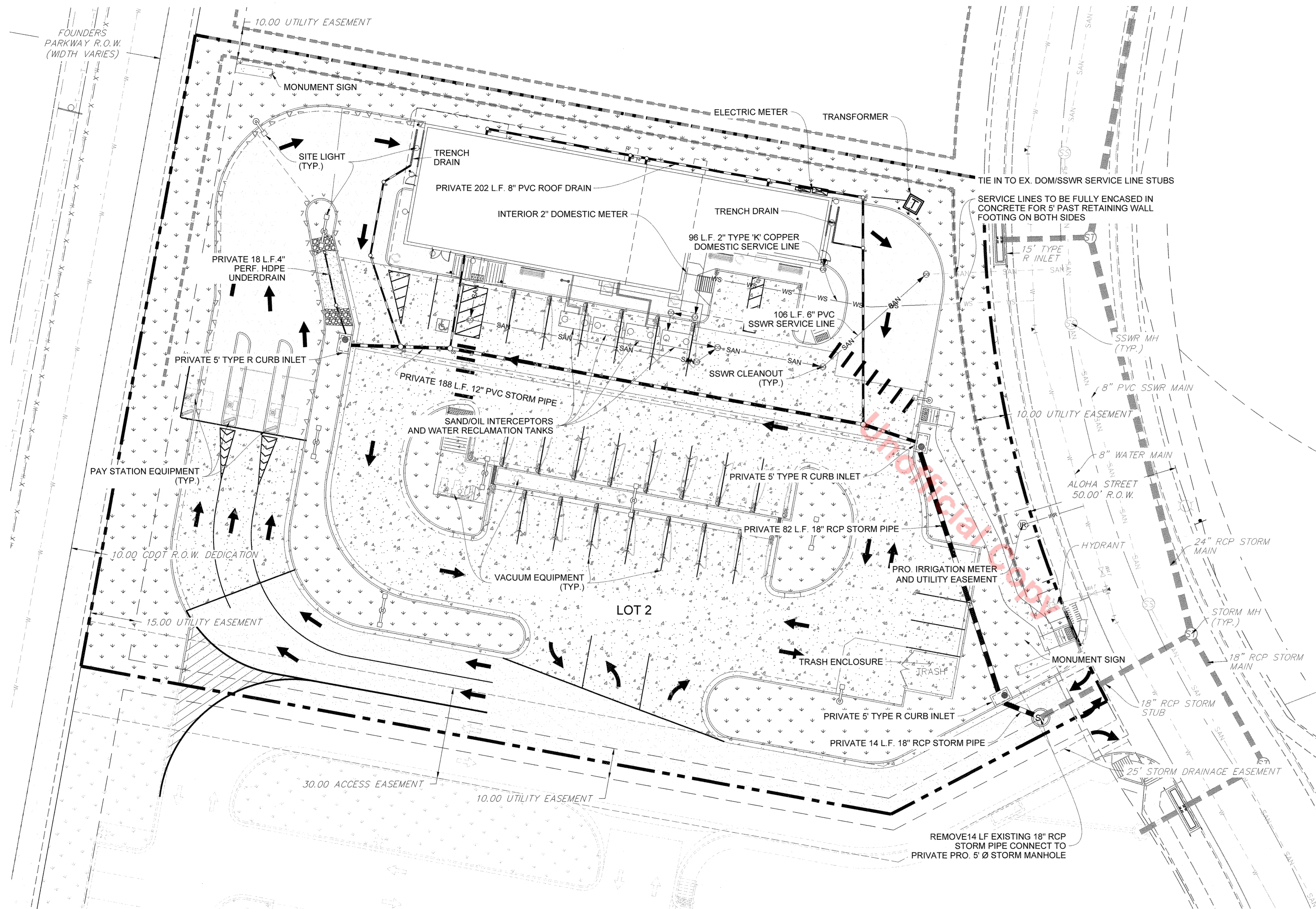
www.CAHEN-ARCH.com

DATE: February 22, 2019
SCALE: AS SHOWN
JOB NO: 17007
SHEET 3 OF 9

SITE DEVELOPMENT PLAN

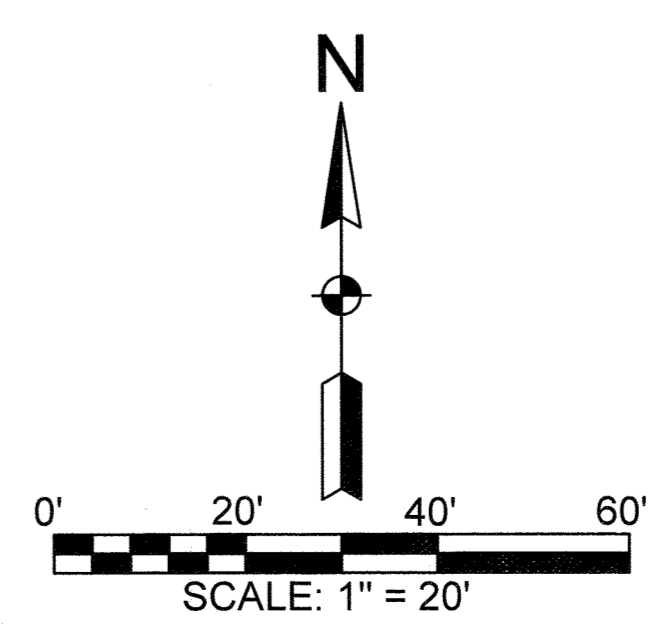
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1.41 ACRES



MASTER LEGEND	
EXISTING	PROPOSED

- TOWN OF CASTLE ROCK SDP UTILITY NOTES**
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5'.
 - THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN WATER PRESSURE ZONE.



