

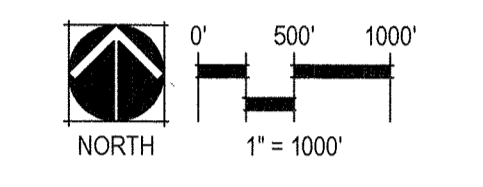
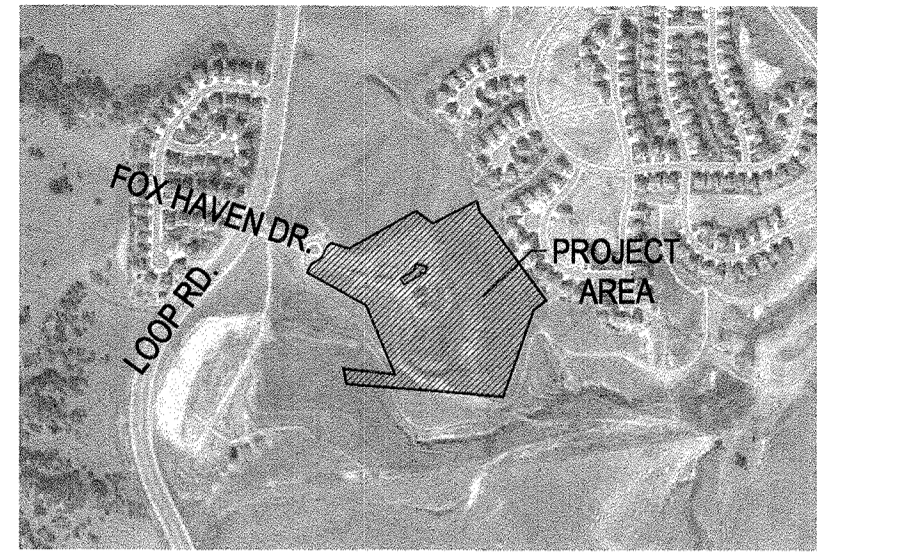
SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

LOCATED IN THE SOUTH HALF OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



NORRIS DESIGN
 www.norris-design.com
 1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 F 303.892.1186

VICINITY MAP



CRYSTAL VALLEY RECOVERY ACQUISITION OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

Jerry Richmond
 CRYSTAL VALLEY RECOVERY ACQUISITION

SIGNED THIS 25th DAY OF June, 2020

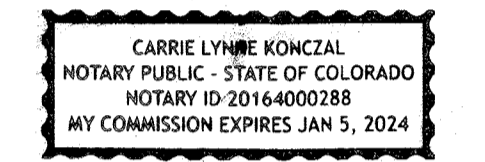
NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 25th DAY OF June, 2020

BY Jerry B. Richmond AS authorized signatory OF CRYSTAL VALLEY RECOVERY ACQUISITION.

WITNESS MY HAND AND OFFICIAL SEAL.

Carrie Koneczal
 NOTARY PUBLIC



MY COMMISSION EXPIRES: Jan 5, 2024

TOWN OF CASTLE ROCK, A MUNICIPAL CORPORATION OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON.

TOWN OF CASTLE ROCK, A MUNICIPAL CORPORATION

BY JE
 MAYOR

ATTEST:
Lisa Anderson
 TOWN CLERK



SIGNED THIS 29 DAY OF July, 2020

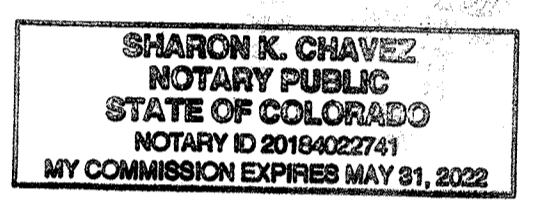
NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 29 DAY OF July, 2020

BY JE AS MAYOR AND BY Lisa Anderson AS TOWN CLERK.

WITNESS MY HAND AND OFFICIAL SEAL.

Sharon K. Chavez
 NOTARY PUBLIC



MY COMMISSION EXPIRES: May 31, 2022

SHEET INDEX

- 1 CS-1 COVER SHEET
- 2 CS-2 GENERAL NOTES
- 3 C-1 UTILITY PLAN
- 4 L-1 LANDSCAPE PLAN
- 5 L-2 LANDSCAPE PLAN
- 6 L-3 LANDSCAPE PLAN
- 7 L-4 GRADING PLAN
- 8 L-5 CLWU CHARTS AND DETAILS

CRYSTAL VALLEY RANCH MASTER ASSOCIATION OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

Mary Shannon
 CRYSTAL VALLEY RANCH MASTER ASSOCIATION, INC., A COLORADO NON-PROFIT CORPORATION

SIGNED THIS 26 DAY OF June, 2020

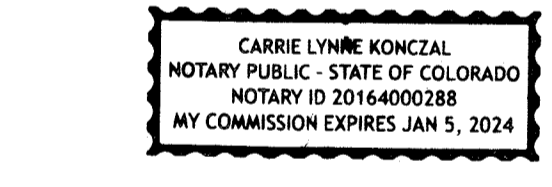
NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 26th DAY OF June, 2020

BY Mary Shannon AS president OF CRYSTAL VALLEY RANCH MASTER ASSOCIATION, INC., A COLORADO NON-PROFIT CORPORATION

WITNESS MY HAND AND OFFICIAL SEAL.

Carrie Koneczal
 NOTARY PUBLIC



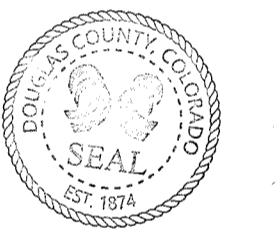
MY COMMISSION EXPIRES: Jan 5, 2024

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 11:42 AM ON THE 31st DAY OF July AT RECEPTION NO. 2020069548

DOUGLAS COUNTY CLERK AND RECORDER

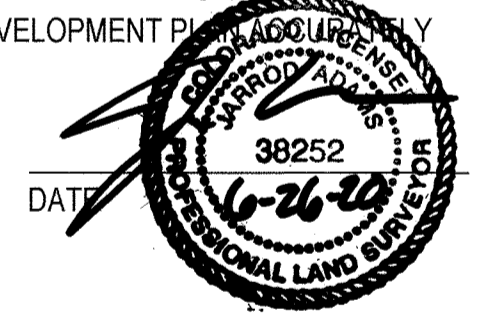
BY: Nicole Wells
 DEPUTY



SURVEYOR'S CERTIFICATE

I, Jared Adams, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR



STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 9 DAY OF July, 2020

John Birkey
 DIRECTOR OF DEVELOPMENT SERVICES

LEGAL DESCRIPTION

LOT 1 AND TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1, RECORDED UNDER RECEPTION NO. 2012013141

BASIS OF BEARINGS STATEMENT

BEARINGS ARE BASED ON THE NORTHEAST PROPERTY LINE OF CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1. PROPERTY IS ASSUMED TO BEAR N49°20'38"E AS SHOWN ON SAID PLAT.

BENCHMARK

DOUGLAS COUNTY CONTROL POINT 3040010, BEING A 3.5" ALUMINUM CAP ON STEEL ROD MARKED "DCGIS 3040010", LOCATED 38.28 FEET SOUTHWEST OF THE SOUTHEAST CORNER OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST, HAVING A PUBLISHED ELEVATION OF 6589.35' (NAVD88)

PURPOSE STATEMENT

TO AMEND PREVIOUSLY APPROVED SDP IN ORDER TO EXPAND THE EXISTING POOL AREA, ENHANCE THE ENTRY DRIVE/PARKING LOT LANDSCAPE, AND ADD A PARK AREA WITH SITE AMENITIES

MUNICIPAL WATER STATEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE CRYSTAL VALLEY RANCH SECOND AMENDED AND RESTATED DEVELOPMENT AGREEMENT RECORDED FEBRUARY 24, 2012 AT RECEPTION NO. 2012013156 AND ACCORDINGLY 10 SFE ARE DEBITED FROM THE WATER BANK.

