

OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$221.00
23 PGS

2004113724
11/05/2004 11:49 AM



PLAT IDENTIFICATION SHEET

- ✓ Maple Grove Land Limited Partnership,
- ✓ Richard A. Putnam,
- ✓ Wayne E. Brown Family, L.L.C.

GRANTOR(owner)

UNOFFICIAL COPY

✓ Crystal Valley Ranch Filing 3 Preliminary Plat/Final PD Site Plan

GRANTEE(name of plat)

Crystal Valley Ranch

Subdivision/Condo Name

3

Filing

Phase

Lot

Building

Block

Unit

✓ 24

8

67

OLD LEGAL(Section)

(Township)

(Range)

CRYSTAL VALLEY RANCH - FILING NO. 3

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO PRELIMINARY PLAT/ FINAL P.D. SITE PLAN

PROPERTY DESCRIPTION - BLOCKS 1 & 2

A PARCEL OF LAND LOCATED IN PART OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

BASIS OF BEARINGS: BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, THE EAST TERMINUS BEING THE SOUTHEAST CORNER OF SAID SECTION 23 AND MONUMENTED BY A FOUND 3 1/4" ALUMINUM CAP STAMPED "ARCHER AND ASSOC LS 6935". THE WEST TERMINUS BEING THE SOUTH QUARTER CORNER OF SAID SECTION 23 AND MONUMENTED BY A FOUND 2 1/2" ALUMINUM CAP STAMPED "ARCHER AND ASSOC LS 6935". THE BEARING BEING S 89°47'24" W PER ALTA/ACSM LAND TITLE SURVEY DESIGNED WITH THE OFFICE OF THE RECORDER, COUNTY OF DOUGLAS AT RECEPTION NUMBER LSP-2682, WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT SAID SOUTHEAST CORNER OF SECTION 23, THENCE N 79°12'29" E A DISTANCE OF 1,866.82 FEET TO THE POINT OF BEGINNING;

THENCE N 76°23'01" W A DISTANCE OF 171.71 FEET;
THENCE N 17°57'06" W A DISTANCE OF 87.42 FEET;
THENCE N 01°30'48" E A DISTANCE OF 802.34 FEET;
THENCE N 33°48'47" E A DISTANCE OF 534.85 FEET;
THENCE S 82°46'24" E A DISTANCE OF 281.84 FEET;
THENCE N 88°21'37" E A DISTANCE OF 134.29 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF LOOP ROAD;
THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE THE FOLLOWING FOUR (4) COURSES:
1.) S 07°13'36" W A DISTANCE OF 523.93 FEET TO A POINT OF CURVATURE;
2.) THENCE ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 945.00 FEET, CENTRAL ANGLE OF 37°52'55" AND AN ARC LENGTH OF 624.81 FEET, THE CHORD OF WHICH BEARS
S 26°10'04" W A DISTANCE OF 613.48 FEET TO A POINT OF TANGENCY;
3.) S 45°06'32" W A DISTANCE OF 166.04 FEET TO A POINT OF CURVATURE;
4.) THENCE ALONG AN ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 955.00 FEET, A CENTRAL ANGLE OF 09°35'24" AND AN ARC LENGTH OF 159.85 FEET, THE CHORD OF WHICH BEARS
S 40°18'50" W A DISTANCE OF 159.66 FEET TO THE POINT OF BEGINNING.

CONTAINING 696,292 SQUARE FEET OR 15.98 ACRES MORE OR LESS.

PROPERTY DESCRIPTION - BLOCK 3

THAT PORTION OF THE SOUTHWEST ONE QUARTER AND SOUTHEAST ONE QUARTER OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 24, BEING MONUMENTED AT THE SOUTHWEST SECTION CORNER BY A NUMBER 6 REBAR AND 3 1/2" ALUMINUM CAP AND AT THE SOUTH ONE QUARTER CORNER BY A 10" X 10" X 11" STONE. SAID LINE IS ASSUMED TO BEAR N89°07'58"E;

COMMENCING AT THE SOUTH ONE QUARTER CORNER OF SAID SECTION 24, THENCE N33°35'43" W A DISTANCE OF 827.88 FEET TO A POINT OF NON-TANGENT CURVATURE ON THE EASTERLY RIGHT OF WAY OF WEST LOOP ROAD AS RECORDED UNDER RECEPTION NUMBER 2002097027, SAID POINT BEING THE POINT OF BEGINNING;

THENCE ALONG SAID RIGHT OF WAY AND ALONG THE ARC OF THE NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 1055.00 FEET, A CENTRAL ANGLE OF 6°20'34", AND AN ARC LENGTH OF 116.79 FEET, THE CHORD WHICH BEARS N26°46'45"E A DISTANCE OF 116.74 FEET;

THENCE DEPARTING SAID RIGHT OF WAY ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 88°36'40", AND AN ARC LENGTH OF 46.40 FEET, THE CHORD OF WHICH BEARS S20°41'52"E, A DISTANCE OF 41.91 FEET;

THENCE ALONG THE ARC OF COMPOUND CURVE TO THE LEFT HAVING A RADIUS OF 1,970.00 FEET, AND A CENTRAL ANGLE OF 05°41'03", AND AN ARC LENGTH OF 195.44 FEET;
THENCE ALONG THE ARC OF COMPOUND CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET, AND A CENTRAL ANGLE OF 57°51'17", AND AN ARC LENGTH OF 25.24 FEET;
THENCE ALONG THE ARC OF A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 75.00 FEET, AND A CENTRAL ANGLE OF 53°05'02", AND AN ARC LENGTH OF 69.49 FEET;
THENCE ALONG THE ARC OF A REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 59°11'52", AND AN ARC LENGTH OF 24.08 FEET;

THENCE N47°55'40"E A DISTANCE OF 37.12 FEET;
THENCE S42°04'20"E A DISTANCE OF 60.94 FEET;
THENCE N49°20'38"E A DISTANCE OF 828.37 FEET;
THENCE S43°43'38"E A DISTANCE OF 47.07 FEET;
THENCE S16°30'23"E A DISTANCE OF 391.54 FEET;
THENCE S41°13'50"E A DISTANCE OF 77.09 FEET;
THENCE S36°23'19"E A DISTANCE OF 494.46 FEET;
THENCE S52°59'35"W A DISTANCE OF 79.94 FEET;
THENCE S19°25'33"W A DISTANCE OF 481.14 FEET;
THENCE N85°21'31"W A DISTANCE OF 819.37 FEET;
THENCE N11°12'58"W A DISTANCE OF 183.83 FEET;
THENCE N01°54'21"W A DISTANCE OF 310.17 FEET;
THENCE N61°06'55"W A DISTANCE OF 262.97 FEET;
THENCE N28°14'11"E A DISTANCE OF 42.34 FEET;

THENCE ALONG THE ARC OF A NON TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 50°17'46", AND AN ARC LENGTH OF 21.95 FEET, THE CHORD OF WHICH BEARS N03°05'19"E, A DISTANCE OF 21.25 FEET;
THENCE ALONG THE ARC OF A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 75.00 FEET AND A CENTRAL ANGLE OF 06°48'01", AND AN ARC LENGTH OF 8.86 FEET;
THENCE ALONG THE ARC OF A REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET, AND A CENTRAL ANGLE OF 55°27'39", AND AN ARC LENGTH OF 24.20 FEET;
THENCE ALONG THE ARC OF A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 2,030.00 FEET, AND A CENTRAL ANGLE OF 05°51'14", AND AN ARC LENGTH OF 207.40 FEET;
THENCE ALONG THE ARC OF A REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 30.00 FEET, AND A CENTRAL ANGLE OF 85°09'00", AND AN ARC LENGTH OF 44.58 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 1,048,606 SQUARE FEET OR 24.07 ACRES, MORE OR LESS.

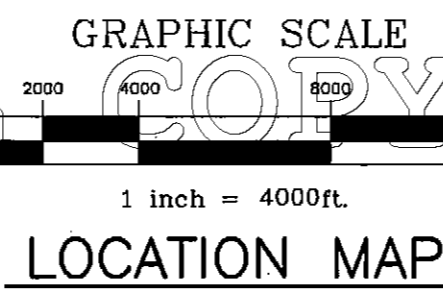
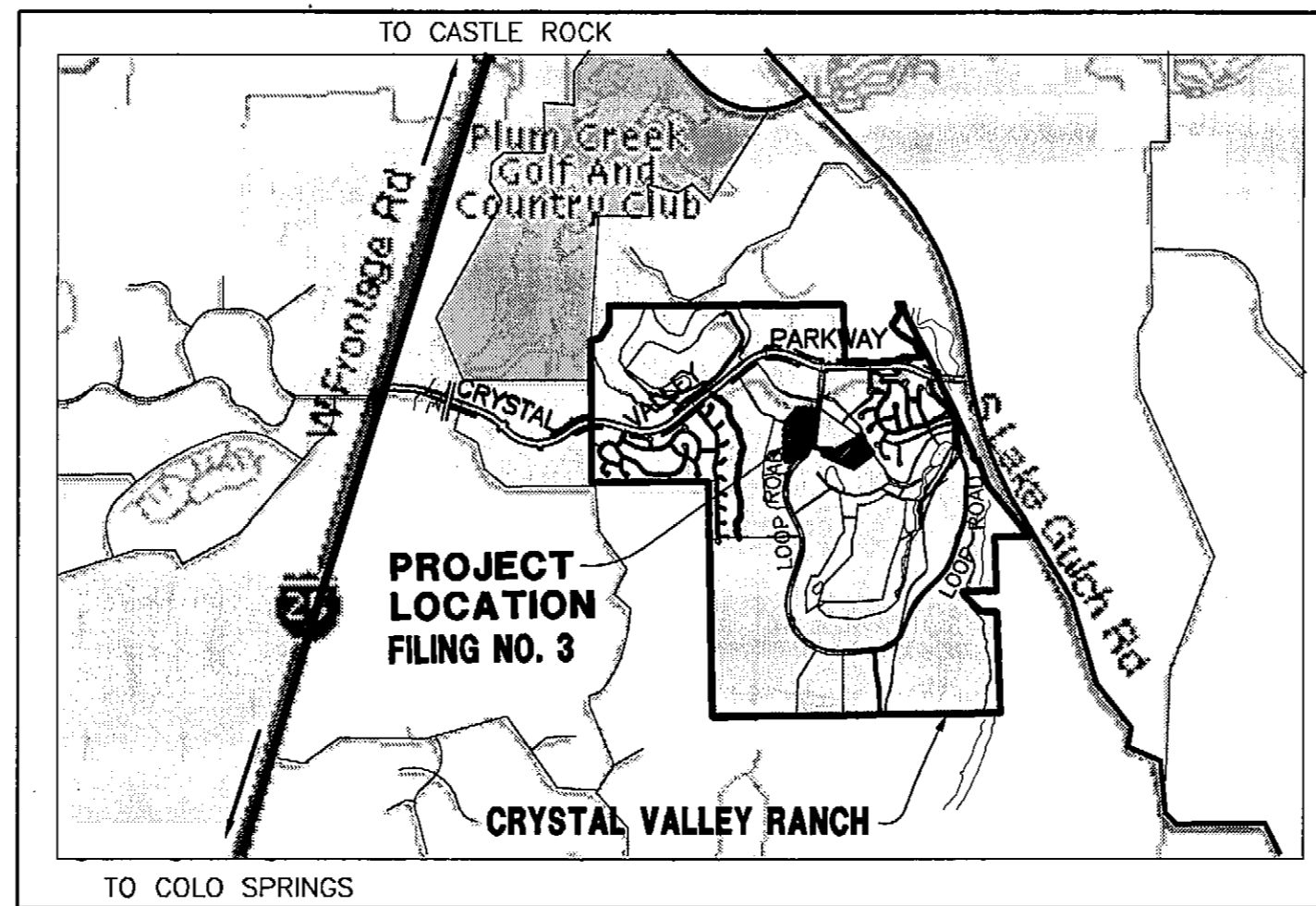
FLOODPLAIN:

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 0800490304C, DATED SEPTEMBER 30, 1997, THE PROJECT SITE DOES NOT LIE WITHIN ANY FEMA DESIGNATED 100-YR. FLOODPLAIN.

NOTE: ALL EASEMENTS SHALL BE DEDICATED WITH THE FINAL PLAT

DEVELOPER CRYSTAL VALLEY RANCH DEVELOPMENT CO. 823 SOUTH PERRY STREET, SUITE 210 CASTLE ROCK, COLORADO 80104 CONTACT: AL BLOCK PHONE: (303) 814-6862	LAND PLANNER MANHARD CONSULTING LTD. 8232 EAST PARK MEADOWS DRIVE LITTLETON, COLORADO 80124 CONTACT: TIM NELSON PHONE: (303) 708-0500
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LANDSCAPE ARCHITECT MANHARD CONSULTING LTD. 8232 EAST PARK MEADOWS DRIVE LITTLETON, COLORADO 80124 CONTACT: TIM NELSON PHONE: (303) 708-0500	CIVIL ENGINEER / SURVEYOR MANHARD CONSULTING LTD. 8232 EAST PARK MEADOWS DRIVE LITTLETON, COLORADO 80124 CONTACT: KARL E. CHESLEY, P.L.S. PHONE: (303) 708-0500
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INDEX OF SHEETS

SHEET NO.	DESCRIPTION
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3.	PRELIMINARY PLAT
4.	PRELIMINARY PLAT - BLOCK 3
5.	GRADING CONTROL PLAN - NORTH
6.	GRADING CONTROL PLAN - SOUTH
7.	GRADING CONTROL PLAN - BLOCK 3
8.	LOOP ROAD (WEST) GRADING - STATION 0+00 TO 13+00
9.	LOOP ROAD (WEST) GRADING - STATION 13+00 TO 41+50
10.	UTILITY PLAN - NORTH
11.	UTILITY PLAN - SOUTH
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13.	LOOP ROAD (WEST) UTILITIES - STATION 0+00 TO 13+00
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17.	LANDSCAPING NOTES & DETAILS
18.	LOOP ROAD PLANTING PLAN
19.	LOOP ROAD LANDSCAPE SPECIFICATIONS AND DETAILS
20.	LOOP ROAD IRRIGATION PLAN
21.	LOOP ROAD IRRIGATION SPECIFICATIONS AND DETAILS
22.	LOOP ROAD IRRIGATION SPECIFICATIONS AND DETAILS

LAND USE SUMMARY

LAND USE	PROPOSED ACREAGE	PROPOSED DWELLING UNITS/SFE'S	PROPOSED % OF SITE ACREAGE	GROSS DENSITY	MIN LOT AREA	FRONT SETBACK	REAR SETBACK	SIDE SETBACK (INTERIOR SEPERATION (TO STREET) LOTS)	MIN. BUILDING SEPERATION (TO STREET)	SIDE SETBACKS	MAX BUILDING HEIGHT
RS-F-6 (SINGLE FAMILY)	16.0	52	56	3.25	7,800 S.F.	20'	15'	5'	15'	15'	35'
OSP (PRIVATE OPEN SPACE)	11.71	-	41	-	-	-	-	-	-	-	35'
ROW (PROPOSED STREET)	3.47	-	12	-	-	-	-	-	-	-	-

SITE DATA BLOCKS 1 & 2

LAND AREA	16.00 AC.
OPEN SPACE AREA	0.61 AC.
LOT AREA	12.80 AC.
ROADWAY AREA	2.77 AC.
NET DENSITY	4.13 DU/AC.
MAXIMUM LOT AREA	25,499 S.F.
AVERAGE LOT AREA	10,554 S.F.

SITE DATA BLOCK 3

LAND AREA	24.07
OPEN SPACE AREA	3.21 AC.
LOT AREA	19.98 AC.
ROADWAY AREA	0.88 AC.

TRACT TABLE

TRACT	OWNERSHIP AND MAINTENANCE	PURPOSE
LOT 1, BLK 3	MASTER HOA	FUTURE COMM CENTER
A	HOA	OPEN SPACE, DRAINAGE
B	HOA	LANDSCAPING
C	HOA	LANDSCAPING
D	HOA	LANDSCAPING
E	MASTER HOA	OPEN SPACE

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIEN HOLDERS OF CERTAIN LANDS KNOWN HEREIN AS THE CRYSTAL VALLEY RANCH FILING NO.3 IN THE TOWN OF CASTLE ROCK.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENTS RECORDED ON 5/17/02 IN BOOK 233 AT PAGE 158 AT RECEPTION NO. 02048023, R.L.S. OF 8620 W. 133RD ST. 1010, REC # 02048023 AND 9/29/04 AT RECEPTION NO. 2004049355 DOUGLAS COUNTY, COLORADO, SUBORDINATE THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

WELLS FARGO BANK, NATIONAL ASSOCIATION,

BY: *Richard A. Putnam*

SUBSCRIBED AND SWORN TO BEFORE ME THIS 4th DAY OF August 2003. WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES: 4-31-05

Cheryl D. Underthun
NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

I, KARL E. CHESLEY, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE CRYSTAL VALLEY RANCH - FILING NO. 3 WAS MADE UNDER MY SUPERVISION AND THE PLAN SHOWN THEREON ACCURATELY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

Karl E. Chesley
COLORADO PLS NO. 13743
FOR AND ON BEHALF OF MANHARD CONSULTING LTD.

NOTES:

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
- PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHT-OF-WAYS IS TO BE MAINTAINED ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANTS MATERIAL. REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE PLANT MATERIAL AS SET FORTH IN THE FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH COS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS AS SHOWN IN THIS PLAN.
- THE SIDE SETBACK TO LOOP ROAD ON LOTS 1 & 30, BLOCK 1 AND LOTS 1 & 22, BLOCK 2 SHALL BE DETERMINED FROM THE LOOP ROAD RIGHT-OF-WAY INSTEAD OF THE LOT LINE.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE CRYSTAL VALLEY RANCH - FILING NO. 3 IN THE TOWN OF CASTLE ROCK.

James O'Brien
MAPLE GROVE LAND LIMITED PARTNERSHIP

SIGNED THIS 30th DAY OF June, 2004

EXECUTED THIS 30th DAY OF June, 2004

SUBSCRIBED AND SWORN BEFORE ME THIS 30th DAY OF June, 2004, BY

Michelle Maria
WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES: January 31, 2005

Michelle Maria
NOTARY PUBLIC
MICHELLE MARIA
NOTARY PUBLIC - MINNESOTA
My Commission Expires 1/31/2005

RICHARD A. PUTNAM
2765 CASCO POINT ROAD, WAYZATA, MN 55391
BY: *Richard A. Putnam*
RICHARD A. PUTNAM

SUBSCRIBED AND SWORN TO BEFORE ME THIS 29th DAY OF JUNE 2003. WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES: 06-27-06

Debra Lee Stage
NOTARY PUBLIC

Debra Lee Stage
NOTARY PUBLIC
DEBRA LEE STAGE
NOTARY PUBLIC
STATE OF COLORADO
My Commission Expires 06/27/2006

WAYNE E. BROWN FAMILY, L.L.C.,
A MINNESOTA LIMITED LIABILITY COMPANY
10200 WILD DUCK PASS, EDEN PRAIRIE, MN 55347

BY: *Wayne E. Brown*
WAYNE E. BROWN, MANAGER

SUBSCRIBED AND SWORN TO BEFORE ME THIS 30th DAY OF June 2004. WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES: January 31, 2005

Michelle Maria
NOTARY PUBLIC

Michelle Maria
NOTARY PUBLIC - MINNESOTA
My Commission Expires 1/31/2005

TITLE CERTIFICATION

I, Jackie Algermissen, AN AUTHORIZED REPRESENTATIVE OF Land Title Guaranty Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 29th DAY OF July, 2004

Jackie Algermissen
AUTHORIZED REPRESENTATIVE (NOTARIZED SIGNATURE)

Jackie Algermissen
OLD REPUBLIC TITLE COMPANY LAND TITLE GUARANTEE COMPANY

SUBSCRIBED AND SWORN TO BEFORE ME THIS 29th DAY OF July 2004. WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES: 8-13-04

Theresa Maestas
NOTARY PUBLIC

Theresa Maestas
NOTARY PUBLIC
STATE OF COLORADO
My Commission Expires Aug. 13, 2004

TOWN CERTIFICATION

A. PLANNING COMMISSION RECOMMENDATION:

THE CRYSTAL VALLEY RANCH - FILING NO. 3 SUBMISSION WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 22nd DAY OF Jan., 2004

John A. ...
DIRECTOR OF DEVELOPMENT SERVICES DATE 7-07-04

John A. ...
PLANNING COMMISSION CHAIR DATE 7 SEPT 04

B. TOWN COUNCIL APPROVAL
THE FINAL PD SITE PLAN AND PRELIMINARY PLAT FOR THE CRYSTAL VALLEY RANCH - FILING NO. 3 WERE APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 13 DAY OF Jan., 2004

John A. ...
MAYOR DATE 9-18-04

Bally Mason
TOWN CLERK DATE 9-18-04

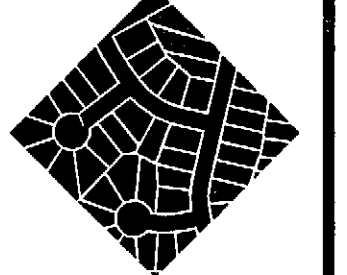
DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 1:14 PM ON THE 05th DAY OF Nov, 2004 AT RECEPTION NO. 2004115724

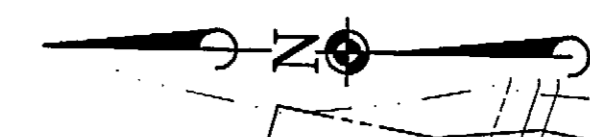
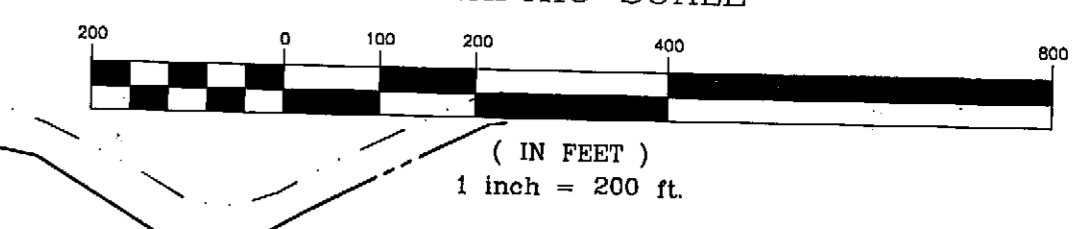
Beth ...
CLERK & RECORDER

DATE	
REVISIONS	
DATE	
BY	
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DESCRIPTION	

