

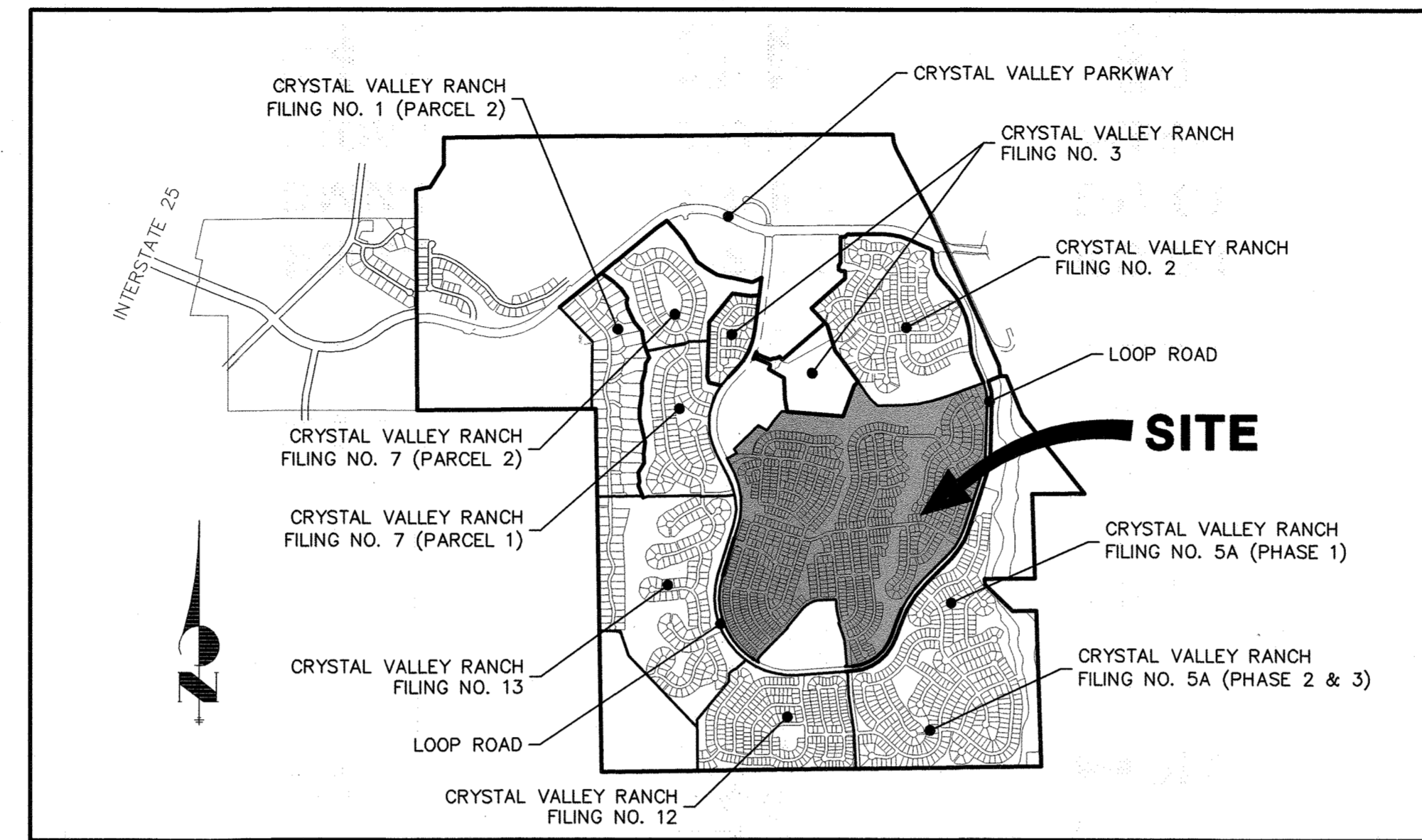
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUCCESSOR OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DISEASED MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THERE ARE NO MAJOR DRAINAGEWAYS OR WETLANDS LOCATED WITHIN THE SITE. THE ENTIRE SITE IS LOCATED WITHIN AND ADJACENT TO ZONE X, AS DETERMINED BY THE FIRM PANELS 08035C03046, DATED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL TRACTS WILL BE DEDICATED WITH THE PLAT. SEE TRACT TABLE ON SHEET 4.
- ALL UTILITY, DRAINAGE, SIGHT DISTANCE, EGRESS ACCESS AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THE MAJOR AMENDMENT NO. 4 TO THE CRYSTAL VALLEY RANCH PPD WAS RECORDED FEBRUARY 24, 2012 AT REC. NO. 2012013155. THIS SITE IS ZONED R-SF-6.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- BENCHMARK:**
DOUGLAS COUNTY CONTROL POINT 3040010 NAVD 88 ELEVATION = 6589.35' FOUND 3.5" ALUMINUM CAP ON STEEL ROD MARKED "DCGIS 3040010" LOCATED 38.28' SOUTHWEST OF THE SOUTHEAST CORNER OF SEC. 23, T8S, R67W.
- BASIS OF BEARINGS:**
THE WEST LINE OF THE NORTHWEST ¼ OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED 'S 6935' AT THE NORTHWEST CORNER AND A 3-1/4" ALUMINUM CAP STAMPED 'S 12405' AT THE WEST ¼ CORNER, BEING ASSUMED TO BEAR N00°54'16"W.

SUMMARY TABLE	
MAXIMUM GROSS FLOOR AREA	N/A
BUILDING SETBACKS	20' FRONT, 20' REAR, 5' SIDE, 15' SIDE ALONG ALL PUBLIC ROW
MAX BUILDING HEIGHT	35'-0"
SITE UTILIZATION	LOT COVERAGE: 5,996,061 SF
	STREET COVERAGE: 1,957,560 SF
	OPEN SPACE/LANDSCAPED AREA: 3,034,250 SF
SINGLE FAMILY DETACHED LOTS	900
SINGLE FAMILY EQUIVALENT UNITS	900 (+ IRRIGATION)
TOTAL LAND AREA	10,987,871 SF
GROSS DENSITY	3.57 DU/AC
NET DENSITY	4.34 DU/AC
MINIMUM LOT AREA	4,000 SF
MAXIMUM LOT AREA	16,156 SF
AVERAGE LOT AREA	6,662 SF
MINIMUM BUILDING SEPERATION	10'



CONTACTS

OWNER
CRYSTAL VALLEY RECOVERY ACQUISITION, LLC
7200 S. ALTON WAY
SUITE C400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND

LAND PLANNER
NORRIS DESIGN
1101 BANNOCK STREET
DENVER, CO 80204
CONTACT: MITCH BLACK

ENGINEER/PLAN PREPARER
JR ENGINEERING
7200 S. ALTON WAY
SUITE C400
CENTENNIAL, CO 80112
CONTACT: KURTIS WILLIAMS

LAND SURVEYOR
JR ENGINEERING
7200 S. ALTON WAY
SUITE C400
CENTENNIAL, CO 80112
CONTACT: JARROD ADAMS

TITLE CERTIFICATION

Beverly Carlson
First American Title AN AUTHORIZED REPRESENTATIVE OF
FIRST AMERICAN TITLE, A TITLE INSURANCE COMPANY LICENSED TO DO
BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC
RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY
ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE Beryl M Carlson

TITLE COMPANY First American Title CO.

SIGNED THIS 19th DAY OF December, 2016

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 19th DAY OF December
2016 BY Beverly H. Carlson AS AUTHORIZED REPRESENTATIVE
OF First American Title

WITNES MY HAND AND OFFICIAL SEAL
Carrie A. Burgess
NOTARY PUBLIC
MY COMMISSION EXPIRES: Jan 5th, 2020

CARRIE LYNNE BURGESS
Notary Public
State of Colorado
Notary ID 20164000268
My Commission Expires Jan 5, 2020

SURVEYOR'S CERTIFICATE

I, JARROD ADAMS, A REGISTERED PROFESSIONAL LAND SURVEYOR
IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL
DESCRIPTION IDENTIFIED ON THIS SITE DEVELOPMENT PLAN WAS MADE UNDER
SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THE
DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR _____ DATE _____

JARROD ADAMS
38252
10-10-16
PROFESSIONAL LAND SURVEYOR

CIVIL ENGINEER'S STATEMENT

I, Kurtis W. Williams, BEING A REGISTERED PROFESSIONAL ENGINEER
IN THE STATE OF COLORADO, HEREBY CERTIFY THAT ALL GRADING, UTILITY AND DRAINAGE
IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND
ENGINEERED IN CONFORMANCE WITH THE TOWN OF CASTLE ROCK PUBLIC WORKS
CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER _____ DATE _____

KURTIS WILLIAMS
34870
10-11-16
PROFESSIONAL ENGINEER

PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING
COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 22nd DAY OF Sept.
2016

CHAIR Max Brooks DATE 10 JAN 2017

ATTEST:
[Signature]
DIRECTOR OF DEVELOPMENT SERVICES DATE 12 Jan 2017

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF
THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:47 PM
ON THE 24th DAY OF Jan., 2017 AT RECEPTION NO.
2017005515.

DOUGLAS COUNTY CLERK AND RECORDER _____

BY: Sandra C. Seal
DEPUTY

SANDRA C. SEAL
EST. 1974

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF
CASTLE ROCK, COLORADO, ON THE 4th DAY OF OCTOBER, 2016.

MAYOR Jennifer Green DATE 17 January 2017

ATTEST:
[Signature]
TOWN CLERK DATE 1-17-17

CRYSTAL VALLEY RANCH
FILING NO. 15
SITE DEVELOPMENT PLAN
JOB NO. 15635.50
DATE 10/7/16
SHEET 1 OF 56

JENNIFER L. KING
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 1998405016
MY COMMISSION EXPIRES SEPT. 21, 2019

LEGAL DESCRIPTION

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

7. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1685.00 FEET, A CENTRAL ANGLE OF 25°59'11" AND AN ARC LENGTH OF 764.23 FEET, TO A POINT OF TANGENT;

8. S18°47'13"W A DISTANCE OF 178.42 FEET, TO A POINT OF CURVE;

9. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 665.00 FEET, A CENTRAL ANGLE OF 66°51'37" AND AN ARC LENGTH OF 776.01 FEET, TO A POINT OF TANGENT;

10. S85°38'50"W A DISTANCE OF 109.37 FEET;

THENCE DEPARTING SAID RIGHT-OF-WAY LINE, THE FOLLOWING THREE COURSES (3) COURSES:

1. N40°38'50"E A DISTANCE OF 42.43 FEET;

2. N04°21'10"W DISTANCE OF 228.08 FEET, TO A POINT OF CURVE;

3. THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 964.00 FEET, A CENTRAL ANGLE OF 9°49'07" AND AN ARC LENGTH OF 165.20 FEET, TO A POINT OF NON-TANGENT ON THE EASTERLY LINE OF THAT TOWN OF CASTLE ROCK PROPERTY DESCRIBED IN THE DOCUMENT RECORDED UNDER RECEPTION NO. 2007030285;

THENCE ON SAID EASTERLY LINE, N18°03'46"W A DISTANCE OF 167.48 FEET;

THENCE DEPARTING SAID EASTERLY LINE, THE FOLLOWING TWO (2) COURSES:

1. N19°28'28"W A DISTANCE OF 63.13 FEET;

2. N70°31'32"E A DISTANCE OF 1.56 FEET, TO A POINT ON THE EASTERLY LINE OF SAID TOWN OF CASTLE ROCK PROPERTY;

THENCE ON THE EASTERLY AND NORTHERLY LINES OF SAID TOWN OF CASTLE ROCK PROPERTY, THE FOLLOWING TWO (2) COURSES:

1. N18°03'46"W A DISTANCE OF 251.77 FEET;

2. N89°47'26"W A DISTANCE OF 414.66 FEET, TO A POINT OF NON-TANGENT CURVE;

THENCE DEPARTING SAID TOWN OF CASTLE ROCK PROPERTY, THE FOLLOWING SEVEN (7) COURSES:

1. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S45°17'08"E, HAVING A RADIUS OF 277.50 FEET, A CENTRAL ANGLE OF 4°56'58" AND AN ARC LENGTH OF 23.97 FEET, TO A POINT OF TANGENT;

2. S39°45'54"W A DISTANCE OF 353.71 FEET, TO A POINT OF TANGENT;

3. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 422.50 FEET, A CENTRAL ANGLE OF 04°29'54" AND AN ARC LENGTH OF 33.17 FEET, TO A POINT OF NON-TANGENT;

4. S45°44'12"E A DISTANCE OF 13.53 FEET;

5. S44°54'52"W A DISTANCE OF 556.11 FEET, TO A POINT OF CURVE;

6. ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 364.00 FEET, A CENTRAL ANGLE OF 12°37'12" AND AN ARC LENGTH OF 80.17 FEET, TO A POINT OF NON-TANGENT;

7. S15°23'14"E A DISTANCE OF 41.32 FEET, TO A POINT OF NON-TANGENT CURVE ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID LOOP ROAD;

THENCE ON SAID RIGHT-OF-WAY LINE, THE FOLLOWING FIVE (5) COURSES:

1. ON ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS N27°19'39"E, HAVING A RADIUS OF 1065.00 FEET, A CENTRAL ANGLE OF 80°05'24" AND AN ARC LENGTH OF 1488.69 FEET, TO A POINT OF TANGENT;

2. THENCE N17°25'03"E A DISTANCE OF 748.07 FEET, TO A POINT OF CURVE;

3. ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1035.00 FEET, A CENTRAL ANGLE OF 14°32'04" AND AN ARC LENGTH OF 262.55 FEET, TO A POINT OF NON-TANGENT COMPOUND CURVE;

4. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N84°55'06"W, HAVING A RADIUS OF 1037.00 FEET, A CENTRAL ANGLE OF 29°53'19" AND AN ARC LENGTH OF 540.96 FEET, TO A POINT OF NON-TANGENT;

5. N26°45'06"W A DISTANCE OF 252.21 FEET, TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 10,987,871 SQUARE FEET OR 252.2468 ACRES.

SHEET INDEX

- 1 COVER SHEET
- 2 TYPICAL SECTIONS
- 3 PHASING PLAN
- 4 TO 9 SITE PLAN
- 10 TO 15 GENERAL GRADING PLAN
- 16 TO 21 GENERAL UTILITY PLAN
- 22 LANDSCAPE NOTES
- 23 OVERALL PLAN
- 24 TO 55 LANDSCAPE PLAN
- 56 LANDSCAPE DETAILS

APPROVED VARIANCES:

ALLOW THE PLANTING OF TREES IN TREE LAWNS SMALLER THAN 10' FOR A COLLECTOR AND ARTERIAL STREETS PER VARIANCE TCV16-0044 APPROVED 08/16/2016.

SIGHT LINE ENCROACHMENT GREATER THAN 5' INTO RESIDENTIAL LOTS PER VARIANCE TCV16-0024 APPROVED 08-26-2016.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

[Signature] AS AUTHORIZED SIGNATORY OF
CRYSTAL VALLEY RECOVERY ACQUISITION, LLC, A DELAWARE LIMITED LIABILITY COMPANY

SIGNED THIS 19th DAY OF October, 2016

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 19th DAY OF October
2016 BY Jon Shumaker AS Authorized Signatory
OF CRYSTAL VALLEY RECOVERY ACQUISITION, LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

ANNA LOWDEN
Notary Public, State of New York
Registration #01106346173
Qualified in New York County
Commission Expires Aug. 8, 2020

OWNERSHIP CERTIFICATION

TOWN OF CASTLE ROCK, A MUNICIPAL CORPORATION

BY: [Signature]
MAYOR

ATTEST:
[Signature]
TOWN CLERK

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 17th DAY OF January
2017 BY Jennifer Green AS MAYOR AND BY
Sally Misare AS TOWN CLERK.

WITNESS MY HAND AND OFFICIAL SEAL.

JENNIFER L. KING
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 1998405016
MY COMMISSION EXPIRES SEPT. 21, 2019

MY COMMISSION EXPIRES: 9-21-2019

FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



NOTE
PHASE NUMBERING MAY NOT REFLECT ACTUAL PHASING SEQUENCE. EACH PHASE WILL PROVIDE ADEQUATE FIRE ACCESS AND WATER LOOPING.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, THESE DRAWINGS SHALL BE USED ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

J-R ENGINEERING
A Weisman Company
Centennial 303-740-9888 • Colorado Springs 719-589-2583
Fort Collins 970-491-9888 • www.jrengineering.com

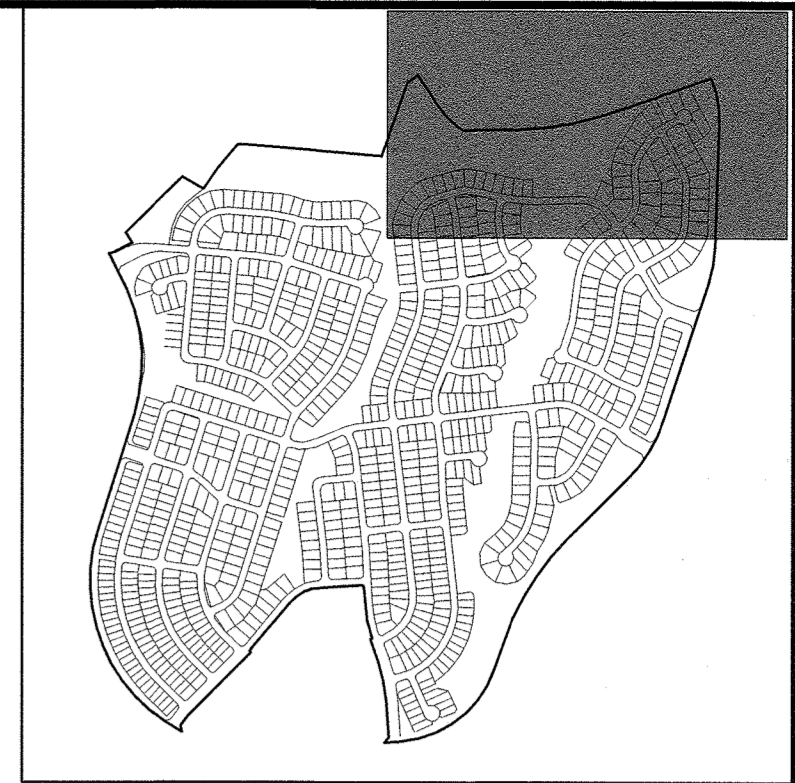
BY	DATE	NO.	REVISION

H-SCALE	1" = 250'
V-SCALE	N/A
DATE	10/7/16
DESIGNED BY	
DRAWN BY	JP
CHECKED BY	

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN
PHASING PLAN

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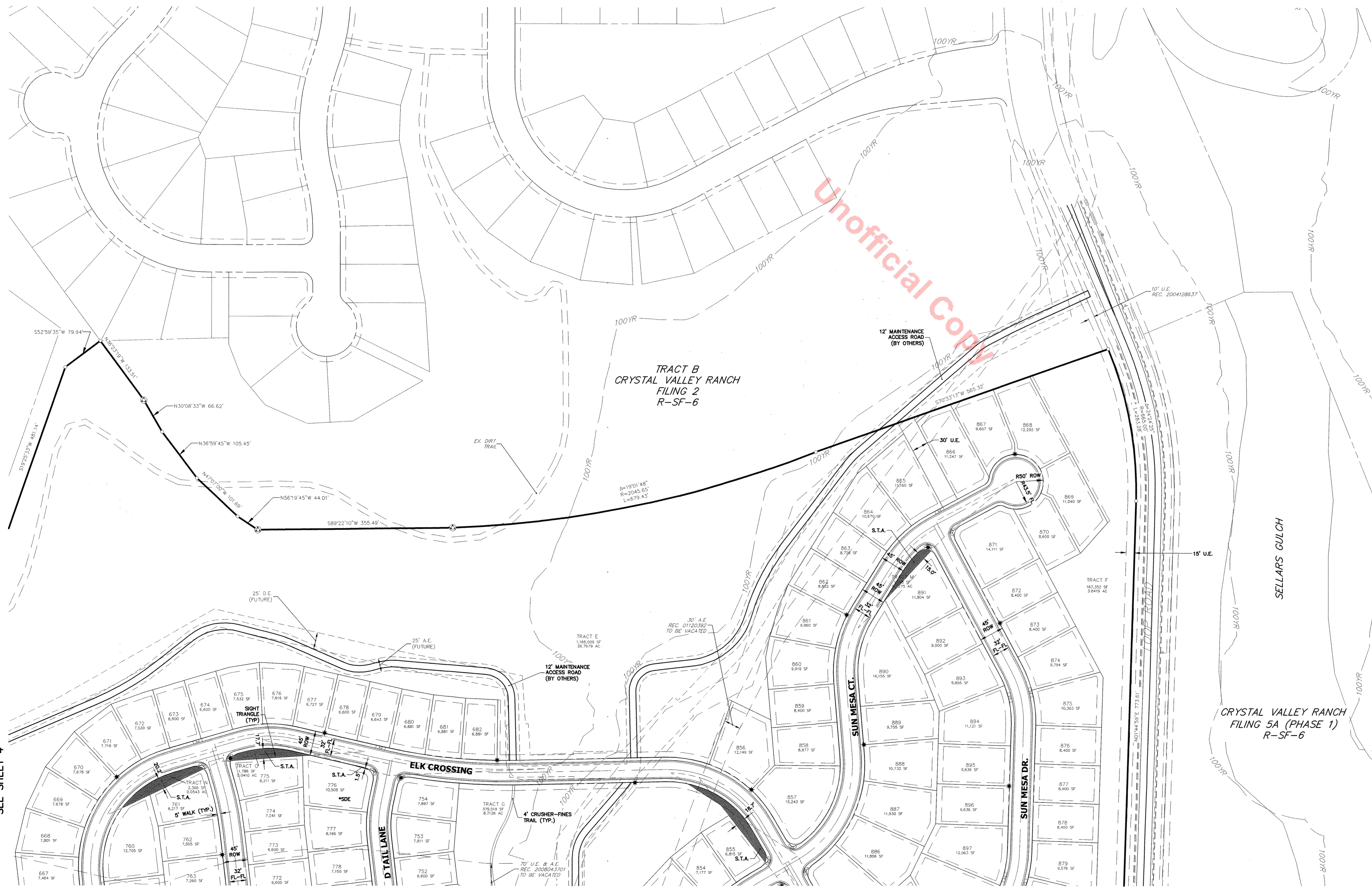
KEY MAP
SCALE 1"=1200'

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, THESE DRAWINGS APPLY ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CWA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

J-R ENGINEERING
A Weatrain Company

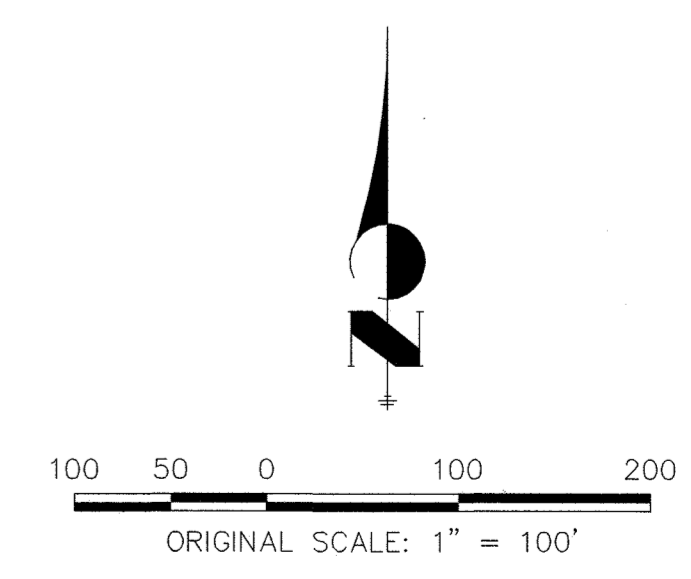
Centennial 303-740-9888 • Colorado Springs 719-589-2583
Fort Collins 970-491-9888 • www.jrengineering.com



NOTE
SEE SHEET 2 FOR TYPICAL LOOP ROAD SECTIONS.

LEGEND

	PROPOSED RIGHT OF WAY
	EXISTING RIGHT OF WAY
	PROPERTY LINE
	BOUNDARY LINE
	CENTERLINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	SIGHT EASEMENT
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	PROPOSED STREET LIGHT
	EXISTING STREET LIGHT
	MAILBOX CLUSTER
	DRAINAGE EASEMENT
	UTILITY EASEMENT
	ACCESS EASEMENT
	INDICATES LOT W/ SIGHT DISTANCE EASEMENT
	SIGHT TRIANGLE AREA (S.T.A.)



SEE SHEET 4

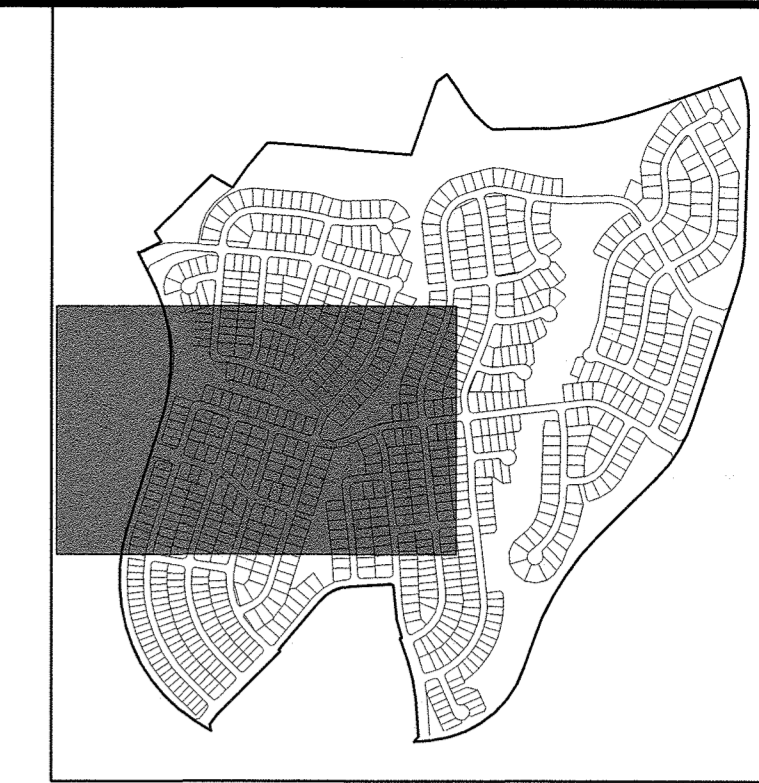
SEE SHEET 7

No.	REVISION	BY	DATE	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN
SITE PLAN
SHEET 5 OF 56

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP
SCALE 1"=1200'

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE AGENCIES, J.R. ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

J.R. ENGINEERING
A Westman Company
Centennial 303-740-0888 • Colorado Springs 719-580-2583
Fort Collins 970-491-8888 • www.jrengineering.com

BY	DATE	NO.	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=100'	N/A	10/7/16	SAB	SAB	

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN
SITE PLAN

CVRA, LLC
R-SF-6
FUTURE RESIDENTIAL
(CVR FILING 75)

CVRA, LLC
R-SF-6
FUTURE RESIDENTIAL
(CVR FILING 13)



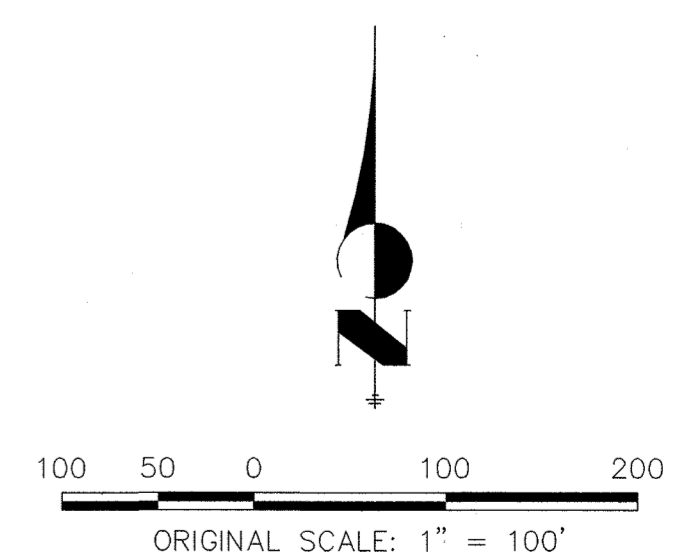
SEE SHEET 4

SEE SHEET 8

SEE SHEET 7

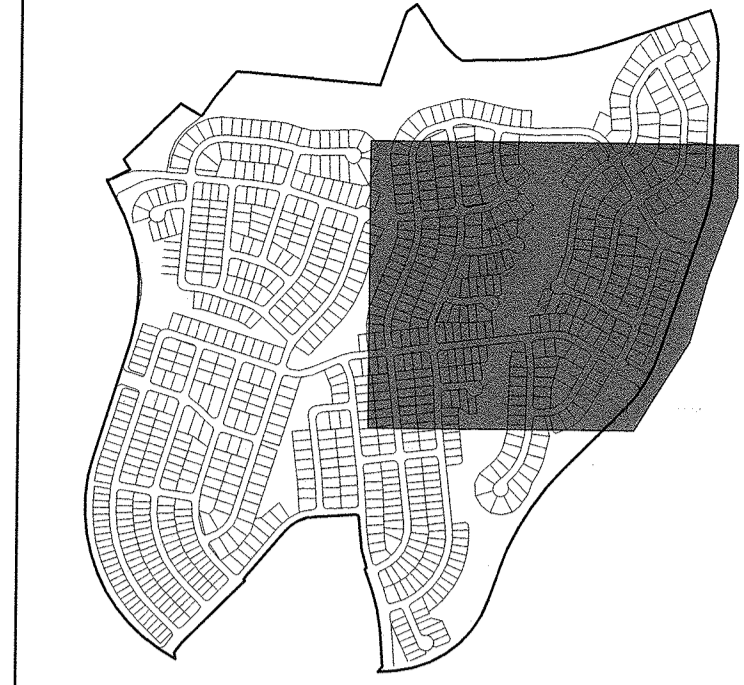
NOTE
SEE SHEET 2 FOR TYPICAL LOOP ROAD SECTIONS.

- LEGEND**
- PROPOSED RIGHT OF WAY
 - EXISTING RIGHT OF WAY
 - PROPERTY LINE
 - BOUNDARY LINE
 - CENTERLINE
 - - - PROPOSED EASEMENT
 - - - EXISTING EASEMENT
 - - - SIGHT EASEMENT
 - - - PROPOSED CURB & GUTTER
 - - - EXISTING CURB & GUTTER
 - - - PROPOSED STREET LIGHT
 - - - EXISTING STREET LIGHT
 - - - MAILBOX CLUSTER
 - - - DRAINAGE EASEMENT
 - - - UTILITY EASEMENT
 - - - ACCESS EASEMENT
 - - - INDICATES LOT W/ SIGHT DISTANCE EASEMENT
 - - - SIGHT TRIANGLE AREA (S.T.A.)



CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP
SCALE 1"=1200'

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, J.R. ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES INDICATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

J.R. ENGINEERING
A Western Company

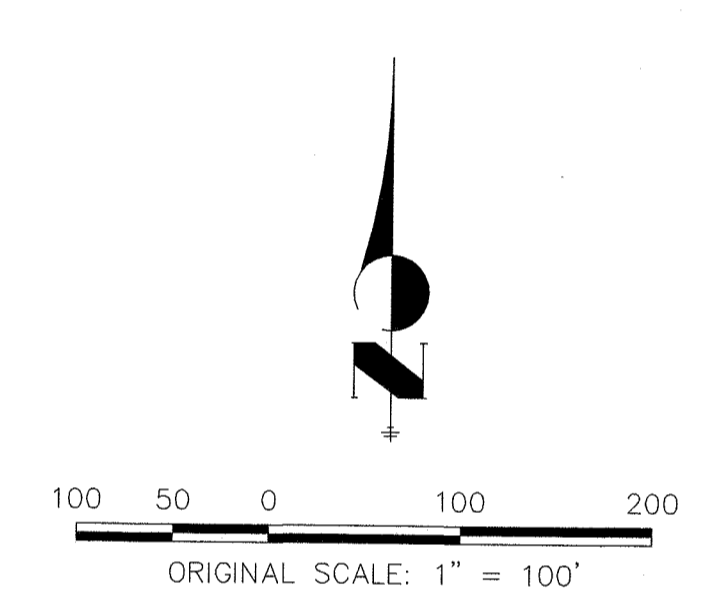
Centennial 303-740-9383 • Colorado Springs 719-593-2933
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	NO.	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=100'	N/A	10/7/16	SAB	SAB	



NOTE
SEE SHEET 2 FOR TYPICAL LOOP ROAD SECTIONS.