7078 South Alton Way, Building A
Centennial, Colorado 80112
www.CAHEN-ARCH.com

REALIZE
YOUR
VISION

GENERAL UTILITY PLAN
FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2
SITE DEVELOPMENT PLAN
SDP 17-0046

DATE: February 22, 2019
SCALE: AS SHOWN
JOB NO: 17007

SHEET 4 OF 9

SITE DEVELOPMENT PLAN

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Conceptual Landscape Plan

PLANT LEGEND

FOUNDERS PARKWAY STREET TREES + SHRUBS (BY DEVELOPER)

EXISTING TURF

SDP TREES, SHRUBS, AND GRASSES
ALL TREES + SHRUBS TO BE LOW TO MODERATE HYDROZONE

EVERGREEN TREES (4)

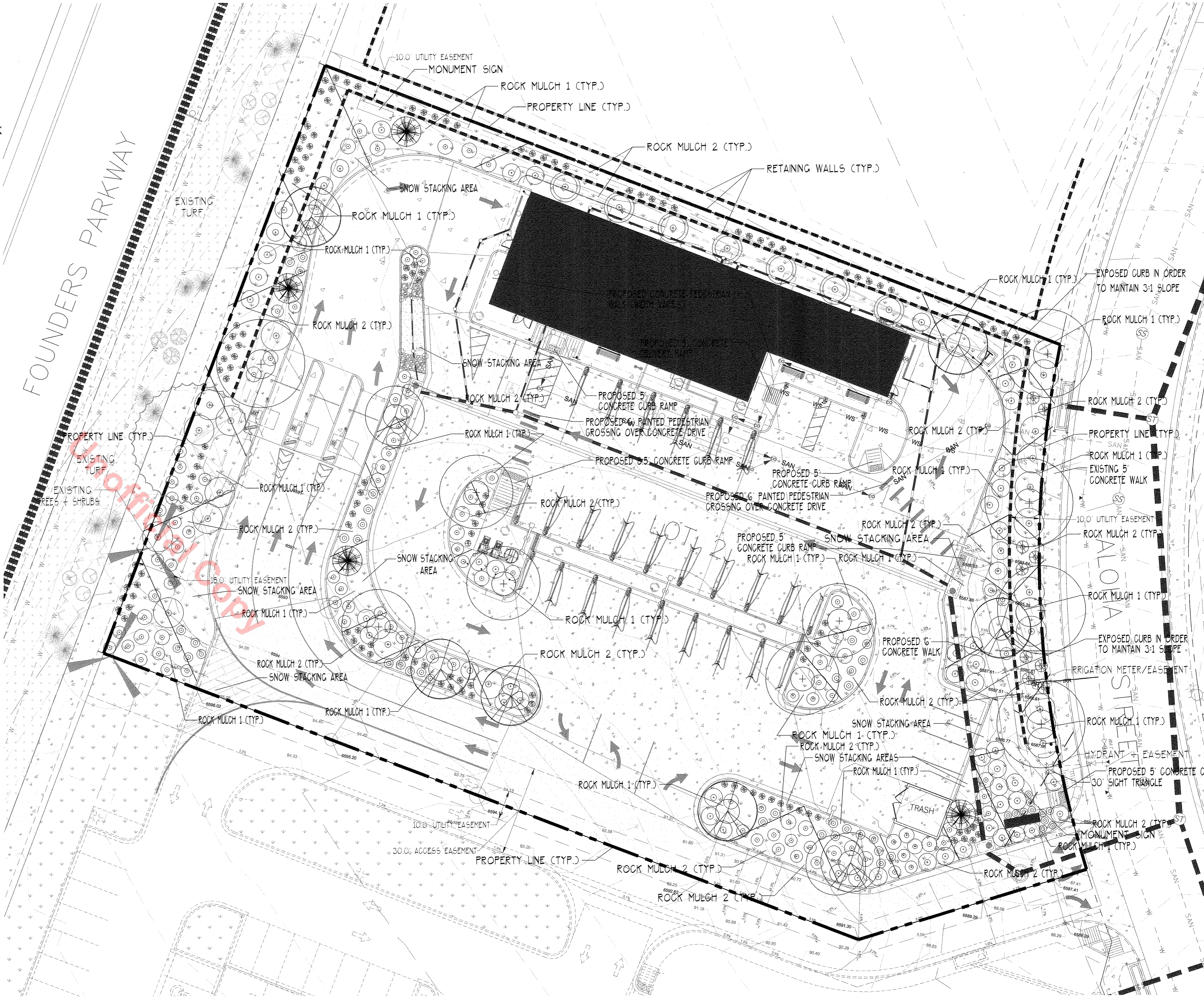
LARGE CANOPY DECIDUOUS TREES (10)

ORNAMENTAL DECIDUOUS TREES (8)

DECIDUOUS + EVERGREEN SHRUBS (239)

ORNAMENTAL GRASSES (150)

- TOWN STANDARD SITE DEVELOPMENT PLAN (SDP) LANDSCAPE NOTES**
- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGES SHALL MEET OR EXCEED COVERAGES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
 - QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
 - ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
 - DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
 - PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
 - DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
 - IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
 - IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE CUB YARD ON THE PROPERTY.
 - A MINIMUM OF FOUR (4) CUBIC YARDS OF ORGANIC MATTER PER ONE THOUSAND SQUARE FEET OF LANDSCAPED AREA SHALL BE REQUIRED. THIS SOIL AMENDMENT SHALL BE ROTOTILLED TO A DEPTH OF SIX (6) INCHES.
 - THERE WILL BE NO TREES WITH A CALIPER GREATER THAN 12" OR A BRANCHING HEIGHT NO LESS THAN 8' WITHIN SIGHT DISTANCE LINES PER PARAGRAPH 2.4.8 (2) OF THE TDCM.



Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional **Kirby Smith**
Town of Castle Rock Registration # **15-1088** State of Colorado License Landscape Architect # **430**
Company Name **Kirby Smith & Associates, Inc.** Address **6201 So. Hudson Ct., Centennial, CO 80121**
Phone **303-694-9484** Email **KSAKIRBY@AOL.com** Date **02/19/19**

PROJECT NAME	Liberty Express Wash - Site Development Plan Landscape Plans									
Gross Construction Area	Min. Landscaped Area In Sq. Ft.	Turfgrass List Species (Area in Sq. Ft.)	Nonliving Ornamental (Area in Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 sq.ft.)	Separate Irrigation Service Connections	
61,542 (1.41 Ac.)	x.10 = 6,154	N/A	± 3,300	12	18 (+ 4 Street Trees = 22)	24	232	4	No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	
	16,645.00 Provided (± 12,306 Irrigated)									
Parking Lot (Area in Sq. Ft.)	Parking Lot Landscaped Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq. Ft.)	No. of Interior Landscaped Islands/ Peninsulas	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	
21,756.0	x.10 = 2,176 ± 3,730 Provided	32	± 860	3	7 ft.	6	8	12	74	

