

PLAT IDENTIFICATION SHEET

RECEPTION#:

DATE: 7-18-02

TIME:

FEE: \$ 210⁰⁰ (21 P)



OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R MURRAY
CLERK & RECORDER
RECORDING FEE \$210 00
21 PGS
2002069756
07/18/2002 10:34 AM

UNOFFICIAL COPY

GRANTOR: *Castlewood Ranch LLC*
(owner/signer)

GRANTEE: *Castlewood Ranch #1*
(subdivision name or name of plat) *Parcel 12*

LEGAL: *8-17-8*
(section-township-range)

NEW SUBDIVISION ABBREV: _____

CASTLEWOOD RANCH FILING 1, PARCEL 12 PRELIMINARY PLAT/ FINAL PD SITE PLAN

LOCATED IN THE SOUTH 1/2 OF SECTION 8, AND THE NORTH 1/2 OF SECTION 17, TOWNSHIP 8 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTH ONE-HALF OF SECTION 8 AND THE NORTH ONE-HALF OF SECTION 17, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 8, BEING MONUMENTED AT THE SOUTH 1/16 CORNER OF SECTIONS 8 & 9 BY A 2-1/2" ALUMINUM CAP STAMPED LS 28656 AND AT THE SOUTHEAST CORNER OF SAID SECTION 8 BY A 2-1/2" ALUMINUM CAP STAMPED LS 28656, ASSUMED TO BEAR S00°42'04"E.

COMMENCING AT THE SOUTH ONE-SIXTEENTH CORNER BETWEEN SAID SECTIONS 8 AND 9, THENCE S89°10'47"W ALONG THE NORTH LINE OF THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 8 A DISTANCE OF 818.88 FEET TO THE POINT OF BEGINNING;

THENCE ALONG THE WESTERLY LINE OF CASTLEWOOD RANCH SUBDIVISION - FILING NO. 1 - PARCEL 1 THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT WHOSE RADIUS POINTS BEARS S 24°41'03" W, HAVING A RADIUS OF 642.50 FEET, A CENTRAL ANGLE OF 37°36'34" AND AN ARC LENGTH OF 421.74 FEET;
2. S 18°03'30" W A DISTANCE OF 8.55 FEET;
3. S 25°21'50" E A DISTANCE OF 50.00 FEET TO THE MOST NORTHERLY CORNER OF CASTLEWOOD RANCH SUBDIVISION - FILING NO. 1 - PARCEL 5

THENCE ALONG THE NORTHWESTERLY BOUNDARY OF SAID PARCEL 5 THE FOLLOWING EIGHT (8) COURSES:

1. S 65°04'56" W A DISTANCE OF 629.79 FEET;
2. S 00°36'16" E A DISTANCE OF 338.43 FEET;
3. S 80°59'21" W A DISTANCE OF 358.00 FEET;
4. S 51°33'36" W A DISTANCE OF 232.05 FEET;
5. N 54°57'28" W A DISTANCE OF 82.07 FEET;
6. S 66°25'42" W A DISTANCE OF 196.62 FEET;
7. S 19°43'48" W A DISTANCE OF 167.69 FEET;
8. S 25°22'07" E A DISTANCE OF 170.34 FEET;

THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL 1 THE FOLLOWING SIX (6) COURSES:

1. N 82°56'48" W A DISTANCE OF 160.74 FEET;
2. ALONG THE ARC OF A CURVE TO THE LEFT WHOSE RADIUS POINTS BEARS S 07°03'12" W, HAVING A RADIUS OF 1232.50 FEET, A CENTRAL ANGLE OF 12°05'17" AND AN ARC LENGTH OF 260.03 FEET;
3. N 50°36'15" W A DISTANCE OF 7.12 FEET;
4. S 83°34'20" W A DISTANCE OF 50.00 FEET;
5. S 37°44'55" W A DISTANCE OF 7.12 FEET;
6. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT WHOSE RADIUS POINTS BEARS S 07°49'15" E, HAVING A RADIUS OF 1232.50 FEET, A CENTRAL ANGLE OF 20°24'21" AND AN ARC LENGTH OF 438.96 FEET;

THENCE ALONG THE EASTERLY LINE OF SAID PARCEL 1 THE FOLLOWING NINE (9) COURSES:

1. N 24°43'16" W A DISTANCE OF 422.66 FEET;
2. N 44°14'11" E A DISTANCE OF 261.79 FEET;
3. N 36°20'55" E A DISTANCE OF 204.10 FEET;
4. S 69°56'42" E A DISTANCE OF 141.01 FEET;
5. N 44°58'55" E A DISTANCE OF 622.77 FEET;
6. N 30°50'47" W A DISTANCE OF 200.43 FEET;
7. N 28°04'51" E A DISTANCE OF 224.38 FEET;
8. N 89°10'47" E A DISTANCE OF 200.69 FEET;
9. N 00°49'13" W A DISTANCE OF 110.00 FEET;

THENCE N 89°10'47" E ALONG THE NORTH LINE OF THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 8 A DISTANCE OF 1017.52 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,833,998 SQUARE FEET OR 42.103 ACRES.

BENCHMARK:

DOUGLAS COUNTY GIS CONTROL MONUMENT NO. 1.015020. MONUMENTED BY A 3 1/2" DIAMETER ALUMINUM CAPPED MONUMENT BEING SOUTH OF THE NORTH 1/4 CORNER BETWEEN SECTION 8 AS MONUMENTED BY 2 1/2" ALUMINUM CAPPED MONUMENT STAMPED "LS28656" A DISTANCE OF 150.52 FEET AND NORTH OF THE NE CORNER OF A BARB WIRE FENCE TO AN OLD BARN AREA A DISTANCE OF 19.4'. NAVD 88 DATUM ELEVATION=6572.29

VARIANCES:

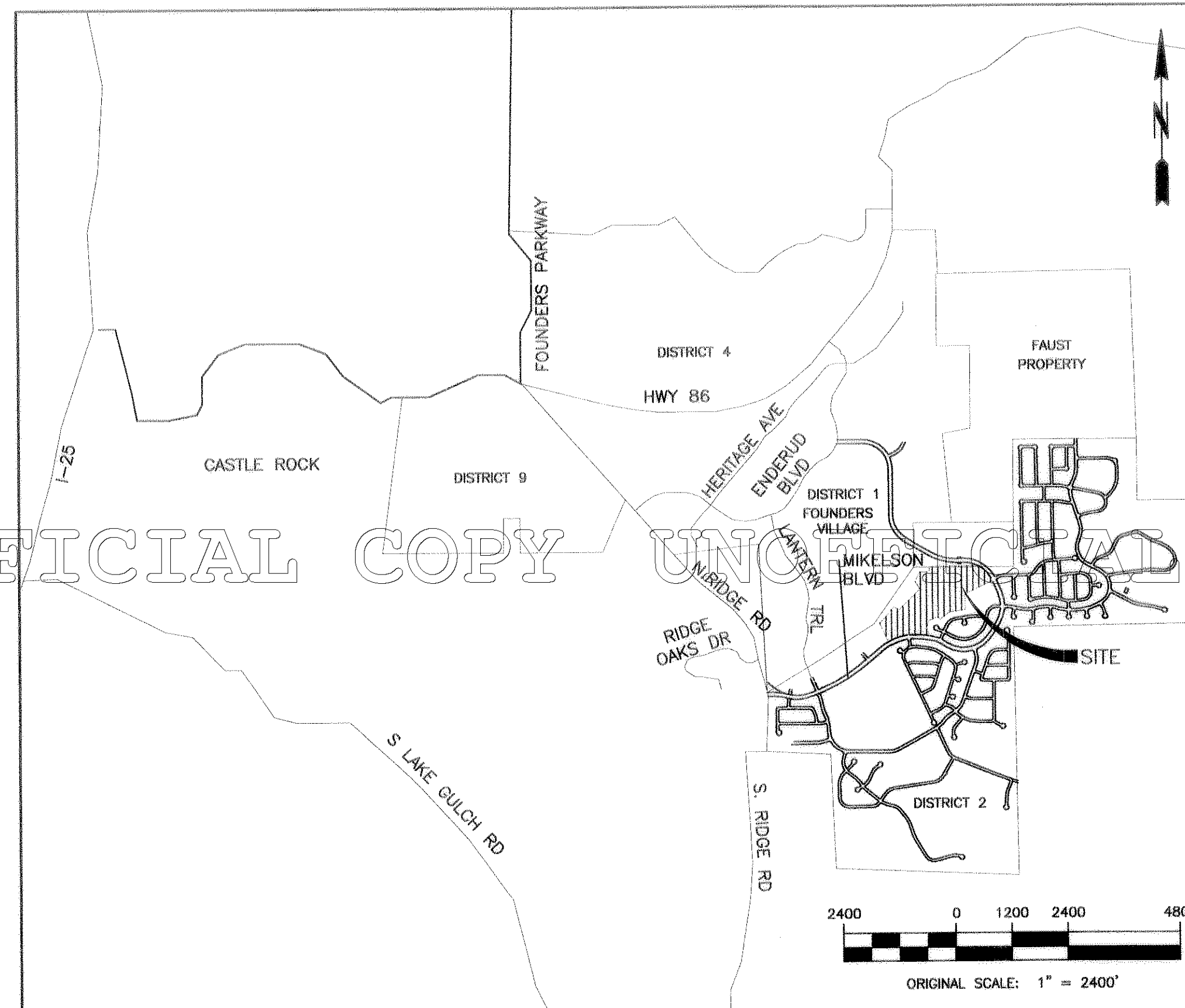
NON-STANDARD TYPICAL SECTION FOR LOCAL ROAD AS APPROVED IN CASTLEWOOD RANCH DEVELOPMENT AGREEMENT, 6-11-98.

TURNSTONE PLACE CUL-DE-SAC BULB IS EXTENDED IN LENGTH PER VARIANCE V2001-68, APPROVED 11/21/01.

THE ENTRY STREETS FROM MIKELSON BOULEVARD TO THIS SUBDIVISION ARE BONNER STREET AND TURNSTONE PLACE. THEY ARE DESIGNED AS IF MIKELSON BOULEVARD WERE CLASSIFIED AS A MAJOR COLLECTOR AND NOT A AS AN ARTERIAL PER VARIANCE V2001-69, APPROVED 11/21/01.

NOTE:

1. GARAGES OR NON-LIVING AREAS ARE TO BE LOCATED IN THE LINE OF SIGHT OF ONCOMING TRAFFIC OF AN INTERSECTING STREET OF A T-INTERSECTION.
2. NO FENCING OR TREES SHALL BE LOCATED WITHIN A WET UTILITY OR DRAINAGE EASEMENT.
3. NO FENCING, TREES, OR LANDSCAPING ABOVE 36" IN HEIGHT SHALL BE LOCATED WITHIN SIGHT TRIANGLES.
4. ABOVE GROUND UTILITY APPURTENANCES SHALL NOT ENCROACH ON SIGHT DISTANCE TRIANGLES.
5. THE EXISTING SANITARY SEWER THAT RUNS NORTH AND SOUTH SHALL BE RELOCATED TO THE NEW SANITARY SYSTEM THAT RUNS IN RALEIGH CIRCLE, TURNSTONE AVENUE AND WESTCROFT AVENUE PER THE LOT LAYOUT.
6. THE DEVELOPER WILL BE RESPONSIBLE FOR COMPLIANCE WITH THE TOWN OF CASTLE ROCK'S 2001 WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY.
7. PARKING IS RESTRICTED TO ONE SIDE OF THE STREET WHERE CROSS-SECTIONS ARE TWENTY-EIGHT (28) FEET OR LESS FROM FLOWLINE TO FLOWLINE.



VICINITY MAP
1"=2400'

UTILITY PROVIDERS

WATER	CASTLEWOOD RANCH METROPOLITAN DISTRICT OR TOWN OF CASTLE ROCK
SEWER	CASTLEWOOD RANCH METROPOLITAN DISTRICT OR TOWN OF CASTLE ROCK
GAS	PEOPLES NATURAL GAS
ELECTRICITY	I.R.E.A.
TELEPHONE	TESS COMMUNICATIONS
CATV	AT&T OF COLORADO

OWNER

CASTLEWOOD RANCH LLC
8480 E. ORCHARD RD., SUITE 5550
ENGLEWOOD, CO 80111
303-773-2887
DAVID ERB

BUILDER

KB HOME OF COLORADO INC.
8401 EAST BELLEVUE AVENUE, SUITE 200
LITTLETON, CO 80127
303-220-6065
GREG STREECH

PROJECT PLANNER

BERNARD LASH & ASSOCIATES
26 WEST DRY CREEK CIRCLE, SUITE 600
LITTLETON, CO 80120
303-798-8433
BERNIE LASH

PROJECT ENGINEER

TURNER COLLIE & BRADEN INC.
999 18TH STREET, SUITE 1500
DENVER, CO 80202
303-298-7117
CASSIE HARDISON

PROJECT LANDSCAPE ARCHITECT

NORRIS DULLEA
710 WEST COLFAX
DENVER, CO 80204
303-892-1166
JOHN BIRKEY
SARAH LITTLER

SUMMARY TABLE

TRACT	ACREAGE	ZONING	USE	OWNERSHIP	MAINTENANCE
A	3.35	OSP	OPEN SPACE, DRAINAGE EASEMENT	HOA	HOA
B	0.92	OSP	OPEN SPACE	HOA	HOA
C	0.04	OSP	OPEN SPACE	HOA	HOA
D	0.14	OSP	OPEN SPACE	HOA	HOA
E	0.32	OSP	OPEN SPACE	HOA	HOA
F	0.24	OSP	OPEN SPACE, DRAINAGE EASEMENT	HOA	HOA
G	0.12	OSP	OPEN SPACE	HOA	HOA
H	0.17	OSP	OPEN SPACE	HOA	HOA
I	0.16	OSP	OPEN SPACE, DRAINAGE EASEMENT	HOA	HOA
J	0.07	OSP	OPEN SPACE	HOA	HOA

PLANNED DEVELOPMENT REGULATIONS

LAND USE	PROPOSED ACREAGE	PROPOSED DWELLING UNITS	PROPOSED % OF SITE ACREAGE	GROSS DENSITY	SETBACKS FRONT	SETBACKS REAR	SETBACKS SIDE INTERIOR LOTS	SETBACKS SIDE TO STREETS	MAX. BLDG. COVERAGE	MAX. BLDG. HEIGHT
SINGLE FAMILY DETACHED	9.25	71	21.97%	8 du/ac	20'	20'	5'	15'	40%	35'
SINGLE FAMILY ATTACHED	18.98	218	45.08%	11 du/ac	20'	20'	5'	15'	40%	35'
OPEN SPACE DEDICATION PRIVATE	5.51	N/A	13.09%	-	-	-	-	-	-	-
PROPOSED STREET (R.O.W.)	8.36	N/A	19.86%	-	-	-	-	-	-	-
TOTAL	42.10	289	100.00%							

SHEET INDEX

- 1 - TITLE SHEET
- 2 - LEGEND AND TYPICAL SECTIONS
- 3 - OPEN SPACE PLAN
- 4-4A - PHASING PLAN
- 5-6 - SITE PLAN
- 7-8 - GRADING PLAN
- 9-10 - UTILITY PLAN
- 11 - TRAFFIC CONTROL PLAN
- 12-20 - LANDSCAPE PLAN

I, JEFFREY E. KISTNER, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON AUGUST 23, 2000, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID SURVEY HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS, OR SURVEYING OF LAND AND ALL PROVISIONS, WITHIN MY CONTROL, OF THE TOWN OF CASTLE ROCK SUBDIVISION REGULATIONS.

JEFFREY E. KISTNER

DATE

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR # 30829

OWNERSHIP CERTIFICATE

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE CASTLEWOOD RANCH SUBDIVISION FILING 1, PARCEL 12, IN THE TOWN OF CASTLE ROCK.

CASTLEWOOD RANCH LLC
DAVID J. ERB & COMPANY, MANAGING MEMBER OF CASTLEWOOD RANCH LLC

PRESIDENT

DATE

COUNTY OF DOUGLAS

STATE OF COLORADO)

THE FOREGOING OWNERSHIP CERTIFICATION WAS ACKNOWLEDGED BEFORE ME ON 12/14/02

BY David J. Erb AS PRESIDENT OF DAVID J. ERB & COMPANY, MANAGING MEMBER OF CASTLEWOOD RANCH LLC.

WITNESS MY HAND AND SEAL. MY COMMISSION EXPIRES

NOTARY PUBLIC

STATEMENT FOR CIVIL ENGINEER

I, TIMOTHY B. MASTERS, BEING A REGISTERED PROFESSIONAL IN THE STATE OF COLORADO, HEREBY ATTEST THAT PROPOSED GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS PRELIMINARY PLAT HAVE BEEN DESIGNED AND ENGINEERED IN SUBSTANTIAL CONFORMANCE WITH THE TOWN OF CASTLE ROCK CONSTRUCTION STANDARDS, EXCEPT WERE VARIANCES HAVE BEEN ALLOWED OR IMPLIED.

TIMOTHY B. MASTERS, P.E.

DATE

PROFESSIONAL ENGINEER REGISTRATION NO. 30381

PLANNING COMMISSION APPROVAL

THIS PRELIMINARY PLAT WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON February 14th 2002

CHAIRMAN

DATE

ATTEST

PLANNING DIRECTOR

DATE

TOWN COUNCIL APPROVAL

THIS PRELIMINARY PLAT WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO ON February 20th 2002

TOWN CLERK

DATE

CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR THE RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 10:24am ON THE DAY OF July 15, 2002 IN BOOK _____, PAGE _____, MAP _____, RECEPTION NO. 20020017510

