

SITE DEVELOPMENT PLAN GENERAL NOTES:

- 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES...

FIRE NOTES:

- 1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION. 2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.

ABBREVIATIONS:

Table with 4 columns: ABBREVIATION, CONSTRUCT, PROPOSED, and TYPE. Includes entries for CONST, DEG, DIA, ESMT, EX, FFE, FL, LF.

LEGAL DESCRIPTION:

LOT 1A, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 3, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

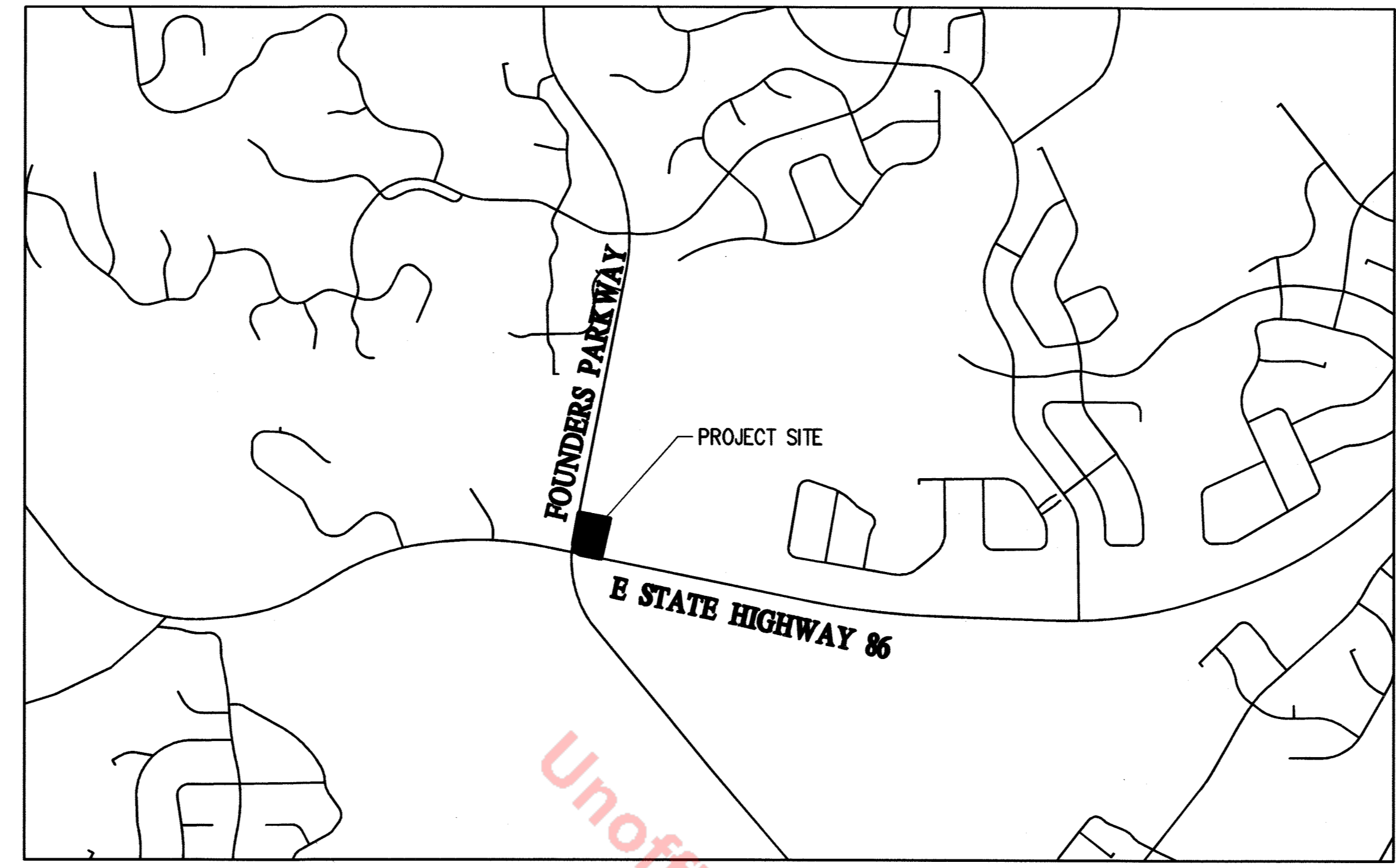
PURPOSE STATEMENT:

1. THE PURPOSE OF THIS AMENDMENT TO SDP18-0012 IS TO REVISE THE ADA ROUTE, REVISE THE DRIVE AISLE WIDTH AND GRADES ON THE EAST SIDE OF THE BUILDING. THIS AMENDMENT TOGETHER WITH ALL OTHER PLANS AND DETAILS OF SDP18-0012 MAKE UP THE ENTIRETY OF THE APPROVED PLAN.