REQUIRED PARKING CALCULATIONS:	
4 SPACES PER 1,000 SQUARE FEET FOR RECREATION CENTER	
5 SPACES PER 1,000 SQUARE FEET FOR SWIMMING POOL	
3 SPACES PER SPORTS COURT	
20 STALLS PER SPORTS FIELD	
AREA OF POOL DECK: 10,000 SF/1000 SF X 5 = 50 STALLS	
AREA OF BUILDING: 5,667 SF/1000 SF X 4 = 22 STALLS	
SPORTS COURTS: 1 = 3 STALLS	
SPORTS FIELDS: 1 = 20 STALLS	
TOTAL STALLS REQUIRED: 95	
STANDARD PARKING SPACES PROVIDED: 98 (9'X18')	
HANDICAP PARKING SPACES PROVIDED: 8 (9.5'X18')	
TOTAL PARKING STALLS PROVIDED: 106 (9'X18')	

SITE COVERAGE		
ITEM	S.F. COVERAGE	% OF NET AREA
TOTAL SITE*	483,884	100%
OPEN SPACE / LANDSCAPE	332,835	68%
SPORTS FIELD	71,968	15%
SPORTS COURT	2,000	1%
DOG PARK	64,396	13%
PROPOSED PARKING LOT	12,685	3%

*WITHIN WORK LIMIT BOUNDARY

OWNERS:
 CRYSTAL VALLEY RECOVERY ACQUISITION LLC
 1250 AVENUE OF THE AMERICAS 50TH FLOOR
 NEW YORK, NY 10020
 CONTACT: JERRY RICHMOND 303.267.6195

LANDSCAPE ARCHITECTS AND PLANNERS:

 1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 F 303.892.1186
 www.norris-design.com
 CONTACT: JOHN BIRKEY 303.892.1166
 CASTLE ROCK REGISTRATION #15-1126

CIVIL ENGINEER:
 JR ENGINEERING, LLC
 7200 S ALTON WAY, SUITE C400
 CENTENNIAL, CO 80112
 303.740.9393
 CONTACT: KURTIS WILLIAMS

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1
 PROJECT NO. SDP15-0035

TITLE CERTIFICATION

I, Beverly M. Carlson, AN AUTHORIZED REPRESENTATIVE OF First American Title Insurance Co., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Beverly M. Carlson
 AUTHORIZED REPRESENTATIVE

First American Title Insurance Co.

TITLE COMPANY

SIGNED THIS 28th DAY OF JUNE, 2020

NOTARY BLOCK

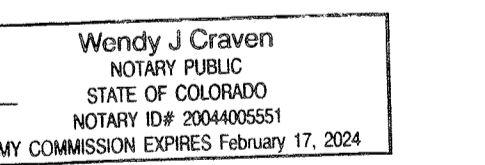
SUBSCRIBED AND SWORN TO BEFORE ME THIS 23 DAY OF June, 2020

BY Beverly M. Carlson AS AUTHORIZED REPRESENTATIVE

OF First American Title Insurance Co.

WITNESS MY HAND AND OFFICIAL SEAL.

Wendy J. Craven
 NOTARY PUBLIC



MY COMMISSION EXPIRES: 2/17/2024

PREPARED FOR:
 CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
 JOHN M. BIRKEY, P.L.A. AS A AN CERTIFIED LANDSCAPE DESIGNER, TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 15-1126. THIS IS VALID THROUGH 8/31/2027. COLORADO LICENSE NUMBER IS 855

John M. Birkey

DATE:
 APPROVED SDP
 05/02/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
 COVER SHEET

SHEET NUMBER:
 CS-1
 SHEET 1 OF 8

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

LOCATED IN THE SOUTH HALF OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
6. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
7. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
8. THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
10. UNLESS OTHERWISE NOTED, UTILITY EASEMENTS ARE PROVIDED ON THE SITE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
11. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
12. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
15. THERE ARE NO MAJOR DRAINAGEWAYS LOCATED WITHIN THE SITE. THE ENTIRE SITE IS LOCATED WITHIN AND ADJACENT TO ZONE X, AS DETERMINED BY THE FIRM PANEL 08038C0304G, DATED MARCH 16, 2016. THERE ARE NO IDENTIFIED WETLANDS LOCATED WITHIN THE SITE.
16. THE MAJOR AMENDMENT NO. 4 TO THE CRYSTAL VALLEY RANCH PPD WAS RECORDED FEBRUARY 24, 2012 AT REC. NO. 2012013155. THIS SITE IS ZONED OSP-R

FIRE NOTES

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE REVISÉD: 11/4/2014 OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

PREPARED FOR:

CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:

JOHN M. BIRNEY, PLSA, ASLA, AIA, IS CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 15-1128. THIS IS VALID THROUGH 3/31/2017. COLORADO LICENSE NUMBER IS 699.

DATE:

APPROVED SDP
05/02/2016

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

CS-2
SHEET 2 OF 8

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

PROJECT NO. SDP15-0035

NOT FOR CONSTRUCTION

Official Copy

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

LOCATED IN THE SOUTH HALF OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

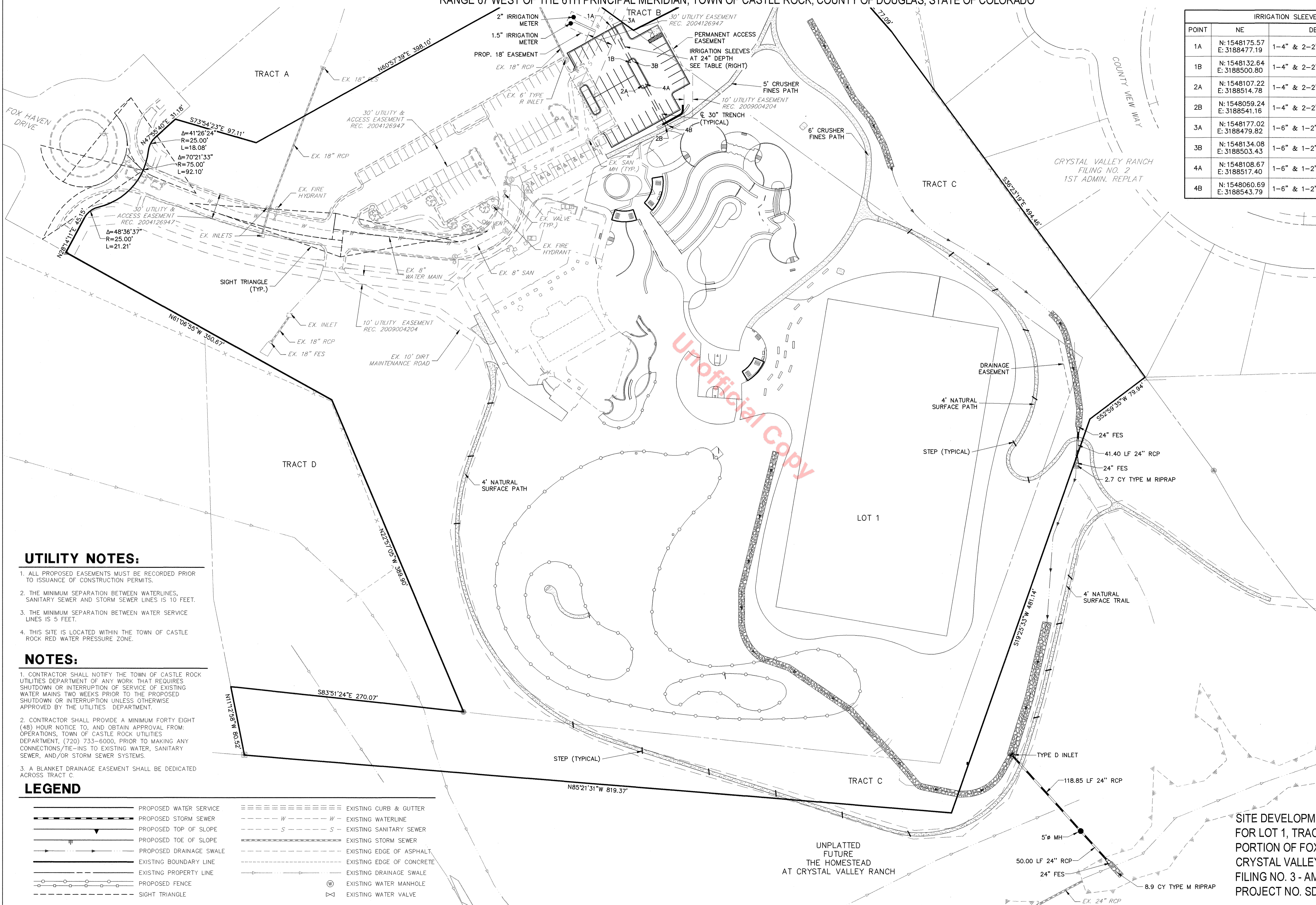


Know what's below.
Call before you dig.



