

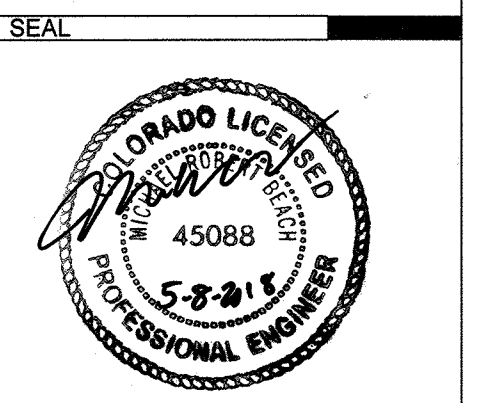
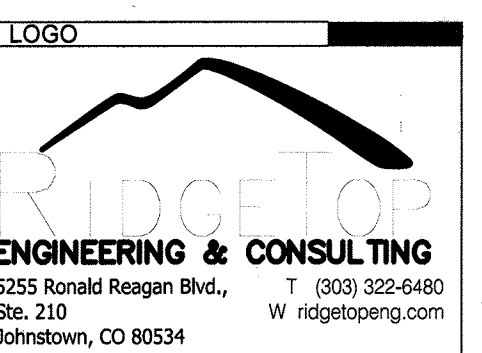
# FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4

## SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH,  
 RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

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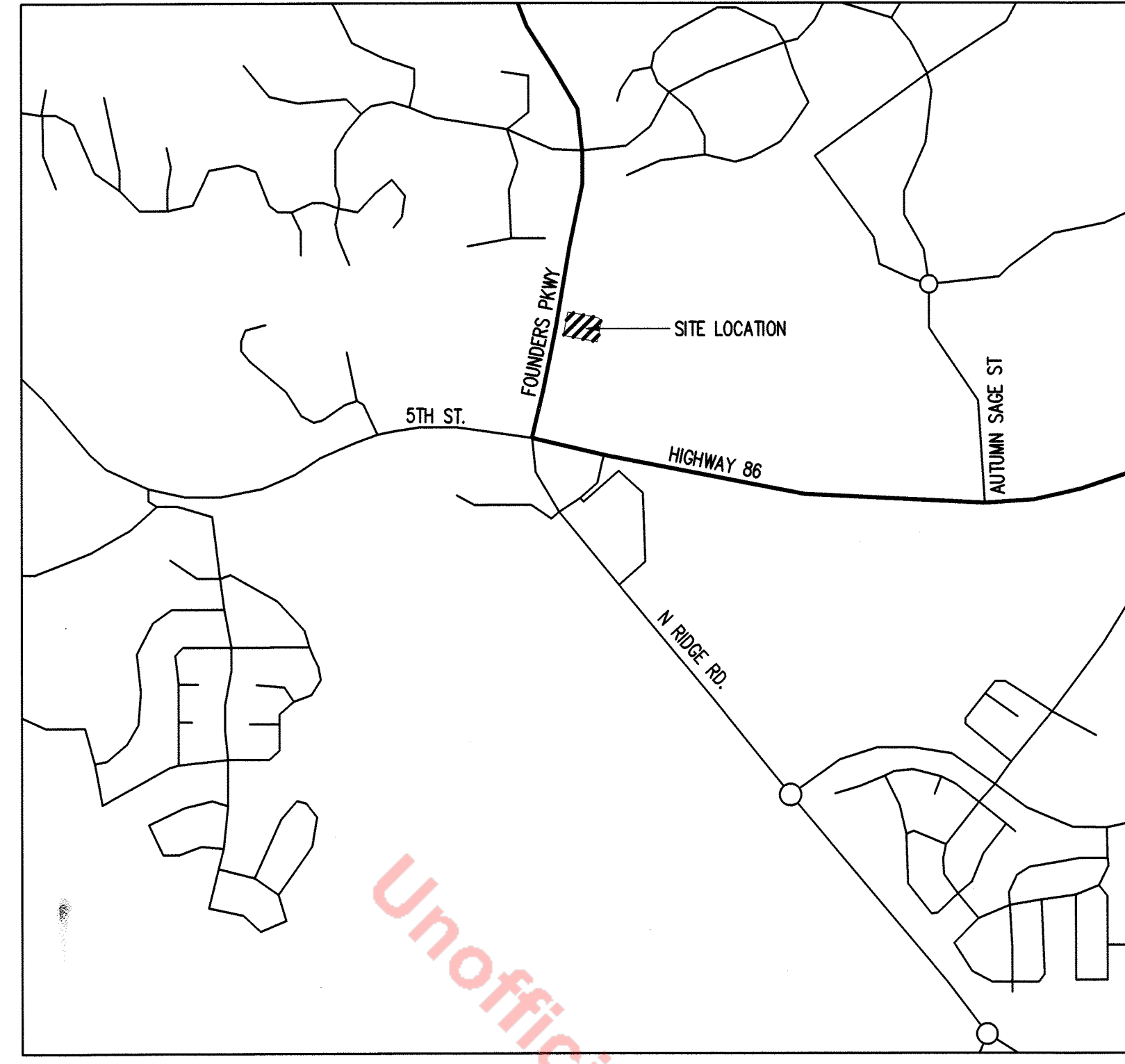
### LEGAL DESCRIPTION

LOT 4, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO

### BASIS OF BEARING

BASIS OF BEARINGS IS THE WEST LINE OF SW 1/4 OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M., AND BEARS N01°18'43"W BETWEEN THE MONUMENTS SHOWN HEREON.

ZONING COMPARISON CHART		
ZONING	MALL AND OFFICE CENTER INFILL PD	
USE AREA	IB INTEGRATED BUSINESS	
	PD REQUIREMENT	PROVIDED (SDP)
PERMITTED USES	AS PER SECTION II E OF THE PD ZONING REGULATIONS	COMPLIES
MINIMUM LOT SIZE	1 ACRE	1.128 ACRES
MAXIMUM BUILDING COVERAGE	35%	6.23%
MINIMUM FRONT YARD SETBACK	*	72.02'
MINIMUM REAR YARD SETBACK	*	32.5'
MINIMUM SIDE YARD SETBACK	*	N/A
MINIMUM SIDE TO STREET SETBACK	*	31.6'
MAXIMUM BUILDING HEIGHT	50-FEET	20'-8"
MAXIMUM BUILDABLE SLOPE	**	25.00%
	27	29
MINIMUM PARKING	1 SPACE PER EMPLOYEE, 2 SPACES PER PUMP APPARATUS AND 4 SPACES PER 1,000 S.F. OF GFA	
	2 EMPLOYEES = 2 SPACES 6 PUMP APPARATUS = 12 SPACES 3,026 S.F. OF GFA = 13 SPACES	
SITE UTILIZATION		
	S.F.	% OF TOTAL
BUILDING COVERAGE	3,062	6.23%
PARKING/HARDSCAPE COVERAGE	32,958	67.08%
LANDSCAPE/OPEN SPACE COVERAGE	13,116	26.69%
STREET COVERAGE	0	0
OTHER COVERAGE	0	0
TOTAL	49,136	100.00%



### PROJECT CONTACTS:

<b>CIVIL ENGINEER</b> RIDGETOP ENGINEERING AND CONSULTING, LLC 5255 RONALD REAGAN BLVD, SUITE 210 JOHNSTOWN, CO 80534 (970) 663-4552 CONTACT: MIKE BEACH, P.E.	<b>APPLICANT</b> WDG FOUNDERS, LLC 4201 E YALE AVE, STE 140 DENVER, CO 80222 (720) 524-4392 CONTACT: MIKE WALL
<b>SURVEYOR</b> ATWELL, LLC 143 UNION BOULEVARD, SUITE 700 LAKEWOOD, CO 80228 (303) 928-6741 CONTACT: SHAWN CLARKE, PLS	<b>LANDSCAPE</b> MRLA 386 34 1/2 ROAD PALISADE, COLORADO 81526 (970) 361-4345 CONTACT: MITCH REWOLD
<b>LANDOWNER</b> LINDEN PARTNERS, LLC A COLORADO LIMITED LIABILITY COMPANY CORPORATION, FORMERLY KNOWN AS LINDEN PARTNERS, LTD., A COLORADO LIMITED PARTNERSHIP 1805 S. BELLAIRE ST. SUITE 110 DENVER, CO 80222 (303) 771-3344 CONTACT: BLAKE SMITH	<b>ARCHITECT</b> THE DIMENSION GROUP 5600 SOUTH QUEBEC STREET, SUITE 3108 GREENWOOD VILLAGE, CO 80111 (720) 536-3180 CONTACT: TANNER KINDE, LEED AP BD+C

PROJECT TITLE  
**FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4**  
 1175 ALOHA STREET  
 CASTLE ROCK, COLORADO

PREPARED FOR  
**WDG FOUNDERS, LLC**

4201 E YALE AVE  
 SUITE 140  
 DENVER, CO

### SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- PER FIRM MAP NUMBER 08035001896, DATED 03/16/2016, THIS SITE IS IN ZONE X AND NOT WITHIN ANY FLOOD ZONE.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THIS SITE IS ZONED MALL AND OFFICE CENTER INFILL.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS. SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

**SURVEYOR'S CERTIFICATE**

I, Shawn D. Clarke, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

Shawn D. Clarke 05-25-18  
 REGISTERED LAND SURVEYOR DATE  
 CO REGISTRATION NO. 38061

**CIVIL ENGINEER'S STATEMENT**

I, Michael R. Beach, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Michael R. Beach 5-8-2018  
 REGISTERED PROFESSIONAL ENGINEER DATE  
 CO REGISTRATION NO. 45088

**OWNERSHIP CERTIFICATION**

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

Blake Smith  
 LINDEN PARTNERS, LLC, A COLORADO LIMITED LIABILITY COMPANY, FORMERLY KNOWN AS LINDEN PARTNERS, LTD., A COLORADO LIMITED PARTNERSHIP.  
 SIGNED THIS 24th DAY OF May, 2018.

**NOTARY BLOCK**

SUBSCRIBED AND SWORN TO BEFORE ME THIS 24 DAY OF May, 2018.

