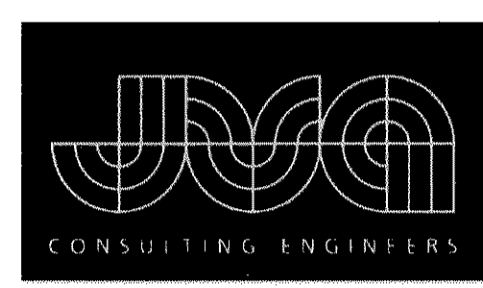


1ST AMENDMENT TO FINAL P.D. SITE PLAN FOR LOT 2, DOUGLAS COUNTY JUSTICE CENTER FILING NO. 4, 1ST AMENDMENT

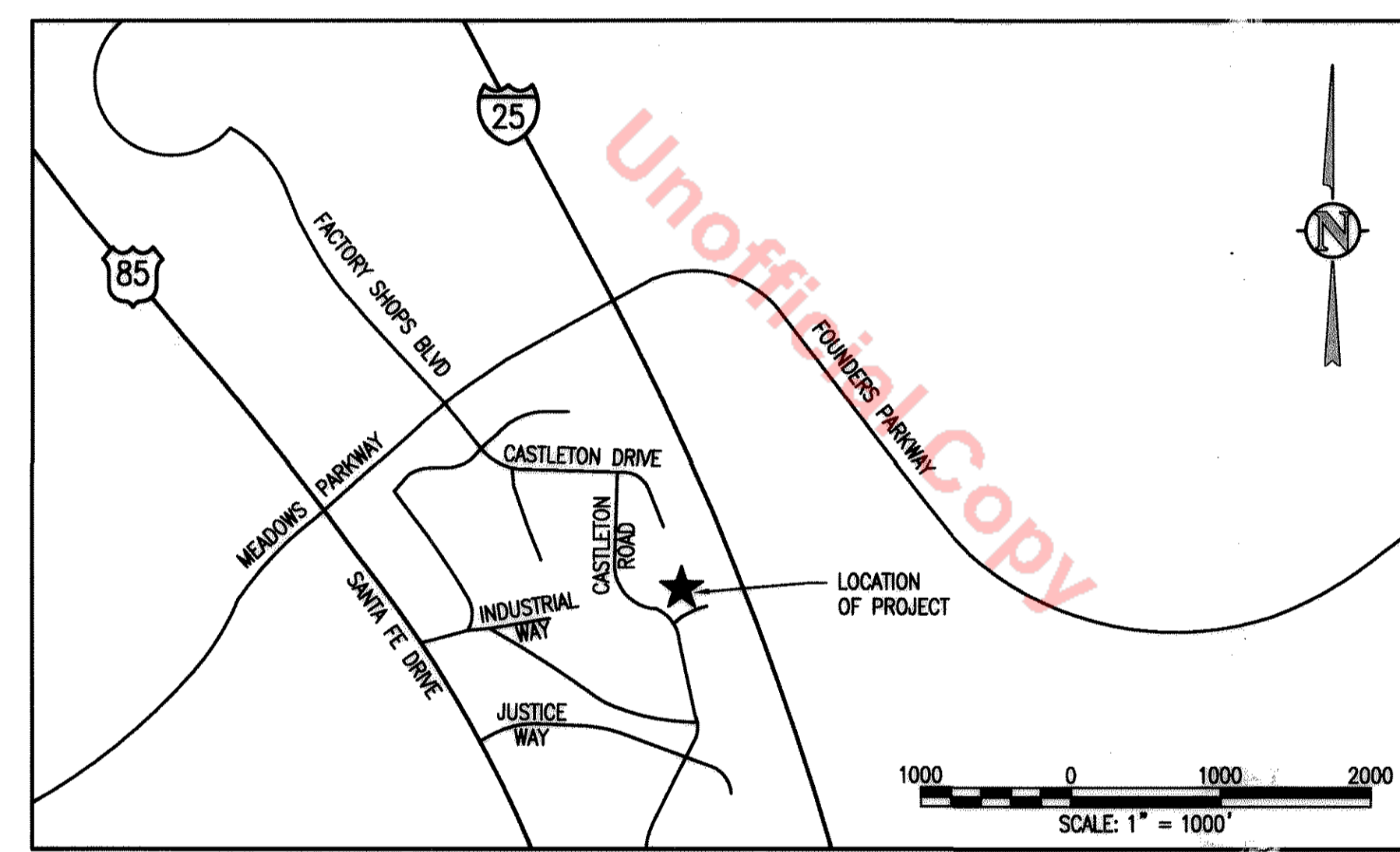
CASTLE ROCK **COLORADO**
 SITUATED IN THE SOUTHWEST QUARTER OF SECTION 26 AND A PORTION OF NORTHWEST QUARTER OF SECTION 35,
 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK DOUGLAS COUNTY



JVA, Incorporated
 1319 Spruce Street
 Boulder, CO 80302
 Phone: 303.444.1951
 Fax: 303.444.1957
 E-mail: info@jvajva.com

TOWN OF CASTLE ROCK NOTES:

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
2. PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THERE ARE NO KNOWN FEMA REGULATED FLOODPLAINS OR WETLANDS ON THIS SITE.
4. ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CDS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK 'WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY', AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
6. APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
7. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS AS SHOWN ON THIS PLAN.



VICINITY MAP
 SCALE: 1" = 1000'

OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 2, DOUGLAS COUNTY JUSTICE CENTER FILING NO. 4, 1ST AMENDMENT IN THE TOWN OF CASTLE ROCK.
Kelvin D. Kaban
 DENVER DUMB FRIENDS LEAGUE, A COLORADO NON-PROFIT CORPORATION D/B/A DUMB FRIENDS LEAGUE
 SIGNED THIS 10 DAY OF February, 2010
 NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 10 DAY OF FEBRUARY, 2010, BY B. SAMANTHA WILSON
 WITNESS MY HAND AND OFFICIAL SEAL
B. Samantha Wilson
 NOTARY PUBLIC
 MY COMMISSION EXPIRES 24 Sept 2012

TOWN CERTIFICATION:

THE LOT 2, DOUGLAS COUNTY JUSTICE CENTER FILING NO. 4, 1ST AMENDMENT FINAL P.D. SITE PLAN - 1ST AMENDMENT WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO, ON THE 23 DAY OF FEB, 2010 AT 12:00 O'CLOCK P.M. AND WAS RECORDED UNDER RECEPTION NUMBER 2010012185
[Signature]
 DIRECTOR OF DEVELOPMENT SERVICES DATE

DOUGLAS COUNTY CLERK & RECORDER'S CERTIFICATE:

STATE OF COLORADO
 COUNTY OF DOUGLAS
 I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THE 26 DAY OF FEB, 2010 AT 12:00 O'CLOCK P.M. AND WAS RECORDED UNDER RECEPTION NUMBER 2010012185
Christine Davis Dandy
 DOUGLAS COUNTY CLERK AND RECORDER

TITLE CERTIFICATION:

GARY REINDERS, AN AUTHORIZED REPRESENTATIVE OF FIRST AMERICAN TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
Gary Reinders
 AUTHORIZED REPRESENTATIVE
 SIGNED THIS 17 DAY OF February, 2010
 NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 17 DAY OF February, 2010, BY GARY REINDERS
 WITNESS MY HAND AND OFFICIAL SEAL
[Signature]
 NOTARY PUBLIC
 MY COMMISSION EXPIRES September 15, 2013

SURVEYOR'S CERTIFICATE:

GREGORY A. CLARK, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE LOT 2, DOUGLAS COUNTY JUSTICE CENTER FILING NO. 4, 1ST AMENDMENT, FINAL PD SITE PLAN, 1ST AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXISTING AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.
G. Clark
 REGISTERED LAND SURVEYOR DATE

LEGAL DESCRIPTION:

LOT 2 DOUGLAS COUNTY JUSTICE CENTER FILING NO. 4, 1ST AMENDMENT CONTAINING 2.834 ACRES (123,443 SQUARE FEET), MORE OR LESS

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF SECTION 26, AS MONUMENTED AT THE SOUTHWEST CORNER BY A 3-1/2" ALUMINUM CAPPED MONUMENT STAMPED "LS 13268" AND AT THE WEST QUARTER CORNER BY A 3" ALUMINUM CAPPED MONUMENT STAMPED "LS 14166", BEARING NORTH 00°24'41" EAST.