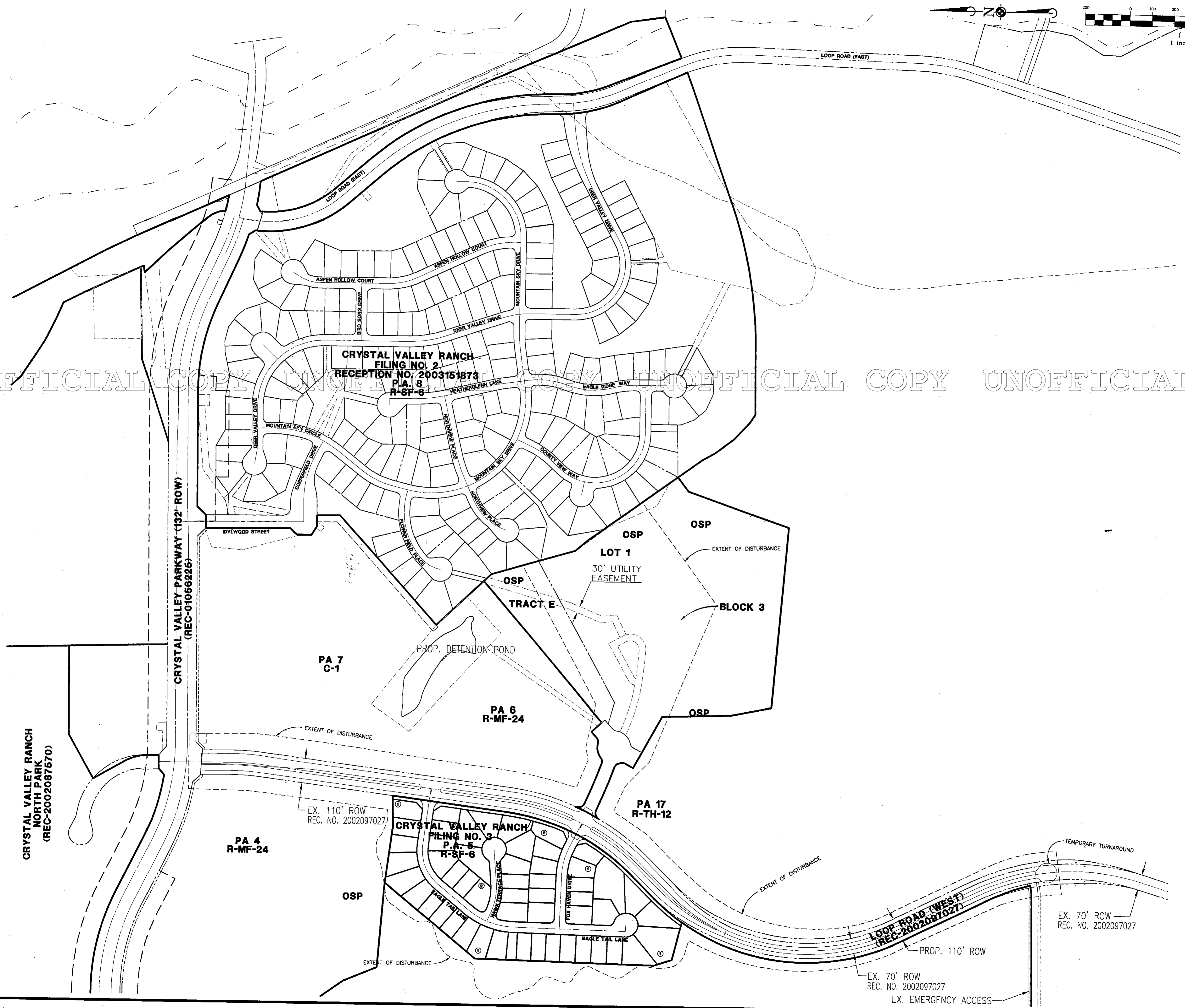
MANHARD CONSULTING LTD.
ENGINEERS • SURVEYORS • ENVIRONMENTAL SCIENTISTS
8232 E. Park Meadows Dr. Littleton, Colorado 80124
Tel: 303/708-0500 Fax: 303/708-0400 http://www.manhard.com



CRYSTAL VALLEY RANCH - FILING NO. 3
PRELIMINARY PLAT/FINAL PD SITE PLAN
TITLE SHEET
SHEET 1 OF 22
CVCRC5 C295



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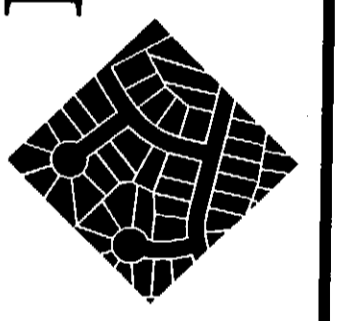
CRYSTAL VALLEY RANCH
FILING NO. 2
RECEPTION NO. 2003151873
P.A. 8
R-SF-8

CRYSTAL VALLEY RANCH
FILING NO. 3
P.A. 5
R-SF-6

CRYSTAL VALLEY RANCH
NORTH PARK
(REC-2002087570)

CRYSTAL VALLEY PARKWAY (132' ROW)
(REC-01056225)

MANHARD CONSULTING LTD.
ENGINEERS • SURVEYORS •
ENVIRONMENTAL SCIENTISTS
9232 E. Park Meadows Dr. Littleton, Colorado 80124
tel: 303/708-0500 fax: 303/708-0400 http://www.MANHARD.com



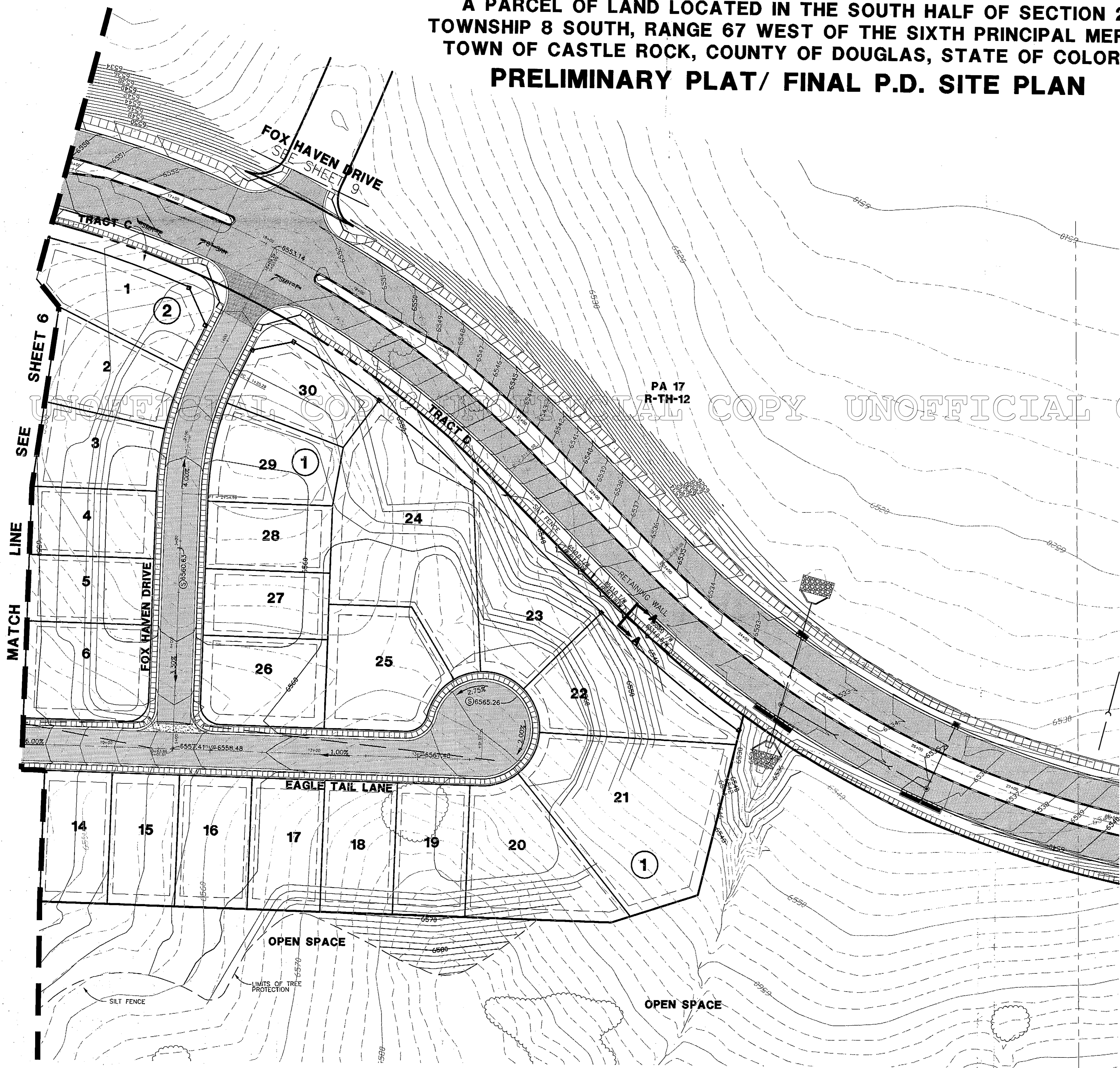
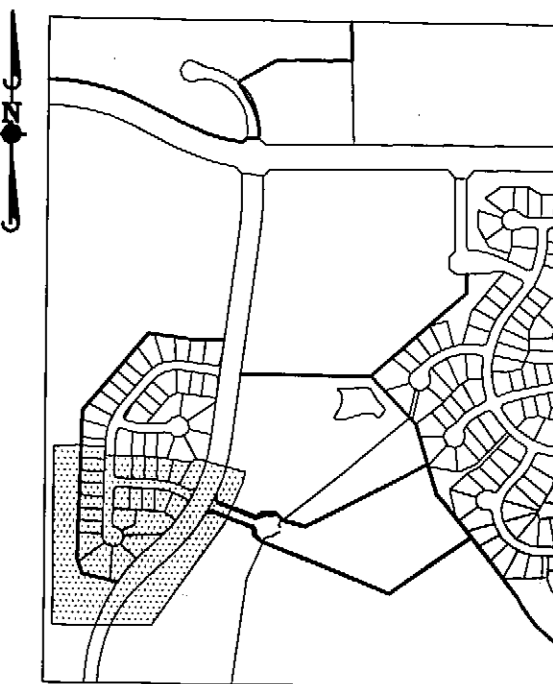
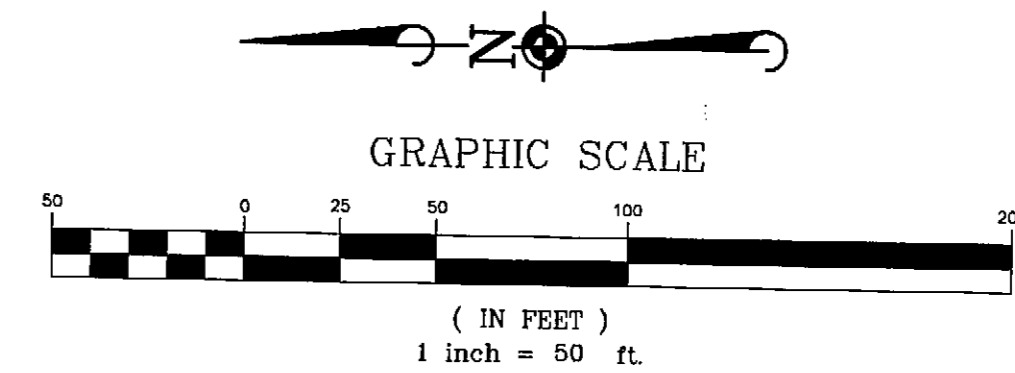
CRYSTAL VALLEY RANCH - FILING NO. 3
TOWN OF CASTLE ROCK, COLORADO
OVERALL SITE PLAN

PROJ. NO. W.G.B.
PROJ. ENG. J.E.H.
DRAWN BY M.T.C.
CHECKED BY W.G.B.
DATE: 10-16-02
SCALE: 1"=200'

SHEET
2 OF **22**
CVCRC5 C295

CRYSTAL VALLEY RANCH - FILING NO. 3

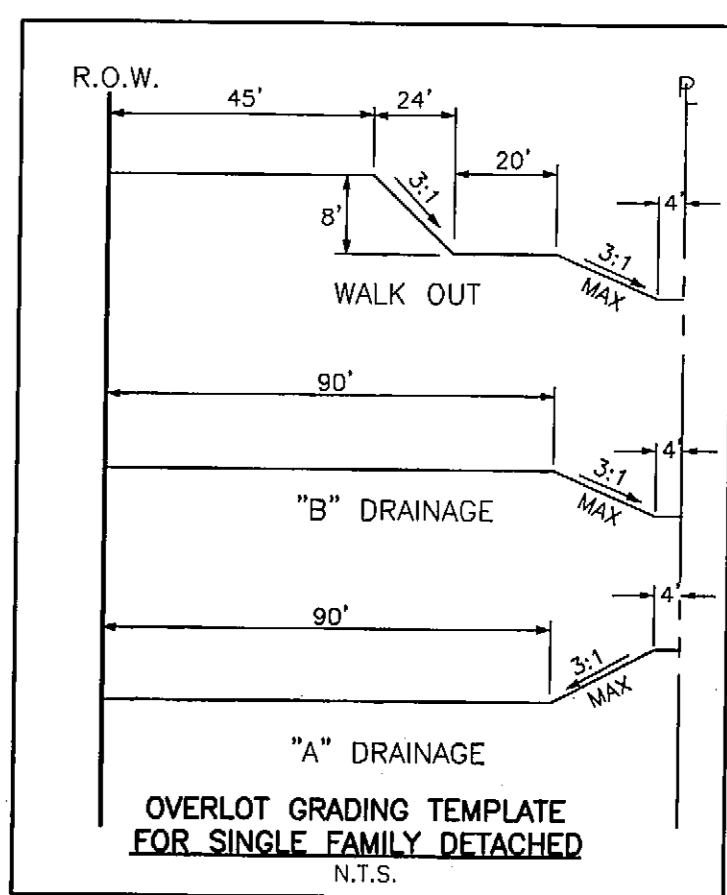
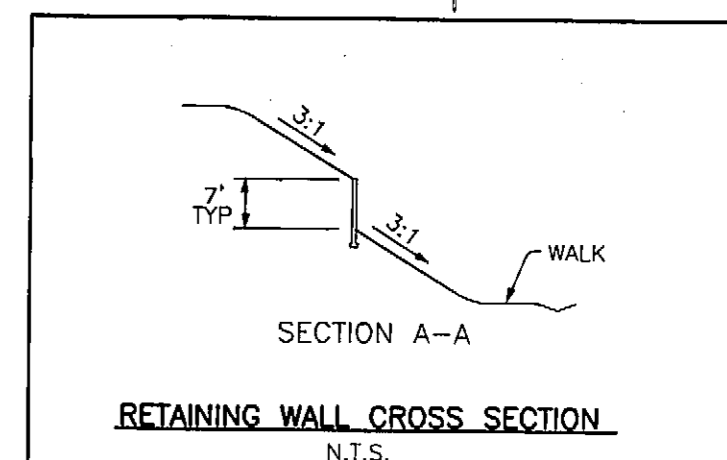
A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
PRELIMINARY PLAT/ FINAL P.D. SITE PLAN



EXISTING	PROPOSED

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

Note: Retaining walls exceeding 4' height will require a building permit prior to obtaining a PL permit.

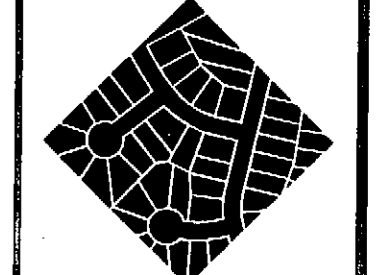


SEE SHEET 10
LOOP ROAD (WEST)

Jun 24, 2004 15:28 Dwg Name: P:\CVRCS\Draws\07-Preliminary\Drawings\07-Grading Plan_South.dwg Updated By: CSchwarz

DATE	REVISIONS	DRAWN BY	CHECKED BY
6-16-04	REVISED PER TOWN OF CASTLE ROCK	J.E.H.	J.E.H.
7-05-04	REVISED PER TOWN OF CASTLE ROCK	J.E.H.	J.E.H.
11-08-04	COMPOSITE SUBMITTAL INCLUDING REGISTRATION CENTER	J.E.H.	M.T.C.

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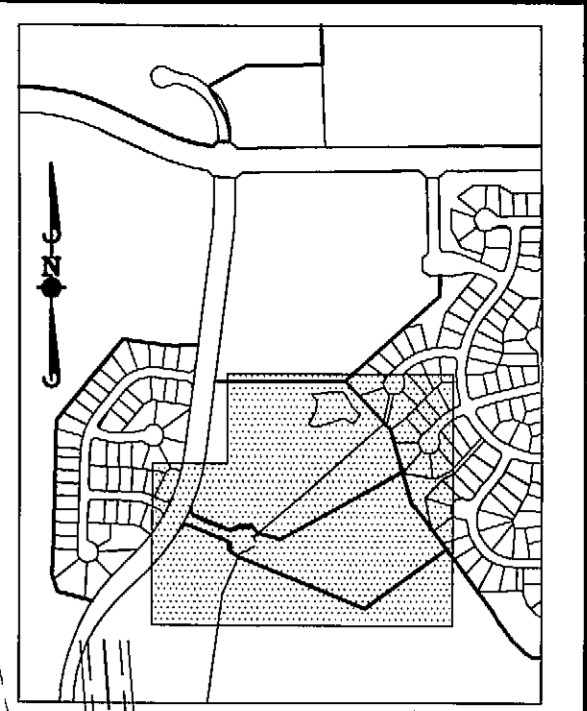
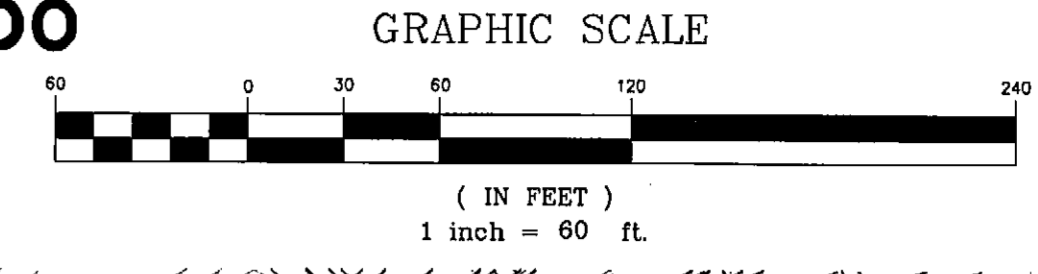
CRYSTAL VALLEY RANCH - FILING NO. 3
PRELIMINARY PLAT/FINAL PD SITE PLAN
GRADING PLAN - SOUTH

PROJ. MGR.	W.G.B.
PROJ. ENG.	R.L.T.
DRAWN BY	D.L.L.
CHECKED BY	W.G.B.
DATE	10-16-02
SCALE	1"=50'
SHEET	7 OF 22
CVCRCS	C295

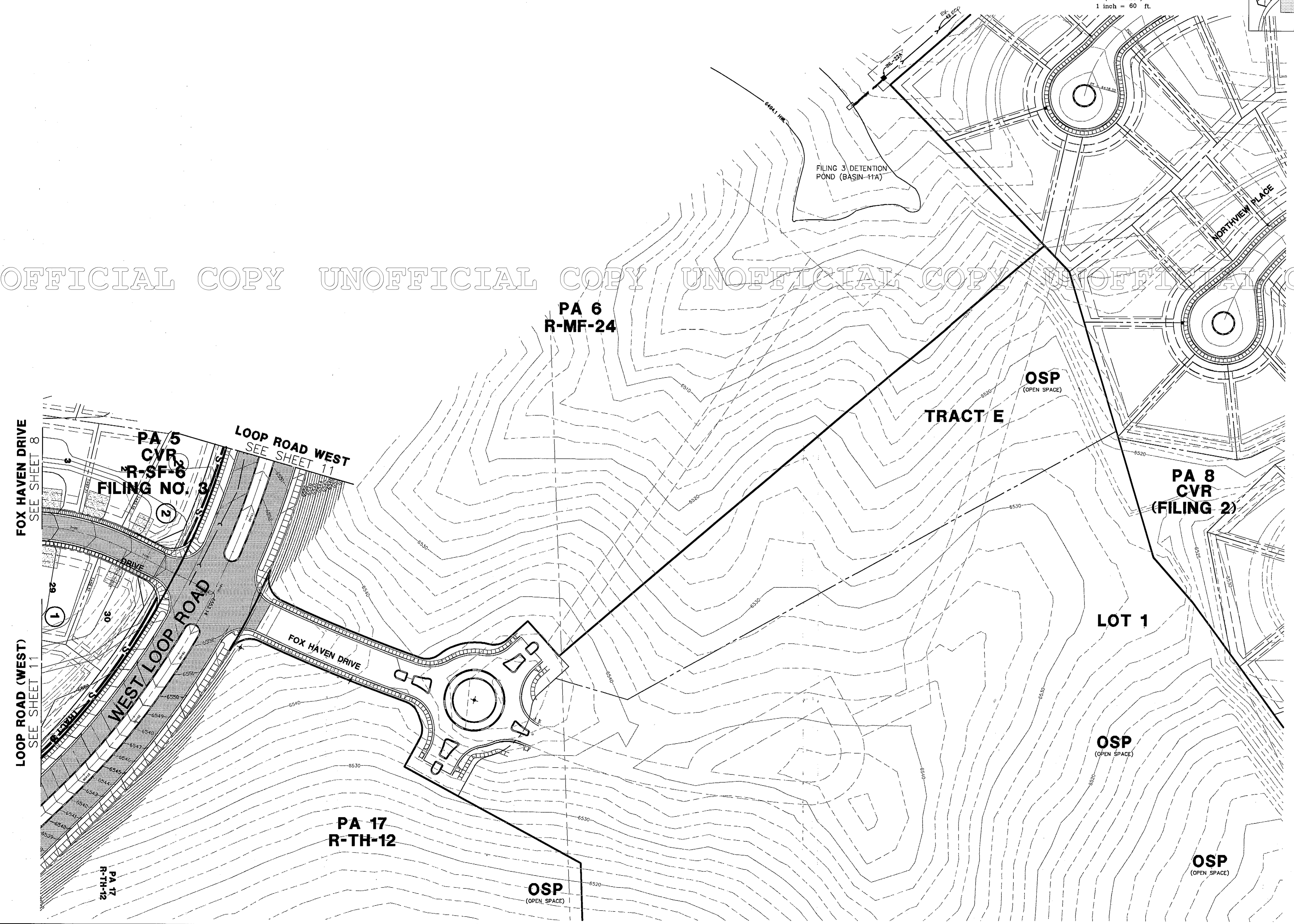
CRYSTAL VALLEY RANCH - FILING NO. 3

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT/ FINAL P.D. SITE PLAN

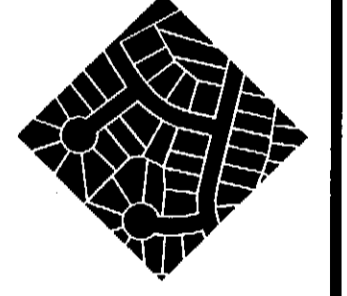


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DATE	REVISIONS	DRAWN BY	CHECK BY
12/02/04	REVISED PER TOWN OF CASTLE ROCK REQUIREMENTS	J.E.H.	J.E.H.
11/05/04	REVISED PER TOWN OF CASTLE ROCK REQUIREMENTS	J.E.H.	J.E.H.
5-08-03	COMPOSITE SUBMITTAL INCLUDING REVISION CENTER	M.T.C.	M.T.C.