BY Blake Smith AS Vice president OF LINDEN PARTNERS, LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

Blake Smith  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 12/18/2021

**TIMOTHY JAMES KLOEWER**  
 NOTARY PUBLIC  
 STATE OF COLORADO  
 NOTARY ID 2074061500  
 MY COMMISSION EXPIRES 12/18/2021

**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE**

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 11:36 am ON THE 31 DAY OF MAY, 2018 AT RECEPTION NO. 2018032627.

DOUGLAS COUNTY CLERK AND RECORDER

BY: Tulayna Law  
 DEPUTY

**TITLE CERTIFICATION**

I, David W. Krapp, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Co., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

David W. Krapp  
 AUTHORIZED REPRESENTATIVE  
Land Title Guarantee Company  
 TITLE COMPANY

SIGNED THIS 25th DAY OF May, 2018.

**NOTARY BLOCK**

SUBSCRIBED AND SWORN TO BEFORE ME THIS 25th DAY OF May, 2018.

BY David W. Krapp AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Co.

WITNESS MY HAND AND OFFICIAL SEAL.

Teresa Ann Hess  
 NOTARY PUBLIC  
 STATE OF COLORADO  
 NOTARY ID 2019400065  
 My Commission Expires January 2, 2022

**STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL**

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 29th DAY OF May, 2018.

David Smith  
 DIRECTOR OF DEVELOPMENT SERVICES

NOTE:  
 A VARIANCE HAS BEEN APPROVED WITH THE TOWN OF CASTLE ROCK. PLEASE REFERENCE VARIANCE NUMBER TCV16-0068.



Know what's below.  
 Call before you dig.  
 SDP17-0004

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4 SITE DEVELOPMENT PLAN

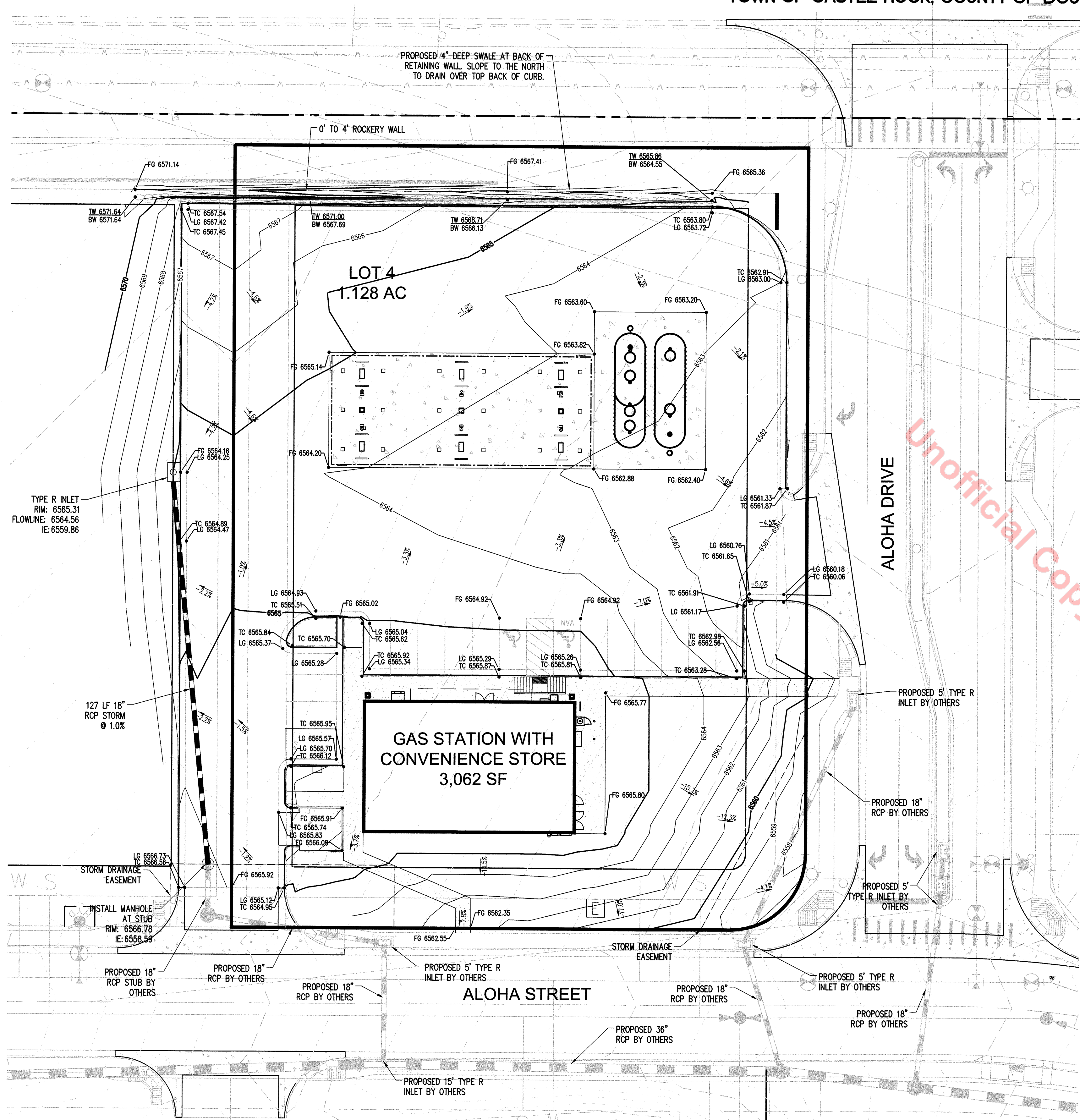
SUBMITTAL	
SITE DEVELOPMENT PLAN	
DRAWN BY:	RSB/BSA
CHECKED BY:	MRB
PROJECT NO.:	16-008-007
REVISIONS	
COMMENTS	02/23/18
COMMENTS	03/30/18
MYLAR	05/08/18
DATE	05/08/2017
SHEET TITLE	COVER SHEET
SHEET INFORMATION	1 of 8



# FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4

SITE DEVELOPMENT PLAN  
 LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH,  
 RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

FOUNDERS PKWY



## LEGEND

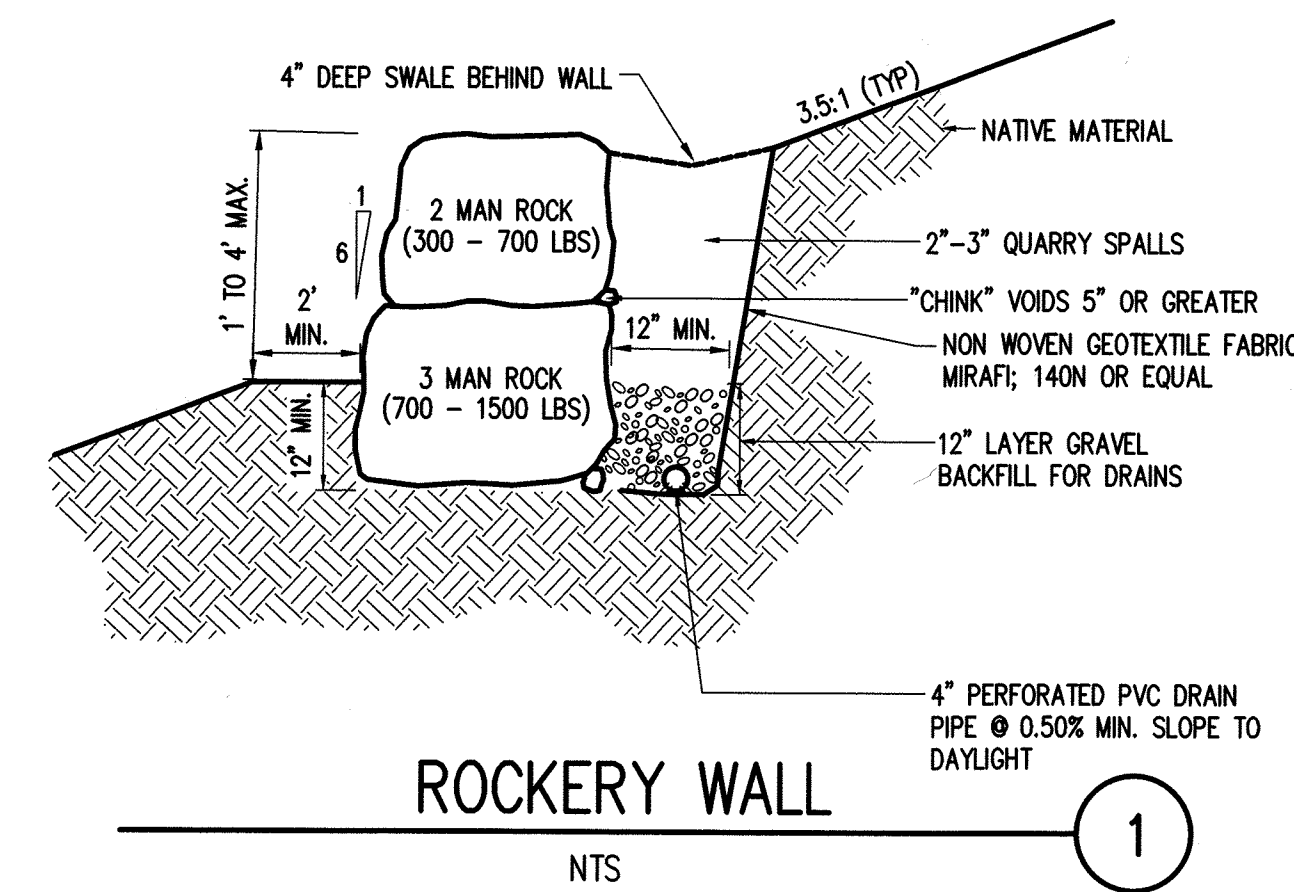
EX. CONTOUR	---
PROPOSED CONTOUR	---
PROPERTY LINE	---
SPOT ELEVATION	4653
RIDGE	---
STORM PIPE	---
TC	TOP OF CURB
FG	FINISHED GRADE
LG	LIP OF GUTTER

## GRADING NOTES

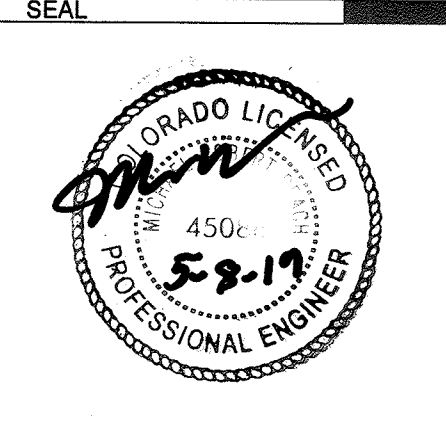
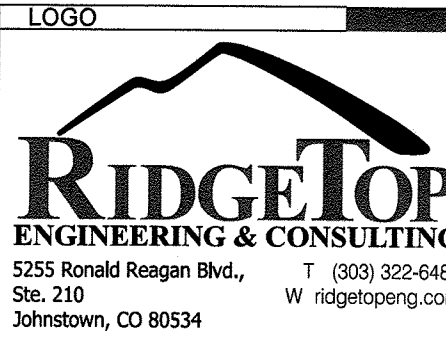
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED PER THE IBC CODE AND APPLICABLE LOCAL REGULATION. ALL CUT AND FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
- ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK RATE OF STORMWATER RUNOFF FROM PROJECT SITE.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REMOVE UNSUITABLE SOILS LOCATED WITHIN THE BUILDINGS SPLAY LINE OF THE FOOTINGS.
- FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
- USE OF NATIVE MATERIAL PERMITTED IF PLACED IN 8" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR.
- GENERAL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BUILD CURB AND GUTTER AS REQUIRED FOR SPILL AND CATCH CURB.