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1188

IRRIGATION SLEEVES		
POINT	NE	DESCRIPTION
1A	N: 1548175.57 E: 3188477.19	1-4" & 2-2" SCH 40 PVC WHITE
1B	N: 1548132.64 E: 3188500.80	1-4" & 2-2" SCH 40 PVC WHITE
2A	N: 1548107.22 E: 3188514.78	1-4" & 2-2" SCH 40 PVC WHITE
2B	N: 1548059.24 E: 3188541.16	1-4" & 2-2" SCH 40 PVC WHITE
3A	N: 1548177.02 E: 3188479.82	1-6" & 1-2" SCH 40 PVC WHITE
3B	N: 1548134.08 E: 3188503.43	1-6" & 1-2" SCH 40 PVC WHITE
4A	N: 1548108.67 E: 3188517.40	1-6" & 1-2" SCH 40 PVC WHITE
4B	N: 1548060.69 E: 3188543.79	1-6" & 1-2" SCH 40 PVC WHITE



UTILITY NOTES:

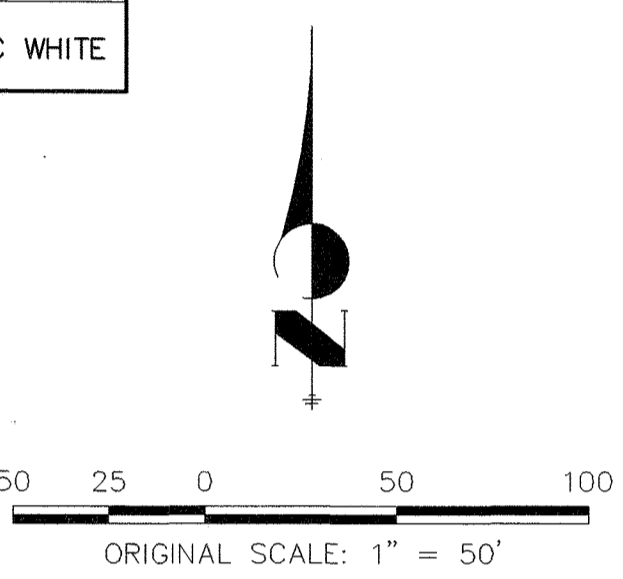
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK RED WATER PRESSURE ZONE.

NOTES:

- CONTRACTOR SHALL NOTIFY THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT OF ANY WORK THAT REQUIRES SHUTDOWN OR INTERRUPTION OF SERVICE OF EXISTING WATER MAINS TWO WEEKS PRIOR TO THE PROPOSED SHUTDOWN OR INTERRUPTION UNLESS OTHERWISE APPROVED BY THE UTILITIES DEPARTMENT.
- CONTRACTOR SHALL PROVIDE A MINIMUM FORTY EIGHT (48) HOUR NOTICE TO, AND OBTAIN APPROVAL FROM: OPERATIONS, TOWN OF CASTLE ROCK UTILITIES DEPARTMENT, (720) 733-6000, PRIOR TO MAKING ANY CONNECTIONS/TIE-INS TO EXISTING WATER, SANITARY SEWER, AND/OR STORM SEWER SYSTEMS.
- A BLANKET DRAINAGE EASEMENT SHALL BE DEDICATED ACROSS TRACT C.

LEGEND

	PROPOSED WATER SERVICE		EXISTING CURB & GUTTER
	PROPOSED STORM SEWER		EXISTING WATERLINE
	PROPOSED TOP OF SLOPE		EXISTING SANITARY SEWER
	PROPOSED TOE OF SLOPE		EXISTING STORM SEWER
	PROPOSED DRAINAGE SWALE		EXISTING EDGE OF ASPHALT
	EXISTING BOUNDARY LINE		EXISTING EDGE OF CONCRETE
	EXISTING PROPERTY LINE		EXISTING DRAINAGE SWALE
	PROPOSED FENCE		EXISTING WATER MANHOLE
	SIGHT TRIANGLE		EXISTING WATER VALVE



PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

DATE:
APPROVED SDP
05/02/2016

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-1
SHEET 3 OF 8

NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1 PROJECT NO. SDP15-0035

CHECKED BY: JB
DRAWN BY: JB

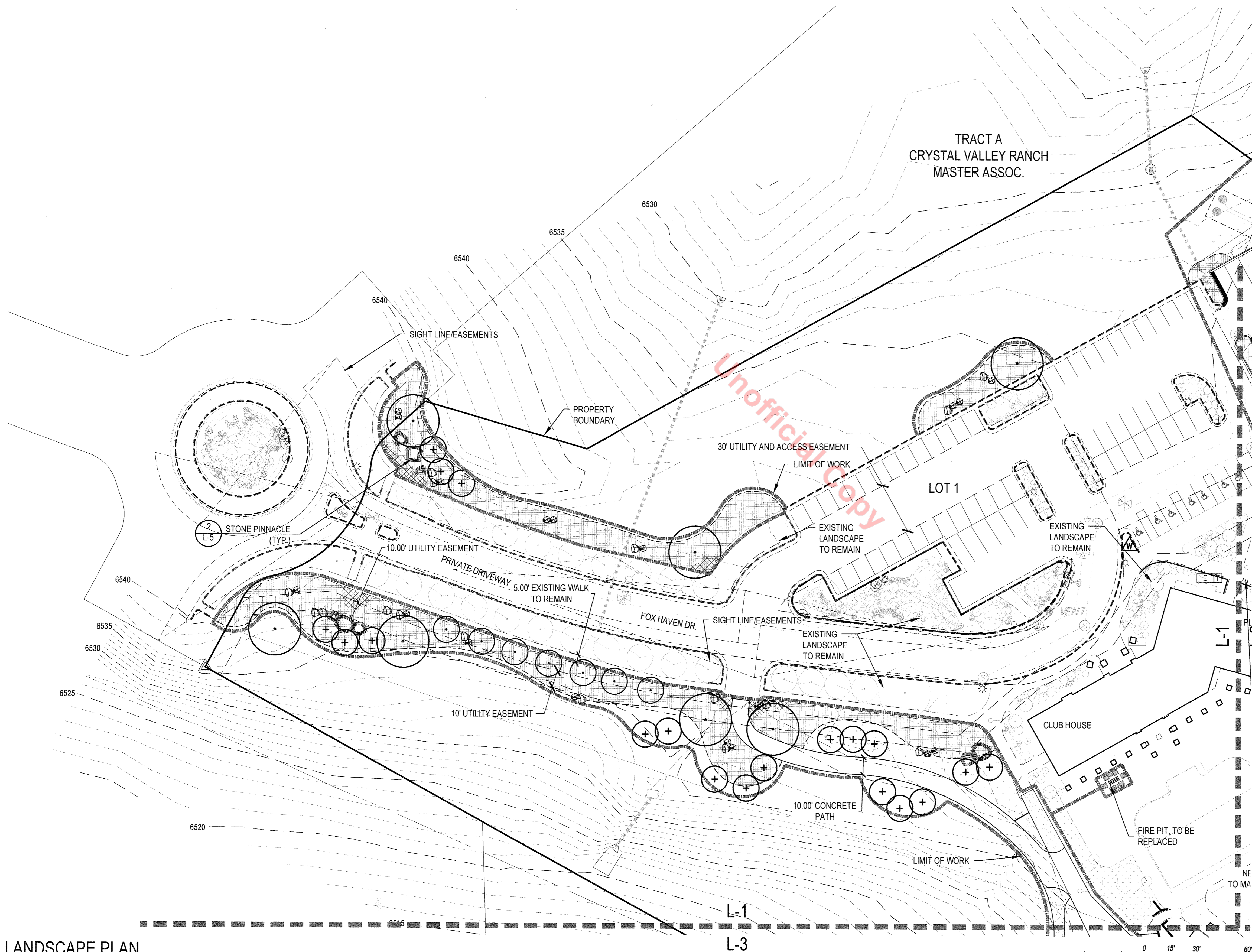
SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

LOCATED IN THE SOUTH HALF OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

NOTE:
NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.