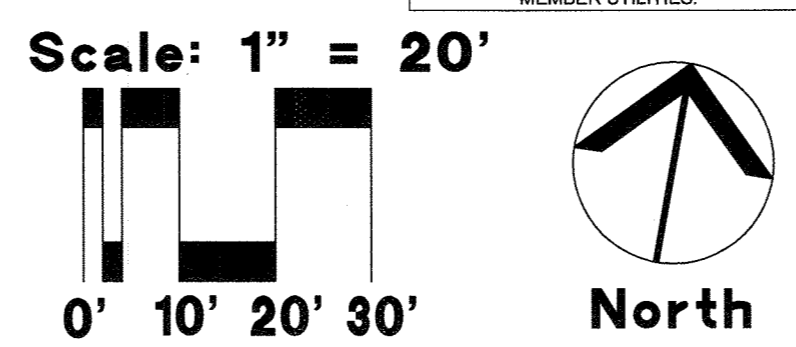
STREET TREE REQUIREMENTS SUMMARY

STREET NAME	STREET FRONTAGE LENGTH ¹	STREET TREES REQUIRED ²	STREET TREES PROVIDED	SHRUBS REQUIRED ³	SHRUBS PROVIDED + Grasses/Shrub 3:1 Equivalent
FOUNDERS PARKWAY ³	N/A	N/A	N/A	N/A	N/A
ALPHA STREET	160.5'	4	4	16	13 SHRUBS + 9 GRASSES (3 GRASSES = 1 SHRUB)
TOTAL	160.5'	4	4	16	16

¹ EXCLUDING STREET AND DRIVEWAY OPENINGS
² PER TOWN OF CASTLE ROCK REQUIREMENTS
³ BY FOUNDERS CROSSING DEVELOPER

LIBERTY EXPRESS WASH
CLWUR Chart for the Town of Castle Rock

Irrig. Zone	Plant Name (Common)	App Rate (inches/month)	Zone (V,L,Mod,H,W)	% of Total IA (Irrigated Area in sq ft for each zone)	LWUR (Landscape Water Use Rating)	TA (Total Area of all landscaped zones)	CLWUR (LWUR x IA/TA)
DRIP/SPRAY	TREES/SHRUBS/BEDS	2.5	L	+1.5-3.0	16,645.00	1.50	16,645.00
Total of the CLWUR=					16,645.00		



CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Landscape Plans Prepared By:

Kirby Smith & Associates, Inc.
Land Planning + Site Design + Landscape Architecture
6201 So. Hudson Ct., Centennial, CO 80121
(303) 694-9484 FAX (303) 694-9272
Castle Rock Design Certificate No. 15-1088 Job # 448.0
Expiration: April 30, 2020
Signature: Kirby Smith Date: 2/28/19

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2

PROJECT NUMBER: SDP 17-0046 REVISED PER TOWN COMMENTS & ADJACENT SITE PLAN: 02/21/19

CAHEN ARCHITECTURAL GROUP P.C.
7076 South Allon Way, Building A
Centennial, Colorado 80112
www.CAHEN-ARCH.com

REALIZE YOUR VISION

DATE: APRIL 21, 2017
REV: FEBRUARY 21, 2019
SCALE: AS SHOWN
JOB NO: 17007
SHEET 5 OF 9

SITE DEVELOPMENT PLAN

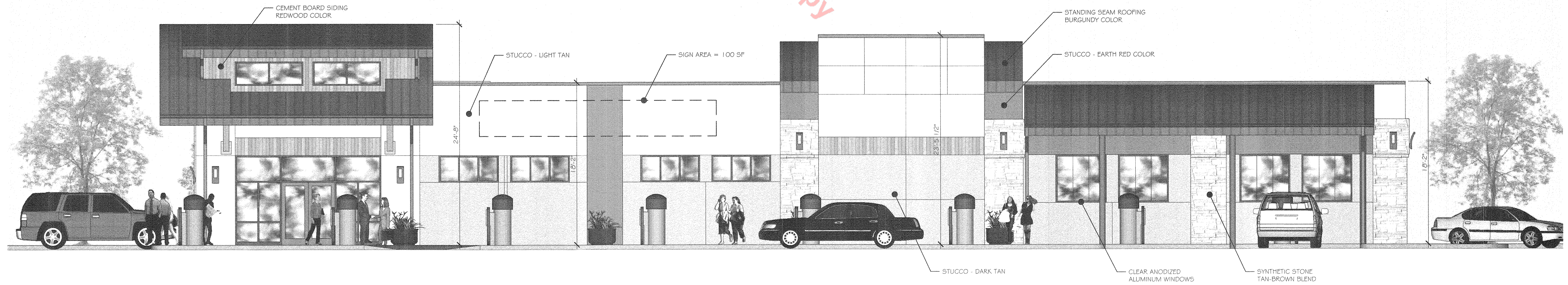
FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2

LOCATED IN THE SOUTHWEST ONE- QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
1.41 ACRES



Unofficial Copy

NORTH ELEVATION 02
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION 01
SCALE: 3/16" = 1'-0"

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2
PROJECT NUMBER: SDP 17-0046 **BUILDING ELEVATIONS**

REALIZE YOUR VISION
7000 E. Bellevue Avenue, Suite 355
Greenwood Village, Colorado 80111
www.CAHEN-ARCH.com