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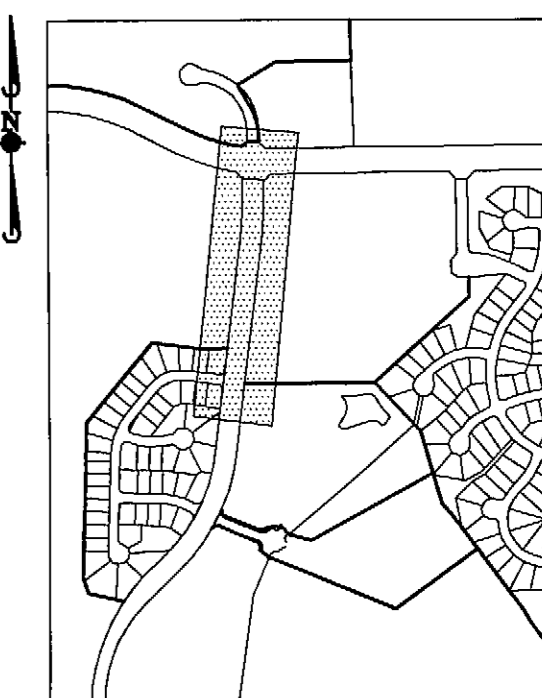
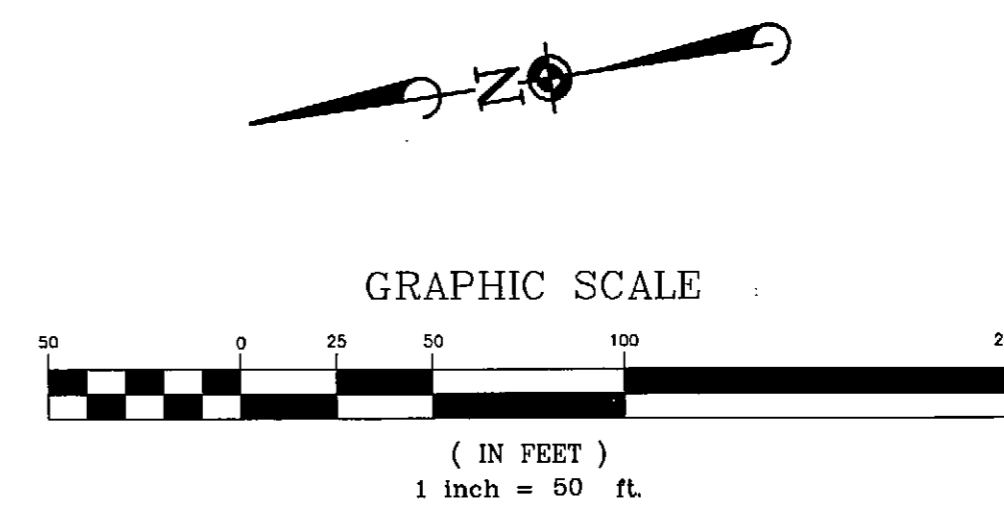
CRYSTAL VALLEY RANCH - FILING NO. 3
PRELIMINARY PLAT/FINAL PD SITE PLAN
GRADING PLAN - BLOCK 3

PROJ. MGR.	W.G.B.
PROJ. ENG.	R.L.T.
DRAWN BY	D.L.L.
CHECKED BY	W.G.B.
DATE	3-28-03
SCALE	1"=60'
SHEET	
8	OF 22
CVCRRC	C376

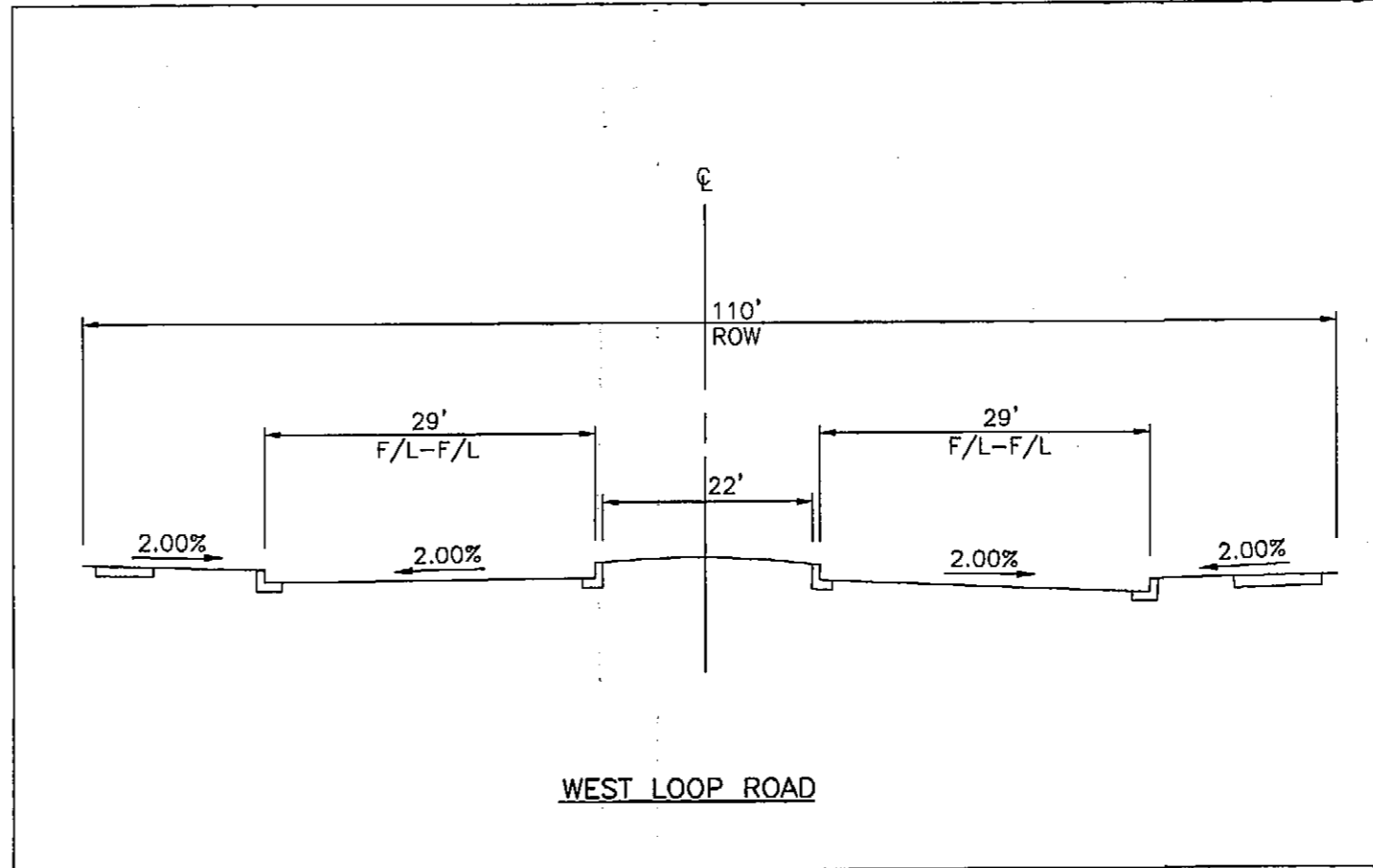
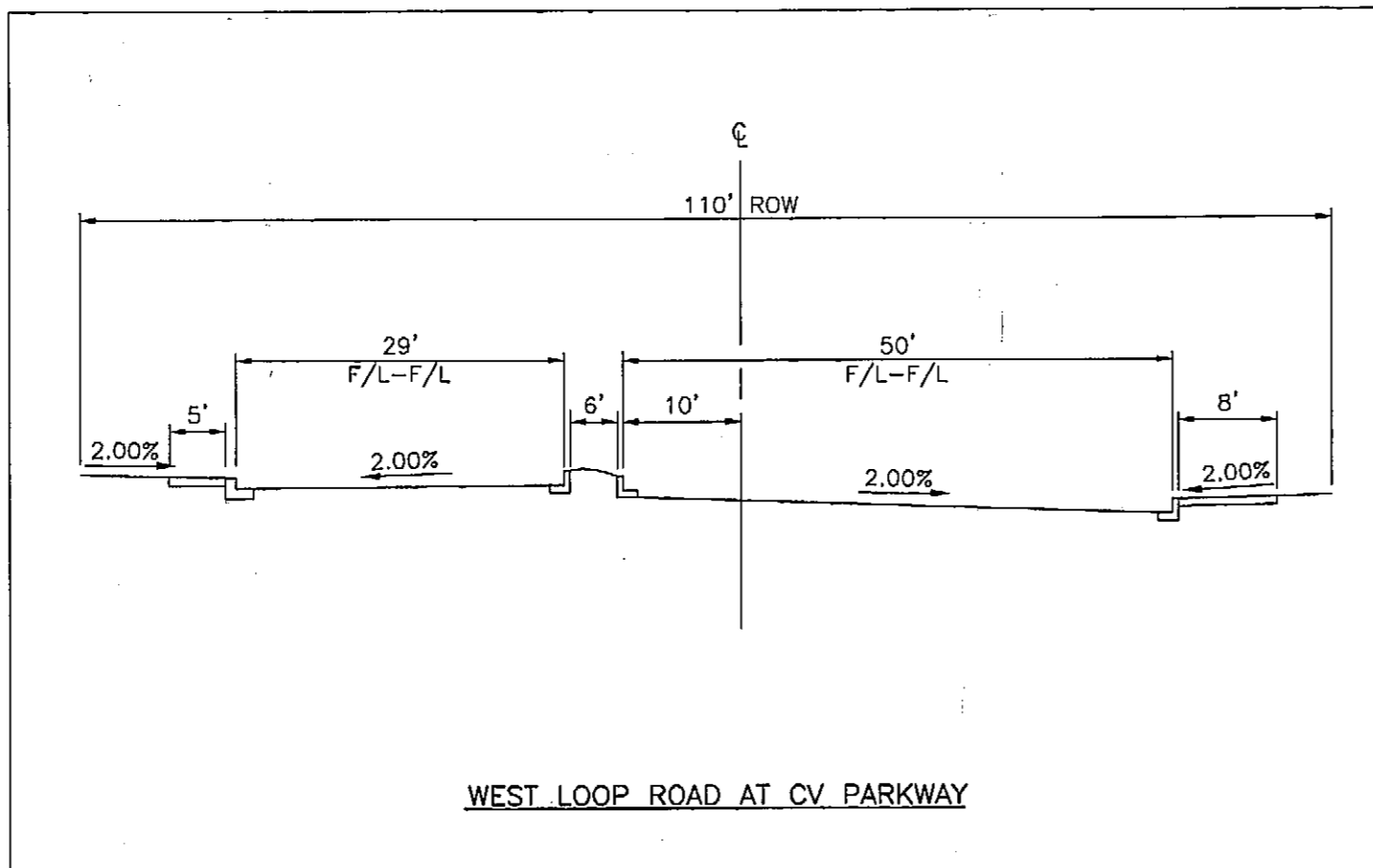
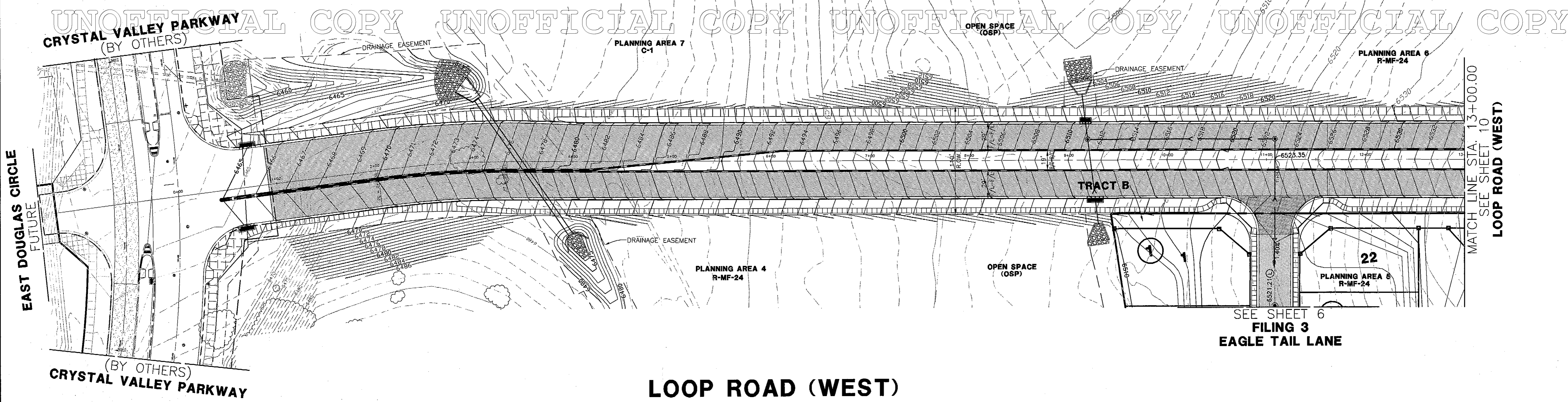
Jul 27, 2004 - 1402 Dwg Name: P:\CVCRRC\Eng\Preliminary Drawings\08-SITE GRADING PLAN.dwg Updated By: CSchwartz

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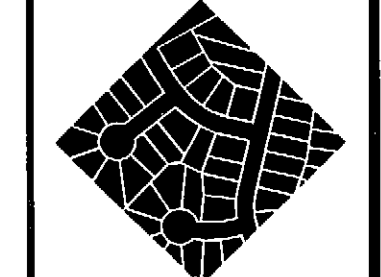
A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
PRELIMINARY PLAT/ FINAL P.D. SITE PLAN



DATE	REVISIONS	DRAWN BY / CHECK BY
6-16-04	REVISED PER TOWN OF CASTLE ROCK	J.E.H.
10/7/03	REVISED PER TOWN OF CASTLE ROCK	J.E.H.
5-06-03	COMPOSITE SUBMITTAL INCLUDING RECREATION CENTER	M.T.C.



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CRYSTAL VALLEY RANCH - FILING NO. 3
PRELIMINARY PLAT/FINAL PD SITE PLAN
LOOP ROAD (WEST) GRADING STA. 0+00 TO 13+00

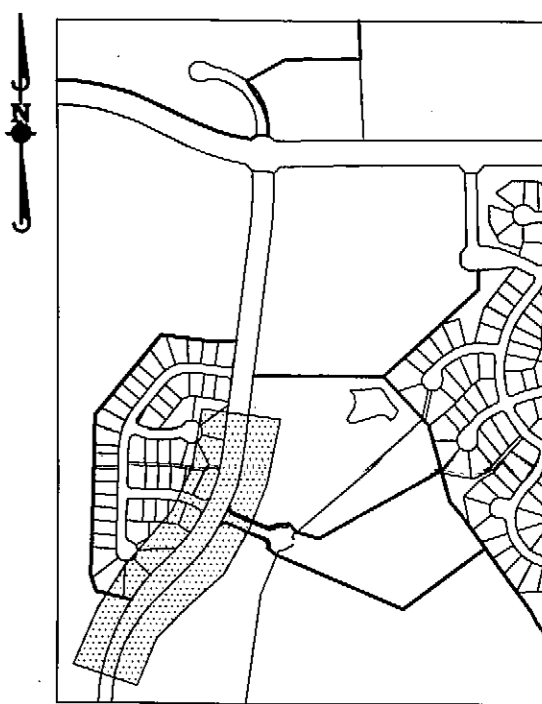
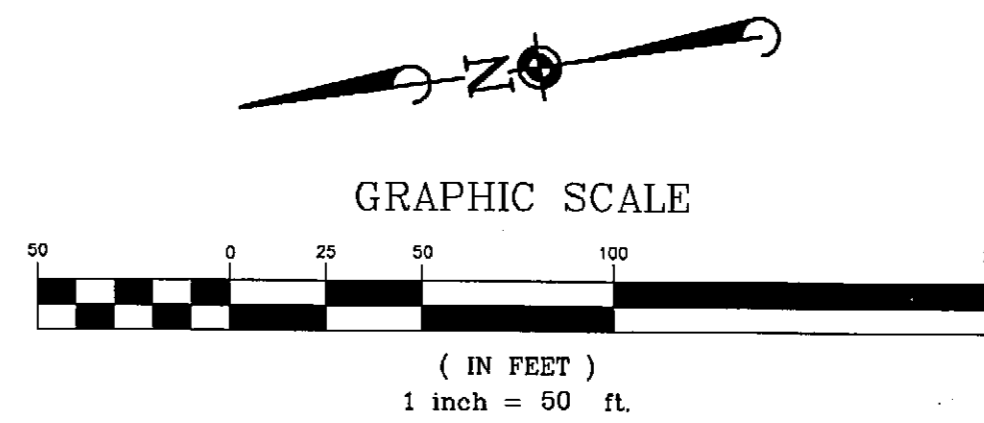
PROJ. MOR. W.G.B.
PROJ. ENG. R.L.T.
DRAWN BY M.A.L.
CHECKED BY W.G.B.
DATE 10-16-02
SCALE 1"=50'
SHEET
9 OF **22**
CVCRCS C295

Jun 24, 2004 - 15:46 Dwg Name: P:\CVCRCS\Draws\Eng\Preliminary Drawings\09.14 LOOP ROAD.dwg Updated By: CSchwartz