DOUGLAS COUNTY CLERK AND RECORDER

BY: Deputy

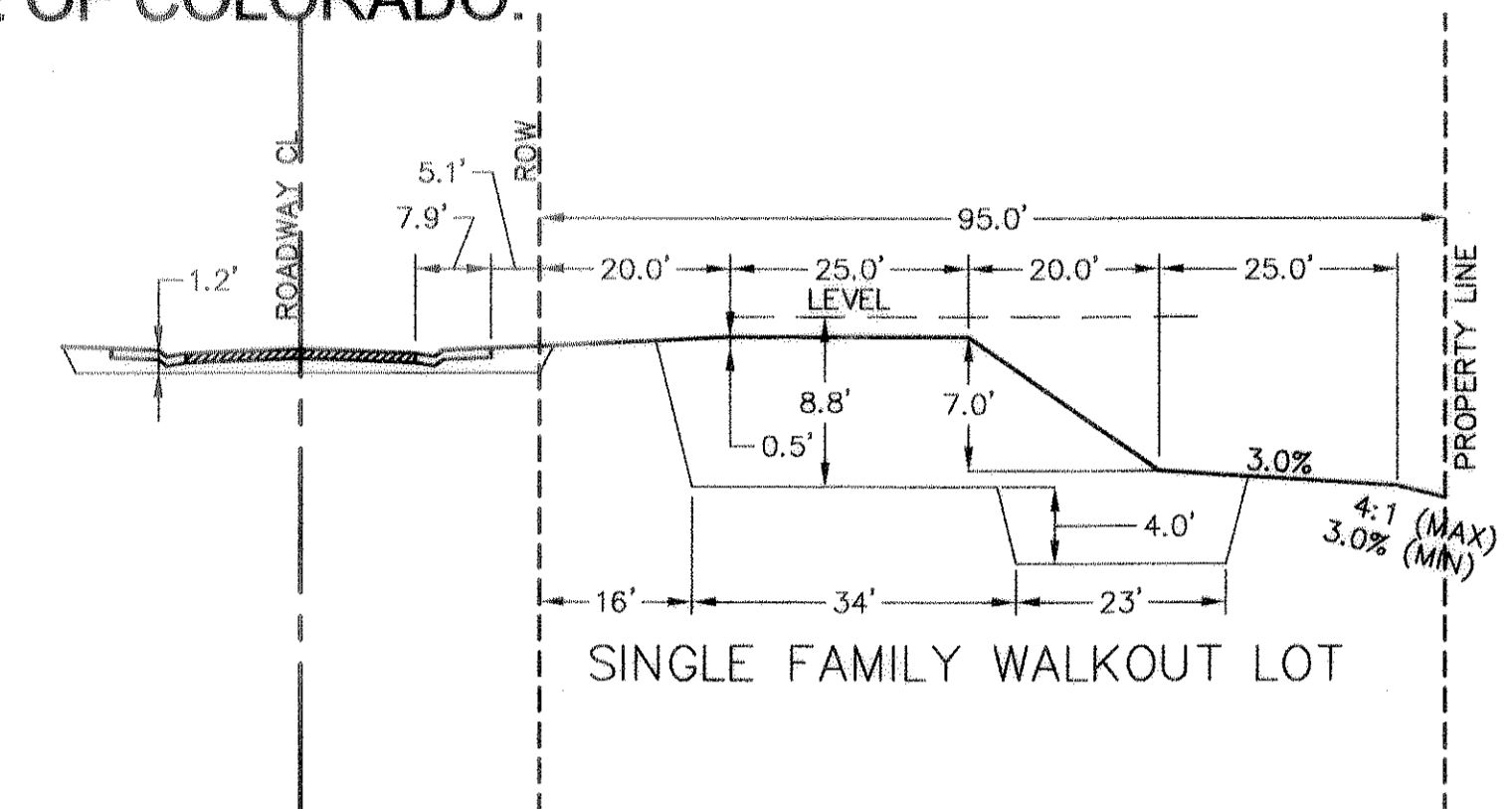
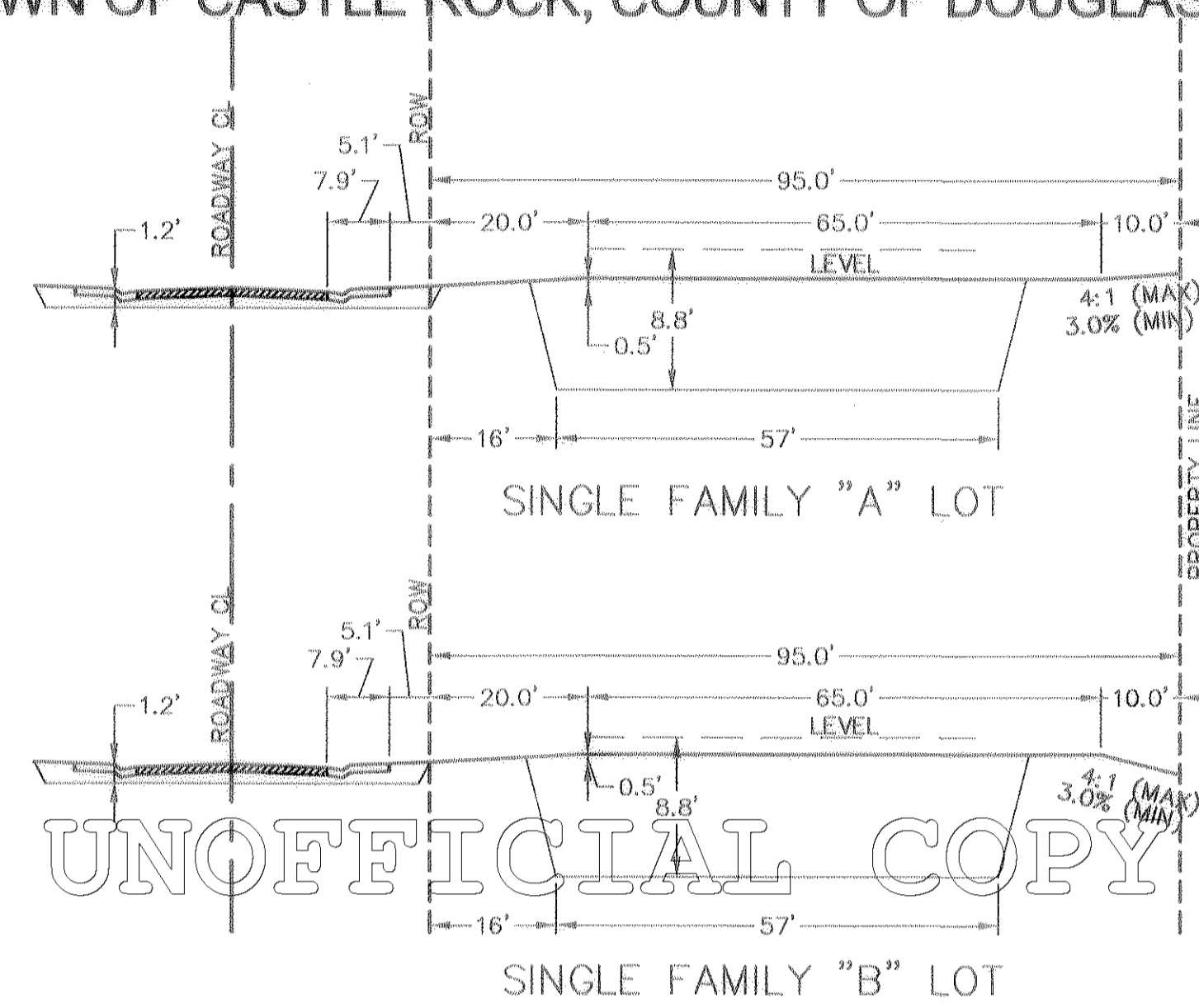
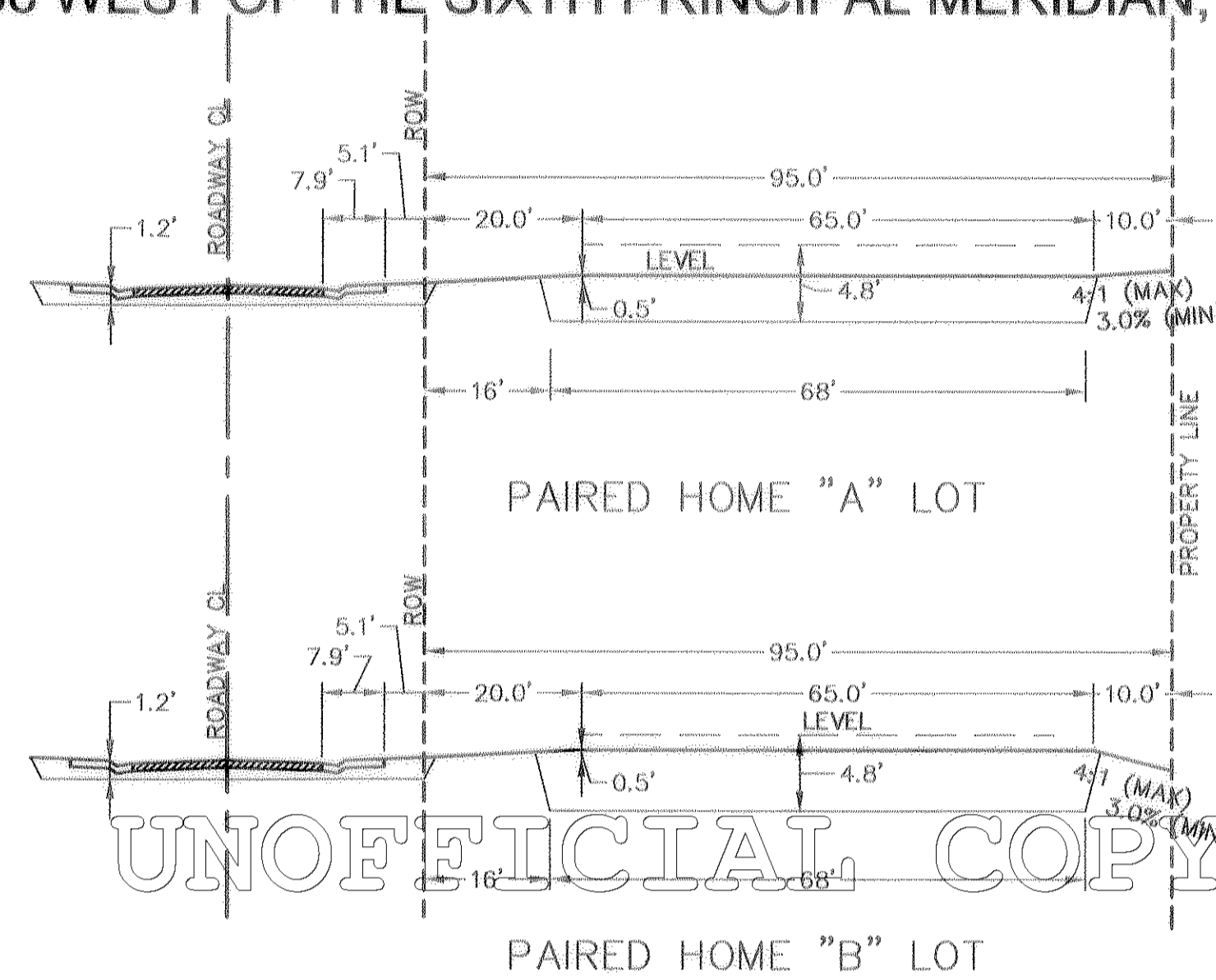
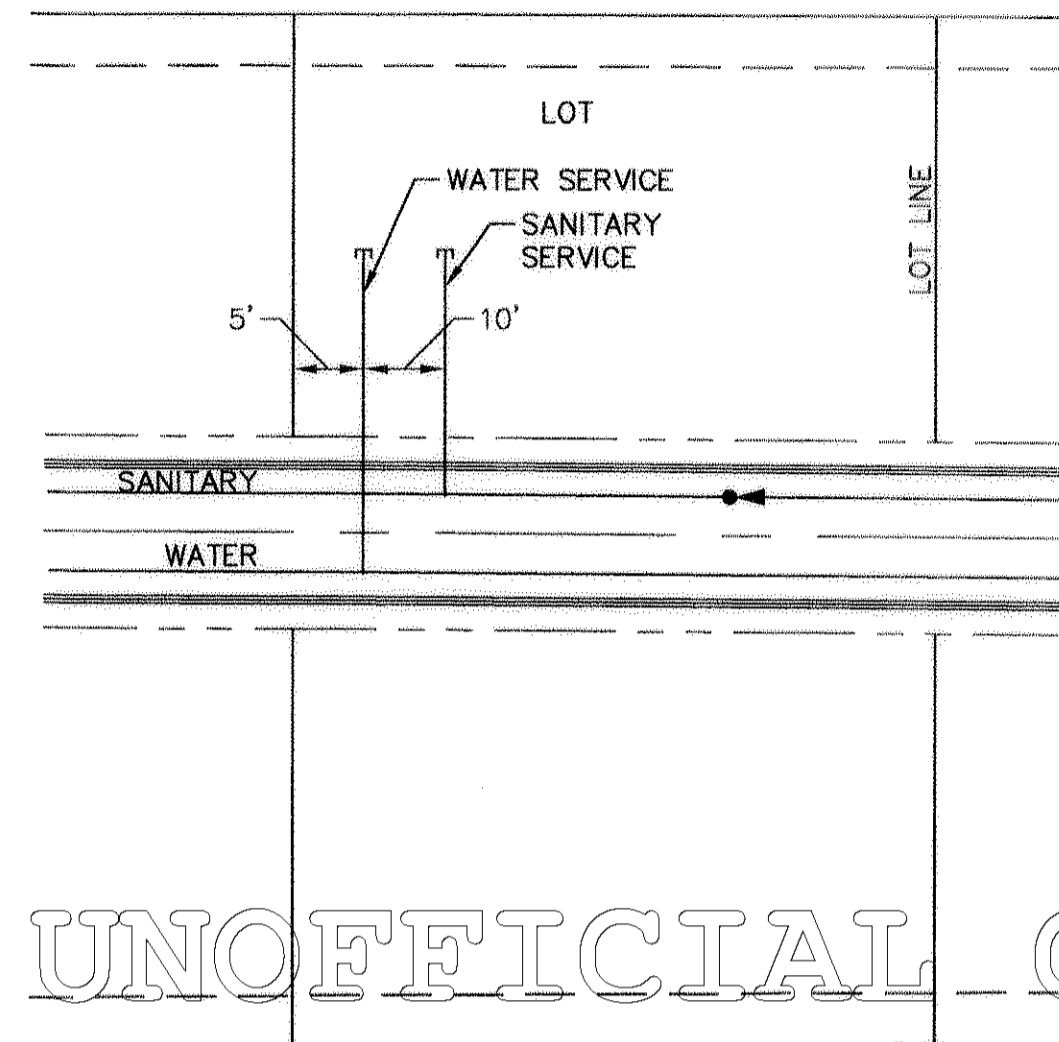
Turner Collie & Braden Inc.
ENGINEERS PLANNERS PROJECT MANAGERS
999 EIGHTEENTH STREET, SUITE 1500
DENVER, COLORADO 80202
PHONE (303) 298-7117 FAX (303) 298-1124

CASTLEWOOD RANCH
PRELIMINARY PLAT/FINAL PD SITE PLAN
TITLE SHEET

SHEET 1 OF 20

CASTLEWOOD RANCH FILING 1, PARCEL 12 PRELIMINARY PLAT/FINAL PD SITE PLAN

LOCATED IN THE SOUTH 1/2 OF SECTION 8, AND THE NORTH 1/2 OF SECTION 17, TOWNSHIP 8 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

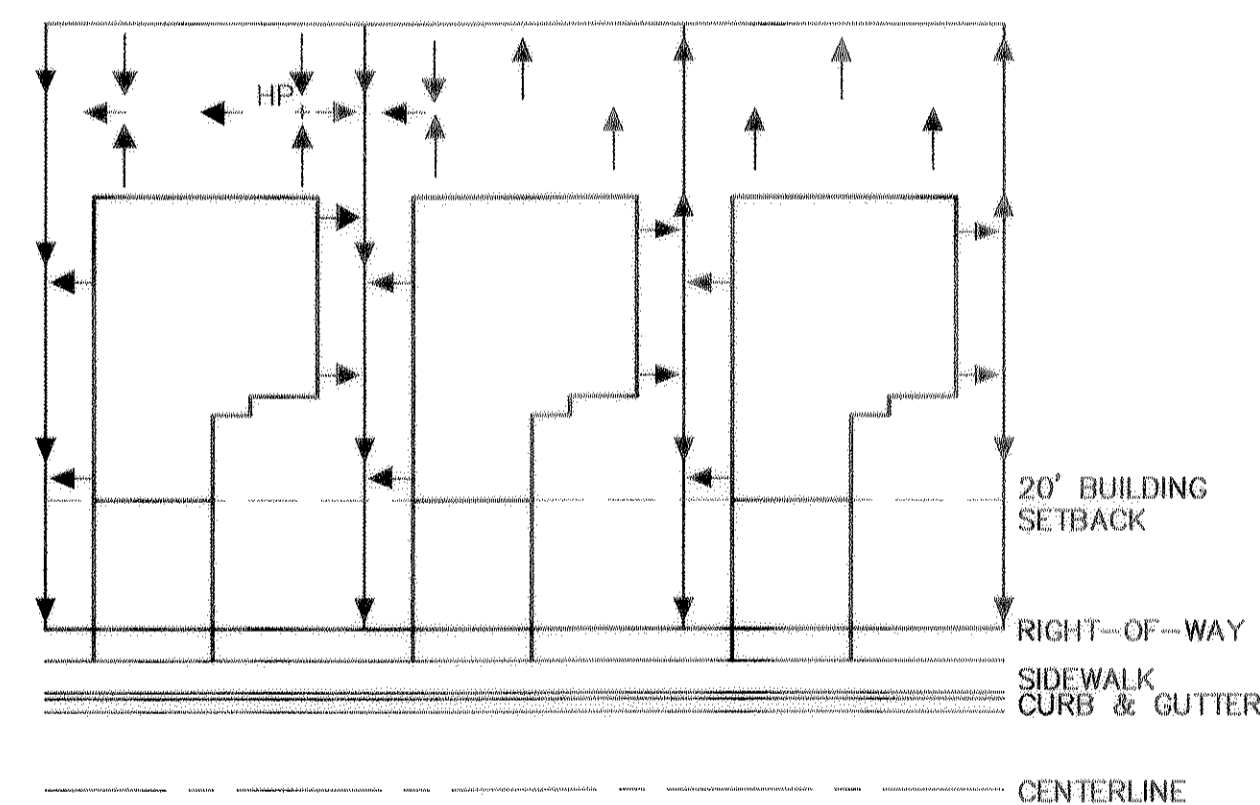


UNOFFICIAL COPY

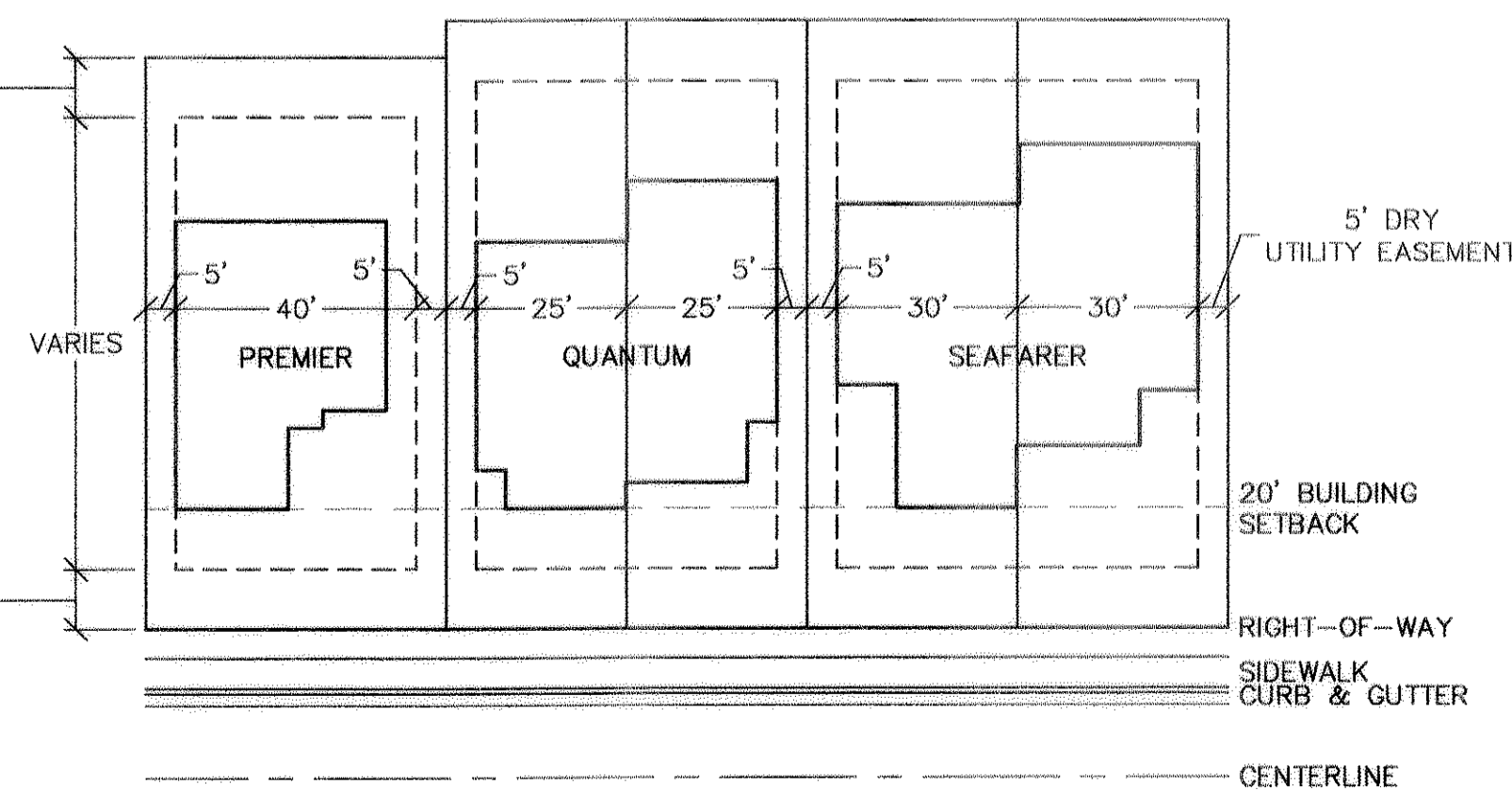
- NOTES:**
- SEWER SERVICE LINES (INDIVIDUAL TRENCH) SHALL BE LOCATED A MAXIMUM OF 15' ON THE UPHILL FROM THE DOWNHILL SIDE OF THE LOT
 - WATER SERVICE LINES SHALL BE LOCATED 5' UPHILL OF THE DOWNHILL PROPERTY LINE
 - WATER AND SEWER SERVICES SHALL HAVE A MIN. OF 10' HORIZ. SEPARATION.

WATER & SANITARY SERVICE LOCATIONS
N.T.S.

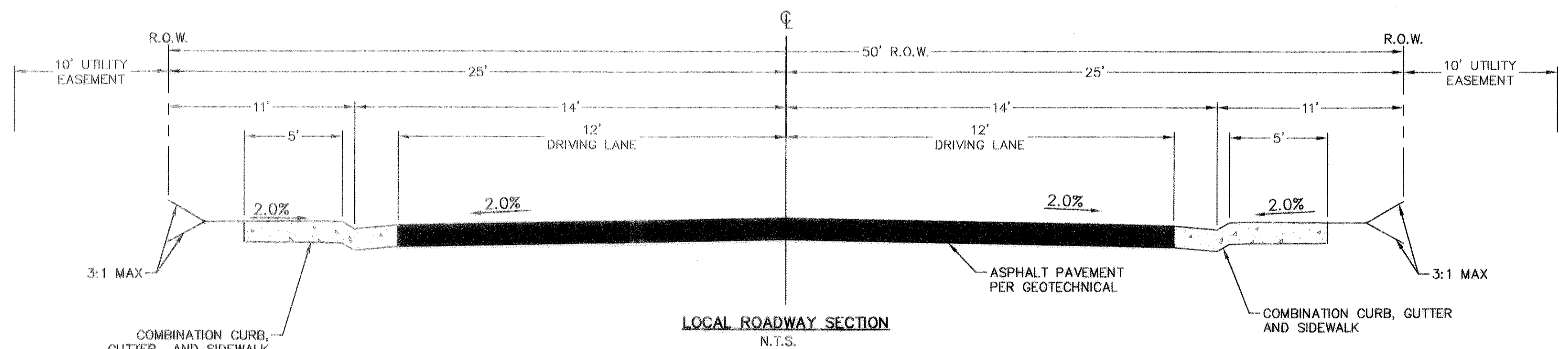
SYMBOLS	
GENERAL LEGEND	
— 5450 —	EXISTING MAJOR CONTOUR
— 5450 —	EXISTING MINOR CONTOUR
— 5450 —	PROPOSED MAJOR CONTOUR
— 5450 —	PROPOSED MINOR CONTOUR
— 5450 —	SANITARY SEWER
— 5450 —	WATER LINE
— 5450 —	GAS LINE
— 5450 —	PROPERTY LINE
— 5450 —	CENTER LINE
— 5450 —	EASEMENT
UG	UNDERGROUND ELECTRIC
OHE	OVERHEAD ELECTRIC
UU	UNDERGROUND UTILITY
— 5450 —	RIGHT OF WAY
— 5450 —	STORM DRAIN
— 5450 —	SIDEWALK
— 5450 —	CURB & GUTTER
— 5450 —	CONCRETE PAVEMENT
— 5450 —	ASPHALT HATCH



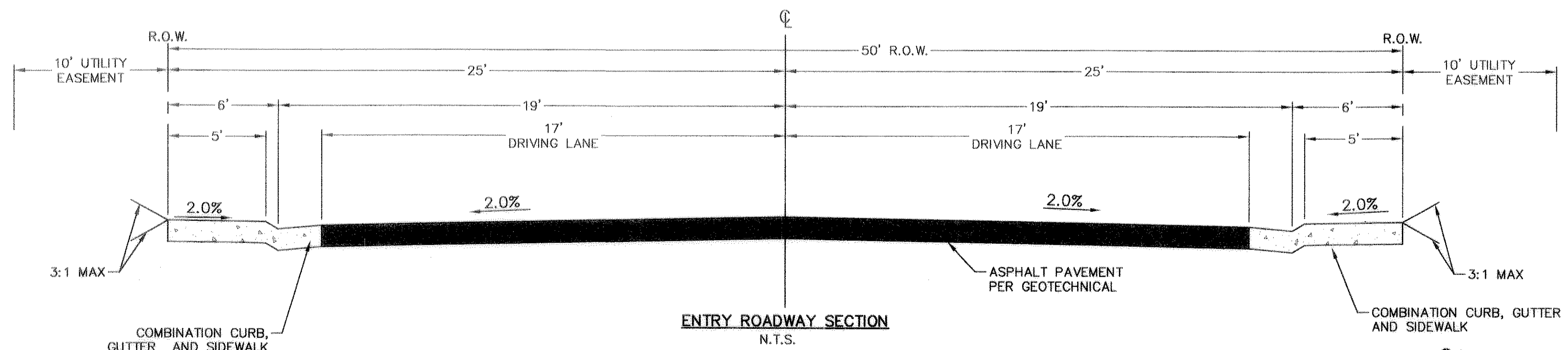
"A" LOT TRANSITION "B" LOT
PLAN VIEW FINAL LOT GRADING



TYPICAL LOT EASEMENTS
SCALE: 1"=30'



LOCAL ROADWAY SECTION
N.T.S.



ENTRY ROADWAY SECTION
N.T.S.

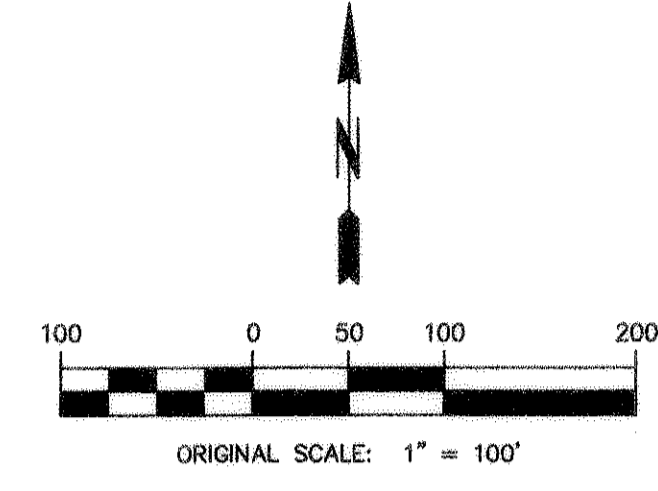
CASTLEWOOD RANCH
PRELIMINARY PLAT/FINAL PD SITE PLAN
LEGEND AND TYPICAL SECTIONS

Turner Collier & Braden Inc.
ENGINEERS PLANNERS PROJECT MANAGERS
999 EIGHTEENTH STREET, SUITE 1500
DENVER, COLORADO 80202
PHONE (303) 298-7117 FAX (303) 298-1124
APRIL 25, 2001
REVISED AUGUST 15, 2001
REVISED JANUARY 2, 2002
REVISED FEBRUARY 5, 2002
REVISED FEBRUARY 20, 2002

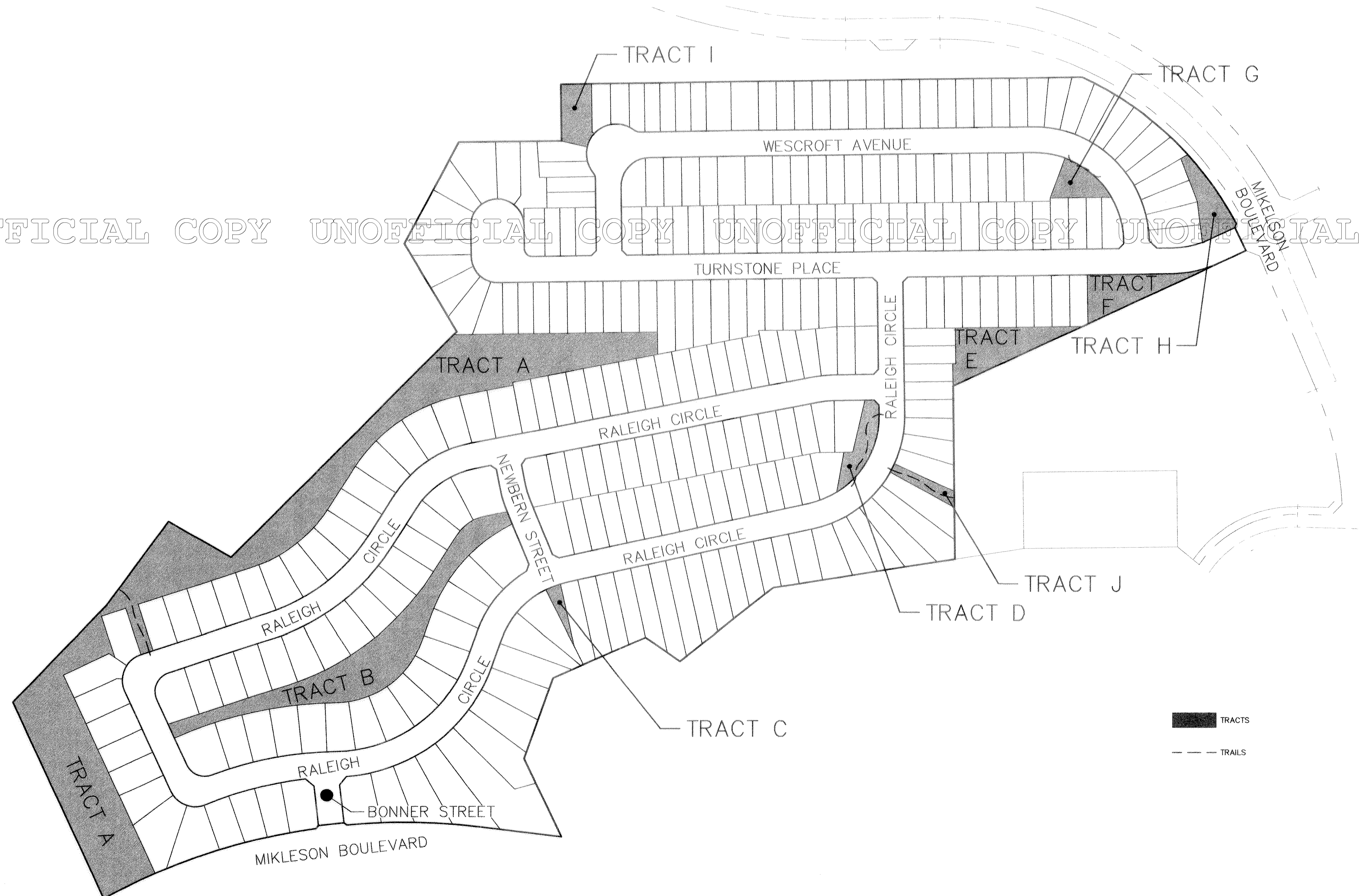
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CASTLEWOOD RANCH FILING 1, PARCEL 12 PRELIMINARY PLAT/ FINAL PD SITE PLAN