DATE: APRIL 20, 2017 REV: NOVEMBER 19, 2018
SCALE: AS SHOWN
JOB NO: 17007
SHEET 6 OF 9

SITE DEVELOPMENT PLAN

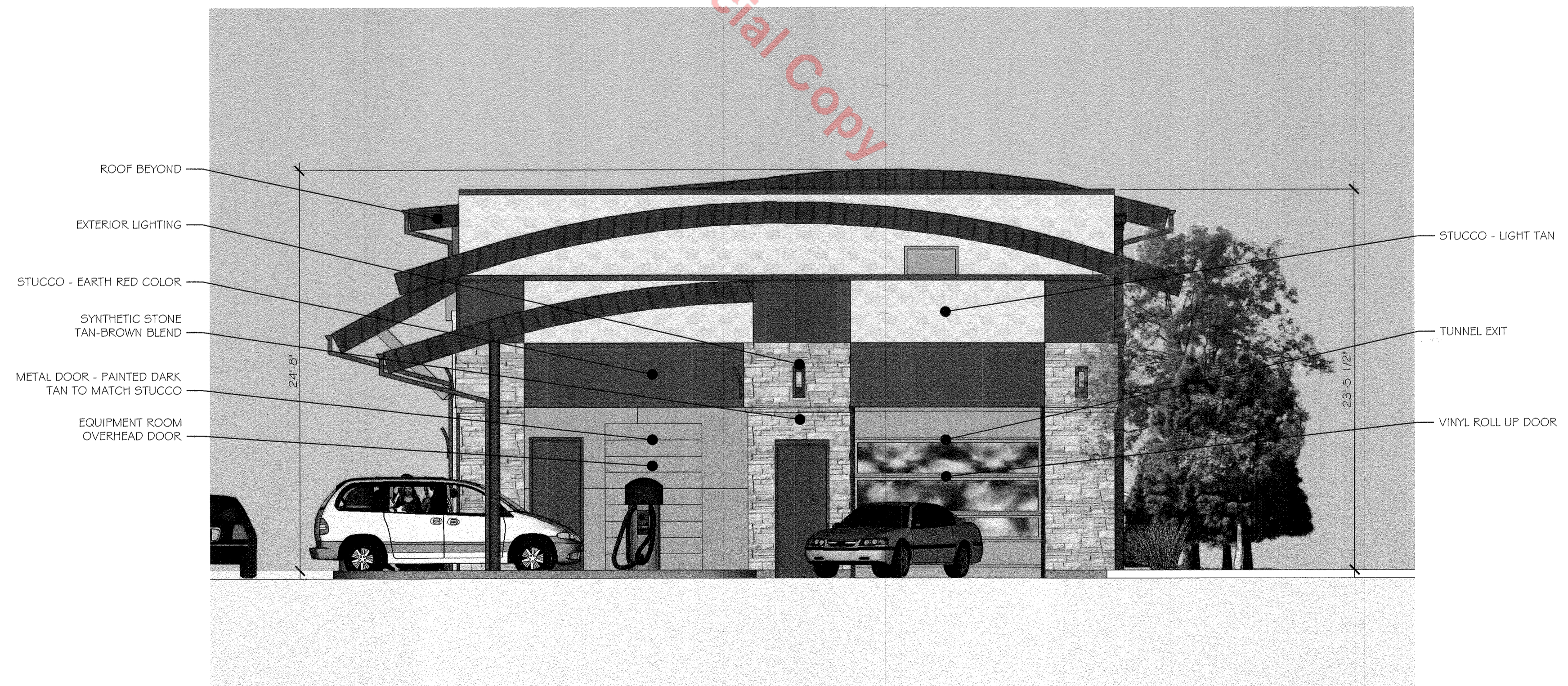
FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2

LOCATED IN THE SOUTHWEST ONE- QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
1.41 ACRES



WEST ELEVATION 02

SCALE: 3/16" = 1'-0"



EAST ELEVATION 01

SCALE: 3/16" = 1'-0"

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO.4, LOT 2
PROJECT NUMBER: SDP 17-0046

BUILDING ELEVATIONS

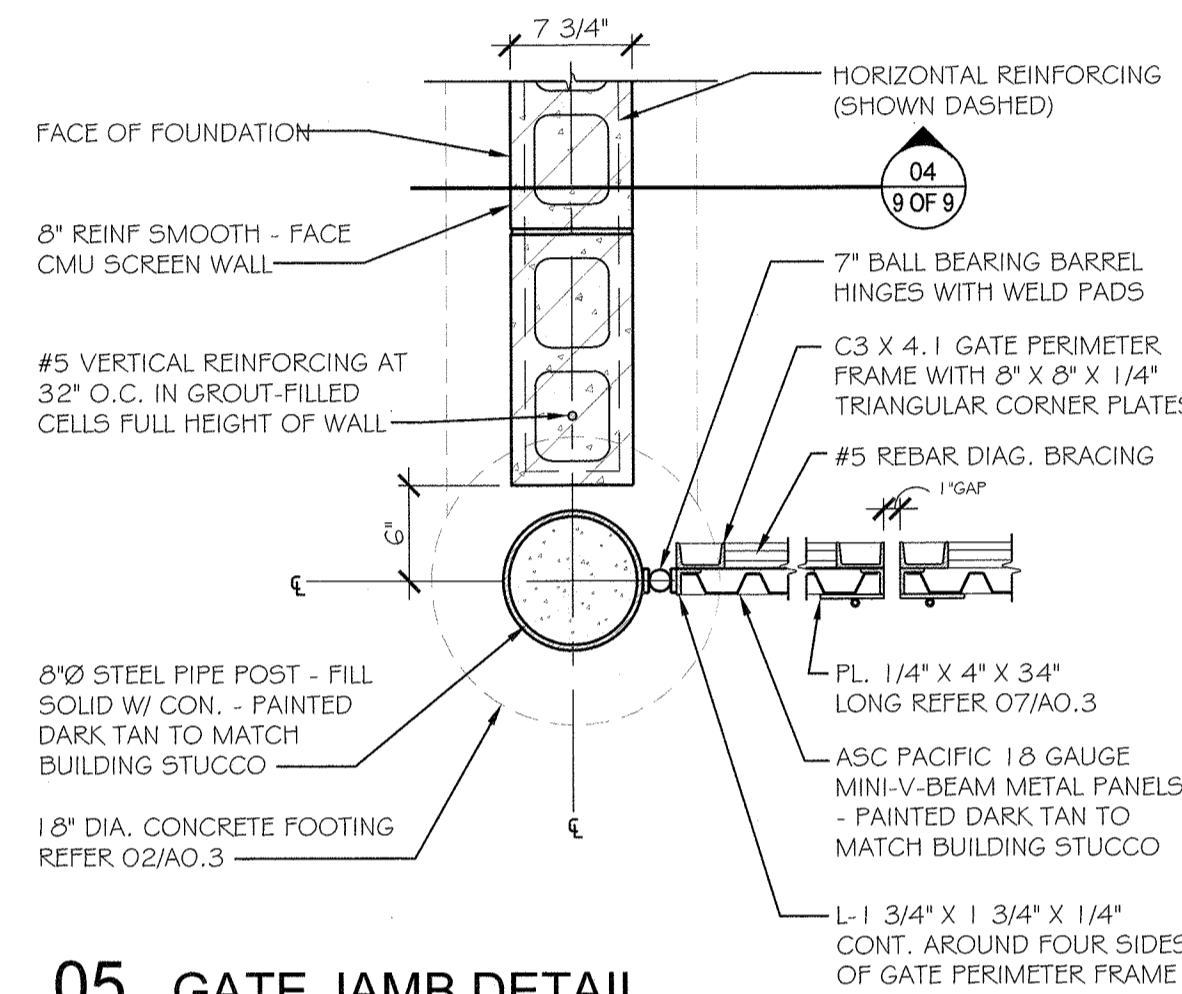
DATE: APRIL 20, 2017
REV: NOVEMBER 19, 2018
SCALE: AS SHOWN
JOB NO: 17007