BENCHMARK:

FINISH FLOOR 1 STORY BUILDING ON MAIN ENTRANCE (EASTERLY SIDE OF BUILDING) LOCATED AT 4556 CASTLETON COURT. ELEVATION= 6156.00' (NAD83 DATUM)

SUMMARY TABLE:

LOT SIZE:	2.834 AC±
TOTAL SITE AREA:	2,234 AC±
GROSS FLOOR AREA (EXIST):	16,943 SF
GROSS FLOOR AREA (ADDITION):	2,505 SF
NET FLOOR AREA*	9,860 SF
MAXIMUM BUILDING HEIGHT:	35'-0"
ADDITION HEIGHT (PROPOSED):	24'-0"
BUILDING SETBACK**:	
FRONT:	15'
BACK:	20'
SIDE:	5'
EXIST PAVEMENT:	28,096 SF
EXIST LANDSCAPE/OPEN SPACE:	79,264 SF
PROPOSED & EXIST PAVED AREA:	30,374 SF
PROPOSED LANDSCAPED AREA/OPEN SPACE:	74,481 SF
PARKING SPACES (EXIST):	54
PARKING CALCULATION (EXIST)	
WAREHOUSE:	6290 SF/1 SPACE PER 1000 SF = 6 SPACES
OFFICE:	756 SF/1 SPACE PER 300 SF = 3 SPACES
ANIMAL HOSPITAL:	9014 SF/1 SPACE PER 200 SF = 45 SPACES
TOTAL:	54 SPACES
PARKING CALCULATION (ADDITION)	
WAREHOUSE:	2505 SF/1 SPACE PER 1000 SF = 3 SPACES
TOTAL PARKING SPACES NEEDED:	57 SPACES
SPACES LOST TO ADDITION:	9 SPACES
PROPOSED ADDITIONAL PARKING***:	15 SPACES
TOTAL PARKING COUNT (EXIST & PROPOSED)	60 SPACES

CONTACTS

OWNER:	DUMB FRIENDS LEAGUE 2080 SOUTH QUEBEC STREET DENVER, CO 80231 BOB ROHDE	(303) 751-5772
CIVIL ENGINEER:	JVA, INC 1319 SPRUCE STREET BOULDER, CO 80302 CHARLIE R. HAGER IV / SCOTT A. WEISBECK	(303) 444-1951
STRUCTURAL ENGINEER:	JVA, INC 1319 SPRUCE STREET BOULDER, CO 80302 DEREK PEDERSEN	(303) 444-1951
ARCHITECT:	ANIMAL ARTS DESIGN STUDIOS 735 WALNUT STREET BOULDER, CO 80302 HEATHER LEWIS	(303) 444-4413
LANDSCAPE ARCHITECT:	DHM DESIGN 1390 LAWRENCE STREET, SUITE 100 DENVER, CO 80204 BILL NEUMANN	(303) 892-5566
SURVEYOR:	SAUNDERS CONSTRUCTION INC. 6950 SOUTH JORDAN ROAD CENTENNIAL, CO 80112 GREGORY CLARK, PLS	(303) 699-9000

DRAWING INDEX

SHEET NO.	TITLE
1 OF 8	COVER SHEET
2 OF 8	SITE PLAN, GRADING PLAN & UTILITY PLAN
3 OF 8	EXTERIOR ELEVATIONS
4 OF 8	LANDSCAPE PLAN
5 OF 8	SITE DETAILS & CHARTS
6 OF 8	IRRIGATION PLAN
7 OF 8	IRRIGATION DETAILS
8 OF 8	PHOTOMETRIC PLAN

* - EXCLUDES BOARDING PET AREAS
 ** - USED I-1 ZONING (NO SPECIFICS WERE INCLUDED IN PD DOCUMENT)
 *** - ADDITIONAL HC VAN SPACE WAS ADDED

NO.	DATE	DESIG	DRAWN	JCD
1	01/29/10	SAW	JCD	

DESIGNED BY: SAW
 DRAWN BY: JCD
 CHECKED BY: CRH
 JOB #: 1644.1c
 DATE: 01/29/10
 ©JVA, INC

THE BUDDY CENTER ADDITION
 CASTLE ROCK, COLORADO
 COVER SHEET

1ST AMENDMENT TO FINAL P.D. SITE PLAN FOR LOT 2, DOUGLAS COUNTY JUSTICE CENTER FILING NO. 4, 1ST AMENDMENT

CASTLE ROCK

COLORADO

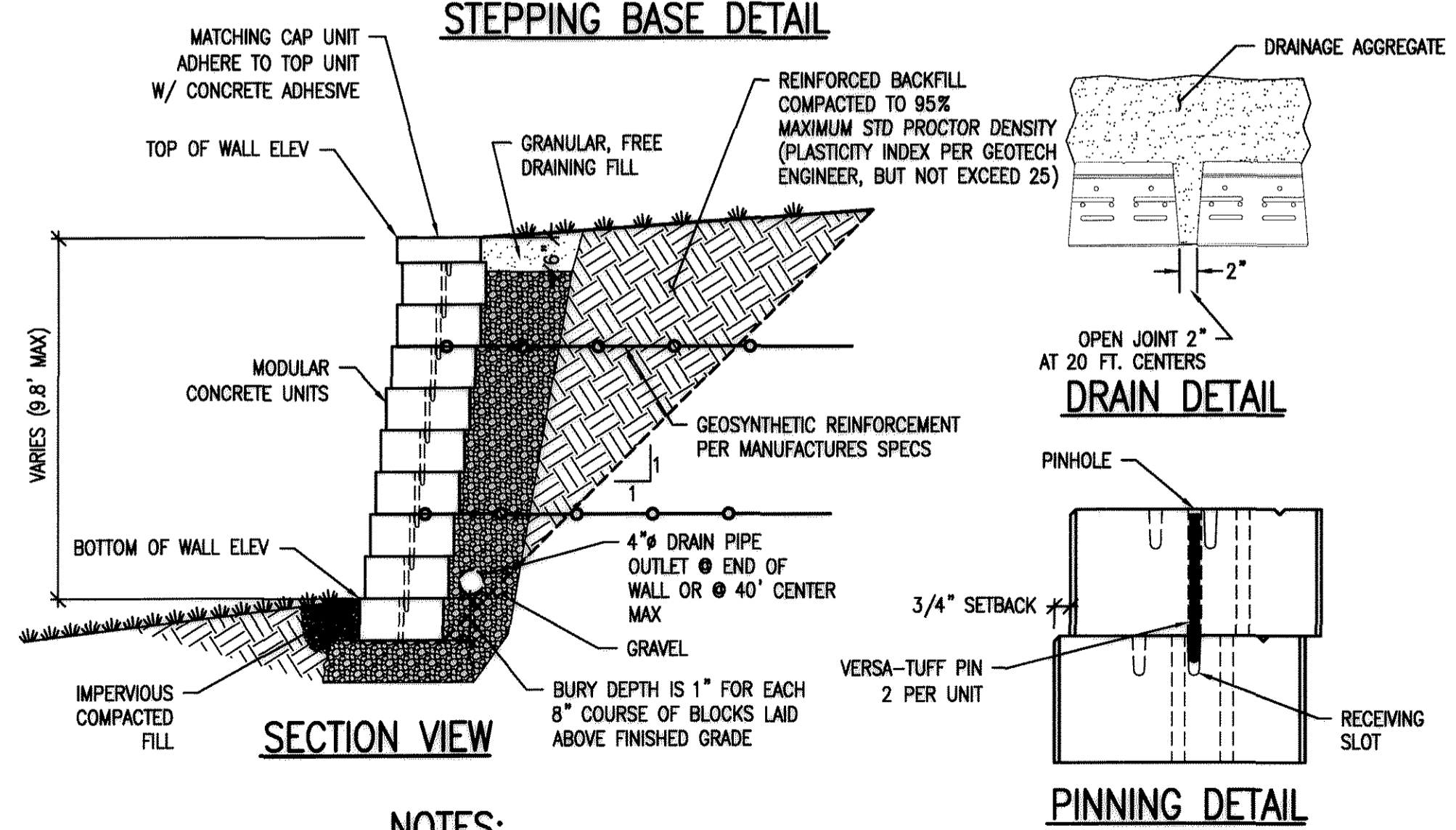
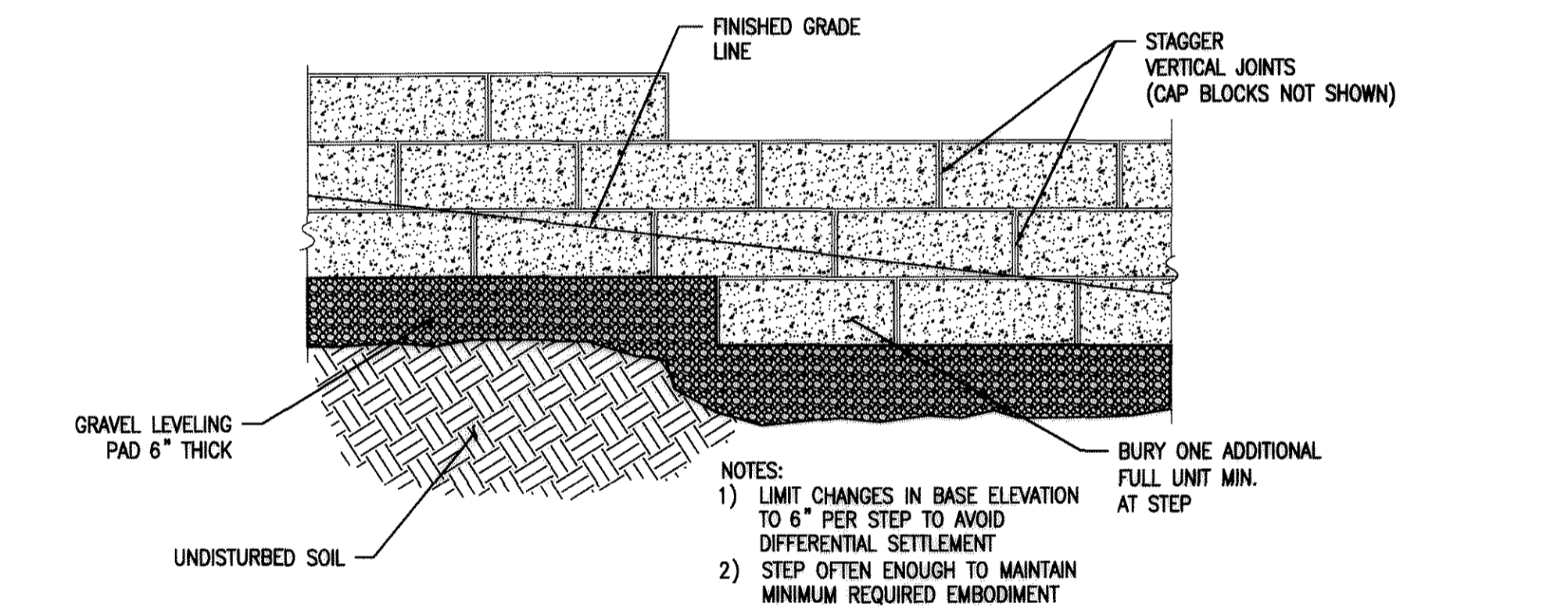
SITUATED IN THE SOUTHWEST QUARTER OF SECTION 26 AND A PORTION OF NORTHWEST QUARTER OF SECTION 35,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK DOUGLAS COUNTY