LOCATED IN THE SOUTH ½ OF SECTION 8, AND THE NORTH ½ OF SECTION 17, TOWNSHIP 8 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



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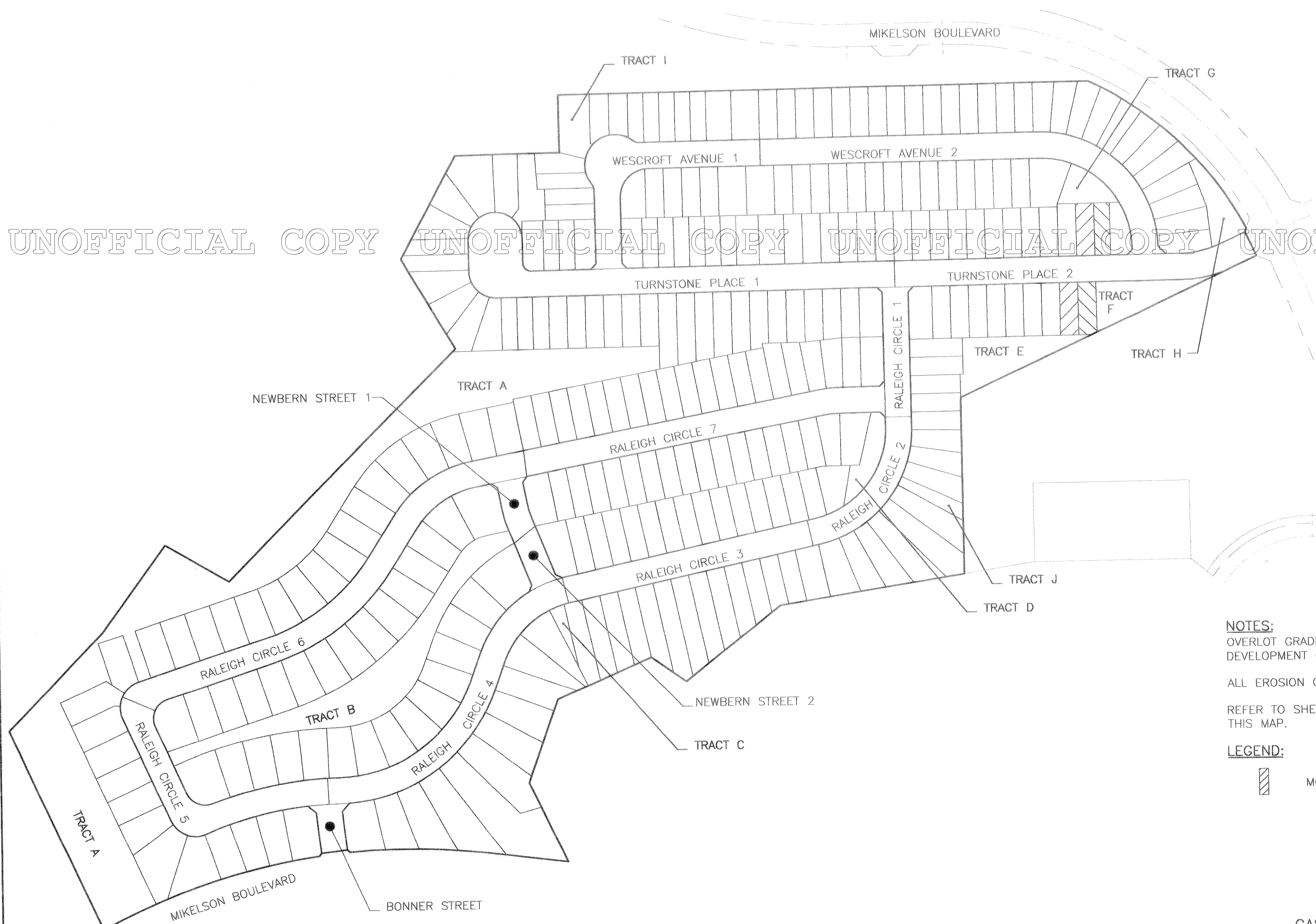
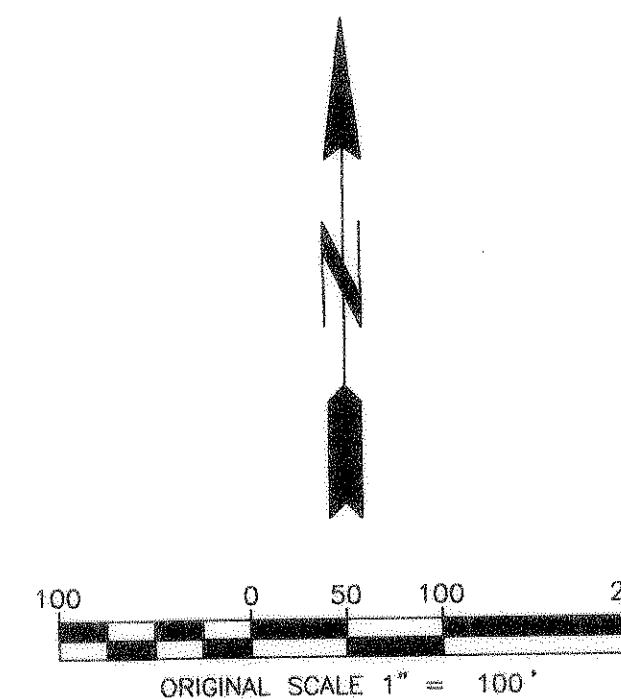


TRACTS
 TRAILS

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CASTLEWOOD RANCH FILING 1, PARCEL 12 PRELIMINARY PLAT/ FINAL PD SITE PLAN

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RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



PUBLIC IMPROVEMENTS PHASING PLAN
FOR CASTLEWOOD RANCH, FILING NO.1, PARCEL 12

LOCATION OF IMPROVEMENTS	STREET, SANITARY SERVICES & WATER SYSTEM	SANITARY MAIN	STORM SYSTEM
WESCROFT AVENUE 1	A,D	A,D	D
WESCROFT AVENUE 2	D	D	-
TURNSTONE PLACE 1	D	A,C,D	A,B,C,D
TURNSTONE PLACE 2	A,B,C,D	A,B,C,D	A,B,C,D
RALEIGH CIRCLE 1	A,B,C,D	A,B,C,D	A,B,C,D
RALEIGH CIRCLE 2	A,D	A,D	A,B,C,D
RALEIGH CIRCLE 3	A,D	A,D	-
RALEIGH CIRCLE 4	A,C,D	A,C,D	-
RALEIGH CIRCLE 5	B	A,B	-
RALEIGH CIRCLE 6	B	B	B
RALEIGH CIRCLE 7	B,C	B,C	-
NEWBERN STREET 1	B,C	-	-
NEWBERN STREET 2	A,C	-	-
BONNER STREET	A,B,C,D	-	-

SEE SHEET 4A FOR DESCRIPTIONS OF A,B,C AND D PHASING

NOTES:
OVERLOT GRADING FOR THE ENTIRE SITE NEEDS TO BE COMPLETE PRIOR TO DEVELOPMENT OF ANY PHASE.
ALL EROSION CONTROL MUST BE INSTALLED AT THE TIME OF OVERLOT GRADING.
REFER TO SHEET 4A FOR ADDITIONAL PHASING INFORMATION THAT WILL REFER TO THIS MAP.

LEGEND:
 MODEL LOTS

L:\MSD Home\5117-201\plans\12-101\plan\12-101.dwg 07/05/2002 09:38:03 AM MST

CASTLEWOOD RANCH FILING 1, PARCEL 12 PRELIMINARY PLAT/FINAL PD SITE PLAN

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RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

PHASE A REQUIRED IMPROVEMENTS

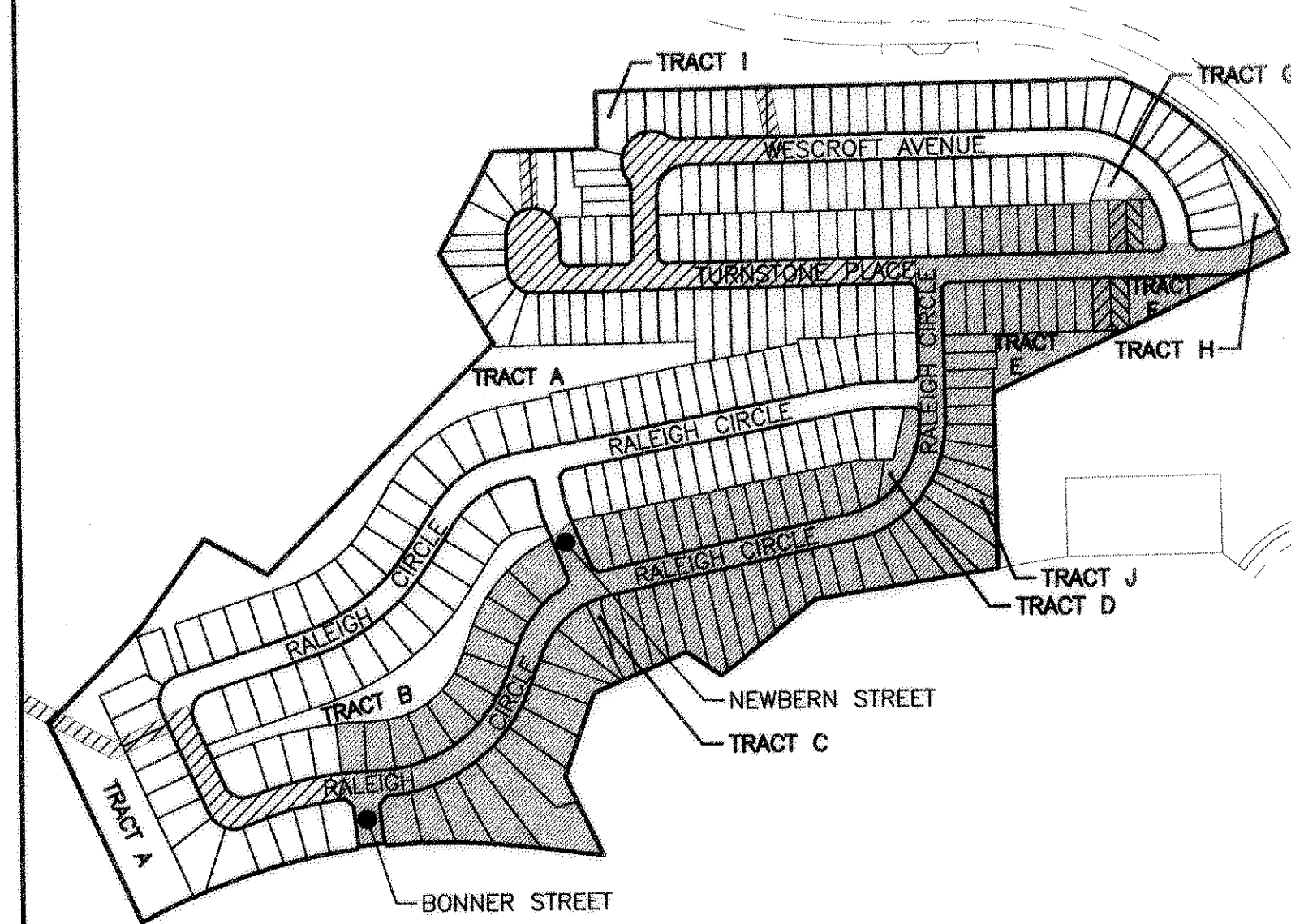
ROADS
TURNSTONE PLACE - MIKELSON BOULEVARD TO RALEIGH CIRCLE (TURNSTONE PLACE SECTION 2)
RALEIGH CIRCLE - TURNSTONE PLACE TO BONNER STREET (RALEIGH CIRCLE SECTIONS 1-4)
NEWBERN STREET - SOUTH HALF (NEWBERN STREET SECTION 2)
BONNER STREET

LAND DEDICATION
TRACTS C, D, E, F AND J

AVAILABLE LOTS
BLOCK 2, LOT 5-15
BLOCK 3, LOT 1-49
BLOCK 4, LOT 1-16
BLOCK 5, LOT 15-28

UTILITIES
WATER
WATERLINE LOOP FROM MIKELSON BOULEVARD IN TURNSTONE PLACE SECTION 2, TO RALEIGH CIRCLE SECTIONS 1-4, TO BONNER STREET AND BACK TO MIKELSON BOULEVARD.
NEWBERN STREET - SECTION 2, PLUG AT NORTH END
PLUG WESTERN END OF TURNSTONE PLACE SECTION 2 AND THE WEST END OF RALEIGH CIRCLE SECTION 4.
SANITARY
RALEIGH CIRCLE - SECTIONS 4 AND 5, TYING TO THE EXISTING 10" LINE TO THE WEST. SECTIONS 1-3, CONNECTING TO THE EXISTING 8" SANITARY LINE COMING FROM THE SOUTHERN PROPERTY.
TURNSTONE PLACE - ALL SECTIONS
WESTCROFT AVENUE - SECTION 1, TYING TO THE EXISTING 8" LINE.
STORM DRAINAGE
RALEIGH CIRCLE - SECTIONS 1-3, CONNECT TO EXISTING STORM FROM THE SOUTHERN PROPERTY INTO SECTION 3
TURNSTONE PLACE - ALL SECTIONS, PICKING UP EXISTING DRAINAGE FROM THE EAST END OF SECTION 2 AND DISCHARGING AT THE WEST END OF SECTION 1 TO A WATER QUALITY POND THEN RELEASING THROUGH AN OUTLET STRUCTURE AND RIPRAP LINED CHANNEL TO THE EXISTING MIKELSON BOULEVARD DETENTION FACILITY.

EROSION CONTROL
EROSION CONTROL MEASURES MUST BE PROVIDED AT THE WEST OF TURNSTONE PLACE SECTION 2, THE NORTH END OF NEWBERN STREET SECTION 2 AND THE WEST END OF RALEIGH STREET SECTION 4.



PHASE B REQUIRED IMPROVEMENTS

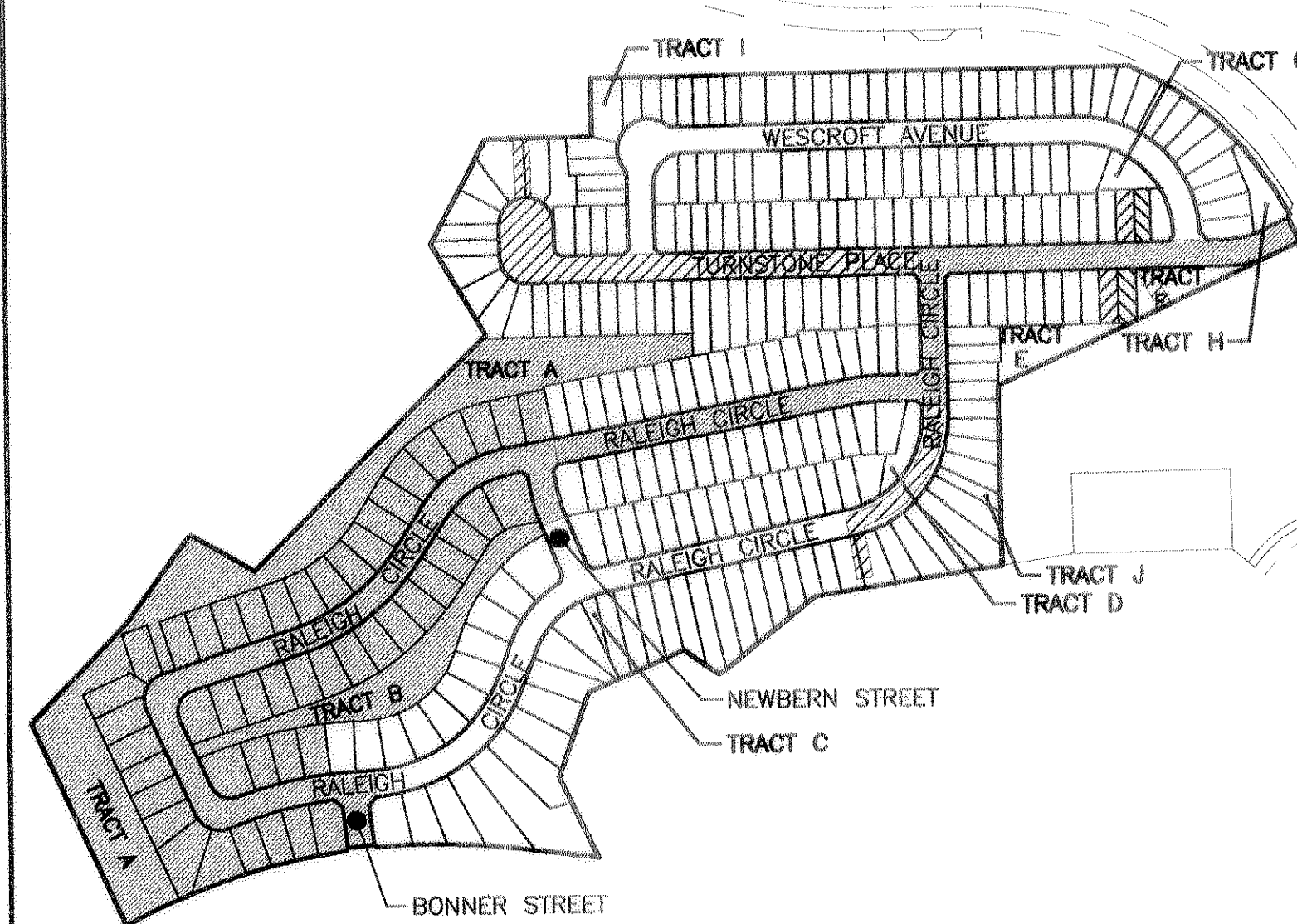
ROADS
TURNSTONE PLACE - MIKELSON BOULEVARD TO RALEIGH CIRCLE (TURNSTONE PLACE SECTION 2)
RALEIGH CIRCLE - TURNSTONE PLACE TO BONNER STREET (RALEIGH CIRCLE SECTIONS 1,5,6,7)
NEWBERN STREET - NORTH HALF (NEWBERN STREET SECTION 1)
BONNER STREET

LAND DEDICATION
TRACT A AND B

AVAILABLE LOTS
BLOCK 1, LOT 1-30
BLOCK 2, LOT 1-4, 16-30

UTILITIES
WATER
WATERLINE LOOP FROM MIKELSON BOULEVARD IN TURNSTONE PLACE SECTION 2, TO RALEIGH CIRCLE SECTIONS 1, 5-7, TO BONNER STREET AND BACK TO MIKELSON BOULEVARD.
NEWBERN STREET - SECTION 1, PLUG THE SOUTH END.
PLUG SOUTHERN END OF RALEIGH CIRCLE SECTION 1, WESTERN END OF TURNSTONE PLACE SECTION 2 AND WEST END OF RALEIGH CIRCLE SECTION 4.
SANITARY
RALEIGH CIRCLE - SECTIONS 5 AND 6, CONNECTING TO THE EXISTING 10" SANITARY LINE TO THE WEST. SECTIONS 1 AND 7.
TURNSTONE PLACE - ALL SECTIONS
WESTCROFT AVENUE - SECTION 1, CONNECTING TO THE EXISTING 8" LINE.
STORM DRAINAGE
RALEIGH CIRCLE - SECTION 6, DISCHARGING TO A WATER QUALITY POND THEN RELEASING THROUGH AN OUTLET STRUCTURE AND RIPRAP LINED CHANNEL TO THE EXISTING MIKELSON BOULEVARD DETENTION FACILITY. SECTIONS 1-3, CONNECTING THE EXISTING STORM SEWER FROM THE SOUTHERN PROPERTY.
TURNSTONE PLACE - ALL SECTIONS, PICKING UP EXISTING DRAINAGE FROM THE EAST END OF SECTION 2 AND DISCHARGING AT THE WEST END TO A WATER QUALITY POND THEN RELEASING THROUGH AN OUTLET STRUCTURE AND RIPRAP LINED CHANNEL TO THE EXISTING MIKELSON BOULEVARD DETENTION FACILITY.

EROSION CONTROL
EROSION CONTROL MEASURES MUST BE PROVIDED AT THE WEST OF TURNSTONE PLACE SECTION 2, RALEIGH CIRCLE SECTION 2 AND 4.



PHASE C REQUIRED IMPROVEMENTS

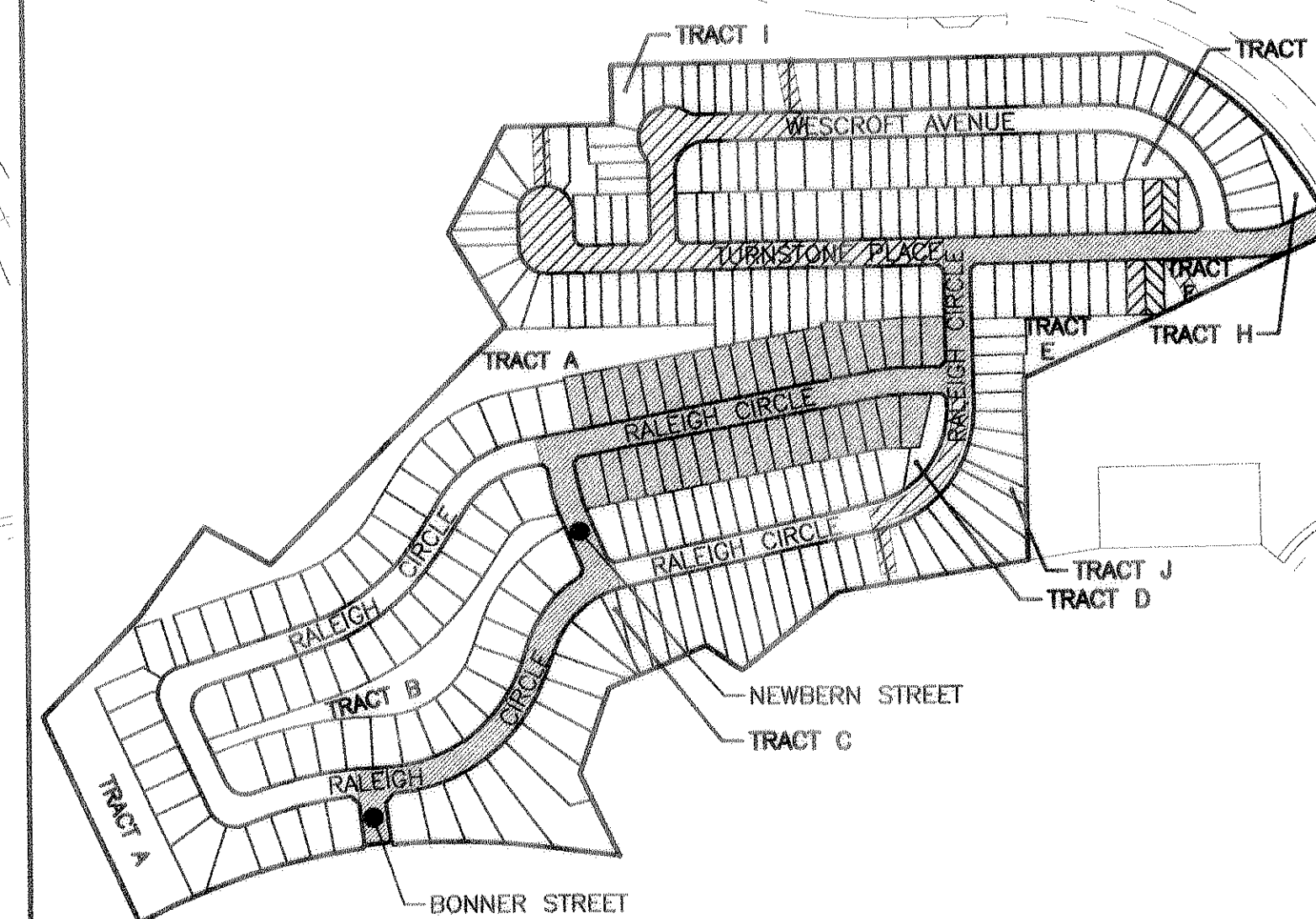
ROADS
TURNSTONE PLACE - MIKELSON BOULEVARD TO RALEIGH CIRCLE (SECTION 2)
RALEIGH CIRCLE - SECTIONS 1,4 AND 7
NEWBERN STREET
BONNER STREET

LAND DEDICATION
NONE

AVAILABLE LOTS
BLOCK 1, LOT 31-50
BLOCK 4, LOT 17-34

UTILITIES
WATER
WATERLINE LOOP FROM MIKELSON BOULEVARD IN TURNSTONE PLACE SECTION 2, TO RALEIGH CIRCLE SECTIONS 1 AND 7 TO NEWBERN STREET, ALL SECTIONS, TO RALEIGH CIRCLE SECTION 4 TO BONNER STREET AND CONNECTING BACK TO MIKELSON BOULEVARD.
PLUG WEST END OF TURNSTONE PLACE SECTION 2, SOUTH END OF RALEIGH CIRCLE SECTION 1, WEST END OF RALEIGH CIRCLE SECTION 7, EAST AND WEST END OF RALEIGH CIRCLE SECTION 4.
SANITARY
RALEIGH CIRCLE - SECTIONS 1 AND 7.
TURNSTONE PLACE - ALL SECTIONS.
WESTCROFT AVENUE - SECTION 1, CONNECTING TO THE EXISTING 8" LINE.
STORM DRAINAGE
RALEIGH CIRCLE - SECTIONS 1 AND 2, CONNECTING THE EXISTING STORM FROM THE SOUTHERN PROPERTY.
TURNSTONE PLACE - ALL SECTIONS, PICKING UP EXISTING DRAINAGE FROM THE EAST END OF SECTION 2 AND DISCHARGING AT THE WEST END TO A WATER QUALITY POND THEN RELEASING THROUGH AN OUTLET STRUCTURE AND RIPRAP LINED CHANNEL TO THE EXISTING MIKELSON BOULEVARD DETENTION FACILITY.