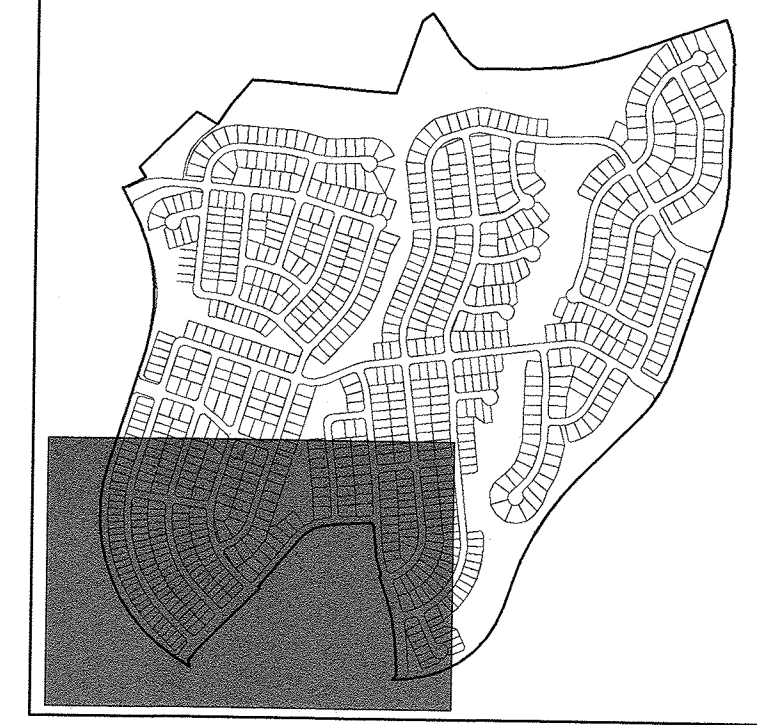
- LEGEND**
- PROPOSED RIGHT OF WAY
 - EXISTING RIGHT OF WAY
 - PROPERTY LINE
 - BOUNDARY LINE
 - CENTERLINE
 - PROPOSED EASEMENT
 - EXISTING EASEMENT
 - SIGHT EASEMENT
 - PROPOSED CURB & GUTTER
 - EXISTING CURB & GUTTER
 - PROPOSED STREET LIGHT
 - EXISTING STREET LIGHT
 - MAILBOX CLUSTER
 - DRAINAGE EASEMENT
 - UTILITY EASEMENT
 - ACCESS EASEMENT
 - INDICATES LOT W/ SIGHT DISTANCE EASEMENT
 - SIGHT TRIANGLE AREA (S.T.A.)

SEE SHEET 5

SEE SHEET 9

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

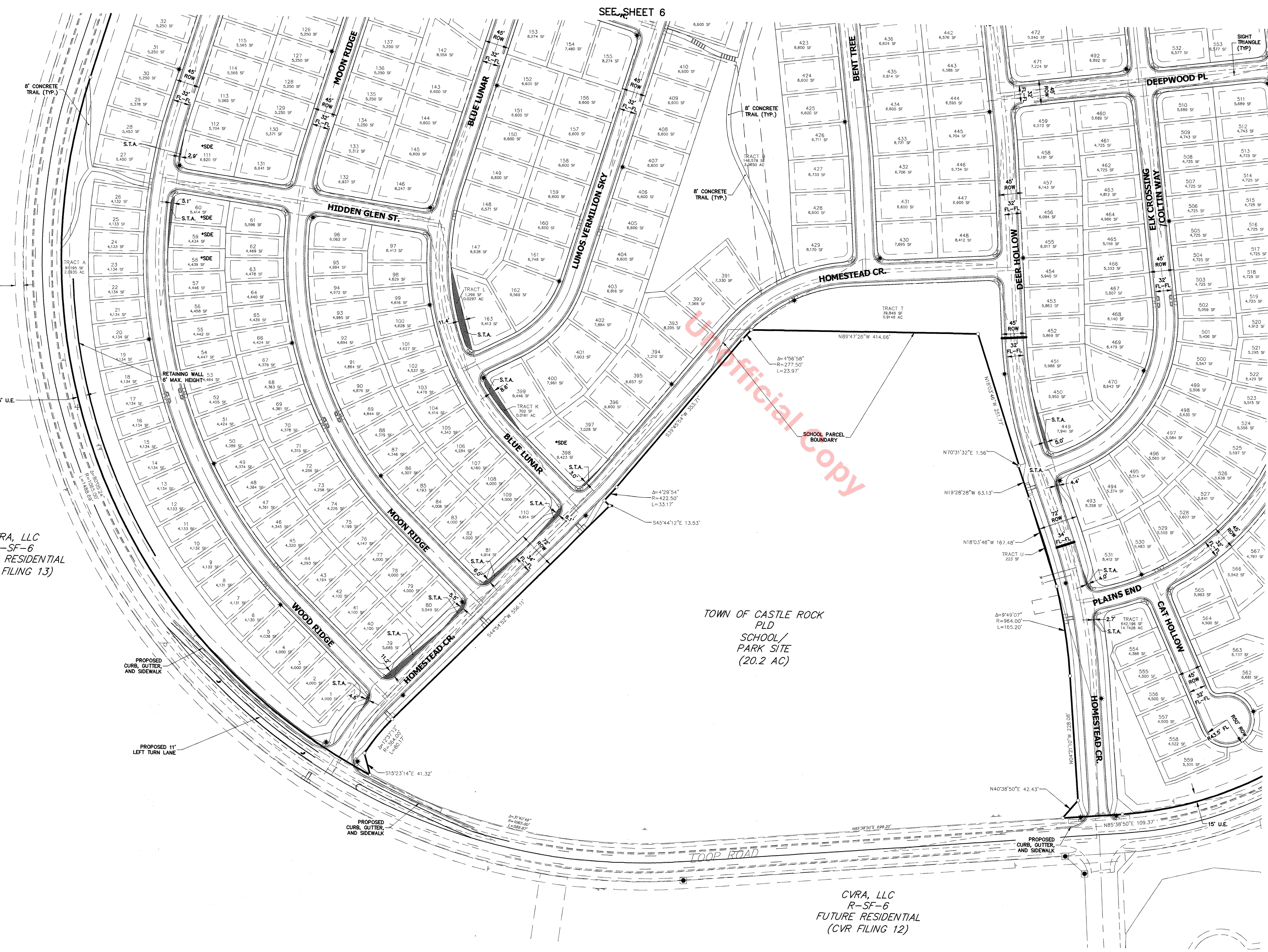


KEY MAP
SCALE 1"=1200'

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PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

JR ENGINEERING
A Western Company
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FORT COLLINS 970-491-8888 • www.jrengineering.com

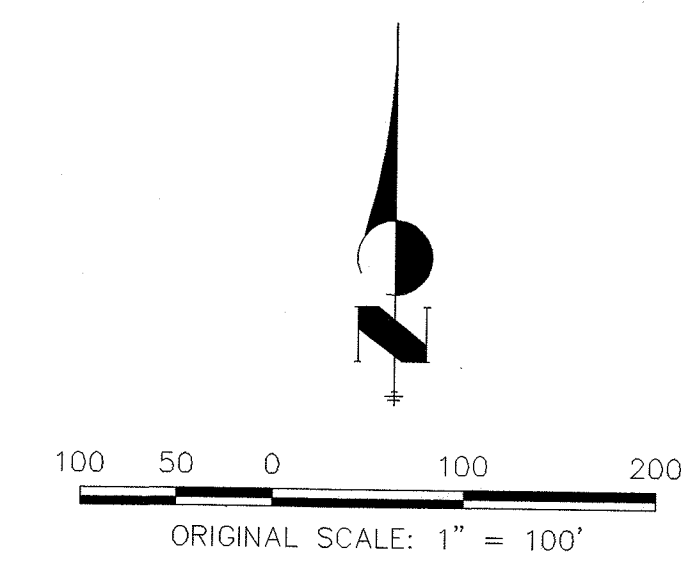


LEGEND

- PROPOSED RIGHT OF WAY
- - - EXISTING RIGHT OF WAY
- PROPERTY LINE
- - - BOUNDARY LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT
- - - EXISTING EASEMENT
- - - SIGHT EASEMENT
- - - PROPOSED CURB & GUTTER
- - - EXISTING CURB & GUTTER
- - - EXISTING STREET LIGHT
- - - EXISTING STREET LIGHT
- - - MAILBOX CLUSTER
- - - DRAINAGE EASEMENT
- - - UTILITY EASEMENT
- - - ACCESS EASEMENT
- - - *SDE INDICATES LOT W/ SIGHT DISTANCE EASEMENT
- - - SIGHT TRIANGLE AREA (S.T.A.)

SEE SHEET 9

NOTE
SEE SHEET 2 FOR TYPICAL LOOP ROAD SECTIONS.



CVRA, LLC
R-SF-6
FUTURE RESIDENTIAL
(CVR FILING 13)

TOWN OF CASTLE ROCK
PLD
SCHOOL/
PARK SITE
(20.2 AC)

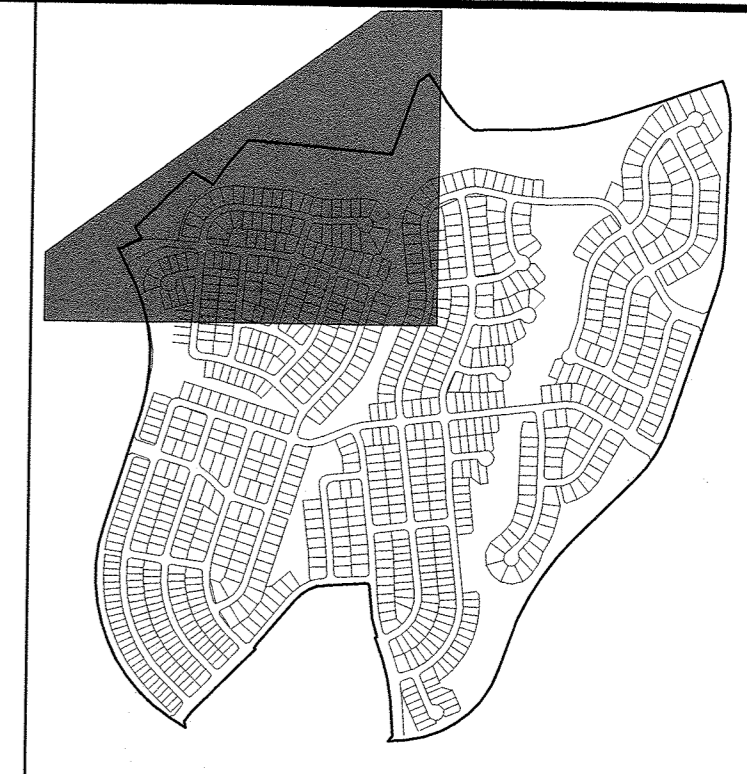
CVRA, LLC
R-SF-6
FUTURE RESIDENTIAL
(CVR FILING 12)

No.	REVISION	BY	DATE	DESIGNED BY			DRAWN BY			CHECKED BY		
				SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB	SAB

CRYSTAL VALLEY RANCH FILING
NO. 15 SITE DEVELOPMENT PLAN
SITE PLAN
SHEET 8 OF 56
PROJECT NO. SDP16-0005
JOB NO. 15635.50

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP
SCALE 1"=1200'

PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

JR ENGINEERING
A Westman Company
Centennial 303-740-3888 • Colorado Springs 719-536-2593
Fort Collins 970-491-9888 • www.jrengineering.com

LEGEND

- PROPOSED RIGHT OF WAY
- EXISTING RIGHT OF WAY
- PROPERTY LINE
- BOUNDARY LINE
- CENTERLINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED STORM SEWER W/ MANHOLE
- EXISTING STORM SEWER W/ MANHOLE
- PROPOSED INLET
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED SWALE
- EXISTING 100-YEAR FEMA FLOODPLAIN
- PROPOSED 100-YEAR FLOODPLAIN

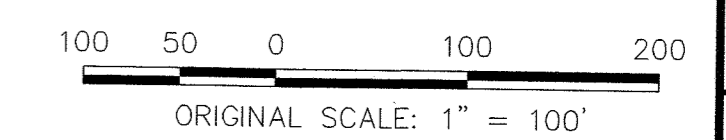
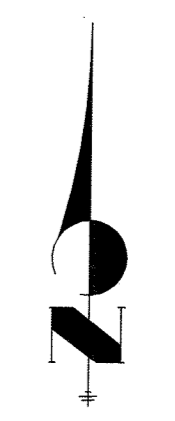


SEE SHEET 11

SEE SHEET 13



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Call before you dig.



ORIGINAL SCALE: 1" = 100'

No.	REVISION	BY	DATE

H-S SCALE	V-S SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=100'	N/A	10/7/16	SAB	SAB	SAB

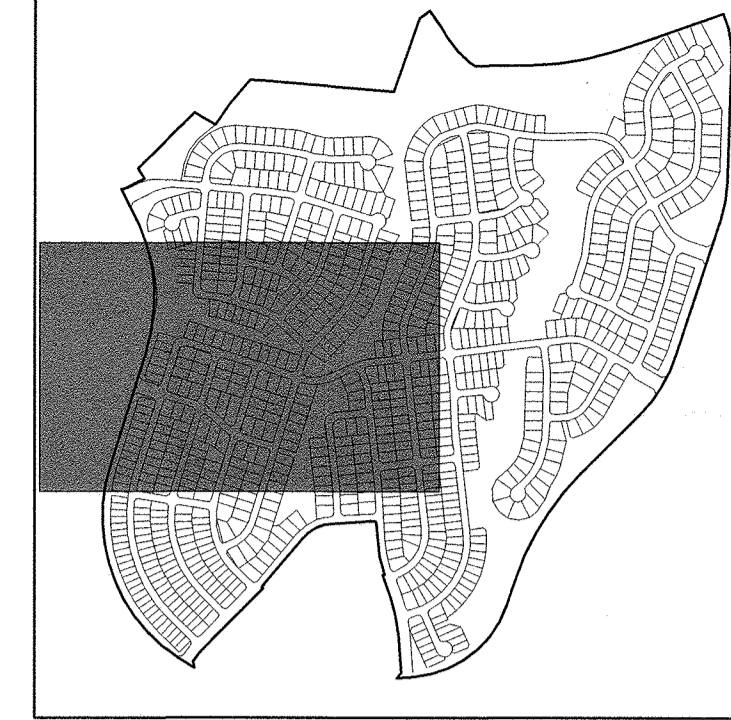
CRYSTAL VALLEY RANCH FILING
NO. 15 SITE DEVELOPMENT PLAN
GENERAL GRADING PLAN

CVRA, LLC
14-37-14
FUTURE RESIDENTIAL
(CVR FILING 75)

SEE SHEET 12

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP
SCALE 1"=1200'

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PREPARED FOR
CWA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

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Fort Collins 970-491-8888 • www.jrengineering.com

BY	DATE	No.	REVISION

H-SCALE	1"=100'	N/A
V-SCALE	10/7/16 <td>SAB</td>	SAB
DESIGNED BY	SAB	
DRAWN BY	SAB	
CHECKED BY		

SEE SHEET 10

LEGEND

- PROPOSED RIGHT OF WAY
- EXISTING RIGHT OF WAY
- PROPERTY LINE
- BOUNDARY LINE
- CENTERLINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED STORM SEWER W/ MANHOLE
- EXISTING STORM SEWER W/ MANHOLE
- PROPOSED INLET
- PROPOSED INDEX CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED SWALE
- EXISTING 100-YEAR FEMA FLOODPLAIN
- PROPOSED 100-YEAR FLOODPLAIN

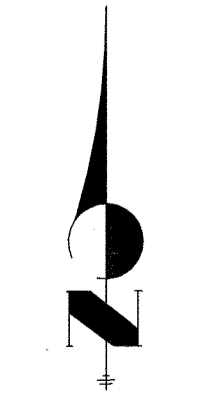


CWA, LLC
11-25-16
FUTURE RESIDENTIAL
(CWR FILING 75)

CWA, LLC
11-25-16
FUTURE RESIDENTIAL
(CWR FILING 13)

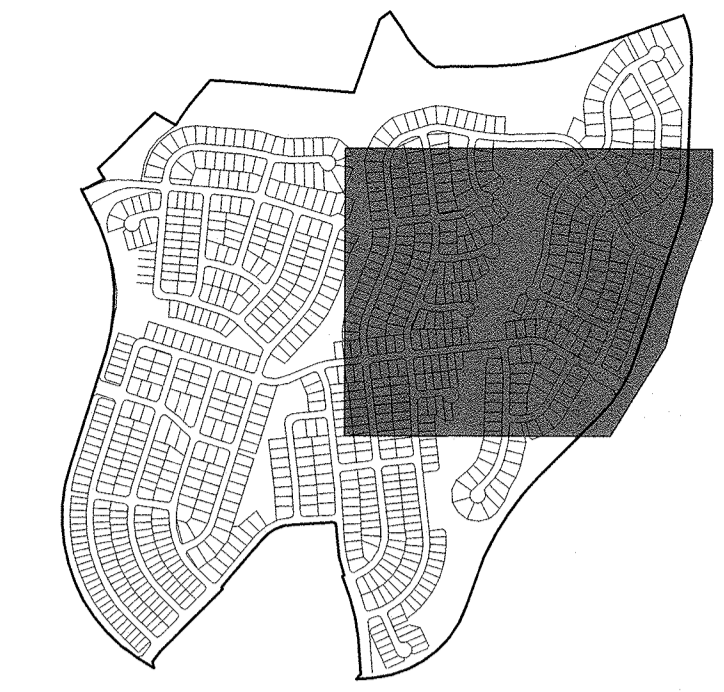
SEE SHEET 13

SEE SHEET 14



CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP
SCALE 1"=1200'

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PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

J.R. ENGINEERING
A Westman Company

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Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	REVISION

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1" = 100'	N/A	10/7/16	SAB	SAB	

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN
GENERAL GRADING PLAN

SHEET 13 OF 56
PROJECT NO. SDP16-0005
JOB NO. 15635.50



LEGEND

- PROPOSED RIGHT OF WAY
- - - EXISTING RIGHT OF WAY
- PROPERTY LINE
- BOUNDARY LINE
- CENTERLINE
- - - PROPOSED EASEMENT
- - - EXISTING EASEMENT
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED STORM SEWER W/ MANHOLE
- EXISTING STORM SEWER W/ MANHOLE
- PROPOSED INLET
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED SWALE
- EXISTING 100-YEAR FEMA FLOODPLAIN
- PROPOSED 100-YEAR FLOODPLAIN

811
Know what's below.
Call before you dig.

100 50 0 100 200
ORIGINAL SCALE: 1" = 100'

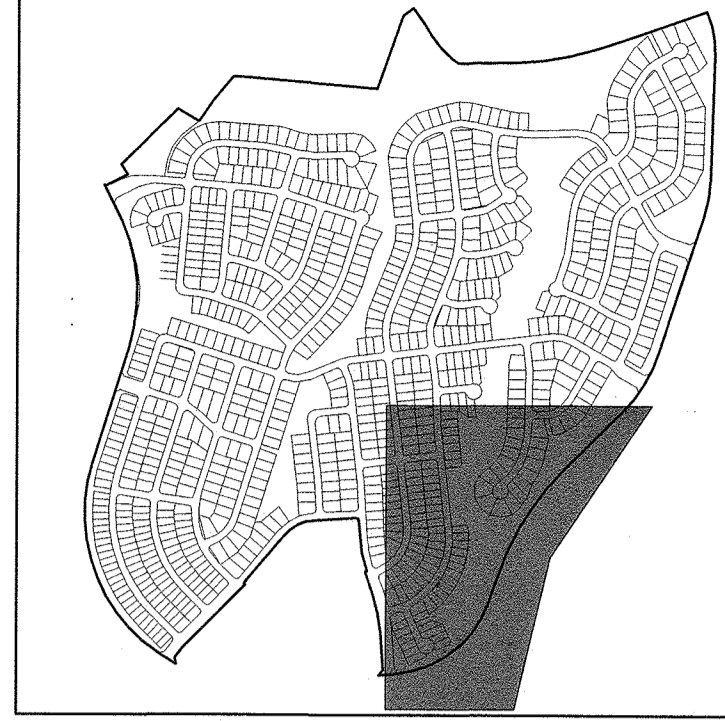
SEE SHEET 12

SEE SHEET 11

SEE SHEET 15

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

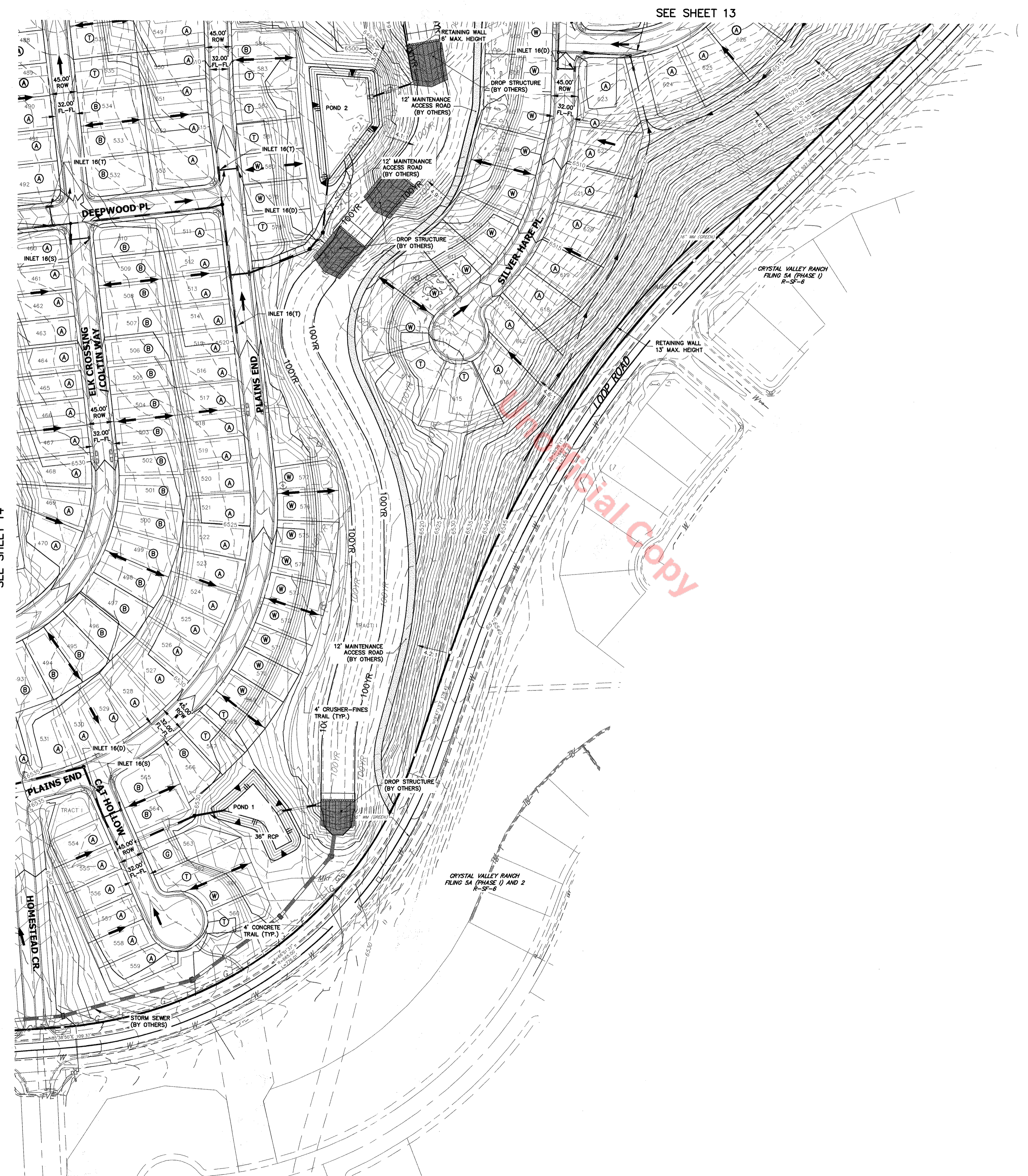


KEY MAP
SCALE 1"=1200'

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PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

J.R. ENGINEERING
A Westrian Company
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Fort Collins 970-491-8688 • www.jrengineering.com



LEGEND

	PROPOSED RIGHT OF WAY
	EXISTING RIGHT OF WAY
	PROPERTY LINE
	BOUNDARY LINE
	CENTERLINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER W/ MANHOLE
	EXISTING STORM SEWER W/ MANHOLE
	PROPOSED INLET
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING SWALE
	PROPOSED 100-YEAR FEMA FLOODPLAIN
	EXISTING 100-YEAR FLOODPLAIN

SEE SHEET 14

SEE SHEET 13

Official Copy



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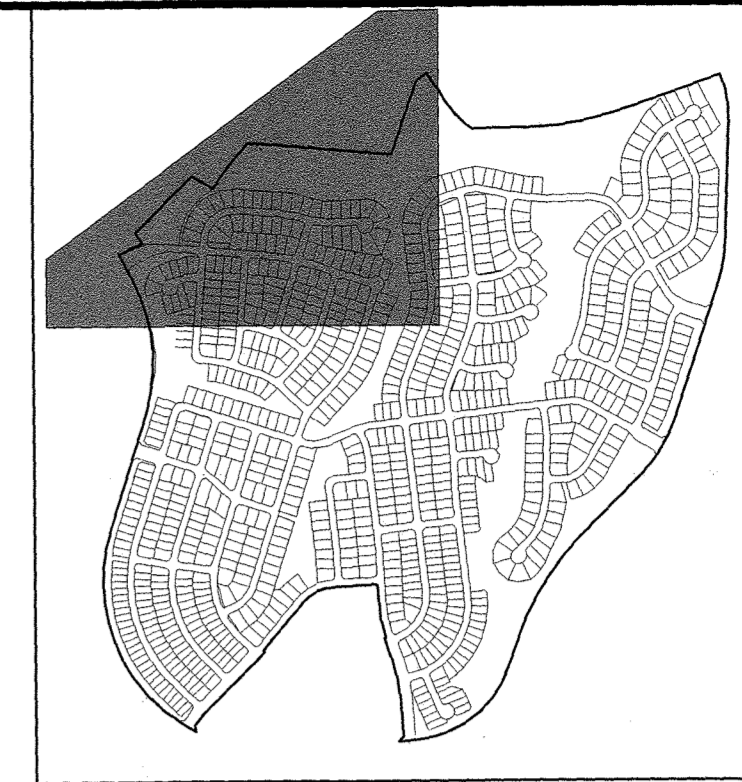
100 50 0 100 200
ORIGINAL SCALE: 1" = 100'

NO.	REVISION	BY	DATE

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN	H-SCALE 1"=100'	N/A
GENERAL GRADING PLAN	V-SCALE DATE	10/7/16
DESIGNED BY DRAWN BY CHECKED BY	SAB SAB SAB	
SHEET 15 OF 56	PROJECT NO. SDP16-0005	JOB NO. 15635.50

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

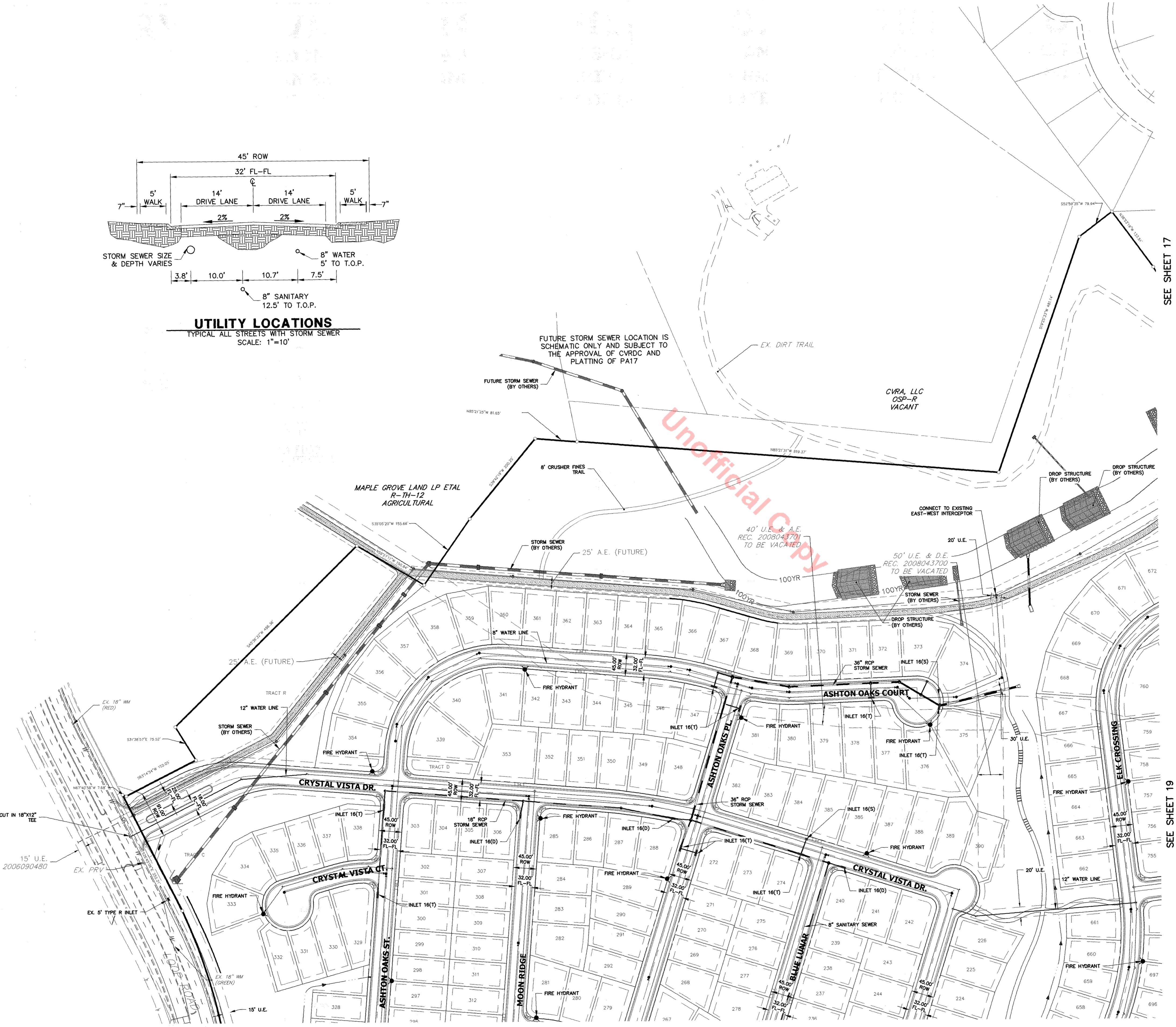
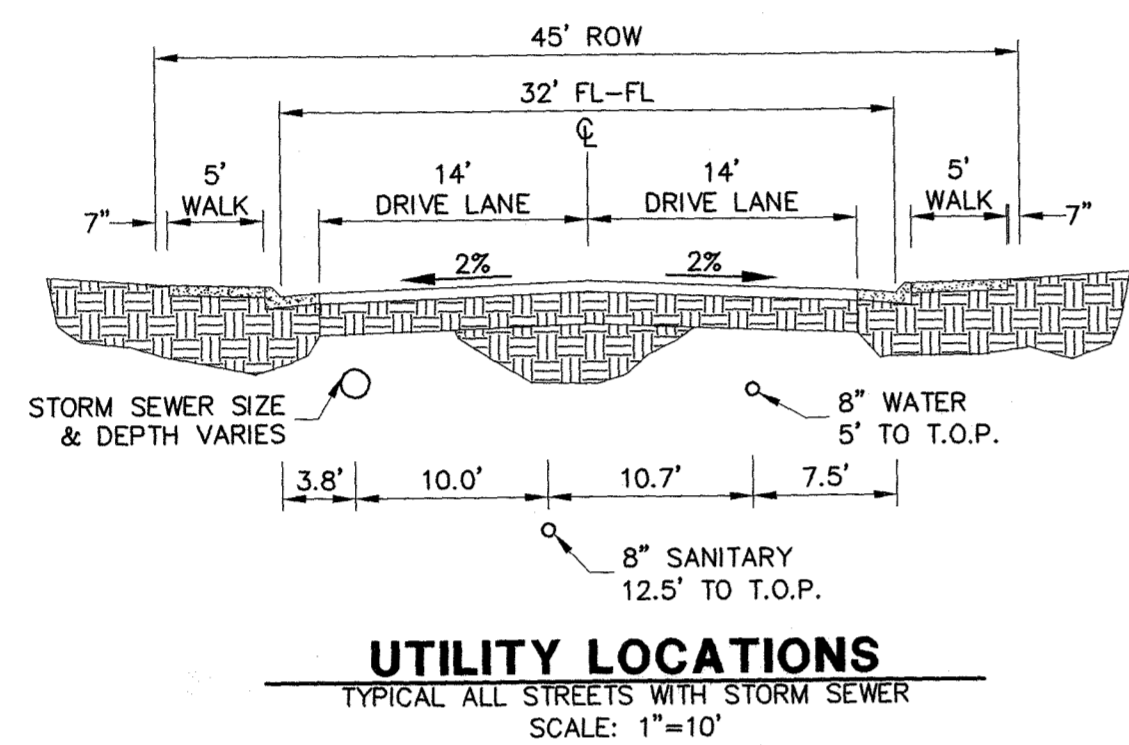


KEY MAP
SCALE 1"=1200'

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR. ENGINEERING ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

J.R. ENGINEERING
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Centennial 303-740-9393 • Colorado Springs 719-583-2583
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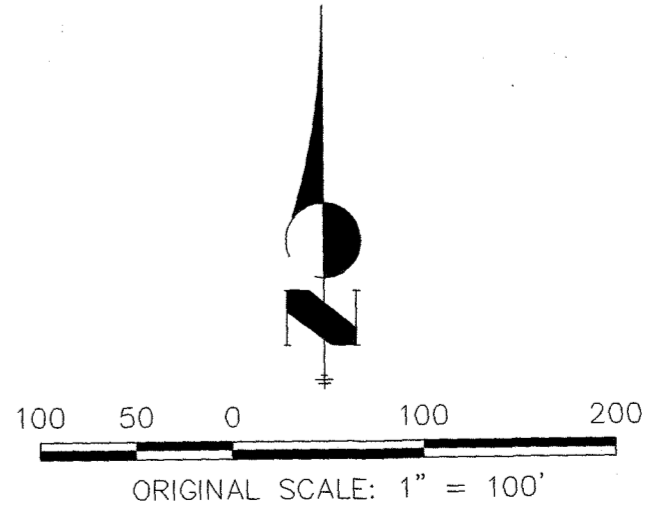


LEGEND

- PROPOSED RIGHT OF WAY
- - - EXISTING RIGHT OF WAY
- PROPERTY LINE
- BOUNDARY LINE
- CENTERLINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- - - PROPOSED CURB & GUTTER
- - - EXISTING CURB & GUTTER
- - - PROPOSED STREET LIGHT
- - - EXISTING STREET LIGHT
- - - PROPOSED FIRE HYDRANT
- - - EXISTING FIRE HYDRANT
- - - PROPOSED 8" WATER LINE W/ GATE VALVE
- - - PROPOSED 12" WATER LINE W/ GATE VALVE
- - - PROPOSED SANITARY SEWER W/ MANHOLE
- - - EXISTING SANITARY SEWER W/ MANHOLE
- - - PROPOSED STORM SEWER W/ MANHOLE
- - - EXISTING STORM SEWER W/ MANHOLE
- - - PROPOSED INLET
- - - INDICATES UTILITY EASEMENT

UTILITY NOTES

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES AND SANITARY SEWER IS 10' EDGE TO EDGE.
3. THE MINIMUM SEPARATION BETWEEN WATERLINES AND STORM SEWER IS 10' EDGE TO EDGE.
4. THE MINIMUM SEPARATION BETWEEN SANITARY SEWER AND STORM SEWER IS 10' CL TO CL.
5. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5'.
6. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN AND RED WATER PRESSURE ZONES.