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Greenwood Village, Colorado 80111
CAHEN ARCHITECTURAL GROUP P.C.
www.CAHEN-ARCH.com

SITE DEVELOPMENT PLAN

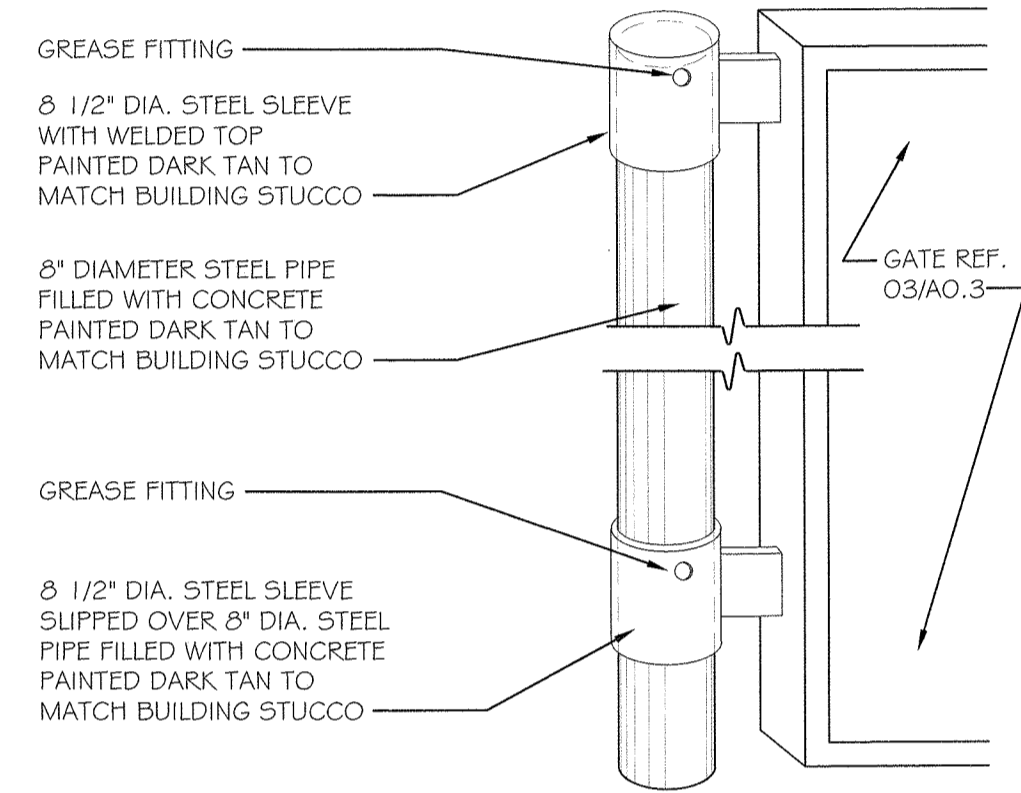
FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 4, LOT 2

LOCATED IN THE SOUTHWEST ONE- QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
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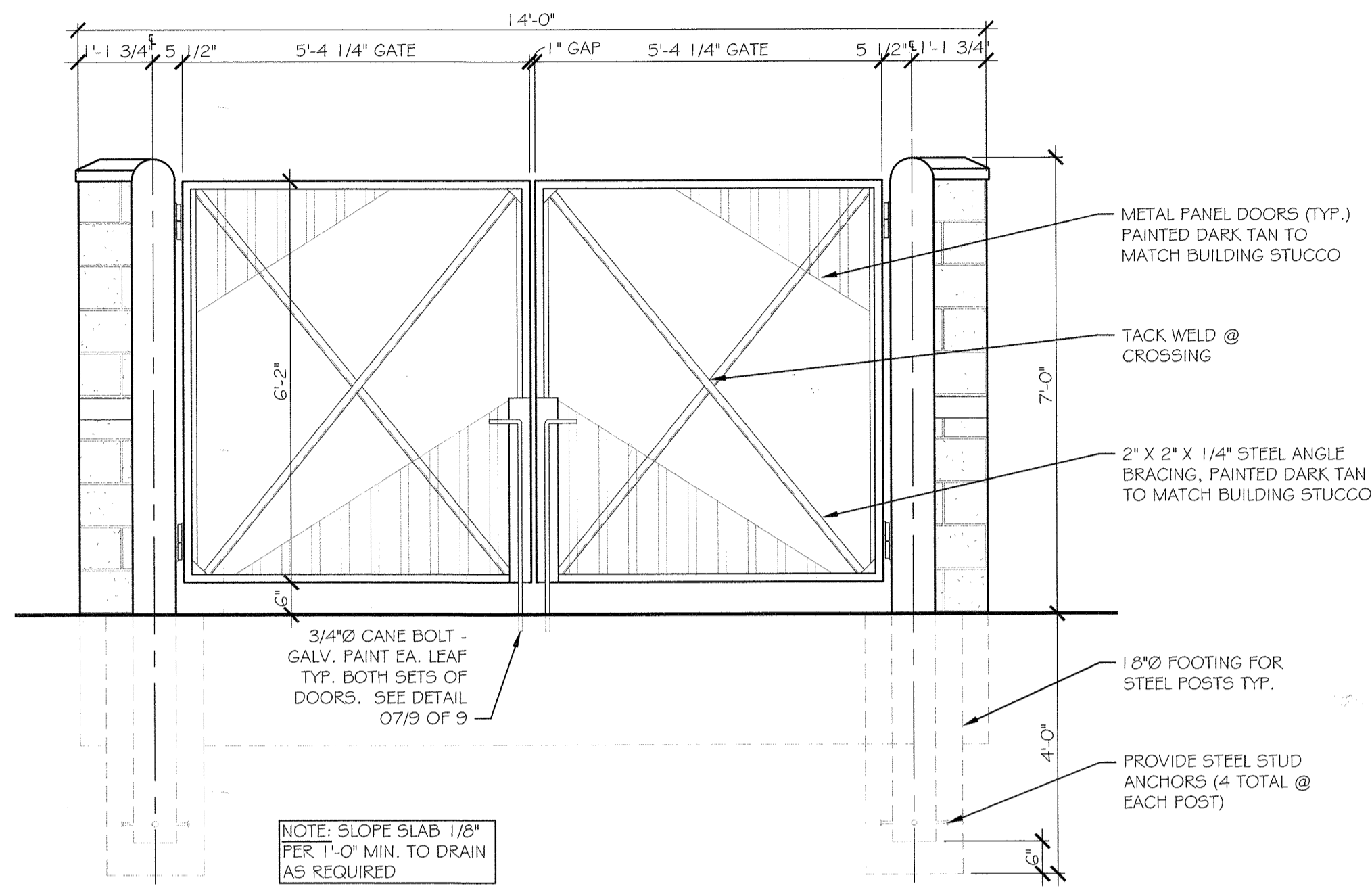
05 GATE JAMB DETAIL