EROSION CONTROL
EROSION CONTROL MEASURES MUST BE PROVIDED AT THE WEST OF TURNSTONE PLACE SECTION 2, AND THE EAST AND WEST END OF RALEIGH STREET SECTION 1 AND 3.



PHASE D REQUIRED IMPROVEMENTS

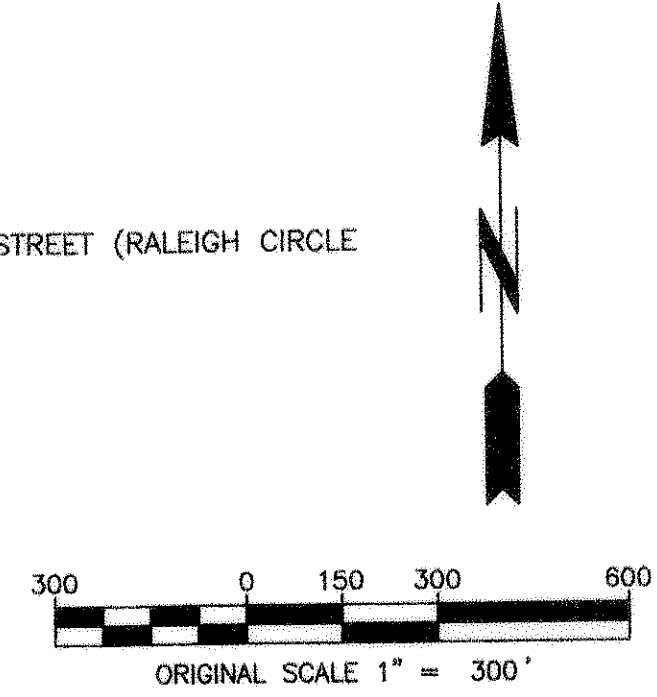
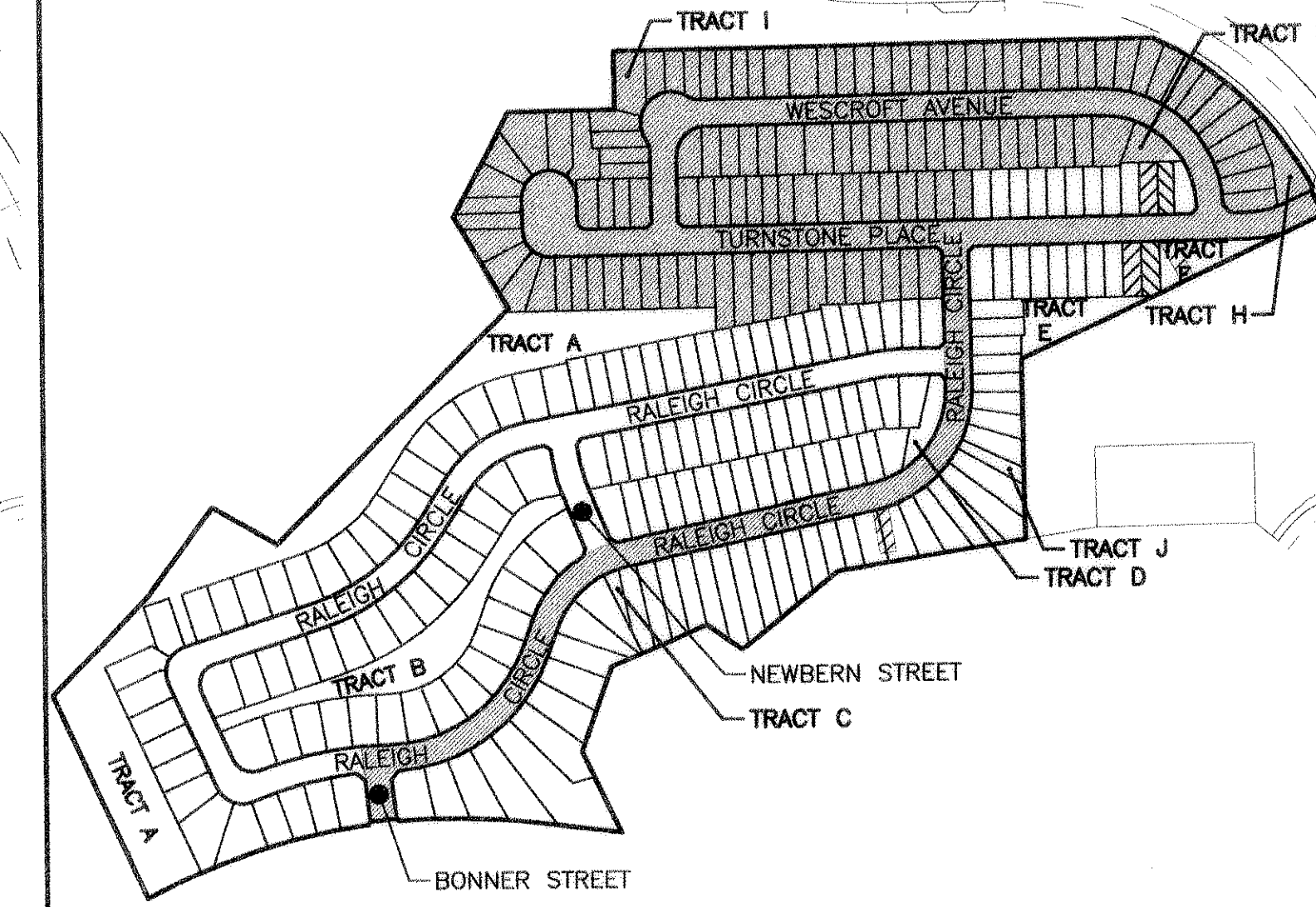
ROADS
WESTCROFT AVENUE
TURNSTONE PLACE
BONNER STREET
RALEIGH CIRCLE - TURNSTONE PLACE TO BONNER STREET (RALEIGH CIRCLE SECTIONS 1-4)

LAND DEDICATION
TRACTS G, H, I

AVAILABLE LOTS
BLOCK 1, LOT 51-126
BLOCK 5, LOT 1-16, LOT 29-50

UTILITIES
WATER
TURNSTONE PLACE - ALL SECTIONS
WESTCROFT AVENUE - ALL SECTIONS
RALEIGH CIRCLE - SECTIONS 1-4
BONNER STREET
PLUG WEST END OF RALEIGH CIRCLE SECTION 4
SANITARY
RALEIGH CIRCLE - SECTIONS 1-4, CONNECTING TO THE EXISTING 8" LINE FROM THE SOUTHERN PROPERTY.
TURNSTONE PLACE - ALL SECTIONS
WESTCROFT AVENUE - ALL SECTIONS, CONNECTING TO THE EXISTING 8" LINE.
STORM DRAINAGE
RALEIGH CIRCLE - SECTIONS 1 AND 2, CONNECT TO EXISTING STORM FROM THE SOUTHERN PROPERTY.
TURNSTONE PLACE - ALL SECTIONS, PICKING UP EXISTING DRAINAGE FROM THE EAST END OF SECTION 2 AND OUT LETTING AT THE WEST END TO A WATER QUALITY POND THEN RELEASING THROUGH AN OUTLET STRUCTURE AND RIPRAP LINED CHANNEL TO THE EXISTING MIKELSON BOULEVARD DETENTION FACILITY.
WESTCROFT AVENUE - SECTION 1, OUT LETTING TO THE WEST TO A WATER QUALITY POND, RELEASING THROUGH AN OUTLET STRUCTURE AND RIPRAP LINED CHANNEL TO THE EXISTING MIKELSON BOULEVARD DETENTION FACILITY.

EROSION CONTROL
EROSION CONTROL MEASURES MUST BE PROVIDED AT THE WEST END OF RALEIGH STREET SECTION 4, THE EAST END OF SECTION 7.



NOTES:

OVERLOT GRADING FOR THE ENTIRE SITE NEEDS TO BE COMPLETED PRIOR TO DEVELOPMENT OF ANY PHASE.

ALL EROSION CONTROL MUST BE INSTALLED AT THE TIME OF OVERLOT GRADING.

REFER TO SHEET 4 FOR STREET DESIGNATIONS.

IMPROVEMENTS LISTED ARE REQUIRED FOR EACH PHASE CONSTRUCTED INDEPENDENTLY. DEPENDING UPON PHASE SEQUENCE, SOME IMPROVEMENTS MAY HAVE BEEN COMPLETED PREVIOUSLY.

LEGEND:

- FINAL IMPROVEMENT AREA: ALL UTILITY AND STREET IMPROVEMENTS TO BE COMPLETED FOR THIS AREA INCLUDING ALL SERVICE TAPS, VALVES, FIRE HYDRANTS, ETC.
- PARTIAL IMPROVEMENT AREA: CERTAIN UTILITY IMPROVEMENTS TO BE COMPLETED FOR THIS AREA INCLUDING SANITARY AND STORM MAIN LINES ONLY, NO STREET IMPROVEMENTS TO BE COMPLETED
- MODEL LOTS

CASTLEWOOD RANCH
PRELIMINARY PLAT/FINAL PD SITE PLAN
PHASING PLAN

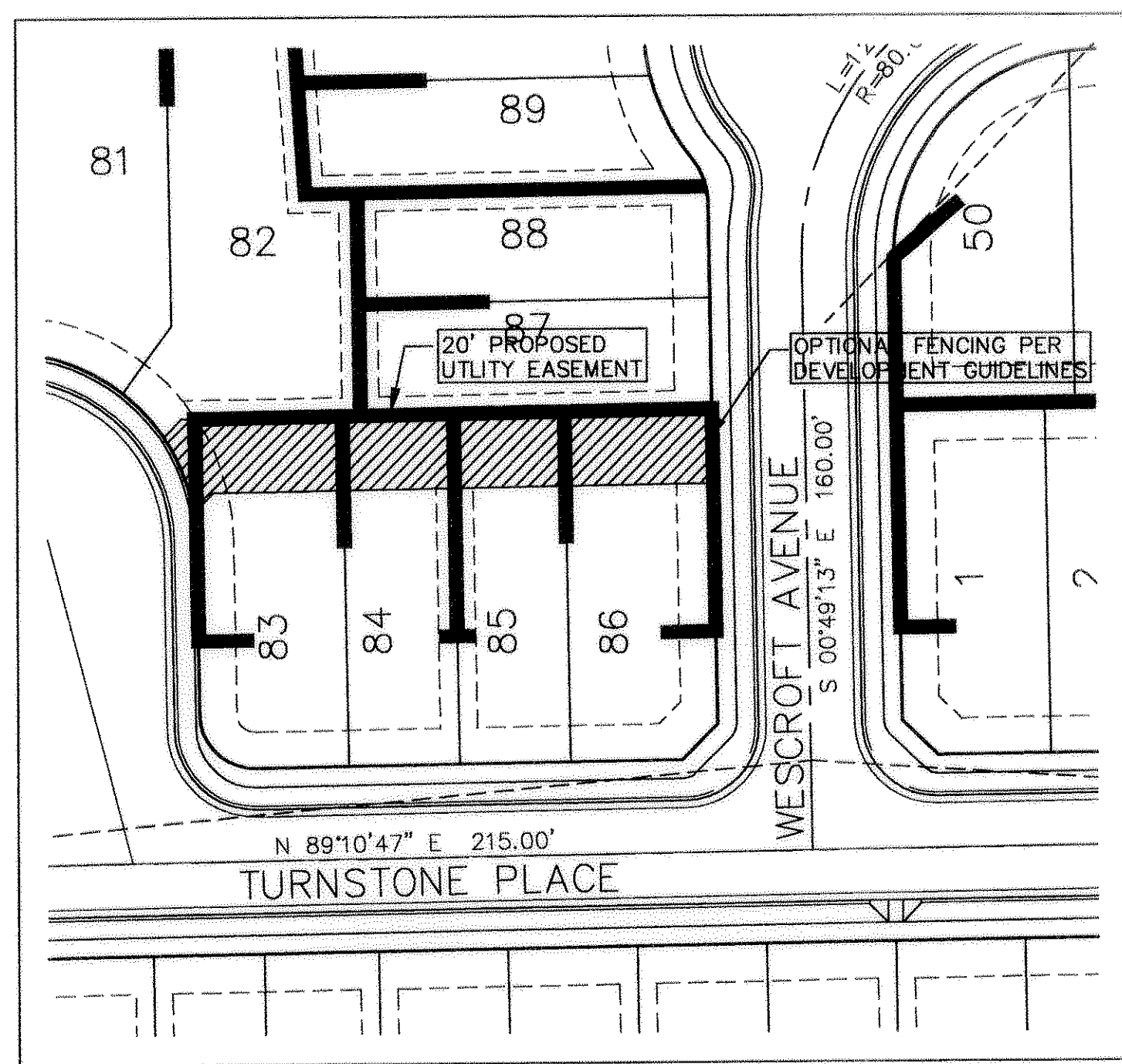
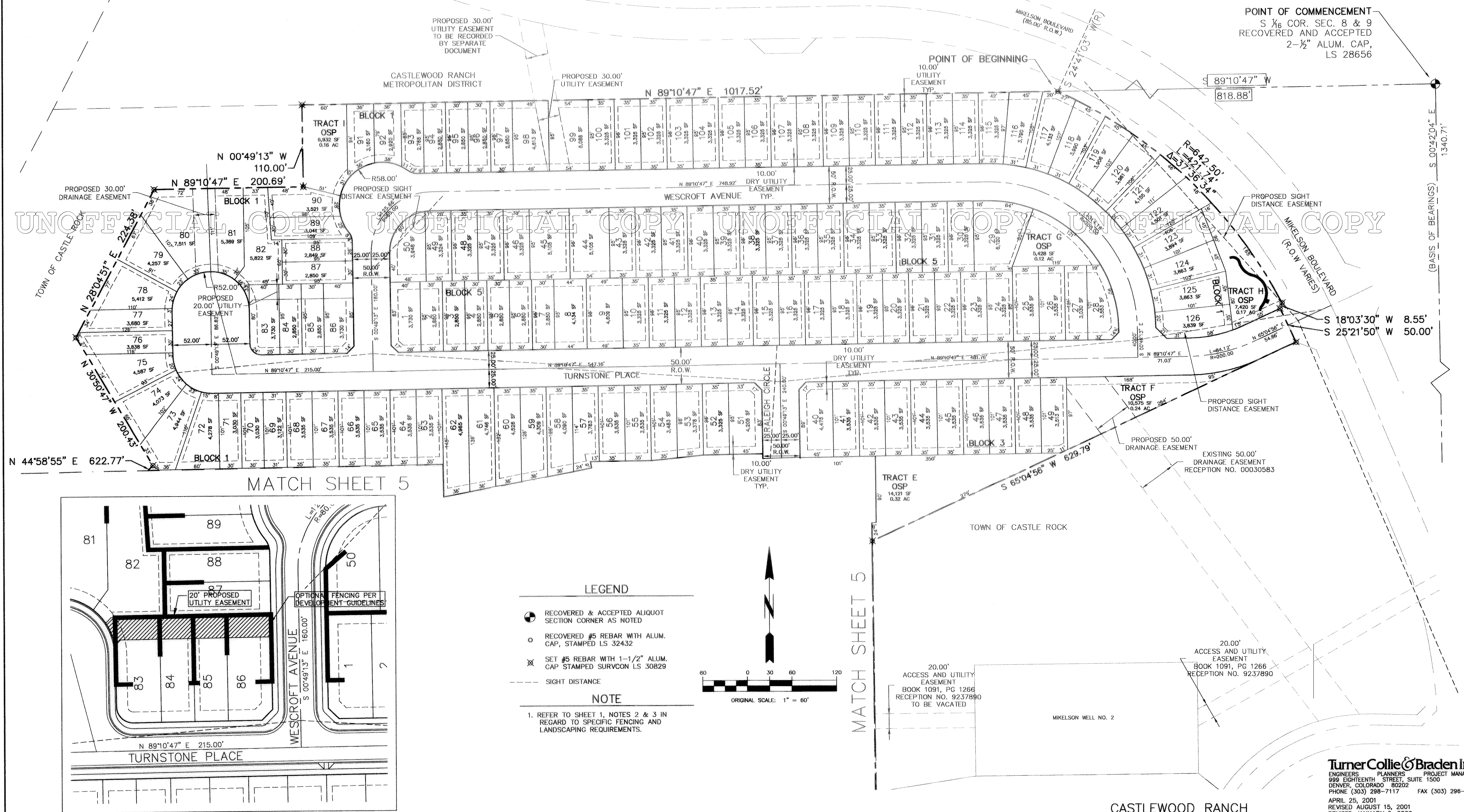
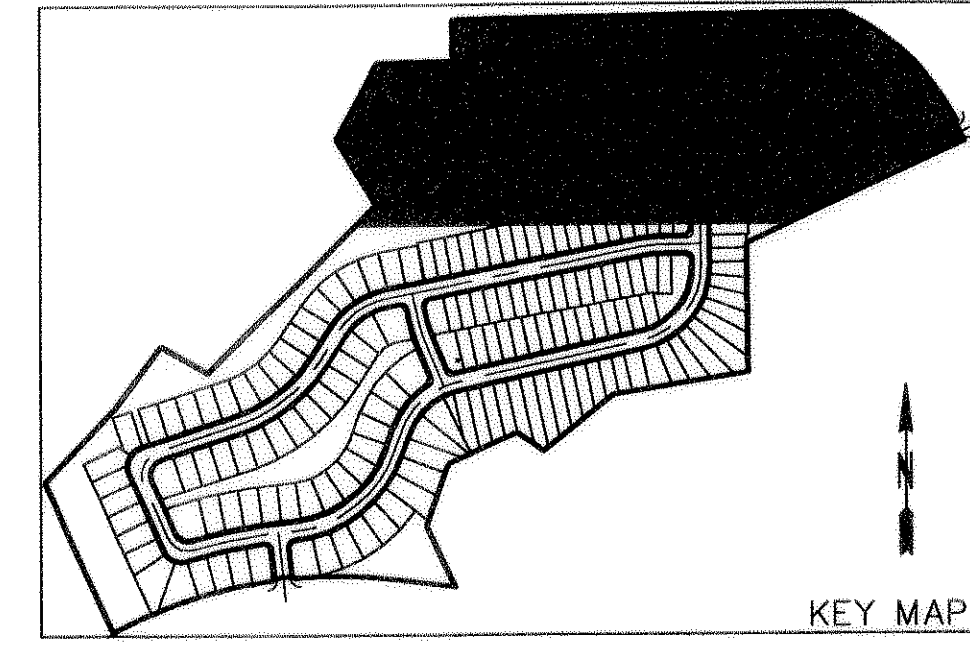
TurnerCollie & Braden Inc.
ENGINEERS PLANNERS PROJECT MANAGERS
999 EIGHTEENTH STREET, SUITE 1500
DENVER, COLORADO 80202
PHONE (303) 298-7117 FAX (303) 298-1124

APRIL 25, 2001
REVISED AUGUST 15, 2001
REVISED JANUARY 2, 2002

SHEET 4A OF 20

CASTLEWOOD RANCH FILING 1, PARCEL 12 PRELIMINARY PLAT/FINAL PD SITE PLAN

LOCATED IN THE SOUTH 1/2 OF SECTION 8, AND THE NORTH 1/2 OF SECTION 17, TOWNSHIP 8 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

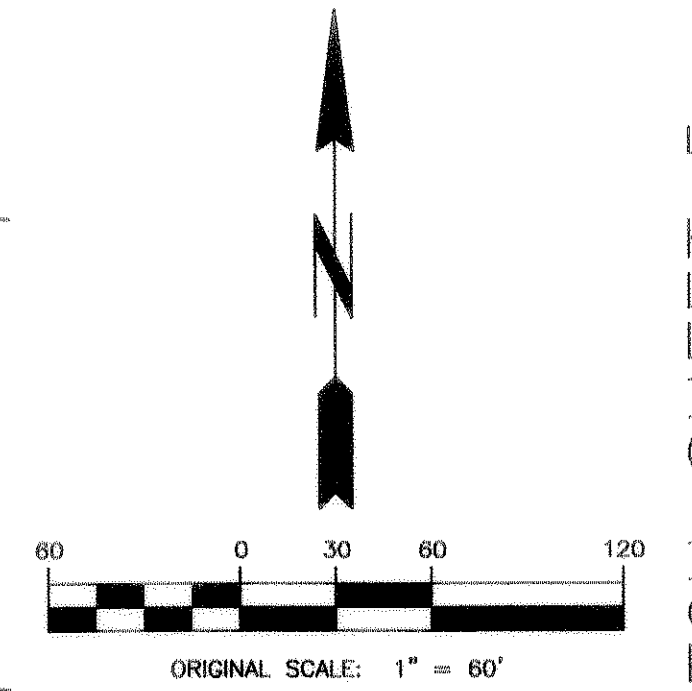


LEGEND

- RECOVERED & ACCEPTED ALIQUOT SECTION CORNER AS NOTED
- RECOVERED #5 REBAR WITH ALUM. CAP, STAMPED LS 32432
- ⊗ SET #5 REBAR WITH 1-1/2" ALUM. CAP STAMPED SURVCON LS 30829
- SIGHT DISTANCE

NOTE

1. REFER TO SHEET 1, NOTES 2 & 3 IN REGARD TO SPECIFIC FENCING AND LANDSCAPING REQUIREMENTS.



SCALE: 1" = 40'

CASTLEWOOD RANCH
PRELIMINARY PLAT/FINAL PD SITE PLAN
SITE PLAN

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PHONE (303) 298-7117 FAX (303) 298-1124