## NOTES:

- ALL ROCK SHALL BE SOUND, HARD, DURABLE AND UNIFORM IN COLOR. PREFERABLY NATIVE OR LOCAL ROCK.
- THE FIRST ROCK COURSE SHALL BE PLACED ON FIRM, UNYIELDING SOIL.
- LATTER COURSES SHALL BE CONSTRUCTED SUCH THAT EACH ROCK BEARS ON AT LEAST TWO ROCKS BELOW IT.
- THE LONG DIMENSION OF THE ROCKS SHALL EXTEND INTO THE BANK TO PROVIDE MAXIMUM STABILITY.



Unofficial Copy



PROJECT TITLE  
**FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4**  
 1175 ALOHA STREET  
 CASTLE ROCK, COLORADO

PREPARED FOR  
**WDG FOUNDERS, LLC**

4201 E YALE AVE  
 SUITE 140  
 DENVER, CO

SUBMITTAL  
**SITE DEVELOPMENT PLAN**

DRAWN BY: RSB/BSA  
 CHECKED BY: MRB  
 PROJECT NO.: 16-006-007

REVISIONS  
 COMMENTS 02/23/18  
 COMMENTS 03/30/18  
 MYLAR 05/08/18

DATE  
**05/08/2017**

SHEET TITLE  
**GRADING PLAN**

SHEET INFORMATION



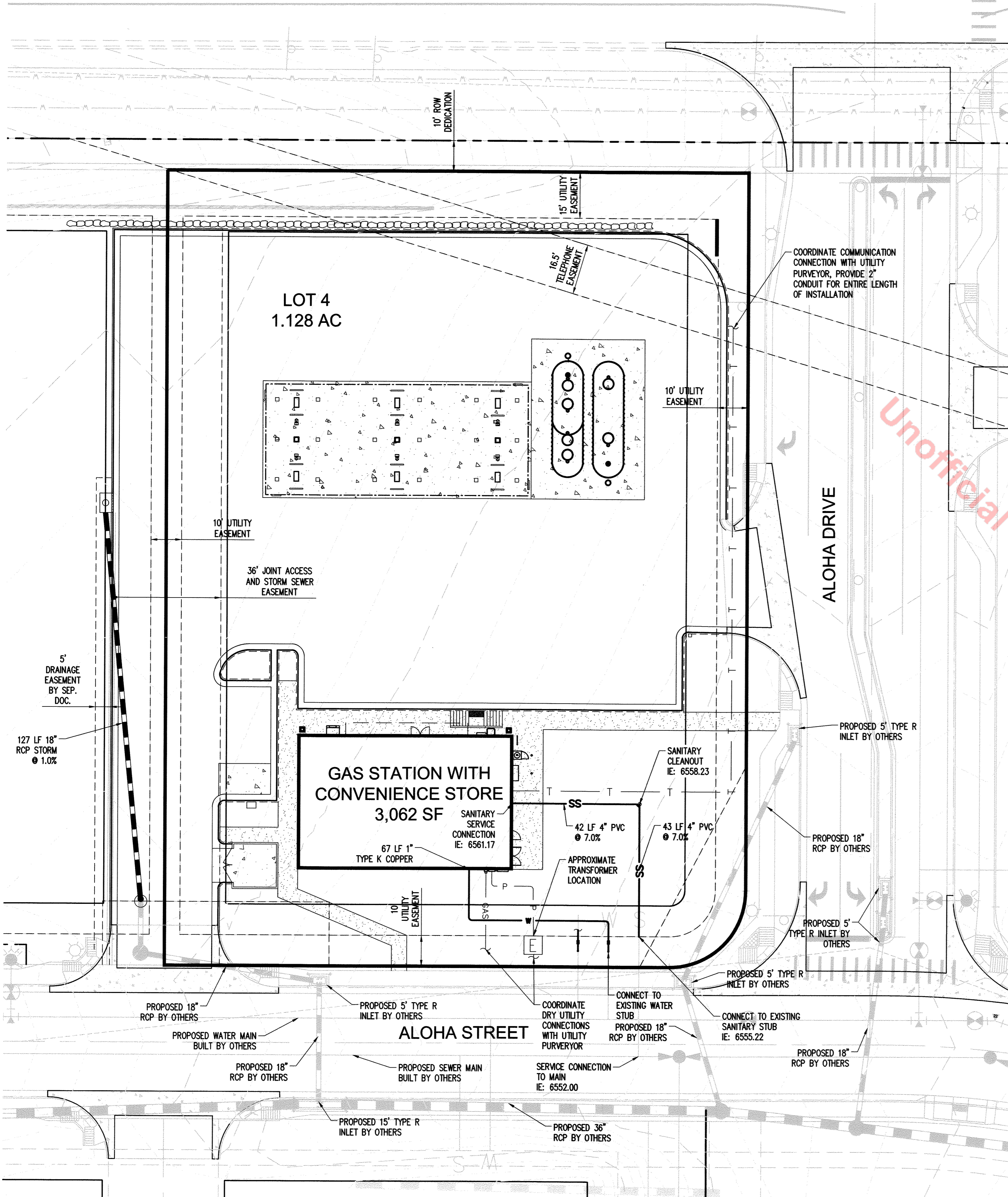
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 SDP17-0004

FOUNDERS MARKETPLACE  
 FILING NO. 1, AMENDMENT NO. 2,  
 LOT 4 SITE DEVELOPMENT PLAN

# FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4

SITE DEVELOPMENT PLAN  
LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH,  
RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

FOUNDERS PKWY



### CASTLE ROCK UTILITY NOTES

- FIRE NOTES:**
- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
  - FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION.
  - APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
  - DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
  - FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
  - FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
  - "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
  - IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- UTILITY NOTES:**
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
  - THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
  - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
  - THE SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN WATER PRESSURE ZONE.

### WATER NOTES

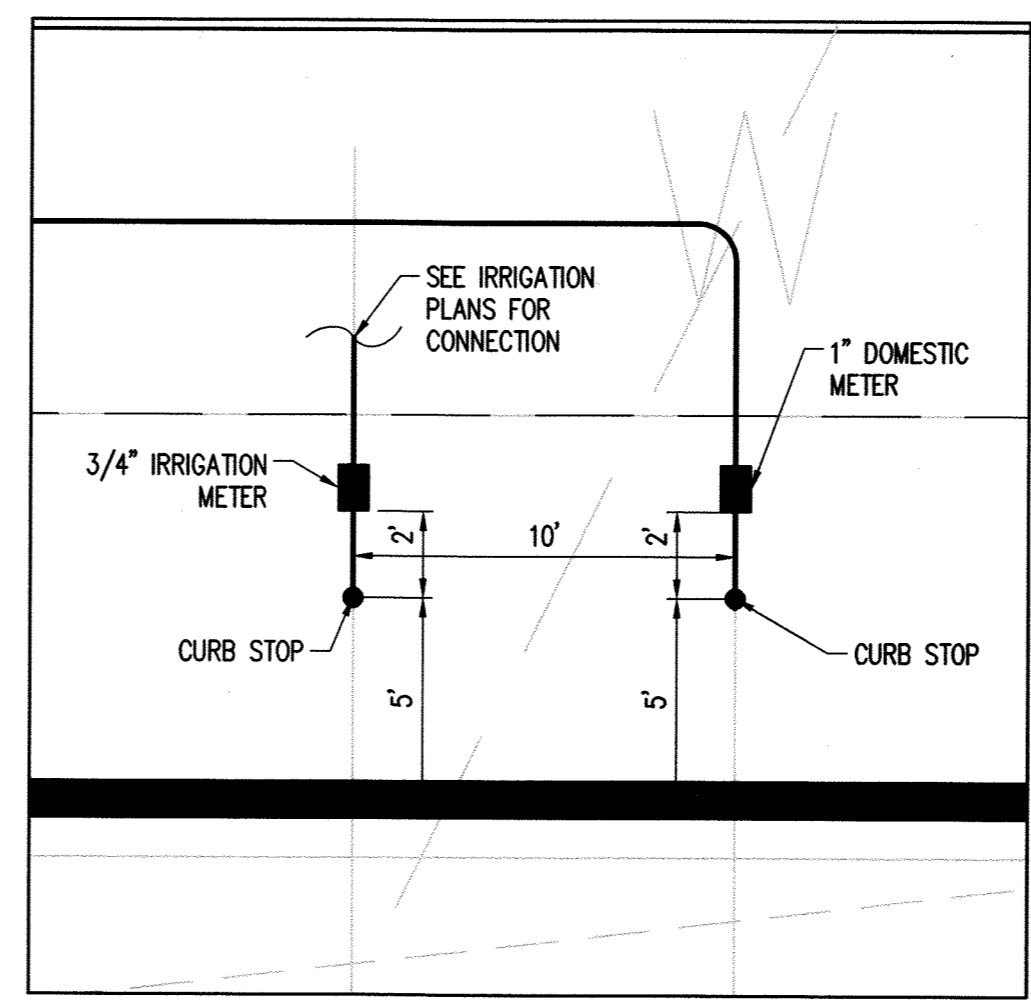
- ALL CONSTRUCTION/INSTALLATION OF WATER MAINS SHALL BE DONE IN A SAFE, NEAT AND WORKMANLIKE MANNER, AND UNDER SUPERVISION BY UTILITY PROVIDER FORCES AT ALL TIMES. ALL SAFETY REQUIREMENTS FROM OSHA AND OTHER STATE REGULATING AGENCIES MUST BE MET.
- WATER MAIN PIPE MATERIAL SHALL BE CLASS 52 DUCTILE IRON OR PVC PIPE MEETING LOCAL REQUIREMENTS. POLYETHYLENE WRAP IS REQUIRED ON ALL METALS.
- AN 18-INCH MINIMUM SEPARATION IS REQUIRED ON SERVICE TAPS ON A MAIN LINE.
- 3/4" THROUGH 2" SERVICES USE CORPORATION STOP OR WET TAP, PER TOWN DETAILS. LARGER THAN 2" MUST USE CUT IN TEE.
- ALL ELBOWS/BENDS ON WATER MAINS SHALL HAVE THRUST BLOCKS.
- A DEPTH OF 5' FROM FINISHED GRADE TO THE TOP OF THE WATER MAIN IS REQUIRED. PLACING WATER LINES SHALLOWER THAN 5' IS PROHIBITED.
- ALL NEW PIPES MUST BE PROPERLY FLUSHED, PRESSURE TESTED, AND CHLORINATED BY THE CONTRACTOR, AND INSPECTED BY UTILITY PROVIDER AND GOVERNMENTAL AGENCIES WITH JURISDICTION.
- ALL BACKFLOW PREVENTION DEVICES (DOUBLE CHECK BACKFLOW PREVENTORS, REDUCED PRESSURE BACKFLOW PREVENTORS, PRESSURE AND ATMOSPHERIC VACUUM BREAKERS, ETC.) MUST BE APPROVED BY THE UTILITY PROVIDER AND GOVERNMENTAL AGENCIES WITH JURISDICTION.
- ALL NEW CONNECTIONS TO EXISTING WATER MAINS REQUIRE ISSUANCE OF A PUBLIC WORKS PERMIT AND INSPECTION BY THE CITY OR GOVERNMENTAL AGENCIES WITH JURISDICTION PRIOR TO BACKFILLING.
- BACKFLOW PREVENTION DEVICES SHALL BE CONSTRUCTED OF CORROSION RESISTANT MATERIALS.
- AS PART OF THE BASE BID, THE CONTRACTOR SHALL INCLUDE VERTICAL BENDS AND THRUST BLOCKS, AS NECESSARY, TO ACCOMMODATE PROPOSED UTILITY CROSSINGS.