SCALE: 1" = 1'-0"



06 GATE HINGE DETAIL

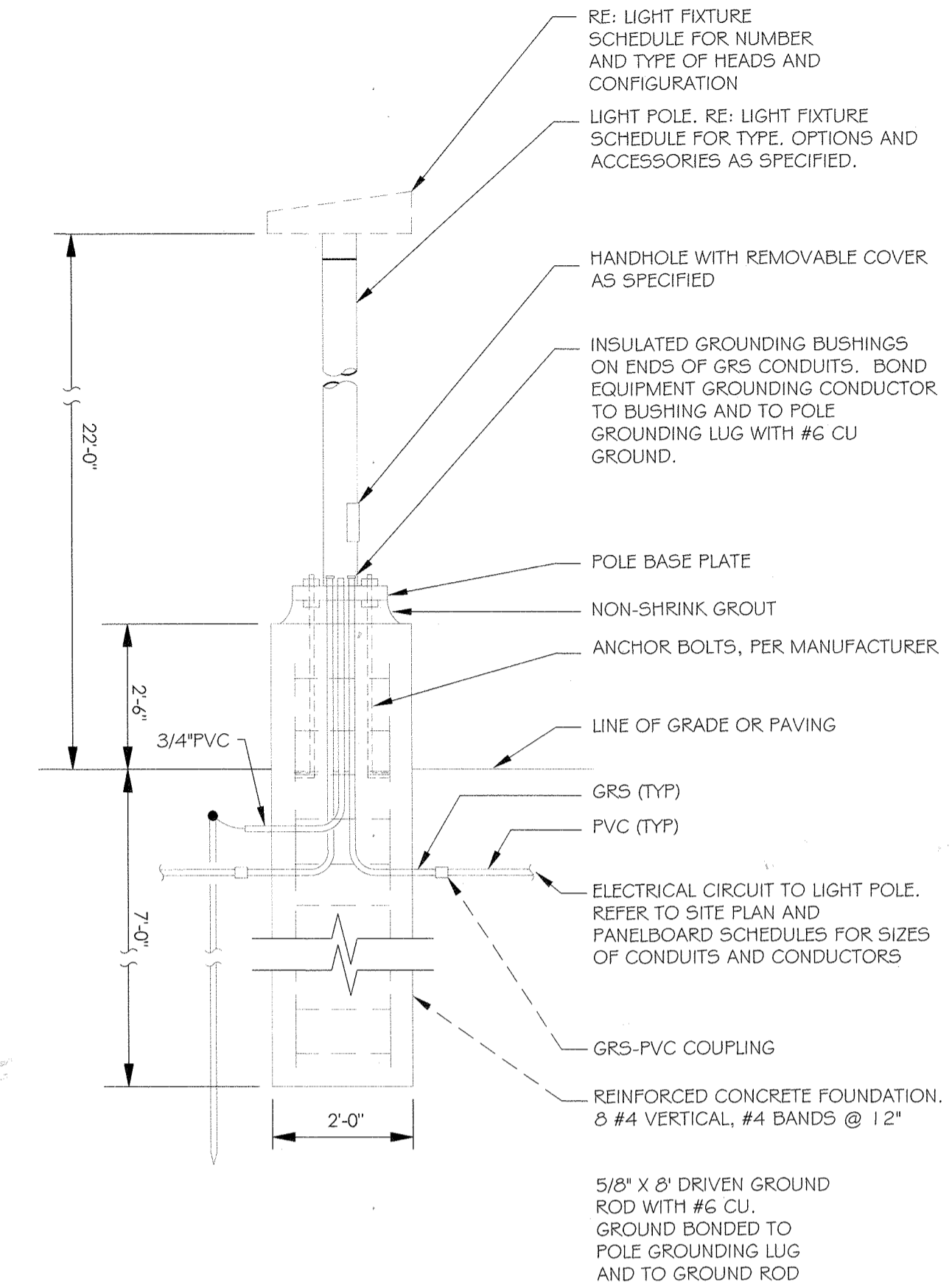
SCALE: 3/4" = 1'-0"