LANDSCAPE PLAN

LEGEND

- PROPOSED DECIDUOUS CANOPY TREE
- PROPOSED DECIDUOUS ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING VEGETATION TO REMAIN
- HIGH HYDROZONE
SPRAY IRRIGATED TURF (TEXAS REVELLE BLUEGRASS BLEND)
- MEDIUM HYDROZONE
SPRAY IRRIGATED TURF (ENVIROTURF)
- LOW HYDROZONE
SHRUB BED
- VERY LOW HYDROZONE
IRRIGATED GRASS SEED MIX
- NON-IRRIGATED SEED
- CRUSHER FINES SURFACE
- NATURAL TRAIL SURFACE
- FIBAR SAFETY SURFACE
- RETAINING WALL
- STEEL EDGER
- SPADE CUT EDGE
- 5' POOL FENCE
- 4' DOG PARK FENCE
- 3'-6" DOG PARK FENCE
- LANDSCAPE BOULDERS
- LIMIT OF WORK
- MATCHLINE
- STEPPING STONES

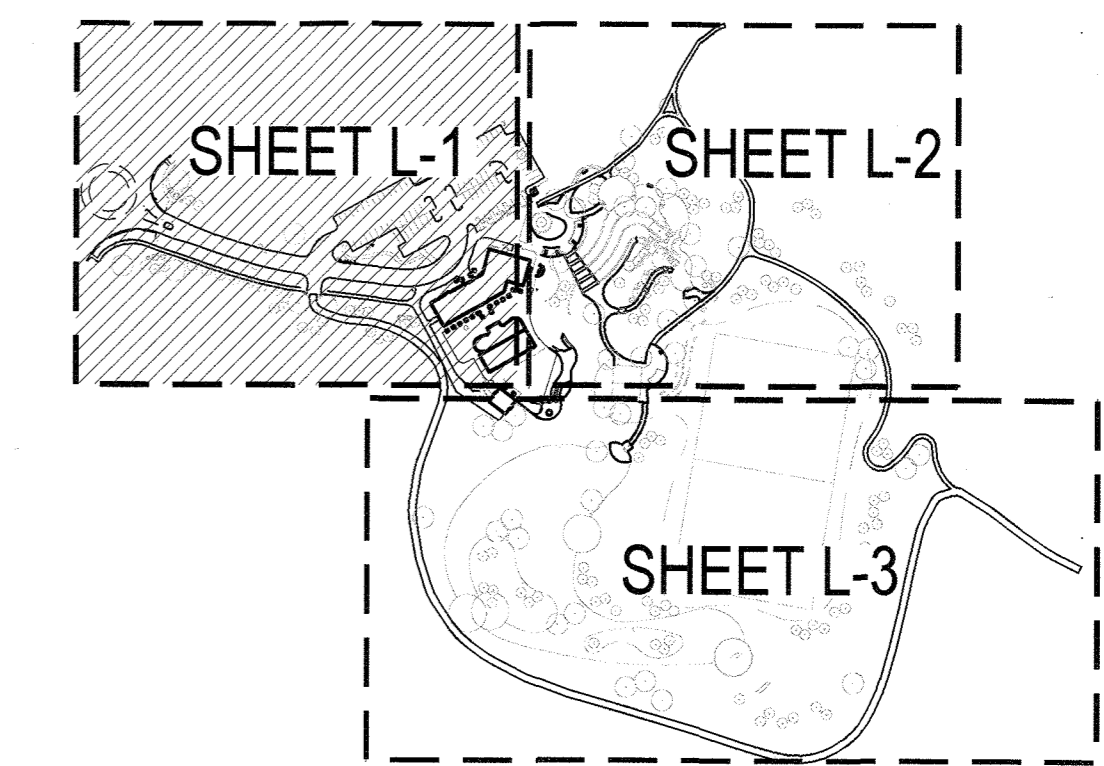
PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. BRKEY, P.L.A., A.S.A., AM CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 15-1126. THIS IS VALID THROUGH 3/31/2017. COLORADO LICENSE NUMBER IS 855.

John M. Brkey

DATE:
APPROVED SDP
05/02/2016

KEY MAP

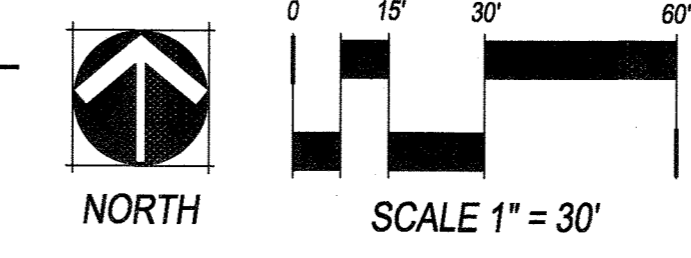


NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1
PROJECT NO. SDP15-0035

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-1
SHEET 4 OF 8



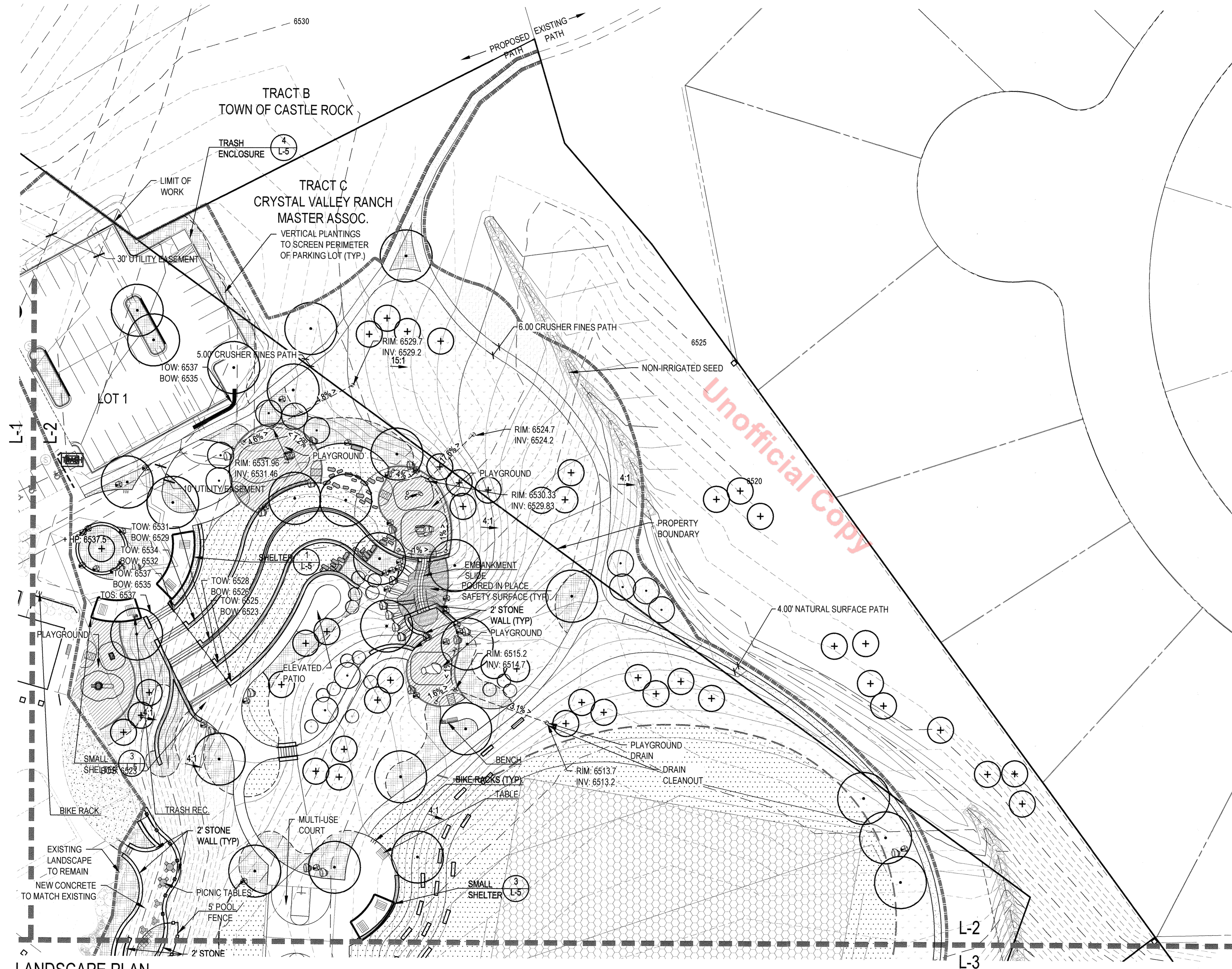
CHECKED BY: JB
DRAWN BY: JB

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

LOCATED IN THE SOUTH HALF OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186