No.	REVISION	BY	DATE	1"=100'		10/7/16		DESIGNED BY	DRAWN BY	CHECKED BY
				H-SCALE	V-SCALE	N/A	DATE			

CRYSTAL VALLEY RANCH FILING
NO. 15 SITE DEVELOPMENT PLAN
GENERAL UTILITY PLAN

SHEET 16 OF 56
PROJECT NO. SDP16-0005
JOB NO. 15635.50

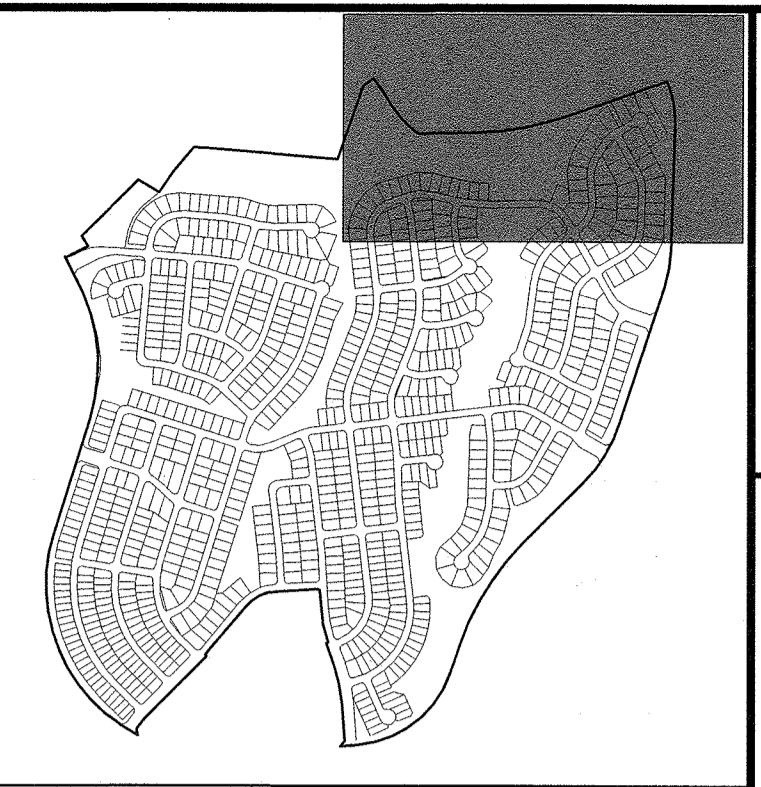
SEE SHEET 18

SEE SHEET 17

SEE SHEET 19

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

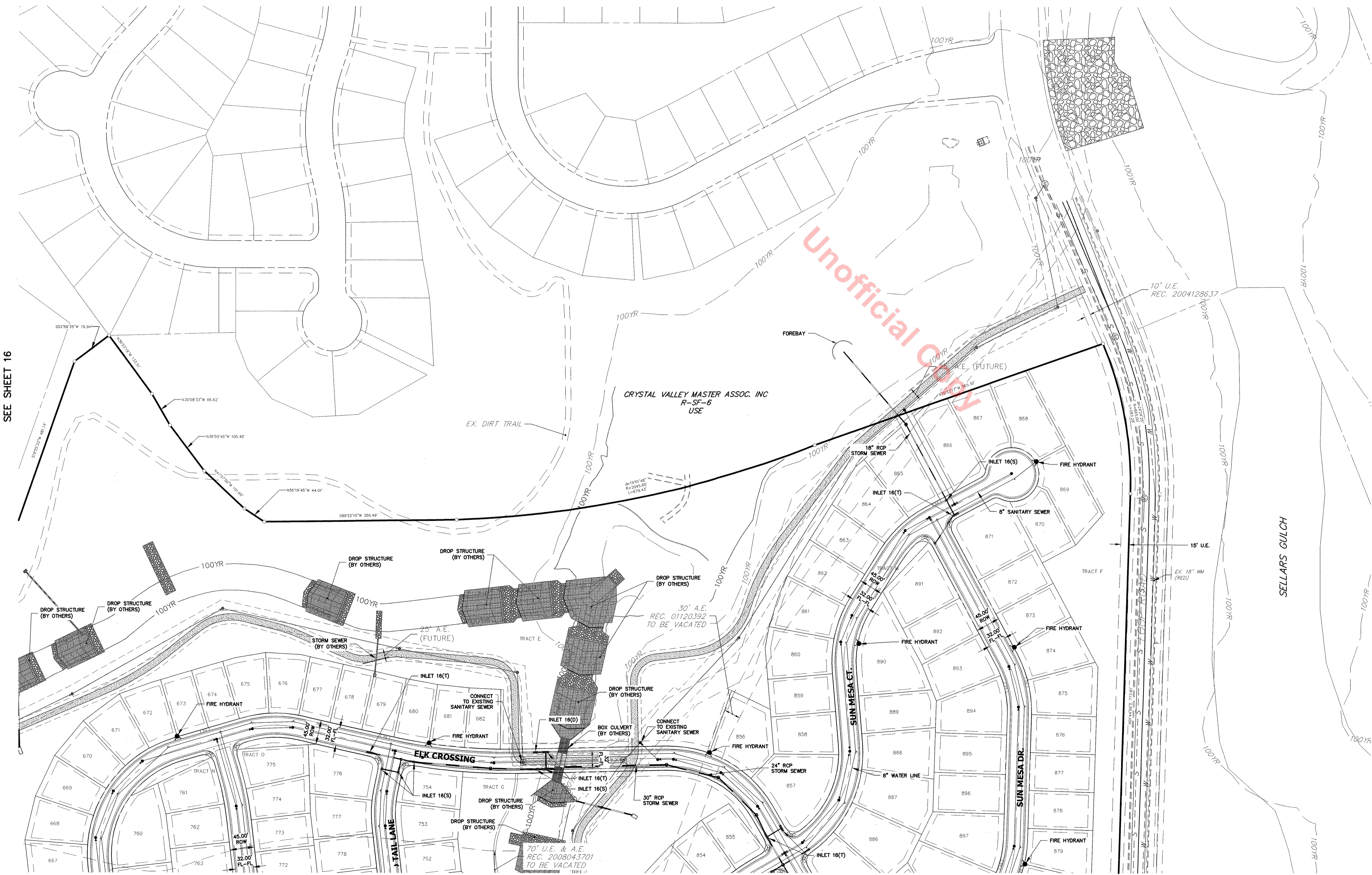
LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP
SCALE 1"=1200'

LEGEND

- PROPOSED RIGHT OF WAY
- - - EXISTING RIGHT OF WAY
- PROPERTY LINE
- BOUNDARY LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT
- - - EXISTING EASEMENT
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- * PROPOSED STREET LIGHT
- * EXISTING STREET LIGHT
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ EXISTING FIRE HYDRANT
- PROPOSED 8" WATER LINE W/ GATE VALVE
- EXISTING 8" WATER LINE W/ GATE VALVE
- PROPOSED 12" WATER LINE W/ GATE VALVE
- EXISTING 12" WATER LINE W/ GATE VALVE
- PROPOSED SANITARY SEWER W/ MANHOLE
- EXISTING SANITARY SEWER W/ MANHOLE
- PROPOSED STORM SEWER W/ MANHOLE
- EXISTING STORM SEWER W/ MANHOLE
- ⊙ PROPOSED INLET
- ⊙ EXISTING INLET
- U.E.
- INDICATES UTILITY EASEMENT

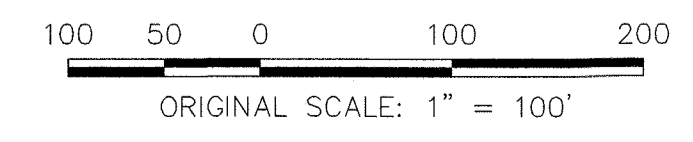
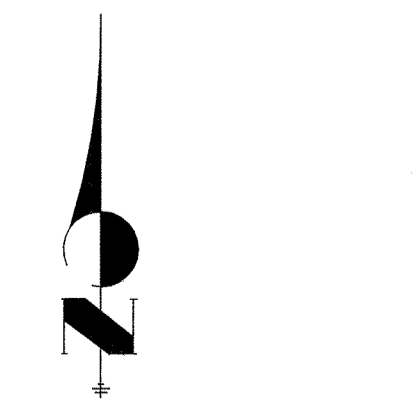


SEE SHEET 16

SEE SHEET 19

UTILITY NOTES

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2. THE MINIMUM SEPARATION BETWEEN WATERLINES AND SANITARY SEWER IS 10' EDGE TO EDGE.
3. THE MINIMUM SEPARATION BETWEEN WATERLINES AND STORM SEWER IS 10' EDGE TO EDGE.
4. THE MINIMUM SEPARATION BETWEEN SANITARY SEWER AND STORM SEWER IS 10' CL TO CL.
5. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5'.
6. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN AND RED WATER PRESSURE ZONES.



Know what's below.
Call before you dig.

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PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

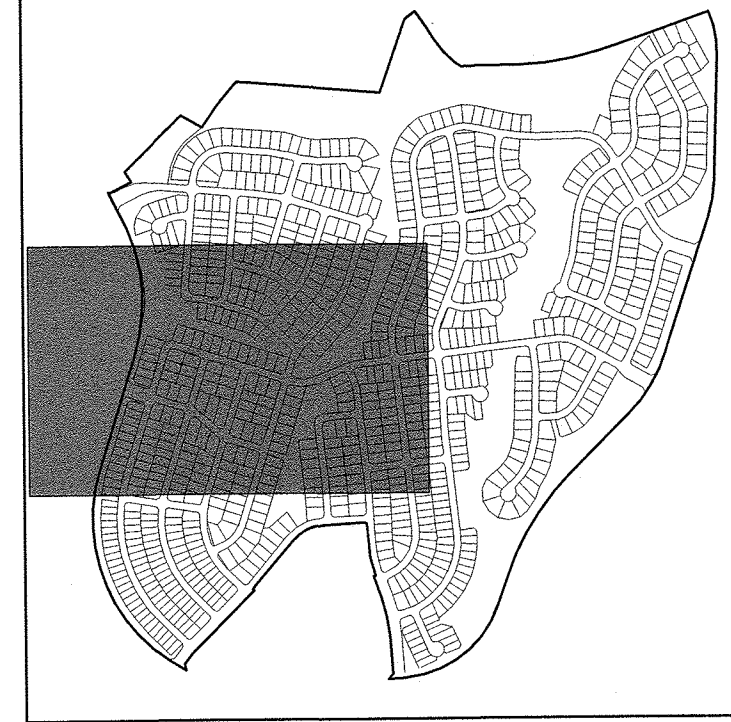
J.R. ENGINEERING
A Western Company
Central 303-740-8888 • Colorado Springs 719-583-2683
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	No.	REVISION

CRYSTAL VALLEY RANCH FILING
NO. 15 SITE DEVELOPMENT PLAN
GENERAL UTILITY PLAN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP
SCALE 1"=1200'

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, THESE DRAWINGS ARE TO BE USED ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

J.R. ENGINEERING
A Western Company
Central 303-740-9300 • Colorado Springs 719-593-2593
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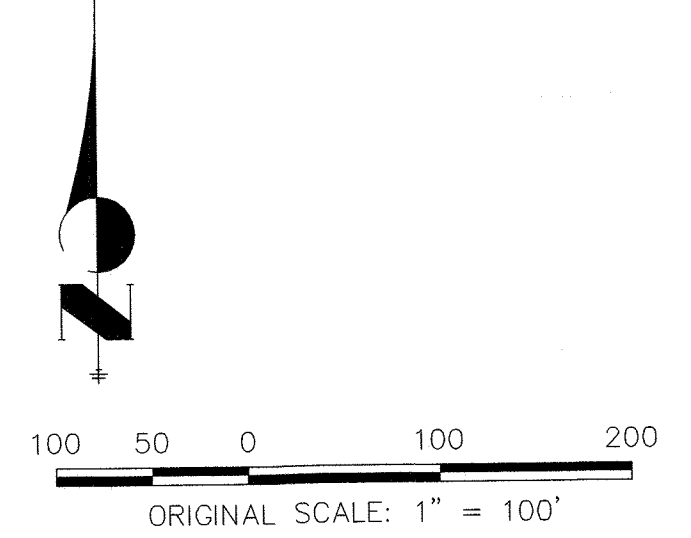
LEGEND

- PROPOSED RIGHT OF WAY
- - - EXISTING RIGHT OF WAY
- PROPERTY LINE
- BOUNDARY LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT
- - - EXISTING EASEMENT
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED 8" WATER LINE W/ GATE VALVE
- PROPOSED 12" WATER LINE W/ GATE VALVE
- PROPOSED SANITARY SEWER W/ MANHOLE
- EXISTING SANITARY SEWER W/ MANHOLE
- PROPOSED STORM SEWER W/ MANHOLE
- EXISTING STORM SEWER W/ MANHOLE
- PROPOSED INLET
- U.E. INDICATES UTILITY EASEMENT



CVRA, LLC
R-SF-6
FUTURE RESIDENTIAL
(CVR FILING 13)

- UTILITY NOTES**
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN WATERLINES AND SANITARY SEWER IS 10' EDGE TO EDGE.
 - THE MINIMUM SEPARATION BETWEEN WATERLINES AND STORM SEWER IS 10' EDGE TO EDGE.
 - THE MINIMUM SEPARATION BETWEEN SANITARY SEWER AND STORM SEWER IS 10' CL TO CL.
 - THE MINIMUM SEPARATION BETWEEN TOWN OF CASTLE ROCK GREEN AND RED WATER PRESSURE ZONES.



Know what's below.
Call before you dig.
PROJECT NO. SDP16-0005

NO.	REVISION	BY	DATE

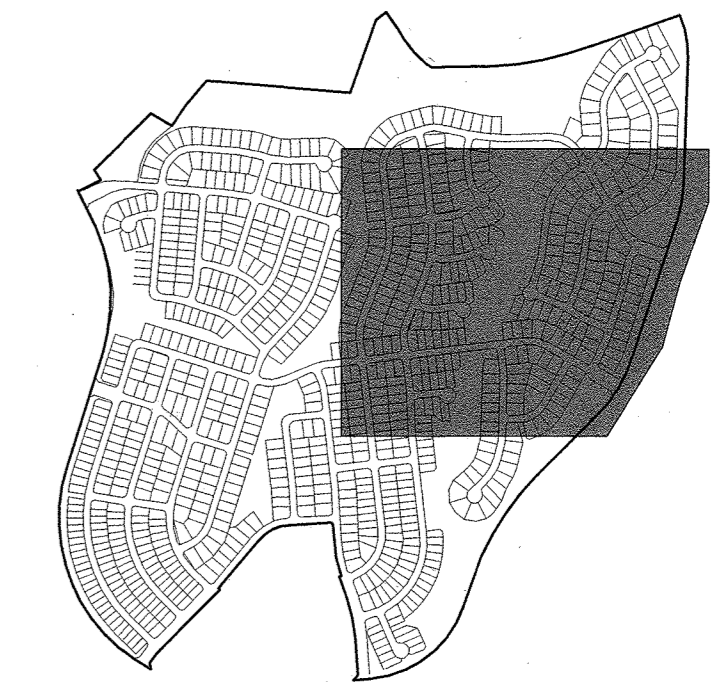
CRYSTAL VALLEY RANCH FILING
NO. 15 SITE DEVELOPMENT PLAN
GENERAL UTILITY PLAN

H-SCALE 1"=100'
V-SCALE N/A
DATE 10/7/16
DESIGNED BY SAB
DRAWN BY SAB
CHECKED BY

SHEET 18 OF 56
JOB NO. 15635.50

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

LOCATED IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP
SCALE 1"=1200'

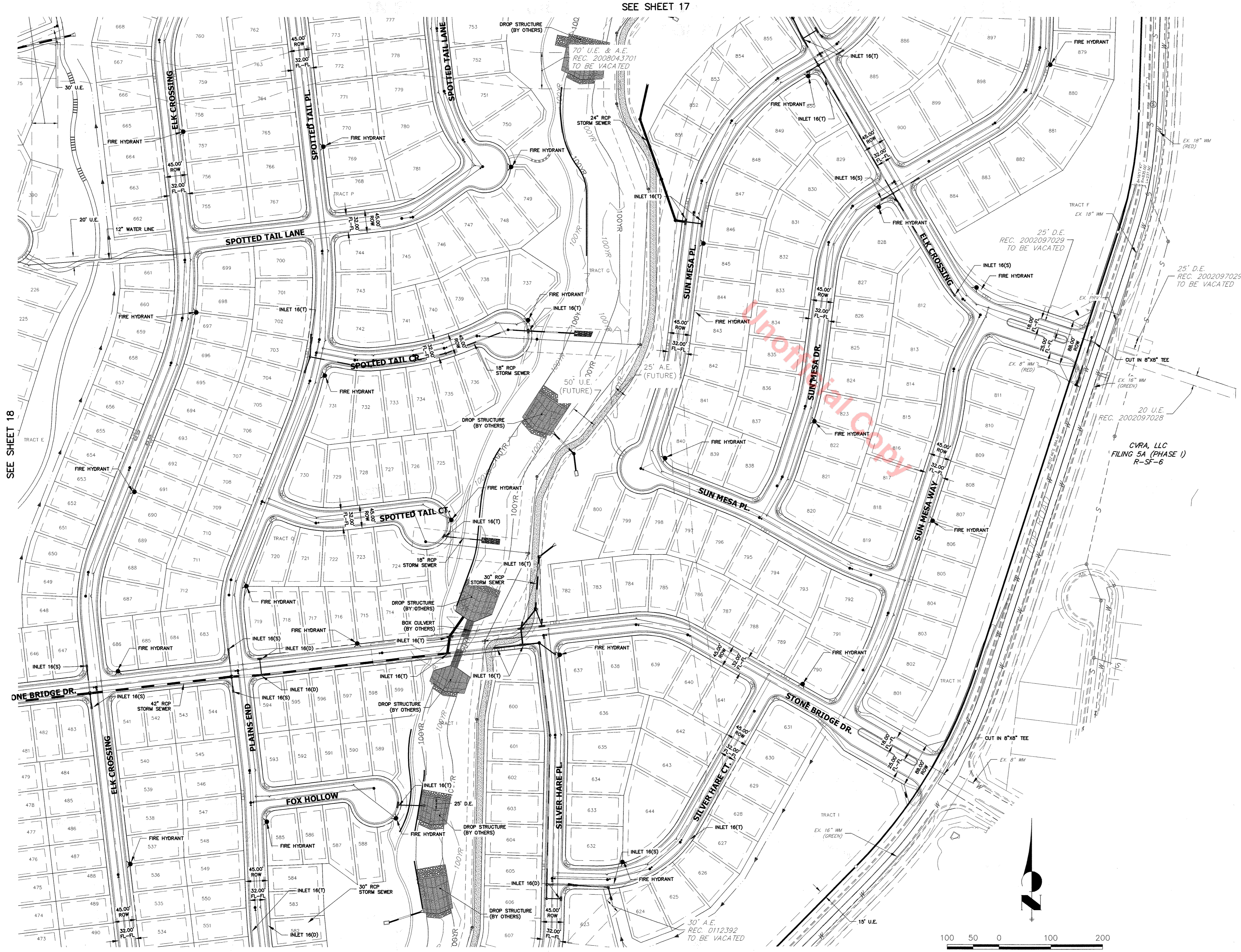
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING IS NOT BEING DESIGNED FOR THE PURPOSES AUTHORIZATION.

PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

JR ENGINEERING
A Westcon Company
Central 303-740-9383 • Colorado Springs 719-583-2583
Fort Collins 970-481-9888 • www.jrengineering.com

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=100'	N/A	10/7/16	SAB	SAB	

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN
GENERAL UTILITY PLAN



LEGEND

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- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN AND RED WATER PRESSURE ZONES.



Know what's below.
Call before you dig.

SEE SHEET 18

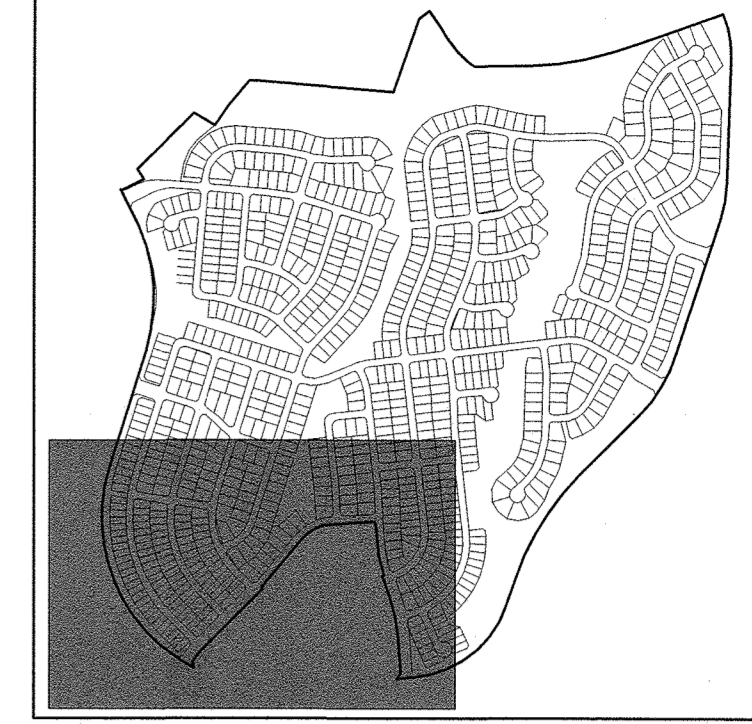
SEE SHEET 17

SEE SHEET 21

ORIGINAL SCALE: 1" = 100'

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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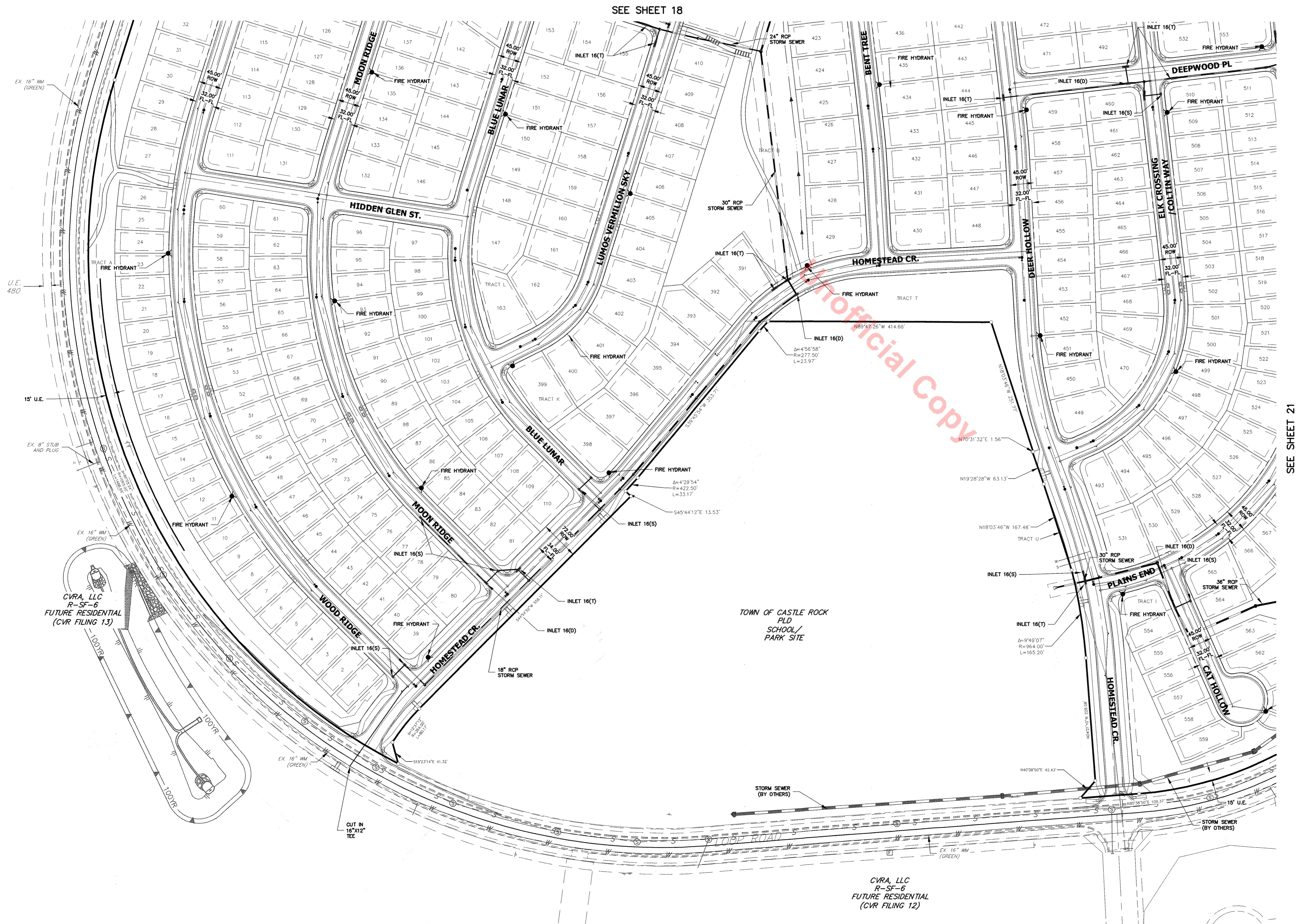
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 (303) 267-6195

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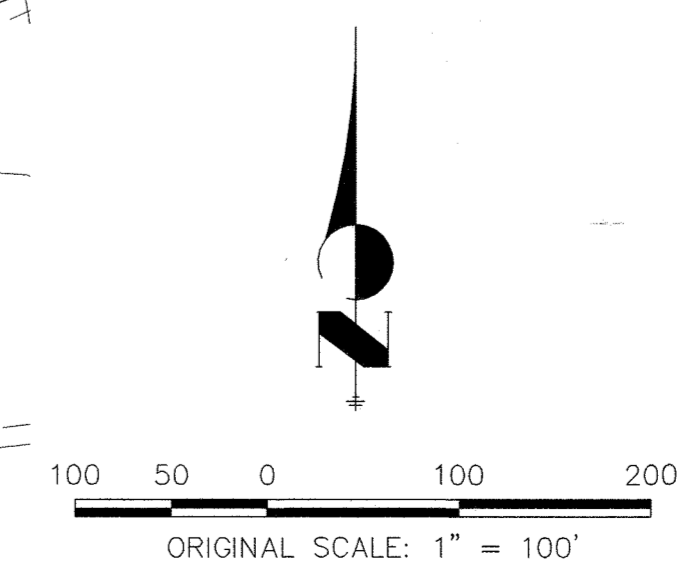
NO.	REVISION	BY	DATE



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- ⊙ PROPOSED INLET
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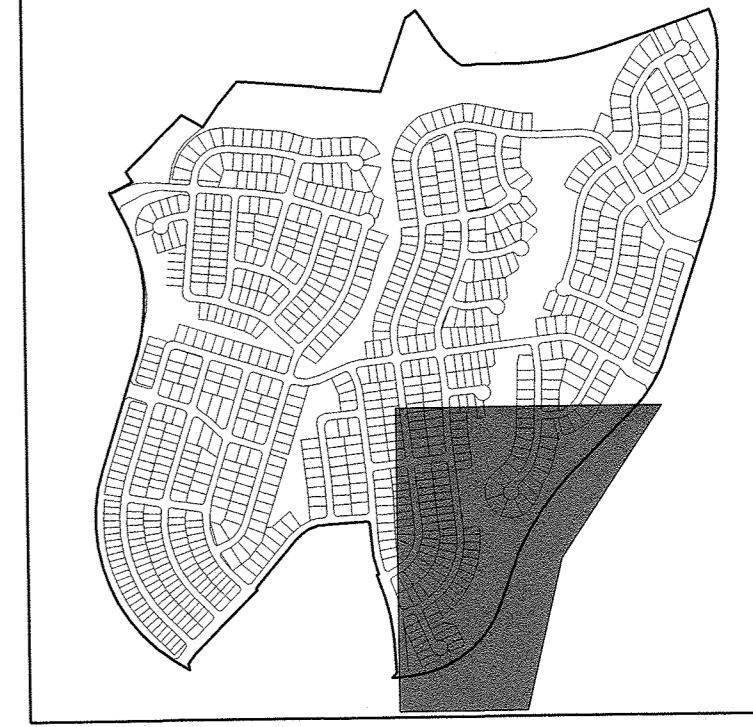
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CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN	GENERAL UTILITY PLAN	SHEET 20 OF 56
		JOB NO. 15635.50

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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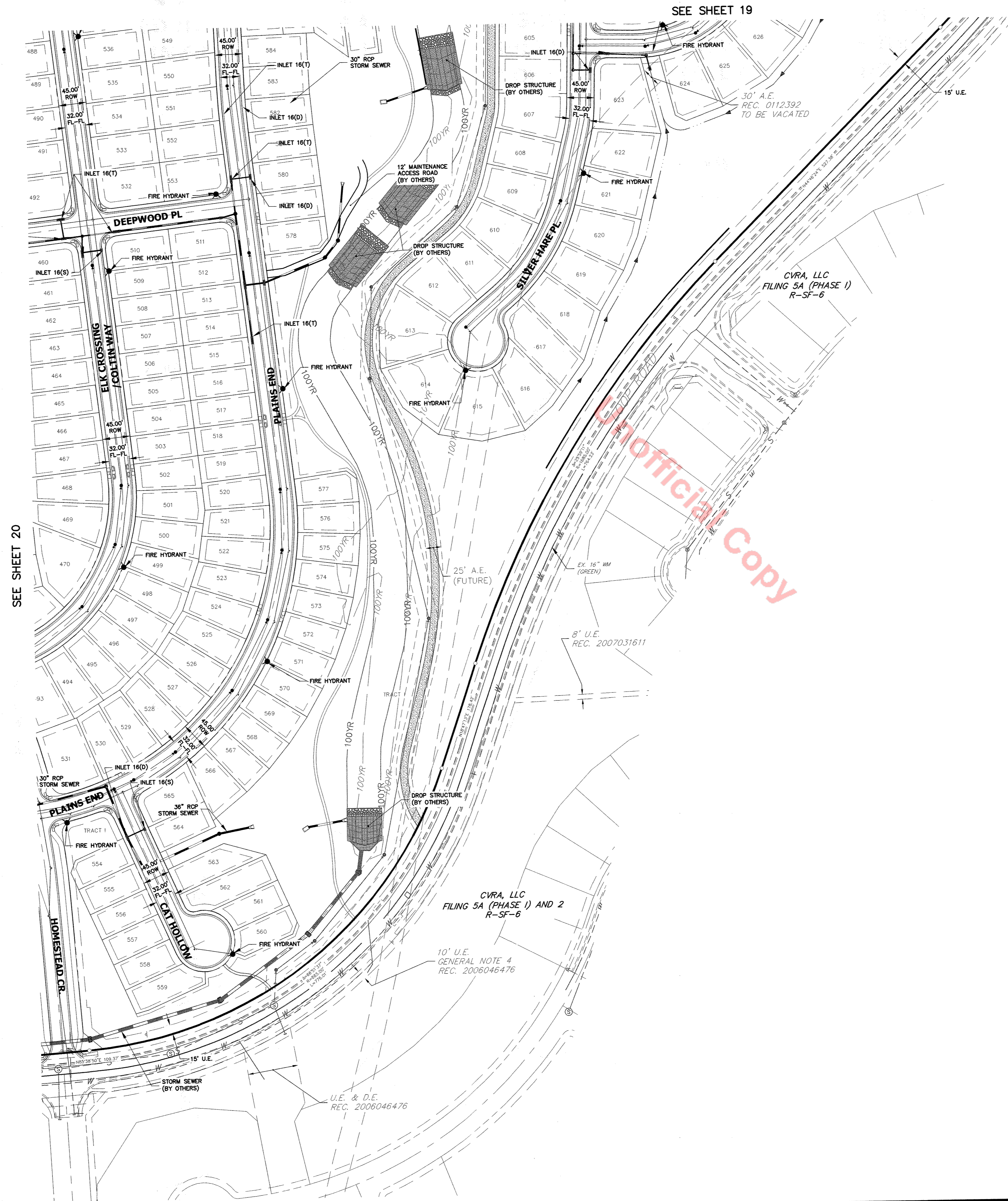


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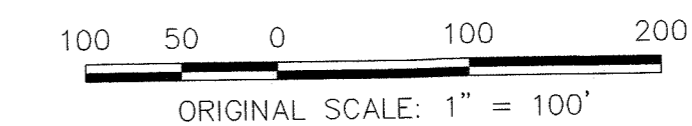


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6. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN AND RED WATER PRESSURE ZONES.