LEGEND

■ STORM DRAIN GRATE	(P) PLATTED	—SD— STORM DRAIN	▨ CONCRETE PAVING
⊙ SEWER MANHOLE	● FOUND MONUMENT AS DESCRIBED	—PD— PERIMETER DRAIN	▩ ASPHALT PAVING
☆ LIGHT POLE	— RD — ROOF DRAIN	—SS— SANITARY SEWER	▬ CURB & GUTTER
⊕ FIRE HYDRANT	— F — FENCE	— W — WATER	▬ BLDG ACCESS
⊕ WATER VALVE	— T — TELEPHONE	— OE — OVERHEAD ELECTRIC	— PROPOSED INDEX CONTOUR
⊕ WATER METER	⊕ TELEPHONE PEDESTAL	— UE — UNDERGROUND ELECTRIC	— PROPOSED INTERMEDIATE CONTOUR
⊕ STORM DRAIN MANHOLE	⊕ ELECTRICAL BOX	— G — GAS	— EXISTING INDEX CONTOUR
⊕ GUY WIRE	⊕ CABLE PEDESTAL	— CATV — CABLE TV	— EXISTING INTERMEDIATE CONTOUR
⊕ MONITOR WELL	⊕ UNKNOWN MANHOLE	— F — FENCE	+ 20.50 PROPOSED SPOT ELEVATION
⊕ FLAG POLE	⊕ GAS VALVE	— — — PROPERTY LINE / ROW	+ 4220.5 EXISTING SPOT ELEVATION
⊕ BOLLARD	⊕ WATER MANHOLE	— — — EASEMENT LINE	
⊕ GAS METER	⊕ GAS VAULT	▭ PROPOSED BUILDING	
⊕ ELECTRIC POLE		▭ EXISTING BUILDING	
(M) MEASURED			

NOTES:

1. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE DERIVED FROM EXISTING AS-BUILT PLANS, CONSTRUCTION DRAWINGS AND FIELD LOCATIONS. THE EXACT LOCATION MAY VARY.
2. THE 100-YEAR FLOOD PLAIN LIMIT LIES OUTSIDE THE PROJECT.
3. AN 1 1/2" EXTERNAL WATER METER PIT EXISTS FOR THE PROPERTY.
4. IRRIGATION SERVICE HAS BEEN PROVIDED INTERNALLY AND WILL CONTINUE TO BE PROVIDED IN CONJUNCTION WITH A 1" BACKFLOW PREVENTION DEVICE.
5. ALL PLANTINGS, EXISTING & PROPOSED ARE THE RESPONSIBILITY OF THE OWNER.

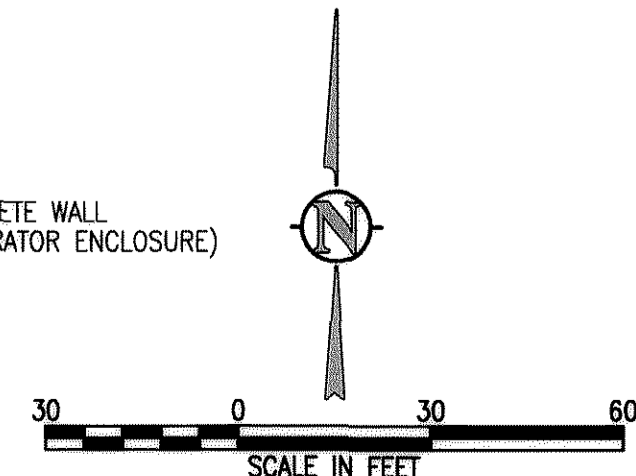
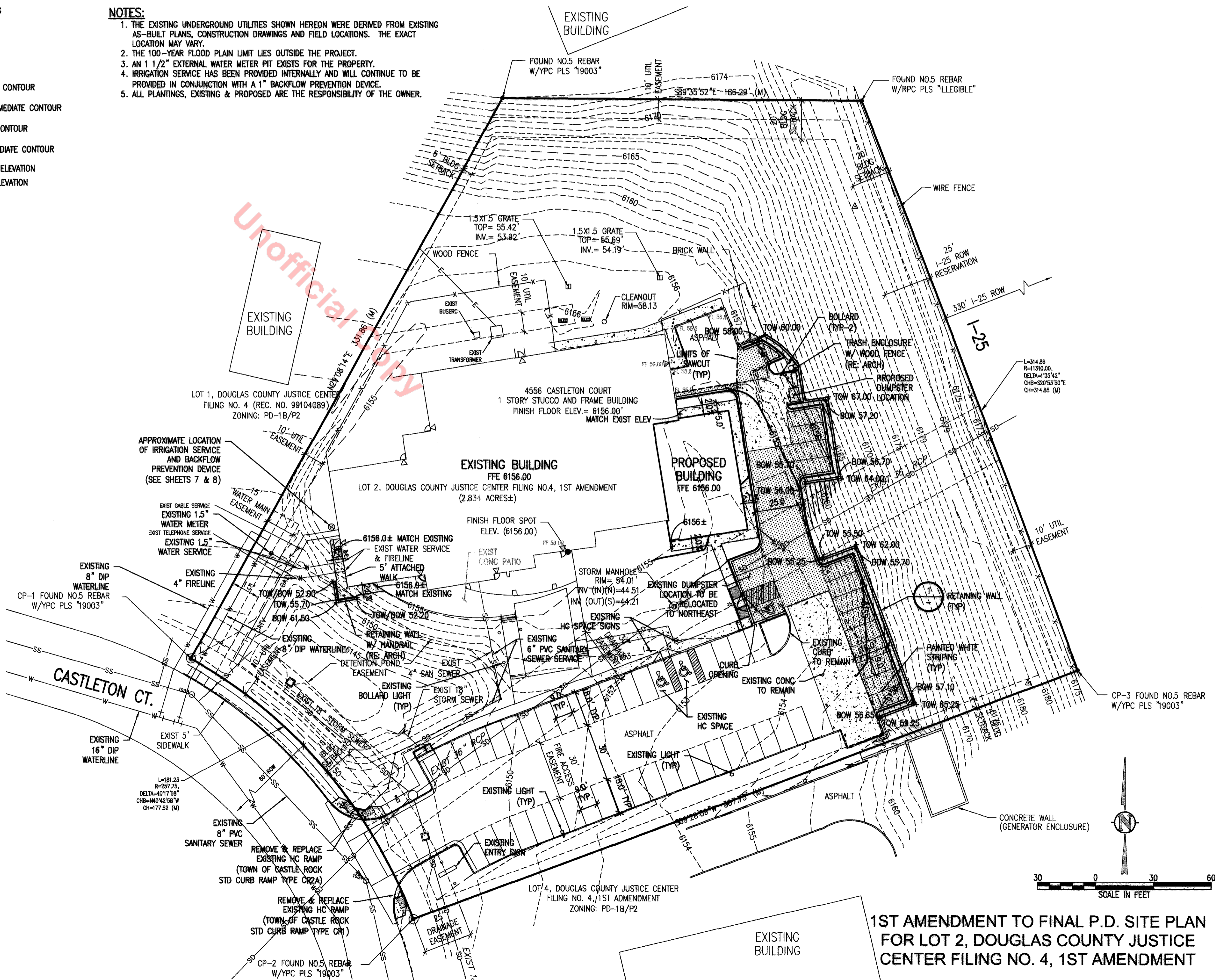


NOTES:

1. THE ABOVE DETAILS ARE GENERAL WALL LAYOUT & QUALITY INFORMATION. CONTRACTOR TO REVIEW AND FOLLOW ALL OF BLOCK MANUFACTURER'S DESIGN, SUBMITTAL AND INSTALLATION REQUIREMENTS.
2. BLOCKS TO BE INSTALLED TO MATCH EXIST WALL TYPE.
3. BACKFILL TO HAVE MAX PLASTICITY INDEX OF 25.
4. ALL RETAINING WALLS (OR ADDITION OF MULTIPLE TIERED WALLS) THAT EXCEED A FOUR FOOT HEIGHT OR INCLUDE A SURCHARGE LOAD WILL REQUIRE A STRUCTURAL DESIGN AND BUILDING PERMIT.