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE FOUNDERS MARKETPLACE FILING NO. 1 SUBDIVISION IMPROVEMENTS AGREEMENT, RECORDED ON THE 5TH DAY OF AUGUST, 2014 AT RECEPTION NO. 20004081806 OF DOUGLAS COUNTY, COLORADO RECORDS. THE SPES FOR THIS SITE WERE DEBITED WITH FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 3, RECORDED BY RECEPTION NO. 2019043912.

SITE DEVELOPMENT PLAN AMENDMENT NO. 1 LEVEL 5, LLC LOT 1A, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 1/3 LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Sheet List Table

Table with 2 columns: SHEET NUMBER and SHEET TITLE. Lists sheets 1 through 5: COVER, SITE PLAN, GENERAL GRADING PLAN, GENERAL UTILITY PLAN, LANDSCAPE PLAN.

ZONING COMPARISON table comparing requirements for SDP18-0012 (ORIGINAL SDP) and SDP19-0050 (THIS SDP AMENDMENT) across categories like PROJECT #, PERMITTED USES, MINIMUM LOT SIZE, etc.

SITE UTILIZATION table showing S.F. and % OF TOTAL for Building Coverage, Parking Coverage, Street Coverage, Landscape/Open Space Coverage, and Other Coverage.

TITLE CERTIFICATION form signed by Jerry L. Green, Authorized Representative of Fidelity National Title, dated February 20, 2020.

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE signed by Mary Damstra, Deputy, dated February 20, 2020.

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL signed by Aaron Demo, P.L.S., dated February 25, 2020.

OWNERSHIP CERTIFICATION and NOTARY BLOCK forms signed by Teresa L. Hott, Notary Public, dated February 21, 2020.

CIVIL ENGINEER'S STATEMENT signed by Michael Swanton, P.E., dated February 20, 2020.

SURVEYOR'S CERTIFICATE signed by Aaron Demo, P.L.S., dated February 20, 2020.

PROJECT BENCHMARK: FOUND ALUMINUM CAP, AZTEC SURVEYING CONTROL POINT #202 LOCATED ON THE EAST PROPERTY LINE ON THE NORTH SIDE OF HWY 86, ELEVATION = 6596.55'...

Vertical sidebar containing Baseline logo, project details, revision table, and drawing information. Includes Baseline Engineering - Planning - Surveying logo and contact information for Aaron Demo, P.L.S.

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1A, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 43

LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

EXISTING LINETYPES	PROPOSED LINETYPES	
---	---	PROPERTY BOUNDARY
---	---	EASEMENT
---	---	EDGE OF ASPHALT
---	---	CURB AND GUTTER (SPILL/CATCH)
---	---	EDGE OF BUILDING
---	---	BUILDING OVERHANG
---	---	RIGHT-OF-WAY
---	---	SIGHT TRIANGLE

EXISTING SYMBOLS	PROPOSED SYMBOLS	
+	+	SIGN
⊕	⊕	FIRE HYDRANT
⊕	⊕	WATER VALVE
⊕	⊕	SANITARY MANHOLE
⊕	⊕	STORM DRAIN MANHOLE
⊕	⊕	LIGHT POLE
⊕	⊕	PARKING COUNT
⊕	⊕	ADA PARKING STALL
→	→	DIRECTIONAL ARROW STRIPING
○	○	CLEANOUT
▨	▨	ASPHALT PAVING - REFER TO SOILS REPORT FOR PAVING SECTION
▨	▨	SIDEWALK PAVING
▨	▨	CONCRETE PAVING
▨	▨	11' X 20' STACKING SPACE

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1800 FORD STREET · GOLDEN, COLORADO 80401
P. 303.940.9866 · F. 303.940.9869 · www.baselinecorp.com