Know what's below.
Call before you dig.

NO.	REVISION	BY	DATE

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN
GENERAL UTILITY PLAN

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
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COUNTY OF DOUGLAS, STATE OF COLORADO



Know what's below.
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1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

COMPOSITE LANDSCAPE WATER USE RATING CHART

LANDSCAPE ZONE	LWU RATING RANGE
VERY LOW WATER USE	0.0 to 1.5
LOW WATER USE	+1.5 to 3.0
MODERATE WATER USE	+3.0 to 4.5
HIGH WATER USE	+4.5

NOTES: THE LWUR RATING RANGE IS BASED ON POST ESTABLISHMENT WATERING SCHEDULES.

IRRIGATION ZONE	PLANT NAME (COMMON)	APPLICATION RATE (INCHES/MONTH)		LANDSCAPE ZONE	% OF TOTAL AREA	IA (IRRIGATED AREA IN SQ FT FOR EACH ZONE)	LWUR (LANDSCAPE WATER USE RATING)	TOTAL AREA (TA)	CLWUR (LWUR X IA)/TA
SPRAY	IRRIGATED TURF (ENVIROTURF)	3.0	in./mo.	MODERATE	20.30%	103,071	3.0	508,925	0.61
DRIP	SHRUB BED	2.0	in./mo.	LOW	27.90%	141,753	2.0	508,925	0.56
SPRAY ROTORS	IRRIGATED GRASS SEED MIX	1.5	in./mo.	VERY LOW	51.80%	264,101	1.5	508,925	0.78
TOTALS					100	508,925		508,925	1.94
							TOTAL OF THE CLWUR		1.94

LANDSCAPE SUMMARY TABLE

LANDSCAPE TYPE	SQUARE FOOTAGE	PERCENTAGE
IRRIGATED TURF	103,071	5.1%
IRRIGATED GRASS SEED MIX	264,101	13.1%
NON-IRRIGATED GRASS SEED MIX	1,474,754	73.4%
RIPARIAN SEED MIX	26,547	1.3%
IRRIGATED BED	141,753	7.1%
TOTAL AREA LANDSCAPE	2,010,226	100%

STREETSCAPE REQUIREMENT TABLE

STREET	LINEAR FEET	TREES REQUIRED (1 TREE / 40 LF)	TREES PROVIDED
LOOP ROAD	7,589 LF	189	644 (NOT INCLUDING ORNAMENTAL TREES)
ENTRY ROADS	2,245 LF	56	102 (NOT INCLUDING ORNAMENTAL TREES)

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES:

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST. DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- AN IRRIGATION PLAN WILL BE REQUIRED ON THE FIRST REVIEW OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.1B AND 4.2.3 IN THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS.
- IRRIGATION SYSTEM IS TO BE REVIEWED AND APPROVED WITH CONSTRUCTION DOCUMENTS. CHANGES MAY BE NECESSARY ON THE LANDSCAPE PLAN DUE TO THE FIRST IRRIGATION REVIEW ON THE CONSTRUCTION DOCUMENTS.
- TREES, LARGE SHRUBS AND PERMANENT STRUCTURES ARE NOT ALLOWED IN UTILITY OR DRAINAGE EASEMENTS IN THE TOWN OF CASTLE ROCK.
- SLOPES GREATER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
- ALL TREES MUST BE TRIMMED AT LEAST 8' ABOVE FINISH GRADE WITHIN THE SIGHT DISTANCE LINES.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOW LINE ELEVATION OF THE ADJACENT STREET SHALL BE PLACED WITHIN SIGHT DISTANCE LINES.
- A TREE PLANTED WITHIN THE FRONT YARD OF A RESIDENTIAL LOT MAY BE COUNTED TOWARDS THE REQUIRED STREET TREES AS LONG AS THE TREE IS WITHIN 16 FEET OF THE BACK OF THE CURB, FOR A RESIDENTIAL STREET WITH AN ATTACHED SIDEWALK.

CONCEPTUAL IRRIGATION STANDARD NOTES:

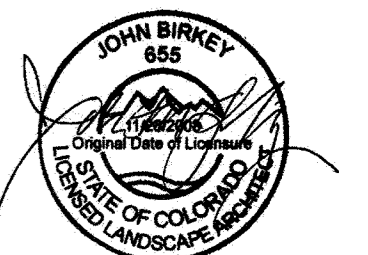
- ALL SOD AREAS ARE TO BE IRRIGATED WITH SPRAYS
- TREES ARE TO BE IRRIGATED USING SUBSURFACE DRIP EMITTERS
- NATIVE SEED GRASSES THAT ARE IRRIGATED ARE TO USE ROTORS
- SOD AREAS LESS THAN 10' IN WIDTH WILL BE IRRIGATED WITH SUBSURFACE DRIP IRRIGATION

GRADING NOTES

- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE. MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE (3:1) UNLESS OTHERWISE INDICATED ON THE PLANS.
- MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS SHALL BE 5% UNLESS OTHERWISE INDICATED ON THE PLANS.
- RE: CIVIL FOR GRADING AND SLOPE PLANS

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN BIRNEY, P.L.A., J.S.L.M. (CERTIFIED)
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 15195



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
NOTES

L-1

SHEET 22 OF 56

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

IRRIGATION DESIGNER:

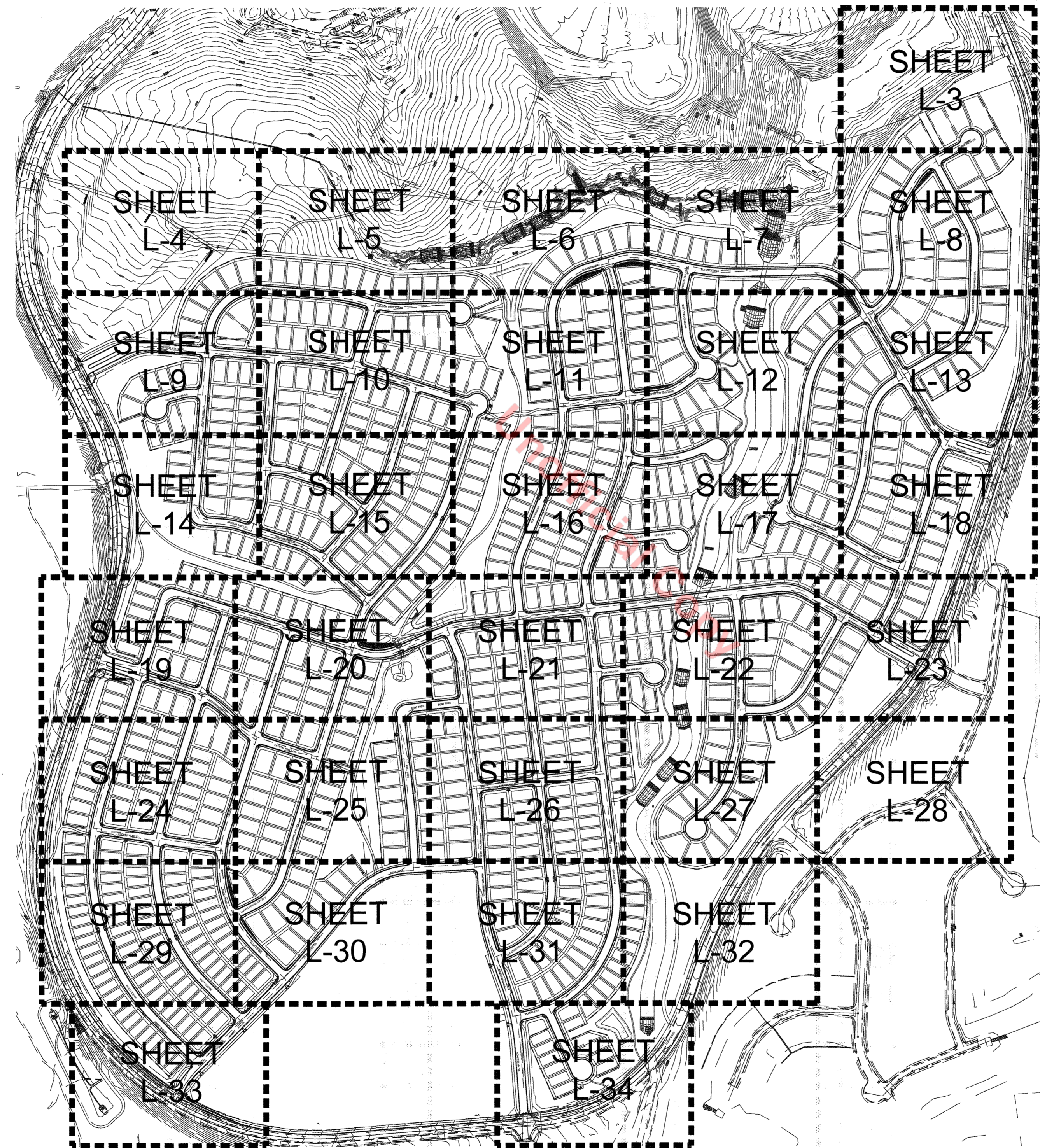
HydroSystems-KDI, Inc. Irrigation Consulting
300 Union Blvd, Suite 405
Lakewood, Colorado 80228
303-980-5327
(fax) 303-980-5384

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1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186



PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, P.L.A., A.S.L.A. (M.S.B.I.P.F.E.D.)
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 18395



DATE:
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2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
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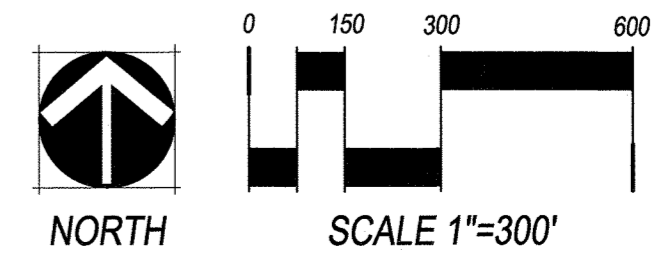
NOT FOR CONSTRUCTION

SHEET TITLE:
OVERALL
PLAN

L-2
SHEET 23 OF 56

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

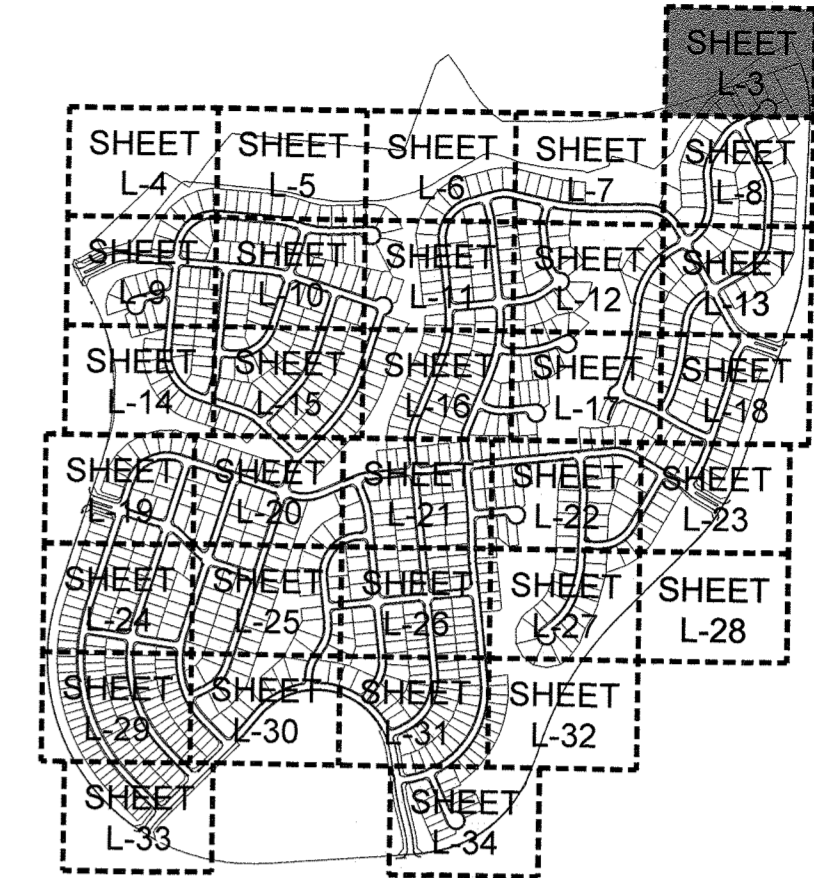


CHECKED BY: JB
DRAWN BY: DD

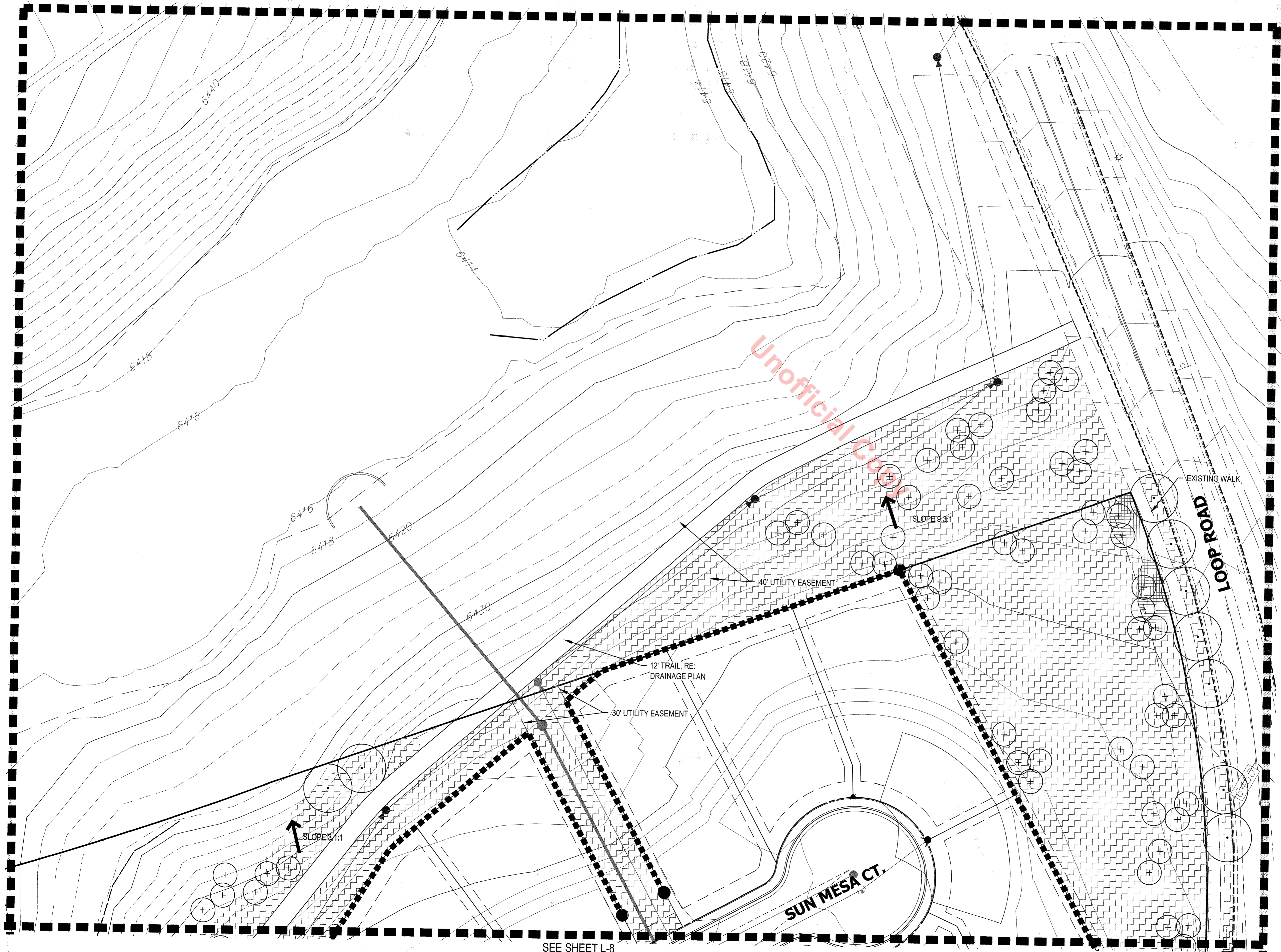
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KEY MAP



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN W. BIRNEY, III, ASLA, AIA, ANI, CERTIFIED
WITH THE TOWN OF CASTLE ROCK & A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 05100

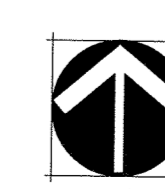


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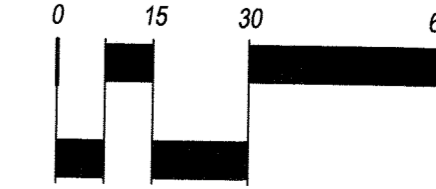
NOT FOR CONSTRUCTION

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



NORTH



SCALE 1"=30'



Know what's below.
Call before you dig.

L-3

SHEET 24 OF 56

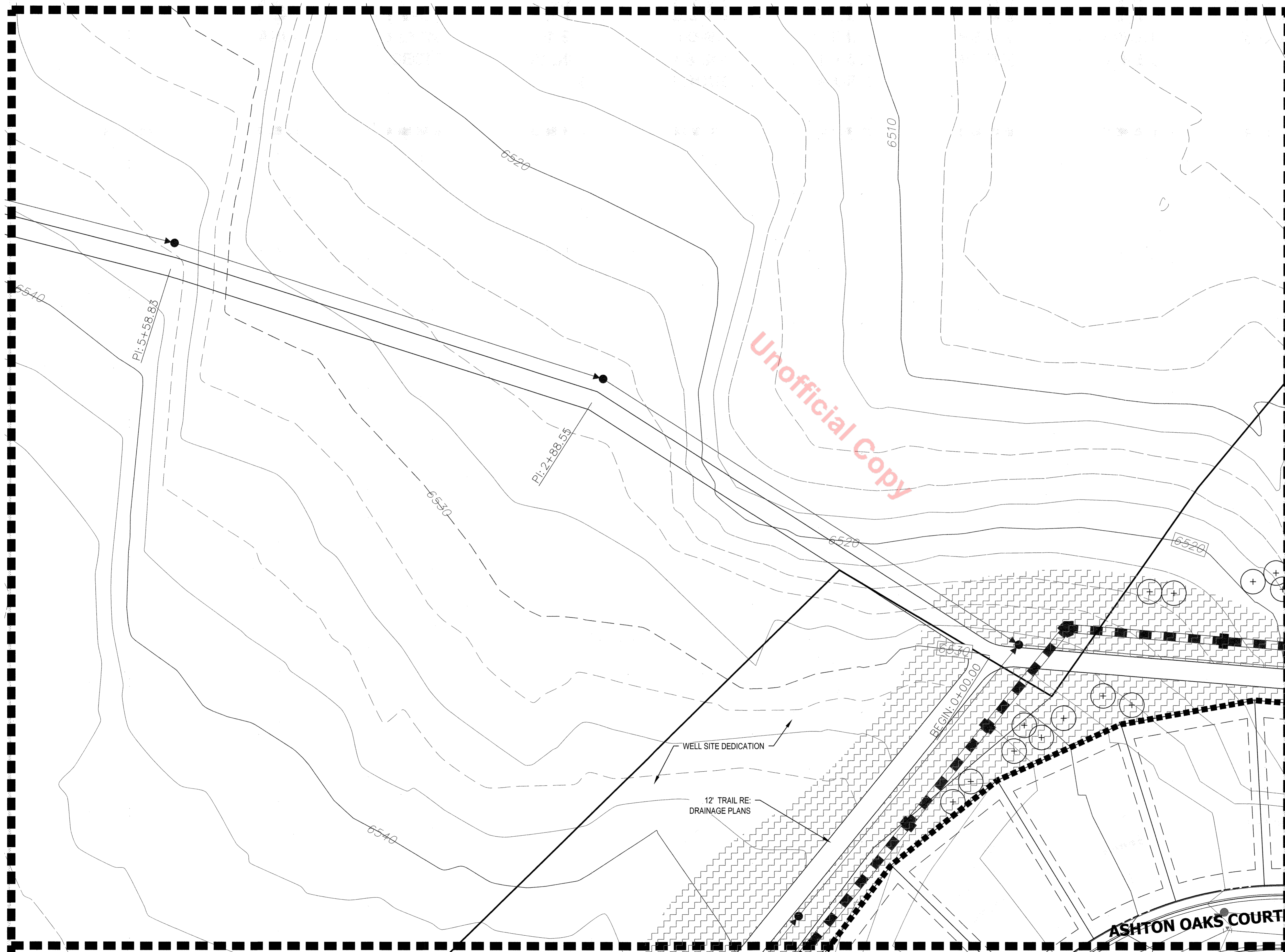
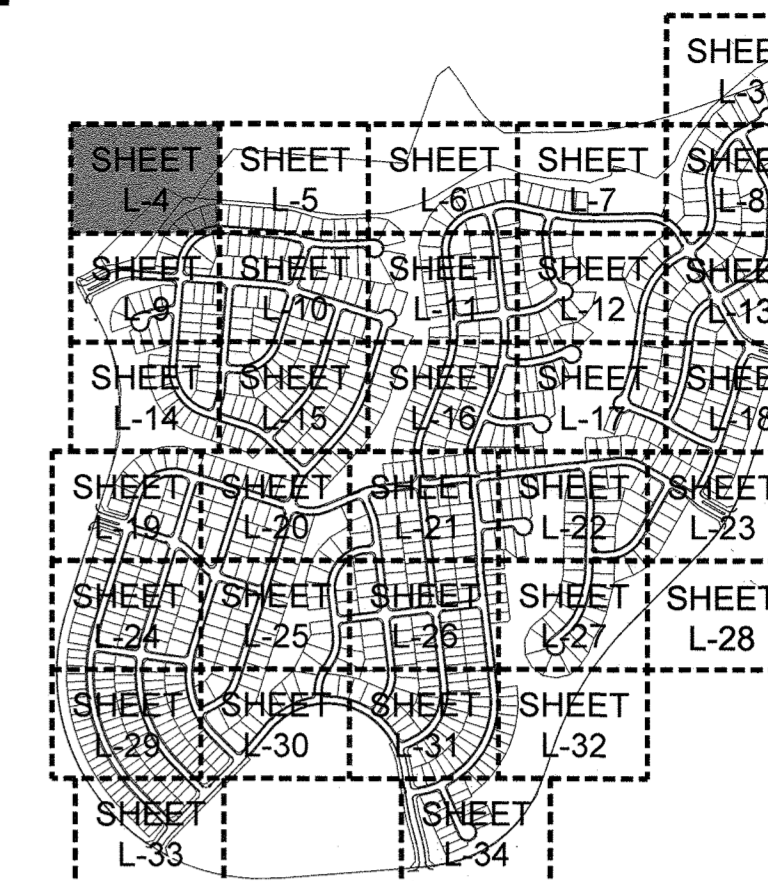
DRAWN BY: DD

SEE SHEET L-8

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIp IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, P.L.A., A.S.L.A. AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK, A.S.L.A.
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 01656



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

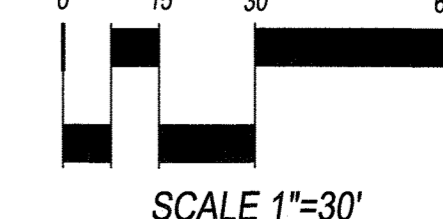
CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

SHEET TITLE:
LANDSCAPE
PLAN

L-4

SHEET 25 OF 56



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DRAWN BY: DD

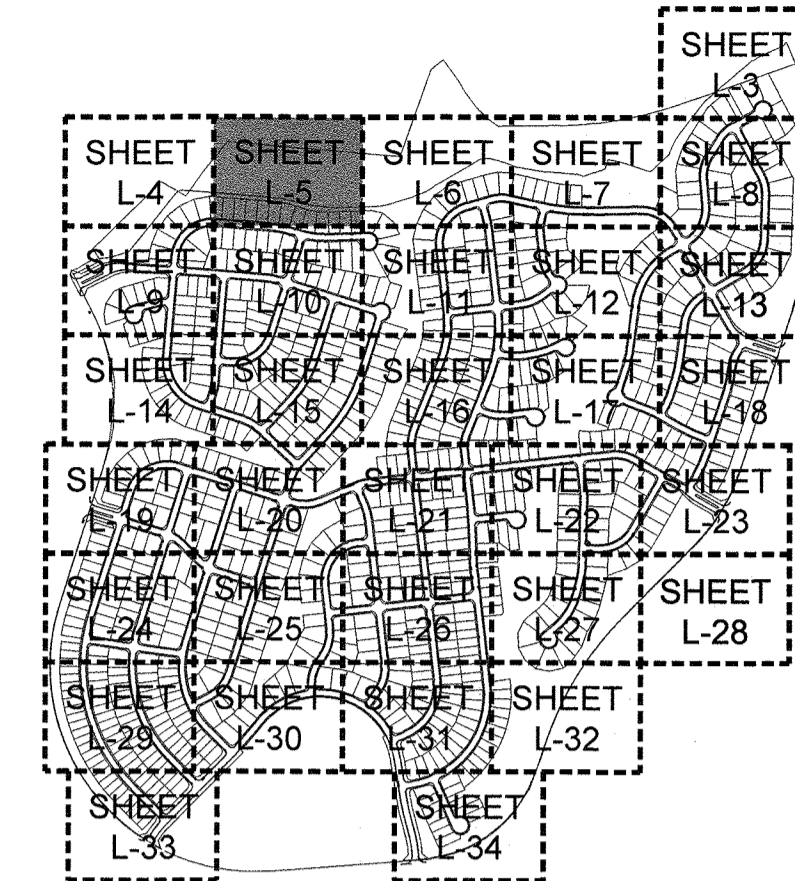
SEE SHEET L-9

SEE SHEET L-5

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

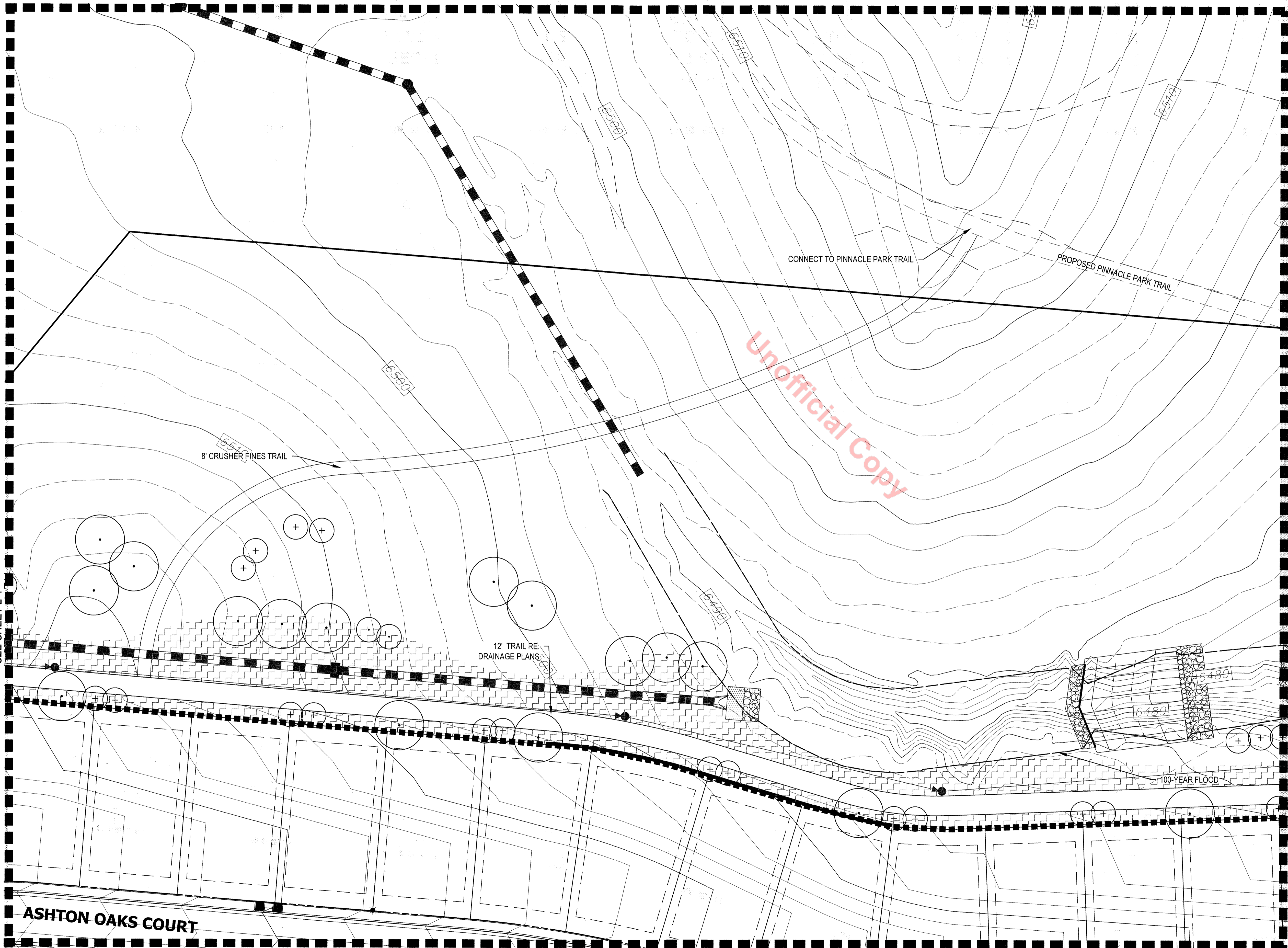
A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



NORRIS DESIGN
www.norris-design.com

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Denver, Colorado 80204
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LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, RLA, ASLA AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER IS 655

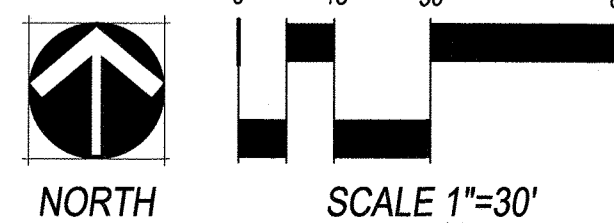


DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

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SHEET TITLE:
LANDSCAPE
PLAN

L-5
SHEET 26 OF 56



SEE SHEET L-10

SEE SHEET L-4

SEE SHEET L-6

ASHTON OAKS COURT

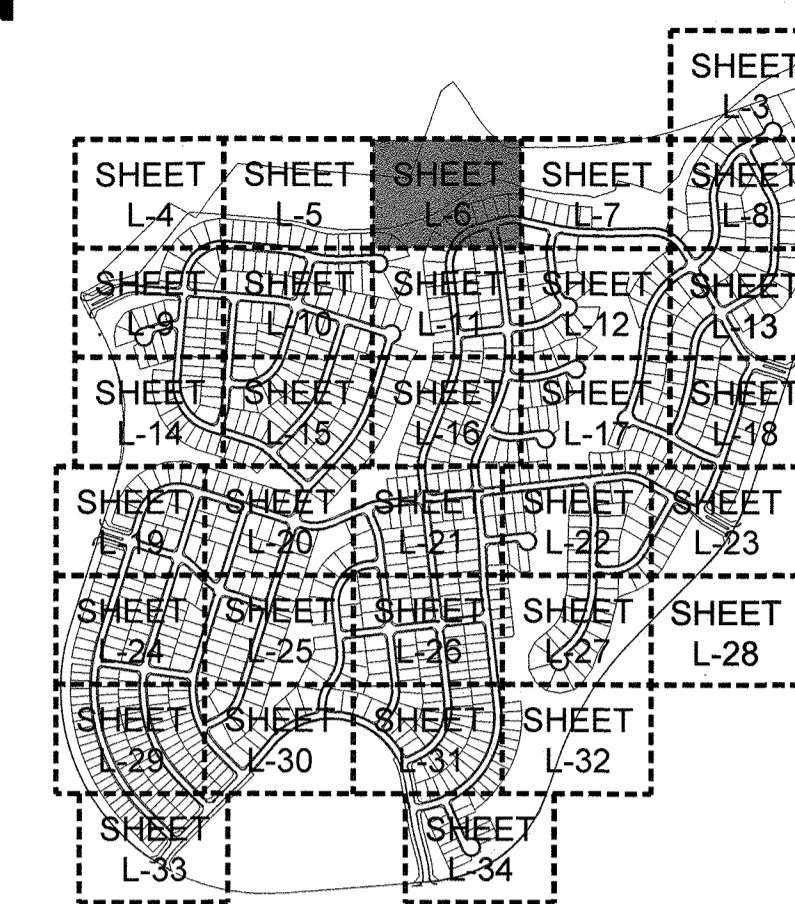
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



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Denver, Colorado 80204
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F 303.892.1166

KEY MAP

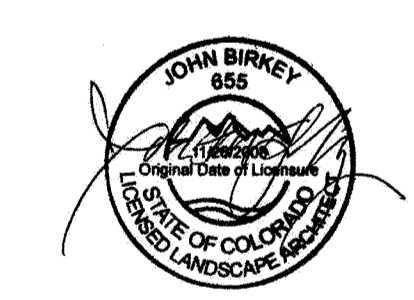


LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
JOHN BIRNEY, ISA, ASLA AM CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER 05466