CONCEPTUAL SEGMENTAL RETAINING WALL DETAIL

NTS



1ST AMENDMENT TO FINAL P.D. SITE PLAN
FOR LOT 2, DOUGLAS COUNTY JUSTICE
CENTER FILING NO. 4, 1ST AMENDMENT

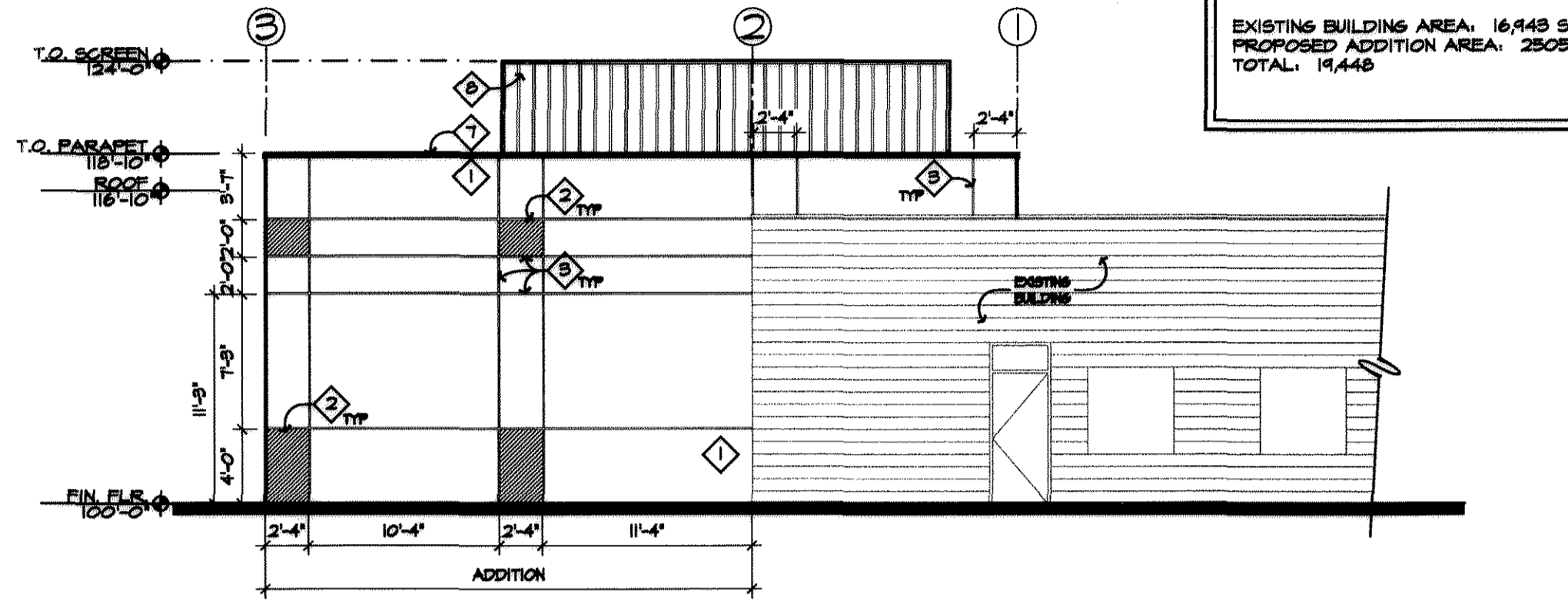
TOWN OF CASTLE ROCK COMMENTS	NO.	DATE	SAW	JCD	DWN
REVISION DESCRIPTION					
DESIGNED BY:	SAW				
DRAWN BY:	JCD				
CHECKED BY:	CRH				
JOB #:	1844.1c				
DATE:	01/29/10				
© JVA INC					
THE BUDDY CENTER ADDITION CASTLE ROCK, COLORADO					
SITE PLAN, GRADING PLAN & UTILITY PLAN					
SHEET NO. 2 OF 8					

1ST AMENDMENT TO FINAL P.D. SITE PLAN FOR LOT 2, DOUGLAS COUNTY JUSTICE CENTER FILING NO. 4, 1ST AMENDMENT



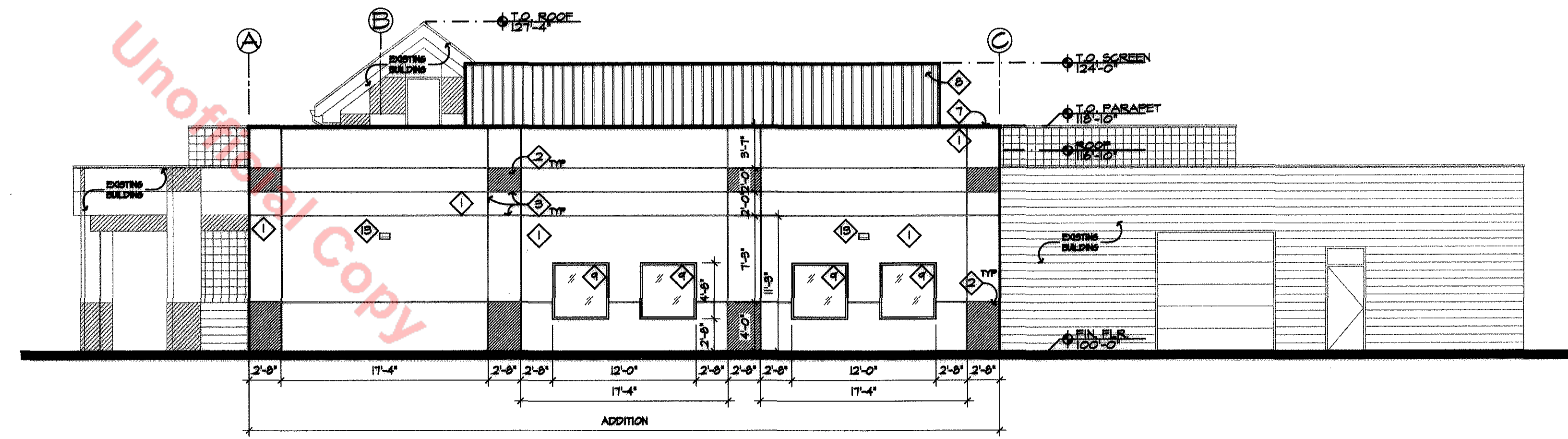
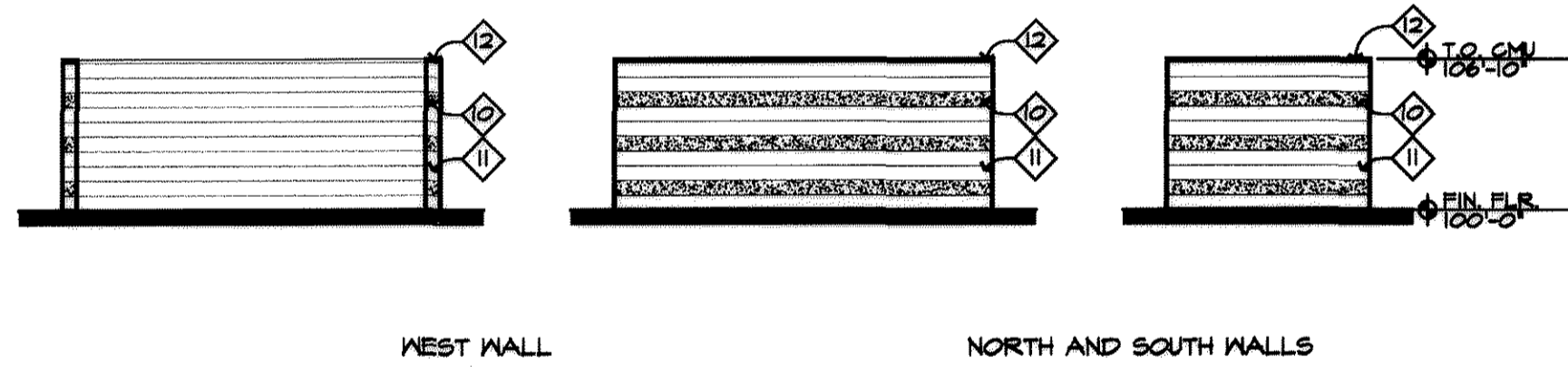
BUILDING BASICS	
PER I.B.C. 2006	
1. BUILDING TYPE: EXISTING: TYPE II-A; GROUP B (BUSINESS); SPRINKLERED PROPOSED ADDITION: TYPE II-A; GROUP B (BUSINESS); SPRINKLERED	
1. HEIGHT MAX ALLOWABLE HEIGHT (TABLE 503): 5 STORIES; 65 FT HEIGHT MODIFICATIONS (504.2): +1 STORY; +20 FT WITH SPRINKLER SYSTEM.	
TOTAL: 6 STORIES; 85 FT	
EXISTING BUILDING HEIGHT: 27'-4" PROPOSED ADDITION HEIGHT: 24'-0"	
2. AREA MAX ALLOWABLE AREA (TABLE 503): 87,500 SF AREA MODIFICATIONS (506.1): A = 1A5 + [A6 x 1/2] + [A4 x 1/8]	
= 87500 + [87500 x .34] + [87500 x .8]	
= 162,750 SF	
EXISTING BUILDING AREA: 16,948 SF PROPOSED ADDITION AREA: 2805 SF TOTAL: 19,448 SF	

GENERAL NOTES	
1. ALL DIMENSIONS ARE NOMINAL AND ARE TO FACE OF MASONRY OR FACE OF STUD UNLESS OTHERWISE NOTED.	
2. PROVIDE CONTROL JOINTS IN STUCCO AT ALL LOCATIONS WHERE NEW CONSTRUCTION MEETS EXISTING.	
KEY NOTES	
SYMBOL	DESCRIPTION
◇	ONE COAT STUCCO, COLOR A; MATCH EXISTING
◇	ONE COAT STUCCO, COLOR B; MATCH EXISTING
◇	JOINT/REVEAL IN STUCCO
◇	TILE ACCENT, 8"x16"; MATCH EXISTING
◇	SPLIT FACE CMU, BEIGE; MATCH EXISTING
◇	SINGLE MORTAR GROOVE CMU, BEIGE; MATCH EXISTING
◇	METAL COPING; MATCH EXISTING
◇	STANDING BEAM METAL MECHANICAL SCREEN; MATCH EXISTING ROOF
◇	1" INSULATED TINTED GLASS; MATCH EXISTING. TEMPERED GLASS WHERE NOTED WITH "T"
◇	SPLIT FACE CMU, RED/BROWN; MATCH EXISTING
◇	CMU, RED/BROWN; MATCH EXISTING
◇	PRECAST CONCRETE CAP; RED/BROWN
◇	LIGHT FIXTURE, RE ELECTRICAL DWGS.