LEGEND

- PROPOSED DECIDUOUS CANOPY TREE
- PROPOSED DECIDUOUS ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING VEGETATION TO REMAIN
- HIGH HYDROZONE**
SPRAY IRRIGATED TURF (TEXAS REVELLE BLUEGRASS BLEND)
- MEDIUM HYDROZONE**
SPRAY IRRIGATED TURF (ENVIROTURF)
- LOW HYDROZONE**
SHRUB BED
- VERY LOW HYDROZONE**
IRRIGATED GRASS SEED MIX
- NON-IRRIGATED SEED
- CRUSHER FINES SURFACE
- NATURAL TRAIL SURFACE
- FIBAR SAFETY SURFACE
- RETAINING WALL
- STEEL EDGER
- SPADE CUT EDGE
- 5' POOL FENCE
- 4' DOG PARK FENCE
- 3'-6" DOG PARK FENCE
- LANDSCAPE BOULDERS
- LIMIT OF WORK
- MATCHLINE
- STEPPING STONES

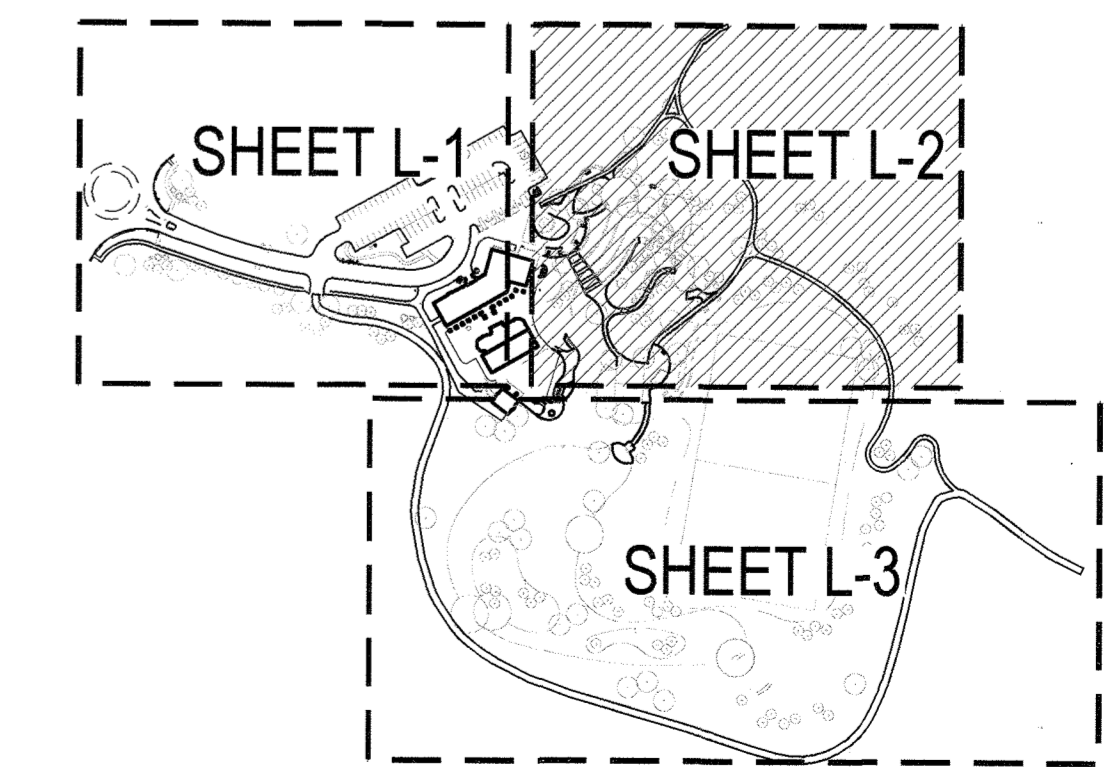
PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:

J. JOHN W. BIRNEY, R.L.A. AS A.M. CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 15-1118. THIS IS VALID THROUGH 3/31/2017. COLORADO LICENSE NUMBER 12-059

DATE:
APPROVED SDP
05/02/2016

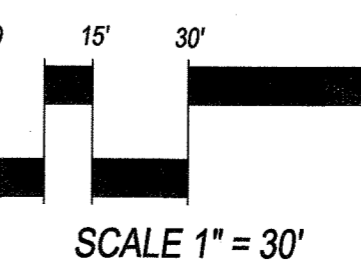
KEY MAP



NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE PLAN
SHEET NUMBER:
L-2
SHEET 5 OF 8