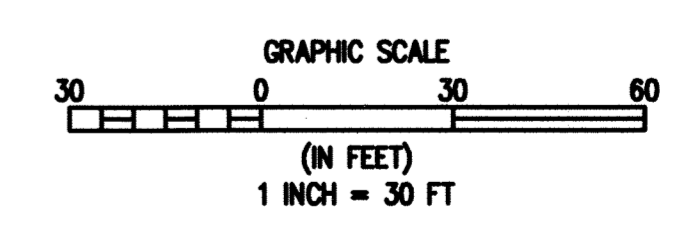
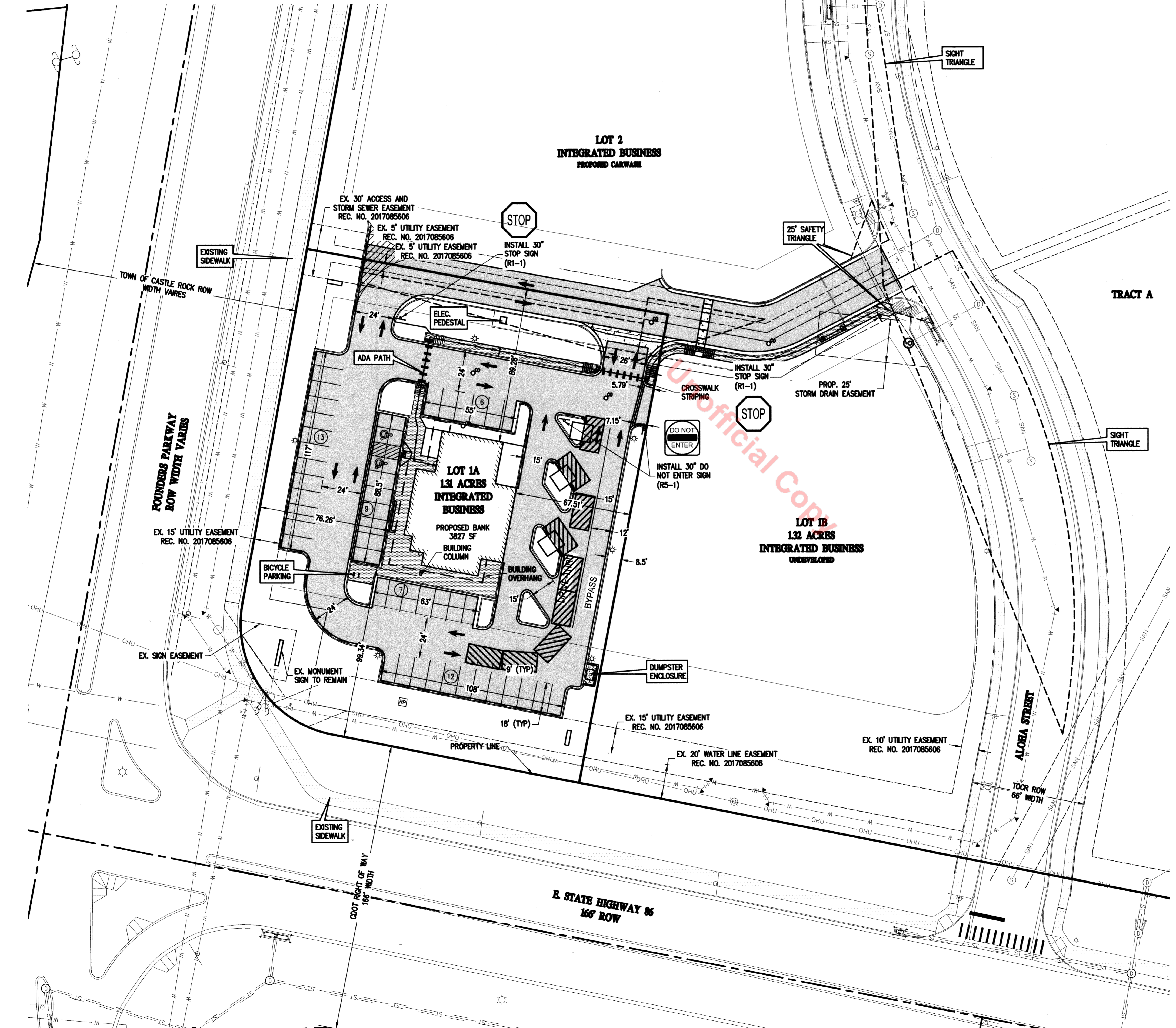
REVISION DESCRIPTION	DATE	PREPARED BY	DATE	DESIGNED BY
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TOWN COMMENTS	09/04/2018	MRA	SPR	SPR
TOWN COMMENTS	10/23/2018	MDS	SPR	SPR
TOWN SIGNAGE COMMENTS	05/16/2019	MDS	SPR	SPR
TOWN SIGNAGE COMMENTS	06/05/2019	MDS	NJN	NJN