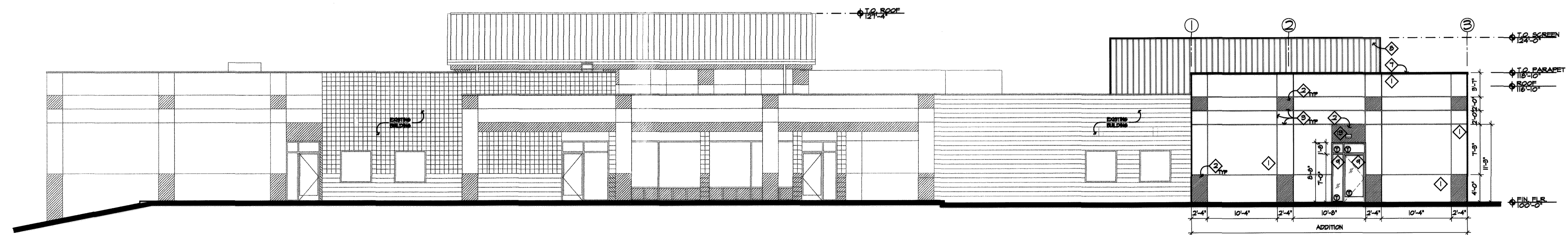
5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

5 EXISTING BUILDING IMAGE
SCALE: NA



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

4 TRASH BIN ENCLOSURE ELEVATIONS
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

1ST AMENDMENT TO FINAL P.D. SITE PLAN
FOR LOT 2, DOUGLAS COUNTY JUSTICE
CENTER FILING NO. 4, 1ST AMENDMENT

ANIMAL ARTS
MARK R. HAFFEN, ARCHITECT
735 WALNUT STREET
BOULDER, CO 80302
1.800.332.4413
FAX 303.444.1759

THE BUDDY CENTER ADDITION
CASTLE ROCK, COLORADO

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REVISIONS
REVISION 1 - TOWN OF CASTLE ROCK COMMENTS - 1-28-10

APPROVALS
PREP. NAME: _____
PRINCIPAL: _____
SEAL: _____

DRAWING TITLE
EXTERIOR ELEVATIONS

DATE: NOVEMBER 08, 2009

PRELIMINARY SUBMITTAL - NOT FOR CONSTRUCTION

1ST AMENDMENT TO FINAL P.D. SITE PLAN FOR LOT 2, DOUGLAS COUNTY JUSTICE CENTER FILING NO. 4, 1ST AMENDMENT

CALL BEFORE YOU DIG
CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
12800 W. GOLFMAN AVE., SUITE B-310
LAKEWOOD, COLORADO 80215
www.uncc.org
CALL 3-BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER UTILITIES

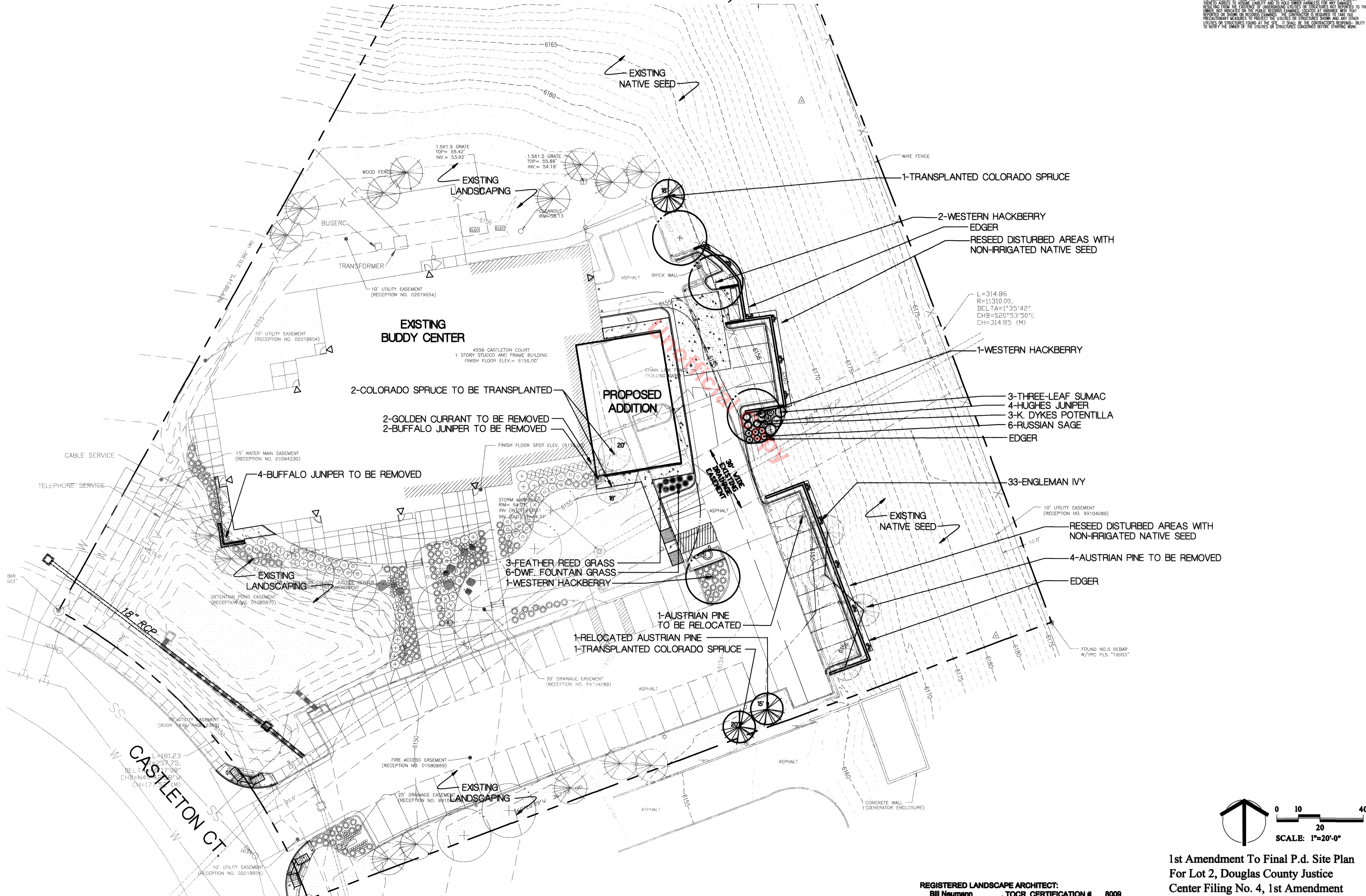
ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS AND THOSE
SHOWN ON THE RECORDS EXAMINED ARE INDICATED WITH THEIR APPROPRIATE SYMBOL AND EXTENT.
THE CONTRACTOR BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT
HEREIN ASSUMES LIABILITY AND TO HOLD THEMSELVES HARMLESS FOR ANY DAMAGES
RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE
OWNER, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED BY WARNING RIPS THAT
REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE
PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER
UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY
TO NOTIFY THE OWNER OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.



**LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN**

1390 Lawrence Street, Suite 100
Denver, CO 80204 | 303.892.5564

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design incorporated on this
document is an instrument of
professional service and shall not be
used for any other project without
written authorization of DHM Design Corp.



The Buddy Center Addition Castle Rock, Colorado

PROJECT NUMBER: 9246.00	DATE: 11.09.09
DESIGNED BY: MW	DRAWN BY: MW
CHECKED BY: BN	REVISIONS:
01.25.10 - TOCR Comments	
JOB DESCRIPTION:	
SHEET TITLE: Landscape Plan	
Scale: 1" = 20'-0"	
SHEET NUMBER: SHEET 4 OF 8	

REGISTERED LANDSCAPE ARCHITECT:
Bill Neumann, TOCR CERTIFICATION # **8009**

1st Amendment To Final P.d. Site Plan
For Lot 2, Douglas County Justice
Center Filing No. 4, 1st Amendment

ALL UTILITIES SHOWN ARE BASED ON RECORDS EXAMINED AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES NOT SHOWN ON THESE PLANS.