### SANITARY SEWER NOTES

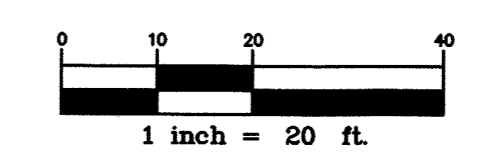
- ALL CONSTRUCTION/INSTALLATION OF SANITARY SEWER MAINS SHALL BE DONE IN A SAFE, NEAT AND PROFESSIONAL MANNER, AND UNDER SUPERVISION OF CITY FORCES AT ALL TIMES. ALL SAFETY REQUIREMENTS FROM OSHA AND OTHER STATE REGULATING AGENCIES MUST BE MET.
- THE MINIMUM SIZE FOR PUBLIC SEWER MAINS SHALL BE 8" DIAMETER. ALL SANITARY SEWER PIPING SHALL BE SCHEDULE D3034 PVC OR EQUAL. MINIMUM PIPE DIAMETER FOR PRIVATE LATERALS IS 4" AND OF SCHEDULE D3034 PVC OR EQUAL. ALL SANITARY SEWER LATERALS MUST BE PROPERLY MARKED AT ENDS.
- CONNECTIONS INTO THE EXISTING SANITARY SEWER MAINS REQUIRE ISSUANCE OF PUBLIC WORKS PERMIT AND INSPECTION BY THE LOCAL JURISDICTION PRIOR TO BACKFILLING.
- ALL NEW SANITARY SEWER PIPES AND MANHOLES MUST BE THOROUGHLY CLEANED, INSPECTED AND PRESSURE/VACUUM TESTED AS REQUIRED BY UTILITY PROVIDER AND GOVERNMENTAL AGENCIES WITH JURISDICTION. ALL TESTS MUST BE WITNESSED AND PASSED BY THE UTILITY PROVIDER AND GOVERNMENTAL AGENCIES WITH JURISDICTION PRIOR TO PLACING INTO OPERATION.
- THE CONTRACTOR SHALL PROVIDE TO THE UTILITY PROVIDER ANY GUARANTEE OR WARRANTY NORMALLY FURNISHED WITH THE PURCHASE OF ANY MATERIALS USED IN CONNECTION WITH THE PROJECT AT HAND.

### GENERAL UTILITY NOTES

- ALL IMPROVEMENTS SHALL MEET LOCAL, STATE DOT AND A.P.W.A. STANDARD SPECIFICATIONS. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEMARK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEMARK WHICH WOULD BE AFFECTED. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY, AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE RECORDS IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR THE-IN OF ALL UTILITIES.
- ALL FILL MATERIAL SHALL BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- MINIMUM WATER AND SANITARY SEWER TRENCH WIDTH SHALL BE 2 FEET.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINE (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL BE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 AND ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR IS TO PROVIDE TRENCHING, CONDUIT, AND BACKFILL FOR ALL UNDERGROUND POWER LINE AND VAULTS AS REQUIRED BY UTILITY PROVIDER. POWER LINES AND POLES TO BE INSTALLED BY UTILITY PROVIDER. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING AND FOR PRIMARY ELECTRIC SERVICE LOCATIONS.
- GAS PIPING SHOWN FOR COORDINATION ONLY. INSTALLATION OF THE GAS MAIN AND METER TO BE ACCOMPLISHED BY UTILITY PROVIDER.
- CONTRACTOR TO COORDINATE ALL WATER AND SANITARY SEWER APPURTENANCES (IE. METER, WYES, BFP, TAPS, ECT...) WITH CITY TO ENSURE COMPLIANCE WITH STANDARDS PRIOR TO STARTING CONSTRUCTION.



WATER CONNECTION DETAILS  
1" = 5'



**811**  
Know what's below.  
Call before you dig.  
SDP17-0004

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4 SITE DEVELOPMENT PLAN

LOGO  
**RIDGE TOP**  
ENGINEERING & CONSULTING  
5255 Ronald Reagan Blvd., Ste. 210  
Johnstown, CO 80534  
T (303) 922-6480  
W ridgegroupeng.com

SEAL  
PROFESSIONAL ENGINEER  
4506  
5-9-19

PROJECT TITLE  
**FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4**  
1175 ALOHA STREET  
CASTLE ROCK, COLORADO

PREPARED FOR  
**WDG FOUNDERS, LLC**

4201 E YALE AVE  
SUITE 140  
DENVER, CO

SUBMITTAL  
**SITE DEVELOPMENT PLAN**

DRAWN BY: RSB/BSA  
CHECKED BY: MRB  
PROJECT NO.: 16-006-007

REVISIONS  
COMMENTS 02/23/18  
COMMENTS 03/30/18  
MYLAR 05/08/18

DATE  
**05/08/2017**

SHEET TITLE  
**UTILITY PLAN**

SHEET INFORMATION  
4 of 8

PROJECT NO. SDP17-0004

# FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4

SITE DEVELOPMENT PLAN  
 LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PROJECT TITLE  
**FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4**  
 1175 ALOHA STREET  
 CASTLE ROCK, COLORADO  
 PREPARED FOR  
**WDG FOUNDERS, LLC**

1121 GRANT STREET  
 SUITE 2-A  
 DENVER, CO

**MRLA**  
 MITCH REWOLD LANDSCAPE ARCHITECT  
 386 34 1/2 Road  
 Palisade, Colorado 81526  
 (970) 361-4345

SUBMITTAL  
**SITE DEVELOPMENT PLAN**

DRAWN BY:	MLR
CHECKED BY:	MLR
PROJECT NO.:	16-006-007
REVISIONS	DATE
COMMENTS	02/23/18
COMMENTS	03/29/18
COMMENTS	04/03/18
COMMENTS	04/25/18