DOUGLAS COUNTY
LEVEL 5, LLC.
CANVAS CREDIT UNION
TOWN OF CASTLE ROCK
SITE PLAN

FOR AND ON BEHALF OF
BASELINE CORPORATION

PREPARED UNDER THE DIRECT SUPERVISION OF
Michael Swanton
3-17-20
PROFESSIONAL ENGINEER
NO. 30682

DATE SUBMITTED: 04/04/2018
DRAWING SIZE: 24" X 36"
SHEET FROM: SURVEY DATE: XX/XX/XX
JOB NO.: C03292
DRAWING NAME: C03292 - SDP.DWG
SHEET 2 OF 5



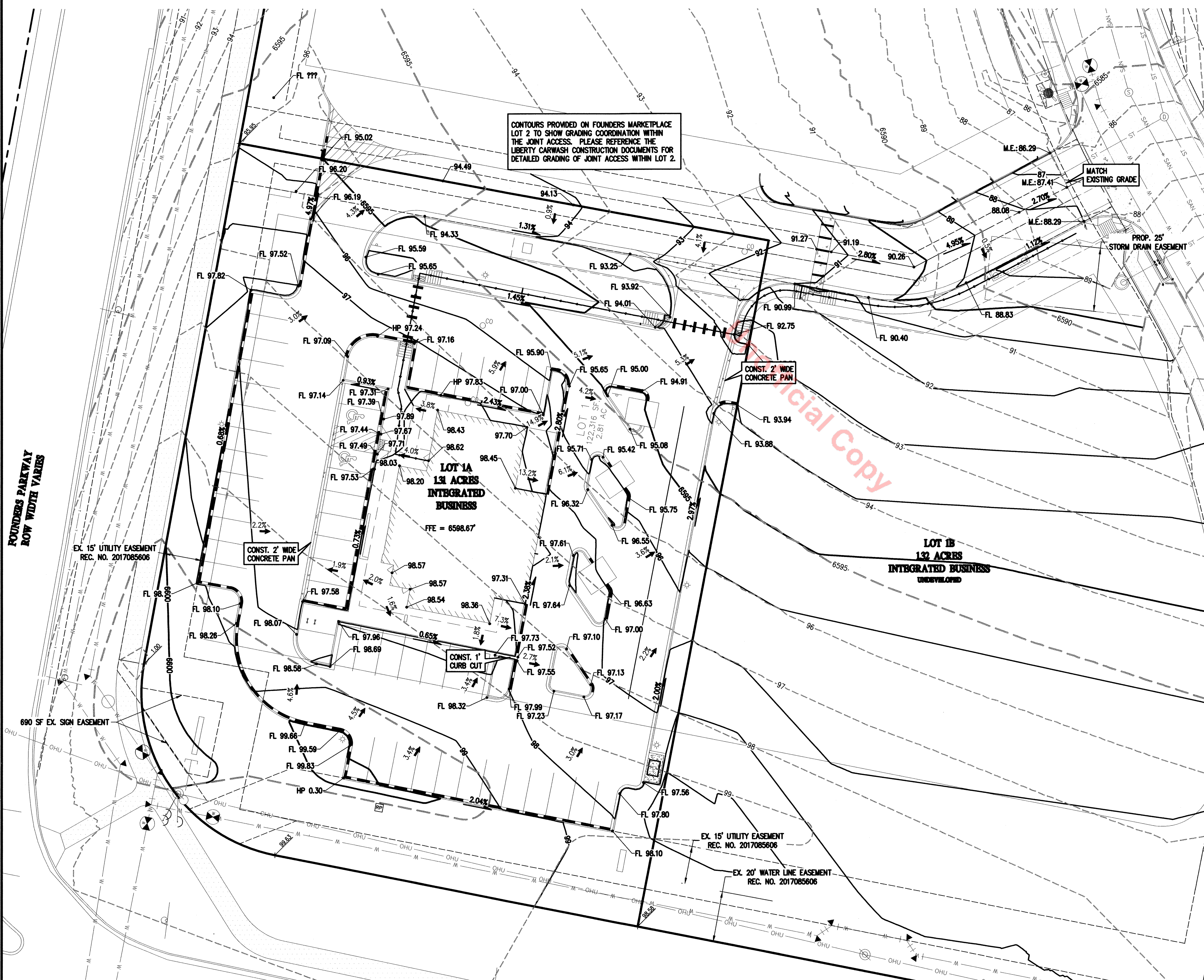
SITE DEVELOPMENT PLAN AMENDMENT NO.1

LOT 1A, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 43

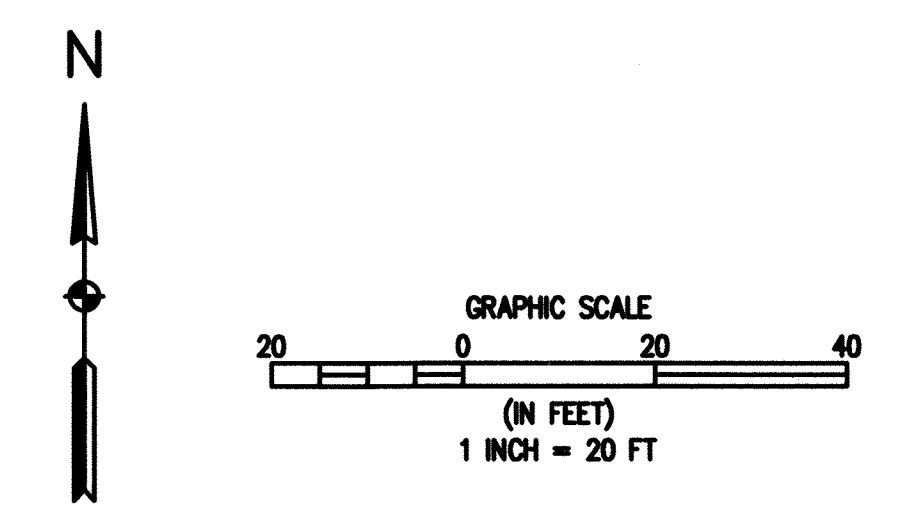
LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO


LEGEND		
EXISTING LINETYPES	PROPOSED LINETYPES	
--- 81 ---	— 81 —	MINOR CONTOUR (1' INTERVAL)
--- 5280 ---	— 5280 —	MAJOR CONTOUR (5' INTERVAL)
---	---	PROPERTY BOUNDARY
---	---	EASEMENT
---	---	EDGE OF ASPHALT
---	---	CURB AND GUTTER (SPILL/CATCH)
---	---	EDGE OF BUILDING
---	---	DITCH FLOWLINE

EXISTING SYMBOLS	PROPOSED SYMBOLS	
▲	▲	SIGN
25.44	25.38	SPOT ELEVATION
→	→	FLOW DIRECTION, TYPICALLY ON PAVED SURFACES