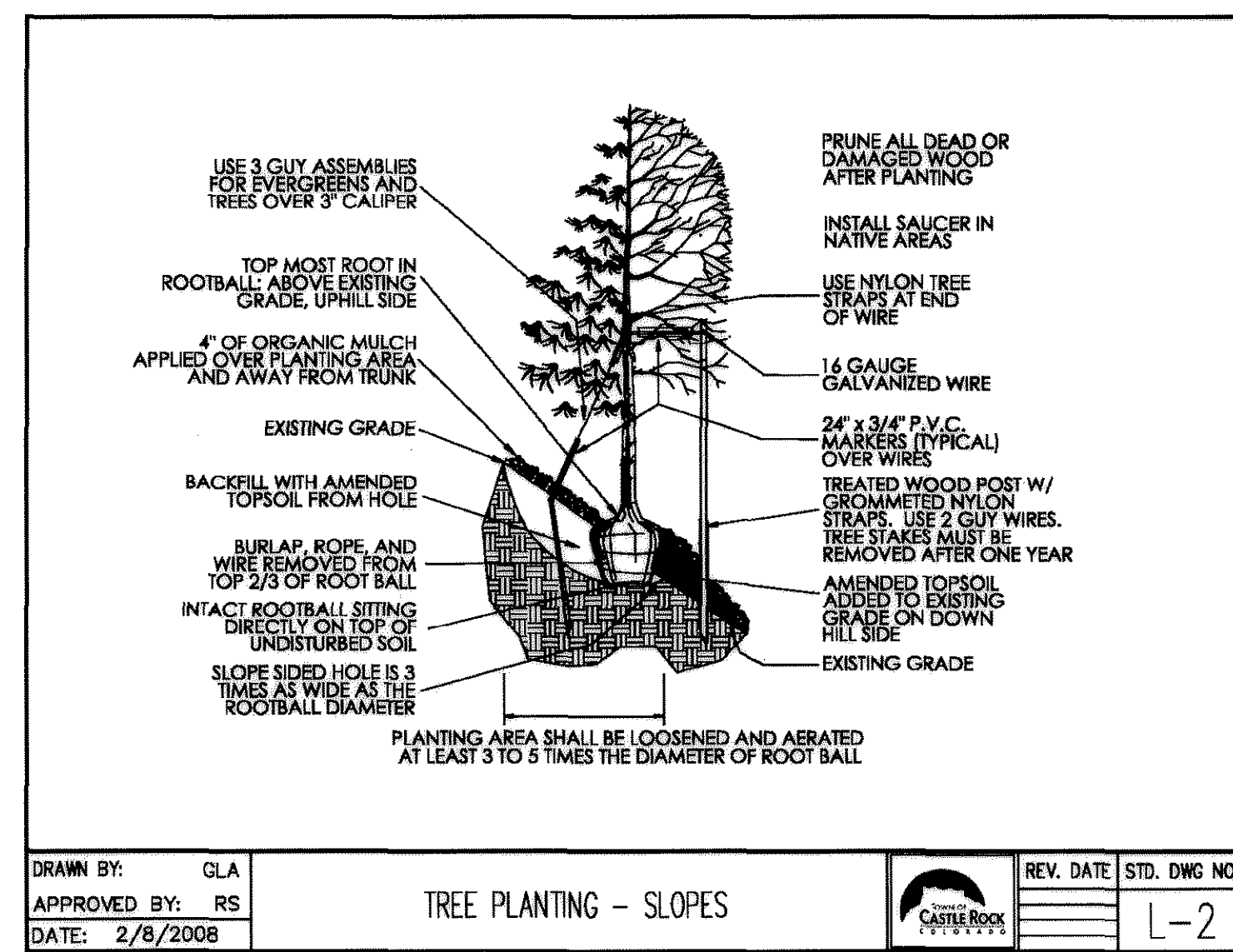
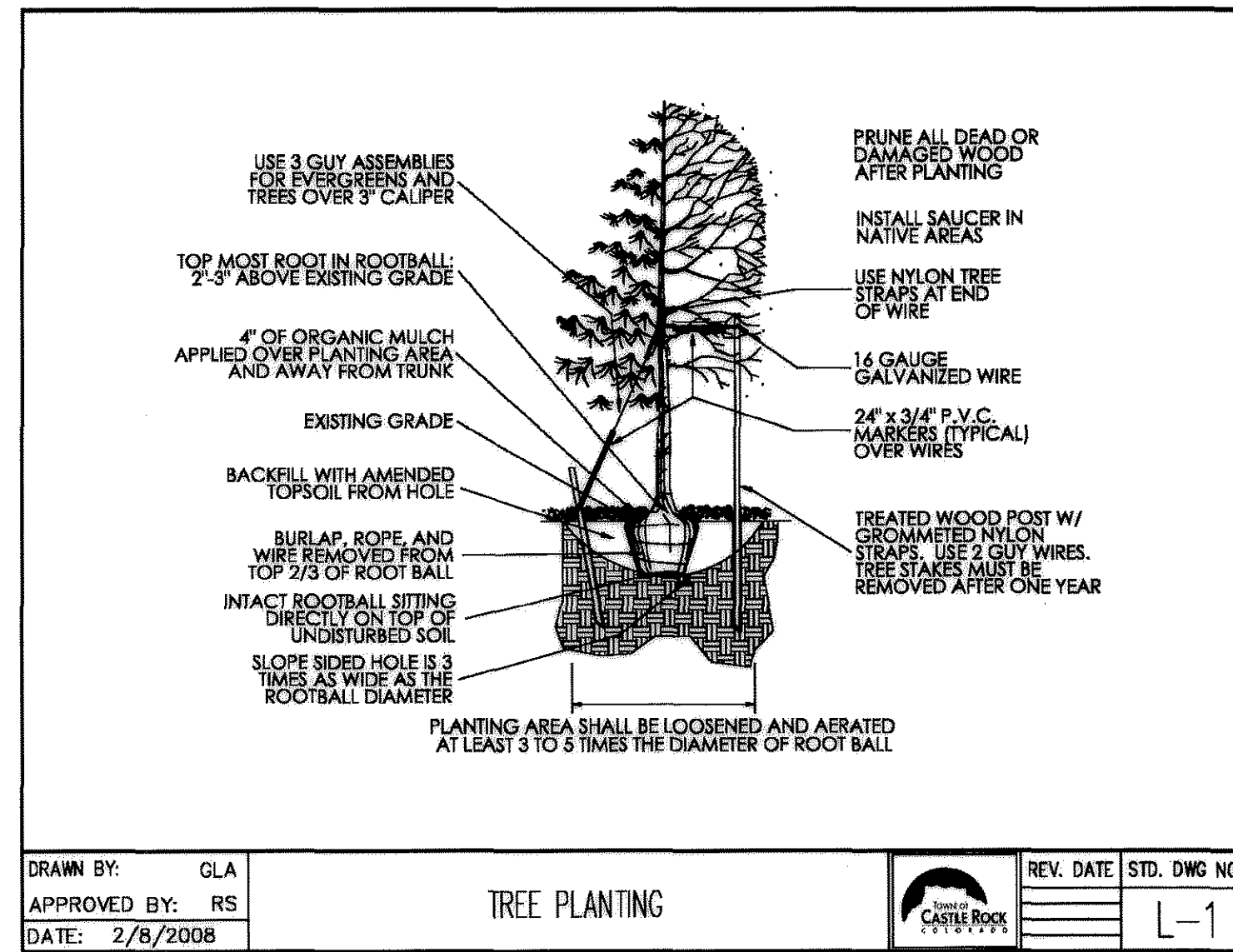
1ST AMENDMENT TO FINAL P.D. SITE PLAN FOR LOT 2, DOUGLAS COUNTY JUSTICE CENTER FILING NO. 4, 1ST AMENDMENT

LANDSCAPE LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
Deciduous Trees				
⊕	<i>Callis occidentalis</i>	Western Hackberry	2 1/2" cal.	Specimen Quality, B&B guyed
Evergreen Shrubs				
⊙	<i>Juniperus horizontalis</i> 'Hughes'	Hughes Juniper	5 gal.	Container 18"-24" spread
	<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper	5 gal.	Container 18"-24" spread
Deciduous Shrubs				
⊕ ⊙	<i>Rhus trilobata</i>	Treeleaf Sumac	5 gal.	
⊕ ⊙	<i>Perovskia atriplicifolia</i>	Russian Sage	5 gal.	
⊕ ⊙	<i>Potentilla fruticosa</i> 'K. Dykes'	K.Dykes Potentilla	5 gal.	
Ornamental Grasses				
✱ ✱ ✱	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 gal.	
✱ ✱ ✱	<i>Pennisetum orientale</i>	Oriental Fountain Grass	1 gal.	
Ornamental Grasses				
⊕ ⊕ ⊕	<i>Parthenocissus quinquefolia</i>	Englemann Ivy	1 gal.	