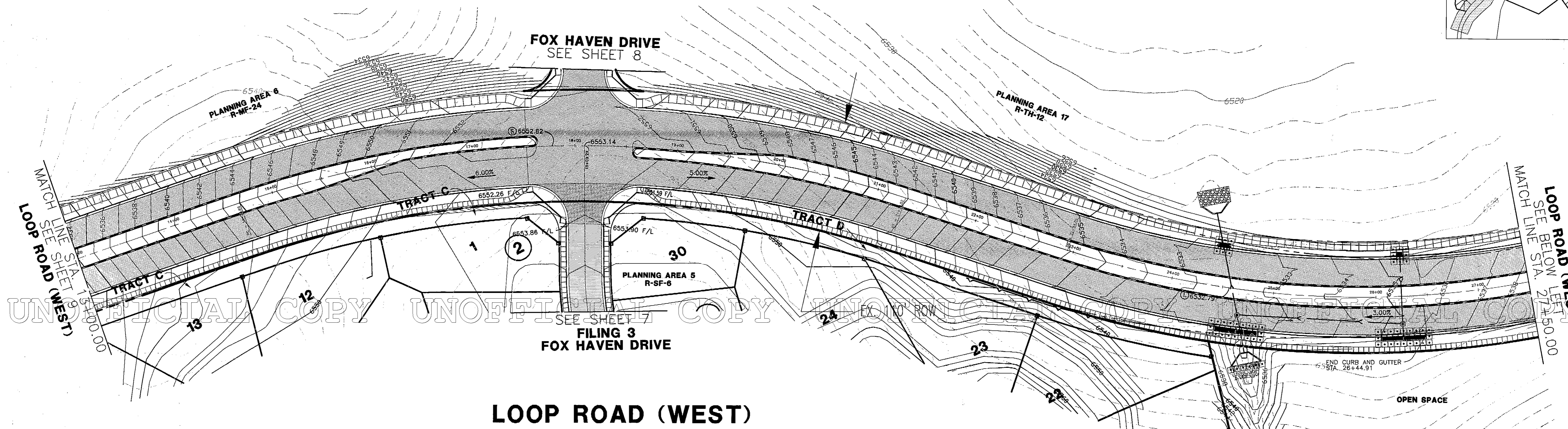
CRYSTAL VALLEY RANCH - FILING NO. 3

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

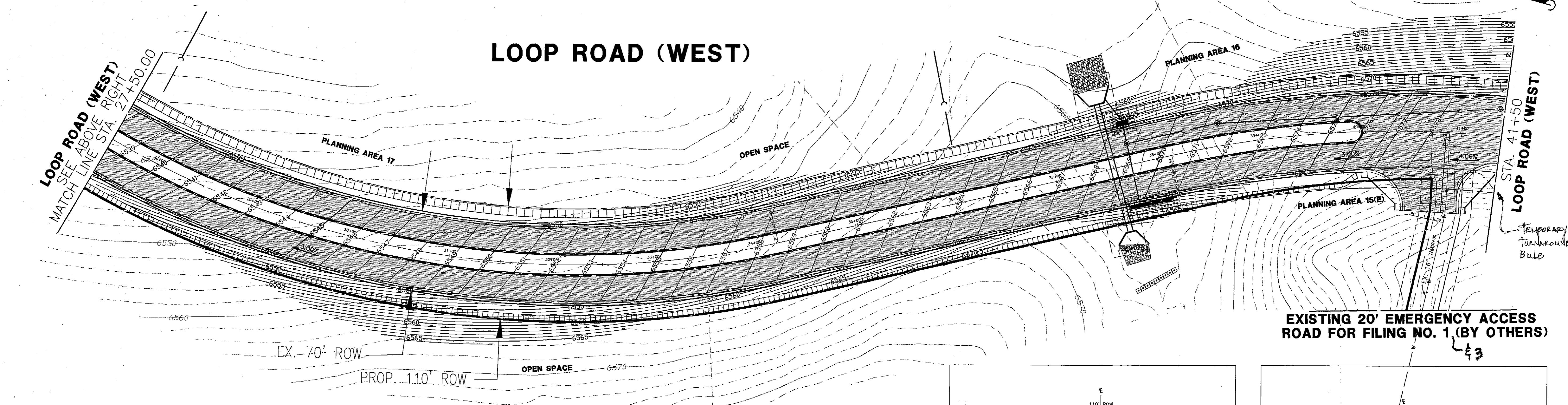
PRELIMINARY PLAT/ FINAL P.D. SITE PLAN



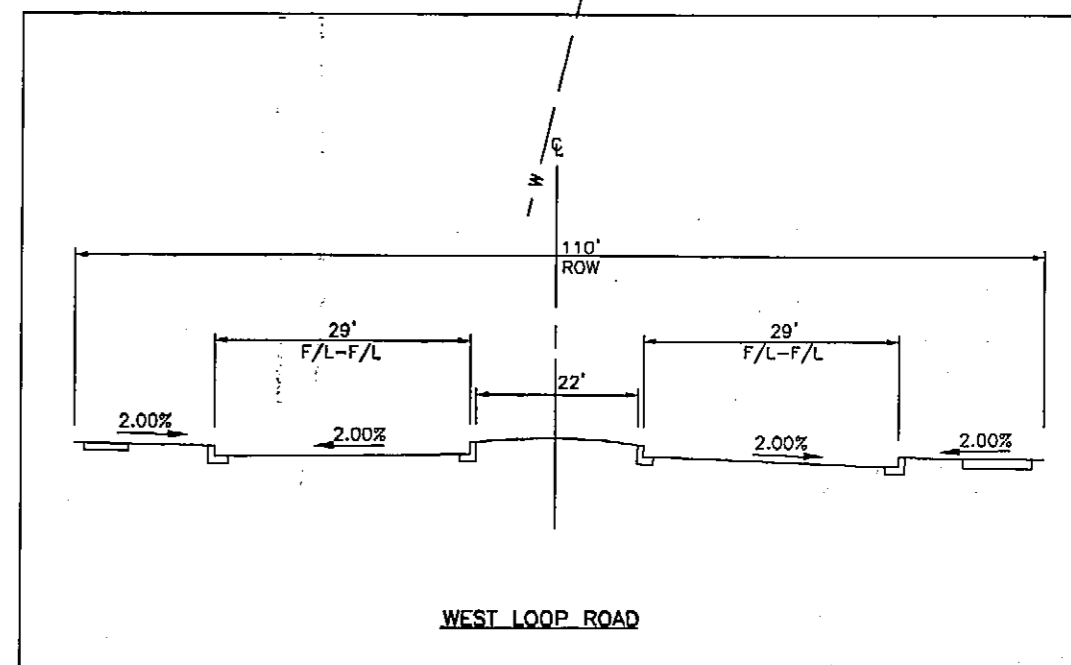
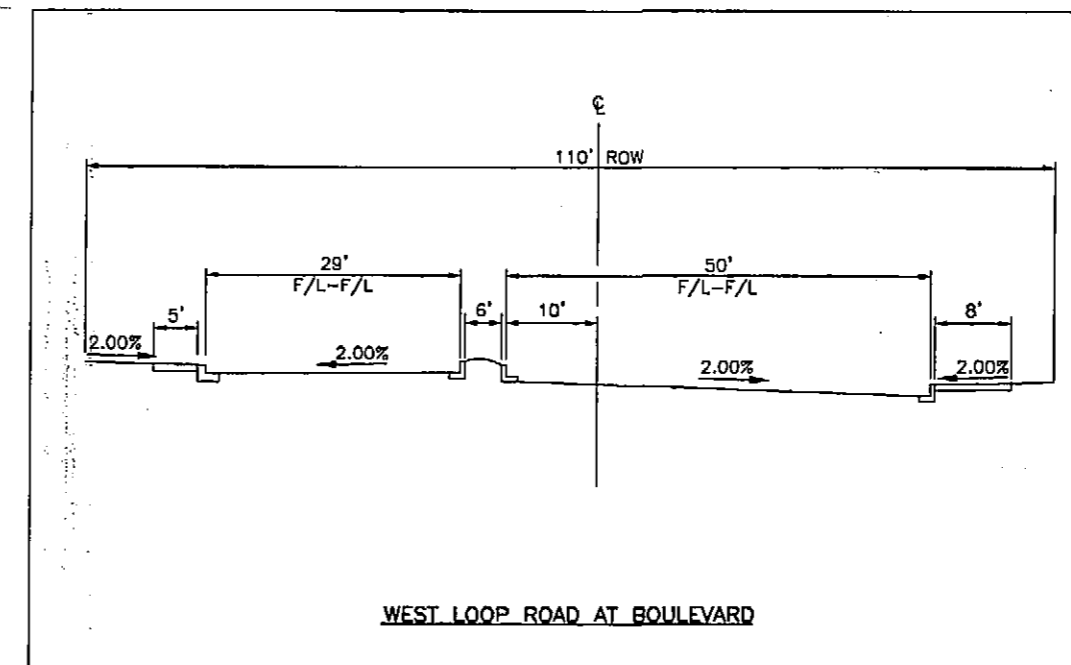
DATE	REVISIONS	DRAWN BY	CHECK BY
6-16-04	REVISED PER TOWN OF CASTLE ROCK	J.E.H.	J.E.H.
7/25/04	REVISED PER TOWN OF CASTLE ROCK	J.E.H.	J.E.H.
9-02-03	COMPOSITE SUBMITTAL INCLUDING RECREATION CENTER	M.L.C.	



LOOP ROAD (WEST)



LOOP ROAD (WEST)



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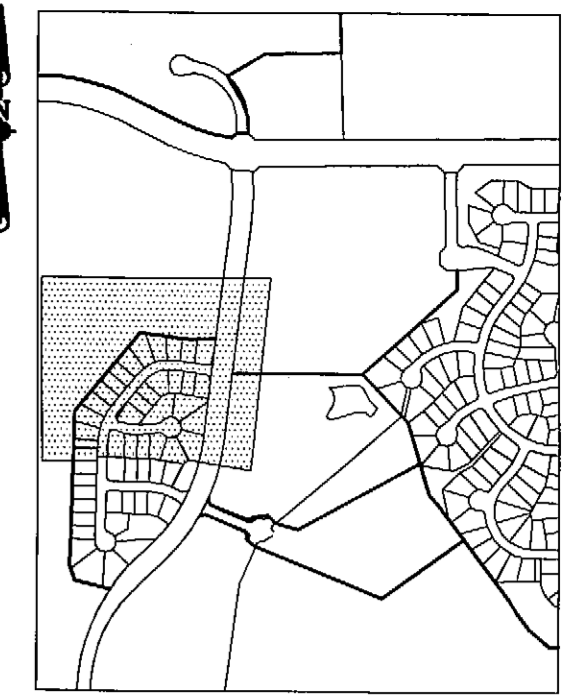
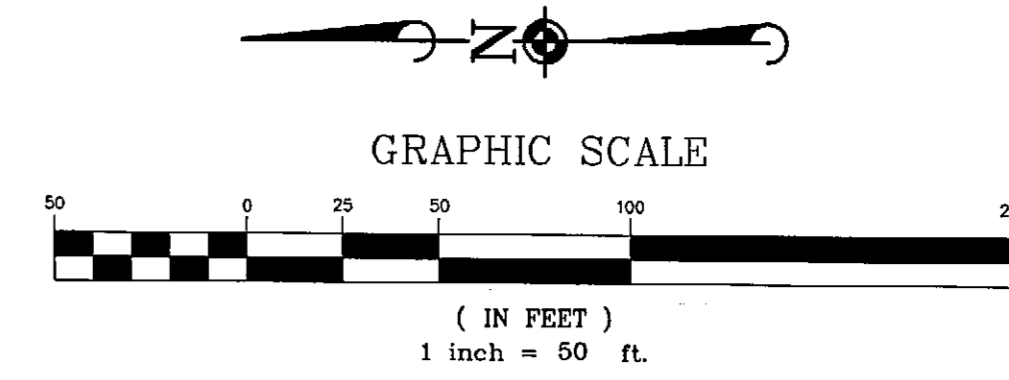
CRYSTAL VALLEY RANCH - FILING NO. 3
PRELIMINARY PLAT/FINAL PD SITE PLAN
LOOP ROAD (WEST) GRADING STA. 13+00 TO 41+50

PROJ. MGR. W.G.B.
PROJ. ENG. R.L.T.
DRAWN BY M.A.L.
CHECKED BY W.G.B.
DATE 10-16-02
SCALE 1"=50'
SHEET
10 OF 22
CVCR5 C295

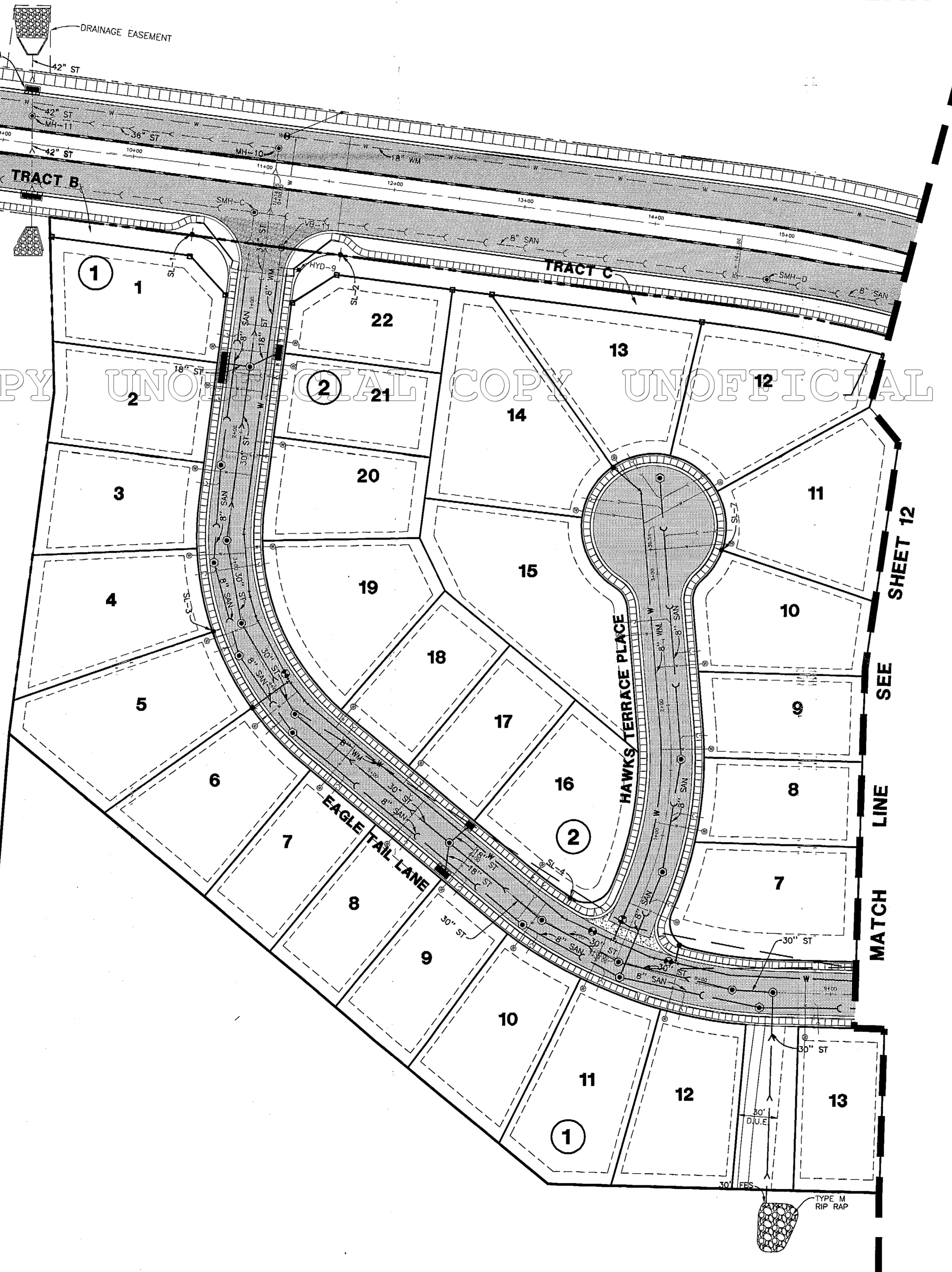
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CRYSTAL VALLEY RANCH - FILING NO. 3

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
PRELIMINARY PLAT/ FINAL P.D. SITE PLAN



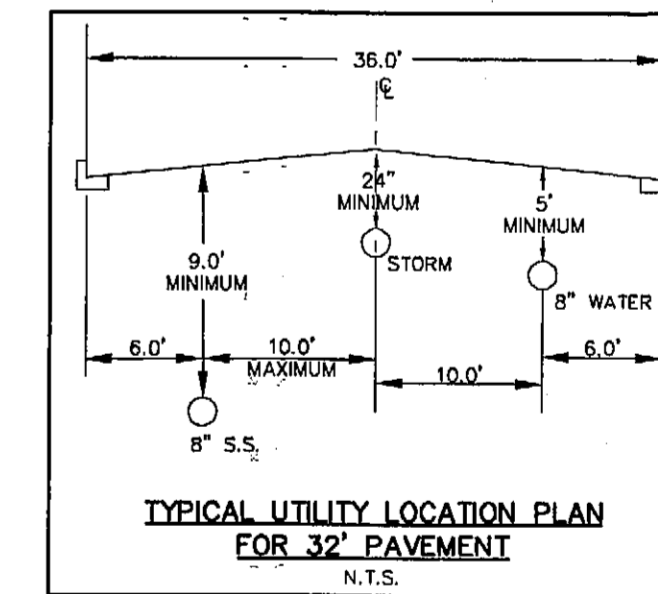
LOOP ROAD (WEST)
SEE SHEET 14



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STANDARD SYMBOLS

EXISTING		PROPOSED
	STORM SEWER	
	PVC STORM SEWER	
	STORM MANHOLE	
	STORM INLET	
	RIP RAP	
	FLARED END SECTION	
	SUMMIT	
	LOW POINT	
	DITCH OR SWALE	
	DIRECTION OF FLOW	
	OVERFLOW RELIEF SWALE	
	1 FOOT CONTOURS	
	CURB AND GUTTER	
	SIDEWALK	
	ACCESSIBLE CURB RAMP	
	PROPERTY LINE	
	GROUND ELEVATION	
	BUSH/TREE LINE	
	DECIDUOUS TREE WITH TRUNK DIA. IN INCHES (TBR)	
	CONIFEROUS TREE WITH HEIGHT IN FEET (TBR)	
	SILT FENCE	
	RETAINING WALL	
	HAY BALES	



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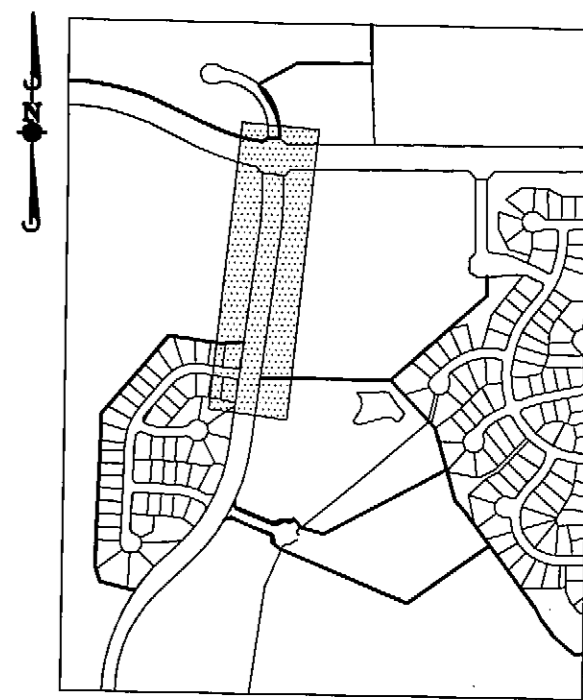
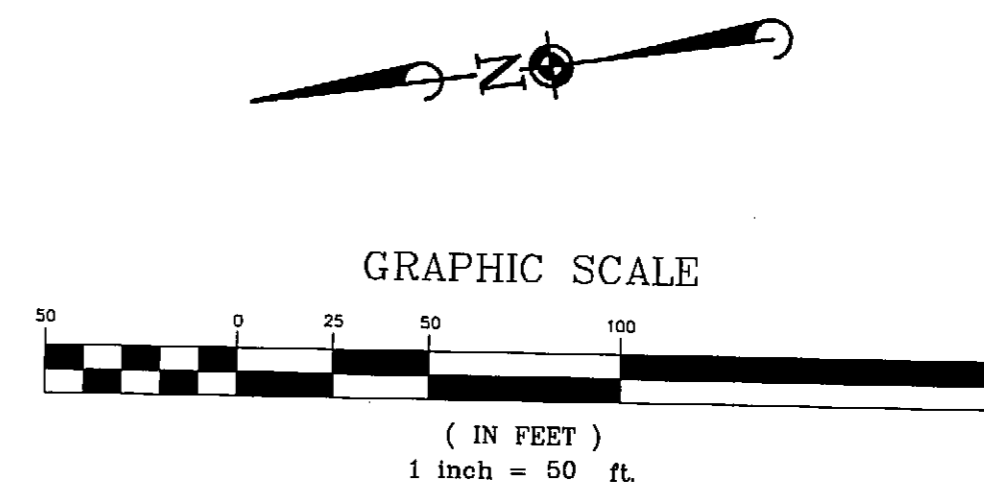
CRYSTAL VALLEY RANCH - FILING NO. 3
PRELIMINARY PLAT/FINAL PD SITE PLAN
UTILITY PLAN - NORTH

PROJ. MGR. W.G.B.
PROJ. ENG. R.L.T.
DRAWN BY D.L.L.
CHECKED BY W.G.B.
DATE 10-16-02
SCALE 1"=50'

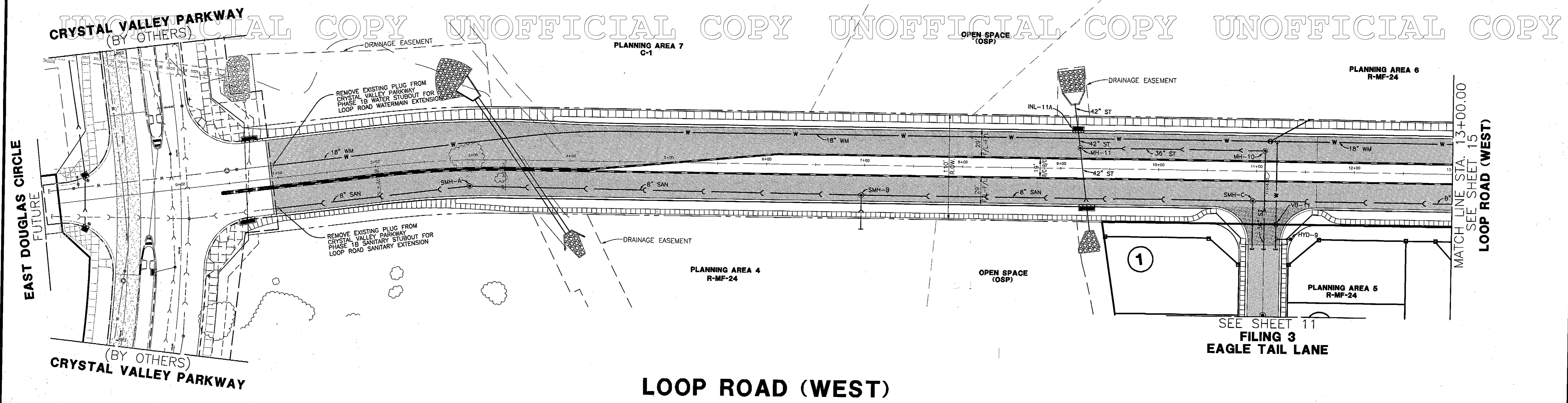
SHEET
11 OF 22
CVCRC5 C295

CRYSTAL VALLEY RANCH - FILING NO. 3

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
PRELIMINARY PLAT/ FINAL P.D. SITE PLAN

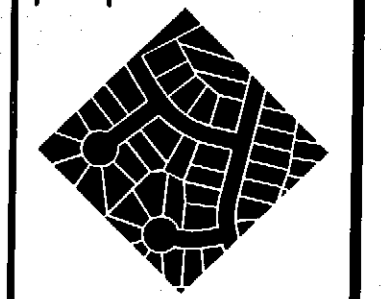


DATE	REVISIONS
6-15-04	REVISED PER TOWN OF CASTLE ROCK
7-05/04	REVISED PER TOWN OF CASTLE ROCK
11-05/04	REVISED PER TOWN OF CASTLE ROCK COMMENTS
5-08-05	COMPOSITE SUBMITTAL INCLUDING RECREATION CENTER



Jun 24, 2004 - 16:29 Dwg Name: P:\CVCRC5\Eng\Preliminary Drawings\09114 LOOP ROAD.dwg Updated By: CSchwartz

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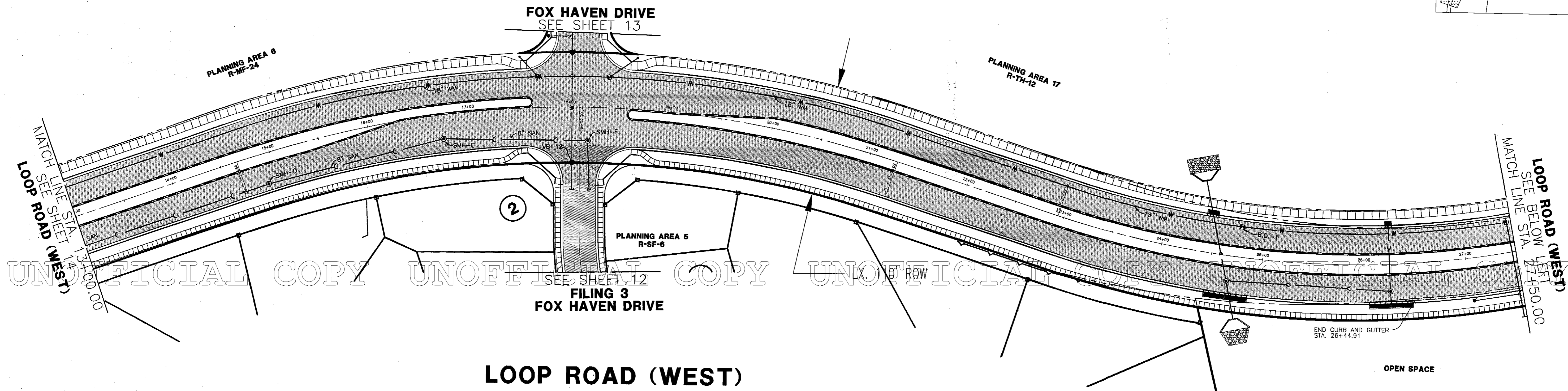
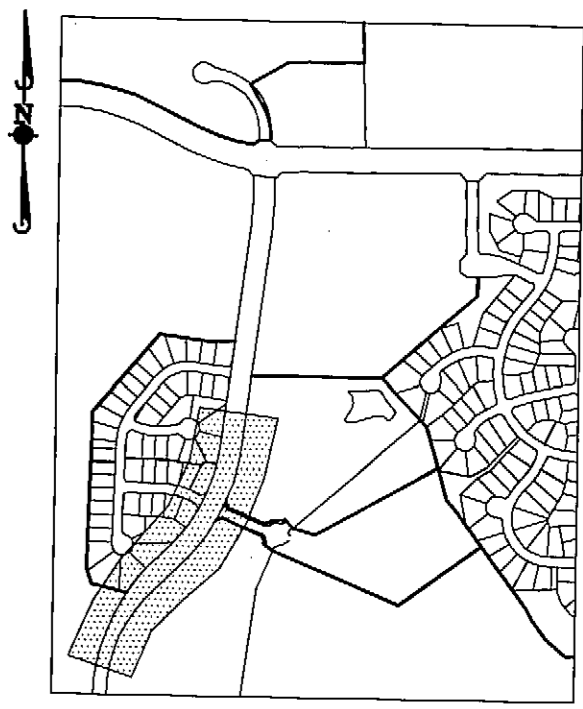
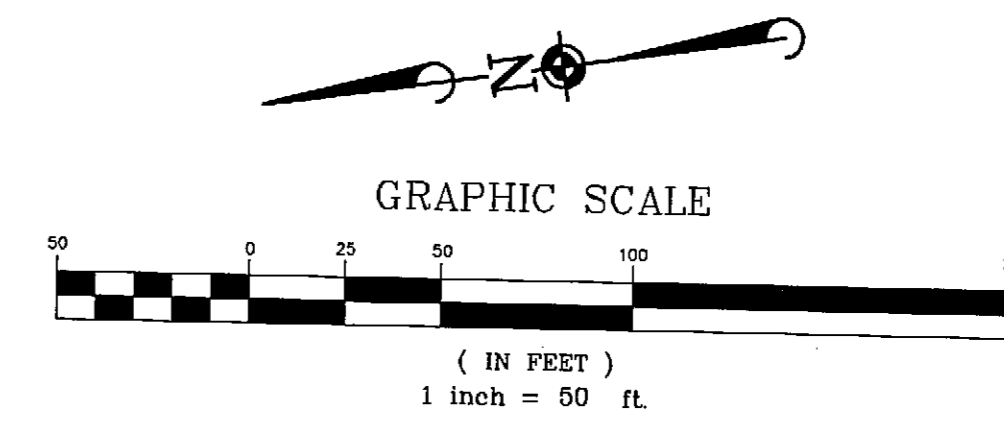
CRYSTAL VALLEY RANCH - FILING NO. 3
PRELIMINARY PLAT/FINAL PD SITE PLAN
LOOP ROAD (WEST) UTILITIES STA. 0+00 TO 13+00