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1
PROJECT NO. SDP15-0035



LANDSCAPE PLAN

CHECKED BY: JB
DRAWN BY: JB

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

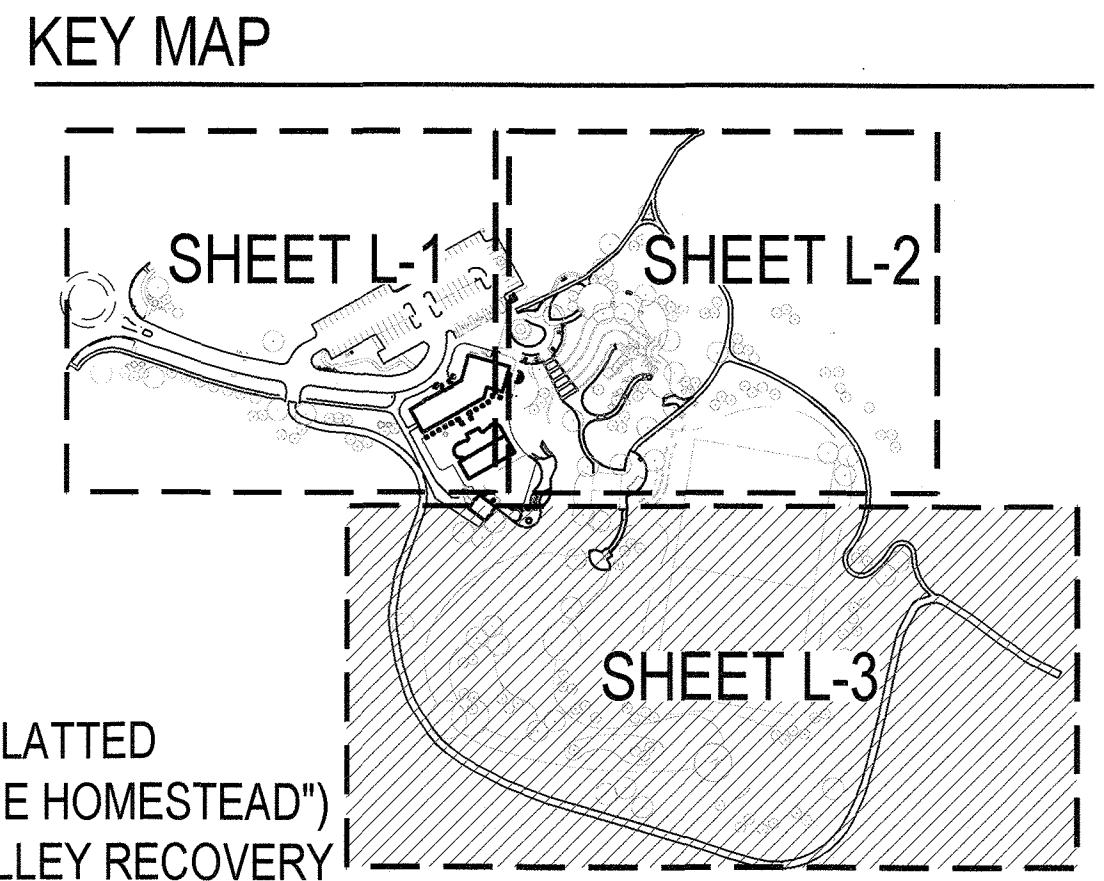
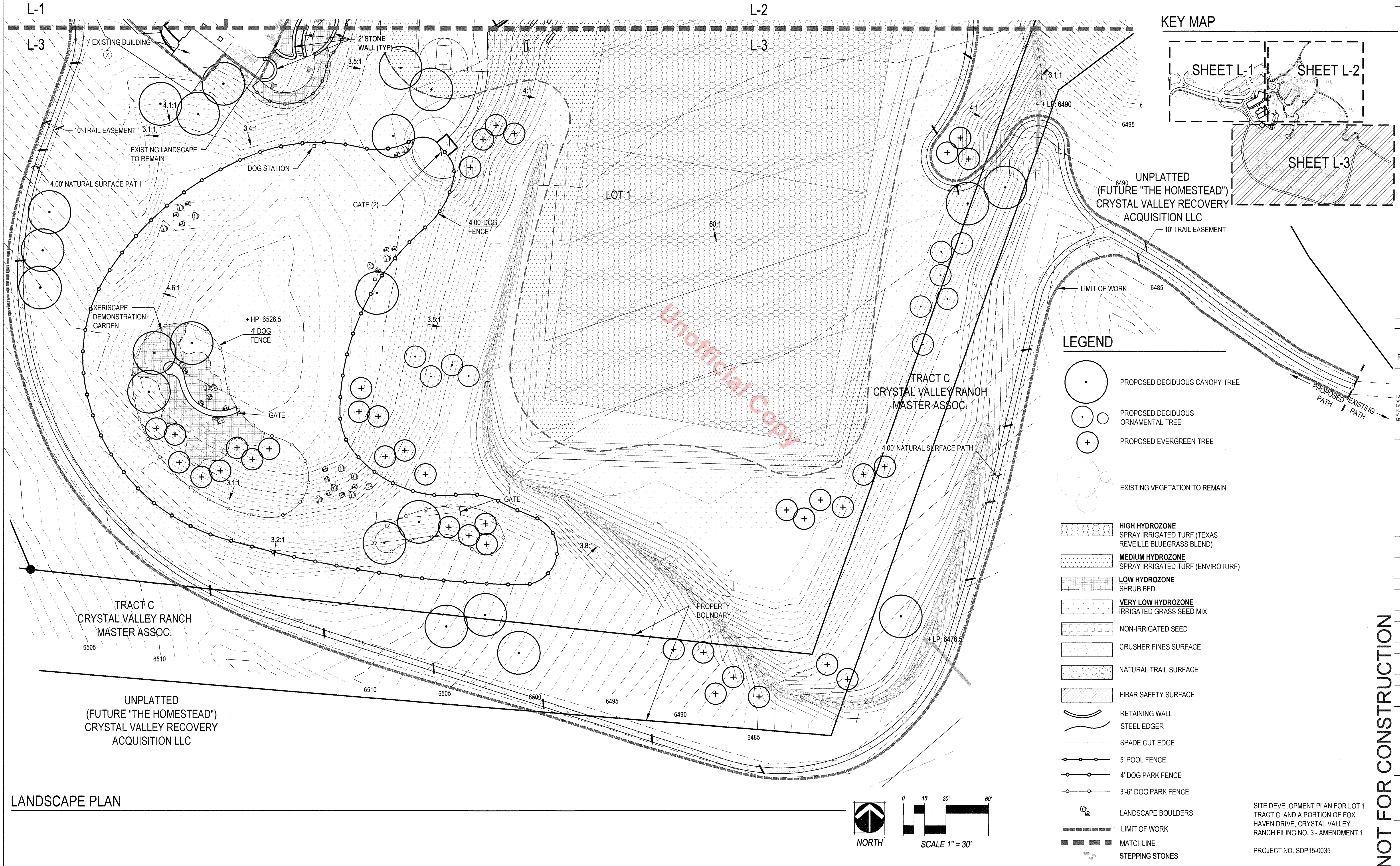
LOCATED IN THE SOUTH HALF OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Know what's below.
Call before you dig.



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186



LEGEND

- PROPOSED DECIDUOUS CANOPY TREE
- PROPOSED DECIDUOUS ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING VEGETATION TO REMAIN
- HIGH HYDROZONE
SPRAY IRRIGATED TURF (TEXAS REVELLE BLUEGRASS BLEND)
- MEDIUM HYDROZONE
SPRAY IRRIGATED TURF (ENVIROTURF)
- LOW HYDROZONE
SHRUB BED
- VERY LOW HYDROZONE
IRRIGATED GRASS SEED MIX
- NON-IRRIGATED SEED
- CRUSHER FINES SURFACE
- NATURAL TRAIL SURFACE
- FIBAR SAFETY SURFACE
- RETAINING WALL
- STEEL EDGER
- SPADE CUT EDGE
- 5' POOL FENCE
- 4' DOG PARK FENCE
- 3'-6" DOG PARK FENCE
- LANDSCAPE BOULDERS
- LIMIT OF WORK
- MATCHLINE
- STEPPING STONES

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
JOHN M. BIRNEY, P.L.A. ASLA AN CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 191126. THIS IS VALID THROUGH 30/10/2017. COLORADO LICENSE NUMBER IS 655

DATE:
APPROVED SDP
05/02/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE PLAN

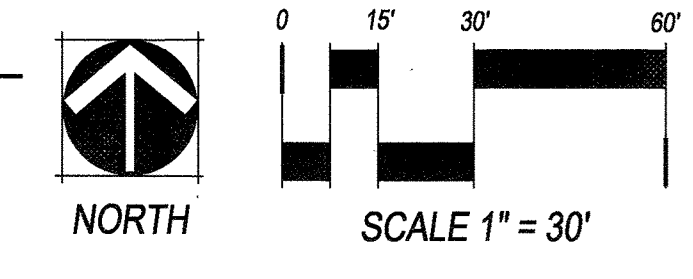
SHEET NUMBER:
L-3
SHEET 6 OF 8

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

PROJECT NO. SDP15-0035

CHECKED BY: JB
DRAWN BY: JB

LANDSCAPE PLAN



SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

LOCATED IN THE SOUTH HALF OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Know what's below.
Call before you dig.



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

LEGEND

- PROPOSED DECIDUOUS CANOPY TREE
- PROPOSED DECIDUOUS ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING VEGETATION TO REMAIN
- CRUSHER FINES SURFACE
- NATURAL TRAIL SURFACE
- FIBAR SAFETY SURFACE
- RETAINING WALL STEEL EDGER
- SPADE CUT EDGE
- 5' POOL FENCE
- 4' DOG PARK FENCE
- 3'-6" DOG PARK FENCE
- LANDSCAPE BOULDERS
- LIMIT OF WORK
- MATCHLINE
- STEPPING STONES



PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

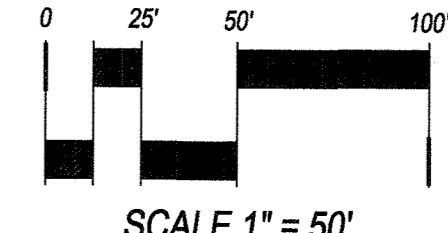
LANDSCAPE CERTIFICATION:
LICHIA W. BRINLEY, P.L.A., A.S.L.A. AM CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 15-1126. THIS IS VALID THROUGH 3/31/2017. COLORADO LICENSE NUMBER IS 655.
Lichia W. Brinley

DATE:
APPROVED SDP
05/02/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
L-4
SHEET 7 OF 8



SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1
PROJECT NO. SDP15-0035

CONCEPTUAL IRRIGATION STANDARD NOTES:

- TREES ARE TO BE IRRIGATED USING SUBSURFACE DRIP EMITTERS
- NATIVE SEED GRASSES THAT ARE IRRIGATED ARE TO USE ROTORS
- ALL SOD AREAS ARE TO BE IRRIGATED WITH SPRAYS