DATE  
**05/07/2018**

SHEET TITLE  
**SDP LANDSCAPE PLAN**  
 SHEET INFORMATION  
**L-1.0**

#/ %	Sym.	Common Name/ Biological Name	Plant Type	Hydro Zones	Planting Size/ Remarks	Mature Size
<b>Deciduous Trees Lot 4:</b>						
2/ 14%	AUT	Autumn Blaze Pear	Canopy	L/M	2' cal/ B&B	30' Ht. & 25' Spd.
2/ 14%	CAL	Western Catalpa/ Catalpa speciosa	Canopy	L/M	2' cal/ B&B	50' Ht. & 30' Spd.
1/ 7%	WHO	White Oak/ Quercus alba	Canopy	L/M	2' cal/ B&B	45' Ht. & 45' Spd.
1/ 7%	RLI	Redmond Linden/ Tilia americana 'Redmond'	Canopy	L/M	2' cal/ B&B	40' Ht. & 25' Spd.
1/ 7%	SHA	Shademaster Locust/ Gleditsia triacanthos inermis	Canopy	L/M	2' cal/ B&B	50' Ht. & 30' Spd.
1/ 7%	PRF	Prairiefire Crab/ Malus 'Prairiefire'	Ornamental	L/M	1 1/2' cal/ B&B	20' Ht. & 20' Spd.
3/ 22%	TCH	Cockspur Hawthorn/ Crataegus crus-galli 'Inermis'	Ornamental	L/M	1 1/2' cal/ B&B	20' Ht. & 20' Spd.
<b>Evergreen Trees:</b>						
3/ 22%	CBS	Colorado Blue Spruce/ Picea pungens	Evergreen	L/M	6-8' B&B	60' Ht. & 25' Spd.
<b>Deciduous Shrubs:</b>						
6/ 12%	BMS	Blue Mist Spirea/ Caryopteris x clandonensis	Shrub	L	18"-24" Spread/ #5	3' Ht. & 3' Spd.
7/ 13%	MKL	Miss Kim Lilac/ Syringa patula 'Miss Kim'	Shrub	L	18"-24" Spread/ #5	5' Ht. & 5' Spd.
10/ 19%	PFG	Gold Drop Potentilla/ Potentilla fruticosa 'Gold Drop'	Shrub	L	18"-24" Spread/ #5	3' Ht. & 3' Spd.
6/ 12%	RGB	Rose Glow Barberry/ Berberis thunbergii 'Rosey Glow'	Shrub	L	18"-24" Spread/ #5	4' Ht. & 4' Spd.
7/ 13%	YFC	Golden Currant/ Ribes aureum	Shrub	L	18"-24" Spread/ #5	4' Ht. & 4' Spd.
<b>Evergreen and Broadleaf Shrubs:</b>						
6/ 12%	BCJ	Blue Chip Juniper/ Juniperus horizontalis 'Blue Chip'	Sp. Juniper	L	15"-18" Spread/ #5	10' Ht. & 8' Spd.
6/ 12%	HUG	Hughes Juniper/ Juniperus horizontalis 'Hughes'	Sp. Juniper	L	15"-18" Spread/ #5	18' Ht. & 8' Spd.
4/ 7%	MAQ	Oregon Grape Holly Compact/ Mahonia Aquifolium 'Compacta'	Evergreen Sh.	L	18"-24" Spread/ #5	3' Ht. & 5' Spd.
<b>Grasses:</b>						
24	AVG	Blue Avena Grass/ Helictotrichon sempervirens	Om. Grass	Turf	15" Tall/ #1 Seed or Sod	2' Ht. & 2' Spd. Cut at 3.5"
NA	TURF	Buffalo Grass/ Buchloe dactyloides	Turf Grass			

\*ALL PLANT TOTALS ON THE PLANT LIST SHALL BE VERIFIED WITH PLANT NUMBERS ON THE LANDSCAPE PLANS.

- ### LANDSCAPE AND IRRIGATION NOTES
- PLANTING BEDS ARE TO HAVE 3" OF TAN CRUSHED GRANITE LANDSCAPE ROCK PLACED OVER WEED BARRIER. ALL PLANT MATERIAL SHALL HAVE A PLANTING RING AT THE BASE OF EACH PLANT WITH 4" OF WESTERN RED CEDAR MULCH OVER WEED BARRIER.
  - AN UNDERGROUND, PRESSURIZED IRRIGATION SYSTEM WITH AN IRRIGATION CLOCK AND A RAIN SENSOR AUTO SHUT-OFF WILL BE PROVIDED. AN APPROVED BACKFLOW PREVENTION DEVICE WITH A PROTECTIVE TAMPER-RESISTANT COVER IS REQUIRED. ALL PLANTING BEDS ARE TO BE IRRIGATED WITH AN AUTOMATIC DRIP SYSTEM.
  - STEEL EDGING IS TO BE INSTALLED ALONG THE EDGE OF THE PLANTING BEDS. EDGER IS REQUIRED TO BE ROLLED OR CAPPED.
  - ANY DRAINAGE SWALES IN THE PLANTING BEDS ARE TO BE 4" OF WASHED RIVER ROCK OVER WEED BARRIER. THE RIVER ROCK SHALL BE BETWEEN 3" AND 4" IN SIZE.

- ### CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES
- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
  - QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
  - ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
  - DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
  - PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
  - DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
  - IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
  - IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

### ESTIMATED PLANT MATERIAL REQUIREMENTS

LOT 4 SITE AREA = 49,136 Sq. Ft.  
 REQUIRED LANDSCAPE AREA 10% = 4,914 Sq. Ft.  
 2 TREES AND 4 SHRUBS / 1,000 Sq. Ft. = 10 TREES AND 20 SHRUBS

PARKING LOT AREA = 8,100 Sq. Ft.  
 REQUIRED LANDSCAPE AREA (10%) = 810 Sq. Ft.  
 2 TREES AND 4 SHRUBS / 1,000 Sq. Ft. = 2 TREES AND 4 SHRUBS

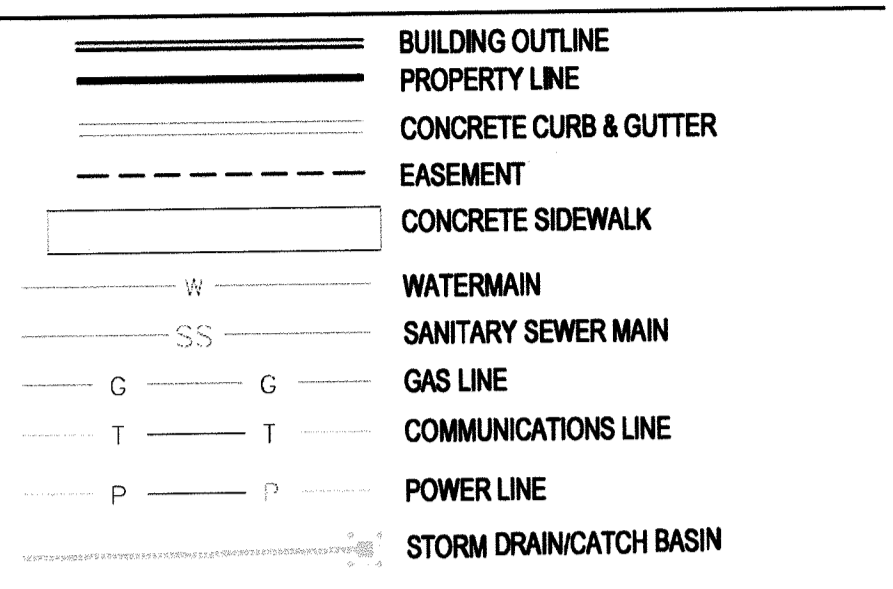
STREET	FRONTAGE LINEAR FEET	REQUIRED TREES	REQUIRED SHRUBS	PROVIDED TREES	PROVIDED SHRUBS	PROVIDED BY
FOUNDERS PARKWAY						FOUNDERS CROSSING-DEVELOPER
ALOHA DRIVE						FOUNDERS CROSSING-DEVELOPER
ALOHA STREET	140	4	16	4	16	LOT 4- DEVELOPER

## Commercial Landscape Site Inventory

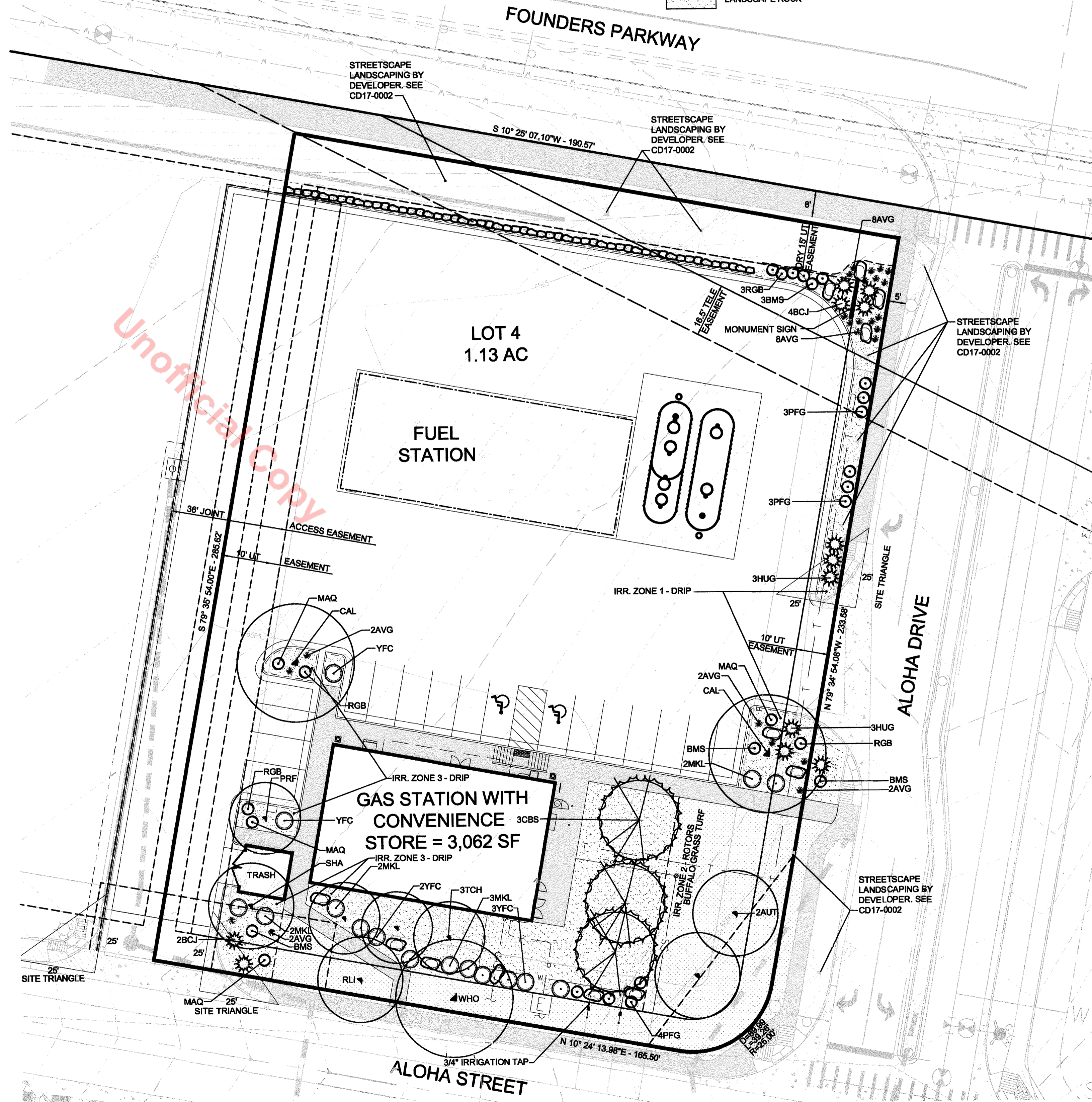
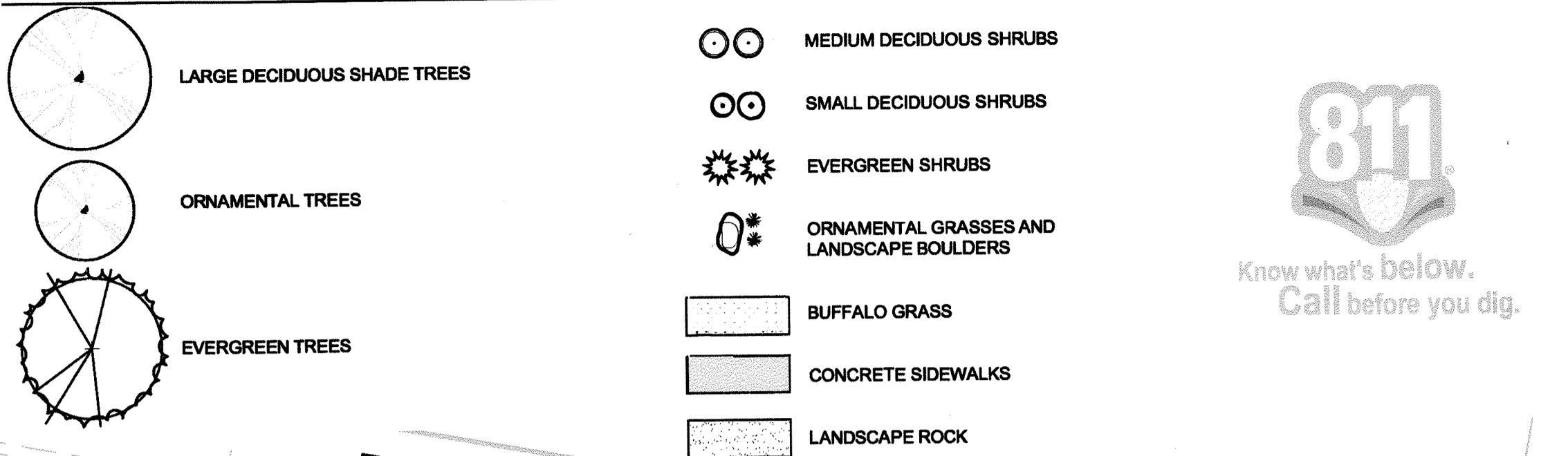
Town of Castle Rock Registered Professional **Mitchell L. Rewold**  
 Town of Castle Rock Registration # **NA** State of Colorado License Landscape Architect # **378**  
 Company Name **MRLA** Address **386 34 1/2 Road, Palisade CO**  
 Phone **970-361-4345** Email **mmkrewold@yahoo.com** Date **04/21/2017**  
 PROJECT NAME **66TH AND FOUNDERS - Lot 4**