LANDSCAPE NOTES:

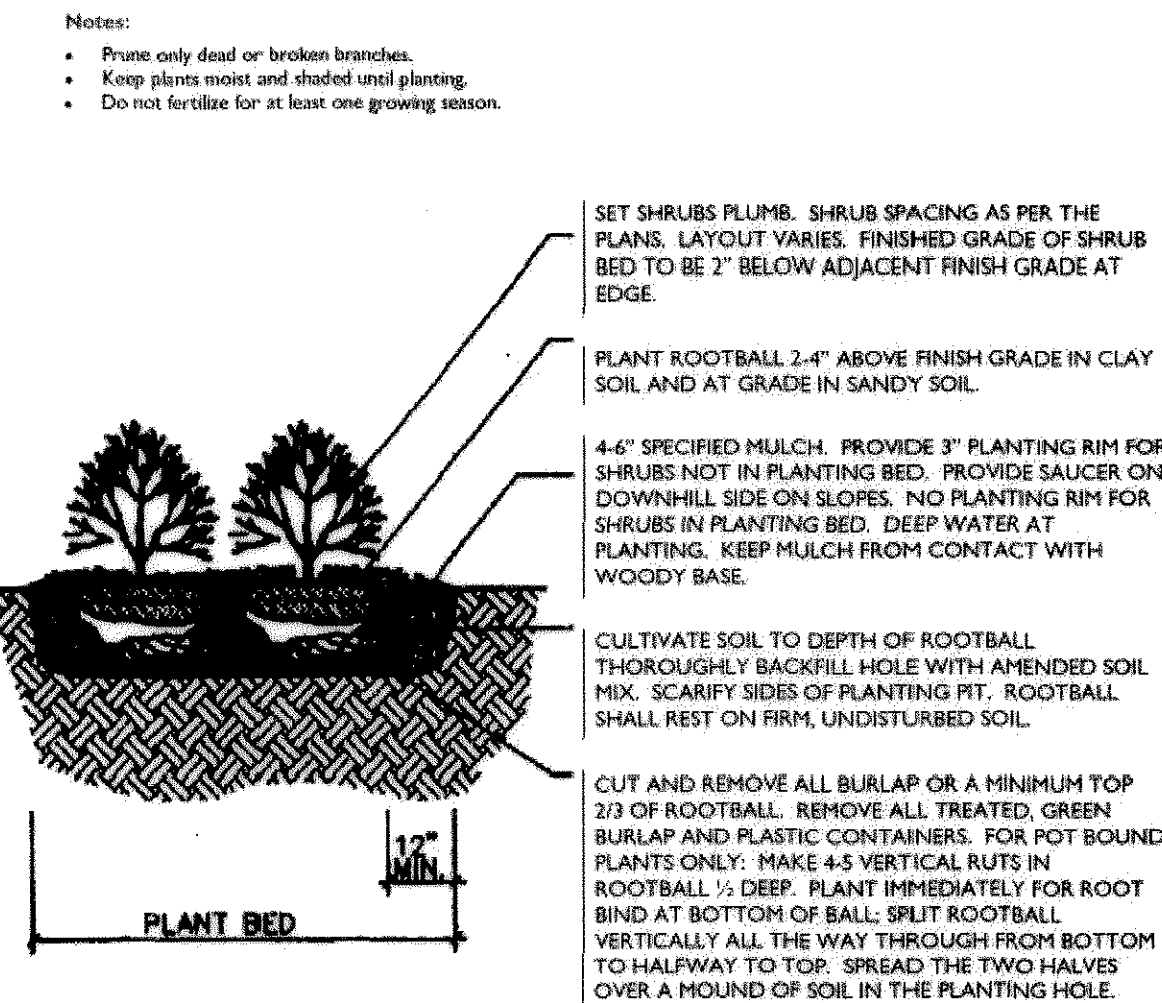
- ALL SHRUB BEDS ARE TO BE MULCHED WITH 3/4" CRUSHED GRANITE AT A MINIMUM DEPTH OF 3 INCHES OVER FILTER FABRIC, UNLESS OTHERWISE NOTED. REFER TO SPECIFICATIONS. SUBMIT SAMPLE FOR APPROVAL. MULCH TO BE PLACED IN SHRUB BEDS AS WELL AS 'NO-IRRIGATION' ZONE ALONG BUILDING.
- WOOD MULCH TO BE FIR FIBER WOOD MULCH PLACED AT A MINIMUM DEPTH OF 4 INCHES.
- ALL SHRUB BEDS ARE TO BE CONTAINED WITH PLASTIC EDGER, NOT REQUIRED AT CURB, WALK OR BUILDING. REFER TO SPECIFICATIONS. PROVIDE GAPS IN EDGER AT SWALES TO ALLOW FOR DRAINAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES TO EXISTING UTILITIES, CURB & GUTTER, WALLS, WALKWAYS OR OTHER STRUCTURES THAT IS A RESULT OF HIS WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED. THE CONTRACTOR SHALL REMOVE REQUIRED DEPTH OF SOIL ALONG ALL WALKWAYS TO ACCOMMODATE SOD OR MULCH DEPTH.
- ALL SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PROVIDE SHRUB BED LAYOUT BASED UPON THIS LANDSCAPE PLAN AND NOT THE IRRIGATION PLAN.
- ALL LANDSCAPE MATERIALS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- NO TREES OR PERMANENT STRUCTURES ARE ALLOWED IN THE UTILITY AND DRAINAGE EASEMENT.



1 TYP. DECIDUOUS TREE PLANTING

SCALE: N.T.S. STANDARD TOCR DETAIL

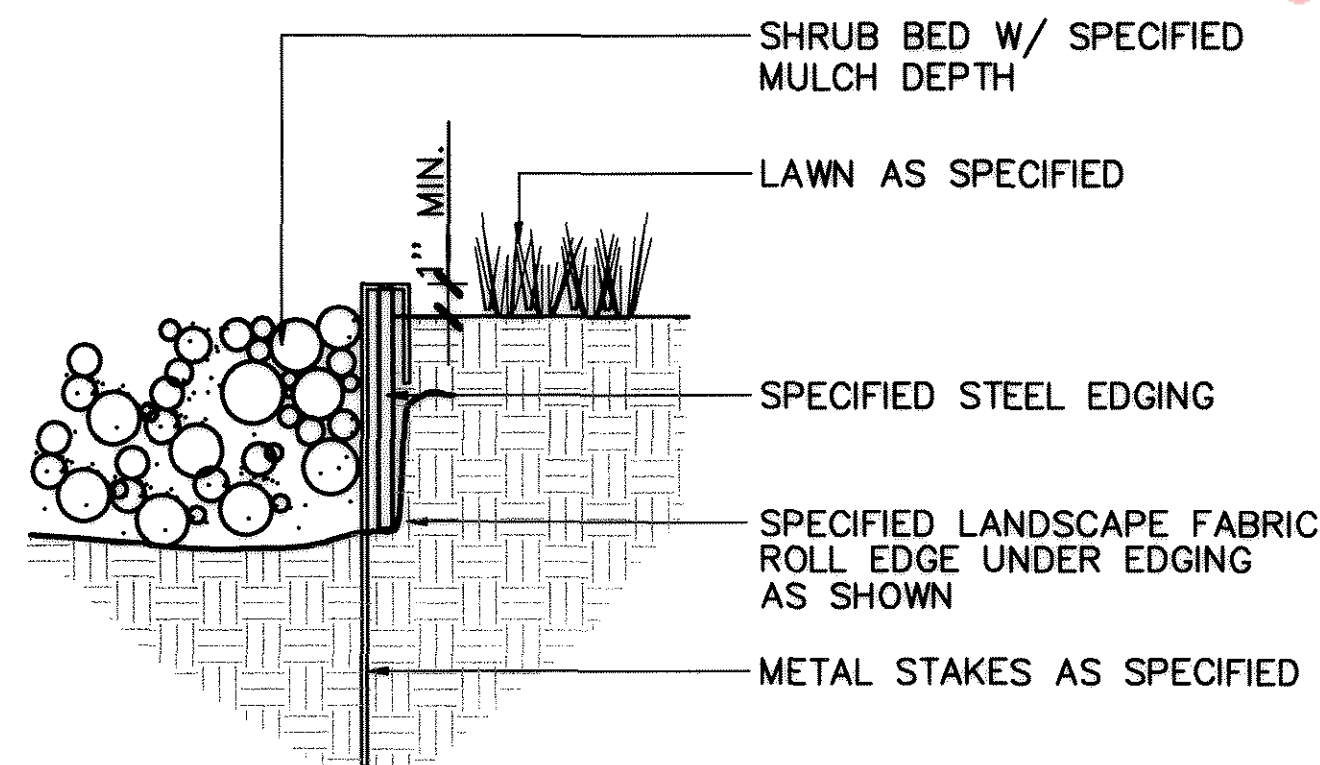
SECTION



2 TYP. SHRUB PLANTING

SCALE: N.T.S. STANDARD TOCR DETAIL

SECTION



- NOTES:**
- SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ GRADES OF CONCRETE.
 - ALL JOINTS TO BE SECURELY STAKED.
 - CONTRACTOR SHALL CUT TOP EDGE(S) AS NEEDED TO BE PARALLEL WITH GRADE.
 - ALL EDGER TO BE ROLLED OR CAPPED.

3 EDGER DETAIL

SCALE: N.T.S.