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

LOCATED IN THE SOUTH HALF OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE SUMMARY TABLE

LANDSCAPE TYPE	SQUARE FOOTAGE	PERCENTAGE
IRRIGATED TURF: REVEILLE BLUEGRASS	71,970	21.8%
IRRIGATED TURF: ENVIROTURF	46,878	14.2%
IRRIGATED GRASS SEED MIX	170,500	51.6%
IRRIGATED TREES*	13,783	4.2%
IRRIGATED BED	27,427	8.3%
TOTAL AREA LANDSCAPE	330,558	100%
NON-DISTURBED AREAS: N/A		
TOTAL TREES/SHRUBS/GRASSES PROVIDED: 194/na/na		
* TREES IN NON-IRRIGATED NATIVE SEED AREAS REQUIRING DRIP IRRIGATION		



NORRIS DESIGN
www.norris-design.com
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

COMPOSITE LANDSCAPE WATER USE RATING CHART

LANDSCAPE ZONE	LWU RATING RANGE
VERY LOW WATER USE	0.0 to 1.5
LOW WATER USE	+1.5 to 3.0
MODERATE WATER USE	+3.0 to 4.5
HIGH WATER USE	+4.5

NOTES: THE LWUR RATING RANGE IS BASED ON POST ESTABLISHMENT WATERING SCHEDULES.

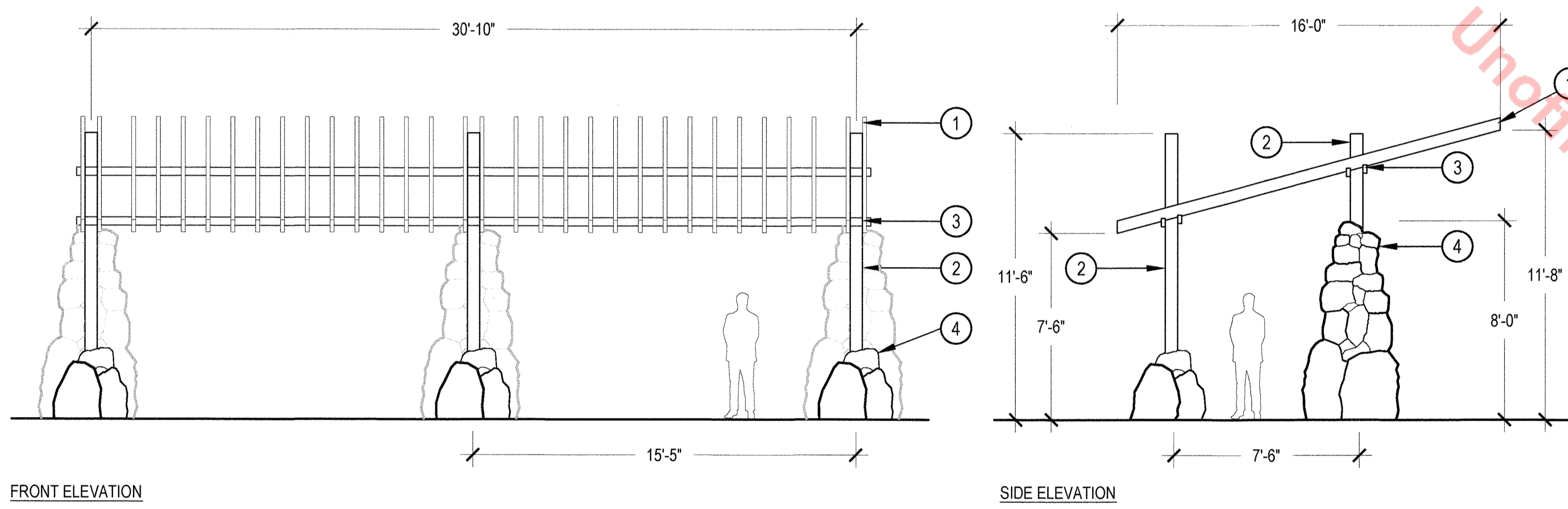
IRRIGATION ZONE	PLANT NAME (COMMON)	APPLICATION RATE (INCHES/MONTH)	LANDSCAPE ZONE	% OF TOTAL AREA	IA (IRRIGATED AREA IN SQ FT FOR EACH ZONE)	LWUR (LANDSCAPE WATER USE RATING)	TOTAL AREA (TA)	CLWUR (LWUR X IA)/TA
DRIP	TREES IN NATIVE *	2.0 in./mo.	LOW	4.2%	13,784	2.0	330,559	0.08
DRIP	SHRUB BED	2.0 in./mo.	LOW	8.3%	27,427	2.0	330,559	0.17
SPRAY ROTORS	IRRIGATED GRASS SEED MIX	1.5 in./mo.	VERY LOW	51.6%	170,500	1.5	330,559	0.77
SPRAY ROTORS	TURF: REVEILLE BLUEGRASS	4.50 in./mo.	HIGH	21.8%	71,970	4.50	330,559	0.98
SPRAY ROTORS	TURF: ENVIROTURF	3.00 in./mo.	MODERATE	14.2%	46,878	3.00	330,559	0.43
TOTALS							330,559	2.43
TOTAL OF THE CLWUR								2.43

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES:

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- AN IRRIGATION PLAN WILL BE REQUIRED ON THE FIRST REVIEW OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.1B AND 4.2.3 IN THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS.
- IRRIGATION SYSTEM IS TO BE REVIEWED AND APPROVED WITH CONSTRUCTION DOCUMENTS. CHANGES MAY BE NECESSARY ON THE LANDSCAPE PLAN DUE TO THE FIRST IRRIGATION REVIEW ON THE CONSTRUCTION DOCUMENTS.
- TREES, LARGE SHRUBS AND PERMANENT STRUCTURES ARE NOT ALLOWED IN UTILITY OR DRAINAGE EASEMENTS IN THE TOWN OF CASTLE ROCK.
- SLOPES GREATER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
- TRAILS TO BE CONSTRUCTED BY CERTIFIED TRAIL CONTRACTOR.

LANDSCAPE PARKING REQUIREMENTS

ITEM	REQUIRED	PROVIDED
TOTAL PROPOSED PARKING AREA (SQ. FT.)	N/A	12,685
PARKING LANDSCAPE AREA (SQ.FT.)	1,269	2,123
PARKING LOT TREES	3	3
PARKING LOT SHRUBS	5	188



- ① 2" x 6" WOOD
- ② 6" x 6" WOOD POST
- ③ 2" x 4" METAL BEAM - BLACK
- ④ BOULDER "CAIRN" WITH DRY STACK APPEARANCE ATTACHED TO CMU CORE