Unofficial Copy

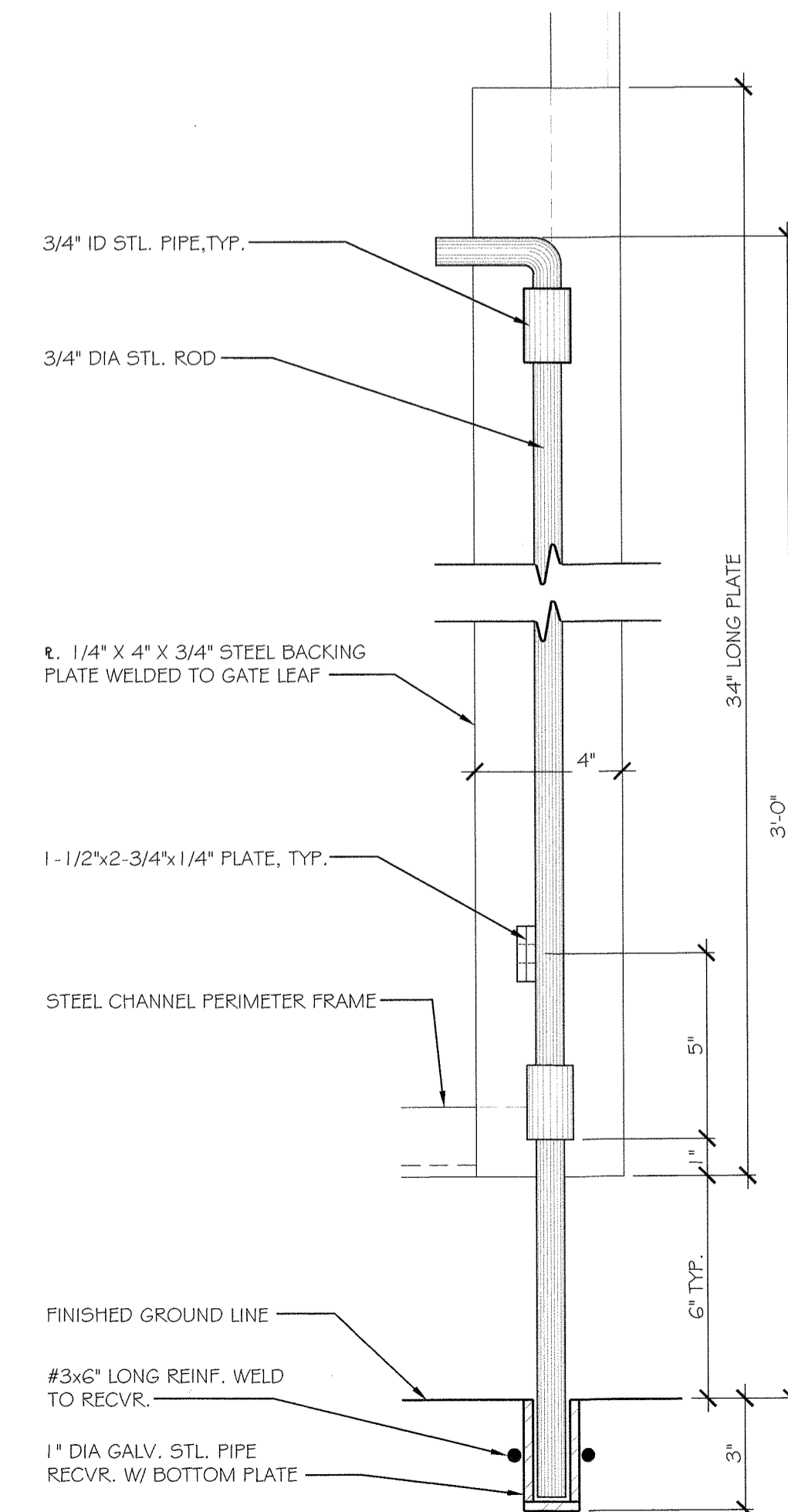
03 TRASH ENCLOSURE GATE ELEVATION

SCALE: 1/2" = 1'-0"