→	→	FLOW DIRECTION, TYPICALLY IN FLOWLINE
→	→	FLOW DIRECTION, TYPICALLY IN GRASSED SWALE
○	○	DOWNSPOUT
○	○	FIRE HYDRANT
○	○	WATER VALVE
○	○	SANITARY MANHOLE
○	○	STORM DRAIN MANHOLE
☆	☆	LIGHT POLE



- NOTES:**
- ALL SIDEWALKS SHALL HAVE A MAXIMUM 2% CROSS SLOPE.
 - THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATIONS SHALL SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER, WHICHEVER IS MORE STRINGENT.





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REVISION DESCRIPTION	PREPARED BY	DATE
TOWN COMMENTS	MDS	07/11/2018
TOWN COMMENTS	MRA	09/04/2018
SIGNAGE REVISION	MDS	10/23/2018
TOWN SIGNAGE COMMENTS	MDS	05/16/2019
	NUN	06/05/2019

LEVEL 5, LLC.

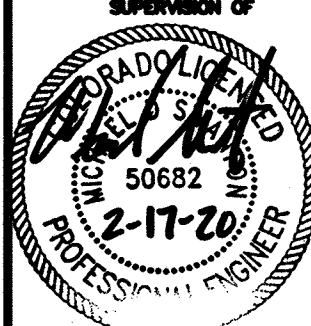
DOUGLAS COUNTY

CANVAS CREDIT UNION

GENERAL GRADING PLAN

TOWN OF CASTLE ROCK

PREPARED UNDER THE DIRECT SUPERVISION OF



FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL	04/04/2018
DRAWING SIZE	24" X 36"
SURVEY FROM	50682
BASELINE	12/21/2017
JOB NO.	CD3292
DRAWING NAME	cd3292 - SDP.DWG
SHEET	3 OF 5