SECTION

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
123443	104878	EXISTING TURF MIX (Livingston, Limousine, Glade and Touchdown) 18665 SF	0	21	30	42	263	11 CY	No
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscape Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
19195	INTERNAL 1643	60	0	0	0	4	4	8	32

REGISTERED LANDSCAPE ARCHITECT:
 Bill Neumann, TOCR CERTIFICATION # 8009

1st Amendment To Final P.d. Site Plan
 For Lot 2, Douglas County Justice
 Center Filing No. 4, 1st Amendment



LANDSCAPE ARCHITECTURE
 LAND PLANNING
 URBAN DESIGN
 1390 Lawrence Street, Suite 100
 Denver, CO 80204 | 303.892.5564

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The Buddy Center Addition
 Castle Rock, Colorado

PROJECT NUMBER: 9246.00 DATE: 11.09.09

DESIGNED: MW
 DRAWN: MW
 CHECKED: BN

REVISIONS:
 01.25.10 - TOCR Comments

JOB DESCRIPTION:

SHEET TITLE:
 Site Details & Charts

SHEET NUMBER:
 SHEET 5 OF 8

1ST AMENDMENT TO FINAL P.D. SITE PLAN FOR LOT 2, DOUGLAS COUNTY JUSTICE CENTER FILING NO. 4, 1ST AMENDMENT



ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS AND THOSE SHOWN ON THE RECORDS OWNED OR PROVIDED WITH THESE APPROVALS TO BE LOCATED AND EXPOSED. THE CONTRACTOR BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT HERETO AGREES TO ASSUME LIABILITY AND TO HOLD THE OWNER HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE OWNER AND NOT SHOWN ON THE PUBLIC RECORDS OWNED, LOCATED AT HIS/HERS WITH THE RECORDS OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE THE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

DHM DESIGN
LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
1390 Lawrence Street, Suite 100
Denver, CO 80204 | 303.892.5566

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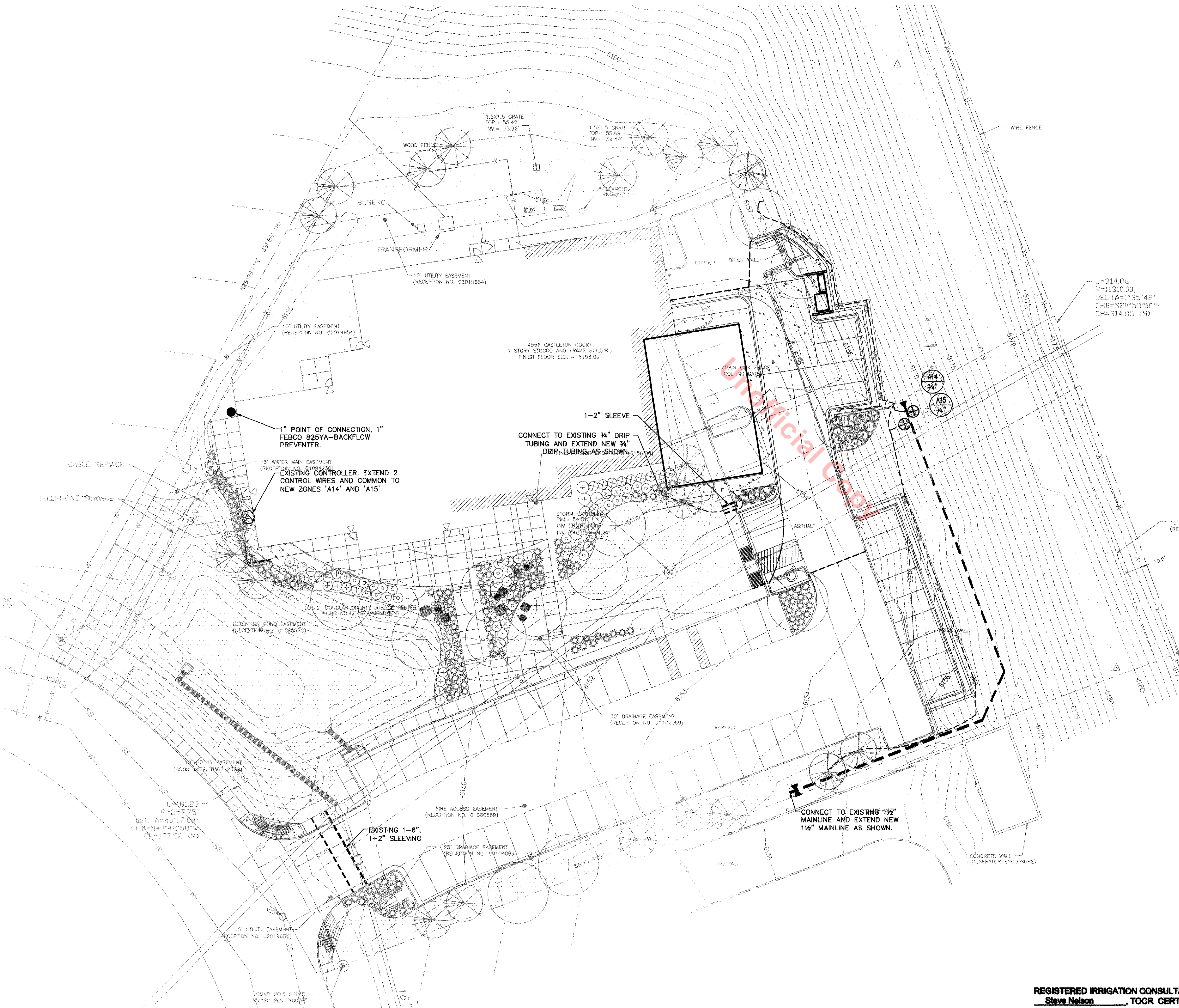
IRRIGATION SCHEDULE

SYMBOL	MODEL	DESCRIPTION	DETAIL
	LINE SIZE	GATE VALVE	1
	3/4"	DRIP VALVE	2
	44LRC	RAINBIRD QUICK COUPLER	3
	CL. 200 B.E. (1 1/2")	PVC MAINLINE	
	CL. 200	PVC SLEEVING	
	3/4"	DRIP TUBING	
		CONTROLLER NUMBER VALVE SIZE	

NOTES

- REFER TO SPECIFICATIONS AND DETAILS FOR INSTALLATION INSTRUCTIONS.
- ALL BASE PLAN INFORMATION HAS BEEN TAKEN FROM DRAWINGS PREPARED BY DHM DESIGN.
- IRRIGATION SYSTEM IS DESIGNED FOR A STATIC WATER PRESSURE OF 80 PSI. CONTRACTOR IS TO VERIFY PRESSURE PRIOR TO INSTALLATION OF IRRIGATION SYSTEM AND NOTIFY LANDSCAPE ARCHITECT WITH VERIFICATION FIGURES. FAILURE TO NOTIFY LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR TAKING RESPONSIBILITY FOR ANY ALTERATIONS AT HIS/HER OWN COST.
- INSTALL DRIP EMITTERS IN BED AREAS AS DESCRIBED BELOW:

GROUND COVER	AGRIFIM IFT-5	1 EA. 12" RADIUS, 15" O.C.
1 GALLON MAT'L.	AGRIFIM IFT-5	1 EA.
5 GALLON MAT'L.	AGRIFIM IFT-5	2 EA.
DECIDUOUS TREES (1-1/2" - 2" CAL.)	AGRIFIM IFT-10	3 EA.
DECIDUOUS TREES (3"-4" CAL.)	AGRIFIM IFT-10	4 EA.
PINE TREES (6"-10")	AGRIFIM IFT-10	2 EA.
PINE TREES (11"-14")	AGRIFIM IFT-10	3 EA.
- CONTRACTOR TO COORDINATE INSTALLATION OF SLEEVING WITH INSTALLATION OF PAVING AND SIDEWALKS.
- ELECTRICAL POWER TO THE NEW CONTROLLER IS SUPPLIED BY CONTRACTOR.
- LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE INSTALLED BY A TOCR REGISTERED PROFESSIONAL.
- MAINTENANCE OF LANDSCAPE AREAS SHALL MEET TOCR REQUIREMENTS.
- NO STREET WASHING IS ALLOWED IN CASTLE ROCK.
- TOWN OF CASTLE ROCK IS TO PROVIDE A MINIMUM STATIC PRESSURE OF 43 PSI.
- INSTALL DRIP BLOWOUTS AT ALL ENDS OF DRIP TUBING.
- THIS IRRIGATION SYSTEM IS BEING ADDED TO THE MAIN SYSTEM. THE MAIN SYSTEM HAS A 1" TAP, 1 1/2" MAINLINE AND 80 PSI.
- THE PROPOSED DRIP ZONES HAVE A MAXIMUM GPM OF 1.0 AND CAN BE RUN SIMULTANEOUSLY.
- FOUND NO.5 REBAR. PSI NEEDED TO OPERATE DRIP ZONE IS APPROXIMATELY 40 PSI. THE DRIP ZONES WILL HAVE A NEGLIGIBLE EFFECT ON THE OVERALL HYDRAULIC SITUATION.
- IRRIGATION WILL TAKE PLACE DURING OVER NIGHT HOURS.
- IRRIGATED AREA CALCULATED BY RUTH STADLER AND RICK SCHULTZ TO BE 21,659 SQ. FT.



IDC
IRRIGATION DESIGN & CONSULTING, INC.
303-442-7027
303-468-6466 - FAX
0 10 40
20
SCALE: 1"=20'-0"

1st Amendment To Final P.d. Site Plan
For Lot 2, Douglas County Justice
Center Filing No. 4, 1st Amendment

REGISTERED IRRIGATION CONSULTANT:
Steve Nelson, TOCR CERTIFICATION # 8008

The Buddy Center Addition
Castle Rock, Colorado

PROJECT NUMBER: 9246.00	DATE: 02.08.10
DESIGNED: SN	DRAWN: SN
CHECKED: SN	
REVISIONS: 1.25.10 TOCR COMMENTS	
JOB DESCRIPTION:	
SHEET TITLE: Irrigation Plan	
Scale: 1"=20'-0"	
SHEET NUMBER: SHEET 6 OF 8	