PROJ. MGR.	W.C.B.
PROJ. ENG.	R.L.T.
DRAWN BY	M.A.L.
CHECKED BY	W.C.B.
DATE	10-16-02
SCALE	1" = 50'
SHEET	
14 OF 22	
CVCRC5	C295

CRYSTAL VALLEY RANCH - FILING NO. 3

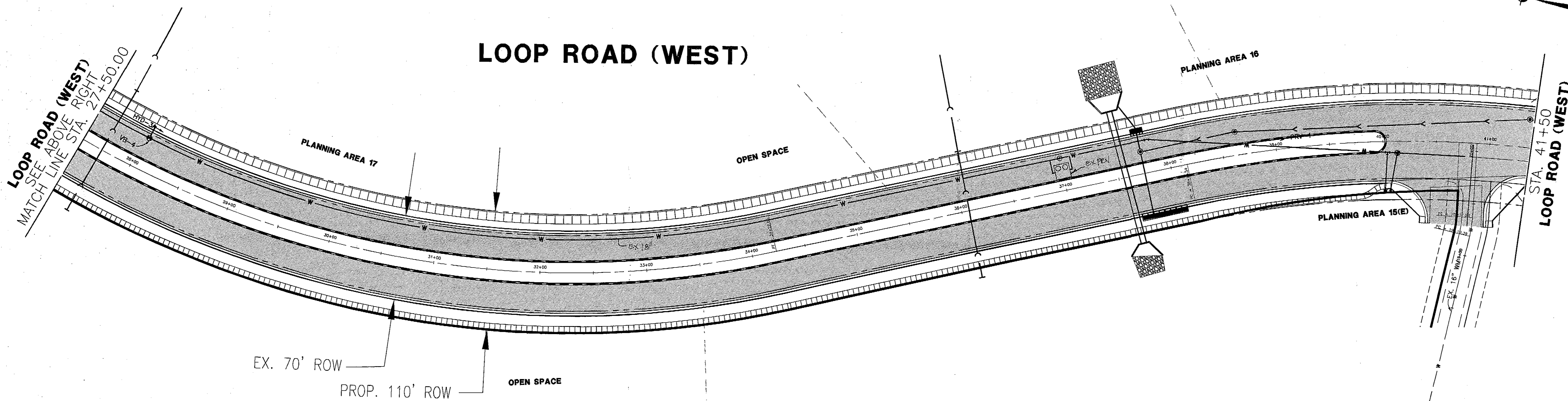
A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT/ FINAL P.D. SITE PLAN



LOOP ROAD (WEST)

LOOP ROAD (WEST)



EX. 70' ROW

PROP. 110' ROW

OPEN SPACE

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CRYSTAL VALLEY RANCH - FILING NO. 3
PRELIMINARY PLAT/FINAL PD SITE PLAN
LOOP ROAD (WEST) UTILITIES STA. 13+00 TO 41+50

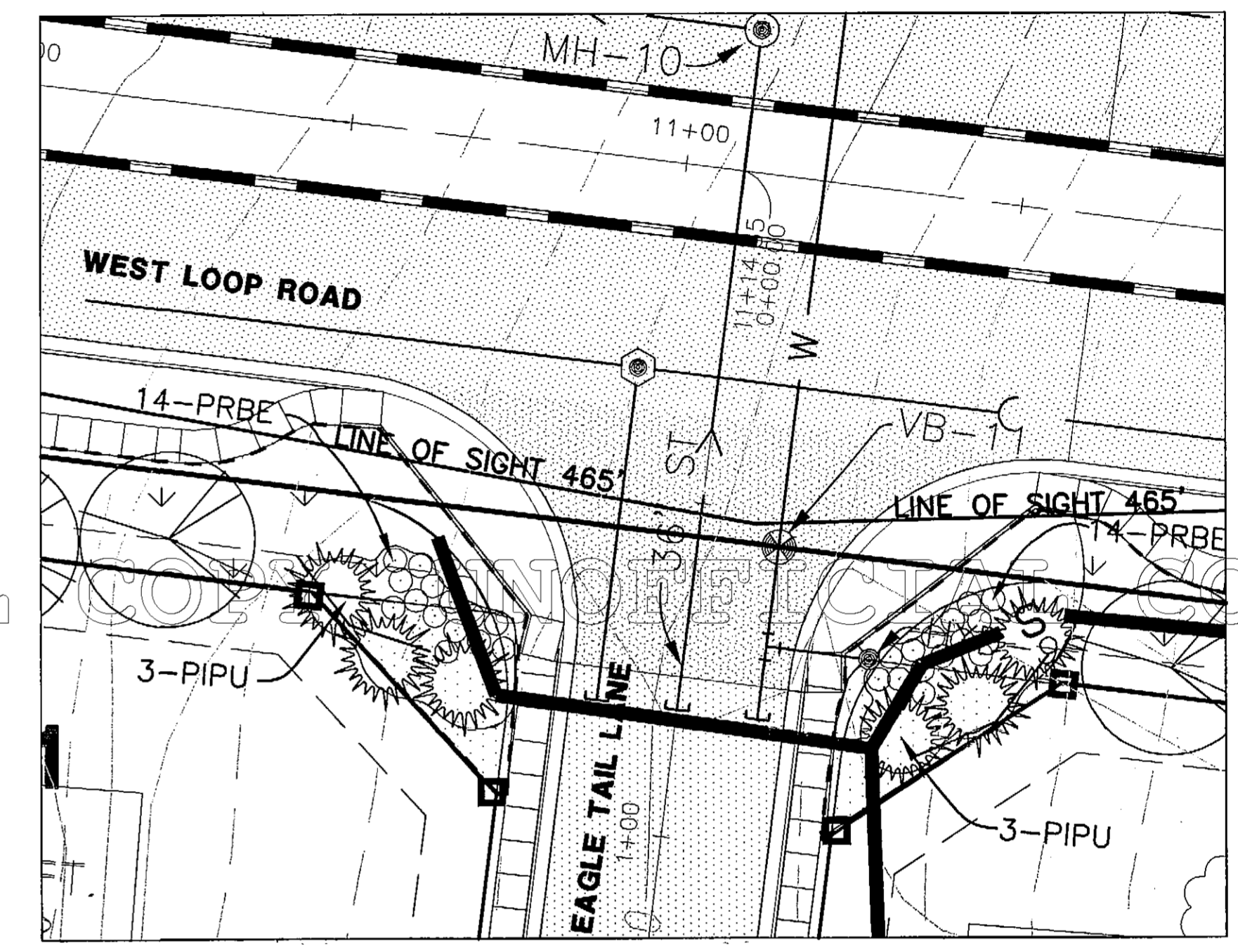
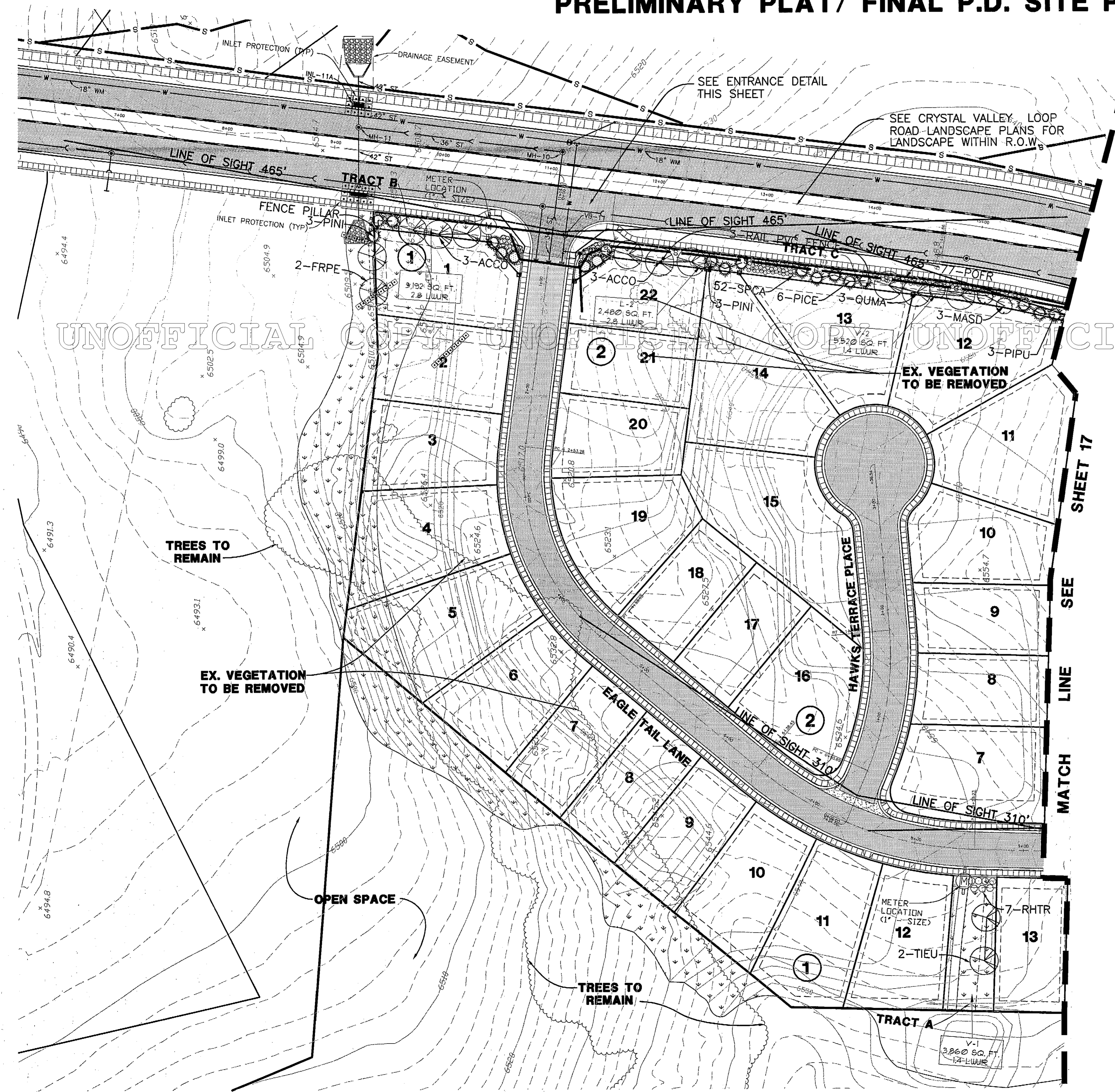
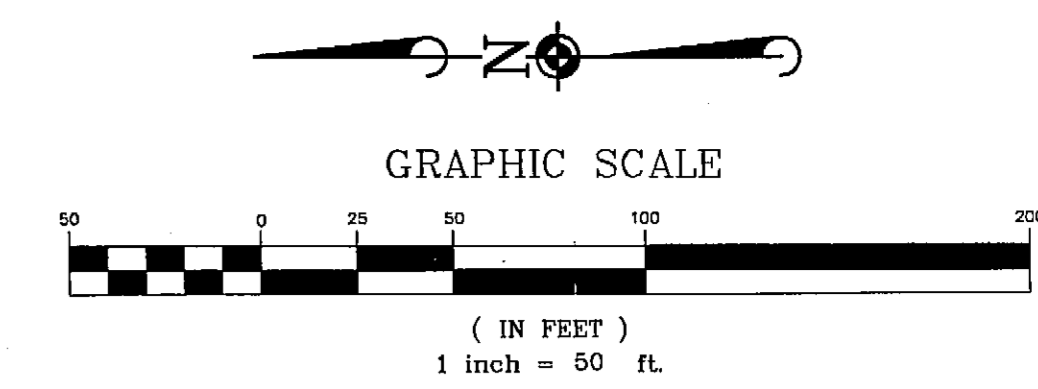
PROJ. MOR.	W.G.B.
PROJ. ENG.	R.L.T.
DRAWN BY	M.A.L.
CHECKED BY	W.G.B.
DATE	10-16-02
SCALE	1"=50'
SHEET	15 OF 22
CVCRC5	C295

Jun 24, 2004 - 16:35 Dwg Name: P:\CVCRC5\dwg\Eng\Preliminary Drawings\10.15 LOOP ROAD_ercrow.dwg Updated By: CSchwarz

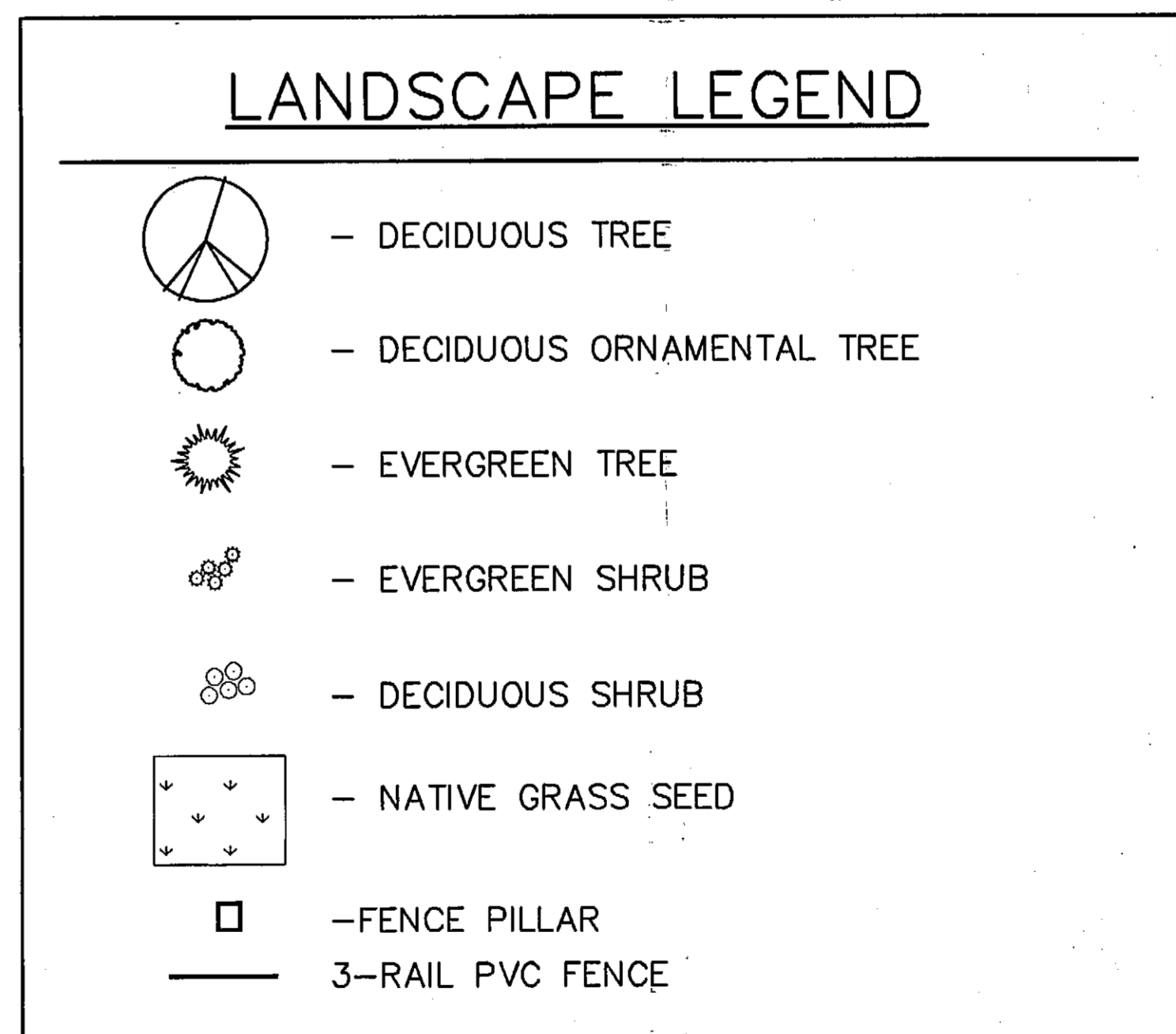
CRYSTAL VALLEY RANCH - FILING NO. 3

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT/ FINAL P.D. SITE PLAN



ENTRANCE DETAIL
SCALE: 1" = 20'



NOTE: SEE PLANT TABLE AND NOTES ON SHEET 18 FOR SPECIES TYPE, SIZE AND PLANTING SPECIFICATIONS.

IRRIGATION NOTE:
TRACT B, C, & D IRRIGATION TO BE TIED INTO LOOP ROAD IRRIGATION SYSTEM. ADD ADDITIONAL IRRIGATION STATIONS AS NECESSARY. IRRIGATED TURF AREAS SHALL BE A MINIMUM OF 10 FEET IN WIDTH.

PLAN PREPARED BY TRENT HART (4133), REGISTERED LANDSCAPE PROFESSIONAL WITH THE TOWN OF CASTLE ROCK, COLORADO.

DATE	REVISIONS
5-09-03	COMPASSIVE SUBMITAL INCLUDING RECREATION CENTER
5-09-03	L.K.B.
8-27-04	REVISED PER TOWN OF CASTLE ROCK
8-27-04	T.M.C.

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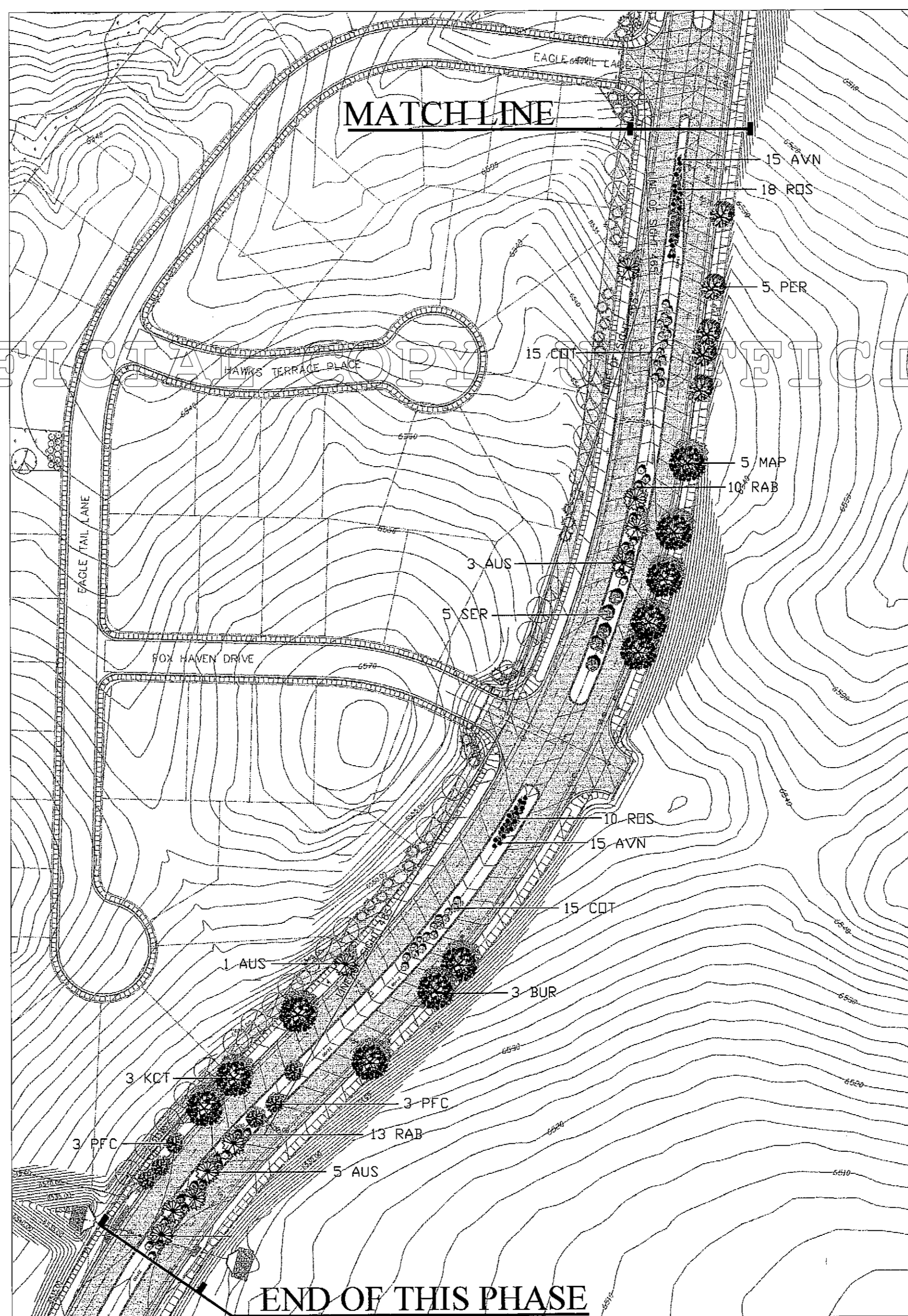
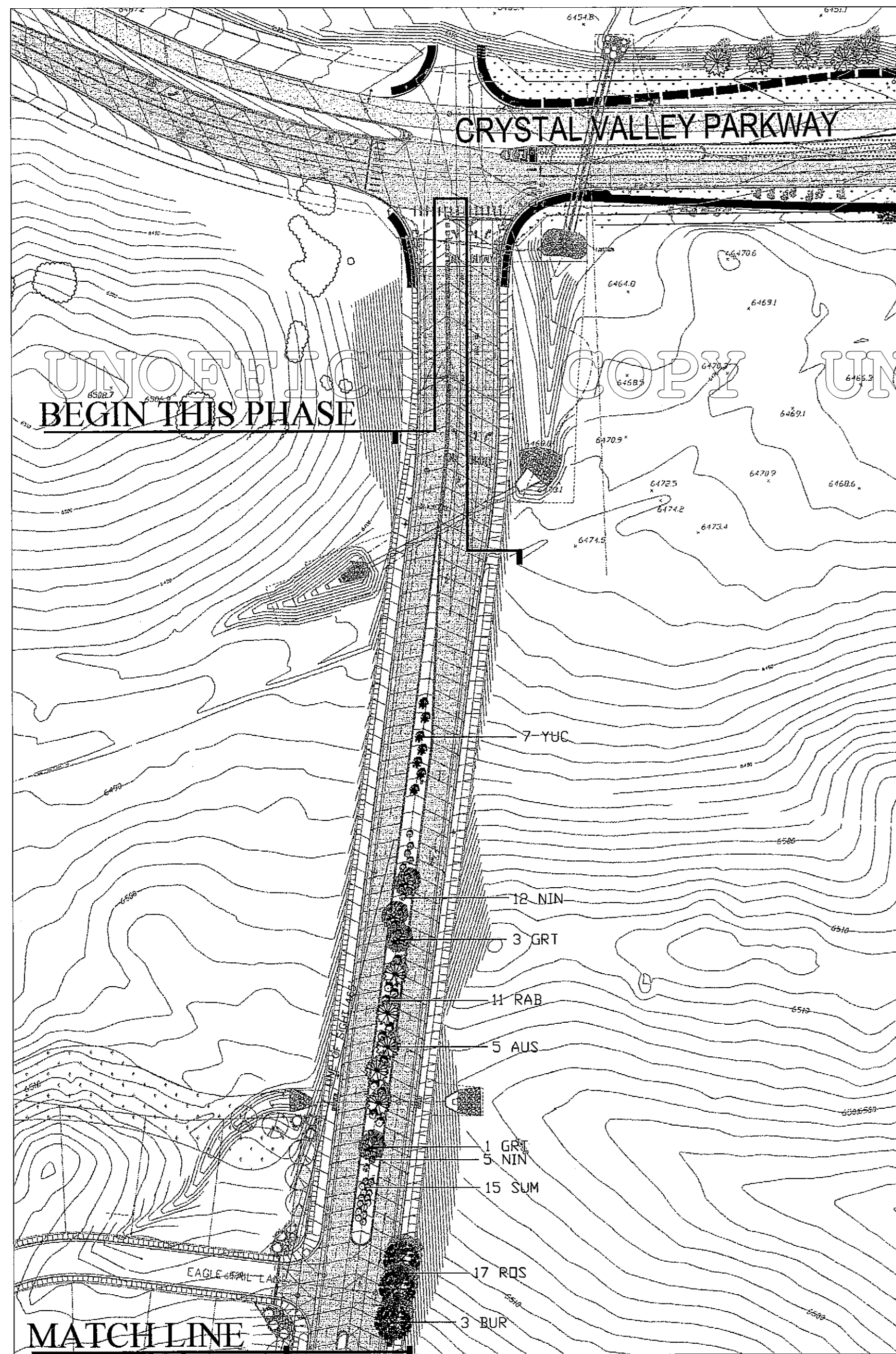
CRYSTAL VALLEY RANCH - FILING NO. 3
PRELIMINARY PLAT/FINAL PD SITE PLAN
LANDSCAPE PLAN - NORTH