SITE DEVELOPMENT PLAN AMENDMENT NO.1

LOT 1A, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 43

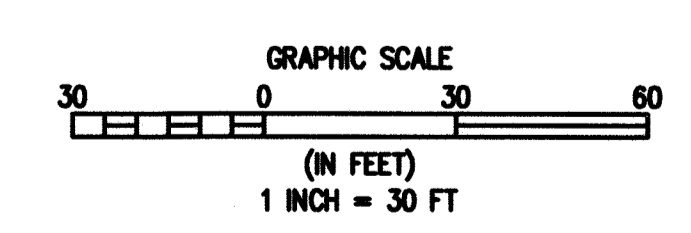
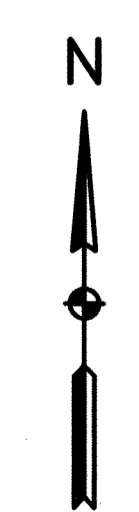
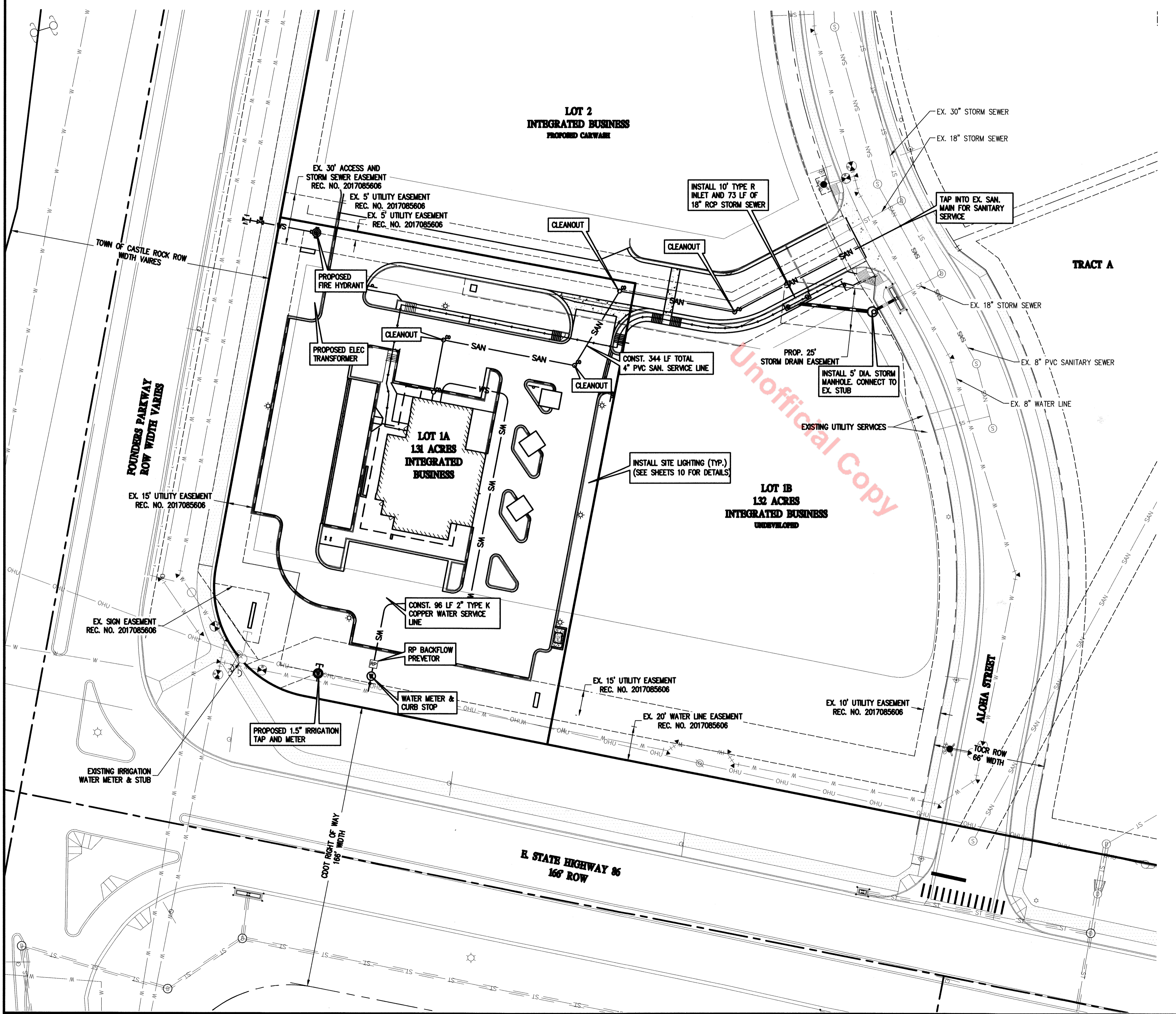
LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND		
EXISTING LINETYPES	PROPOSED LINETYPES	
---	---	PROPERTY BOUNDARY
---	---	EASEMENT
---	---	EDGE OF ASPHALT
---	---	CURB AND GUTTER (SPILL/CATCH)
---	---	EDGE OF BUILDING
---	---	DITCH FLOWLINE
W	W	WATER LINE
WS	WS	WATER SERVICE
SAN	SAN	SANITARY SEWER
SS	SS	SANITARY SEWER SERVICE
ST	ST	STORM SEWER
GAS	GAS	GASLINE
OHU	OHU	OVERHEAD UTILITY
E	E	UNDERGROUND ELECTRIC
T	T	UNDERGROUND TELEPHONE
FO	FO	FIBER OPTIC