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
49,136 Sq. Ft.	14,068 Sq. Ft.	Buffalo Grass 4,793 Sq. Ft. FC Mix 3,066 Sq. Ft.	Rock Mulch 6,209 Sq. Ft.	10	10	20	20	4cy per 1000 Sq. Ft. 41.3cy	es X ne
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscape Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
8,100 Sq. Ft.	853 Sq. Ft.	17	Rock Mulch 853 Sq. Ft.	1	9'	2	3	4	13

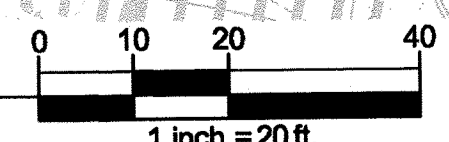
### SITE PLAN LEGEND



### LANDSCAPE LEGEND



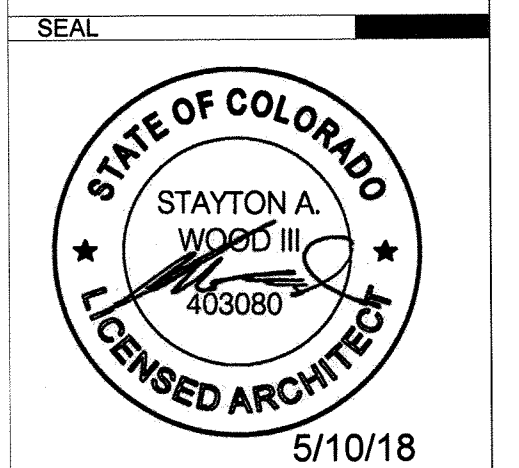
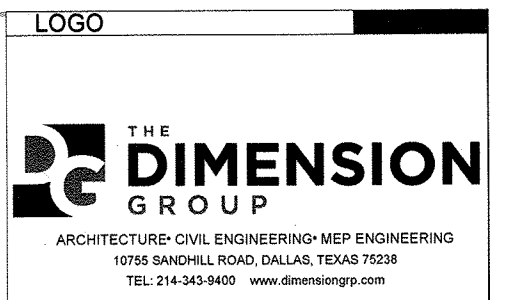
### SDP LANDSCAPE PLAN