PROJ. MGR.	W.G.B.
PROJ. ENG.	R.L.T.
DRAWN BY	M.T.C.
CHECKED BY	T.T.N.
DATE	10-16-02
SCALE	1" = 50'
SHEET	16 OF 22
CVCRCS	C295

Aug 27, 2004 - 13:18 Draw Name: P:\CVCRCS\Draws\Pre\Drawings\16-Landscape Plan North.dwg Updated By: Thirst

CRYSTAL VALLEY RANCH – FILING NO. 3

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
PRELIMINARY PLAT/ FINAL P.D. SITE PLAN



LOOP ROAD PLANT LIST

SYM.	QTY.	CODE	SIZE & COND.	COMMON NAME	BOTANICAL NAME
DECIDUOUS SHADE TREES					
	3	KCT	2-1/2" CAL	KENTUCKY COFFEETREE	GYMNOCLEADUS DIDICUS
	6	BUR	2-1/2" CAL	BUR OAK	QUERCUS MACROCARPA
	5	MAP	2-1/2" CAL	AUTUMN BLAZE MAPLE	ACER FREEMANII
EVERGREEN TREES					
	14	AUS	6' - 8' HT.	AUSTRIAN PINE	PINUS NIGRA
DECIDUOUS ORNAMENTAL TREES					
	5	PER	1-1/2" CAL	CHANTICLEER PEAR	PYRUS CALLERYANA
	4	GRT	1-1/2" CAL	GOLDENRAIN TREE	KOELREUTERIA PANICULATA
	6	PFC	1-1/2" CAL	PRAIRIE FIRE CRABAPPLE	MALUS 'PRAIRIE FIRE'
DECIDUOUS SHRUBS					
	5	SER	# 5 CNT.	SERVICEBERRY 'AUT. BRILLIANCE'	AMELANCHIER GRANDIFLORA
	15	SUM	# 5 CNT.	SUMAC. THREE LEAF	RHUS TRILOBATA
	34	RAB	# 5 CNT.	RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
	45	RDS	# 5 CNT.	ROSE, CAREFREE DELIGHT	ROSA MEIPOTAL
	30	CDT	# 5 CNT.	CORAL BEAUTY COTONEASTER	COTONEASTER DAMMERTI
	17	NIN	# 5 CNT.	DIABLO NINEBARK	PHYSCOCARPUS OPULIFOLIUS
BROADLEAF EVERGREEN					
	7	YUC	# 5 CNT.	BRIGHT EDGE YUCCA	YUCCA FILAMILANTOSA
ORNAMENTAL GRASSES					
	30	AVN	# 1 CNT.	BLUE AVENA GRASS	HELICOTRICHON SEMPERVIRENS

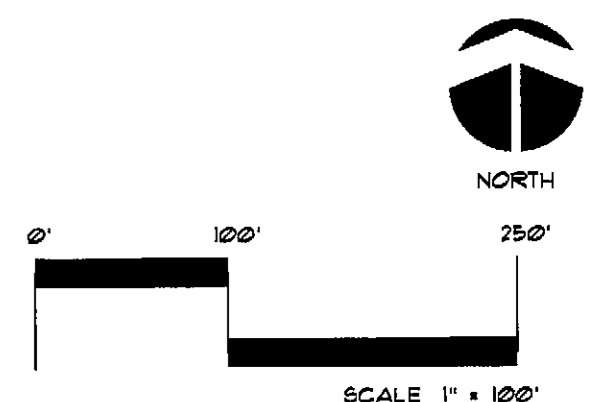
LOOP ROAD SEED MIX

BOULEVARDS BETWEEN SIDEWALKS (ARKANSAS VALLEY 'LOW GRDW MIX')			CENTER MEDIAN ISLANDS (ARKANSAS VALLEY 'MULTI-COLOR HIGH ALTITUDE MIX')		
SPECIES	% MIX	LB'S/AC	SPECIES	% MIX	LB'S/AC
EPHRAIM CRESTED WHEATGRASS	30 %	12.0	EPHRAIM CRESTED WHEATGRASS	30 %	12.0
DWARF PERENNIAL RYEGRASS	25 %	10.0	DWARF PERENNIAL RYEGRASS	20 %	8.0
SR3200 BLUE FESCUE	20 %	8.0	SR3200 BLUE FESCUE	20 %	8.0
REUBENS CANADA BLUEGRASS	15 %	6.0	REUBENS CANADA BLUEGRASS	15 %	6.0
CHEWINGS FESCUE	10 %	4.0	CHEWINGS FESCUE	10 %	4.0
TOTAL	100 %	40 LBS / AC	WILDFLOWERS (ANNUALS AND PERENNIALS)	5 %	2.0
			TOTAL	100 %	40 LBS / AC

LOOP ROAD LANDSCAPE QUANTITIES

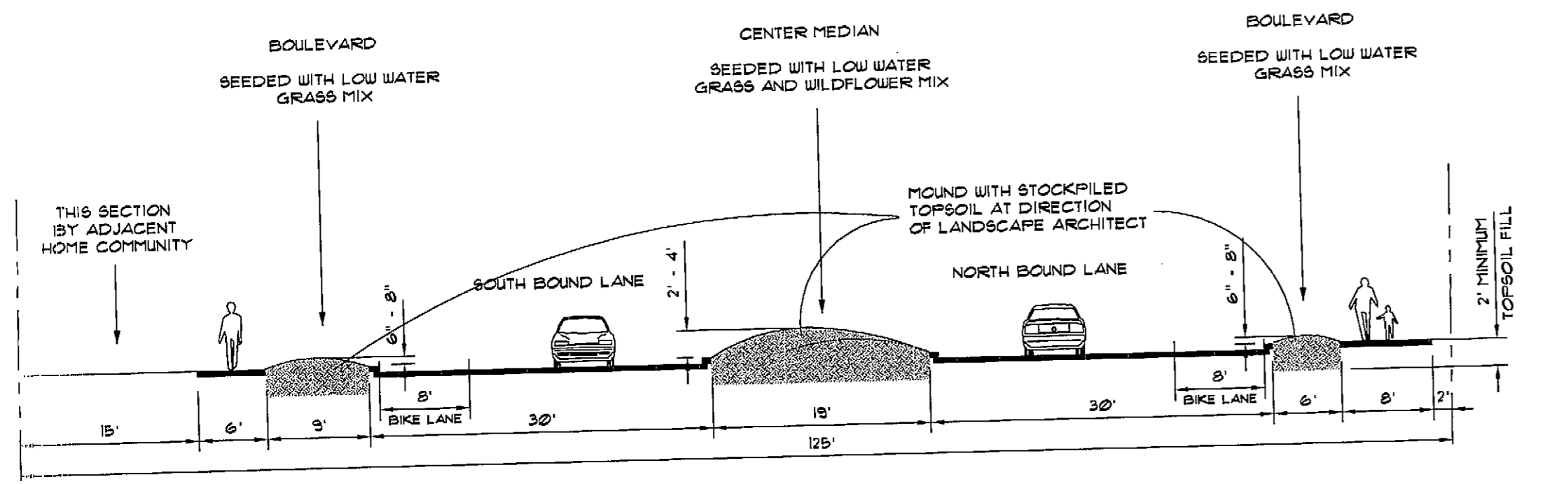
BOULEVARDS BETWEEN SIDEWALKS	30,500 SF	.7 AC
CENTER MEDIAN ISLANDS	32,400 SF	.7 AC
TOTAL	62,900 SF	1.4 AC

LOOP ROAD PLANTING PLAN



CRYSTAL VALLEY RANCH - FILING NO. 3

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
PRELIMINARY PLAT/ FINAL P.D. SITE PLAN

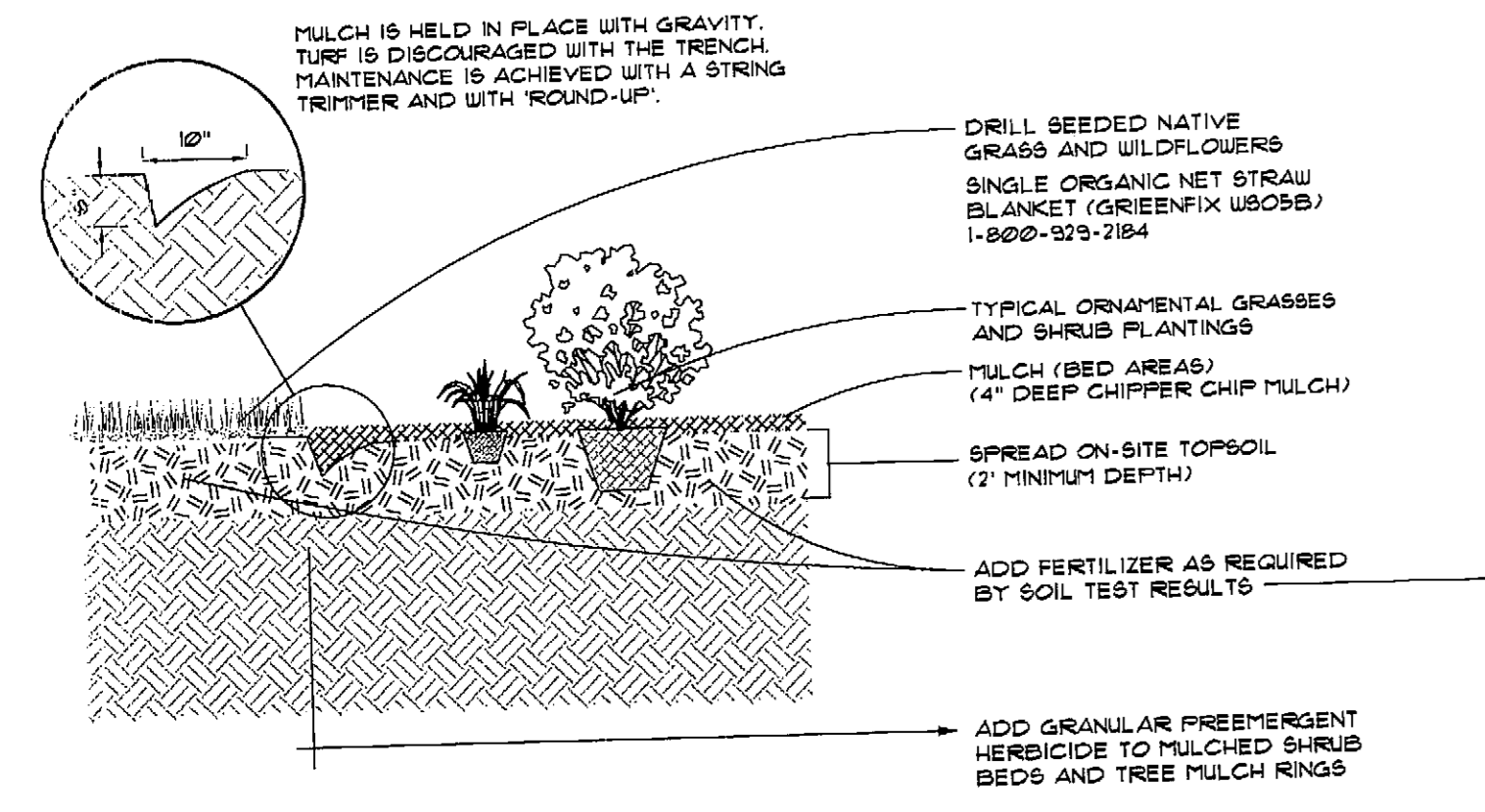


TYPICAL LOOP ROAD CROSS-SECTION

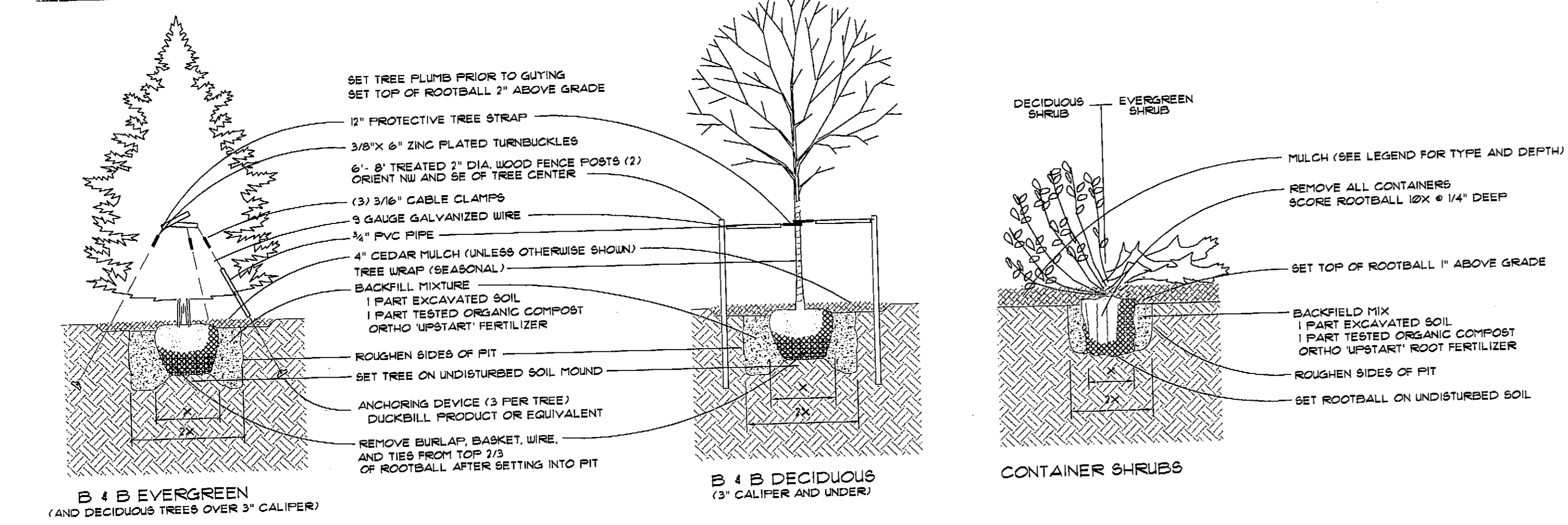
UNOFFICIAL COPY

LABORATORY RESULTS		SAMPLE		RESULT		LOW		AVE		HIGH	
FIELD TEXTURE (EST)	OH (BITS)	SANDY LOAM	6.7	*****	*****	*****	*****	*****	*****	*****	*****
SALTS (MMHOS/CM)	CEC EST. (MEQ/100G)	1.05	*****	*****	*****	*****	*****	*****	*****	*****	*****
LIME (QUAL)	ORGANIC MATTER (%)	1.5	*****	*****	*****	*****	*****	*****	*****	*****	*****
ORGANIC N (LBS/ACRE)	ORGANIC P (LBS/ACRE)	48.8	*****	*****	*****	*****	*****	*****	*****	*****	*****
SODIUM (MEQ/100G SOIL)	AVAIL. NUTRIENTS (PPM)	0.31	*****	*****	*****	*****	*****	*****	*****	*****	*****
	NITRATE-N	4.6	*****	*****	*****	*****	*****	*****	*****	*****	*****
	PHOSPHORUS (PPM)	18.7	*****	*****	*****	*****	*****	*****	*****	*****	*****
	POTASSIUM	196.4	*****	*****	*****	*****	*****	*****	*****	*****	*****
	CALCIUM	217.2	*****	*****	*****	*****	*****	*****	*****	*****	*****
	MAGNESIUM	40.1	*****	*****	*****	*****	*****	*****	*****	*****	*****
	SULFUR	0.3	*****	*****	*****	*****	*****	*****	*****	*****	*****
	BORON	1.1	*****	*****	*****	*****	*****	*****	*****	*****	*****
	ZINC	14.0	*****	*****	*****	*****	*****	*****	*****	*****	*****
	IRON	9.3	*****	*****	*****	*****	*****	*****	*****	*****	*****
	MANGANESE	0.5	*****	*****	*****	*****	*****	*****	*****	*****	*****
	COPPER	0.5	*****	*****	*****	*****	*****	*****	*****	*****	*****

NOTE: AVERAGE VALUES ARE FOR COLORADO SOILS



TRENCH EDGER, SHRUB BEDS AND SOIL NUTRIENTS



PLANTING DETAILS

NATIVE GRASS AND WILDFLOWER SEEDING SPECIFICATIONS

- PART 1 GENERAL**
- 1.01 WORK INCLUDED
Work shall include all labor, materials and equipment to place topsoil and to install seed in accordance with the plan and as herein specified. The work shall comply with the requirements of all legally constituted authorities having jurisdiction.
- 1.02 QUALITY ASSURANCE
- A. Requirements, work shall be performed in accordance with the best standards of practice relating to the various trades and under the continuous supervision of a competent foreman capable of interpreting Drawings and Specifications. The Contractor shall notify the Project Manager as soon as any conditions or discrepancies are discovered.
- B. Coordination. Coordinate work of this section with site work, plumbing, paving, landscaping and other trades and schedule in a manner to avoid damage to seeded areas.
- C. Explanation of Drawings
1. It is intended that the Drawings and Specifications specify an efficient and complete seeding installation meeting the Project Manager's approval without further cost to the Owner.
2. All scaled drawings are approximate. Before beginning any phase of work, the Contractor shall check and verify all pertinent dimensions and scales on the Drawings and shall notify the Project Manager of any significant discrepancies.
3. All work specified on the Drawings by notes or details shall be furnished and installed whether or not specifically mentioned in the Specifications.
4. Omissions from the Specifications or Drawings, or any misdescriptions of details or work which are absolutely necessary to carry out the intentions of the Drawings and these Specifications shall not relieve the Contractor from performing such omitted details of work, but they shall be executed as if fully set forth and described in the Specifications and Drawings at the Contractor's expense.
- 1.03 PRODUCT DELIVERY, STORAGE AND HANDLING
- All seed shall be clearly labeled with seed tags which shall be saved and delivered to the Owner as proof of species, percentages of mix and rate of application. Storage shall be dry and well ventilated. Damaged seed shall be replaced prior to installation.
- 1.04 JOB CONDITIONS
- The Contractor shall coordinate seeding work with other trades to avoid damages or conflicts. Before starting work, the Contractor shall inspect the site and check all grades to satisfy himself that they may safely proceed. In the event of damage, the Contractor shall repair or replace seeded areas to the satisfaction of the Owner at no additional cost.
- 1.05 WARRANTY
- The seed shall be guaranteed from the time of seeding to the date of Final Acceptance, or one growing season, whichever is longer. A growing season is defined as May through September. If seed is installed in the fall, evidence of germination and establishment will not be evident until the summer of the following year, which will constitute one growing season.
- 1.06 MAINTENANCE
- The seeded areas is under the control of the Contractor who shall make all adjustments and repairs until the site is under the control of the Owner. Prior to turnover, the Contractor shall correct any defects without expense to the Owner.
- Vandalism and Acts of God are not considered unusual, and are therefore the Contractor's risk. Any settling of disturbed earth, which may occur during the warranty period, shall be repaired without expense to the Owner, including complete restoration of all damaged property.
- PART 2 PRODUCTS**
- 2.01 MATERIALS
1. Topsoil stockpiled from on-site scrapings shall be defined as having organic matter mixed with the top layer of soil. Debris including limbs, rocks greater than 2" in average size, and other materials will not be acceptable.
2. Seed shall be Arkansas Valley Seed or approved equivalent, located at 4333 Hwy. 66, Longmont, Colorado (970-535-4481).
3. Seed Mix shall be as specified on the drawings. Provide proof of seed type, quality and source to the Project Manager prior to commencing seeding operations.
4. Erosion blanket shall be Greenflex WBO5B, single organic net straw, or approved equivalent.
- PART 3 EXECUTION**
- 3.01 IMPLEMENTATION AND SCHEDULING
1. The seeding work shall be scheduled by the Contractor in such a way that the completed seed installation shall not be damaged by other or be unnecessary to the extent of undue generation during the remaining growing season. Multiple seedings may be necessary to protect open ground during the construction process. Erosion caused by open ground shall not be considered Acts of God or unusual circumstances. The Contractor has an obligation to protect the site from wind and water erosion throughout the course of construction and to deliver to the Owner semi-established vegetation. If supplemental watering is considered necessary, that shall not be considered an extra cost to the Owner due to normally dry conditions in the foothills of Colorado.
2. Topsoil spreading is critical to re-establishing native vegetation among the grasses and shrubs will regenerate, providing a seamless integration of plant species. Spread topsoil uniformly over all areas to be revegetated. Incorporate into the top compacted finished grades by plowing, rototilling and/or harrowing. Do not layer the soil that will cause slippage.
3. Seed shall be installed by drill (brillion or equivalent) wherever possible. Where conditions prohibit drilling, broadcasting and raking and/or hydroseeding may be used. Discuss methods and equipment at the pre-construction meeting.
4. Erosion blankets shall be installed over all seeded areas regardless of slope. This is to protect the seed bed from wind and water erosion, and to maintain a clean, finished appearance during seed germination and establishment. Install in strict conformance with manufacturer's recommendations for staking and trenching. Failure in proper anchoring will result in replacement.
- 3.02 INSPECTIONS
- The Contractor shall arrange a meeting with the Project Manager prior to commencing work, at which time the Contractor shall be informed of the specific instructions required and the method of calling for such inspections as the individual work is completed.
- 3.03 PROTECTION AND REPAIRS
1. It shall be the responsibility of the Contractor to protect and preserve all existing and new plant materials, structures, etc., from damage during seed installation. Repair or replace damaged items to the satisfaction of the Project Manager.
2. All seeding under trees or shrubbery shall be done by hand or other methods in order to minimize damage to root systems. All drilling shall be no less than six feet (6') from the trunk of any tree, unless approved in writing by the Project Manager.
3. Lawn area damage shall be kept to a minimum. Any damage due to access or construction activity shall be repaired and paid for by the Contractor.
- 3.04 CLEAN UP
- Perform clean up as a continuous operation throughout the duration of the work, including vehicle tracking and litter.
- 3.05 MAINTENANCE
- It shall be the responsibility of the Contractor to maintain all seeded areas up to Final Acceptance. Thereafter, maintenance shall be the responsibility of the Owner.
- 3.06 FINAL INSPECTION AND ACCEPTANCE
- Acceptance of the seed installation will be determined at final completion of the overall project, or at the end of the warranty period, whichever is longer. Partial acceptance will not be considered due to possible damages to the seeded area by others beyond the control of the Owner.