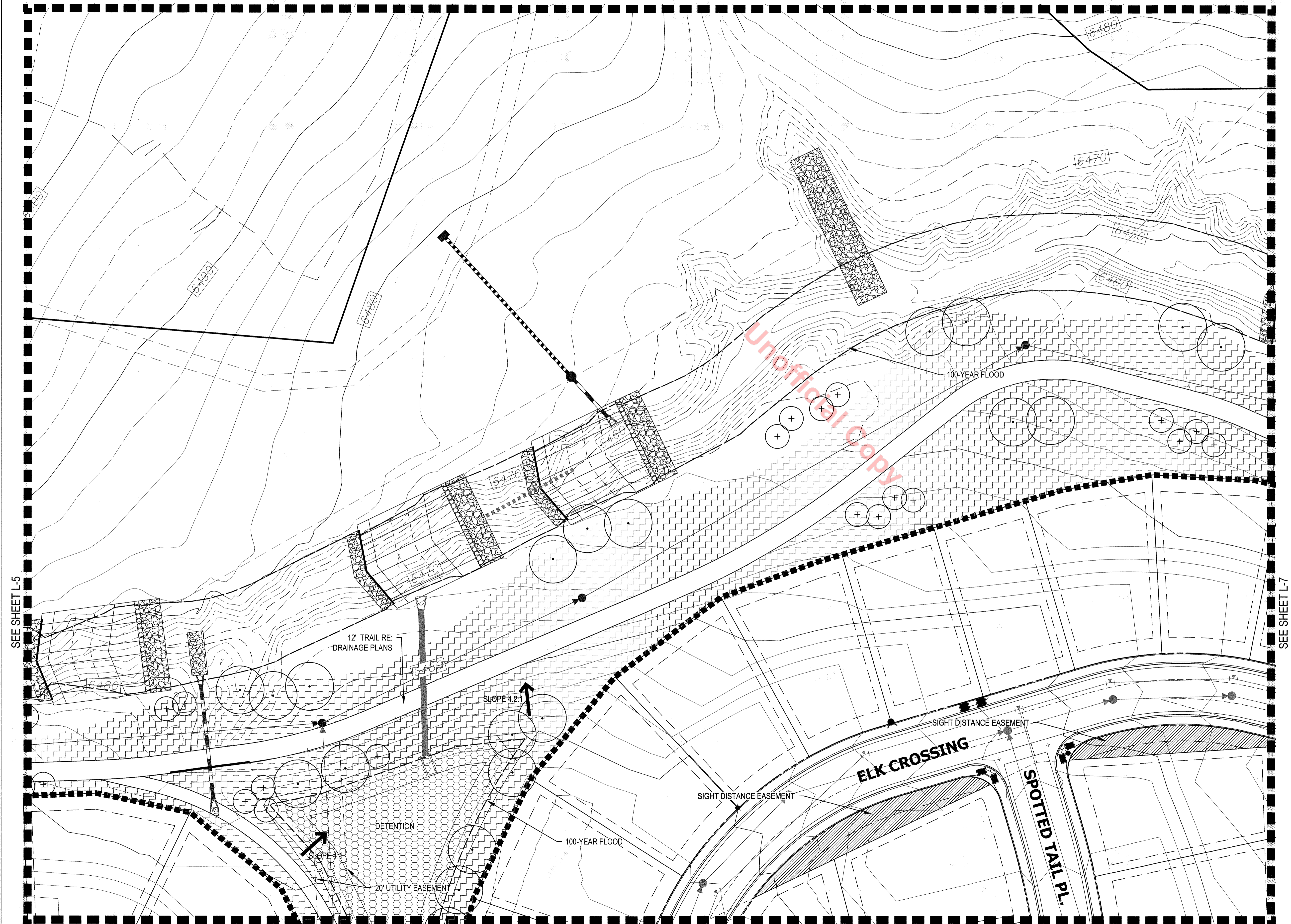


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4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE PLAN

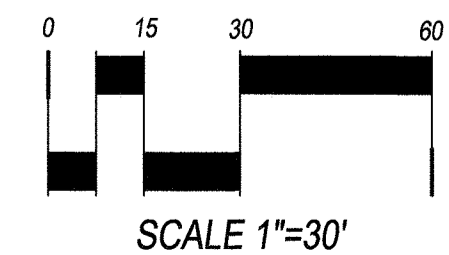
L-6
SHEET 27 OF 56



SEE SHEET L-5

SEE SHEET L-7

SEE SHEET L-11

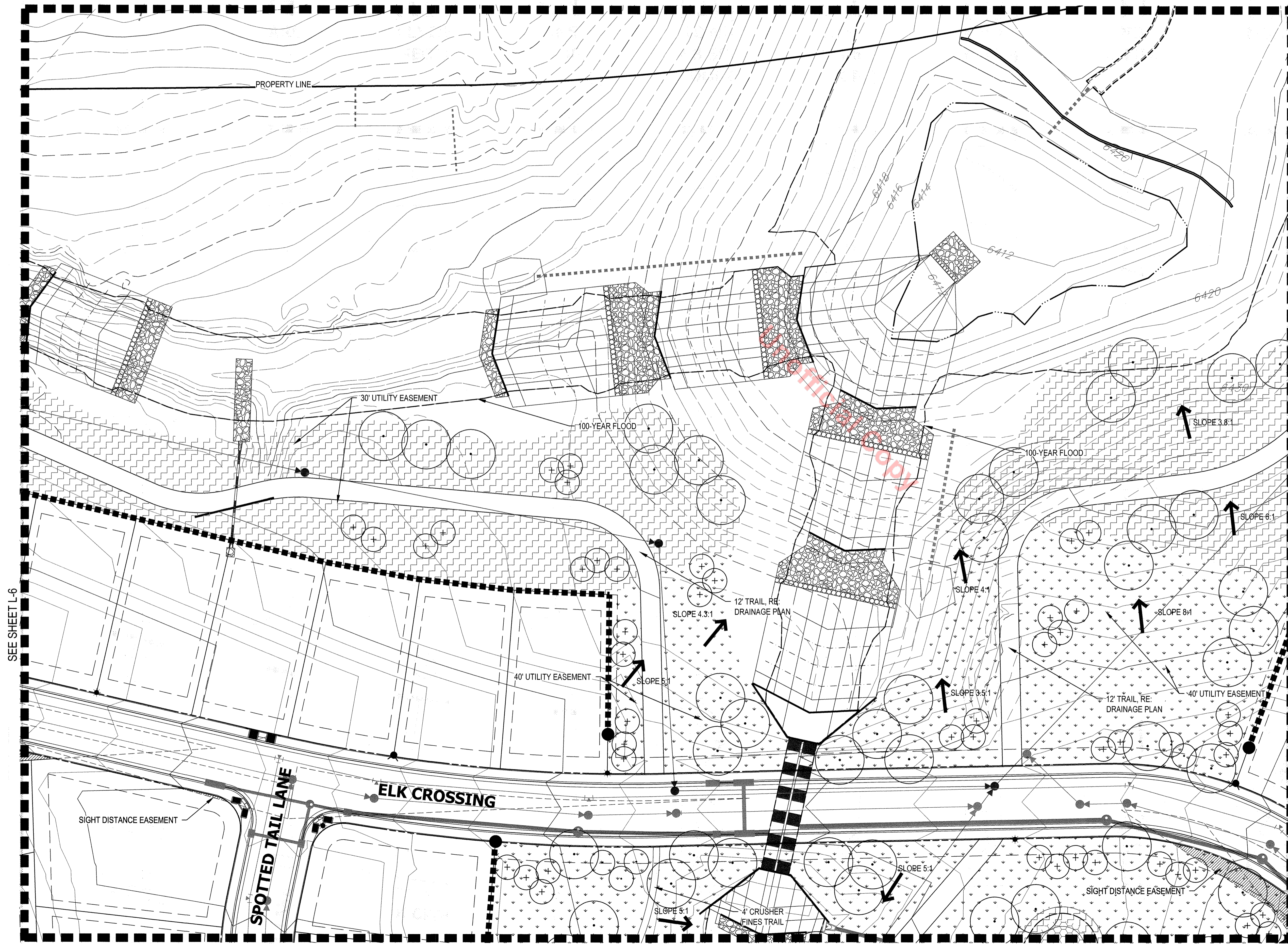
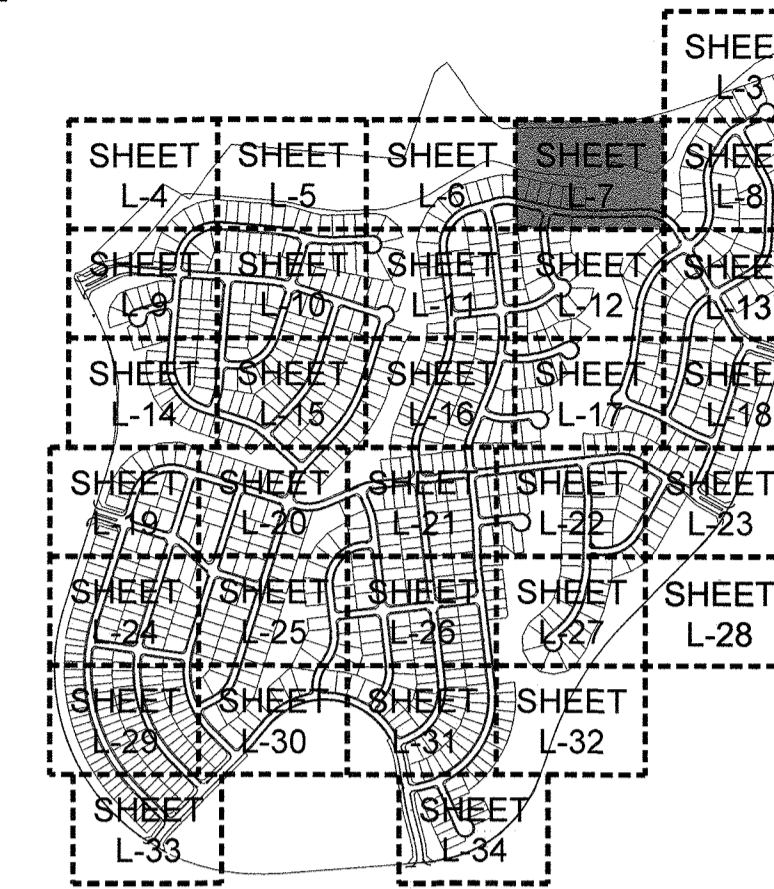


CHECKED BY: JB
DRAWN BY: DD

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP

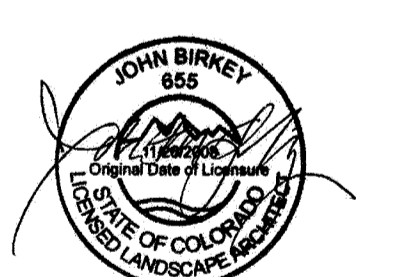


LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
I, JOHN M. BIRKEY, P.L.A., ASLA, AM, CERTIFIED
WITH THE TOWN OF CASTLE ROCK, AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 01658



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

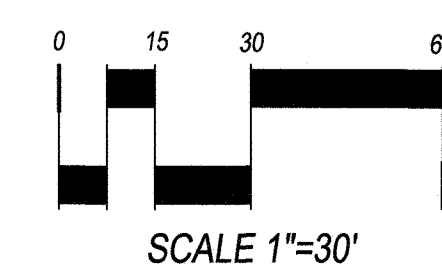
SHEET TITLE:
LANDSCAPE
PLAN

L-7

SHEET 28 OF 56



NORTH



SCALE 1"=30'



Know what's below.
Call before you dig.

SEE SHEET L-6

SEE SHEET L-8

SEE SHEET L-12

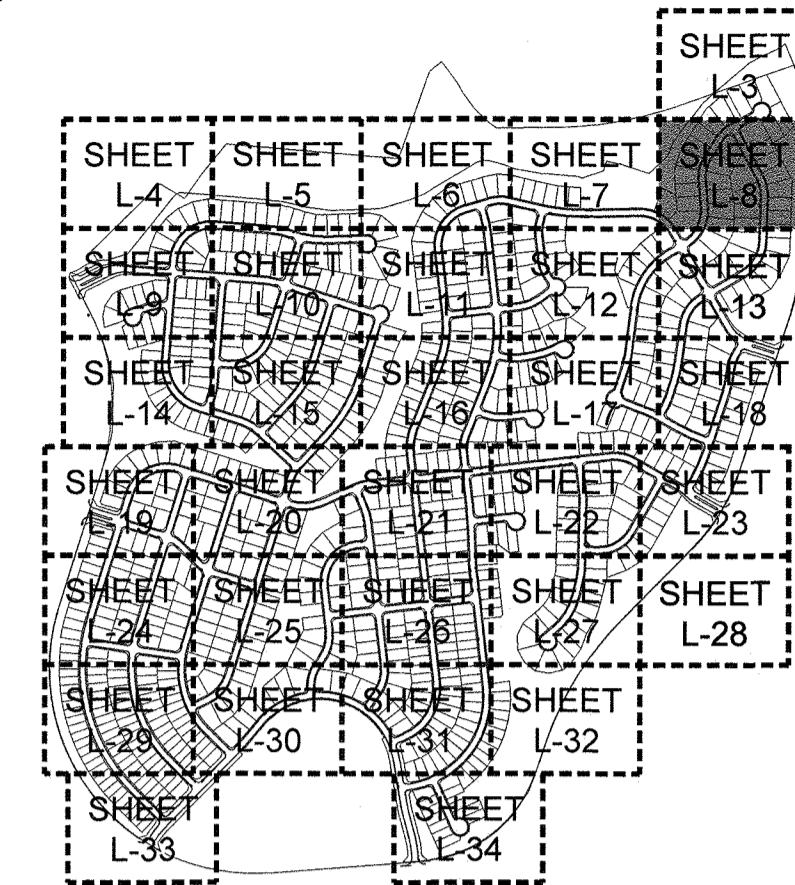
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
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COUNTY OF DOUGLAS, STATE OF COLORADO



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KEY MAP

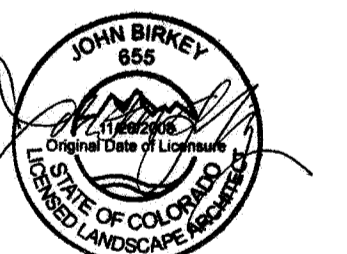


LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
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- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
I, JOHN BIRNEY, RLA, ASLA AM, CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 61865

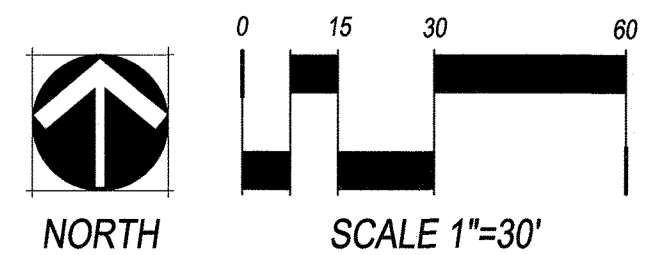
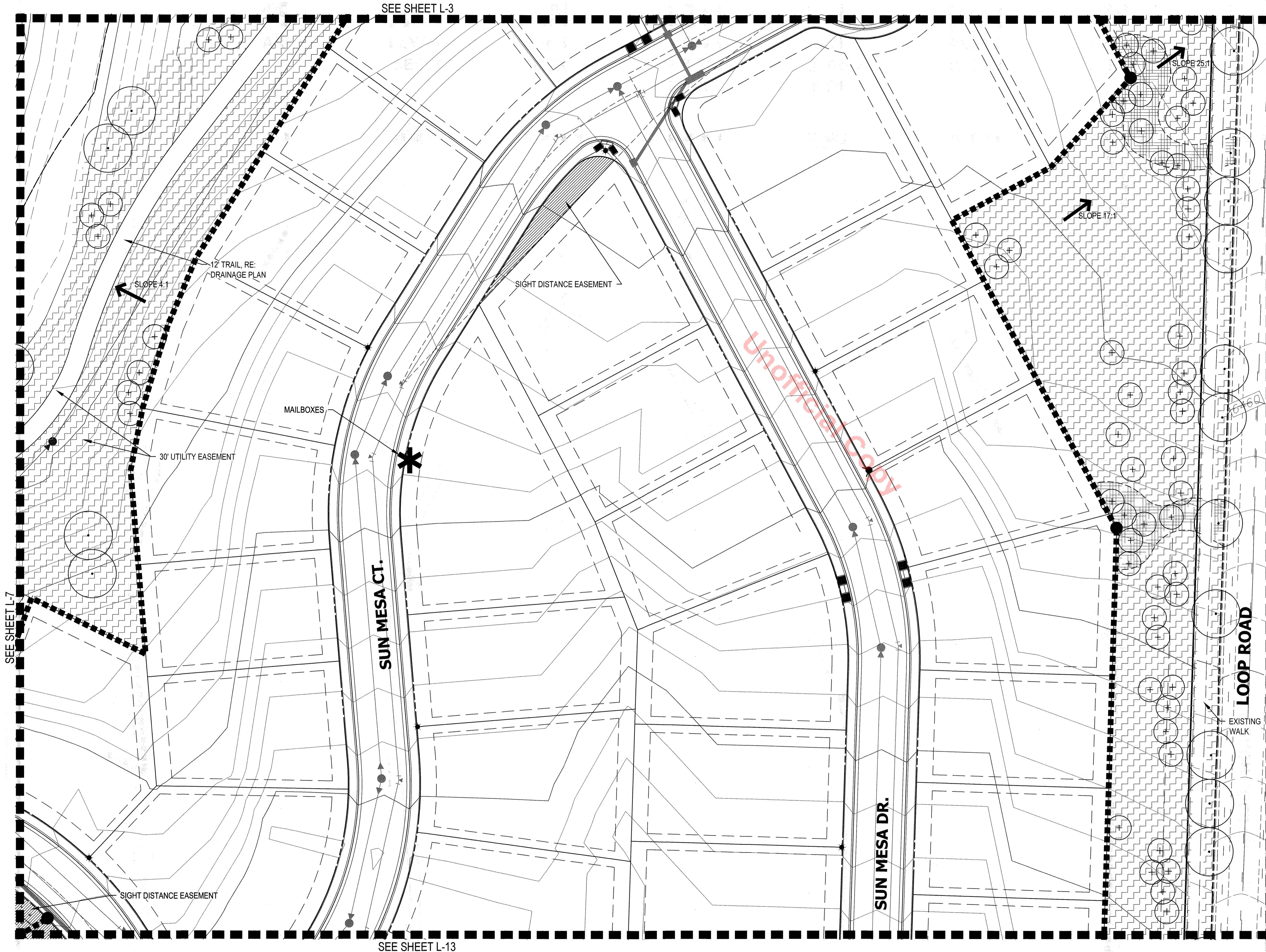


DATE:
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2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

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SHEET TITLE:
LANDSCAPE
PLAN

L-8
SHEET 29 OF 56



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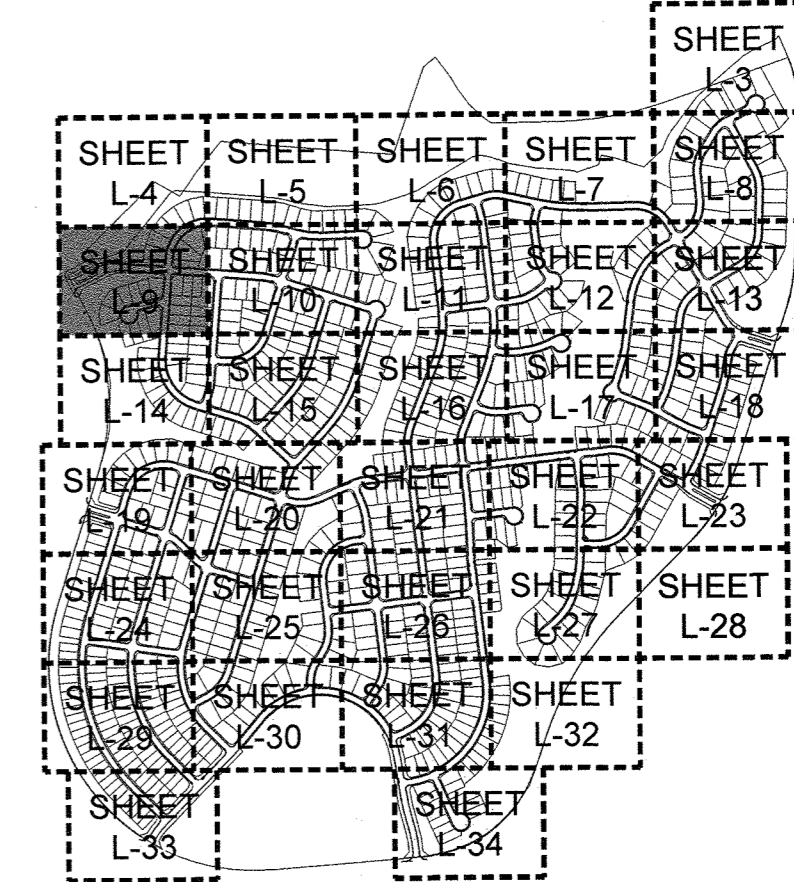
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



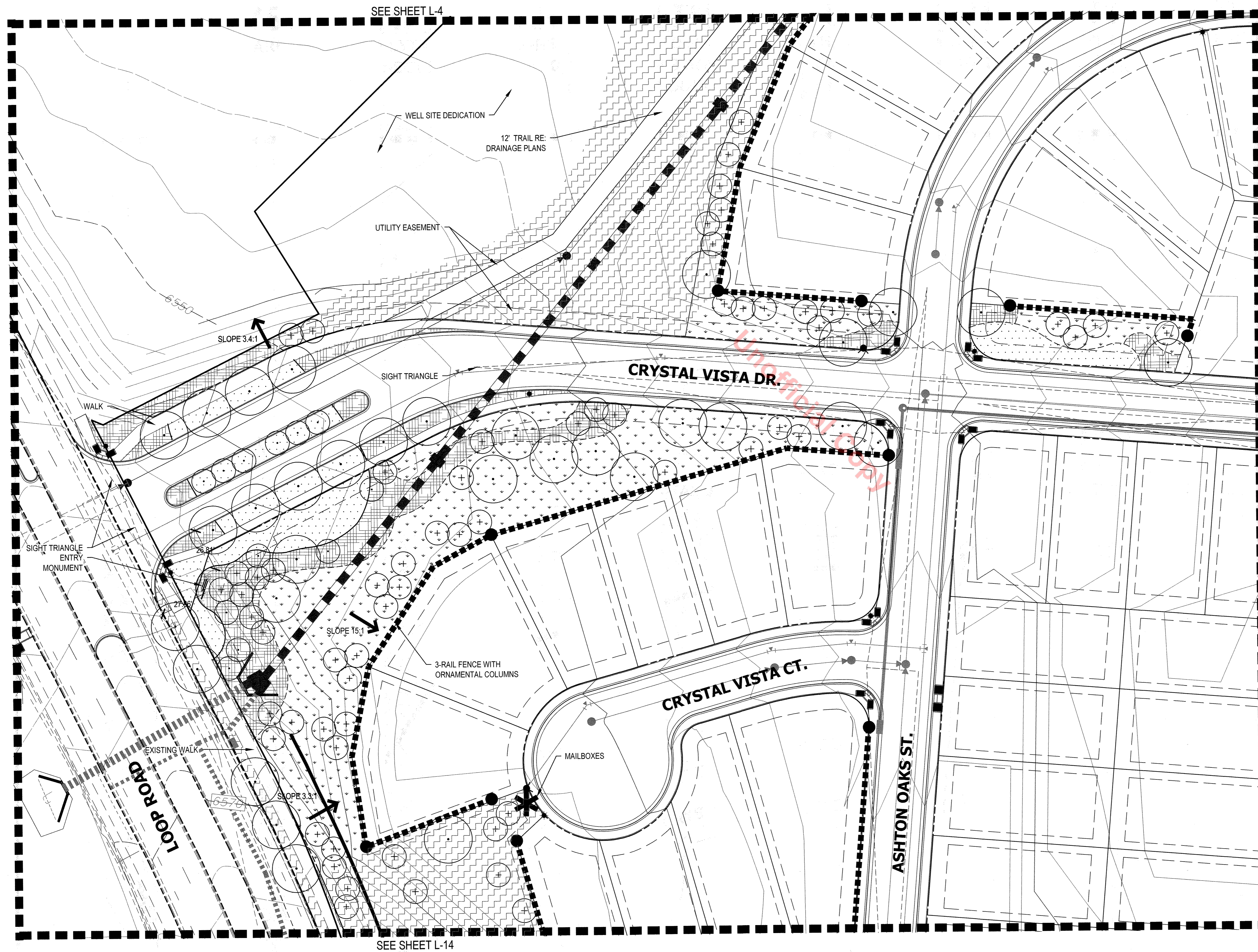
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

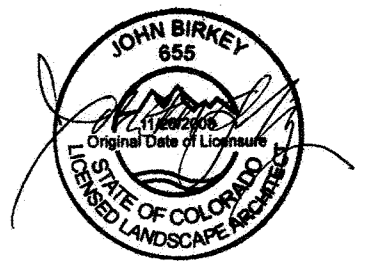


SEE SHEET L-10

SEE SHEET L-14

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
I, JOHN M. BIRKEY, RLA, ASLA AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER IS 655

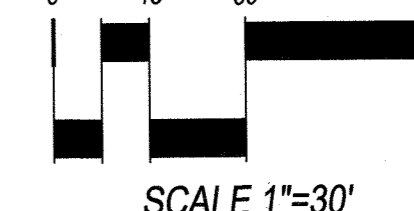


DATE:
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4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

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CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



SHEET TITLE:
LANDSCAPE
PLAN

L-9

SHEET 30 OF 56

CHECKED BY: JB
DRAWN BY: DC

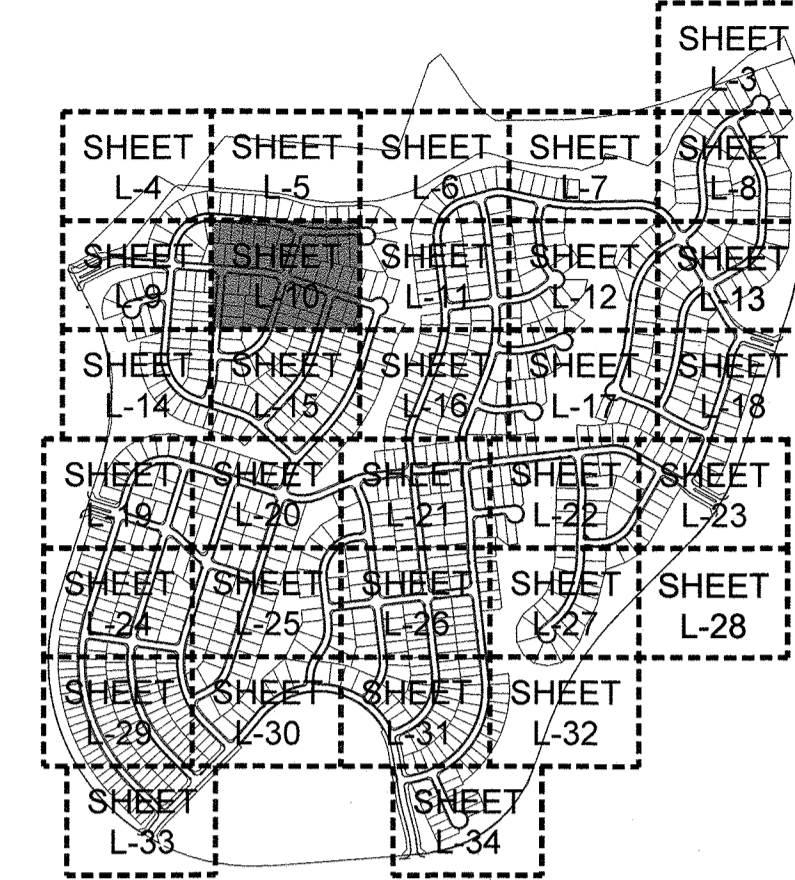
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
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- RIPARIAN MIX
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- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN BIRNEY, PLS, APLA, AM, CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 01655

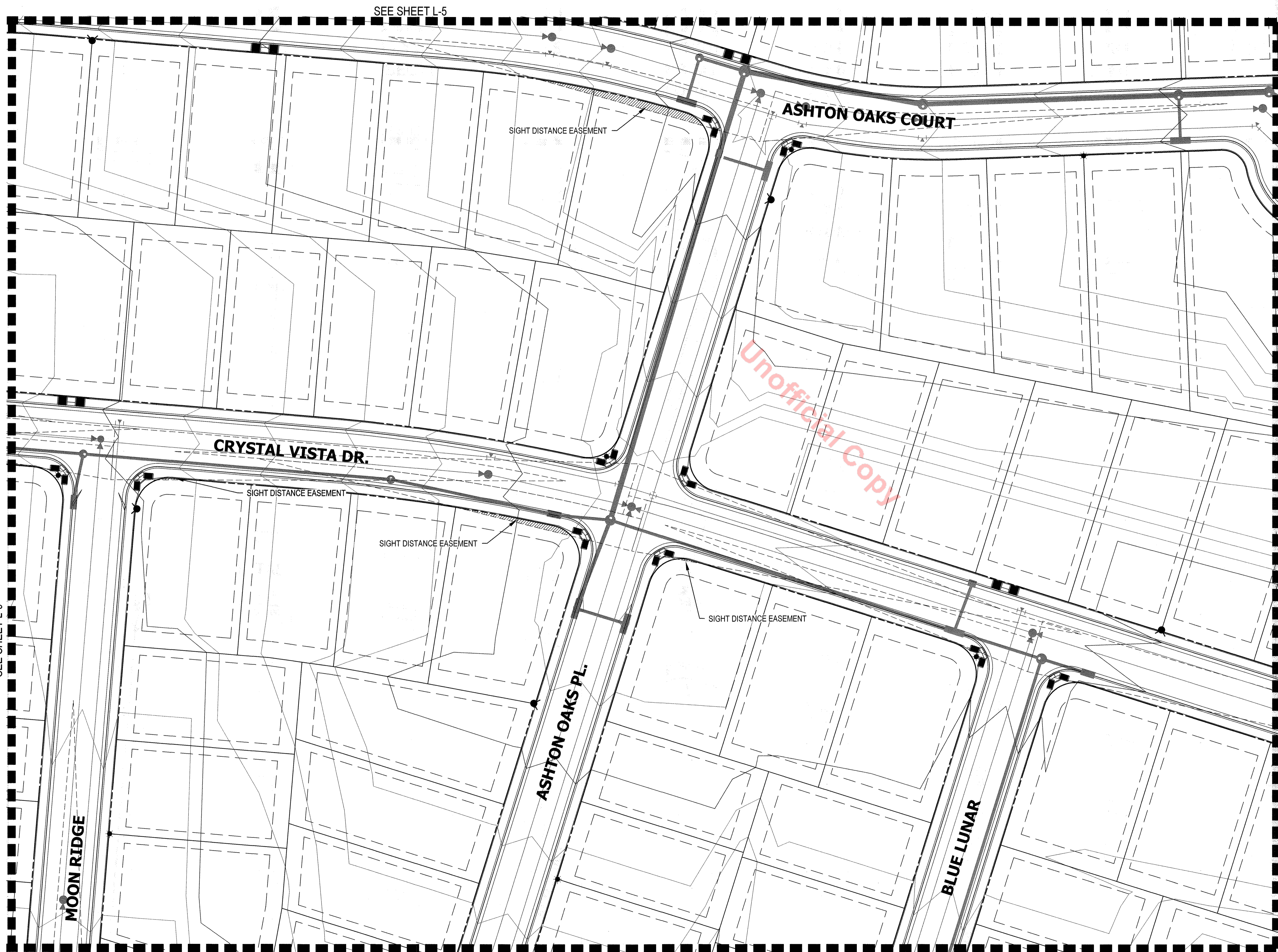


DATE:
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3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

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SHEET TITLE:
LANDSCAPE
PLAN

L-10
SHEET 31 OF 56

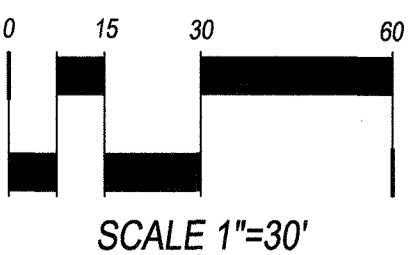
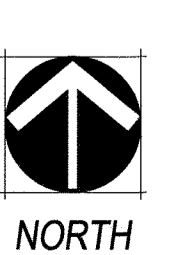