FOUNDERS MARKETPLACE  
 FILING NO. 1, AMENDMENT NO. 2,  
 LOT 4 SITE DEVELOPMENT PLAN

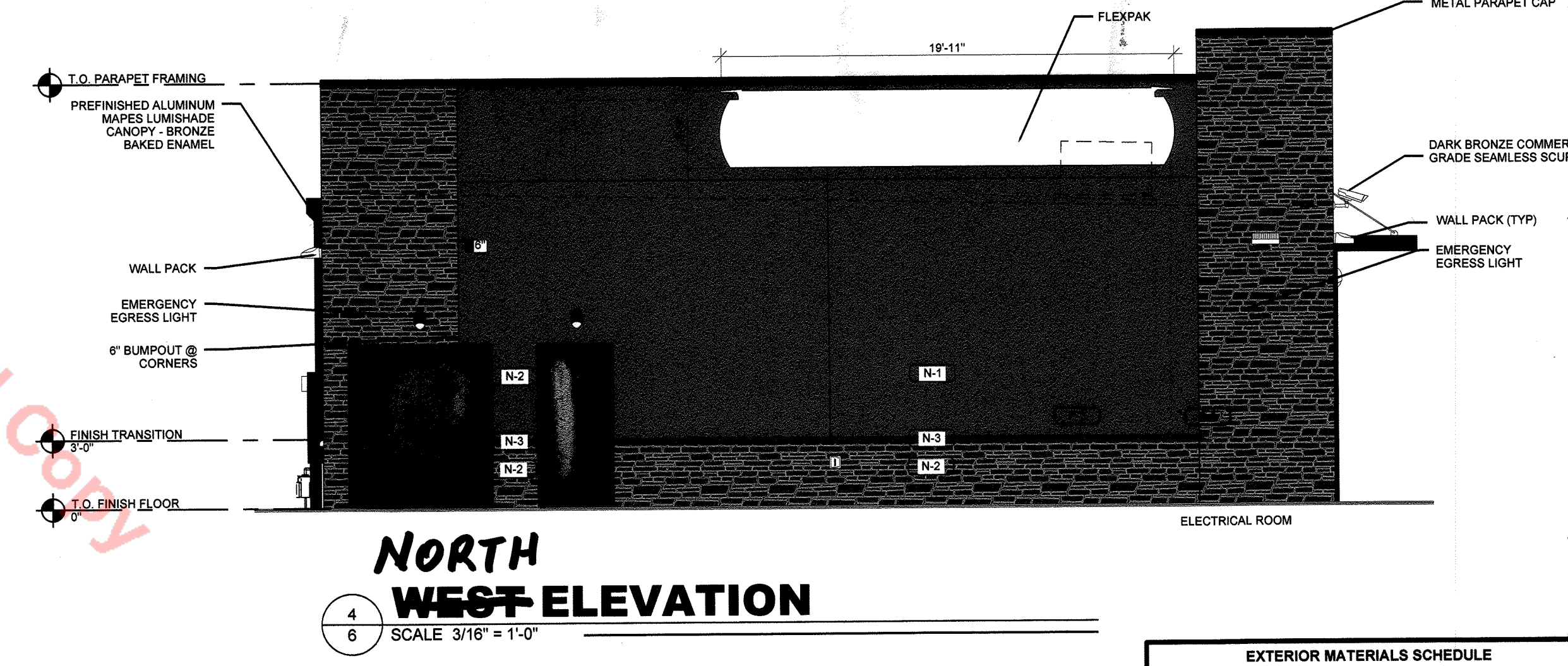
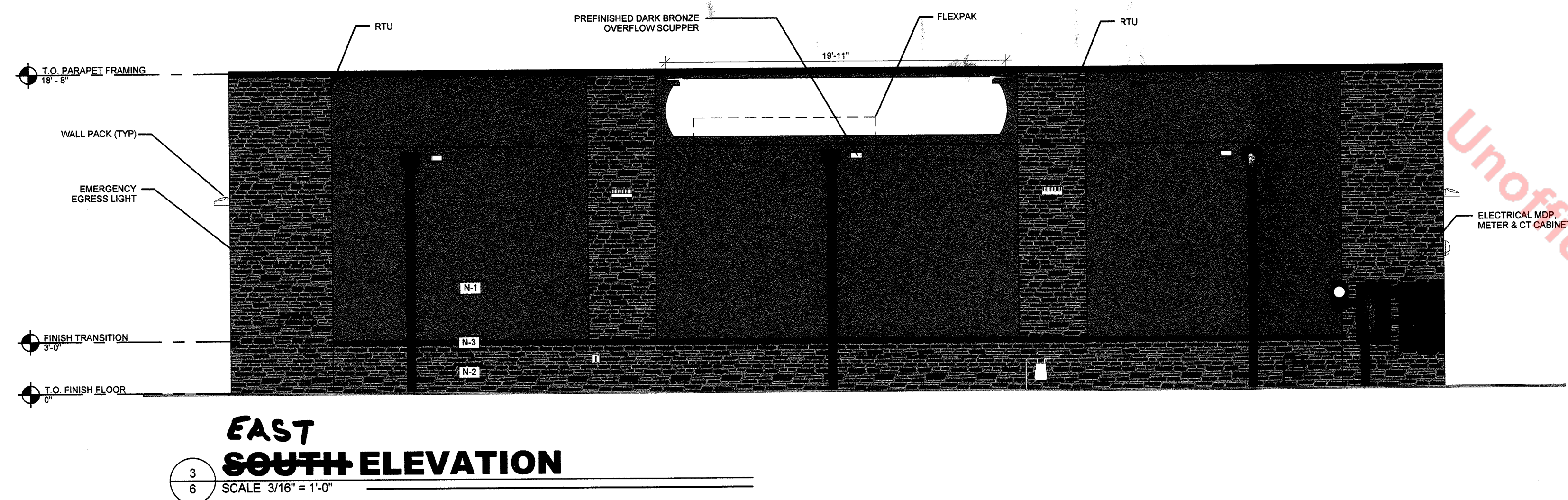
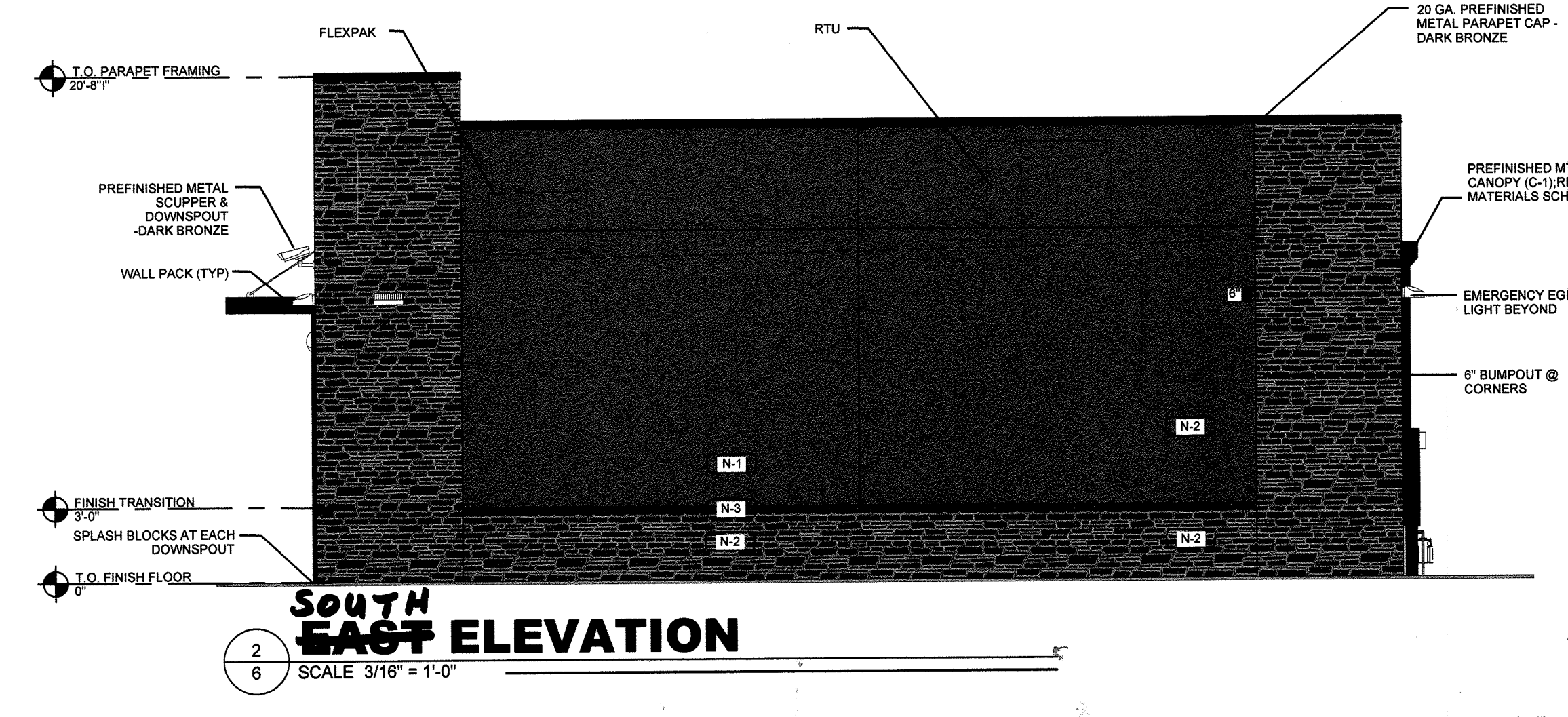
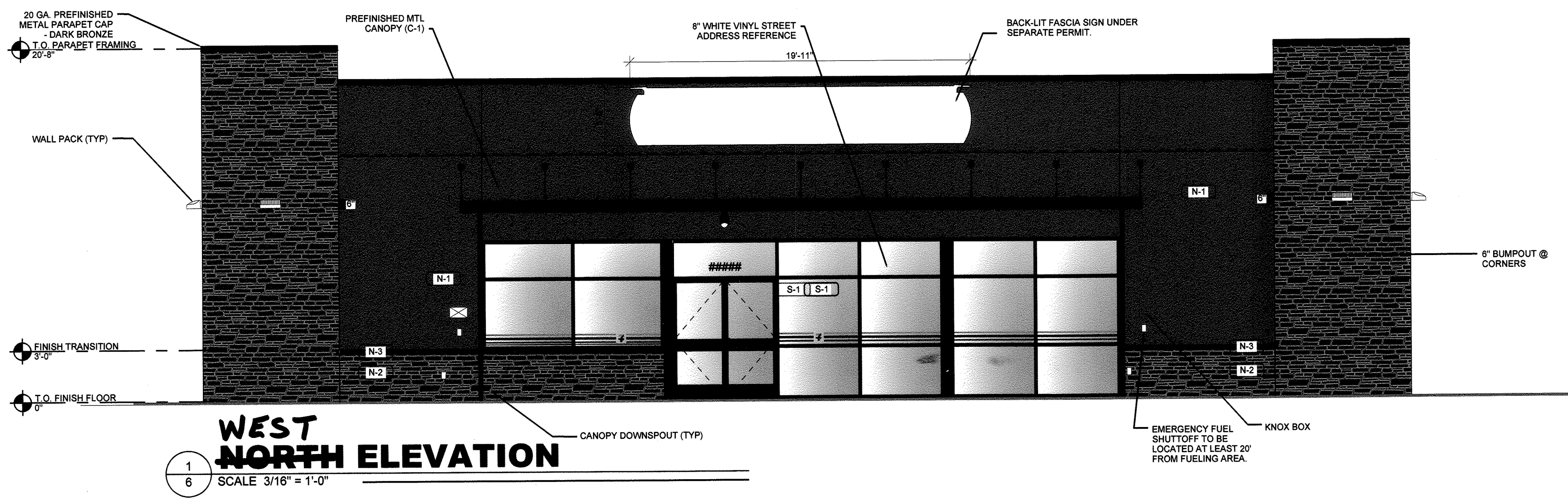
# FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4

SITE DEVELOPMENT PLAN  
 LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH,  
 RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