EXISTING SYMBOLS	PROPOSED SYMBOLS	
25.44	25.36	SIGN
→	→	SPOT ELEVATION
→	→	FLOW DIRECTION, TYPICALLY ON PAVED SURFACES
⊙	⊙	FIRE HYDRANT
⊙	⊙	WATER VALVE
⊙	⊙	SANITARY MANHOLE
⊙	⊙	STORM DRAIN MANHOLE
⊙	⊙	LIGHT POLE
⊙	⊙	WATER METER
⊙	⊙	CLEANOUT

UTILITY NOTES:

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THE SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN WATER PRESSURE ZONE.
- THE CONTRACTOR SHALL NOTIFY ENGINEER AND FIELD VERIFY TYPE, SIZE, AND LOCATION OF EXISTING UTILITIES PRIOR TO UTILITY CONSTRUCTION.



REVISION DESCRIPTION	DATE	PREPARED BY	DESIGNED BY
TOWN COMMENTS	07/11/2018	MDS	SPR
TOWN COMMENTS	09/04/2018	MDS	SPR
TOWN COMMENTS	10/23/2018	MDS	SPR
SIGNAGE REVISION	05/16/2019	MDS	SPR
TOWN SIGNAGE COMMENTS	06/05/2019	MDS	NJN

DOUGLAS COUNTY
TOWN OF CASTLE ROCK
LEVEL 5, LLC.
CANVAS CREDIT UNION
GENERAL UTILITY PLAN

FOR AND ON BEHALF OF
BASELINE CORPORATION

PREPARED UNDER THE DIRECT SUPERVISION OF
MICHAEL SWANTON
PROFESSIONAL ENGINEER

INITIAL SUBMITTAL	04/04/2018
DRAWING SIZE	24" x 36"
SURVEY FIRM	SURVEY DATE
BASELINE	XX/XX/XX
JOB NO.	C03292
DRAWING NAME	
C03292 - SDP.DWG	
SHEET	4 OF 5

SDP19-0050
LOT 1A, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 43
SITE DEVELOPMENT PLAN PROJECT NO. SDP19-0050

SITE DEVELOPMENT PLAN AMENDMENT NO.1

LOT 1A, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 43

LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MULCHES NOTES:

- AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1" ROCK COBBLE MULCH OVER LANDSCAPE FABRIC (ANY APPROVED) IN ALL PLANTING AREAS (EXCEPT FOR TURF AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

ROOT BARRIER NOTES:

- THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOT BALL.

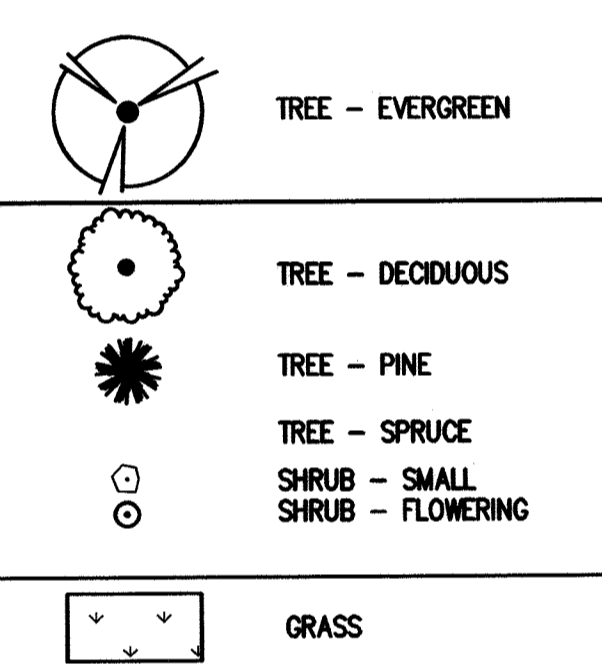
CLWUR Chart for the Town of Castle Rock

Irrig. Zone	Plant Name	App Rate	Zone	% of Total Area	IA	LWUR	TA	CLWUR
DRIP/SPRAY	IRRIGATED TREES/SHRUBS, NATIVE SEED & WILD FLOWERS	5	LOW	90	17,828	1.5	18,934	1.42
SPRAY	NORTHERN WHEATGRASS	5	LOW	10	1,006	3	18,934	0.159
TOTALS:				100	18,934			1.579