SEE SHEET L-5

SEE SHEET L-15

SEE SHEET L-9

SEE SHEET L-11



CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

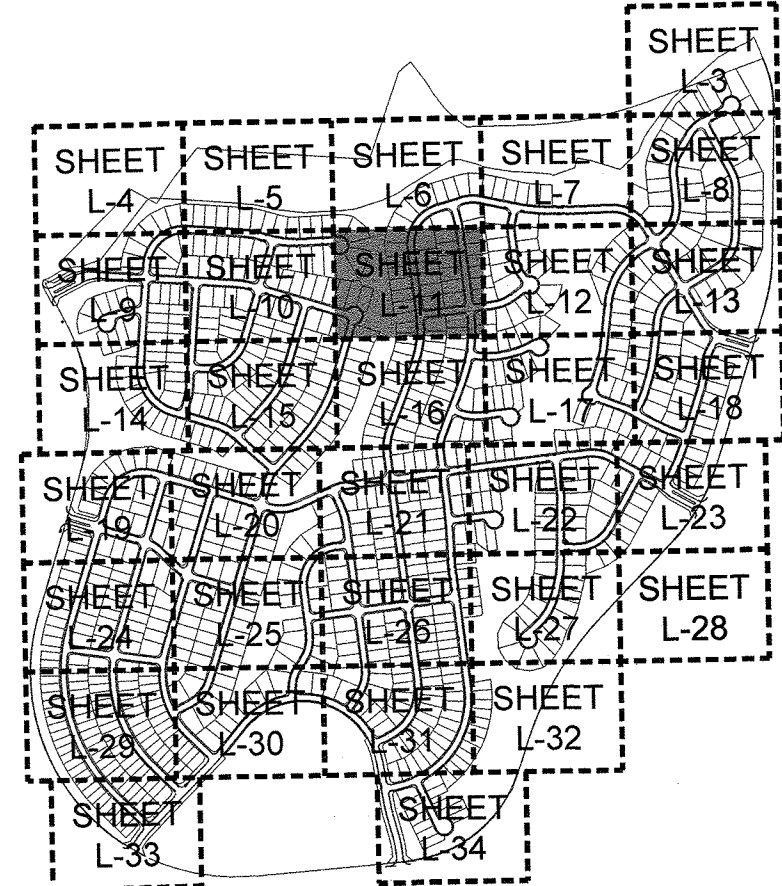
PROJECT NO. SDP16-0005

CHECKED BY: JB
DRAWN BY: DD

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

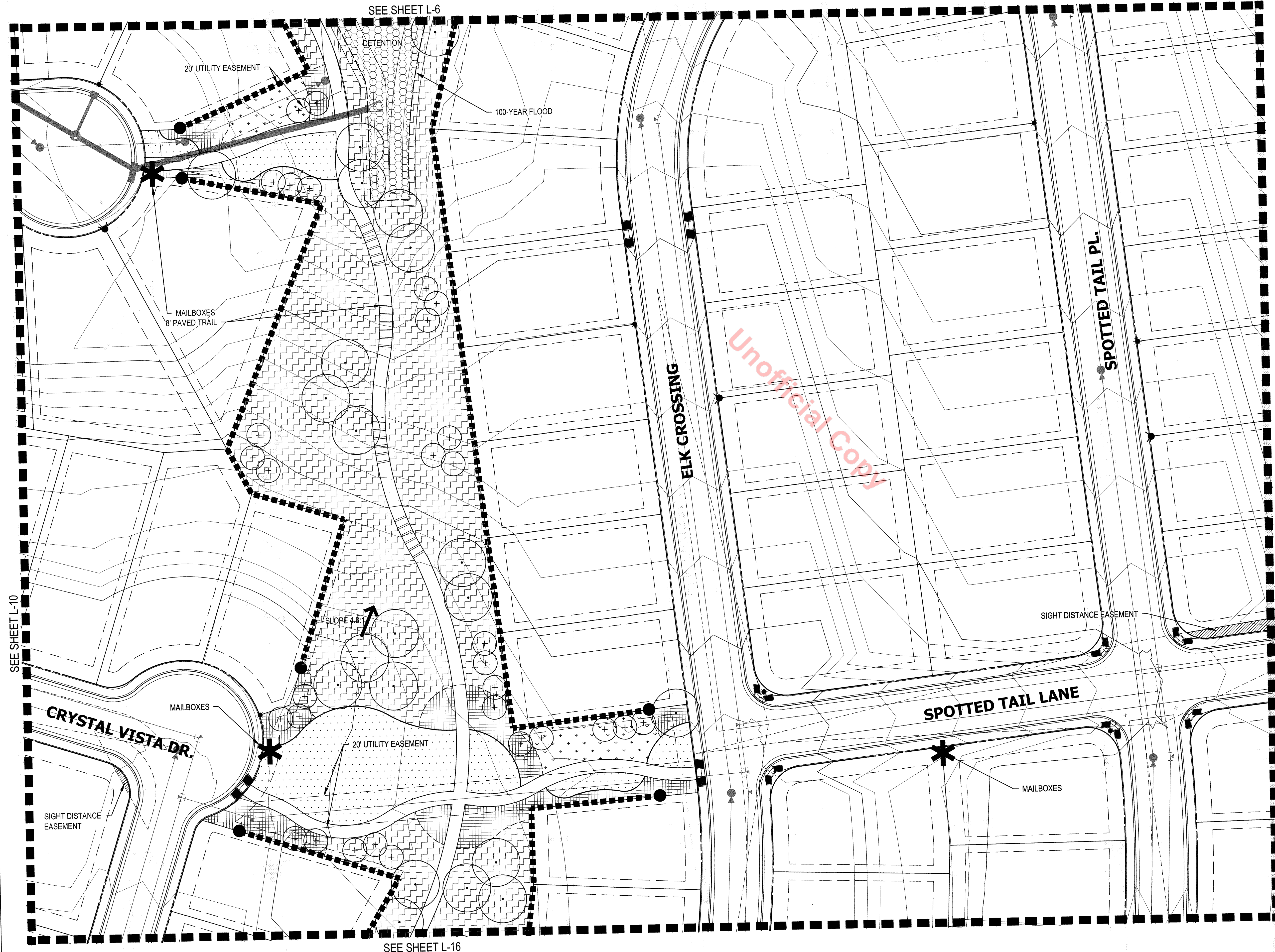
A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIRONMENTAL SOD
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
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- RIPARIAN MIX
- STREET LIGHT
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- SIGHT TRIANGLES
- RETAINING WALL



Unofficial Copy

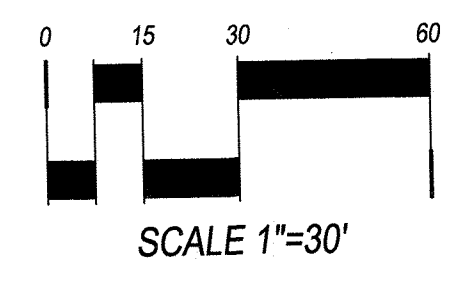
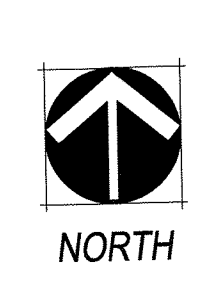
SEE SHEET L-12

SEE SHEET L-10

SEE SHEET L-16

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

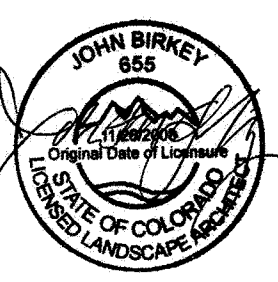
PROJECT NO. SDP16-0005



PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, P.L.A. AS A AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 65 665

John M. Birney



DATE:
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4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

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SHEET TITLE:
LANDSCAPE
PLAN

L-11
SHEET 32 OF 56

CHECKED BY: JB
DRAWN BY: DC

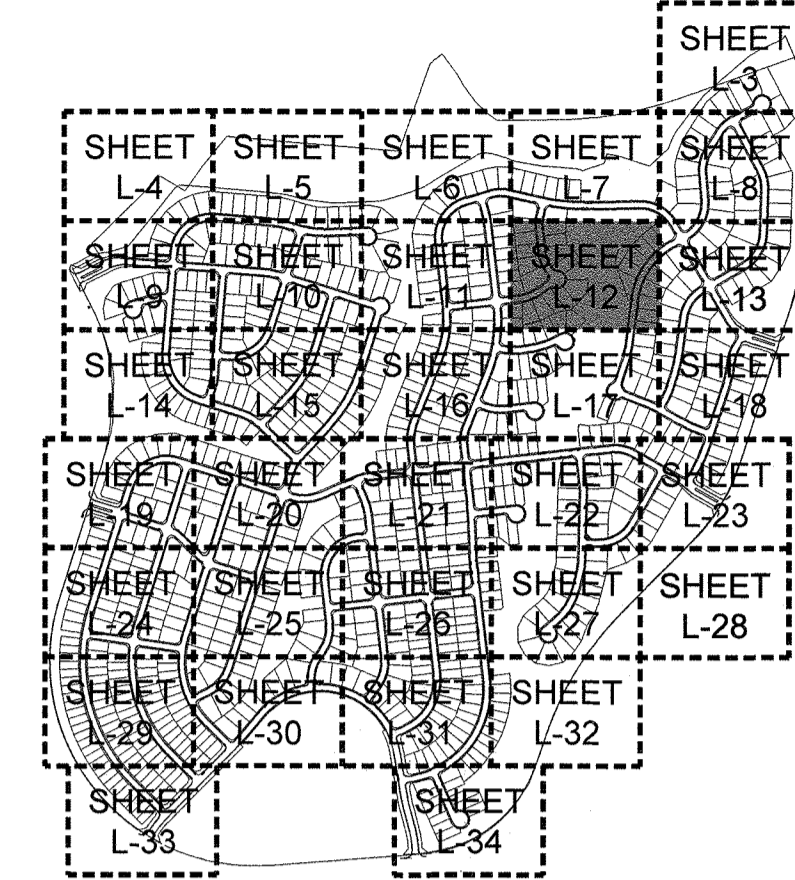
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
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COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP

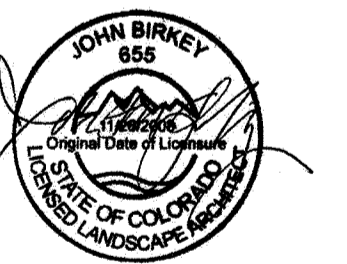


LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
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- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
I JOHN BIRNEY, RLA, ASLA AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 12555

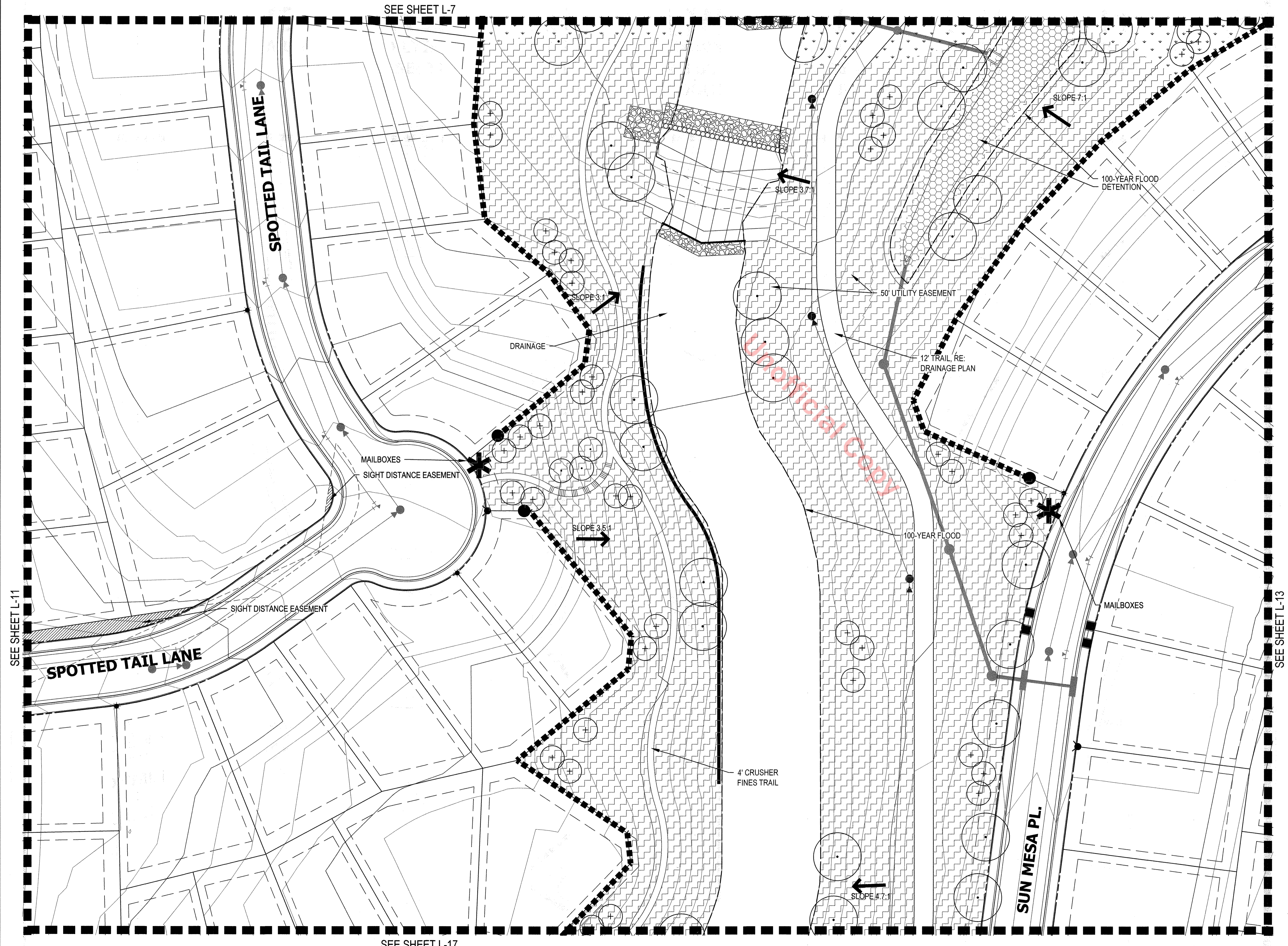


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4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
PLAN

L-12
SHEET 33 OF 56



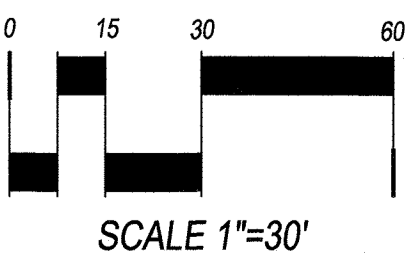
SEE SHEET L-11

SEE SHEET L-7

SEE SHEET L-17

SEE SHEET L-13

CHECKED BY: JB
DRAWN BY: DD



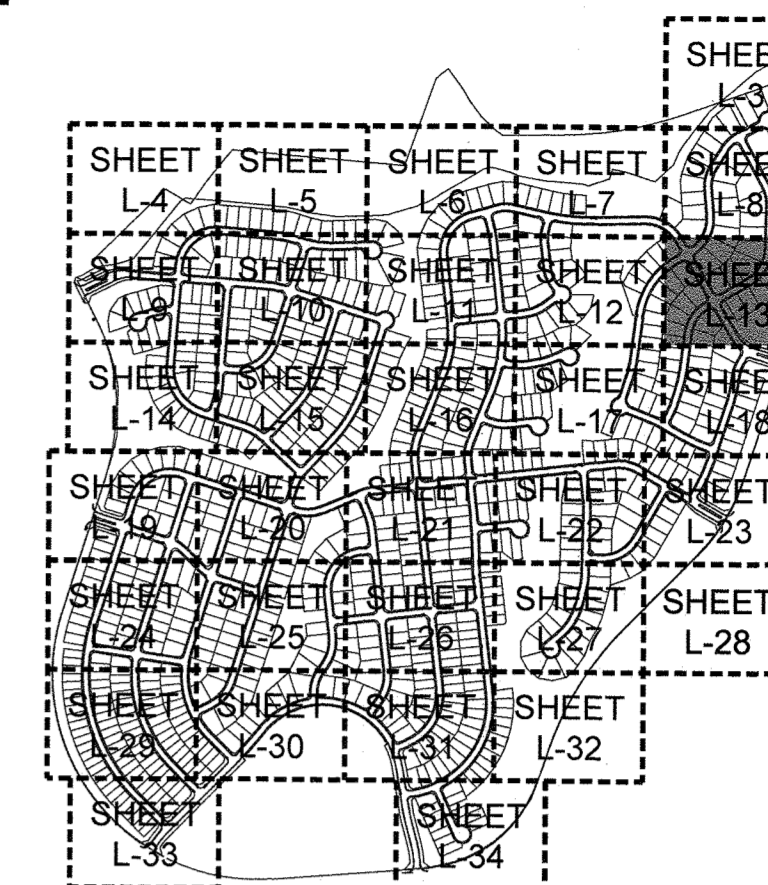
CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

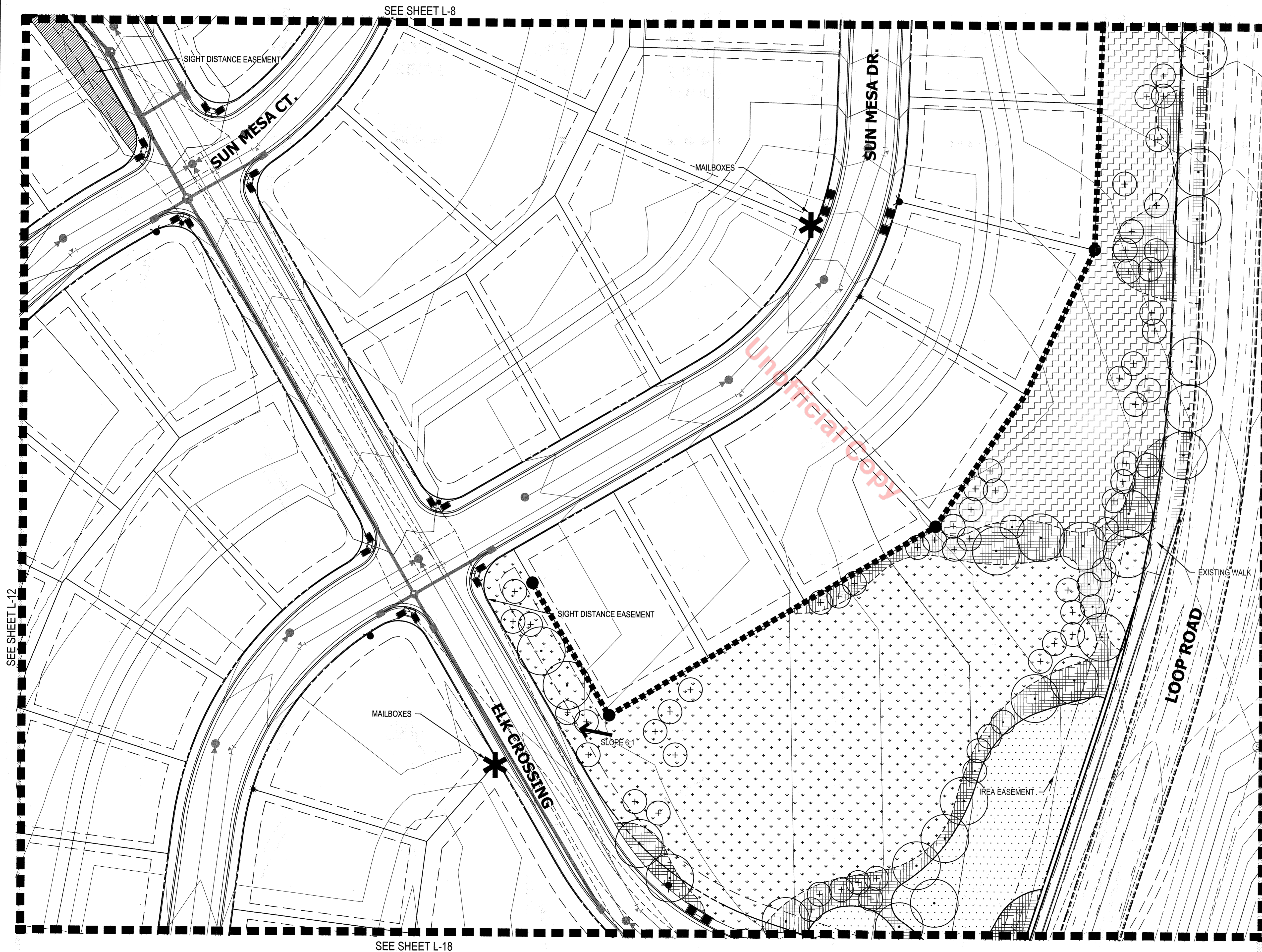
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

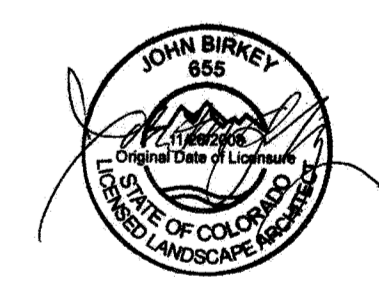


LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, P.L.A., A.S.L.A. AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER IS 655



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

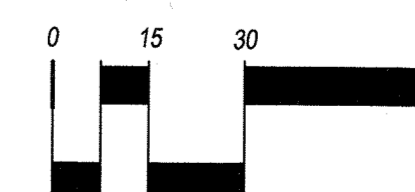
NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
PLAN

L-13
SHEET 34 OF 56



NORTH



SCALE 1"=30'



Know what's below.
Call before you dig.

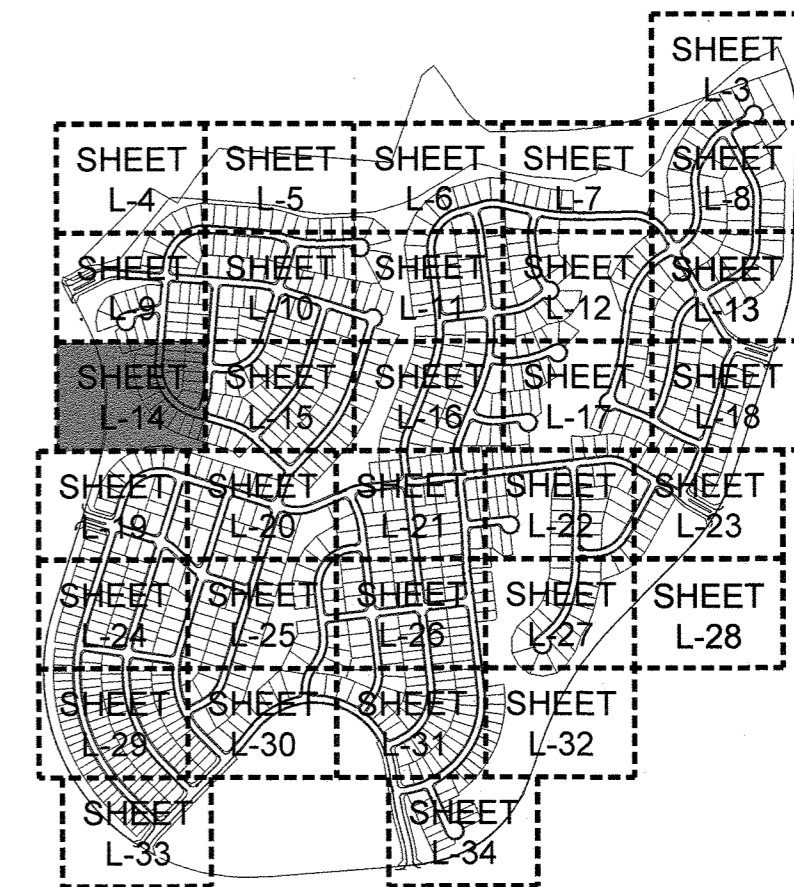
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
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- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL



SEE SHEET L-9

SLOPE 3.9:1

ASHTON OAKS ST.

LOOP ROAD

TRAIL CROSSING
CAIRN TRAIL MARKER
8' PAVED TRAIL

SLOPE 4.4:1

ASHTON OAKS ST.

SEE SHEET L-15

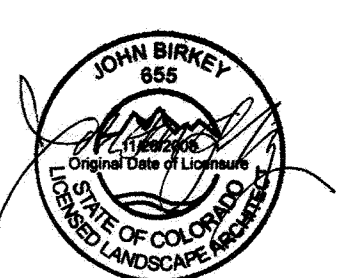
8' PAVED TRAIL

SLOPE 3.8:1

SEE SHEET L-19

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN BIRNEY, PLS, ASLA, AIA, CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 0506

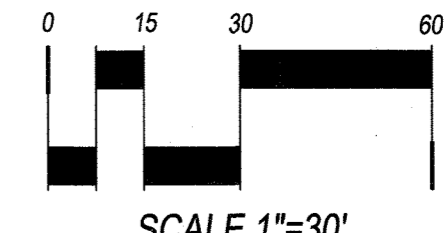


DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



Know what's below.
Call before you dig.

L-14

SHEET 35 OF 56

CHECKED BY: JB DD
DRAWN BY:

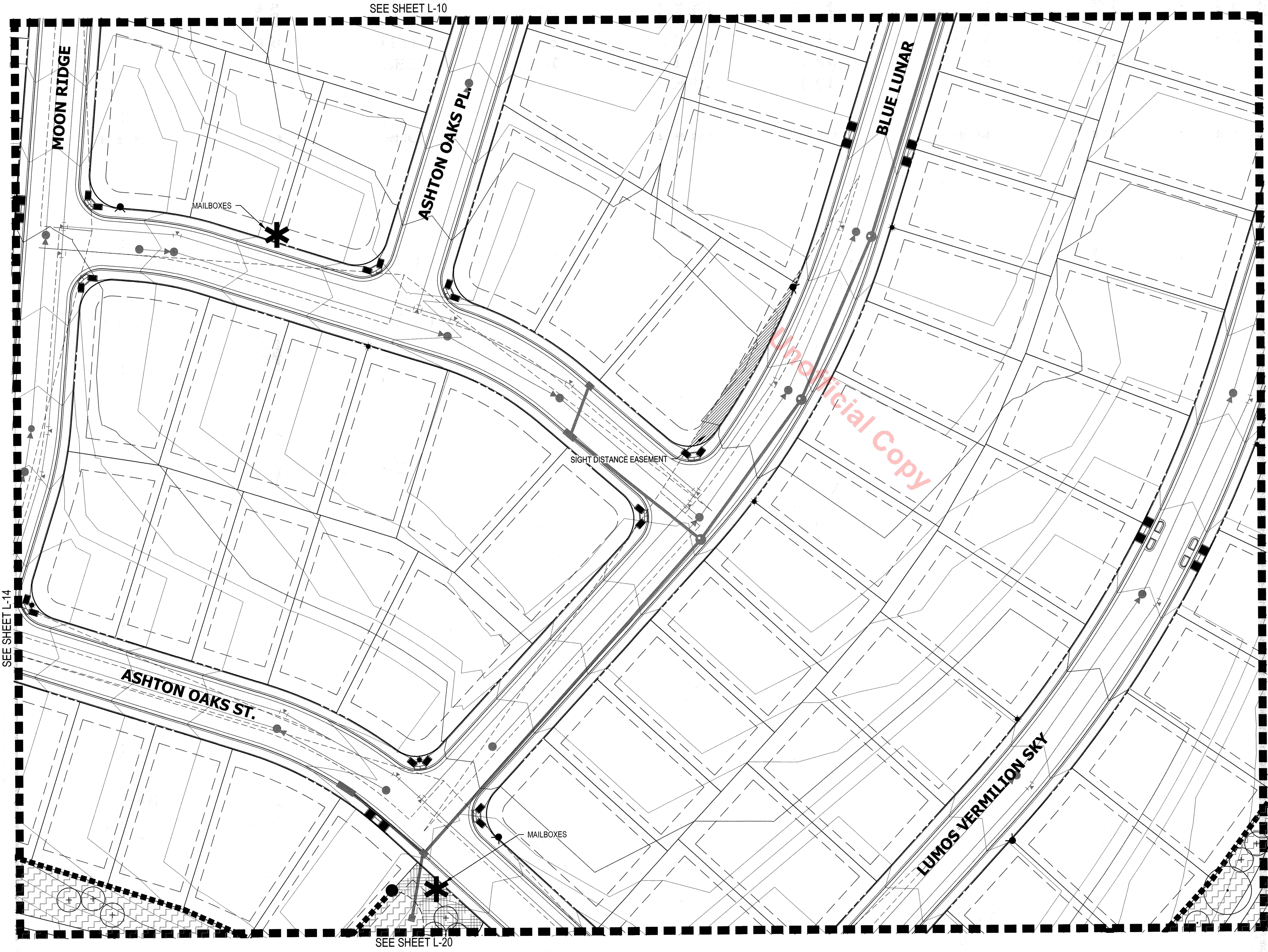
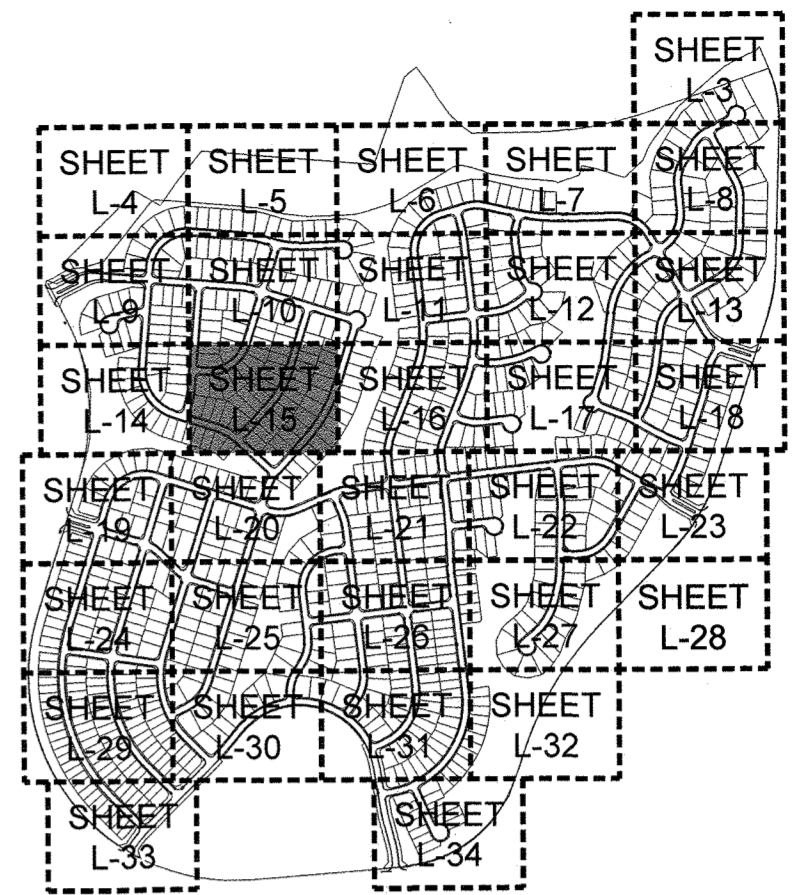
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRKEY, RLA, ASLA, AIA, CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 12 652

John M. Birkey

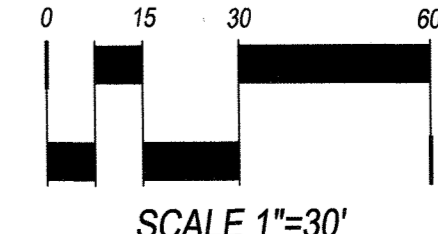
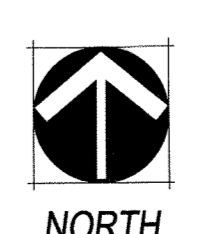


DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

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CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



SHEET TITLE:
LANDSCAPE
PLAN

L-15
SHEET 36 OF 56

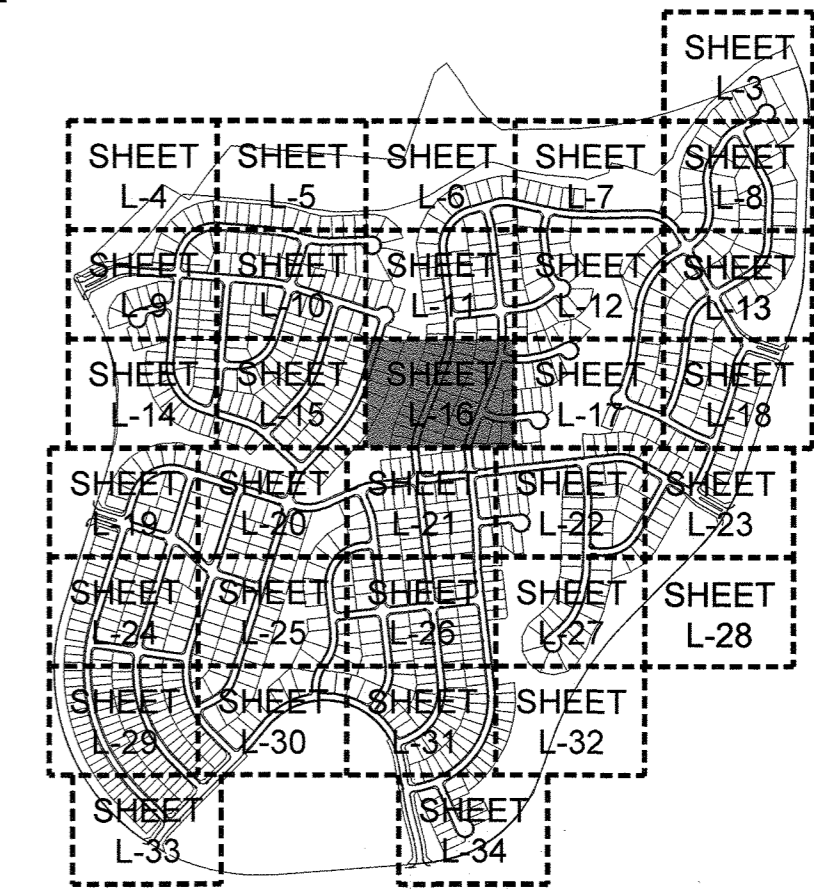
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