PLANTING SPECIFICATIONS

- PART 1 GENERAL**
- 1.01 Description of Work
- A. The extent of landscaping work is shown on the Drawings and includes plants, soil preparation, fertilizing and mulching.
- 1.02 Quality Assurance
- A. ANSI Z60.1 requirements for measurements, grading, branching, quality and the baling and wrapping of plants of the American Association of Nurserymen, Inc.
- B. Quality of Materials. Plant materials shall be available for inspection at their source and at the site and may be rejected if, in the Landscape Architect's opinion, they fail to meet specified quality or appearance. The Contractor shall remove rejected material promptly from the site.
- C. Plants shall have a habit of growth that is normal for the species. They shall be healthy, vigorous and free from insect pests, plant diseases and injuries. All plant materials shall be inspected stock conforming to State and Federal regulations.
- 1.03 Submittals
- A. Certification of Inspection. Upon request, submit copies of invoices for materials with State, Federal, or other inspection certificates, showing source of origin.
- B. Planting Schedule. Planting shall occur when weather and soil conditions are favorable as determined by the Landscape Architect. Do not compromise the warranty by planting in unfavorable conditions.
- C. Material Samples. Organic material, wood mulch, landscaping rock and topsoil samples, including any required analysis, shall be submitted to the Landscape Architect for approval.
- E. Warranty. Furnish written warranty for all new plant materials for a period of two (2) calendar years following the date of Final Acceptance. Warranty does not apply to existing plants or plants that were vandalized, plants that were damaged by Acts of God, or other conditions beyond the control of the Contractor. If plants lose their shape due to die back, a warranty claim may be made, even though the plant may be alive. The intent of the warranty is to insure the Owner that live, healthy plants were installed at the time of construction.
- 1.04 Product Delivery, Storage & Handling
- A. Delivery Schedule. Notify the Landscape Architect of delivery schedule not less than twenty-four (24) working hours in advance of delivery of each type of material.
- B. Packaged Materials. Deliver fertilizer to the site in unopened, original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer which becomes caked or otherwise damaged, making it unavailable for use, shall not be used.
- C. Plant Materials. Containerize plant materials with limbs bound and properly wrapped and prepare them for shipping in accordance with recognized standard practices. Keep root systems moist and protected from adverse conditions due to climate and transportation between the time they are dug and actual planting.
- D. Identify each plant with grower's label affixed to the plant.
- E. Plants to be transported to the site in open vehicles shall be covered with tarpaulins or other suitable covers securely fastened to the vehicle to prevent injury to the plants. Do not remove plants from refrigerated trucks into hot weather without allowing time for plants to adjust to heat.
- F. Handling. Do not drop plants. Do not lift plants by the trunk, stems, or foliage. Handle plants by the ball or the container. Reject balled plants if the ball is broken. Damaged roots shall be pruned before planting. Major damage shall be cause for rejection as determined by the Landscape Architect.
- 1.05 Job Conditions
- A. Install trees, shrubs and groundcover plants after final grades are established.
- B. Utilities. Determine location of underground utilities and perform work in a manner which will avoid possible damage. Do not permit heavy equipment such as trucks, rollers or bulldozers to damage utilities. Hand excavate, as required, to minimize the possibility of damage to underground utilities.
- C. Any damage to underground piping or wiring must be corrected and repaired by the Contractor to the satisfaction of the utility company.
- D. Damage to Other Improvements. All costs for repair or replacement of any damage to other works done on-site or adjacent properties by installation of plant material shall be borne by the Landscape Architect.
- E. Existing grades, paving, vegetation, irrigation and other improvements damaged during planting shall be restored at the Contractor's expense.
- PART 2 PRODUCTS**
- 2.01 Mulch
- A. Mulch for planting beds and plant pits shall be free of foreign soil, stones, sticks, debris, or other matter. A sample shall be delivered to the Landscape Architect for approval at least twenty-four (24) hours prior to delivery to the site.
- 2.02 Water
- A. Water shall be supplied and paid for by the Owner. Distribution of the water from the Owner's source for all operations, including maintenance shall be the responsibility of the Contractor. Failure of the irrigation system shall not relieve the Contractor from applying the water necessary to irrigate the plantings. The Contractor shall supply all water required for new plantings prior to Owner's activation of irrigation system in the spring.
- 2.03 Organic Material
- A. Organic material for planting shall be dry, well-rotted compost. Acceptable organic material shall be equivalent to A-1 Premium Compost. The organic material shall have an acidity in the range of pH 5.5 to 6.5, shall not exceed 5% moisture salt content, and shall have a 30% or greater organic content. The mixture shall be free from clay, silt, stones, lumps, plants and their roots, sticks, weed stems and seeds. High salt content and other materials harmful to plant life. Verification of source and test results from an approved soil testing laboratory may be required prior to delivery.
- 2.04 Topsoil
- A. Topsoil shall be defined as the top layer of on-site soil which had been previously turned or pastured. This soil shall be carefully scraped and stockpiled in a location that will minimize contamination to the soil or cause erosion.
- 2.05 Mountain Peat
- A. Peat shall be of standard commercial quality delivered to the site in a workable, air dry condition in bags or other convenient containers. It shall be composed of not less than sixty (60%) decomposed organic material by weight, have a Ph from four to six percent (4 - 6%), a moisture content of from 11 to 13 percent.
- PART 3 EXECUTION**
- 3.01 Installation of Plant Materials
- A. Location Staking. Mark plant material locations prior to excavation for approval.
- B. Excavation, plant placement, backfilling, fertilizing and mulching - See Detailed Drawings.
- 3.02 Pruning
- A. After planting, all plant materials shall be neatly pruned in accordance with the Maintenance Specifications. All pruning must be supervised by the Landscape Architect or Owner.
- 3.03 Landscape Maintenance/Establishment
- A. The installing Contractor shall maintain all plant material from installation to Turn Over, which includes a minimum of 30 days of maintenance prior to Final Acceptance.
- 3.04 Cleanup, Protection & Repairs
- A. Throughout the entire operation of planting, the Landscape Contractor will be responsible for keeping the site clean and neat, including collecting debris on adjacent property.

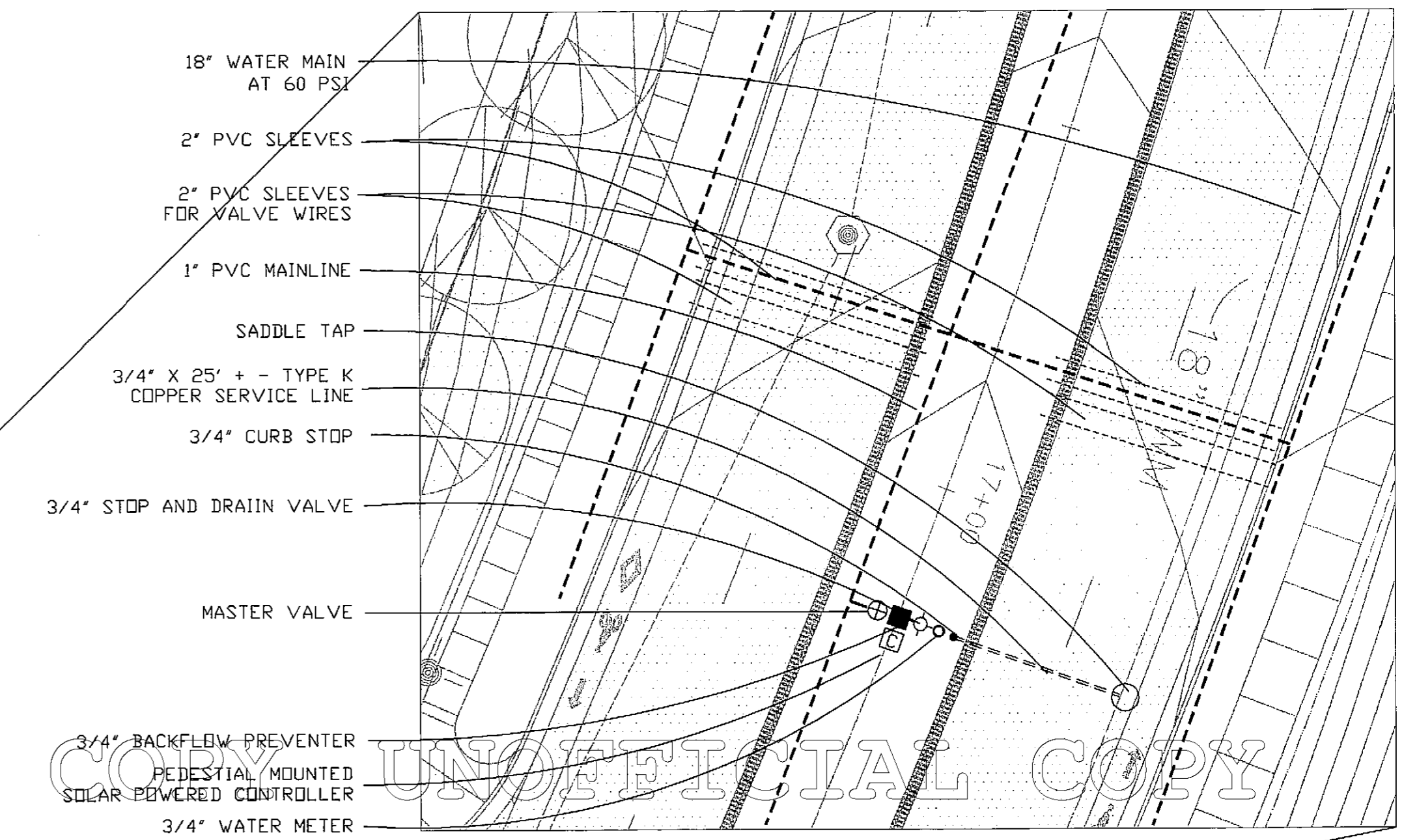
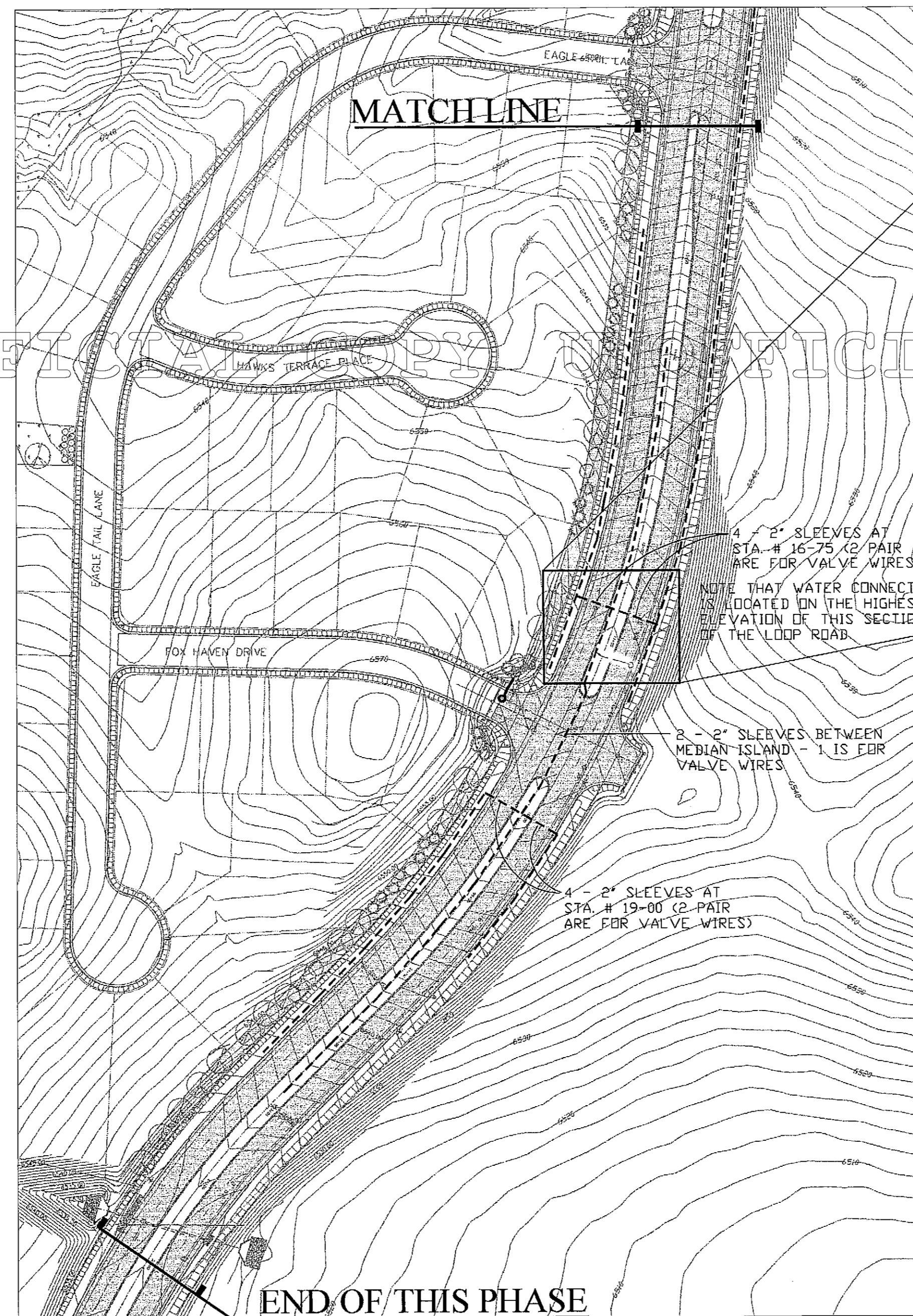
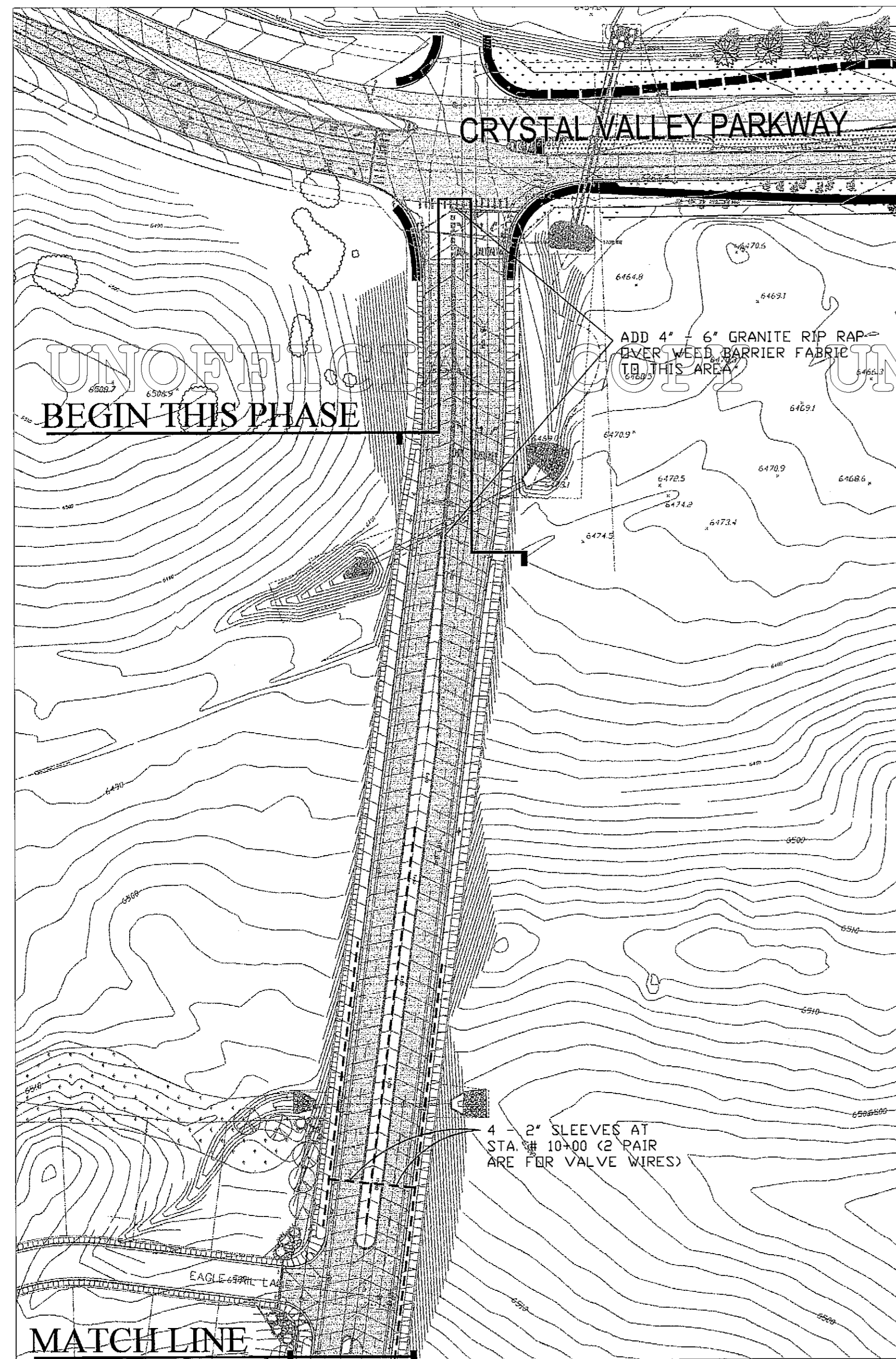
LOOP ROAD LANDSCAPE SPECIFICATIONS AND DETAILS

JUNE 23, 2004
CRYSTAL VALLEY RANCH
FILING NO. 3
SHEET 20 OF 22

RockneCortyDesign
A CORPORATION FOR THE PRACTICE OF
LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN
POST OFFICE BOX 3354 - CENTENNIAL, COLORADO 80161

CRYSTAL VALLEY RANCH – FILING NO. 3

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 24,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
PRELIMINARY PLAT/ FINAL P.D. SITE PLAN



IRRIGATION WATER – POINT OF CONNECTION @ STA. 17+25

NO SCALE

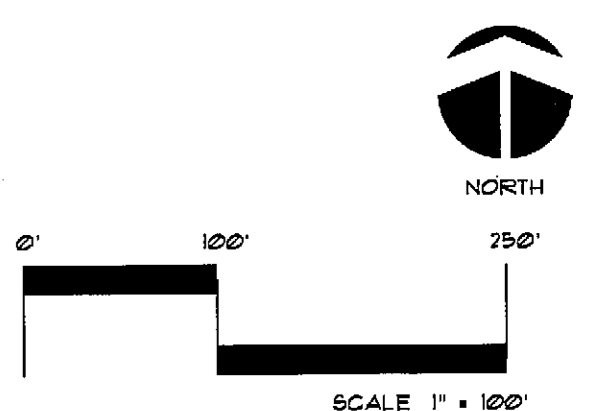
IRRIGATION NOTES

1. THIS IS A CONCEPTUAL PLAN INTENDED TO ILLUSTRATE LAYOUT, METHODS OF PLANT WATERING AND SCHEDULING.
2. A DETAILED IRRIGATION DESIGN WILL BE PREPARED UPON APPROVAL OF THE FILING NO. 3 LOOP ROAD LANDSCAPE PLAN.
3. NATIVE GRASSES WILL NOT BE IRRIGATED. THESE GRASSES OCCUR NATURALLY AT CRYSTAL VALLEY RANCH AND WILL REESTABLISH WITHOUT SUPPLEMENTAL IRRIGATION.
4. PLANTS HAVE BEEN SELECTED FOR ADAPTABILITY TO THIS ELEVATION AND CLIMATE. HOWEVER, IRRIGATION WILL BE NECESSARY FOR PLANT ESTABLISHMENT AND TO PROMOTE HEALTHY GROWTH. THEREFORE, DRIP IRRIGATION WILL BE USED FOR SHRUBS AND ORNAMENTAL GRASSES, AND BUBBLER IRRIGATION WILL BE USED FOR ORNAMENTAL AND SHADE TREES, AS WELL AS EVERGREEN TREES. ALL PLANTS WILL BE MULCHED TO CONSERVE MOISTURE.
5. PLANT TYPES WILL BE ZONED ACCORDING TO WATER NEEDS. FOR EXAMPLE, EVERGREEN TREES WILL BE WATERED SEPARATELY FROM ROSES DUE TO ROOT SIZE AND OVERALL PLANT SIZE.
6. ALL PLANT WATERING WILL CONFORM TO THE TOWN OF CASTLE ROCK'S THREE DAY WATERING SCHEDULE FROM 11:00 PM TO 4:00 AM.