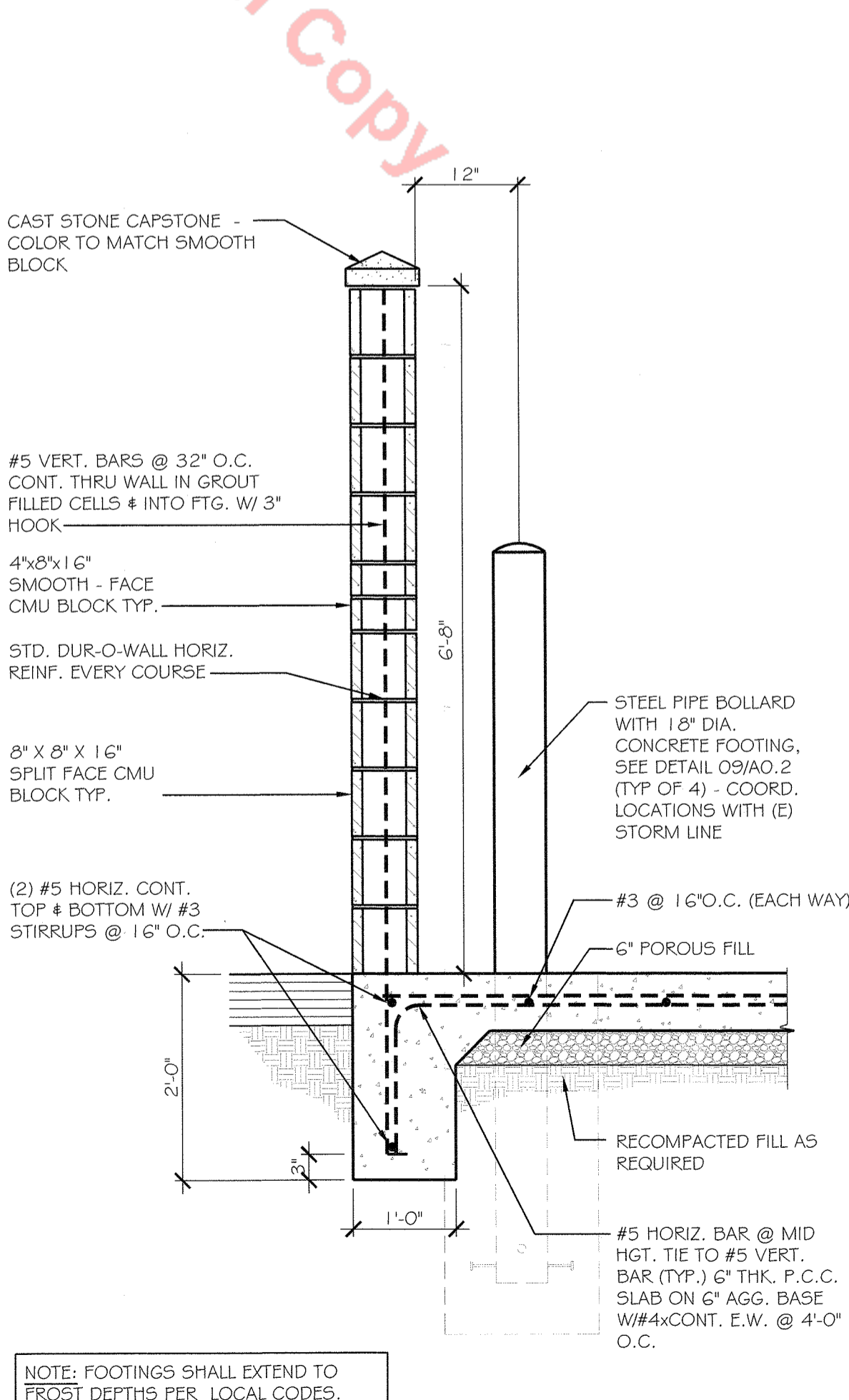
01 SITE LIGHT POLE BASE DETAIL

SCALE: 1/2" = 1'-0"



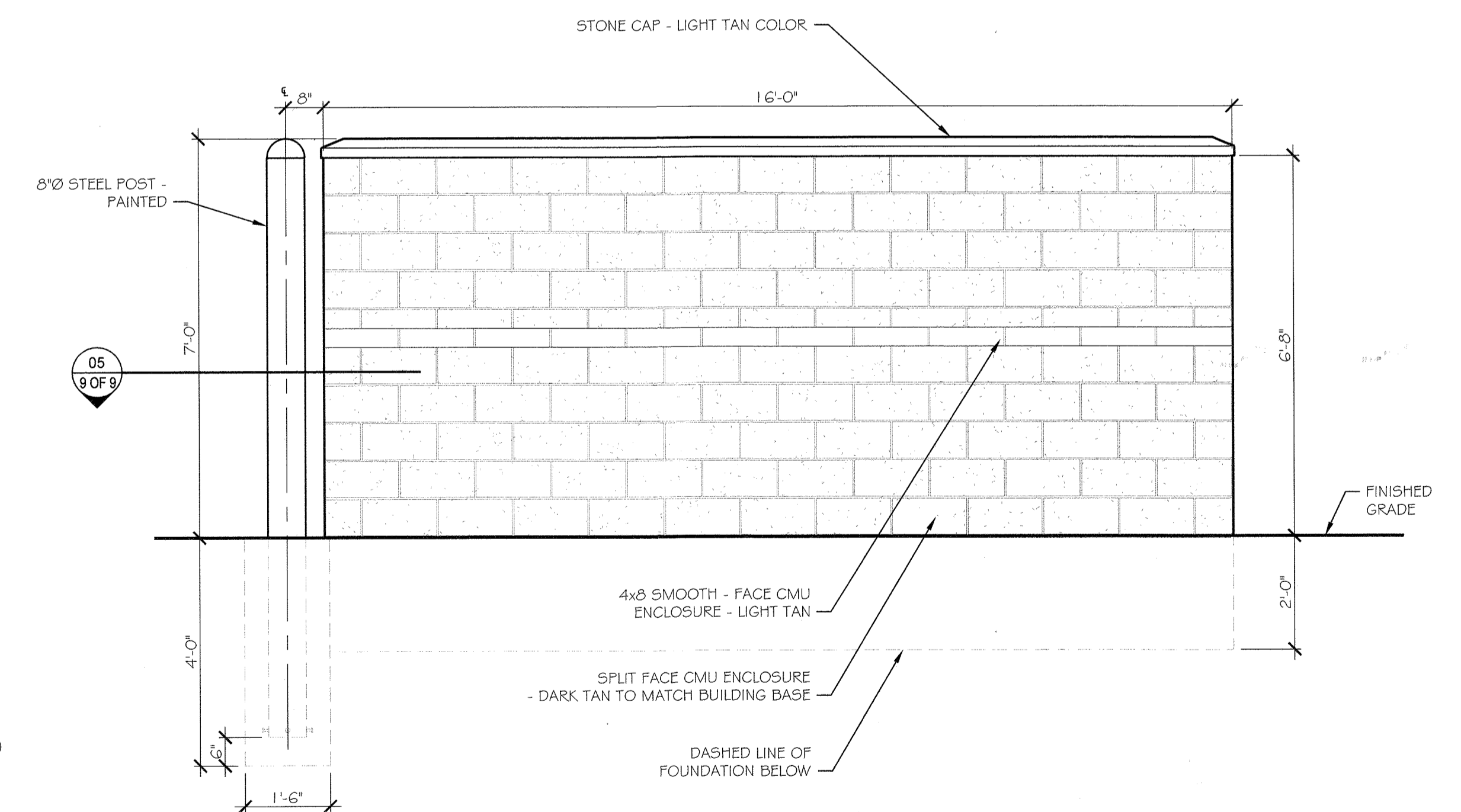
07 CANE BOLT DETAIL

SCALE: 3" = 1'-0"



04 TRASH SCREEN WALL

SCALE: N.T.S.



02 TRASH ENCLOSURE SIDE ELEVATION

SCALE: 1/2" = 1'-0"

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO.4, LOT 2
PROJECT NUMBER: SDP 17-0046

SITE DETAIL / FIXTURES

<p>REALIZE YOUR VISION</p> <p>7000 E. Bellevue Avenue, Suite 355 Greenwood Village, Colorado 80111 www.CAHEN-ARCH.com</p>	DATE: APRIL 21, 2017 REV: FEBRUARY 21, 2019
	SCALE: AS SHOWN
	JOB NO: 17007
	SHEET 9 OF 9

NOTE: FOOTINGS SHALL EXTEND TO FROST DEPTHS PER LOCAL CODES.