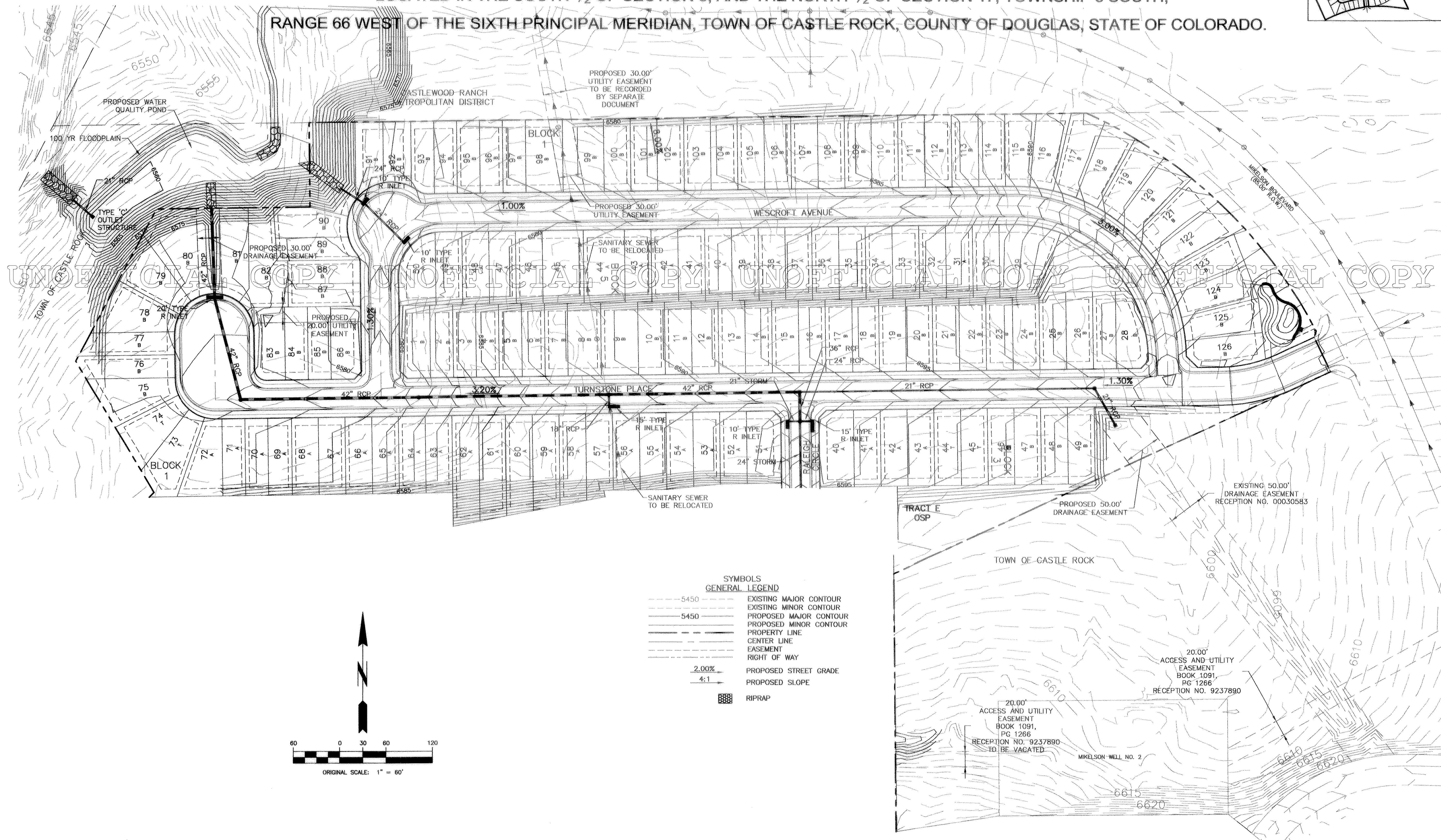
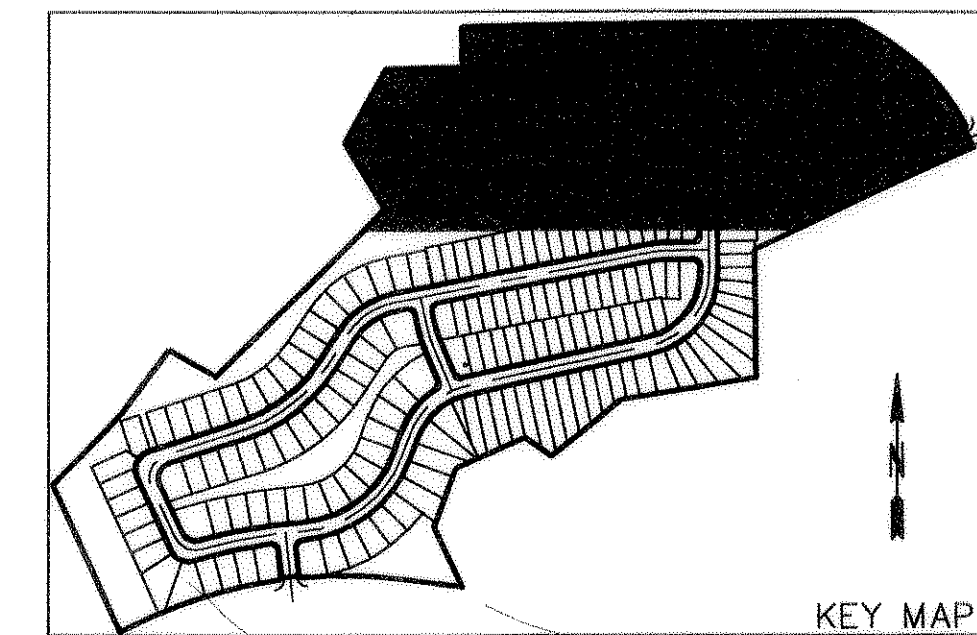
APRIL 25, 2001
REVISED AUGUST 15, 2001
REVISED JANUARY 2, 2002
REVISED FEBRUARY 5, 2002
REVISED FEBRUARY 20, 2002

SHEET 6 OF 20

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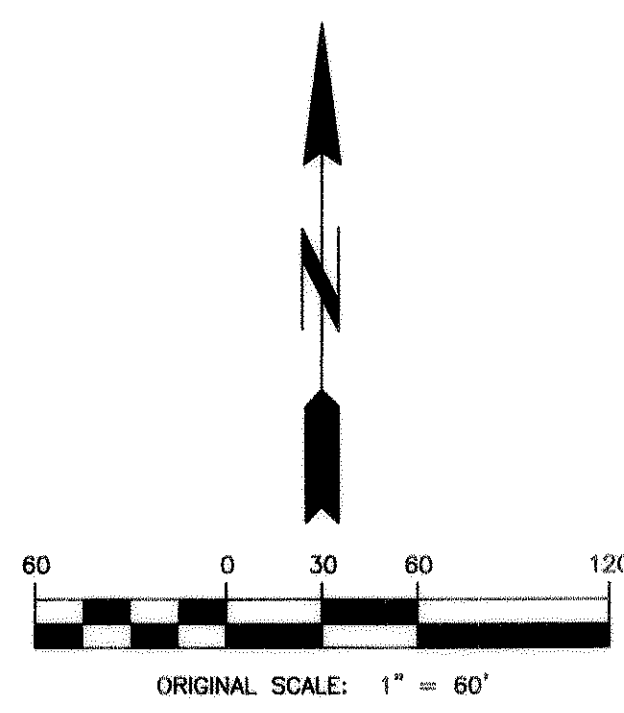
CASTLEWOOD RANCH FILING 1, PARCEL 12 PRELIMINARY PLAT/ FINAL PD SITE PLAN

LOCATED IN THE SOUTH 1/2 OF SECTION 8, AND THE NORTH 1/2 OF SECTION 17, TOWNSHIP 8 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



**SYMBOLS
GENERAL LEGEND**

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPERTY LINE
	CENTER LINE
	EASEMENT
	RIGHT OF WAY
	PROPOSED STREET GRADE
	PROPOSED SLOPE
	RIPRAP

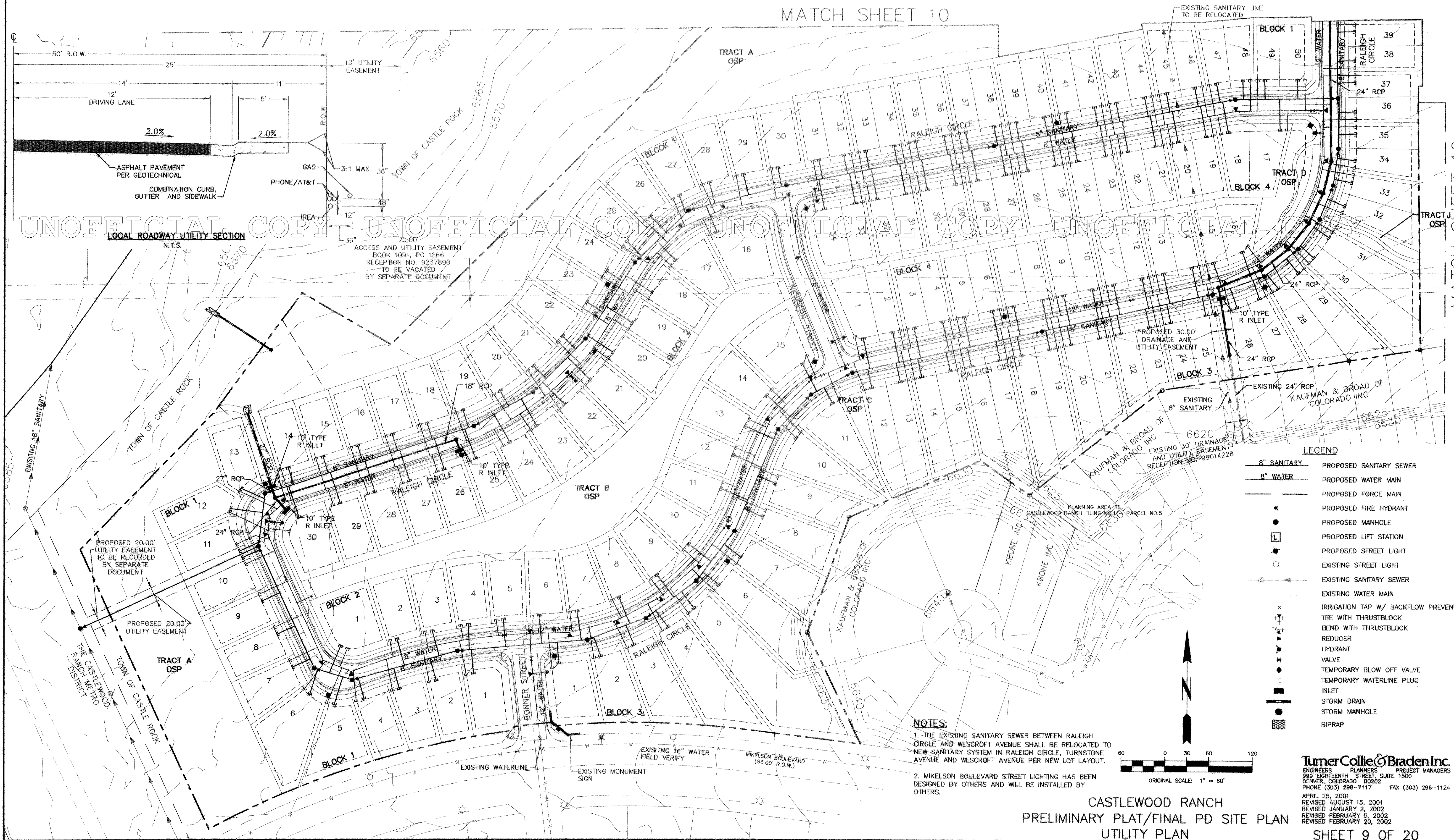
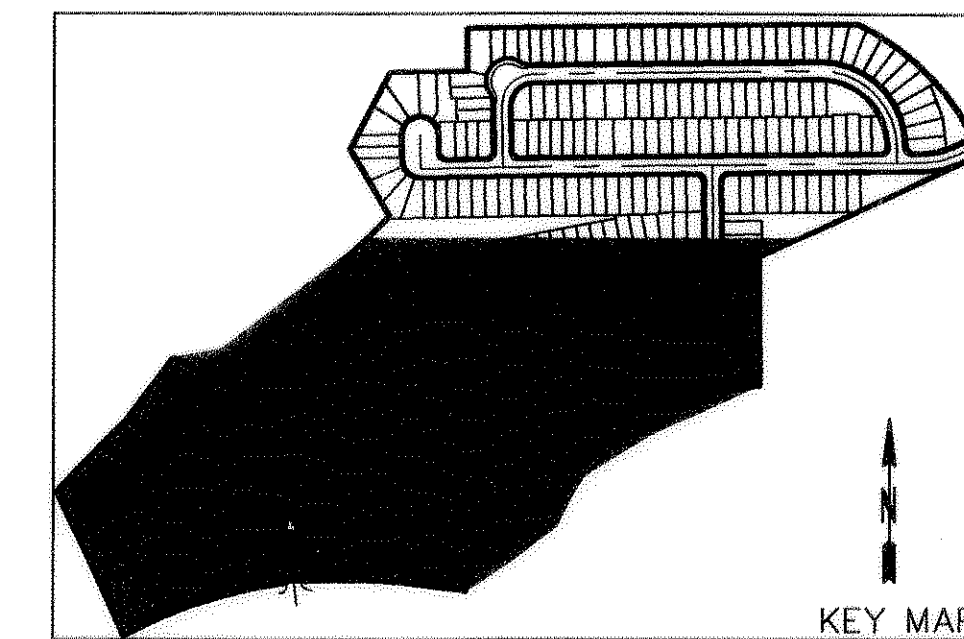


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CASTLEWOOD RANCH FILING 1, PARCEL 12 PRELIMINARY PLAT/FINAL PD SITE PLAN

LOCATED IN THE SOUTH 1/2 OF SECTION 8, AND THE NORTH 1/2 OF SECTION 17, TOWNSHIP 8 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

MATCH SHEET 10

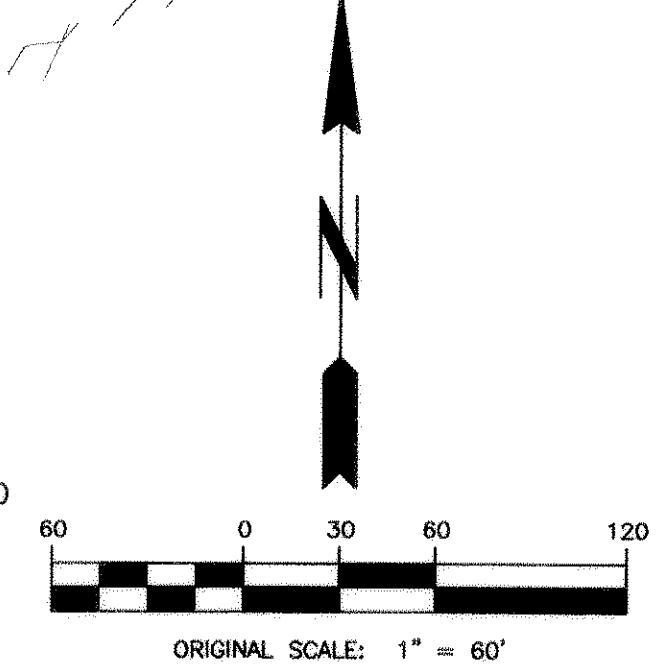


LEGEND

- 8" SANITARY PROPOSED SANITARY SEWER
- 8" WATER PROPOSED WATER MAIN
- PROPOSED FORCE MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE
- PROPOSED LIFT STATION
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- IRRIGATION TAP W/ BACKFLOW PREVENTION
- TEE WITH THRUSTBLOCK
- BEND WITH THRUSTBLOCK
- REDUCER
- HYDRANT
- VALVE
- TEMPORARY BLOW OFF VALVE
- TEMPORARY WATERLINE PLUG
- INLET
- STORM DRAIN
- STORM MANHOLE
- RIPRAP

NOTES:

1. THE EXISTING SANITARY SEWER BETWEEN RALEIGH CIRCLE AND WESCROFT AVENUE SHALL BE RELOCATED TO NEW SANITARY SYSTEM IN RALEIGH CIRCLE, TURNSTONE AVENUE AND WESCROFT AVENUE PER NEW LOT LAYOUT.
2. MIKELSON BOULEVARD STREET LIGHTING HAS BEEN DESIGNED BY OTHERS AND WILL BE INSTALLED BY OTHERS.



**CASTLEWOOD RANCH
PRELIMINARY PLAT/FINAL PD SITE PLAN
UTILITY PLAN**

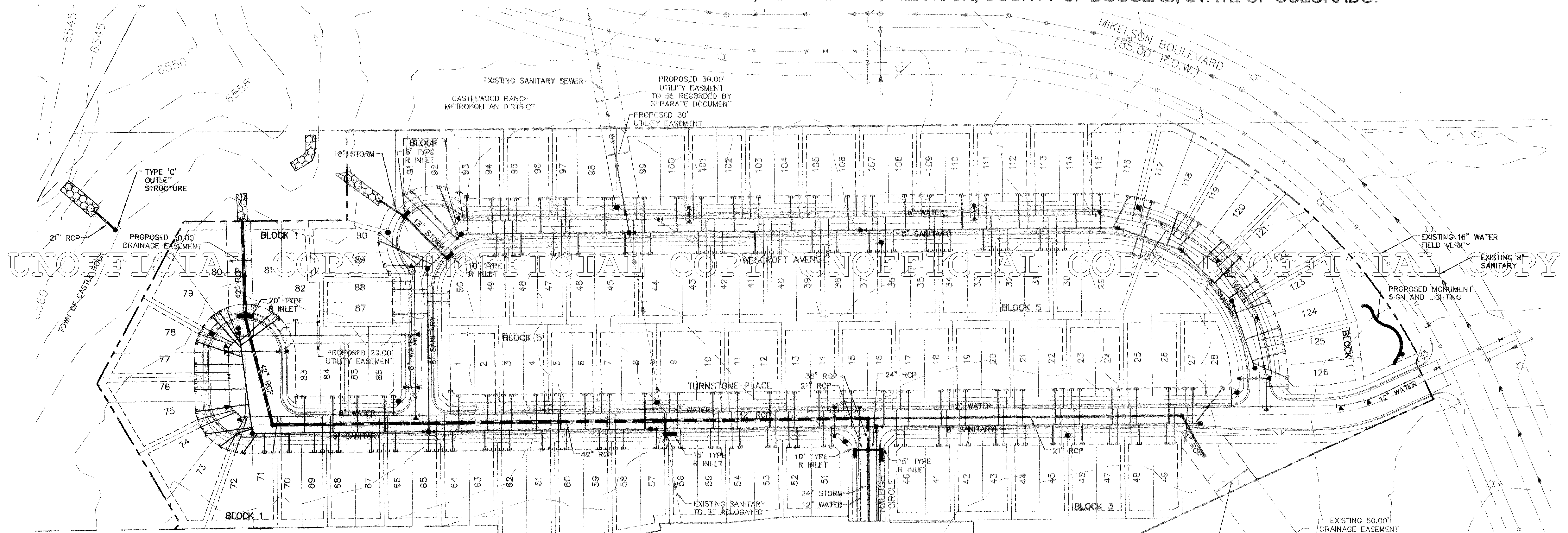
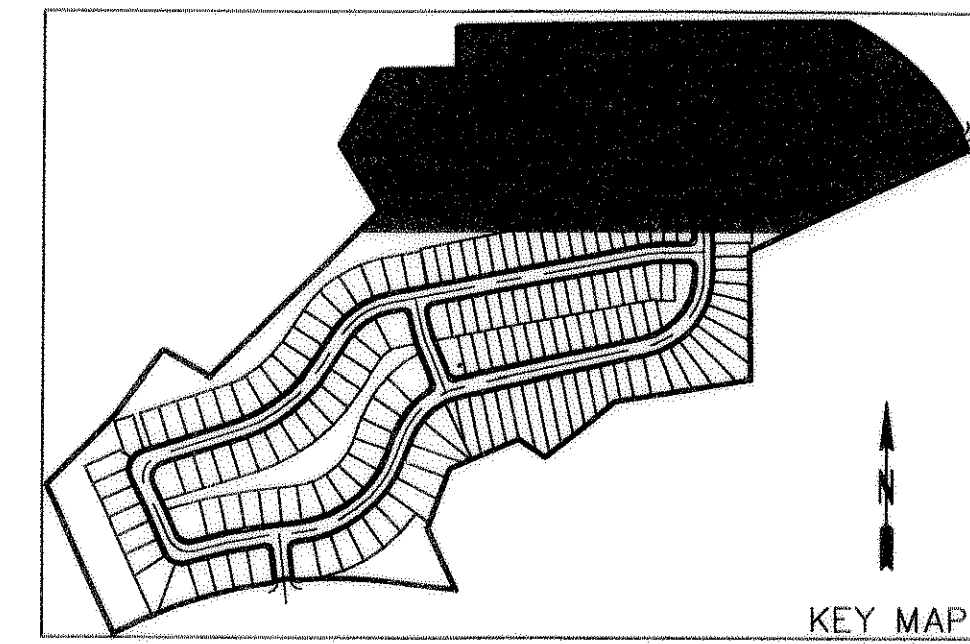
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ENGINEERS PLANNERS PROJECT MANAGERS
999 EIGHTEENTH STREET, SUITE 1500
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PHONE (303) 298-7117 FAX (303) 298-1124
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REVISED JANUARY 2, 2002
REVISED FEBRUARY 5, 2002
REVISED FEBRUARY 20, 2002

SHEET 9 OF 20

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CASTLEWOOD RANCH FILING 1, PARCEL 12 PRELIMINARY PLAT/ FINAL PD SITE PLAN

LOCATED IN THE SOUTH 1/2 OF SECTION 8, AND THE NORTH 1/2 OF SECTION 17, TOWNSHIP 8 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



MATCH SHEET 9

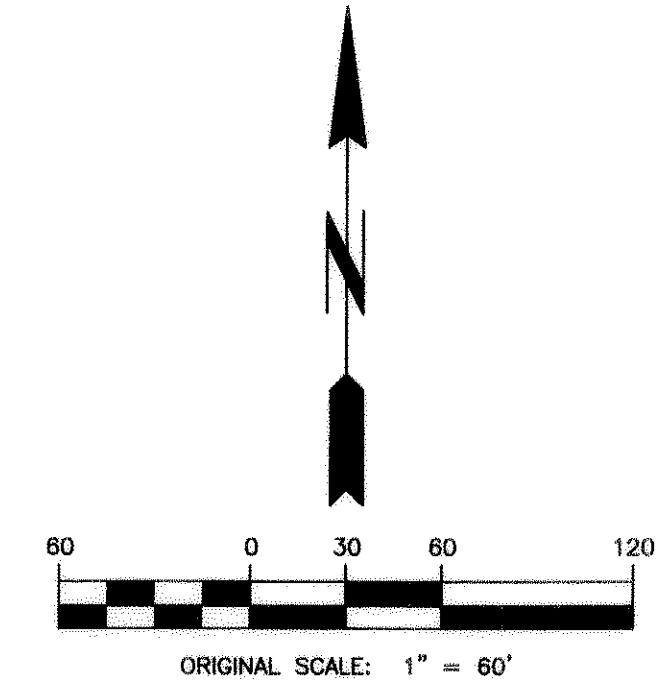
MATCH SHEET 9

LEGEND

- | | | |
|--|-------------|---------------------------------------|
| | 8" SANITARY | PROPOSED SANITARY SEWER |
| | 8" WATER | PROPOSED WATER MAIN |
| | | PROPOSED FORCE MAIN |
| | | PROPOSED FIRE HYDRANT |
| | | PROPOSED MANHOLE |
| | | PROPOSED CLEANOUT |
| | | PROPOSED LIFT STATION |
| | | PROPOSED STREET LIGHT |
| | | EXISTING STREET LIGHT |
| | | EXISTING SANITARY SEWER |
| | | EXISTING WATER MAIN |
| | | IRRIGATION TAP W/ BACKFLOW PREVENTION |
| | | TEE WITH THRUSTBLOCK |
| | | BEND WITH THRUSTBLOCK |
| | | REDUCER |
| | | HYDRANT |
| | | VALVE |
| | | TEMPORARY BLOW OFF VALVE |
| | | TEMPORARY WATERLINE PLUG |
| | | INLET |
| | | STORM DRAIN |
| | | STORM MANHOLE |
| | | RIPRAP |

NOTES:

1. THE EXISTING SANITARY SEWER BETWEEN RALEIGH CIRCLE AND WESCROFT AVENUE SHALL BE RELOCATED TO NEW SANITARY SYSTEM IN RALEIGH CIRCLE, TURNSTONE AVENUE AND WESCROFT AVENUE PER NEW LOT LAYOUT.
2. MIKELSON BOULEVARD STREET LIGHTING HAS BEEN DESIGNED BY OTHERS AND WILL BE INSTALLED BY OTHERS.