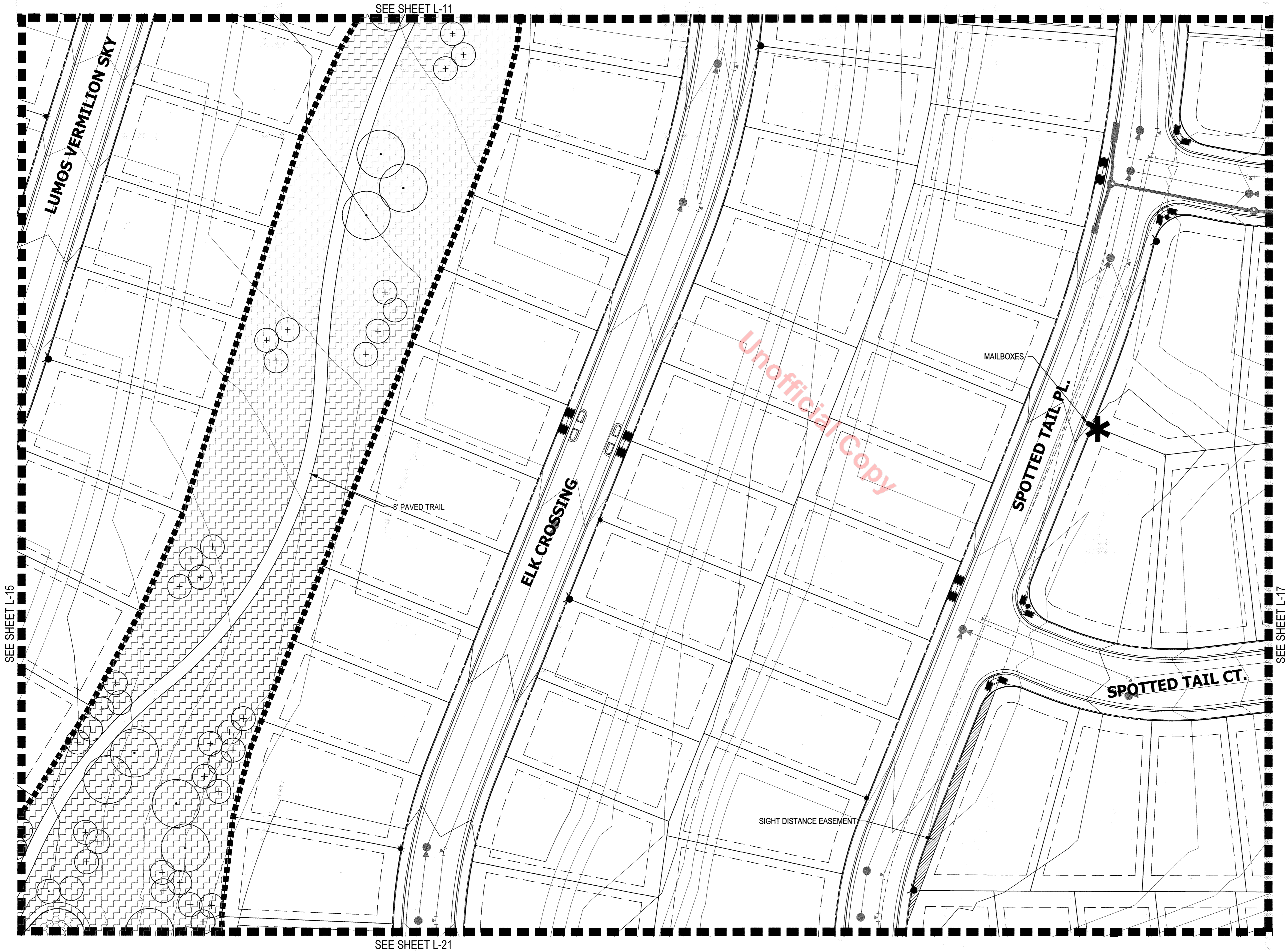
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1166

KEY MAP



LEGEND

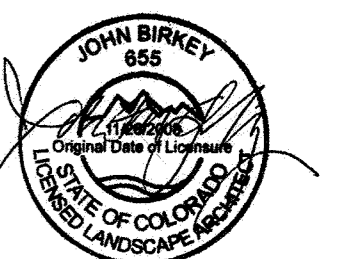
- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
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- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL



Unofficial Copy

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, R.L.A. ASLA AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 05405



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

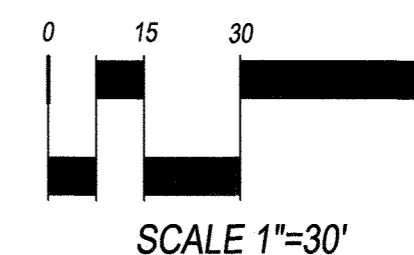
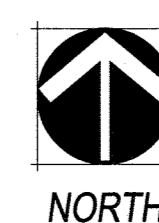
NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
PLAN

L-16
SHEET 37 OF 56

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



CHECKED BY: JB
DRAWN BY: DD

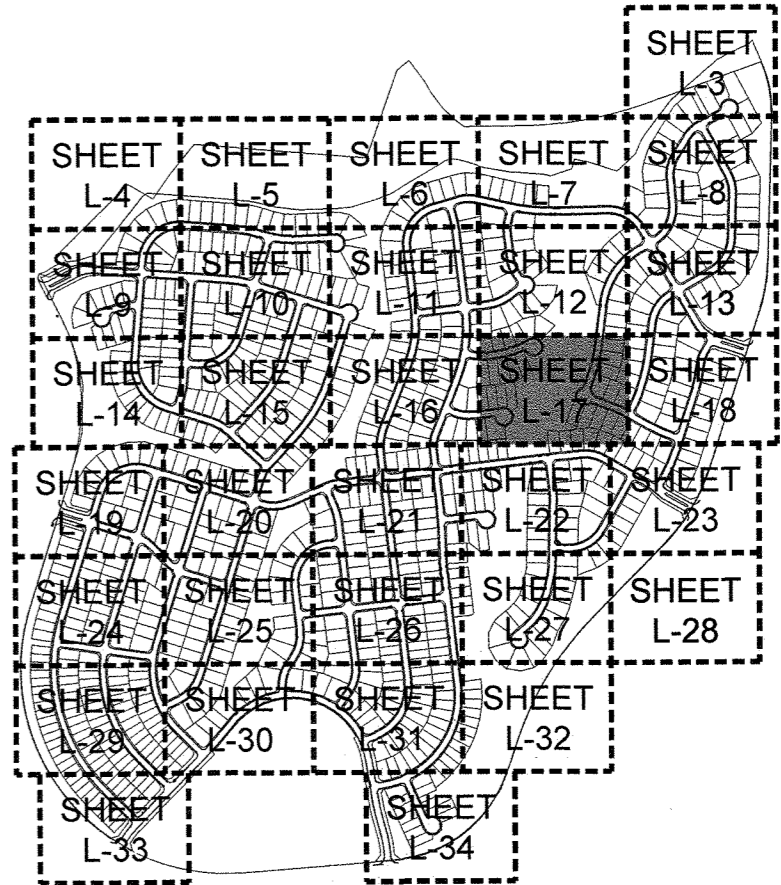
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



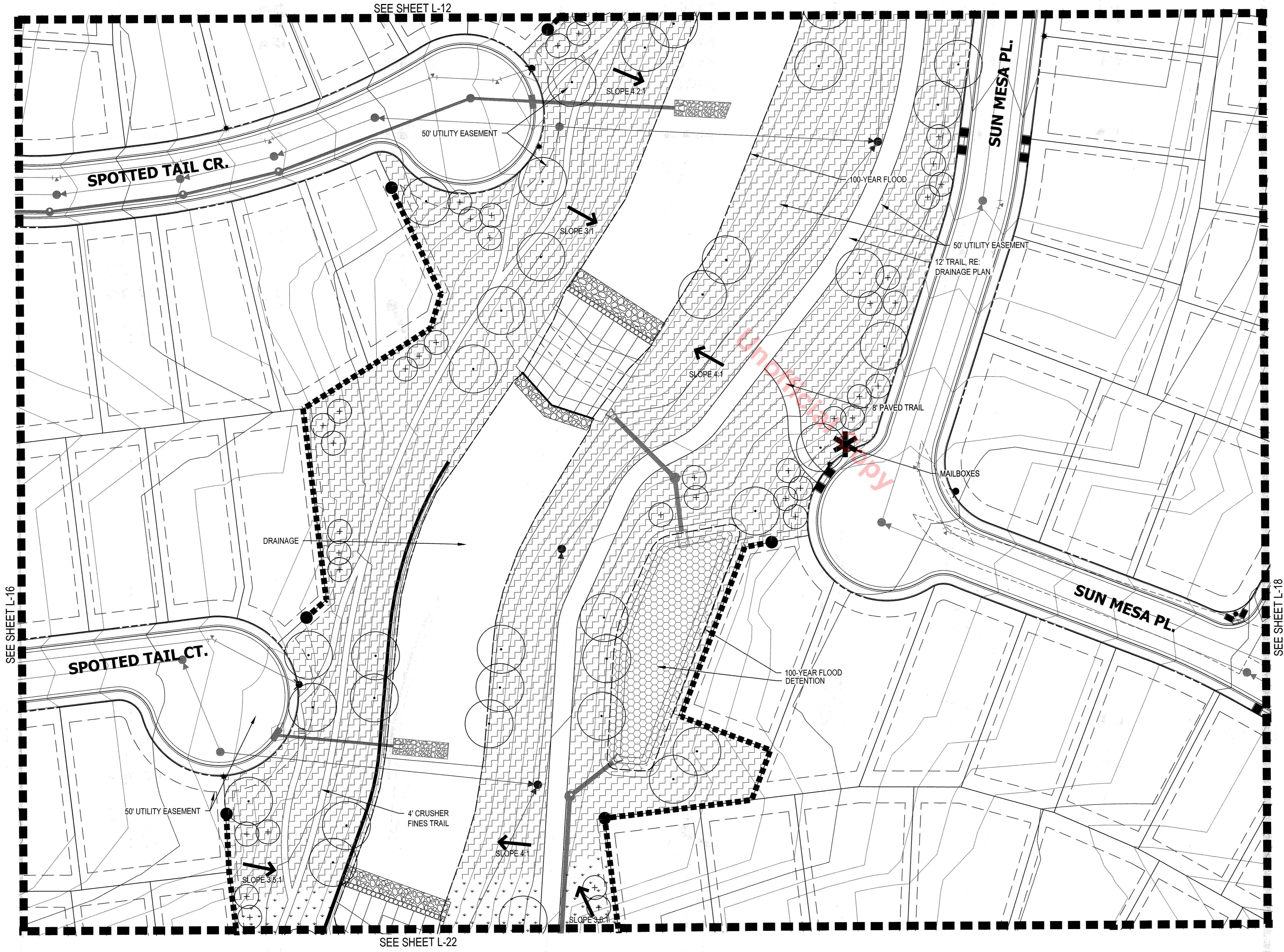
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP



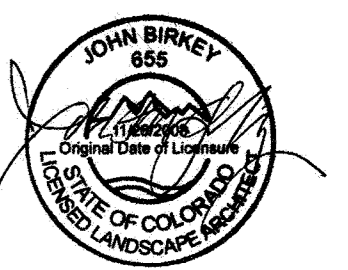
LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
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- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL



PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, P.L.A., A.S.L.A. AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 01855



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

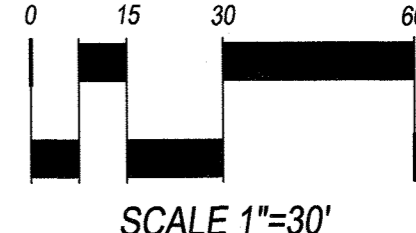
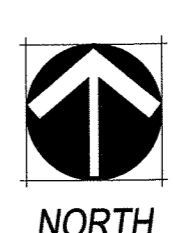
CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

SHEET TITLE:
LANDSCAPE
PLAN

L-17

SHEET 38 OF 56

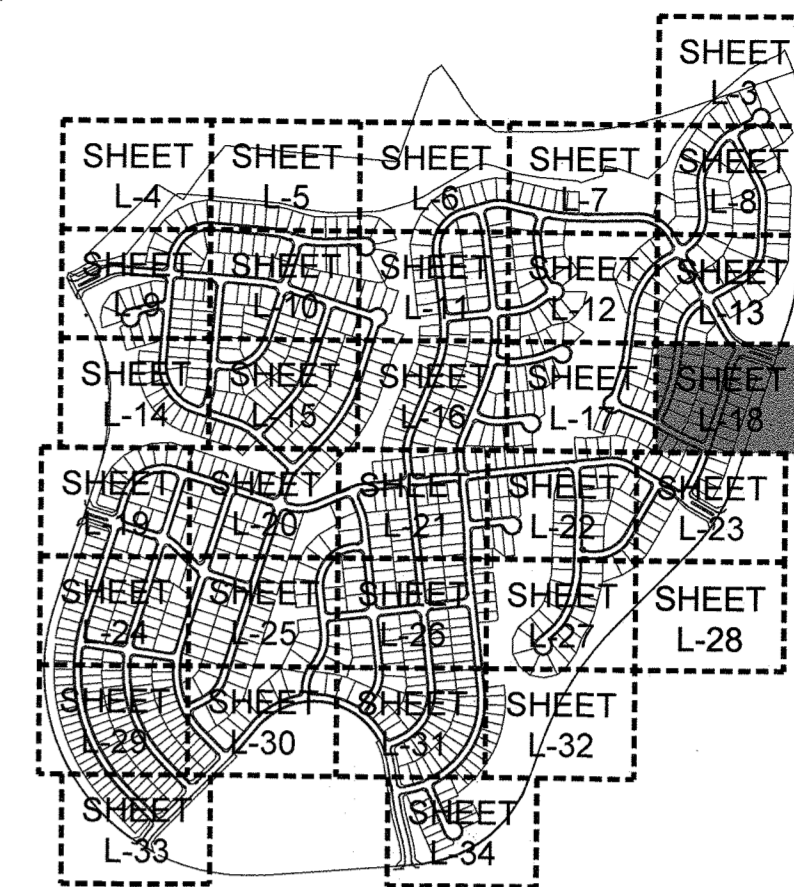


CHECKED BY: JB
DRAWN BY: DD

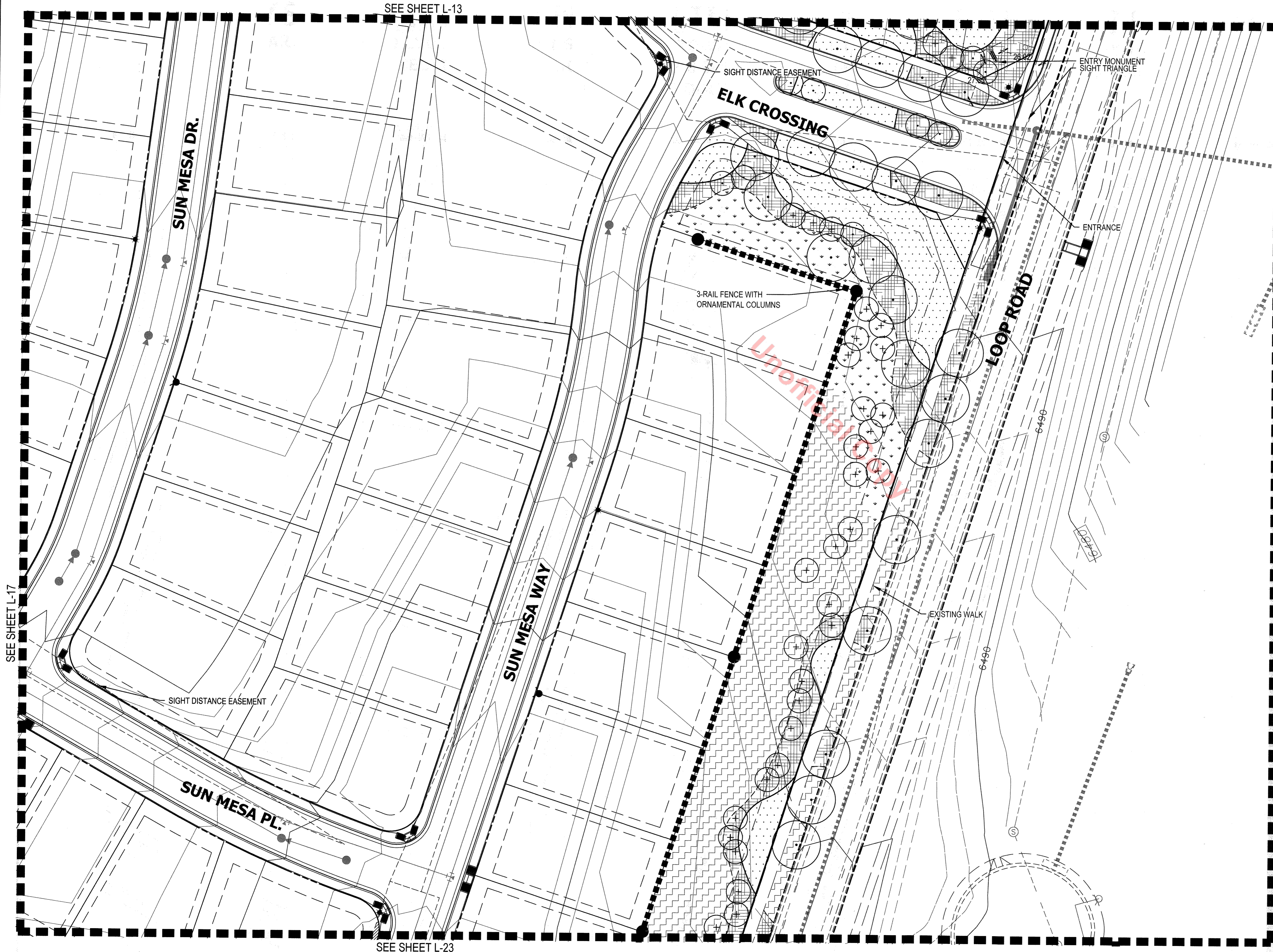
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIRONMENTAL TURF SOD
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, P.E., ASLA AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 15 855



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

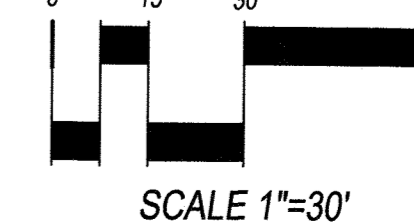
NOT FOR CONSTRUCTION

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



NORTH



SCALE 1"=30'



Know what's below.
Call before you dig.

SHEET TITLE:
LANDSCAPE
PLAN

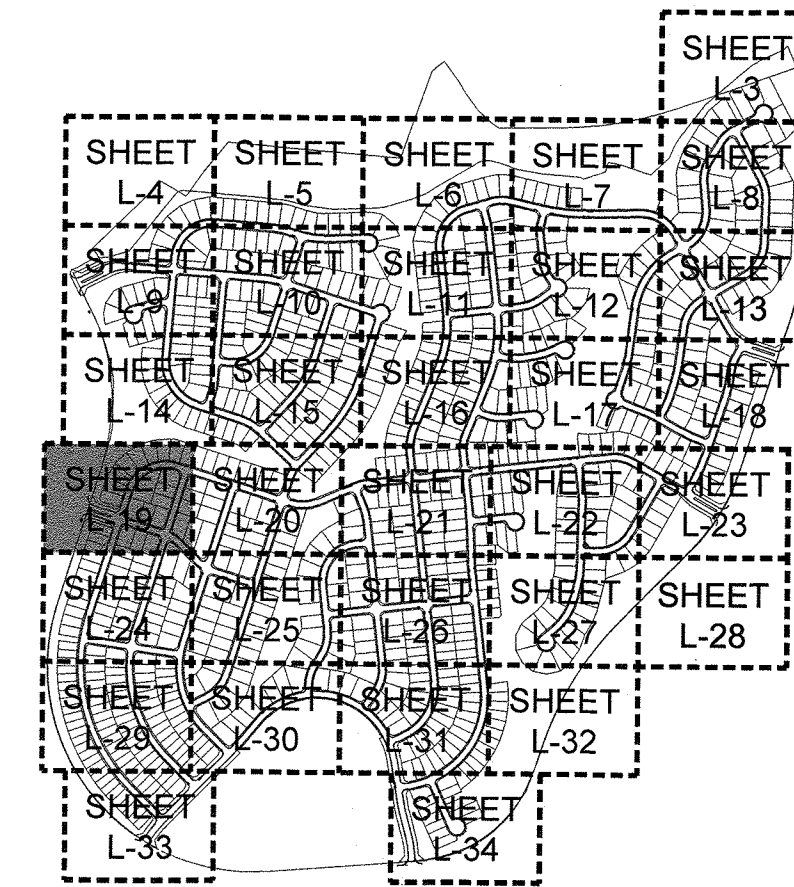
L-18

SHEET 39 OF 56

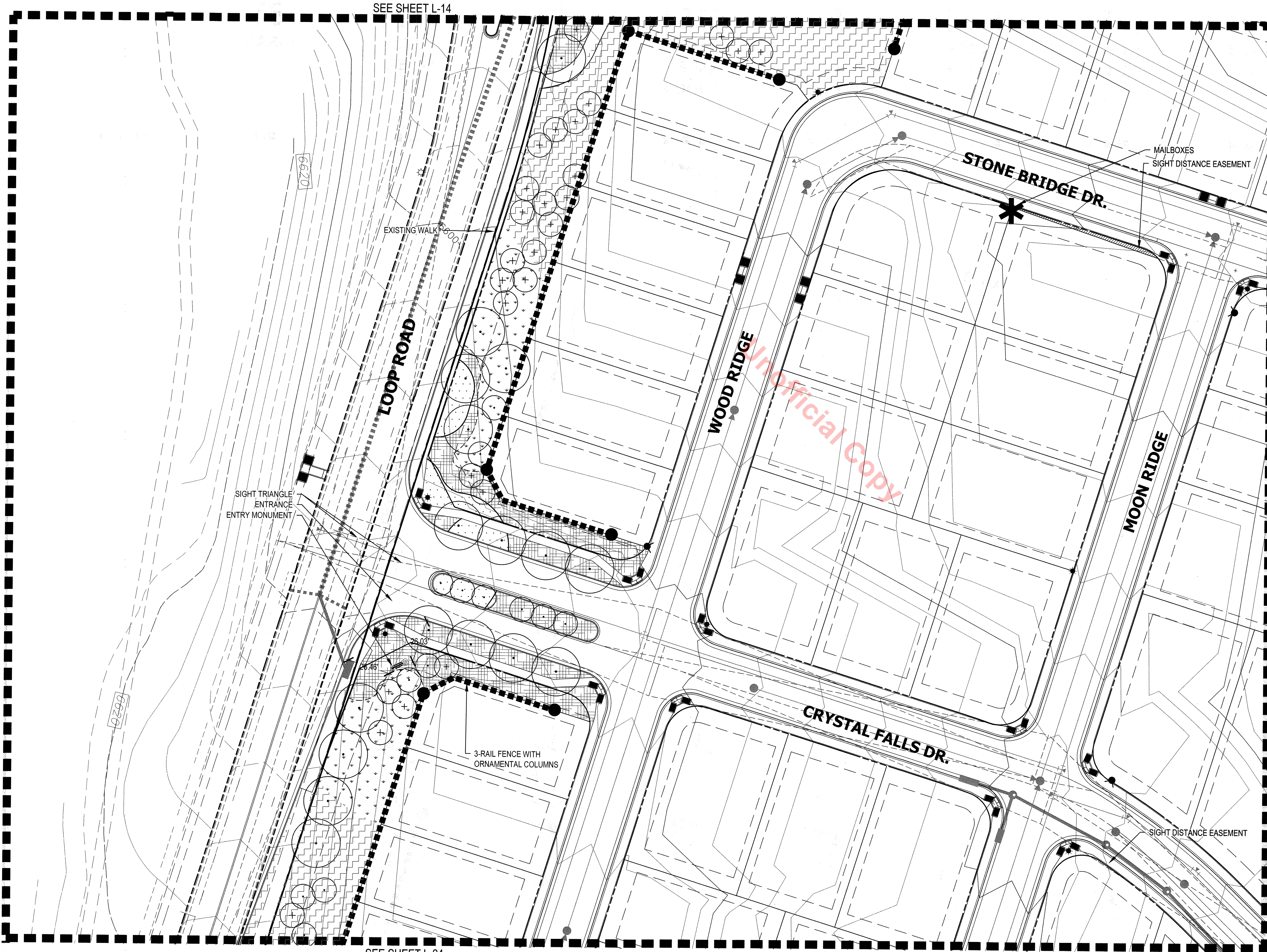
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

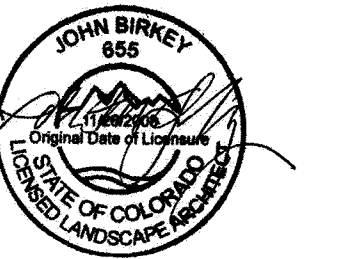


LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
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- RIPARIAN MIX
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- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN W. BIRNEY, PLS., A.S.L.A. AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK, A.S.A.
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 19189



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
PLAN

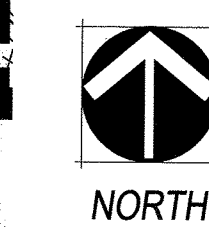
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SHEET 40 OF 56

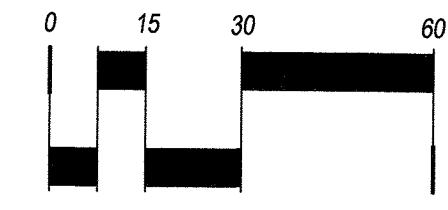
SEE SHEET L-20

SEE SHEET L-14

SEE SHEET L-24



NORTH



SCALE 1"=30'



Know what's below.
Call before you dig.

CHECKED BY: JB
DRAWN BY: DD

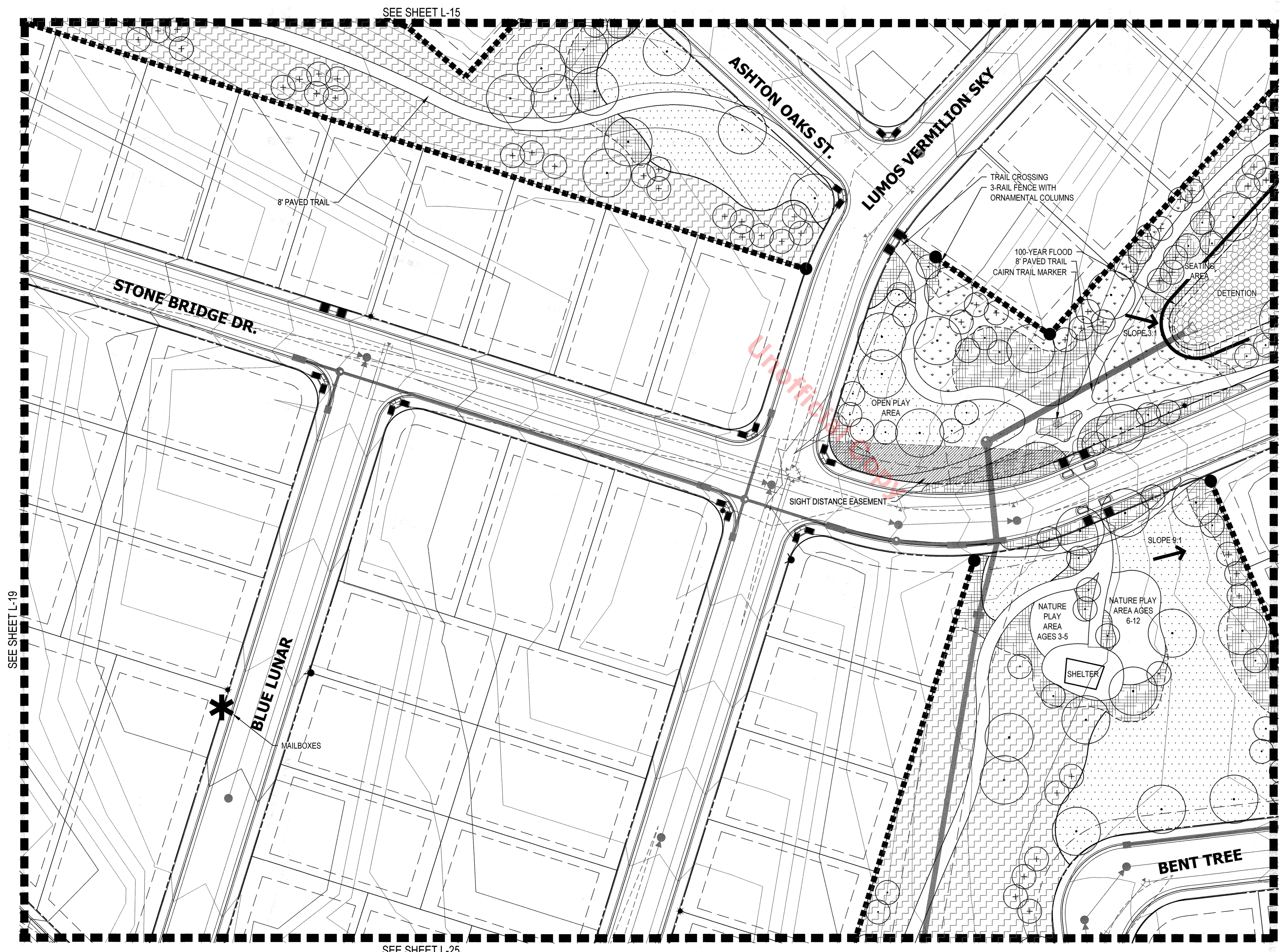
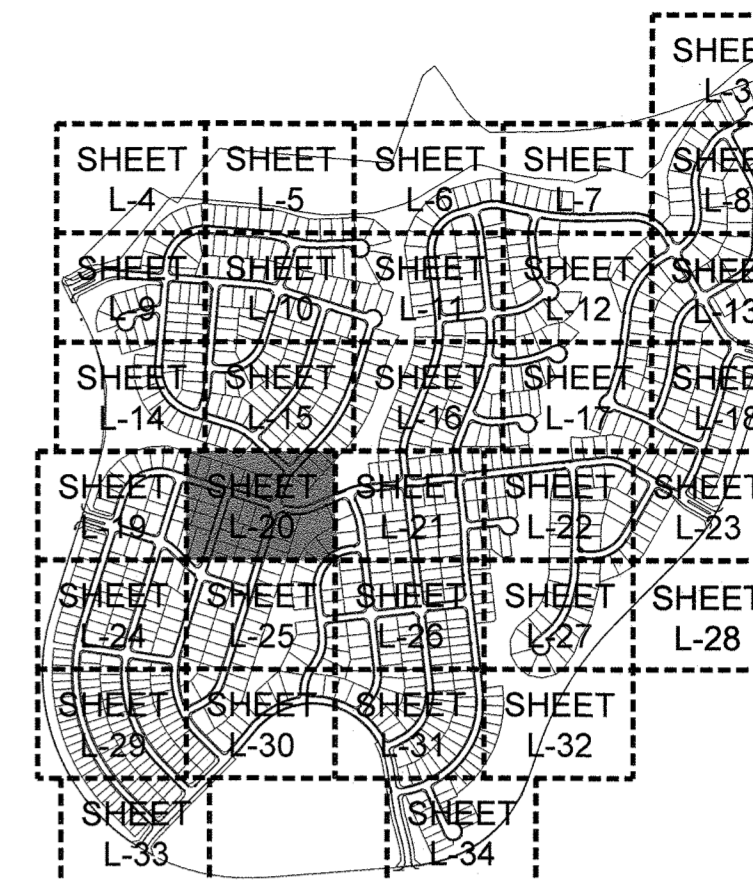
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP

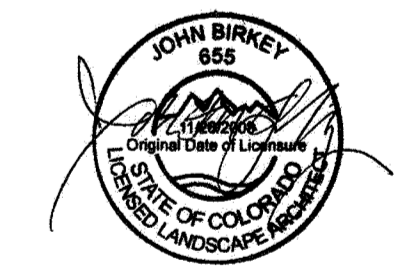


LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
I, JOHN M. BIRNEY, RLA, ASLA, AM, AMERICAN CERTIFIED WITH THE TOWN OF CASTLE ROCK, AS A LANDSCAPE DESIGNER, COLORADO LICENSE NUMBER IS 654.



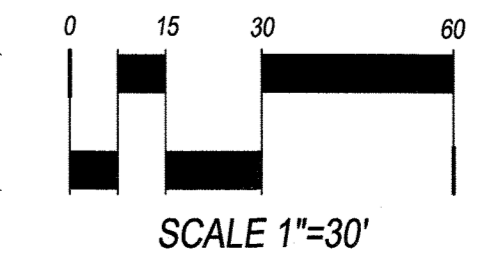
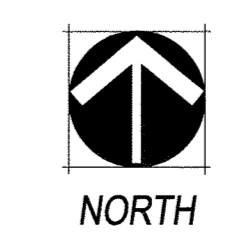
DATE:

1st SDP - 01/22/2016
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3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



Know what's below.
Call before you dig.