LOOP ROAD IRRIGATION PLAN

THIS PLAN IS NOT INTENDED FOR BID COLLECTION OR CONSTRUCTION

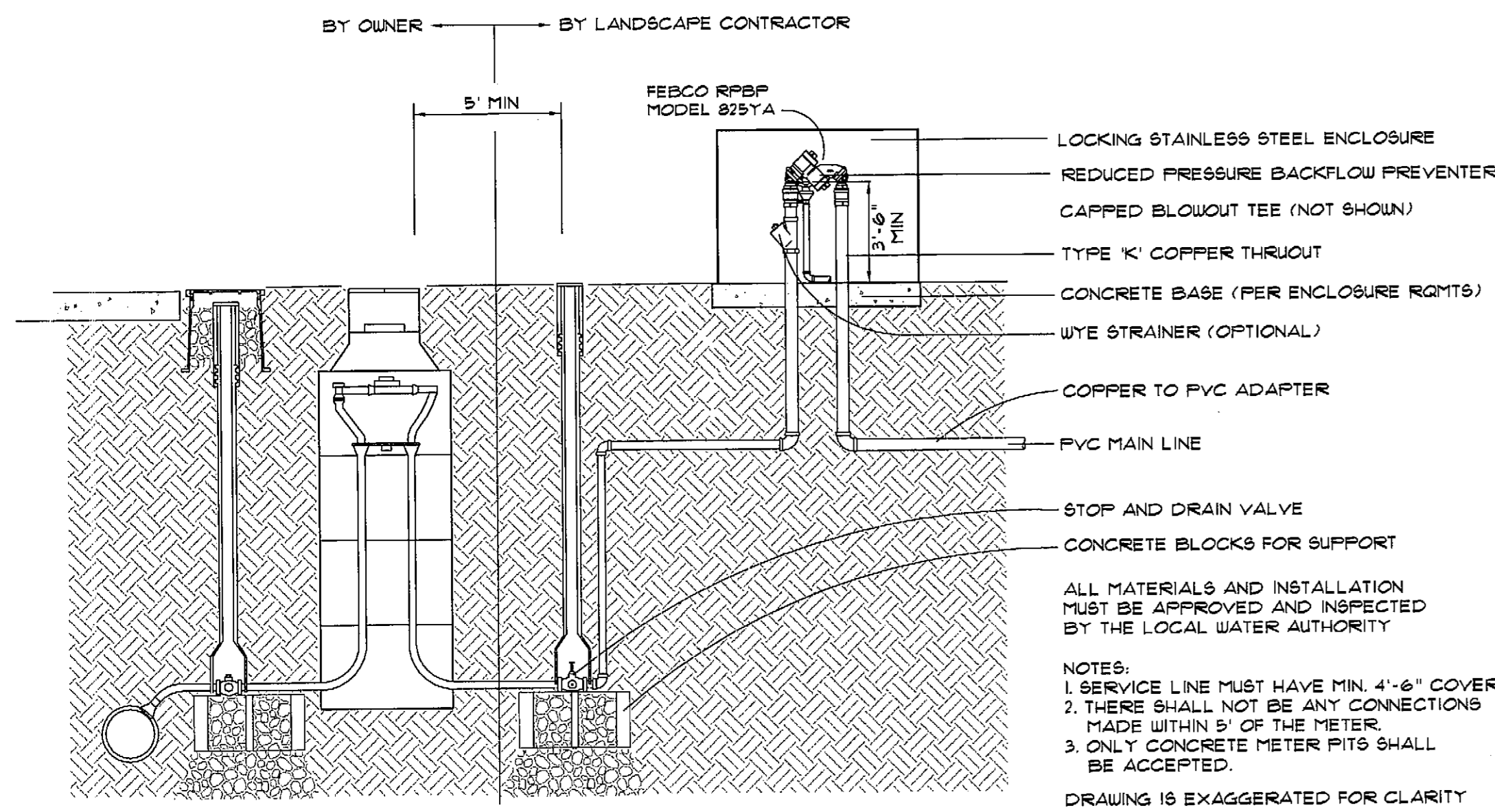
Rockne Corty Design
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JUNE 23, 2004
CRYSTAL VALLEY RANCH
FILING NO. 3
SHEET 21 OF 22

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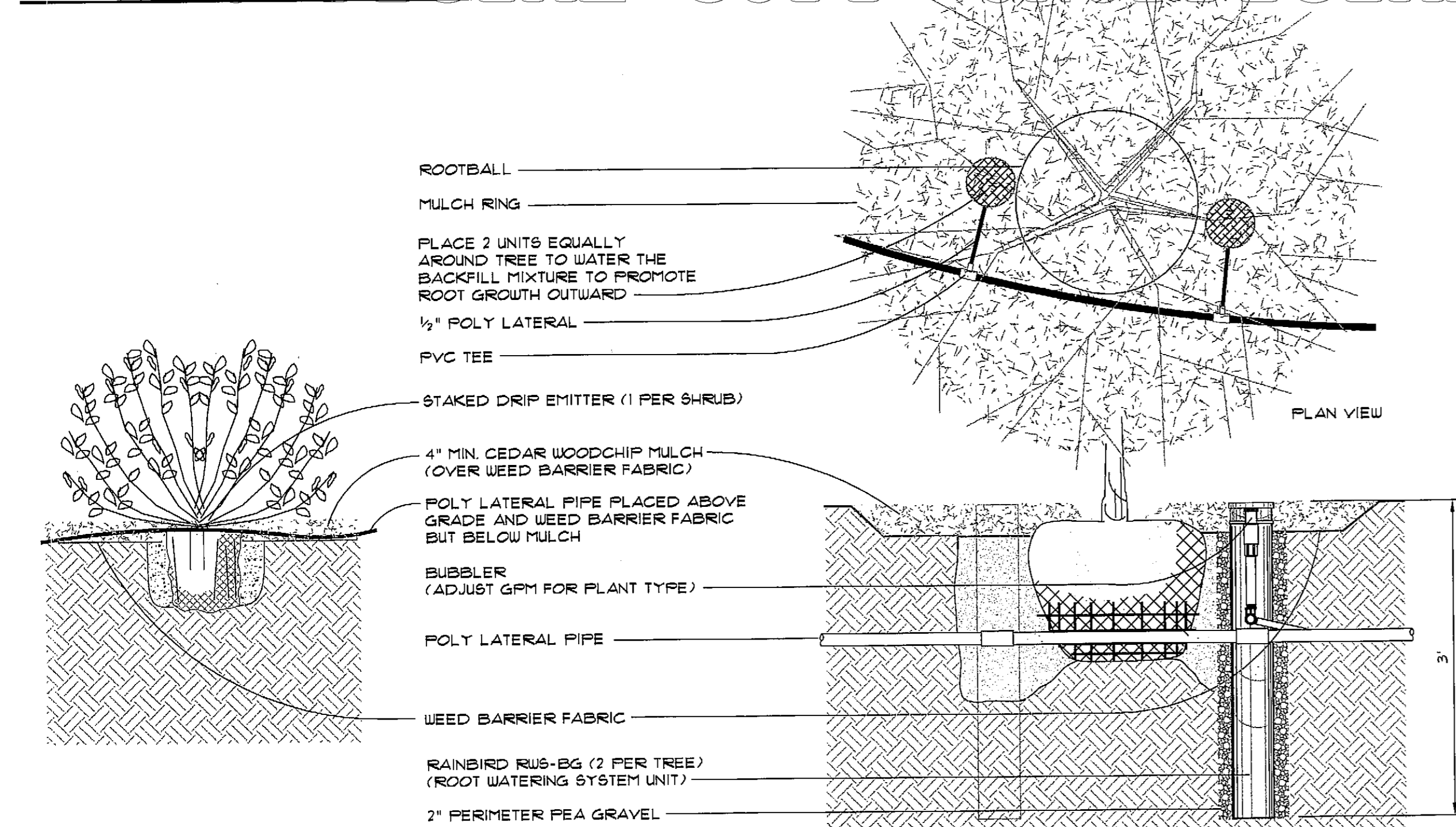
IRRIGATION EQUIPMENT LIST (THIS LIST IS INCOMPLETE - A FINAL LIST WILL BE PREPARED WITH FINAL IRRIGATION PLANS)

SYMBOL	EQUIPMENT	SIZE / QUANTITY	DESCRIPTION	NOTES AND INFORMATION
○	WATER CONNECTION WATER TAP AND METER STOP AND DRAIN VALVE REDUCED PRESSURE BFP	3/4" - 15 GPM 3/4" UNIT	BY OWNER MCDONALD #1010 FEBCO 825TA	60 MIN. PSI REQUIRED SEE DETAIL TESTED AND TAGGED UPON INSTALLATION
□	CONTROL	XX ZONE UNIT	SOLAR CONTROLLER COLOR CODED DIRECT BURIAL UFIL	CONTROLLER AND PEDESTAL RED WHITE - SEE PLAN FOR QUANTITY AND RUNS
N/A	CONTROLLER HOT WIRES	12 GA	COLOR CODED DIRECT BURIAL UFIL	
N/A	COMMON WIRE	12 GA	COLOR CODED DIRECT BURIAL UFIL	
N/A	SPARE WIRES	12 GA	COLOR CODED DIRECT BURIAL UFIL	
—	PIPING			
—	PRESSURIZED MAIN LINE	1" DIA.	PVC CLASS 200 IPS PLASTIC PIPE	18" BURY - MINIMUM
—	LATERAL PIPE	1" UNLESS NOTED	80' NSF POLY	2" BURY - MINIMUM
—	PAVEMENT SLEEVES	2" DIA.	PVC CLASS 160	INSTALL UNDER ALL STREETS AND WALKS
○	ELECTRIC VALVES	N/A	CARBON COMPATIBLE WITH SOLAR CONTROLLER	STANDARD AND JUMBO SIZES - GROUP VALVES WHERE POSSIBLE. PRESSURE REGULATING SOLENOID TYPE VALVE
○	VALVE BOXES	3/4" SIZE		
○	ELECTRIC VALVES	3/4" SIZE		
○	MANUAL VALVES	VALVE SIZE	RAINBIRD XBV	SEE ASSEMBLY DETAIL
○	BALL VALVE	3/4" UNIT	RAINBIRD 33 RC	PROVIDE SWIVEL HOSE END AND KEY FOR EACH UNIT SET IN VALVE BOX
○	QUICK COUPLER	1" UNIT	RED-WHITE OR EQUIV.	
○	GATE VALVE			
○	DRIP ASSEMBLY	3/4" UNIT	RAINBIRD XC2-075 WITH FILTER	SEE ASSEMBLY DETAIL
○	LOW VOLUME ELECTRIC VALVE	AS NEEDED	IRRITROL 1/4" DURA-POL. BLUE STRIPE	STAKE IN PLACE BELOW MULCH
○	DRIP LATERAL PIPE	AS NEEDED	IRRITROL E-2 EMITTER	2 EMITTERS PER SHRUB OR GRASS
○	EMITTERS			
○	HEADS	2 PER TREE	RAINBIRD RUB-EG	RAINBIRD 1401 BUBBLER - 25 GPM OR AS MODIFIED
○	BUBBLER UNIT			

IRRIGATION SPECIFICATIONS

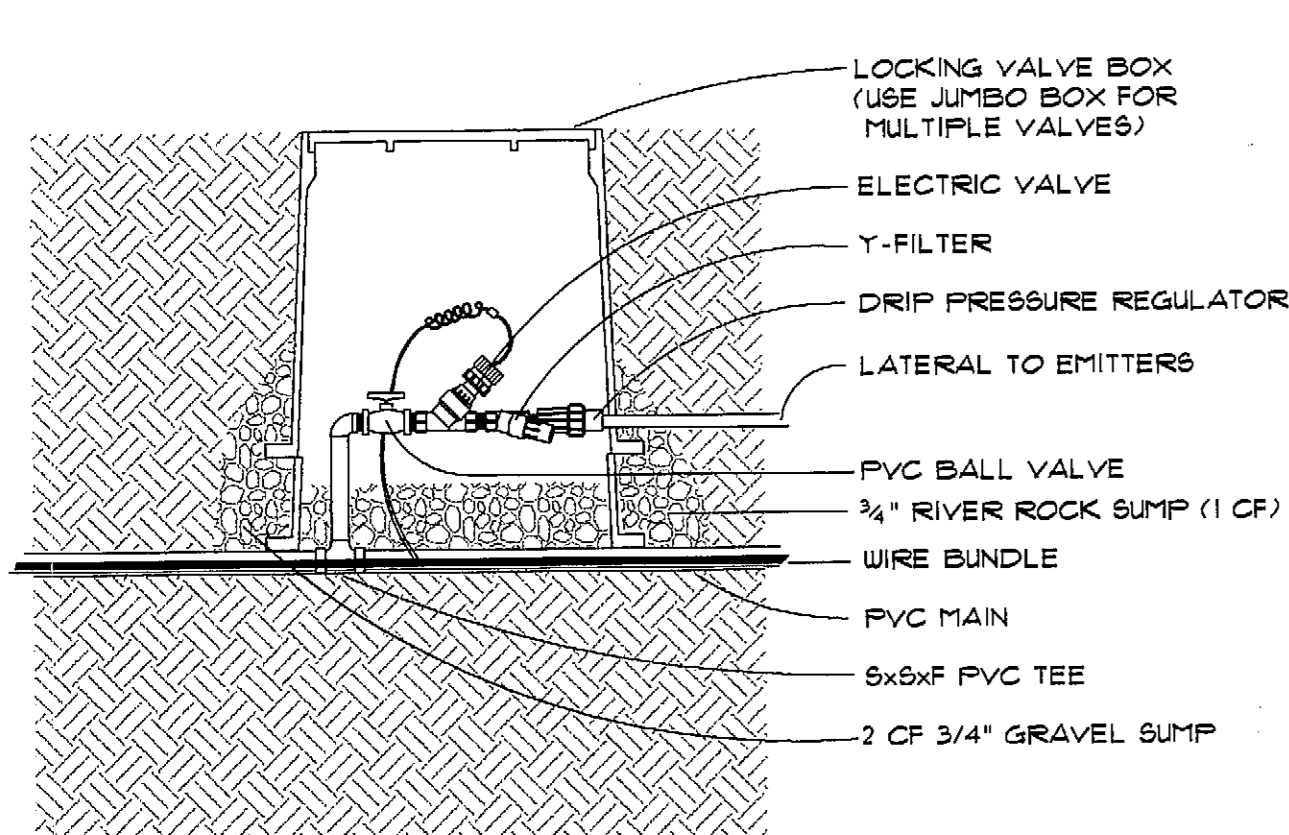
- PART 1 GENERAL**
- 1.01 WORK INCLUDED**
- A. Work includes all labor, material and equipment necessary to furnish and install an automatic underground irrigation system as specified and indicated on the Drawings.
- 1.02 QUALITY ASSURANCE**
- A. Installer Qualifications: Minimum of five years experience installing irrigation systems of comparable size. Submit experience and references upon request.
- B. Quality Control: Obtain Landscape Architect's acceptance of installed and tested irrigation system components prior to and after installing backfill materials.
- 1.03 SUBMITTALS**
- A. Products: Use equipment as specified. If alternates are proposed, submit manufacturer's product data including installation and operation instructions for each of the system components. Reuse of used components is subject to approval. All other materials must be new and fully warranted by the manufacturer.
- B. As-Built: The Contractor shall supply the Landscape Architect with a legibly marked field drawing with all deviations from the original recorded thereon. The Landscape Architect shall make all recorded changes to the original CAD drawings which shall become a permanent record of the installed work.
- 1.04 DELIVERY, STORAGE AND HANDLING**
- A. Storage and Handling: Store and handle all irrigation equipment to prevent damage, deterioration and theft which could cause installation delays.
- 1.05 PROJECT CONDITIONS**
- A. Locate existing utilities and make connections as required for this work. Saw cut existing pavements and tunnel under concrete walks where necessary.
- 1.06 WARRANTY**
- A. Warrant all irrigation equipment and installation for one (1) calendar year following Turn Over. Warranty includes trench and head settlement greater than 1".
- PART 2 PRODUCTS**
- 2.01 MATERIALS**
- A. General: Unless existing equipment is to be used, provide only new materials without flaws or defects and of the highest quality of their specified class and kind.
- B. Brand or Product: Refer to the Irrigation Equipment List on this drawing for desired equipment. Because of similarities in competitive brands, alternate equipment will be considered if the bidder/contractor requests approval prior to the bid date. Approval, if granted, will be in the form of a written addendum so that all bidders have the same advantage in pricing. If written approval is not in hand at the time bids are submitted, the equipment shall be exactly as stated on the equipment list.
- PART 3 EXECUTION**
- 3.01 PREPARATION**
- A. Irrigation system layout is diagrammatic. Exact locations of irrigation components shall be established by the Contractor in the field at the time of installation. Layout and stake the location of each pipe run and all sprinkler heads and sprinkler valves. Obtain Landscape Architect's acceptance of significant deviations.
- 3.02 INSTALLATION**
- A. Excavating and Backfilling: All excavation shall be considered unclassified excavation and include all materials encountered. Excavate trenches of sufficient depth and width to permit proper handling and installation of pipe and fittings. Excavate to depths required to provide 2" depth of earth fill or sand bedding for piping when rock or other unsuitable bearing material is encountered. Fill to match adjacent grade elevations with approved earth fill material. Place and compact fill in layers not greater than 8" in depth.
- B. Plastic Pipe: Install plastic pipe and fittings in accordance with manufacturer's installation instructions, including recommendations on Teflon tape and pipe jointing compounds. Provide for thermal expansion and contraction. Saw cut plastic pipe using a square-in-sawing vice to ensure a square cut. Remove burrs and shavings at cut ends prior to installation. Make connections with solvent weld joints or slip seal joints. Use only solvent recommended by the pipe manufacturer. Allow joints to set at least 24 hours before pressure is applied to the system. Maintain pipe interiors free of dirt and debris. Close open ends of pipe by acceptable methods when pipe installation is not in progress.
- C. Sprinkler Heads, Fittings, Valves and Accessories: Install fittings, valves, irrigation heads, risers and accessories in accordance with the Detailed Drawings and manufacturer's recommendations, except as otherwise indicated. Set sprinkler heads perpendicular to finished grades unless otherwise indicated.
- D. Flushing, Adjustment and Testing: Flush piping and risers after installation with a full head of water prior to sprinkler head installation. Adjust all irrigation components after installation for proper and adequate distribution of the water over the coverage pattern. Test system upon completion of each section. Make necessary repairs and retest repaired sections as required.
- E. Service: Return to the site during the fall season, regardless of maintenance responsibility, and demonstrate to the Owner's representative winterization procedures by draining all water from the system. Return to the site during the subsequent spring season and demonstrate to the Owner's representative the proper procedure for system startup, operation and maintenance. Make any warranty repairs or adjustments.
- 3.03 CLEANING**
- A. Perform cleaning during installation of the work and upon completion of the work. Remove from site all excess materials, soil, debris, and equipment. Maintain disposal route clear, clean and free of debris.

WATER CONNECTION

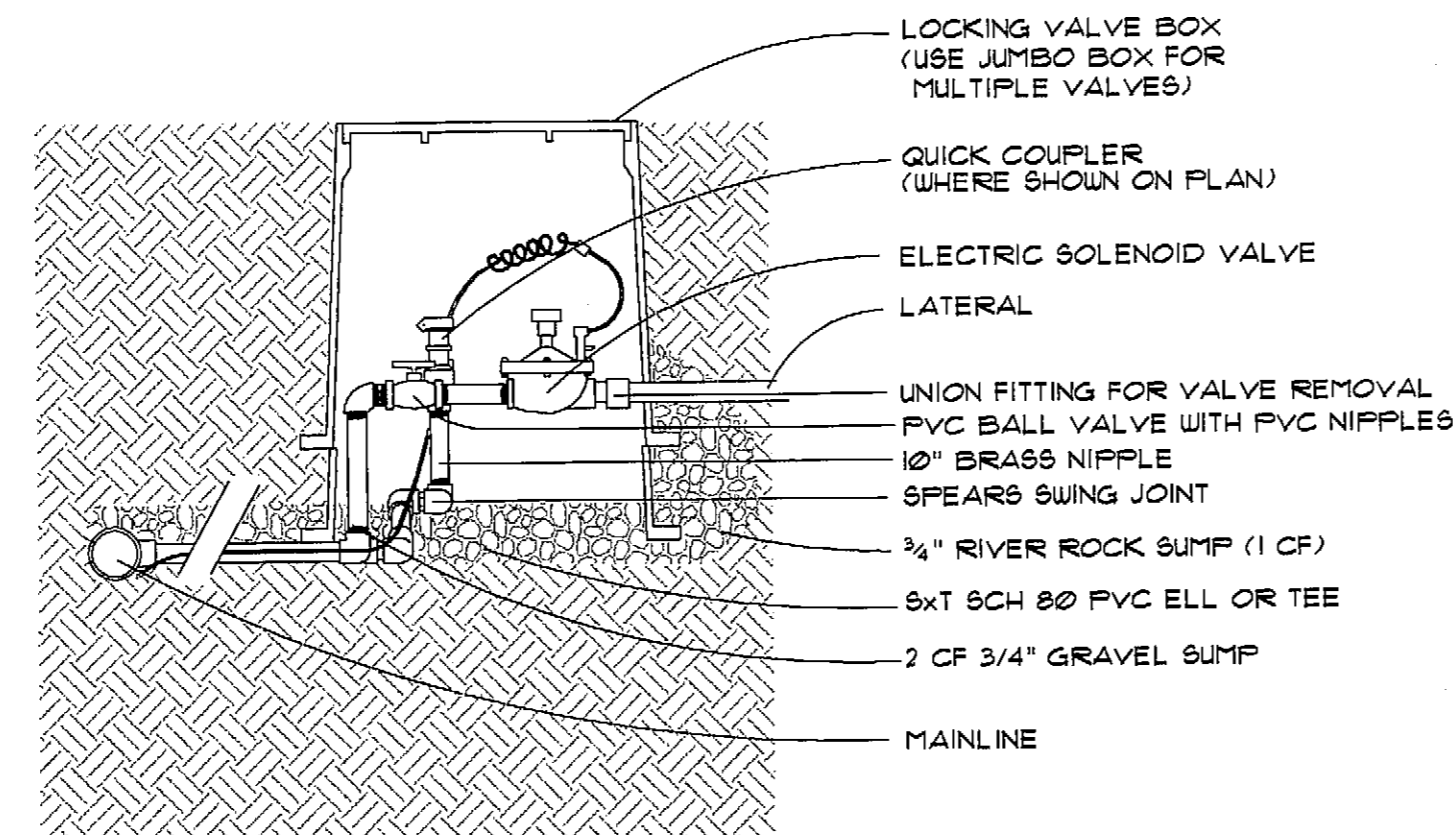


DRIP EMITTER DEVICE FOR SHRUBS

ROOT WATERING DEVICE FOR TREES



ELECTRIC DRIP VALVE ASSEMBLY



ELECTRIC VALVE / QUICK COUPLER ASSEMBLY

LOOP ROAD IRRIGATION SPECIFICATIONS AND DETAILS

JUNE 23, 2004

Rockne Corty Design
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CRYSTAL VALLEY RANCH
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