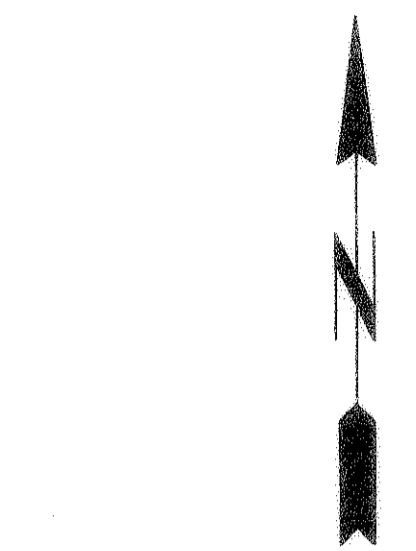
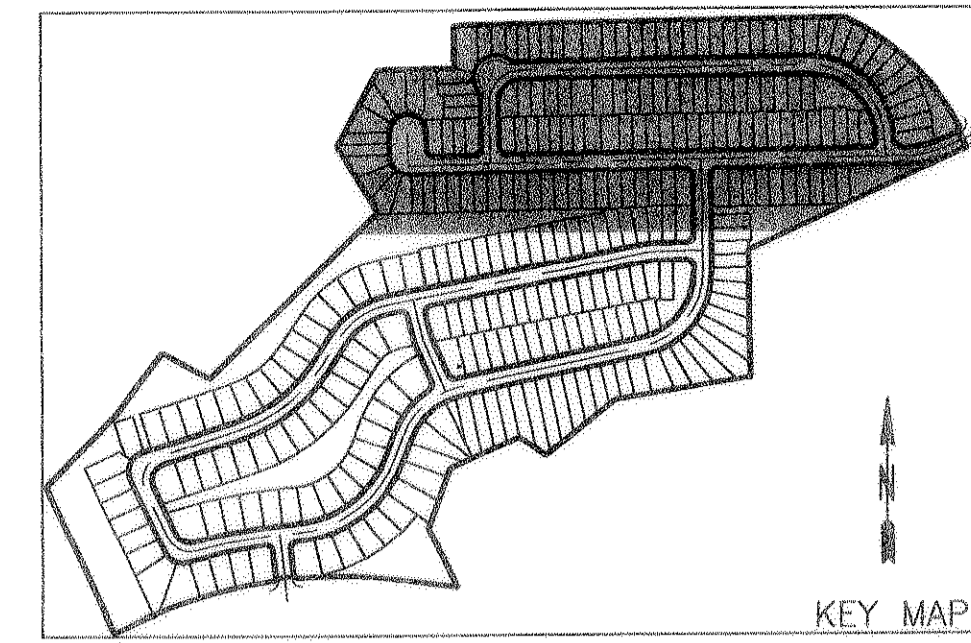
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APRIL 25, 2001
REVISED AUGUST 15, 2001
REVISED JANUARY 2, 2002
REVISED FEBRUARY 5, 2002

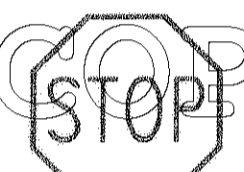
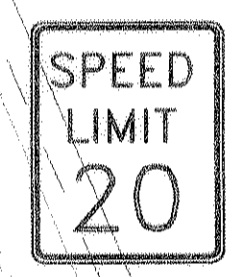

CASTLEWOOD RANCH
PRELIMINARY PLAT/FINAL PD SITE PLAN
UTILITY PLAN
SHEET 10 OF 20

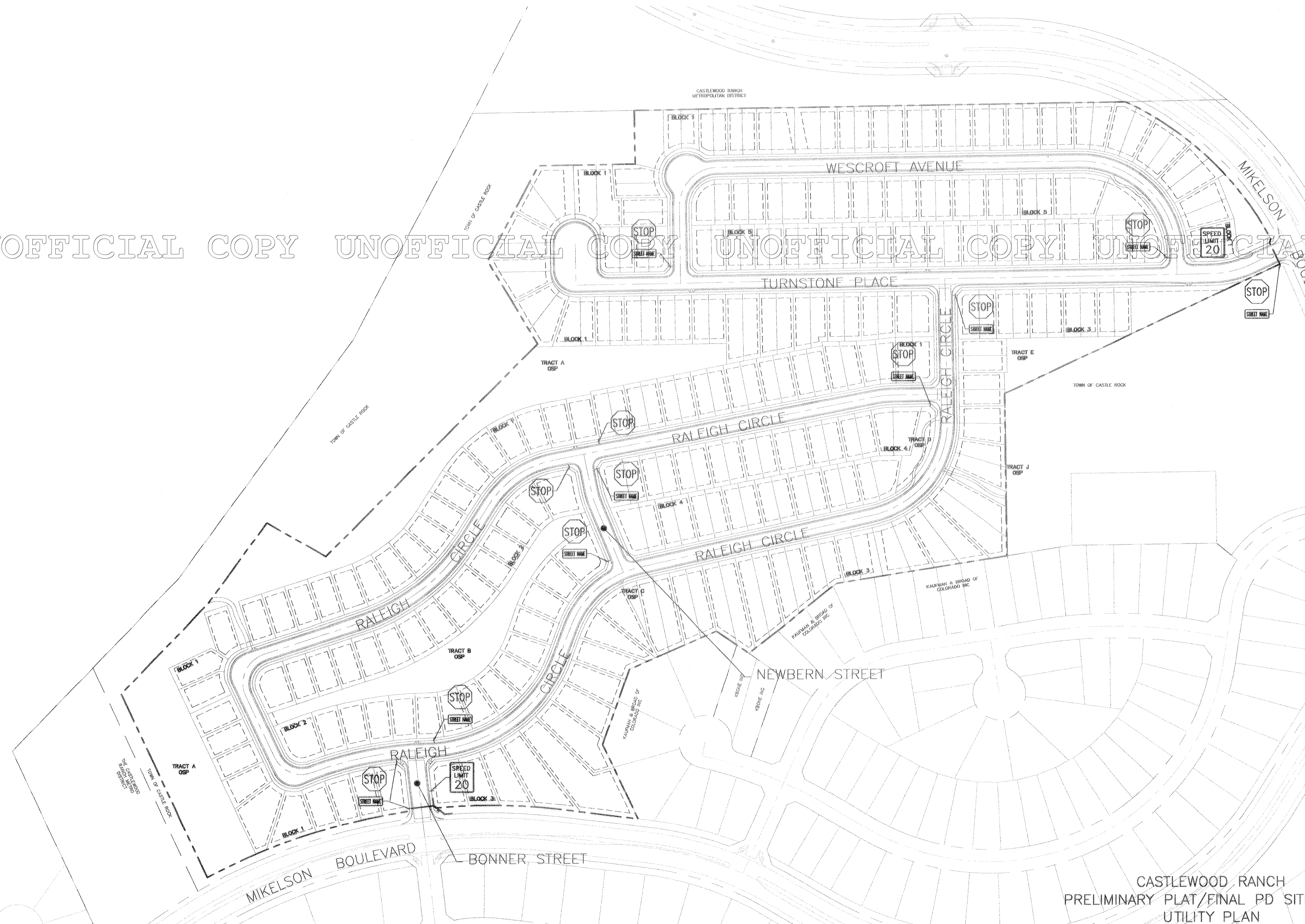
CASTLEWOOD RANCH FILING 1, PARCEL 12 PRELIMINARY PLAT/FINAL PD SITE PLAN

LOCATED IN THE SOUTH ½ OF SECTION 8, AND THE NORTH ½ OF SECTION 17, TOWNSHIP 8 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



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 STOP SIGN, R1-1
30" x 30"
 SPEED LIMIT 20
SPEED LIMIT 25 MPH, R2-1
 STREET NAME
STREET NAME SIGN, D3
VARIABLE SIZE



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CASTLEWOOD RANCH
PRELIMINARY PLAT/FINAL PD SITE PLAN
UTILITY PLAN

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 ENGINEERS PLANNERS PROJECT MANAGERS
 999 EIGHTEENTH STREET, SUITE 1500
 DENVER, COLORADO 80202
 PHONE (303) 298-7117 FAX (303) 298-1124
 APRIL 25, 2001
 REVISED AUGUST 15, 2001
 REVISED JANUARY 2, 2002
 SHEET 11 OF 20

CASTLEWOOD RANCH

FILING 1 PARCEL 12 PRELIMINARY PLAT / FINAL P.D. SITE PLAN CASTLE ROCK, COLORADO

OWNER / DEVELOPER:

CASTLEWOOD RANCH L.L.C.
8480 E. ORCHARD ROAD
ORCHARD POINTE, SUITE 5550
GREENWOOD VILLAGE, CO 80111
PHONE: 303. 773. 2887
FAX: 303. 740. 6942.

CONTACT: DAVID ERB
LARRY RIECHERT

KB of Colorado
8401 East Belleview Avenue, Suite 200
Denver, Colorado 80237
phone: 303.220.6009
fax: 303. 773.1930

CONTACT: BOB COLEMAN

LANDSCAPE ARCHITECT:



Planning
Landscape Architecture

710 West Colfax
Denver, Colorado 80204
Fax: 303 892 1186
Phone: 303 892 1166

CONTACT: JOHN BIRKEY
SARAH LITTLER

ENGINEER:

Turner Collie & Braden Inc.
999 Eighteenth Street, Suite 1500
Denver, Colorado 80202
phone: 303.298.7117
fax: 303. 296. 1124

CONTACT: CASSIE HARDISON

SHEET INDEX

COVER SHEETS - 12 & 13
LANDSCAPE PLANS - 14 THROUGH 18
LANDSCAPE & MONUMENT DETAILS - 19
LAYOUT / LIGHTING / GRADING DETAILS - 20

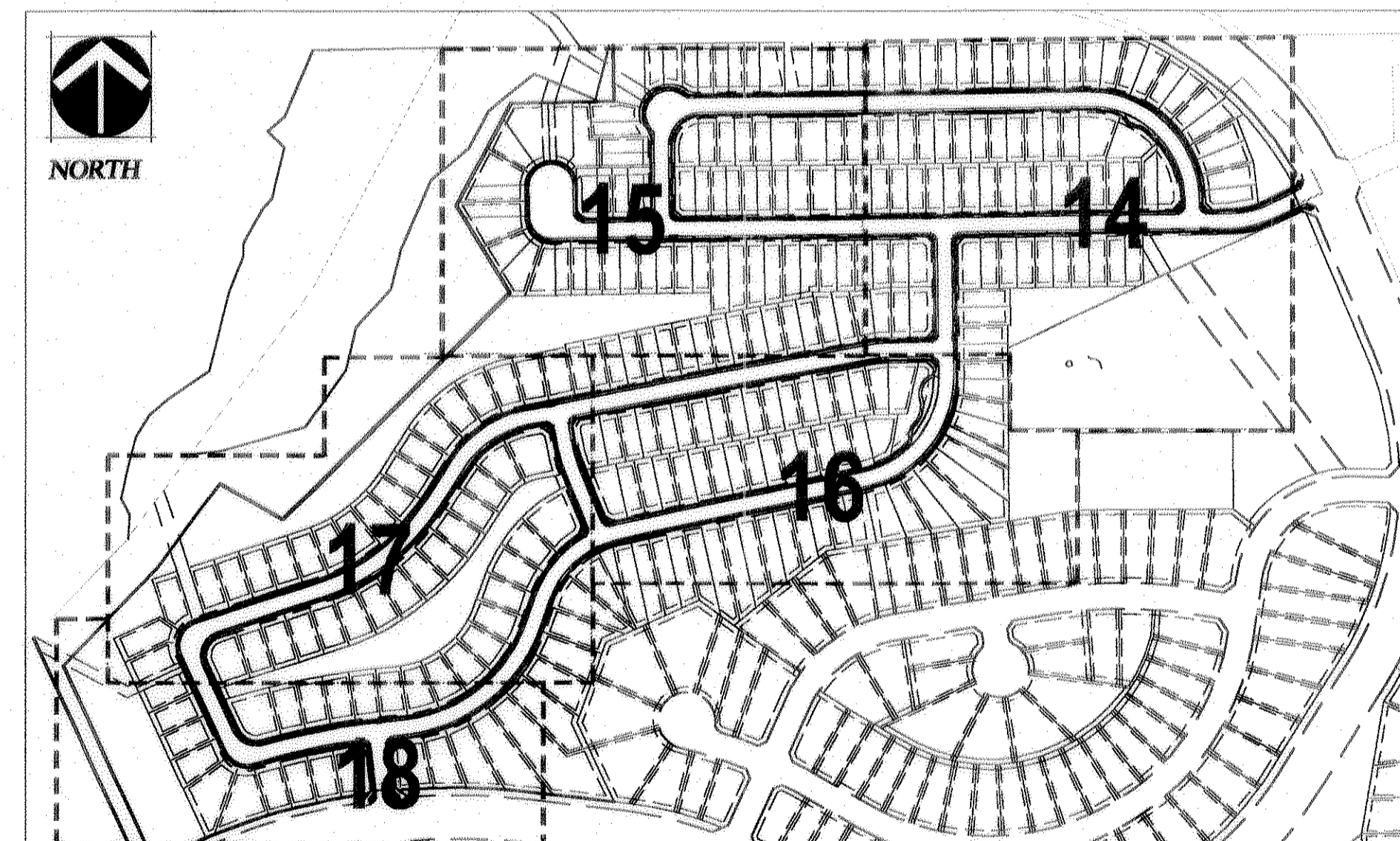
DATE OF PREPARATION:

APRIL 25, 2001
AUGUST 15, 2001 TOWN COMMENTS
DECEMBER 21, 2001 TOWN COMMENTS
FEBRUARY 7, 2002 TOWN COMMENTS

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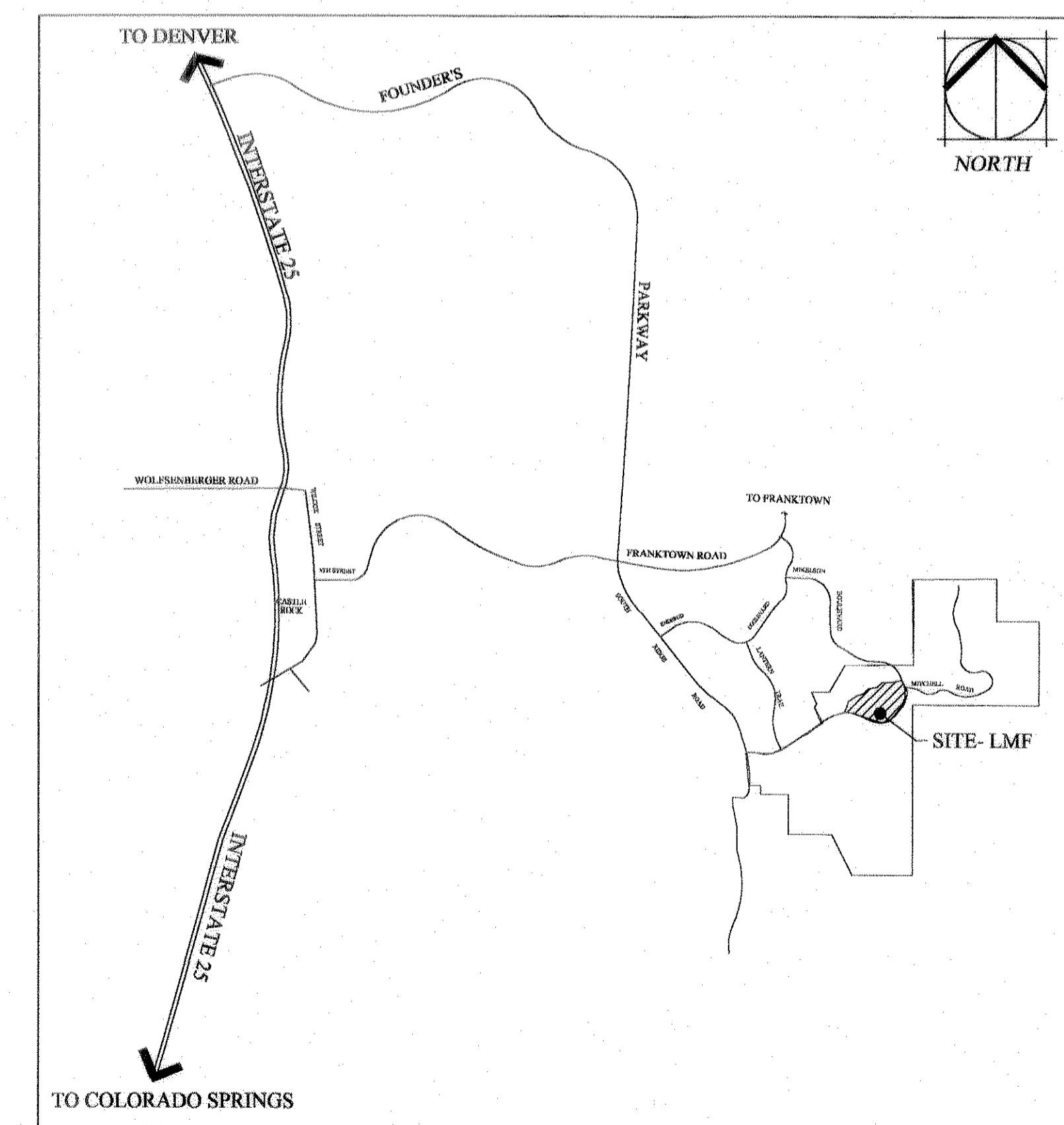
SHEET KEY MAP

N.T.S.



VICINITY MAP:

N.T.S.



CASTLEWOOD RANCH

FILING 1 PARCEL 12 PRELIMINARY PLAT / FINAL P.D. SITE PLAN CASTLE ROCK, COLORADO



Planning
Landscape Architecture

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Denver, Colorado 80204
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Phone: 303 892 1166

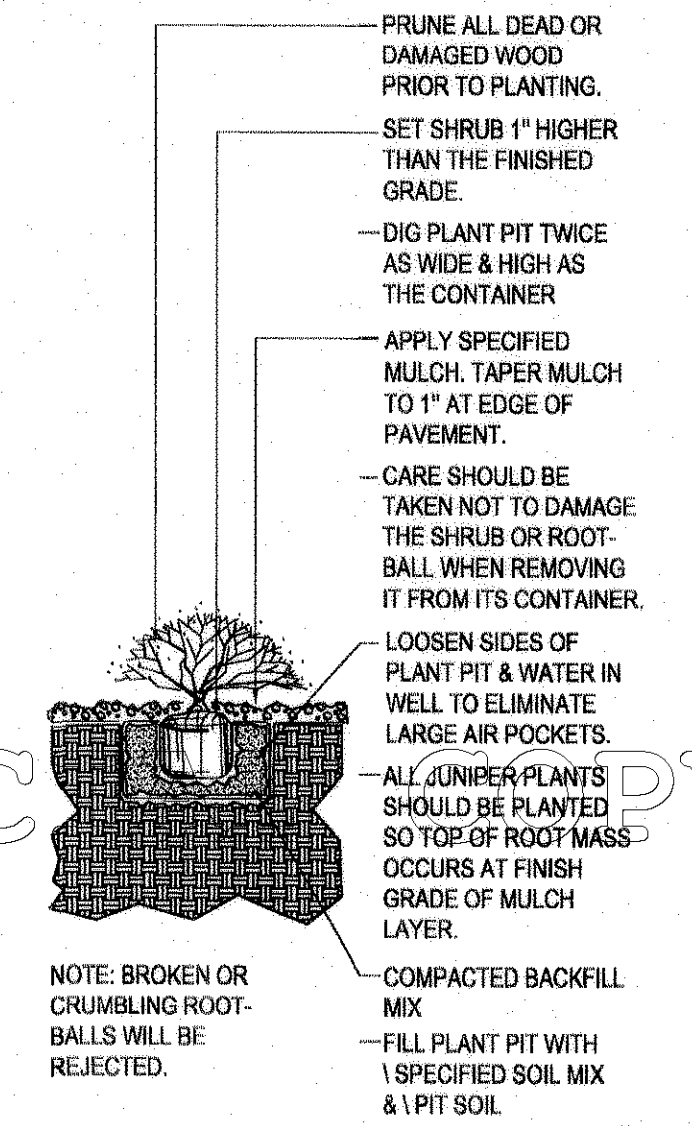
LANDSCAPE LEGEND

SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.	SYM.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS CANOPY TREES - 17 TOTAL								
	* GSL GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2 1/2" CAL., B&B, SPECIMEN	* C	PRG	FEATHER REED GRASS	CALAMOGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.
	* APA AUTUMN PURPLE ASH	FRAXINUS PENNSYLVANICA 'MARSHALL'S'	2 1/2" CAL., B&B, SPECIMEN	* C	LB	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	1 GAL.
	* C WH WESTERN HACKBERRY	CELTIS OCCIDENTALIS	2 1/2" CAL., B&B, SPECIMEN	* C	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL.
	* SA SUMMIT ASH	FRAXINUS PENNSYLVANICA 'SUMMIT'	2 1/2" CAL., B&B, SPECIMEN	* C	IG	INDIAN GRASS	SORGHASTRUM NITANS 'SHOULDLAND BLUE'	1 GAL.
	* C LLC LANCE LEAF COTTONWOOD	POPULUS ACUMINATA	3" CAL., B&B, SPECIMEN	PERENNIALS & GROUND COVER - 343 TOTAL				
DECIDUOUS ORNAMENTAL TREES - 6 TOTAL								
	* TCH THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALI INERMUS	2" CAL., B&B, FULL BRANCHING	* C	RY	ROSEA YARROW	ACHILLEA MILLEFOLIUM 'ROSEA'	1 GAL.
	* C TMA THINLEAF MOUNTAIN ALDER	ALNUS TENUIFOLIA	2" CAL., B&B, FULL BRANCHING	* C	EL	ENGLISH LAVENDER	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	1 GAL.
EVERGREEN TREES - 34 TOTAL								
	* AUS AUSTRIAN PINE	PINUS NIGRA	8'-12' HT. AS NOTED SPADE DUG	* C	RMP	ROCKY MOUNTAIN PENSTEMON	PENSTEMON STRICTUS	1 GAL.
	* C PP PINON PINE	PINUS EDULIS	8'-12' HT. AS NOTED SPADE DUG	* C	PLP	PINE LEAF PENSTEMON	PENSTEMON PINIFOLIUS 'COMPACTUM'	1 GAL.
	* C BP BRISTLEcone PINE	PINUS ARISTATA	8'-12' HT. AS NOTED SPADE DUG	* C	SC	SUNBURST COREOPSIS	COREOPSIS GRANDIFLORA 'SUNBURST'	1 GAL.
	* C CS COLORADO SPRUCE	PICEA PUNGENS	8'-12' HT. AS NOTED SPADE DUG	* C	DB	DOUBLE BUBBLEMINT	AGASTACHE CANA	1 GAL.
	* C POP PONDEROSA PINE	PINUS PONDEROSA	8'-12' HT. AS NOTED SPADE DUG	* C	CM	CATMINT	NEPETA FAASENII	1 GAL.
EVERGREEN SHRUBS - 63 TOTAL								
	* HJ HUGHES JUNIPER	JUNIPERUS HORIZONTALIS 'HUGHES'	5 GAL. 30" SP. MIN.	* C	LC	LAVENDER COTTON	SANTOLINA CHAMAECYPARISSUS	1 GAL.
	* BGS BLUE GLOBE SPRUCE	PICEA PUNGENS 'GLAUCA GLOBOSA'	5 GAL. LOW GRAFT FULL	* C	MNS	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	1 GAL.
	* C MP MUGO PINE	PINUS MUGO	15 GAL.	* C	NB	NATIVE BLANKETFLOWER	CALLICARPA ARISTATA	1 GAL.
	* C RMY ROCKY MOUNTAIN YUCCA	YUCCA GLAUCA	5 GAL. 30" SP. MIN.	* C	MY	MOONSHINE YARROW	ACHILLEA FLEBENDULINA 'MOONSHINE'	1 GAL.
	* C BCJ BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL. 30" SP. MIN.	* C	PHI	POPPY MALLOW	CALLIRHOE INVOLUCRATA	1 GAL.
	* C TWS TALL WESTERN SAGE	SERIPHIDIUM TRIDENTATUM	5 GAL., 24" HT., 3 CANE MIN.	LANDSCAPE NOTES				
	* C WF WINTERFAT	EUROTIA LANATA	5 GAL., 20" HT., 3 CANE MIN.	1. ALL AREAS TO BE LANDSCAPED ARE TO HAVE SOIL PREPARATION PER THE SPECIFICATIONS.				
	* C DNS DWARF GLOBE NEST SPRUCE	PICEA ABIES 'PUMILA'	5 GAL.	2. ALL TREES ARE TO BE GUYED PER DETAIL FOR A PERIOD OF ONE YEAR. DURING THE CONSTRUCTION PERIOD TIGHTEN THE GUY WIRES AS NECESSARY.				
DECIDUOUS SHRUBS - 103 TOTAL								
	* C DBR DWARF BLUE RABBITBRUSH	CHRYSOETHAMNUS NAUSEOSUS 'NAUSEOSUS'	5 GAL., 24" HT., 3 CANE MIN.	3. ALL TREE PITS IN SODDED AREAS ARE TO RECEIVE A 2 1/2" DIA., 2 1/2" DEPTH SHREDDED CEDAR MULCH RING. NO EDGER OR WEED CONTROL FABRIC IS REQUIRED.				
	* C CPB CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGHII 'CRIMSON PYGMY'	5 GAL., 24" HT., 3 CANE MIN.	4. ALL PLANTING BEDS ARE TO BE CONTAINED BY RYERSON 4" X 14 GAUGE GALVANIZED INTERLOCKING EDGER. EDGER IS NOT REQUIRED WHEN BED IS ADJACENT TO CURBS, WALLS, WALKS OR SOLID PRIVACY FENCE.				
	* C ACC AMERICAN COMPACT CRANBERRY	VIBURNUM TRILOBUM 'COMPACT SPRING RED'	5 GAL., 24" HT., 3 CANE MIN.	5. ALL SHRUB BEDS ARE TO BE MULCHED WITH MINIMUM 3" DEPTH CRUSHED STONE 1"-2" DIA. RHYOLITE STONE, OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND FLOWER BEDS SHALL BE MULCHED WITH MINIMUM 2" SHREDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN THESE AREAS.				
	* C BB DWARF BURNING BUSH	EUONYMUS ALATA COMPACTUM	5 GAL., 30" HT., 3 CANE MIN.	6. IRRIGATION SHALL PROVIDE 100% COVERAGE OF ALL LANDSCAPED AREAS. BEDS SHALL BE WATERED BY A DRIP SYSTEM AND TURF AREAS SHALL BE WATERED BY POP UP SPRAY HEADS AND ROTORS PER CASTLE ROCK STANDARDS. NATIVE SEED AREAS SHALL HAVE TEMPORARY IRRIGATION INSTALLED FOR THE FIRST 2 YEARS.				
	* C JP JACKMAN'S POTENTILLA	POTENTILLA FRUTICOSA 'JACKMANII'	5 GAL., 30" HT., 3 CANE MIN.	7. THE CONTRACTOR IS TO REPORT ANY DISCREPANCIES IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.				
	* C RMS ROCKY MOUNTAIN SUMAC	RHUS GLABRA CISMONTANA	5 GAL., 30" HT., 3 CANE MIN.	8. THE CONTRACTOR IS EXPECTED TO BE FAMILIAR WITH AND FOLLOW THE LANDSCAPE AND IRRIGATION PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE.				
	* C TLS THREE LEAF SUMAC	RHUS TRILOBATA	5 GAL., 30" HT., 3 CANE MIN.	9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES THAT ARE DAMAGED BY HIS OPERATORS. CALL FOR UTILITY LOCATORS PRIOR TO BEGINNING WORK.				
	* C SS SASKATOON SERVICEBERRY	AMELANCHIER ALNIFOLIA	5 GAL., 30" HT., 3 CANE MIN.	10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF HIS TRENCHES THAT SETTLE.				
	* C RS RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL., 30" HT., 3 CANE MIN.	11. AT EVERY INTERSECTION OF TWO (2) OR MORE EXISTING OR PROPOSED STREETS, A SAFETY TRIANGLE SHALL BE CALCULATED BY EXTENDING A LINE TWENTY-FIVE (25) FEET IN LENGTH AT THE POINT OF THE INTERSECTION OF THE EDGES OF THE DRIVING SURFACE OF THE CORNER PROPERTY FROM THE INTERSECTION CORNER AND TRAVERSING ACROSS THE PROPERTY BETWEEN THE TWO (2) END POINTS OF SUCH LINES. SUCH A SAFETY TRIANGLE SHALL BE CALCULATED FOR EVERY CORNER OF EVERY INTERSECTION. ADDITIONALLY, SAFETY TRIANGLES SHALL BE CALCULATED AT THE INTERSECTIONS BETWEEN ALL DRIVEWAYS OR BIKE PATHS WITH STREETS AND ALLEYS UTILIZING A SIMILAR METHOD WITH FIFTEEN (15) FOOT LENGTHS ON THE SIDES. WITHIN THESE SAFETY TRIANGLES THERE SHALL BE NO SOLID OBJECTS BETWEEN TWO AND ONE-HALF (2 1/2) FEET AND TEN (10) FEET ABOVE STREET ELEVATION.				
	* C FWS FOUR WING SALTBUUSH	ATRIPLEX CANESCENS	5 GAL., 20" HT., 3 CANE MIN.	NATIVE GRASS ESTABLISHMENT PROGRAM				
	* C HYR HARISON'S YELLOW ROSE	ROSA X HARISONII	5 GAL., 30" HT., 4 CANE MIN.	THE PROPOSED NATIVE GRASSES WILL BE ESTABLISHED USING A STRINGENT ESTABLISHMENT PROGRAM. NATIVE GRASS PLANTING IN THIS REGION REQUIRE SPECIAL ATTENTION TO INSURE A SUCCESSFUL STAND OF GRASS. PLANTING METHODS, WEED CONTROL, AND MOWING SCHEDULES WILL BE UTILIZED TO PROMOTE THE NATIVE GRASS ESTABLISHMENT.				