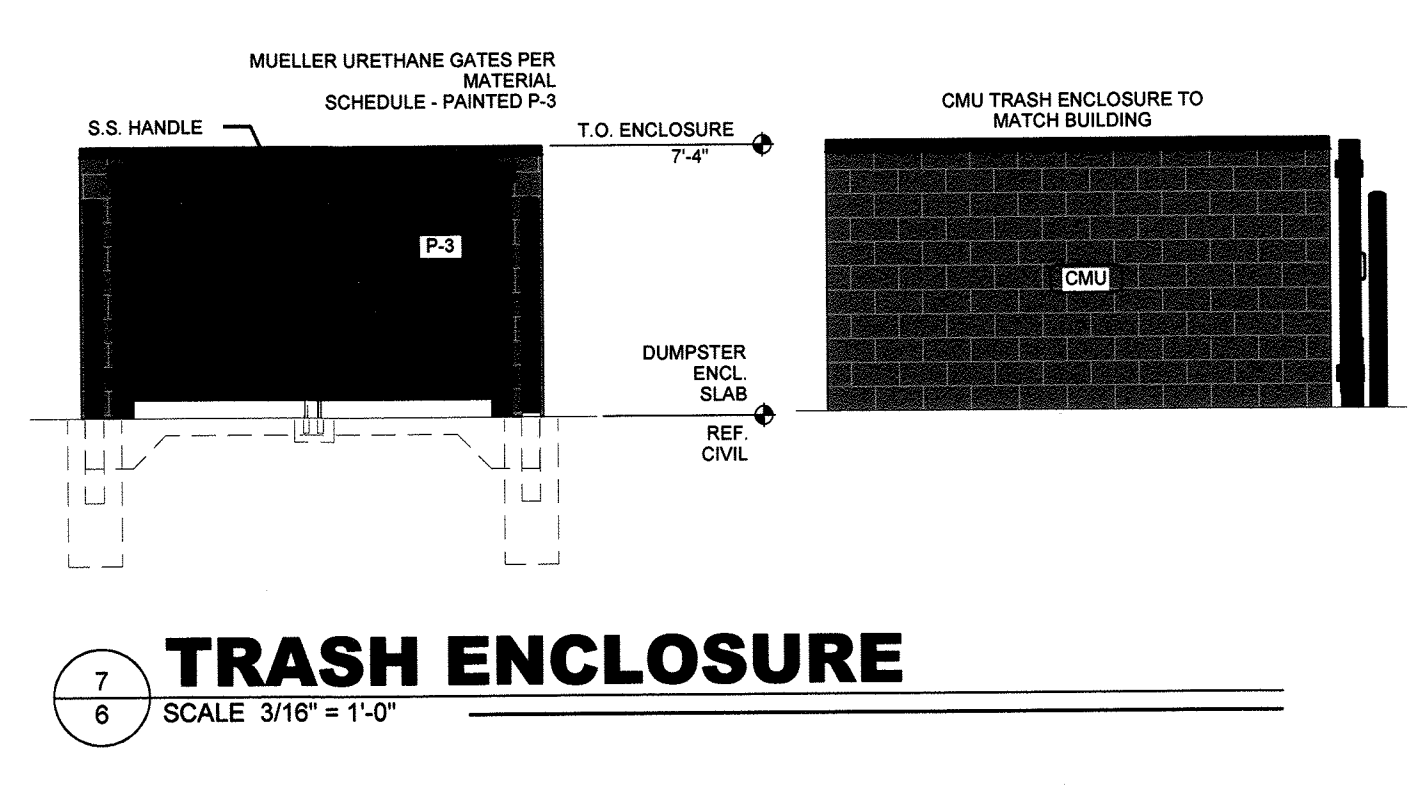
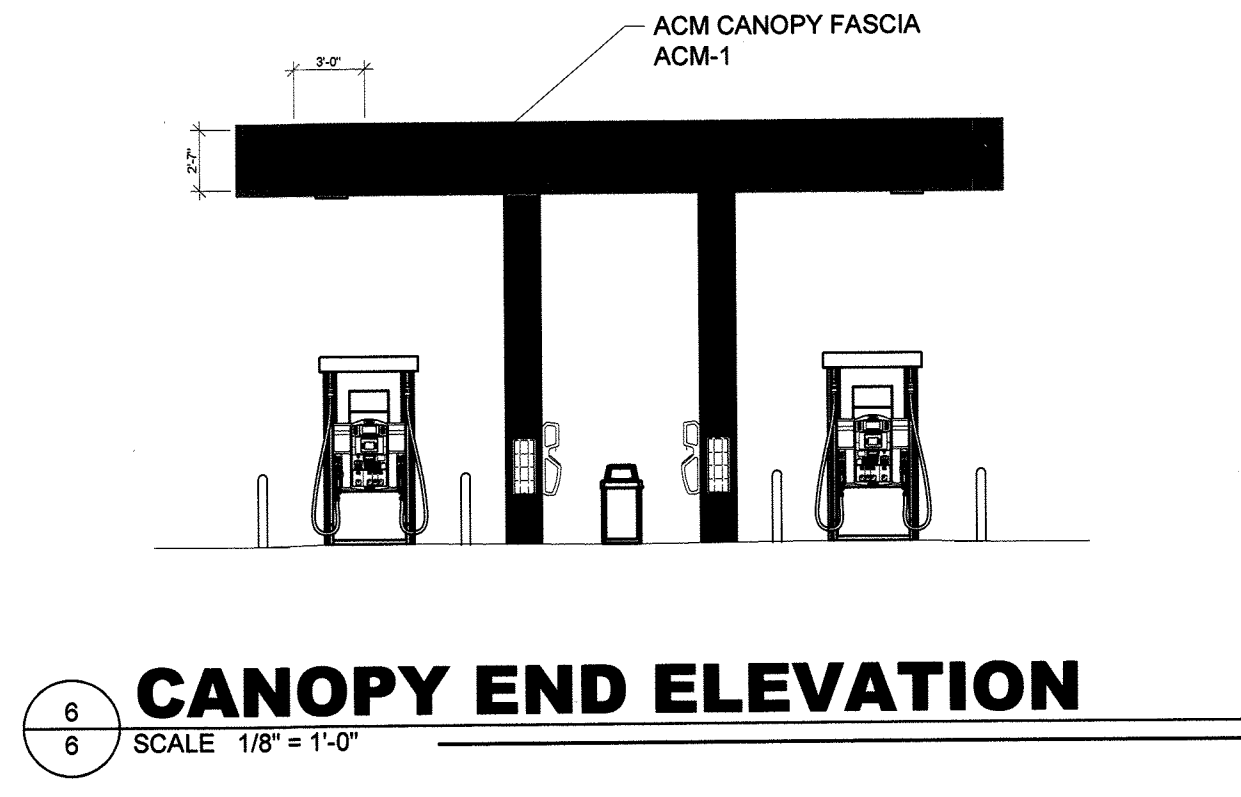
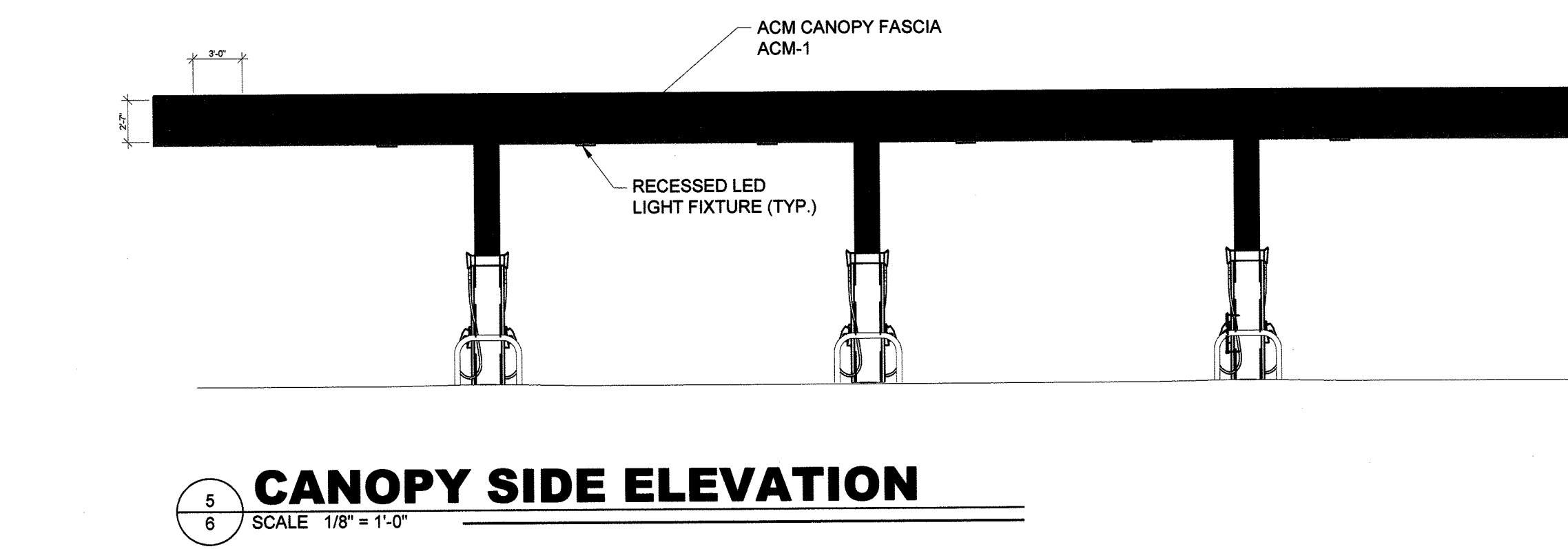


PROJECT TITLE  
**FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4**  
 1175 ALOHA STREET  
 CASTLE ROCK, COLORADO  
 PREPARED FOR  
**WDG FOUNDERS, LLC**

1121 GRANT STREET  
 SUITE 2-A  
 DENVER, CO



Unofficial Copy



EXTERIOR MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
N-1	EIFS	DRYVIT - SW 6159 'HIGH TEA'
N-2	STONE VENEER	SUNSET STONE - "VAL VALLEY COBBLE"
N-3	PRECAST MODULAR SILL	SUNSET STONE - "MOCHA"
P-3	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675 (DARK BROWN)
S-1	ALUMINUM STOREFRONT GLAZING	KAWNEER - 451T VG
C-1	PREFINISHED ALUMINUM CANOPY	MAPES LUMISHADE CANOPY - BRONZE BAKED ENAMEL W/ REAR GUTTER CONNECTIONS
CMU	SPLIT FACE CONCRETE MASONRY UNITS	BEST BLOCK - "PADRE REDSTONE"

**CASTLE ROCK DESIGN GUIDELINES/CRITERIA**

WHEN VIEWED FROM SIDES, BUILDINGS ARE TO BE DESIGNED WITH "360 DEGREE" ARCHITECTURE.

EACH BUILDING SHOULD HAVE A WELL DESIGNED BASE, MIDDLE AND TOP. ARCHITECTURAL DETAILING OR A CHANGE OF MATERIALS OR COLOR AT THE GROUND LEVEL MAY BE USED TO CREATE THE BASE. THE DIFFERENT PARTS OF A BUILDING'S FACADE SHOULD BE EMPHASIZED BY USE OF COLOR, ARRANGEMENT OF FACADE ELEMENTS OR A CHANGE OF MATERIALS.

CANOPIES, SUCH AS THOSE ASSOCIATED WITH CONVENIENCE STORES WITH GASOLINE SALES, MUST HAVE THE SAME PREDOMINATE COLOR AS THE MAIN BUILDING. COLUMNS MUST BE CLAD IN THE PRIMARY BUILDING MATERIAL OF THE MAIN BUILDING OR FROM ANOTHER MATERIAL LISTED IN PARAGRAPH 1 ABOVE.

All rooftop mechanical equipment and vents greater than eight inches in diameter must be screened. Screening may be done either with an extended parapet wall or a free-standing screen wall. Screens shall be at least as high as the equipment they hide. If equipment is visible because screens don't meet this minimum height requirement, the Director of Planning may require construction modifications prior to the issuance of a permanent Certificate of Occupancy.



FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4 SITE DEVELOPMENT PLAN

SUBMITTAL  
**SITE DEVELOPMENT PLAN**

DRAWN BY: RSB/BSA  
 CHECKED BY: MRB  
 PROJECT NO.: 16-006-007

REVISIONS  
 COMMENTS 02/23/18

DATE  
**03/27/2017**

SHEET INFORMATION  
**A1.0**  
 6 of 8

PROJECT NO. SDP17-0004

# FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4

SITE DEVELOPMENT PLAN  
LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH,  
RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



01 VIEW - FOUNDERS PKWY & ALOHA DR



02 VIEW - FOUNDERS PKWY



03 VIEW - ALOHA DR



04 VIEW - BUILDING

Unofficial Copy

LOGO

SEAL

5/10/18

PROJECT TITLE

**FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4**  
1175 ALOHA STREET  
CASTLE ROCK, COLORADO

PREPARED FOR

**WDG  
FOUNDERS, LLC**

1121 GRANT STREET  
SUITE 2-A  
DENVER, CO

SUBMITTAL

**SITE DEVELOPMENT PLAN**

DRAWN BY: RSB/BSA  
CHECKED BY: MRB  
PROJECT NO.: 16-006-007

REVISIONS

COMMENTS	DATE
	02/23/18

DATE

**03/27/2017**

SHEET TITLE

SHEET INFORMATION

**A2.0**

7 of 8

FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2, LOT 4 SITE DEVELOPMENT PLAN