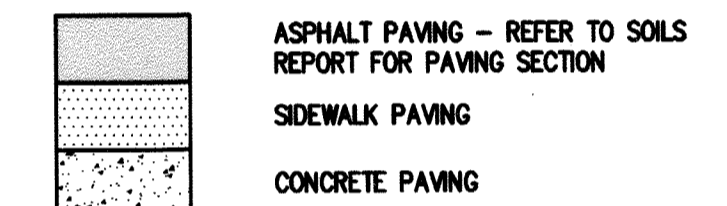
CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES:

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDRONIZED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

PLANTING LEGEND:



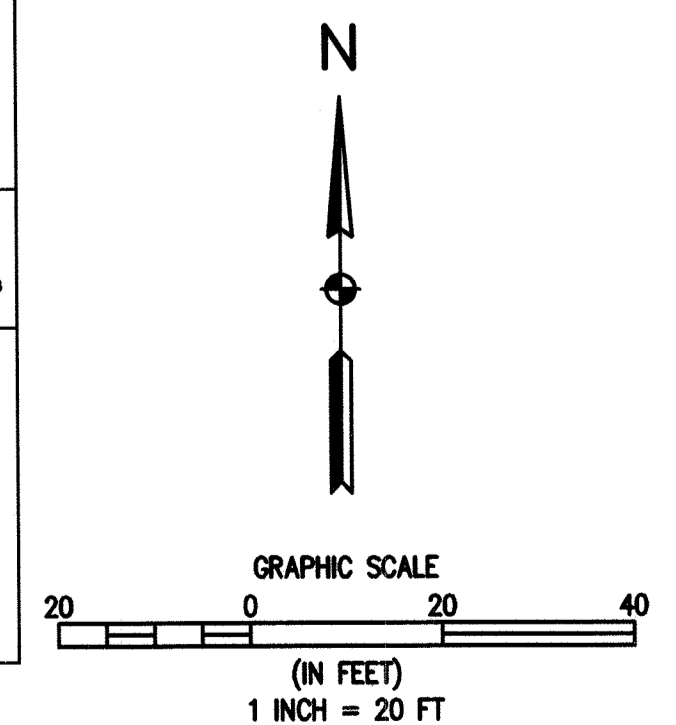
PAVING LEGEND:



Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional **Deanne Frederickson**
 Town of Castle Rock Registration # **584** State of Colorado License Landscape Architect # **584**
 Company Name **Baseline Engineering Corp** Address **112 N Rubey Drive, Suite 210, Golden, Co**
 Phone **303-940-9966** Email **michael.swanton@baselinecorp.com** Date **08/27/2018**
 PROJECT NAME **Public Service Credit Union - Castle Rock**

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu. yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
56,844 SF	19,074 SF	15,973 SF	412 SF	12	21	23	81	366 cu. yds	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
24,580 SF	3,181 SF	47	2,274 SF	8	6' MIN LARGE CANOPY 6' MIN SMALL CANOPY	5	7	10	22



SDP19-0050
 LOT 1A, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 43
 SITE DEVELOPMENT PLAN PROJECT NO. SDP19-0050



DESIGNED BY	DATE	PREPARED BY	DATE
SPR	07/11/2018	MDS	07/11/2018
SPR	09/04/2018	MDS	09/04/2018
SPR	10/23/2019	MRA	10/23/2019
SPR	05/16/2019	MDS	05/16/2019
NUN	06/05/2019	MDS	06/05/2019

REVISION DESCRIPTION
 TOWN COMMENTS
 TOWN COMMENTS
 TOWN COMMENTS
 TOWN SIGNAGE COMMENTS

DOUGLAS COUNTY
 CANVAS CREDIT UNION
 LANDSCAPE PLAN

LEVEL 5, LLC.
 TOWN OF CASTLE ROCK

PREPARED UNDER THE DIRECT SUPERVISION OF

FOR USE BY BENEFIT OF BASELINE CORPORATION

INITIAL SUBMITTAL 04/04/2018
 DRAWING SIZE 24" X 36"
 SURVEY FIRM SURVEY DATE
 BASELINE XX/XX/XX
 JOB NO. CO3292
 DRAWING NAME
 CO3292 - SDP.DWG
 SHEET 5 OF 5