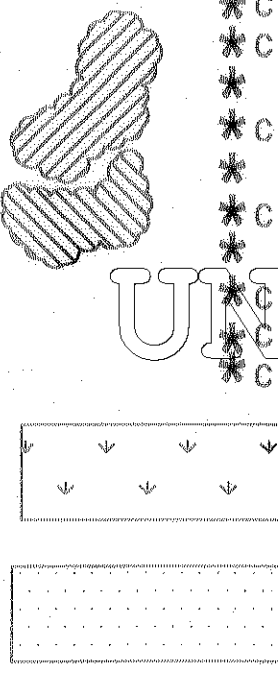
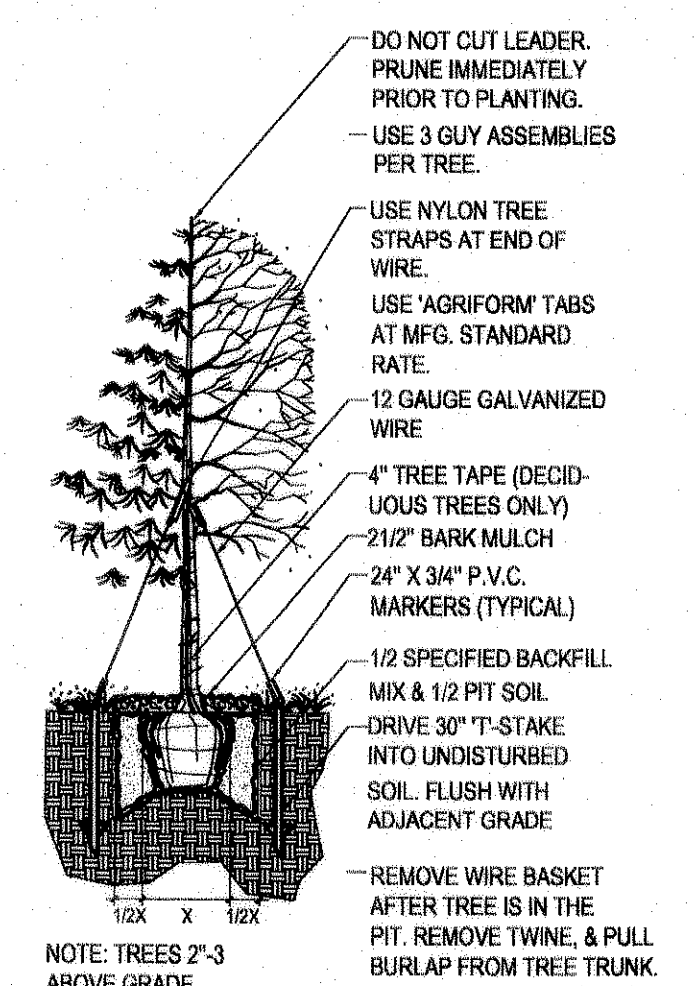
* IDENTIFIES DROUGHT TOLERANCE - XERISCAPE PLANT
C IDENTIFIES COLORADO NATIVE SPECIES

	RHYOLITE STONE WALL / FENCE	SEE DETAIL	
	BOULDERS	NATIVE CONGLOMERATE STONE (FROM ON SITE)	

SHRUB PLANTING DETAIL



TREE PLANTING DETAIL



LANDSCAPE NOTES

- ALL AREAS TO BE LANDSCAPED ARE TO HAVE SOIL PREPARATION PER THE SPECIFICATIONS.
- ALL TREES ARE TO BE GUYED PER DETAIL FOR A PERIOD OF ONE YEAR. DURING THE CONSTRUCTION PERIOD TIGHTEN THE GUY WIRES AS NECESSARY.
- ALL TREE PITS IN SODDED AREAS ARE TO RECEIVE A 2 1/2" DIA., 2 1/2" DEPTH SHREDDED CEDAR MULCH RING. NO EDGER OR WEED CONTROL FABRIC IS REQUIRED.
- ALL PLANTING BEDS ARE TO BE CONTAINED BY RYERSON 4" X 14 GAUGE GALVANIZED INTERLOCKING EDGER. EDGER IS NOT REQUIRED WHEN BED IS ADJACENT TO CURBS, WALLS, WALKS OR SOLID PRIVACY FENCE.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MINIMUM 3" DEPTH CRUSHED STONE 1"-2" DIA. RHYOLITE STONE, OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND FLOWER BEDS SHALL BE MULCHED WITH MINIMUM 2" SHREDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN THESE AREAS.
- IRRIGATION SHALL PROVIDE 100% COVERAGE OF ALL LANDSCAPED AREAS. BEDS SHALL BE WATERED BY A DRIP SYSTEM AND TURF AREAS SHALL BE WATERED BY POP UP SPRAY HEADS AND ROTORS PER CASTLE ROCK STANDARDS. NATIVE SEED AREAS SHALL HAVE TEMPORARY IRRIGATION INSTALLED FOR THE FIRST 2 YEARS.
- THE CONTRACTOR IS TO REPORT ANY DISCREPANCIES IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- THE CONTRACTOR IS EXPECTED TO BE FAMILIAR WITH AND FOLLOW THE LANDSCAPE AND IRRIGATION PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES THAT ARE DAMAGED BY HIS OPERATORS. CALL FOR UTILITY LOCATORS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF HIS TRENCHES THAT SETTLE.
- AT EVERY INTERSECTION OF TWO (2) OR MORE EXISTING OR PROPOSED STREETS, A SAFETY TRIANGLE SHALL BE CALCULATED BY EXTENDING A LINE TWENTY-FIVE (25) FEET IN LENGTH AT THE POINT OF THE INTERSECTION OF THE EDGES OF THE DRIVING SURFACE OF THE CORNER PROPERTY FROM THE INTERSECTION CORNER AND TRAVERSING ACROSS THE PROPERTY BETWEEN THE TWO (2) END POINTS OF SUCH LINES. SUCH A SAFETY TRIANGLE SHALL BE CALCULATED FOR EVERY CORNER OF EVERY INTERSECTION. ADDITIONALLY, SAFETY TRIANGLES SHALL BE CALCULATED AT THE INTERSECTIONS BETWEEN ALL DRIVEWAYS OR BIKE PATHS WITH STREETS AND ALLEYS UTILIZING A SIMILAR METHOD WITH FIFTEEN (15) FOOT LENGTHS ON THE SIDES. WITHIN THESE SAFETY TRIANGLES THERE SHALL BE NO SOLID OBJECTS BETWEEN TWO AND ONE-HALF (2 1/2) FEET AND TEN (10) FEET ABOVE STREET ELEVATION.

NATIVE GRASS ESTABLISHMENT PROGRAM

THE PROPOSED NATIVE GRASSES WILL BE ESTABLISHED USING A STRINGENT ESTABLISHMENT PROGRAM. NATIVE GRASS PLANTING IN THIS REGION REQUIRE SPECIAL ATTENTION TO INSURE A SUCCESSFUL STAND OF GRASS. PLANTING METHODS, WEED CONTROL, AND MOWING SCHEDULES WILL BE UTILIZED TO PROMOTE THE NATIVE GRASS ESTABLISHMENT.

THE NATIVE GRASSES WILL BE PLANTED USING A MECHANICAL DRILL, WILL BE MULCHED WITH HYDRO MULCH, AND WILL BE OVER SEEDDED DURING THE ESTABLISHMENT PERIOD AS NECESSARY. THE INSTALLATION CONTRACTOR WILL BE REQUIRED TO PRODUCE A HEALTHY STAND OF NATIVE GRASS WITH EVIDENCE OF AT LEAST 1 GRASS PLANT (NUMEROUS BLADES OF GRASS PROTRUDING FROM ONE ROOT MASS) PER SQUARE FOOT WITHIN ONE YEAR OF PLANTING.

THE MAINTENANCE CONTRACTOR WILL BE REQUIRED TO FOLLOW A STRINGENT MAINTENANCE PROGRAM TO CONTROL WEEDS AND PROMOTE SPREADING OF THE GRASSES. THE OWNER WILL REQUIRE THE CONTRACTOR TO IMPLEMENT THE FOLLOWING MOWING SCHEDULE DURING THE ESTABLISHMENT PERIOD.

CONDITIONS	MOWING	MOWING HEIGHT
1 YEAR	EVERY 4 WEEKS	4-6"
2 YEAR	EVERY 8 WEEKS	4-6"
3 YEAR	EVERY 12 WEEKS	4-6"
4 YEAR +	ONCE IN FALL	

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Castle Rock, Colorado

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Issue Date
APRIL 25, 2001
AUGUST 15, 2001
FEBRUARY 13, 2002
FEBRUARY 20, 2002

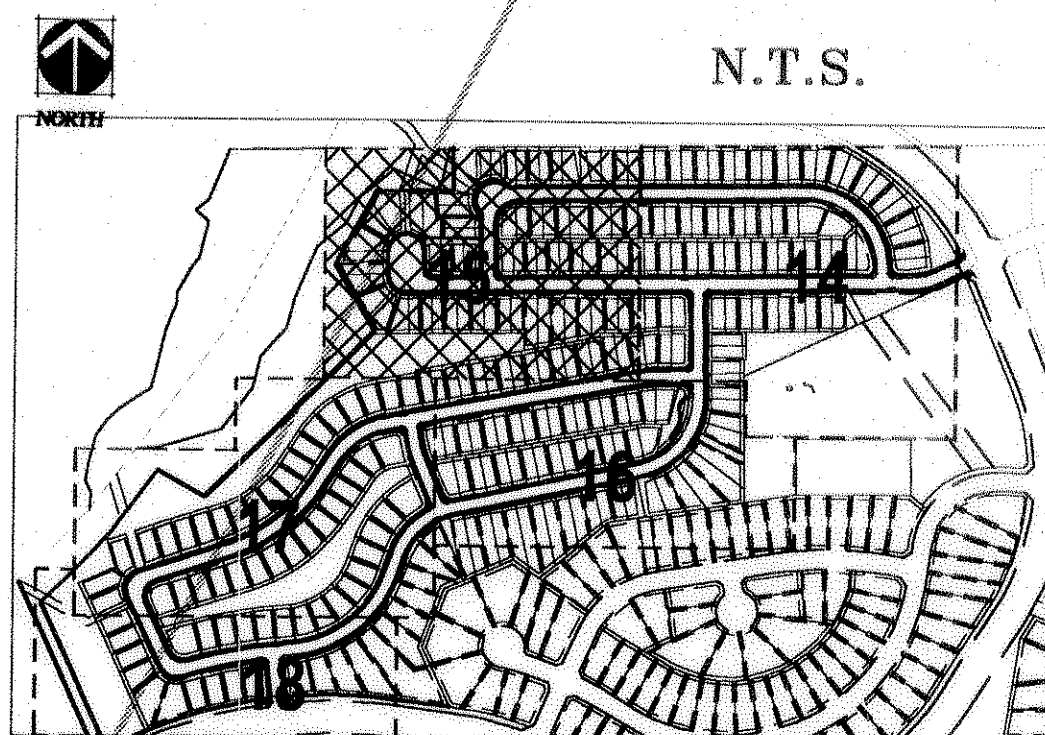
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Sheet Title
Landscape Plan

Sheet Number
13 OF 20

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FILENAME:

SHEET KEY MAP



Planning
Landscape Architecture

710 West Colfax
Denver, Colorado 80204
Fax: 303 892 1186
Phone: 303 892 1166

BLOCK 1

BLOCK 1

WESCROFT AVENUE

BLOCK 5

TURNSTONE PLACE

BLOCK 1

TRAIL A
OSP
145,162, SF
3.33 AC

MATCHLINE (SEE SHEET 17)

MATCHLINE (SEE SHEET 16)

MATCHLINE (SEE SHEET 14)

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Castlewood Ranch L.L.C.

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DECEMBER 21, 2001
FEBRUARY 7, 2002

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Plan

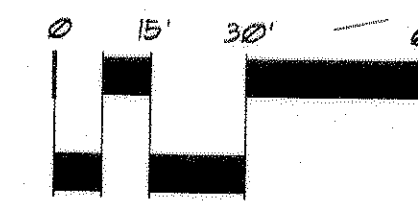
Sheet Number
15 of 20

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FILE NAME:



NORTH



SCALE: 1"=30'-0"

MATCHLINE (SEE SHEET 15)

MATCHLINE (SEE SHEET 14)

RALEIGH CIRCLE

SIGHT LINE (TYP.)

SIGHT TRIANGLE
PLANTING WITHIN SIGHT TRIANGLES NOT TO EXCEED 30".
TREES TO BE LIMBED UP 8'. NO FENCING SHALL BE
CONSTRUCTED WITHIN SIGHT TRIANGLES

BLOCK 4

2 RMS
2 AUS
1 DNS
3 FRG
1 RMS
4 GSI

5 RY
3 RMY
3 RMP
1 TMA
3 RMS
3 CPB
13 LC
4 FRG
5 RMP
2 DNS
17 PM

5' CONCRETE WALK

BLOCK 4

20' ACCESS AND UTILITY EASEMENT
(BOOK 1091, PAGE 1266, EXHIBIT F)

SIGHT LINE (TYP.)

RALEIGH CIRCLE

BLOCK 3

3 FRG
5 RMY
5 JP
4 BAG
1 MP

8 EL
9 RY
5 FRG

3 RS

5' CONCRETE WALK
2 LLC

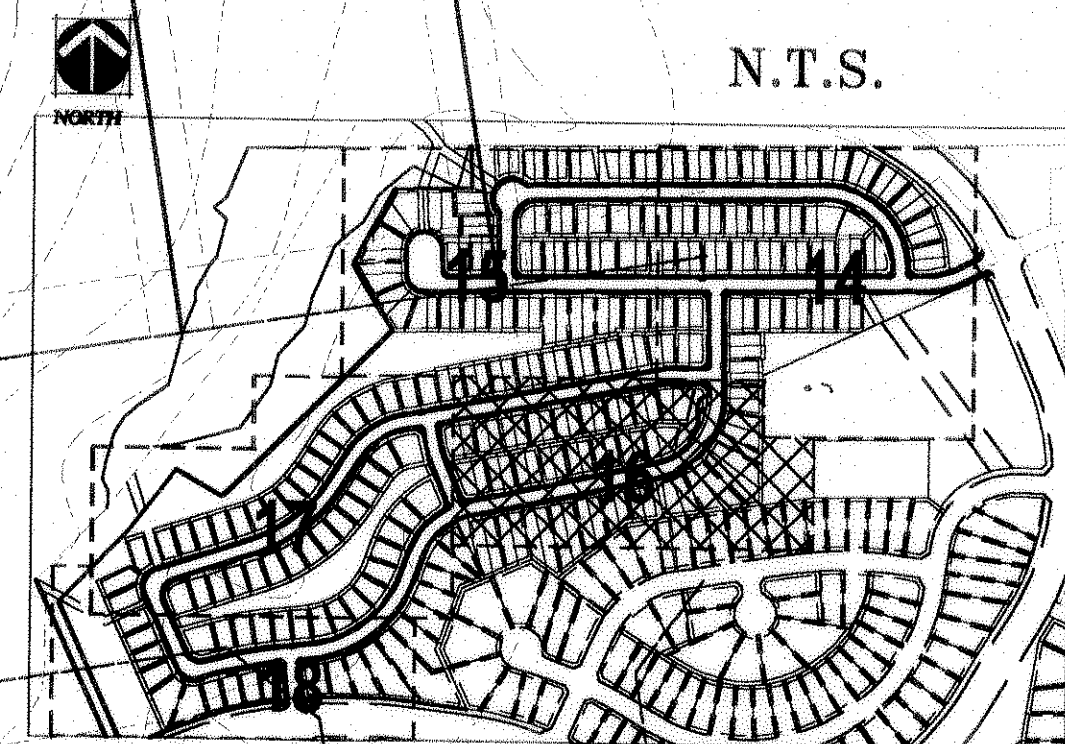
1 WH
1 TCH

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MATCHLINE (SEE SHEET 17)

1.86
0.00

SHEET KEY MAP



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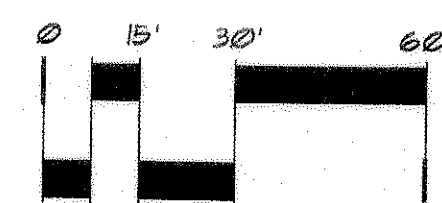
Sheet Number
16 of 20

X-REFS:

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FILENAME:



NORTH



SCALE: 1"=30'-0"

Owner:

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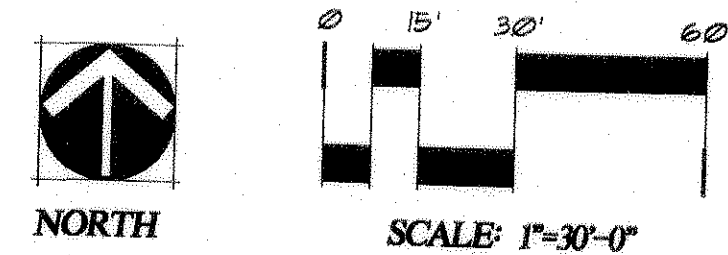
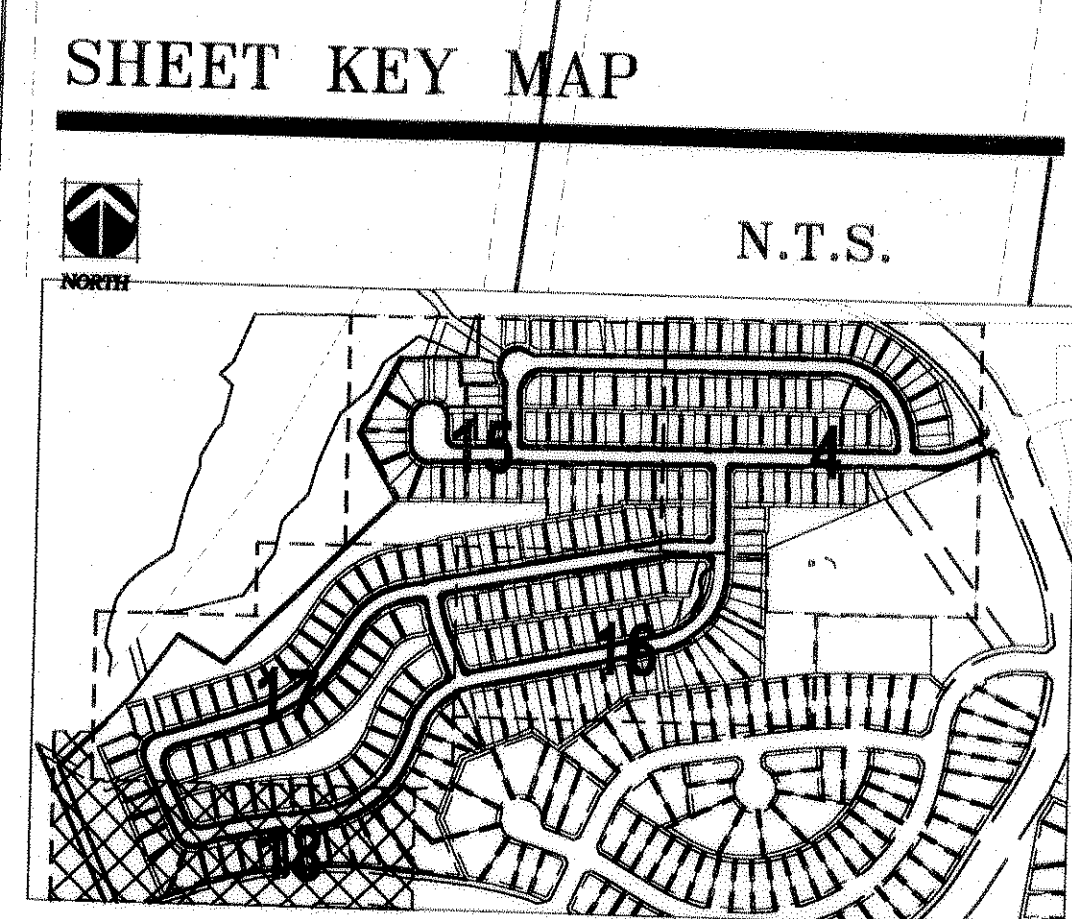
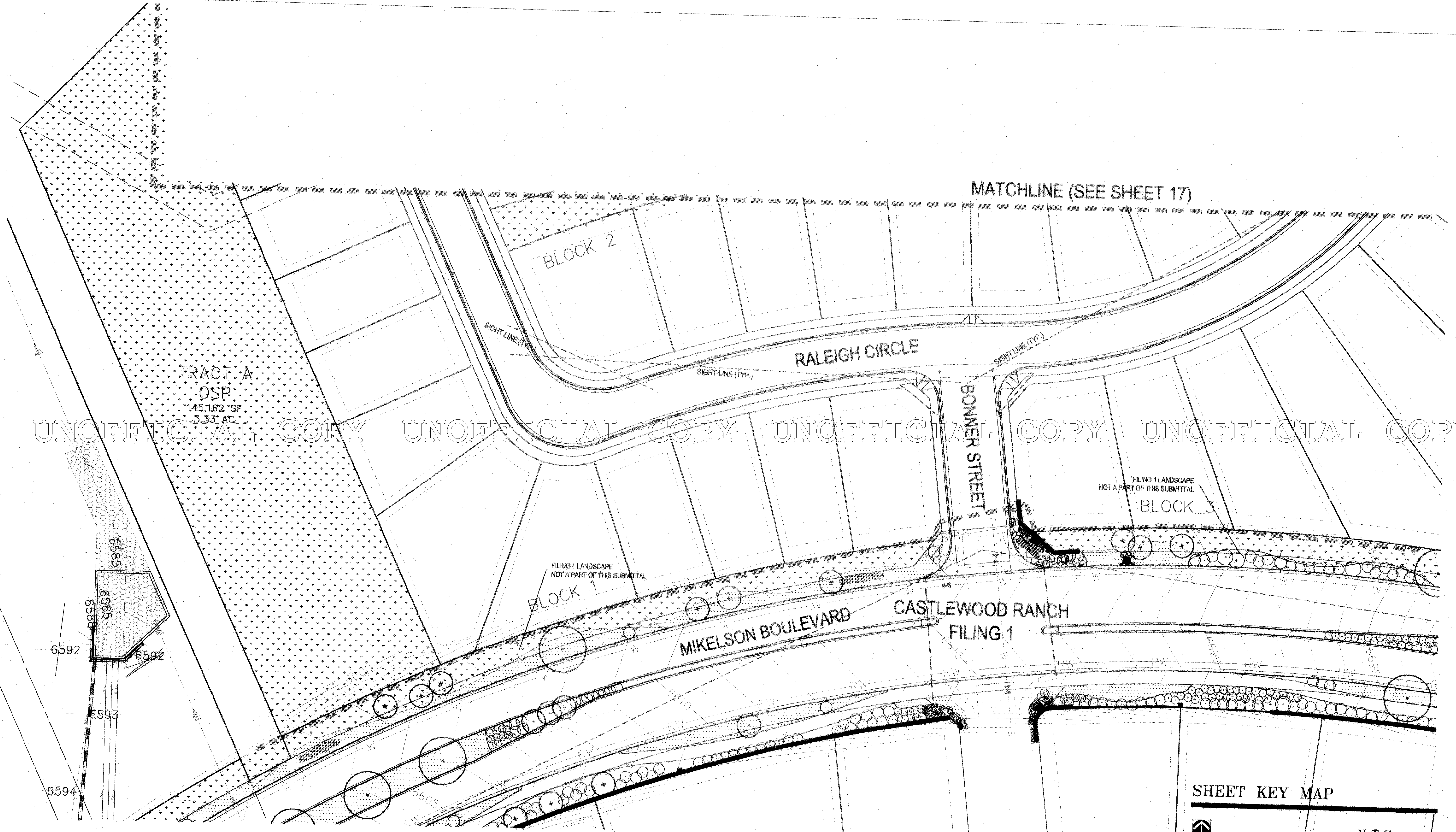
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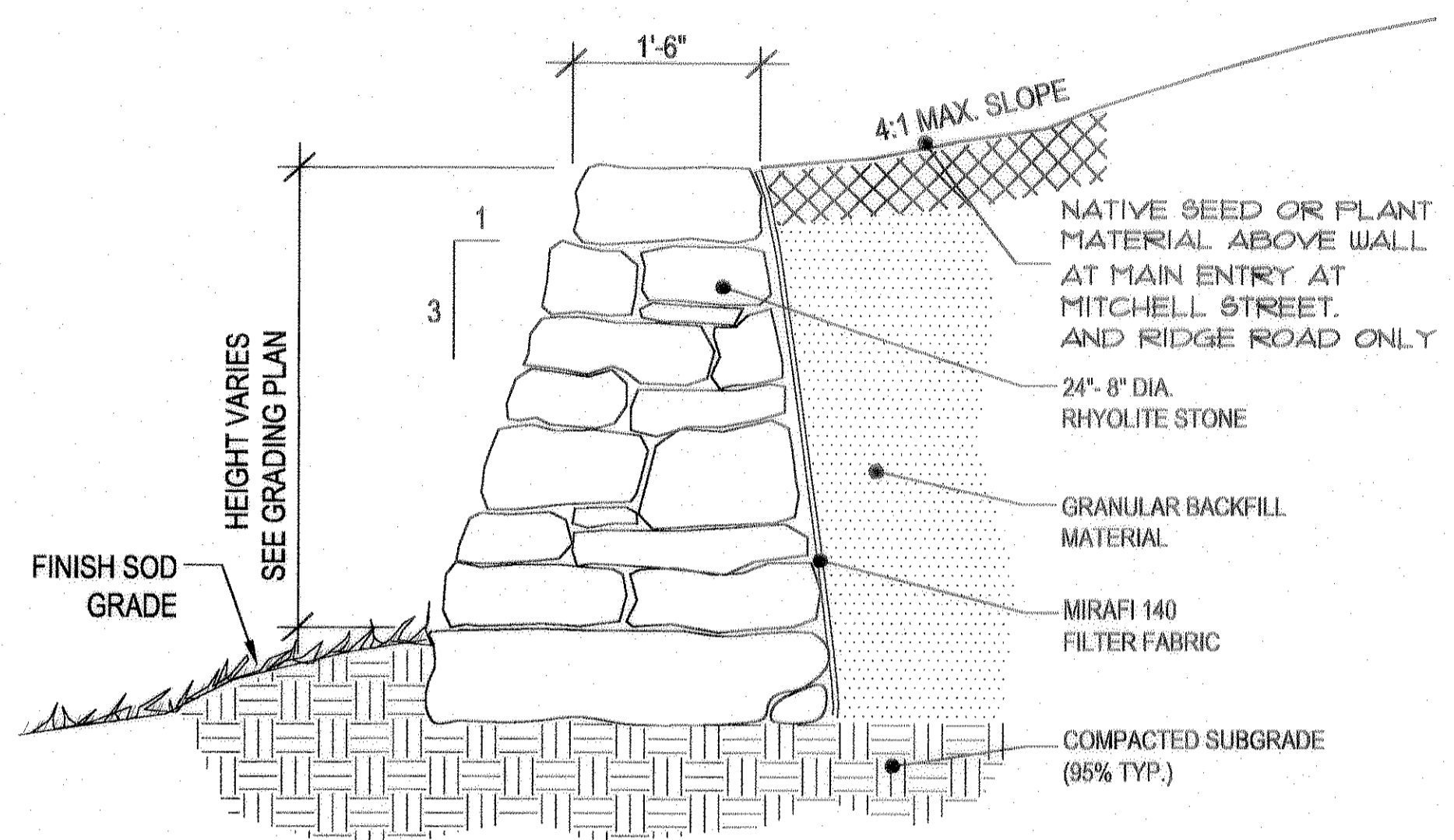
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DRAWN BY: GJL
FILENAME:

A STONE MONUMENT RETAINING WALL DETAIL

NOT TO SCALE



NOTES

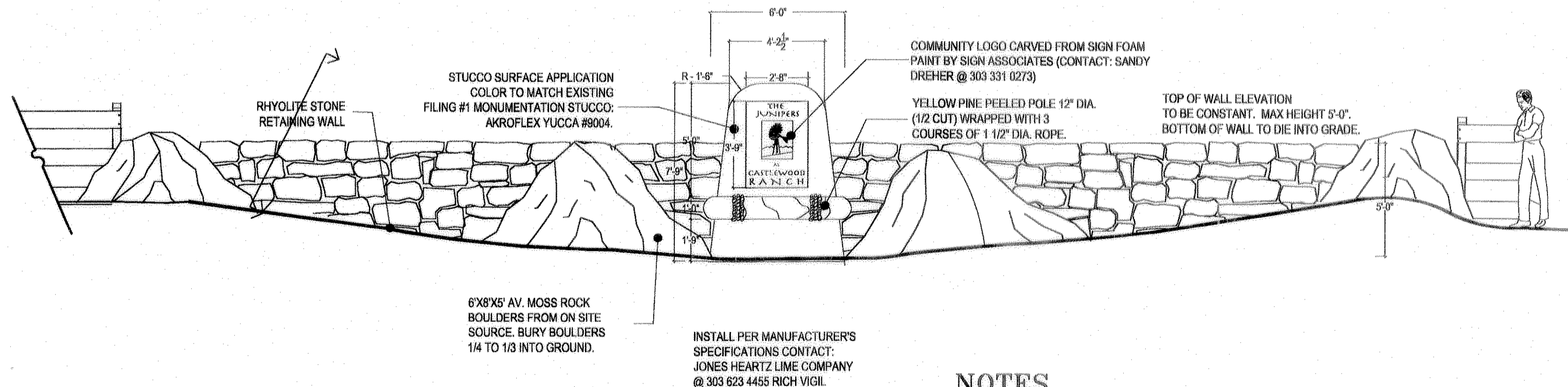
1. ALL STONE SHALL BE SOUND, DURABLE, FREE FROM REEDS, RIFTS, SEAMS, LAMINATIONS, AND MINERALS WHICH WOULD CAUSE DISCOLORATION OR DETERIORATION FROM WEATHERING.
2. THE MINIMUM SIZE OF STONE TO BE USED SHALL BE FOUR INCHES IN DEPTH OR RISE, NINE INCHES IN WIDTH AND TWELVE INCHES LONG. STONE SIZE SHALL BE ACCEPTABLE TO THE OWNER AND THE ENGINEER. USE 'RHYOLITE' BUFF AND GRAY COLOR STONE. CONTACT: CENTENNIAL MATERIALS #688-4150.
3. CONTRACTOR SHALL PROVIDE COMPLETE STRUCTURAL DESIGN AND SHOP DRAWINGS DETAILING PROPOSED WALL FOR APPROVAL PRIOR TO CONSTRUCTION.
4. WALLS ARE TO BE CONSTRUCTED ON SUBGRADE TO 95% AASHTO.
5. SUBGRADE BELOW WALL IS TO BE LEVEL IN TRAVERSE DIRECTION. SUBGRADE SHALL NOT EXCEED 5% LONGITUDINAL DIRECTION (STEP SUBGRADE IF GREATER THAN 5%).
6. ROCK WEIGHT IS NOT TO BE LESS THAN 130 POUNDS PER CUBIC FOOT.
7. THE STONE FOR THE WALL SHALL BE LAID TO FORM SUBSTANTIAL MASONRY PRESENTING A NEAT, FINISHED APPEARANCE.
8. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR STRUCTURAL INTEGRITY OF STONE WALLS. CONFIRM STRUCTURAL DETAIL OF WALL WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION OF WALL.

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B SECONDARY MONUMENTATION

SECTION ELEVATION

NOT TO SCALE



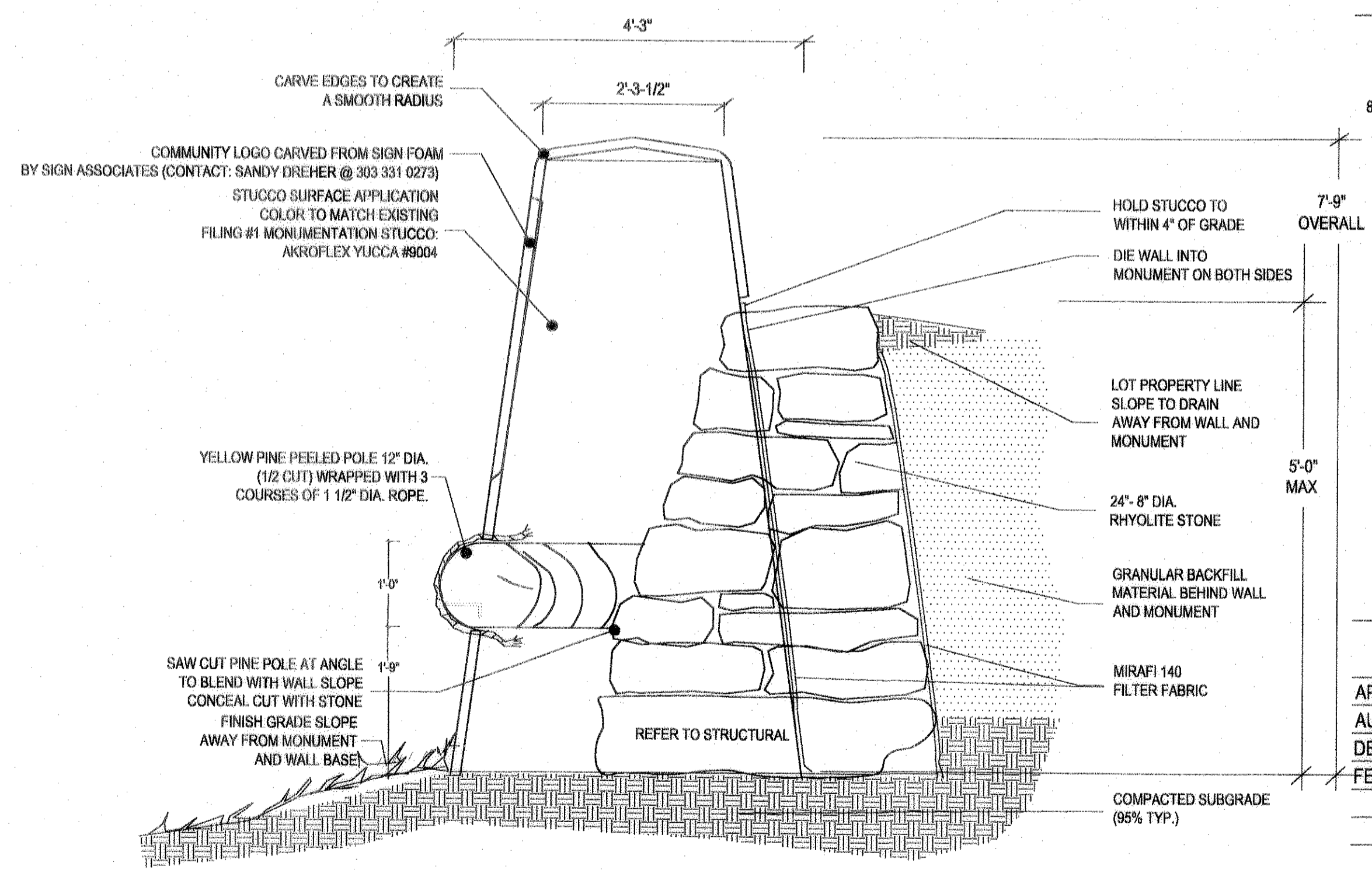
NOTES

1. CONTACT SANDY DREHER WITH SIGN ASSOCIATES TO COORDINATE THE METAL PLAQUE.
2. STRUCTURAL DESIGN FOR THE REVISED MONUMENTS TO BE REVISED BY CONTRACTOR ADHERING AS CLOSELY AS POSSIBLE TO THE DRAWINGS PROVIDED BY BSA STRUCTURAL ENGINEERS AS ON S-1 IN THE CONSTRUCTION BID SET.

C SECONDARY MONUMENTATION

SECTION ELEVATION

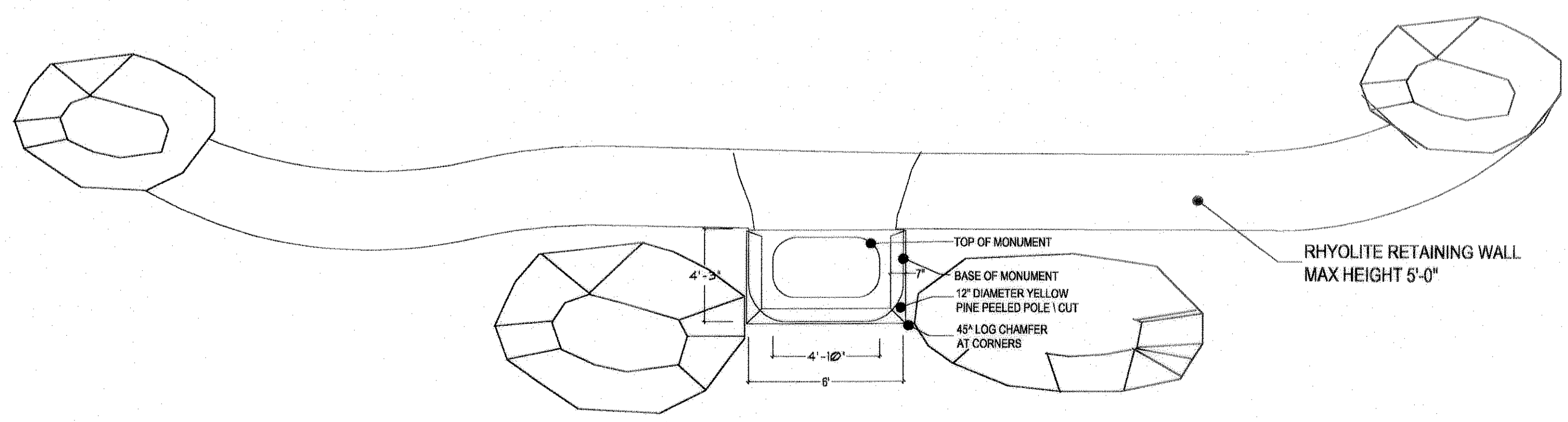
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D SECONDARY MONUMENTATION

PLAN VIEW

NOT TO SCALE

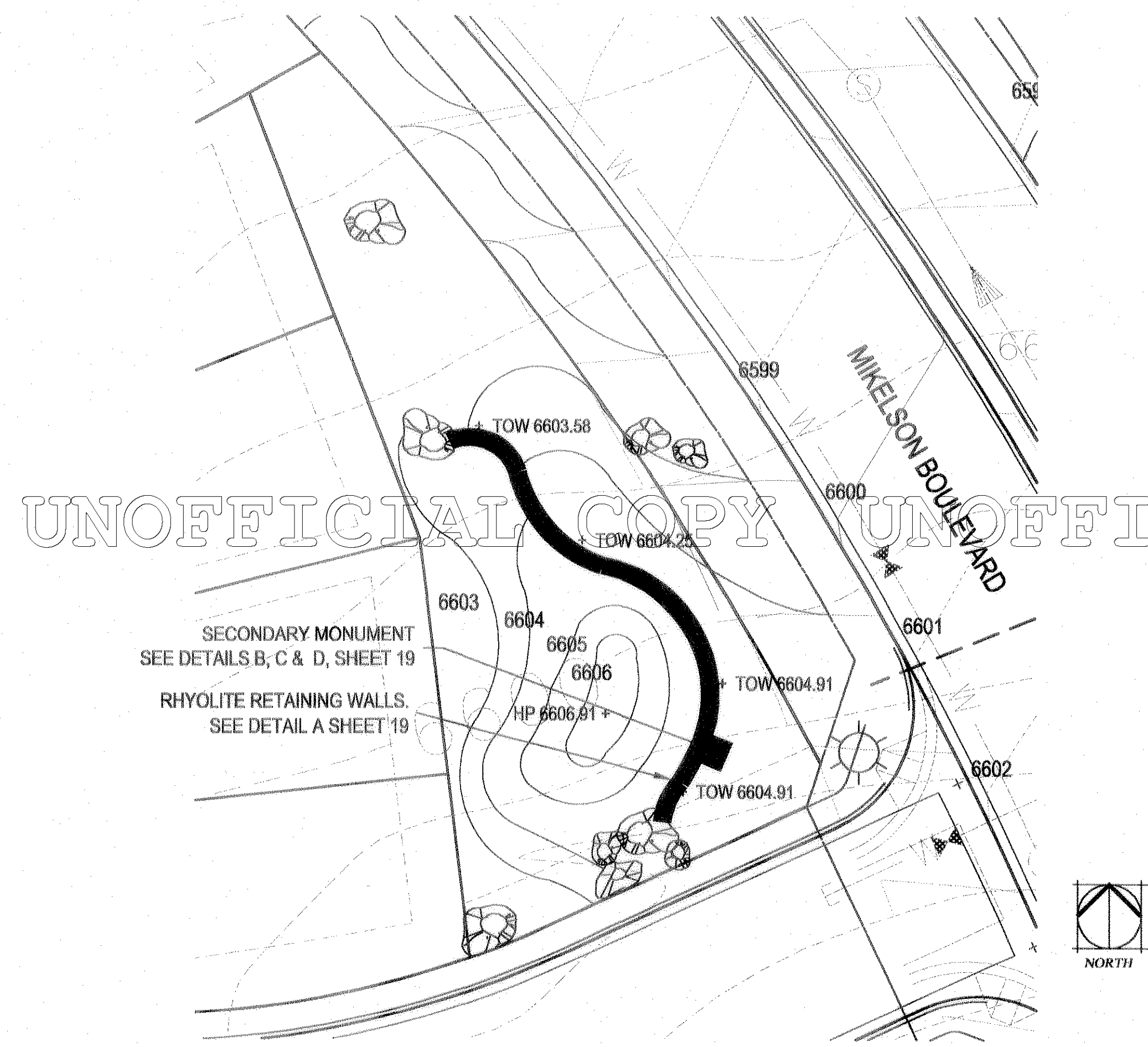
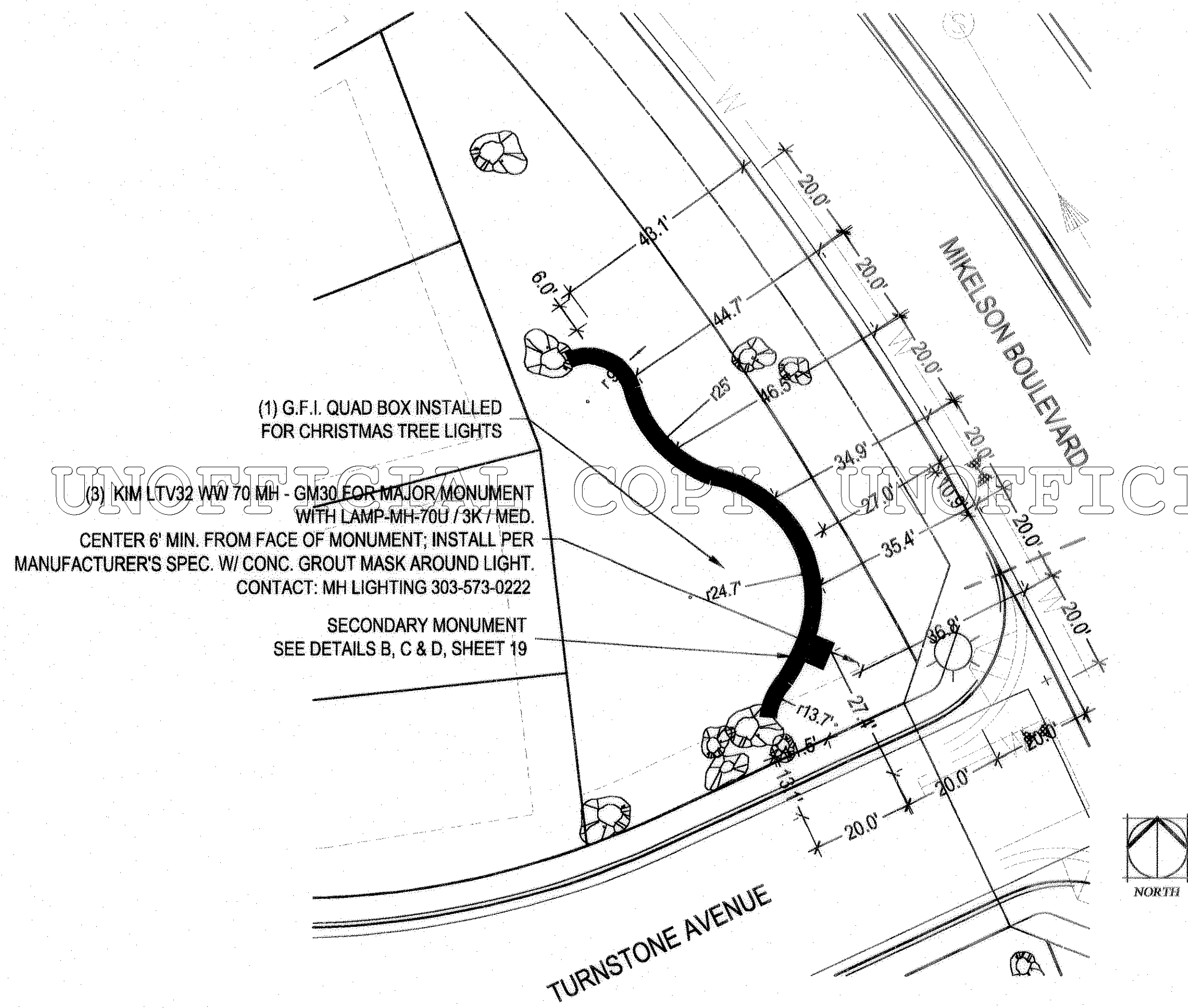


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DRAWN BY: SUL
FILENAME:

A MITCHELL & TURNSTONE MONUMENTATION – LAYOUT & LIGHTING PLAN
PLAN VIEW SCALE: 1"=20'-0"

B MITCHELL & TURNSTONE MONUMENTATION – GRADING PLAN
PLAN VIEW SCALE: 1"= 20'-0"



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(1) G.F.I. QUAD BOX INSTALLED FOR CHRISTMAS TREE LIGHTS

(3) KIM LTV32 WW 70 MH - GM30 FOR MAJOR MONUMENT WITH LAMP-MH-70U / 3K / MED. CENTER 6' MIN. FROM FACE OF MONUMENT; INSTALL PER MANUFACTURER'S SPEC. W/ CONC. GROUT MASK AROUND LIGHT. CONTACT: MH LIGHTING 303-573-0222

SECONDARY MONUMENT SEE DETAILS B, C & D, SHEET 19

SECONDARY MONUMENT SEE DETAILS B, C & D, SHEET 19

RHYOLITE RETAINING WALLS. SEE DETAIL A SHEET 19

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FILENAME:

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Sheet Title
Monumentation Layout,
Lighting, & Grading Plan

Sheet Number
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