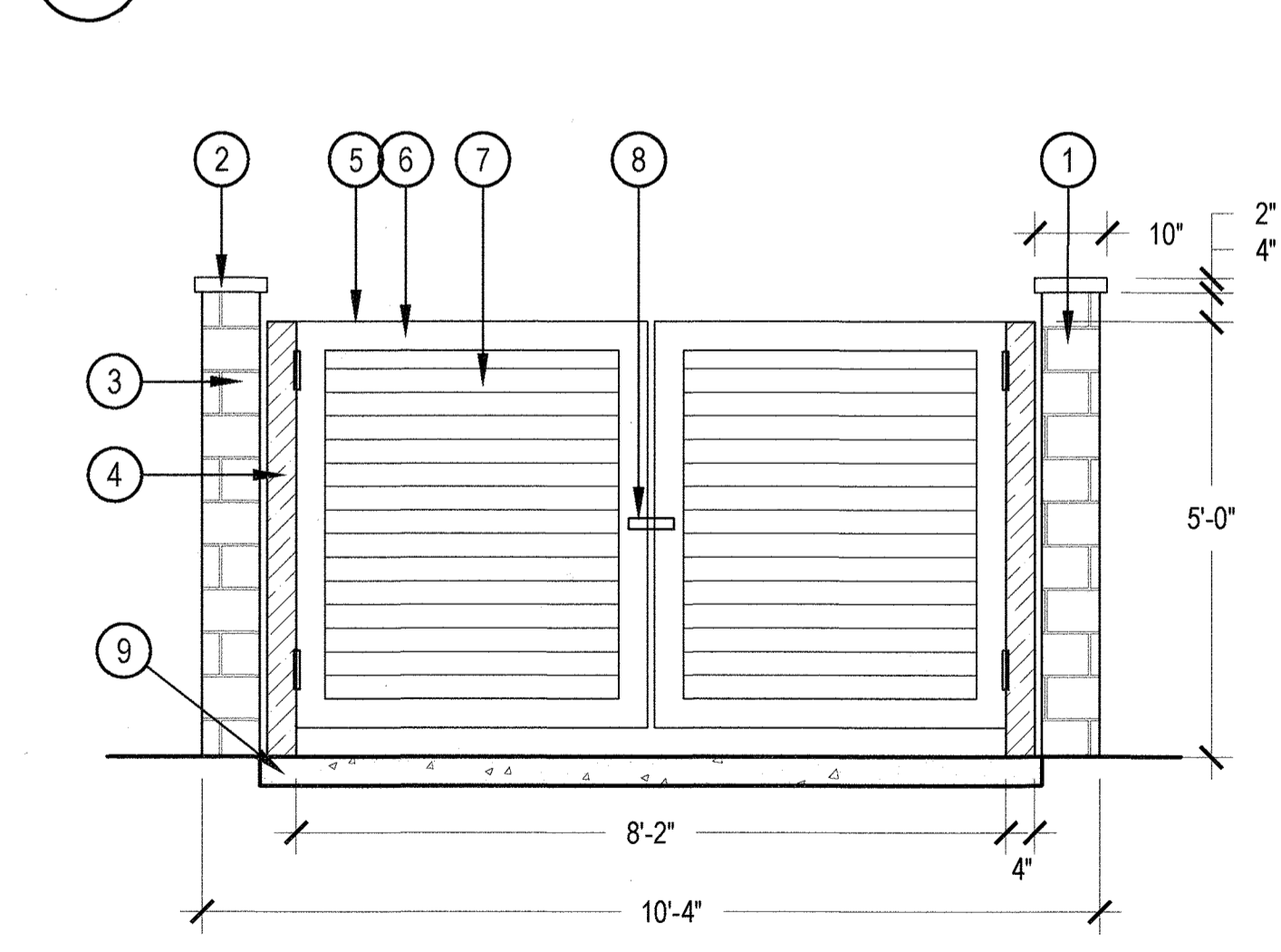
BOULDER TYPICAL LAYOUT/PLACEMENT NOTES:

- BOULDERS TYPES USED IN ALL SIZES SHALL BE AS FOLLOWS:
-50% OF TOTAL BOULDER QTY. SHALL BE HOPI MOUNTAIN MOSS ROCK, SPECIFIED FROM HIGH PLAINS STONE COMPANY
-30% OF TOTAL BOULDER QTY. SHALL BE APACHE MOUNTAIN MOSS, SPECIFIED FROM HIGH PLAINS STONE COMPANY
-20% OF TOTAL BOULDER QTY. SHALL BE MOUNTAIN GRANITE, SPECIFIED FROM ALBERT FREI PIT IN IDAHO SPRINGS
- MASON SHALL SUBMIT BOULDER SAMPLES OF ALL TYPES FOR APPROVAL PRIOR TO CONSTRUCTION.
- MASON SHALL CONSTRUCT A MOCK UP FOR APPROVAL BY LANDSCAPE ARCHITECT.
- MASON SHALL CREATE A DRY STACK APPEARANCE. WITH NOW GROUT EXPOSED



STONE PINNACLE MONOLITH
8' MAX HEIGHT

2 STONE PINNACLE



- ① C.M.U. WALL SECTION, FULLY GROUTED.
- ② 2" PRECAST STONE CAP, SLOPED TO DRAIN, 1" OVERHANG, MATCH COLOR AND FINISH TO ARCHITECTURE
- ③ SPLIT-FACE FINISH ON C.M.U. BLOCK WALLS, TO FACE OUTSIDE, COLOR TO MATCH EXISTING ARCHITECTURE, SAMPLE TO BE SUBMITTED FOR APPROVAL
- ④ 4X4X14 SQUARE STEEL TUBE, WITH FULLY ENCLOSED TOP, BLACK POWDERCOAT FINISH, EMBED OR SURFACE MOUNT.
- ⑤ ALUMINUM FRAME GATE HINGED TO STEEL POST.
- ⑥ 4" WIDTH WOOD TRIM, MATCH FINISH TO ARCHITECTURE
- ⑦ LAP SIDING, MATCH COLOR, STYLE AND MANUFACTURER TO ARCHITECTURE
- ⑧ LOCKABLE LATCH MECHANISM
- ⑨ 4" REINFORCED CONCRETE SLAB

1 SHELTER

- ① 2" x 6" WOOD
- ② 6" x 6" WOOD POST
- ③ 2" x 4" METAL BEAM - BLACK
- ④ BOULDER "CAIRN" WITH DRY STACK APPEARANCE ATTACHED TO CMU CORE

BOULDER TYPICAL LAYOUT/PLACEMENT NOTES:

- BOULDERS TYPES USED IN ALL SIZES SHALL BE AS FOLLOWS:
-50% OF TOTAL BOULDER QTY. SHALL BE HOPI MOUNTAIN MOSS ROCK, SPECIFIED FROM HIGH PLAINS STONE COMPANY
-30% OF TOTAL BOULDER QTY. SHALL BE APACHE MOUNTAIN MOSS, SPECIFIED FROM HIGH PLAINS STONE COMPANY
-20% OF TOTAL BOULDER QTY. SHALL BE MOUNTAIN GRANITE, SPECIFIED FROM ALBERT FREI PIT IN IDAHO SPRINGS
- MASON SHALL SUBMIT BOULDER SAMPLES OF ALL TYPES FOR APPROVAL PRIOR TO CONSTRUCTION.
- MASON SHALL CONSTRUCT A MOCK UP FOR APPROVAL BY LANDSCAPE ARCHITECT.
- MASON SHALL CREATE A DRY STACK APPEARANCE. WITH NOW GROUT EXPOSED

3 SMALL SHELTER

- ① 2" x 6" WOOD
- ② 6" x 6" WOOD POST
- ③ 2" x 4" METAL BEAM - BLACK
- ④ BOULDER "CAIRN" WITH DRY STACK APPEARANCE ATTACHED TO CMU CORE

BOULDER TYPICAL LAYOUT/PLACEMENT NOTES:

- BOULDERS TYPES USED IN ALL SIZES SHALL BE AS FOLLOWS:
-50% OF TOTAL BOULDER QTY. SHALL BE HOPI MOUNTAIN MOSS ROCK, SPECIFIED FROM HIGH PLAINS STONE COMPANY
-30% OF TOTAL BOULDER QTY. SHALL BE APACHE MOUNTAIN MOSS, SPECIFIED FROM HIGH PLAINS STONE COMPANY
-20% OF TOTAL BOULDER QTY. SHALL BE MOUNTAIN GRANITE, SPECIFIED FROM ALBERT FREI PIT IN IDAHO SPRINGS
- MASON SHALL SUBMIT BOULDER SAMPLES OF ALL TYPES FOR APPROVAL PRIOR TO CONSTRUCTION.
- MASON SHALL CONSTRUCT A MOCK UP FOR APPROVAL BY LANDSCAPE ARCHITECT.
- MASON SHALL CREATE A DRY STACK APPEARANCE. WITH NOW GROUT EXPOSED

4 TRASH ENCLOSURE

SCALE: 1/2" = 1'-0"

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
JOHN M. BENNEY, P.L.A. AS A LANDSCAPE DESIGNER WITH THE TOWN OF CASTLE ROCK, AS A LANDSCAPE DESIGNER, TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 15-1126. THIS IS VALID THROUGH 3/31/2017. COLORADO LICENSE NUMBER 5165

John M. Benney

DATE:
APPROVED SDP
05/02/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
CLWU CHARTS AND DETAILS

SHEET NUMBER:
L-5
SHEET 8 OF 8

SITE DEVELOPMENT PLAN FOR LOT 1, TRACT C, AND A PORTION OF FOX HAVEN DRIVE, CRYSTAL VALLEY RANCH FILING NO. 3 - AMENDMENT 1

PROJECT NO. SDP15-0035