L-20

SHEET 41 OF 56

CHECKED BY: JB
DRAWN BY: DD

SEE SHEET L-25

SEE SHEET L-19

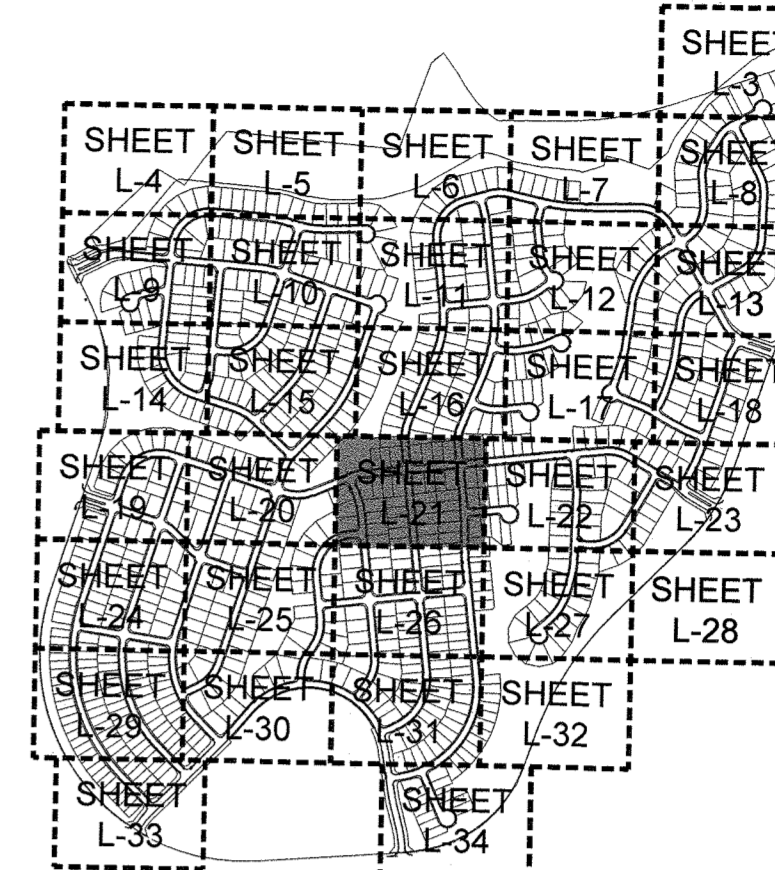
SEE SHEET L-21

SEE SHEET L-15

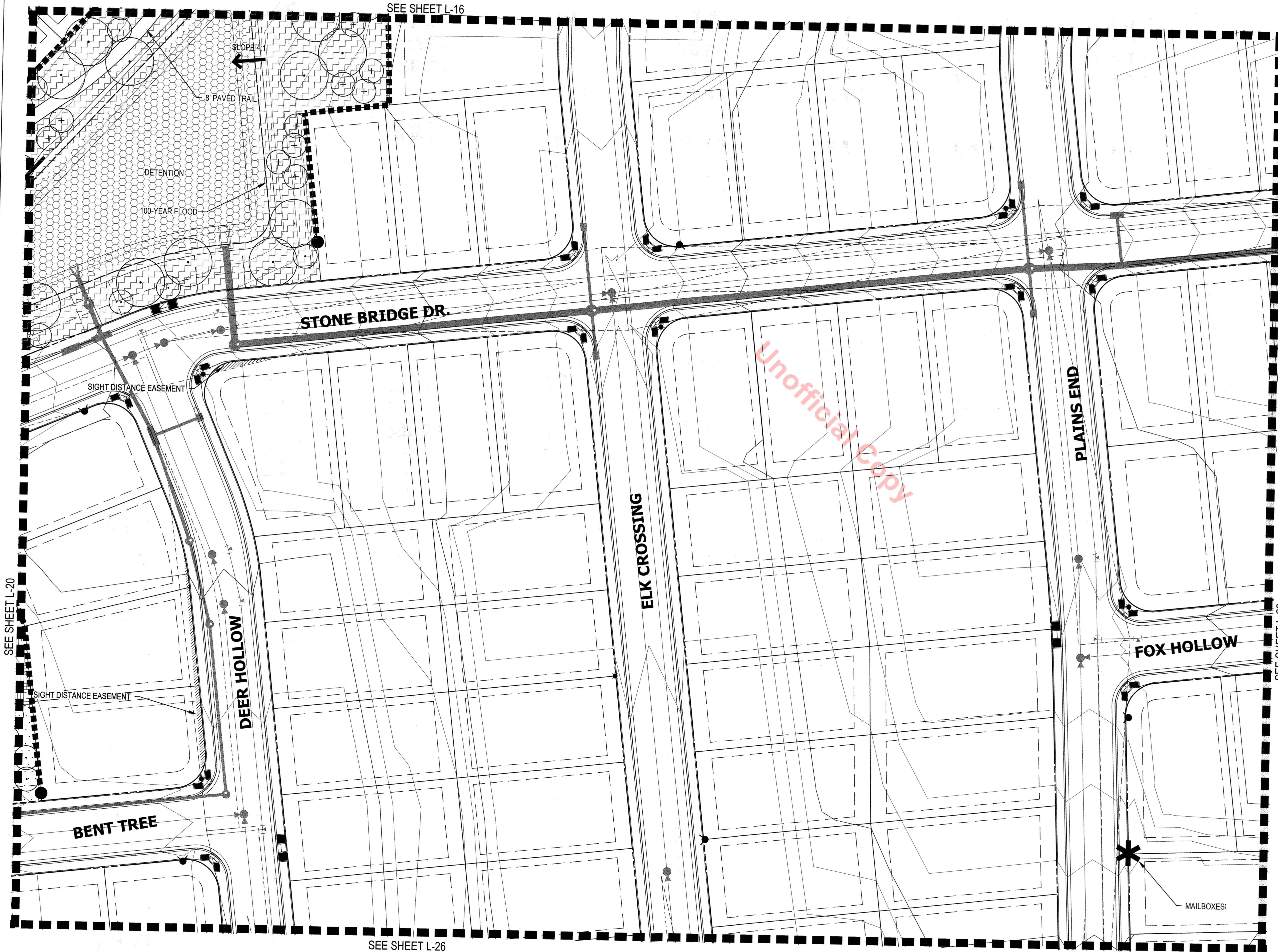
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

Unofficial Copy

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRKEY, R.L.A., A.S.L.A. AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 15 655



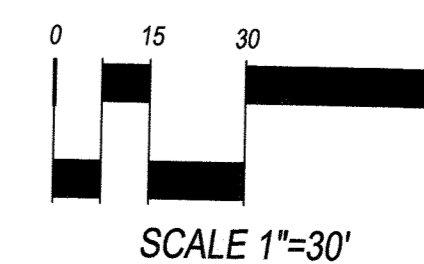
DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN
PROJECT NO. SDP16-0005



NORTH



SCALE 1"=30'



Know what's below. Call before you dig.

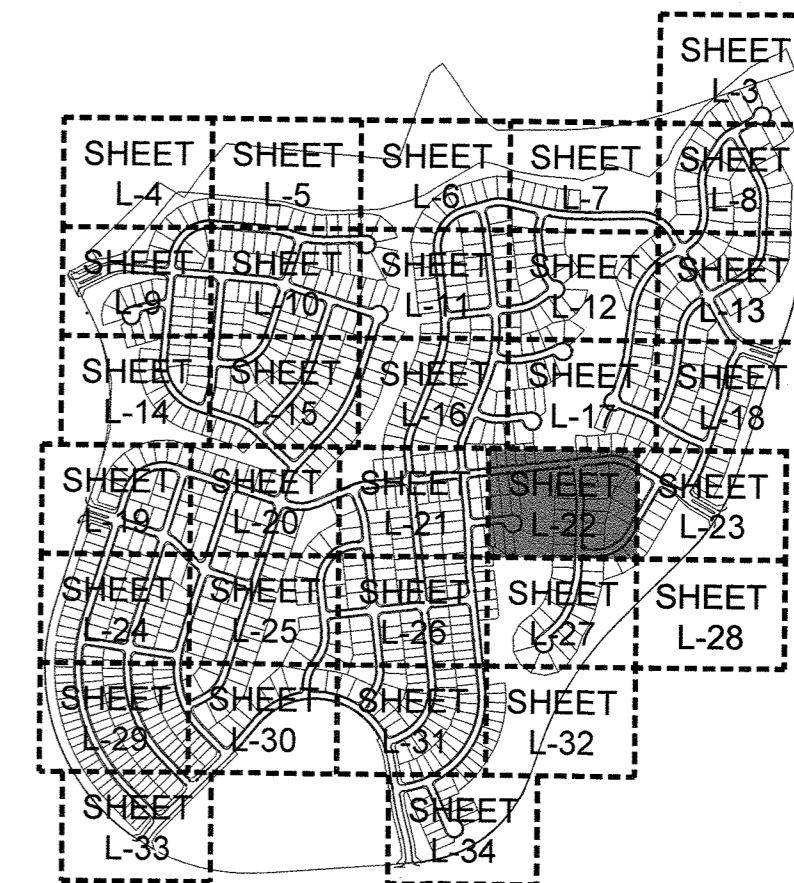
SHEET TITLE:
LANDSCAPE
PLAN

L-21

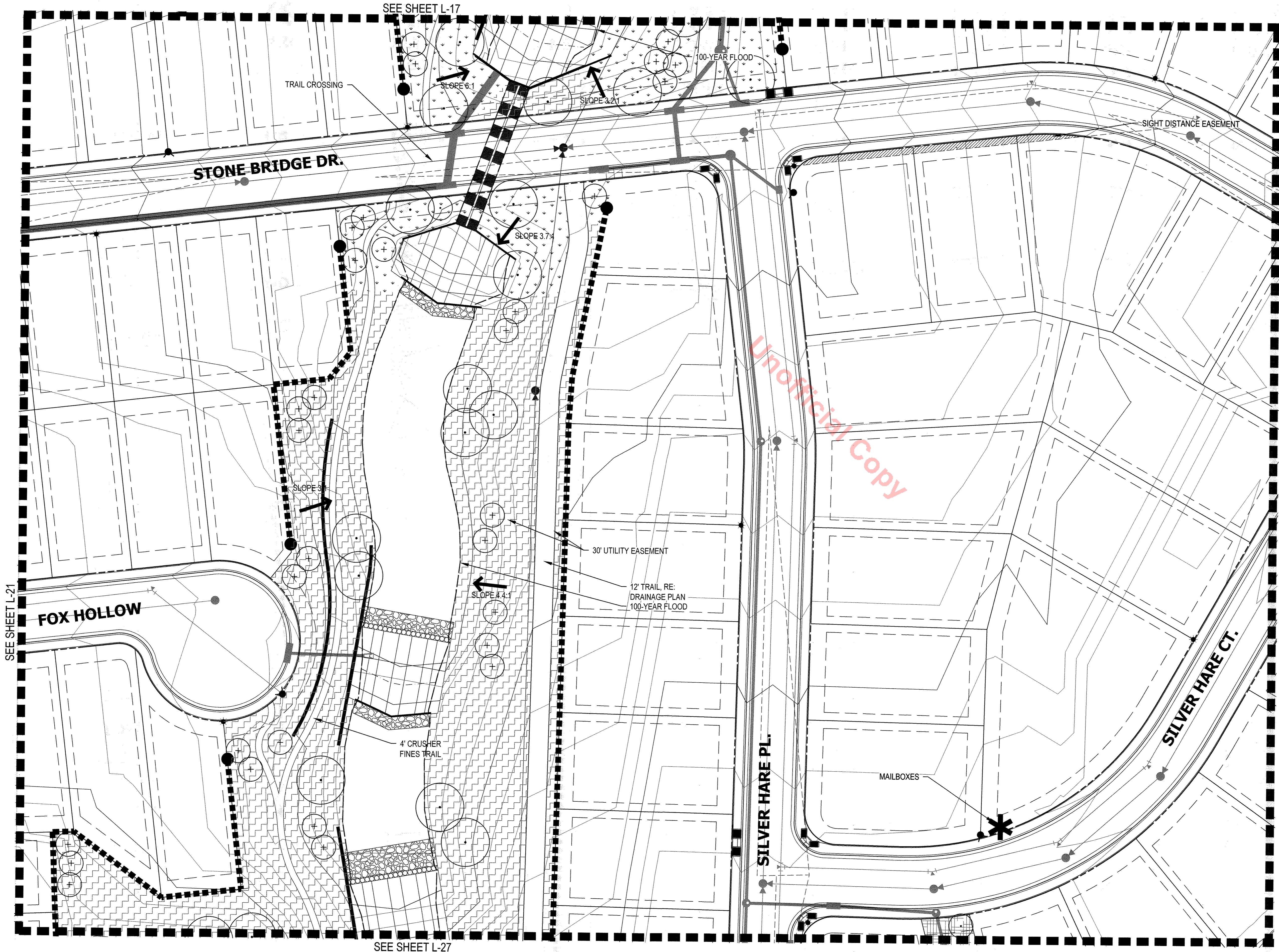
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186



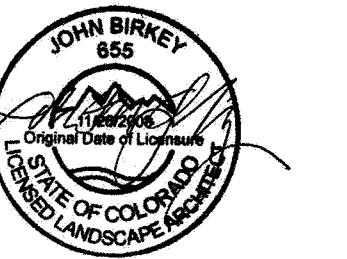
LEGEND

- DECIDUOUS CANOPY TREE
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

Unofficial Copy

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, P.L.A., A.S.L.A. AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 15 655



DATE:
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3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

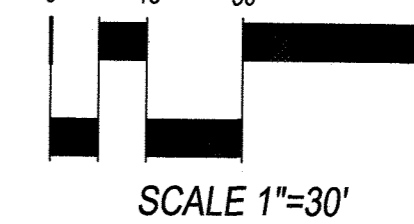
NOT FOR CONSTRUCTION

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



NORTH



SCALE 1"=30'



Know what's below.
Call before you dig.

SHEET TITLE:
LANDSCAPE
PLAN

L-22

43 OF 56

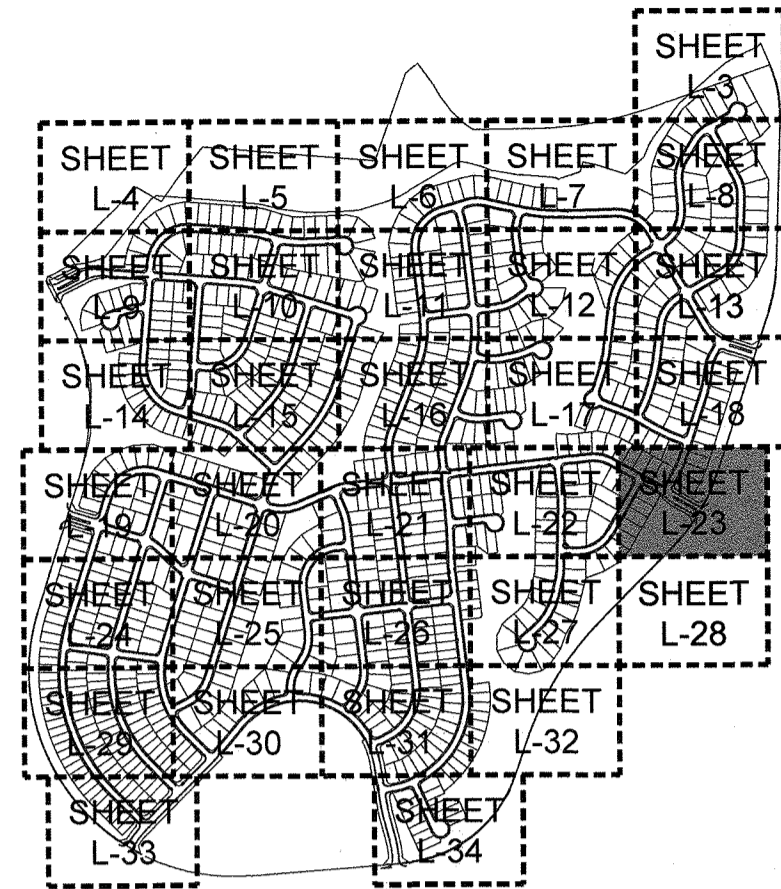
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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COUNTY OF DOUGLAS, STATE OF COLORADO



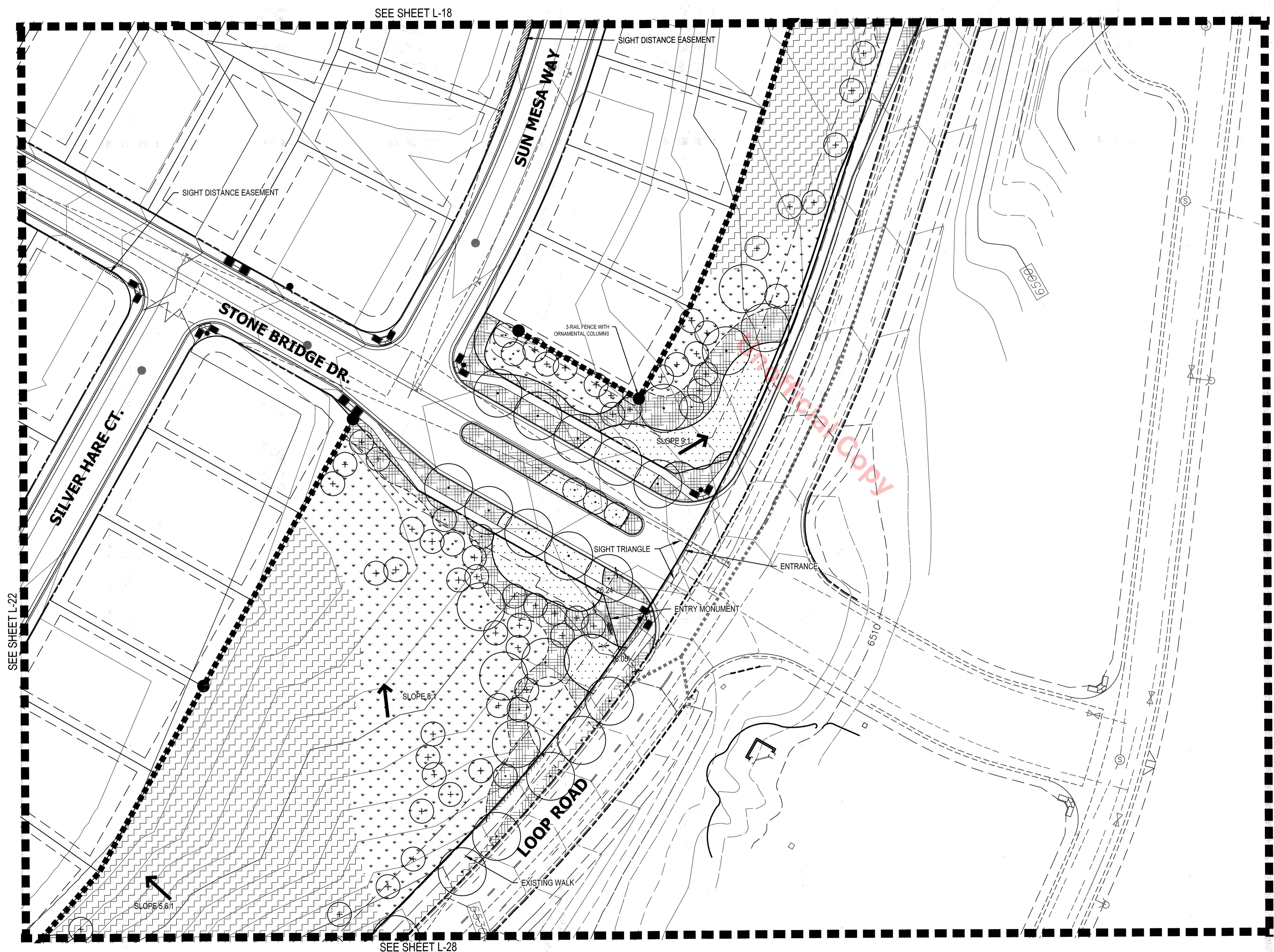
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP



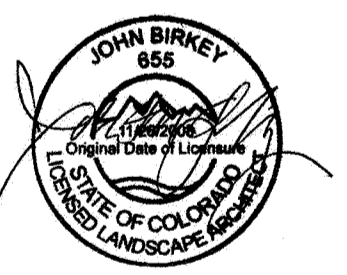
LEGEND

- DECIDUOUS CANOPY TREE
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- DECIDUOUS ORNAMENTAL TREE
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- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL



PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
I, JOHN M. BIRKEY, R.L.A., A.S.L.A. AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER IS 655



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

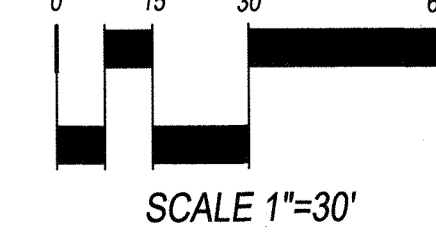
NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
PLAN

L-23
SHEET 44 OF 56

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



CHECKED BY: JB DD
DRAWN BY:

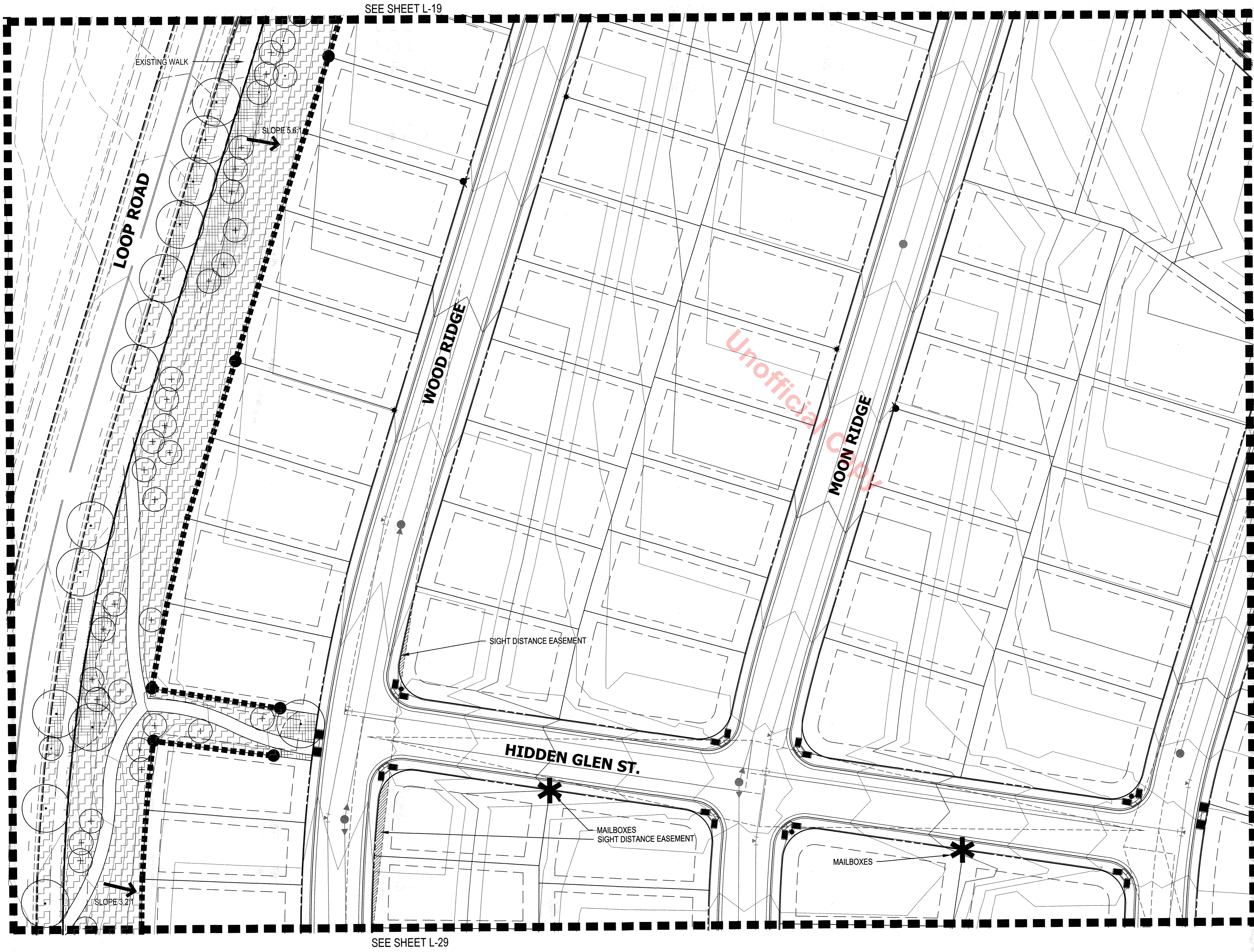
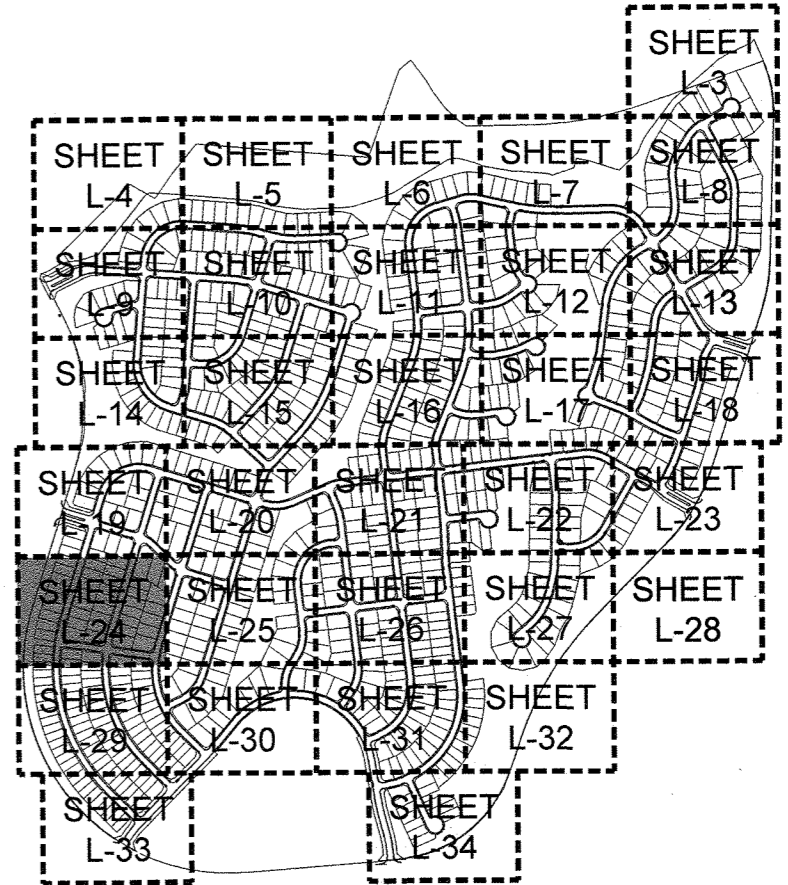
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
 AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 F 303.892.1186

KEY MAP



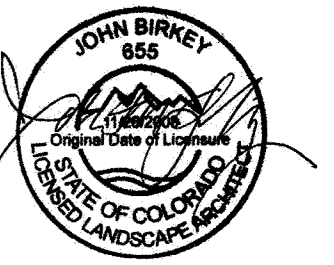
LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
 CRYSTAL VALLEY
 RECOVERY ACQUISITION
 LLC

LANDSCAPE
 CERTIFICATION:
 JOHN M. BIRKEY, R.L.A. ASLA AM CERTIFIED
 WITH THE TOWN OF CASTLE ROCK AS A
 LANDSCAPE DESIGNER, COLORADO LICENSE
 NUMBER IS 655

John M. Birkey



DATE:
 1st SDP - 01/22/2016
 2nd SDP - 04/22/2016
 3rd SDP - 07/05/2016
 4th SDP - 08/26/2016
 FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

CRYSTAL VALLEY RANCH FILING NO. 15
 SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

NORTH

SCALE 1"=30'

811
 Know what's below.
 Call before you dig.

CHECKED BY: JB
 DRAWN BY: DD

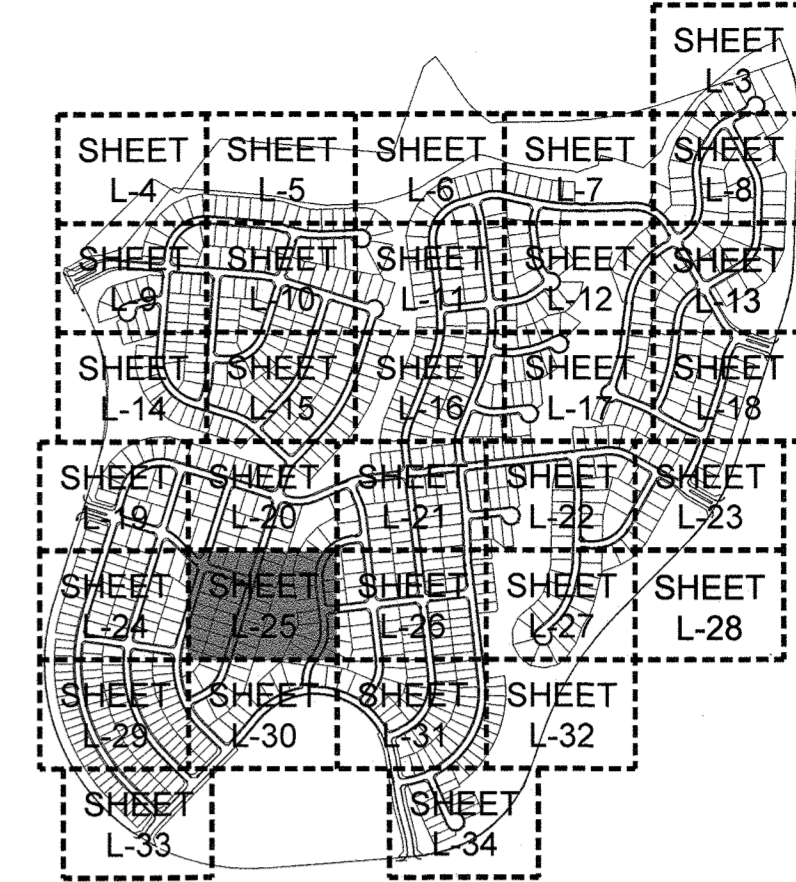
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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COUNTY OF DOUGLAS, STATE OF COLORADO



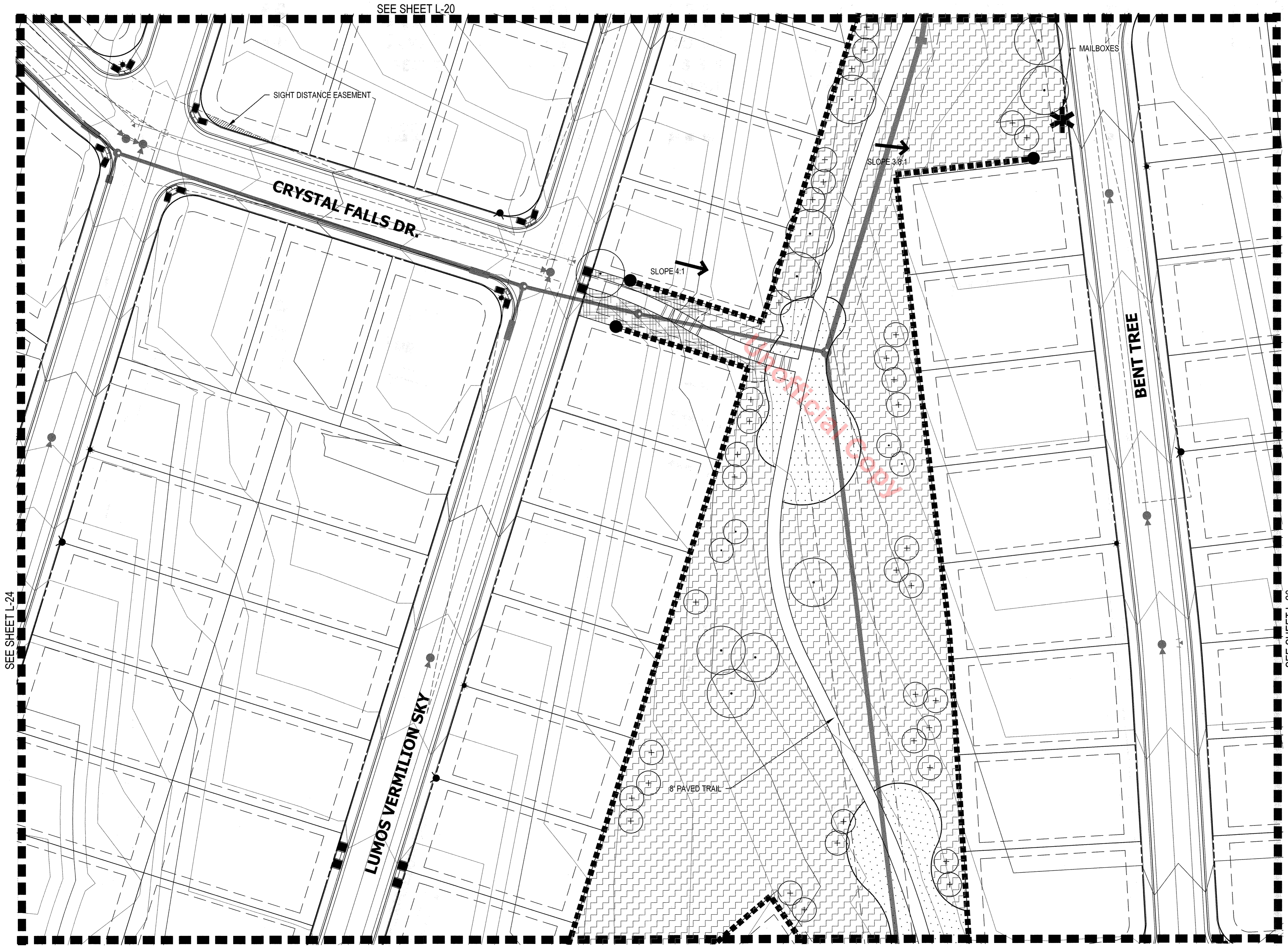
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL



SEE SHEET L-20

CRYSTAL FALLS DR.

SLOPE 4:1

SLOPE 3.8:1

MAILBOXES

BENT TREE

LUMOS VERMILION SKY

8" PAVED TRAIL

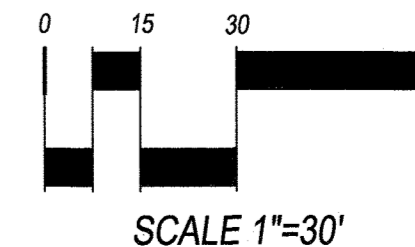
SEE SHEET L-30

SEE SHEET L-24

SEE SHEET L-26

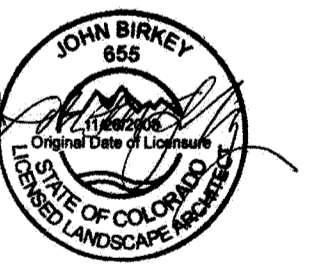
CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
I, JOHN BIRNEY, RLA, ASLA, AMERICAN CERTIFIED
WITH THE TOWN OF CASTLE ROCK, AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 18165.



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
PLAN

L-25

SHEET 46 OF 56

CHECKED BY: JB
DRAWN BY: DD

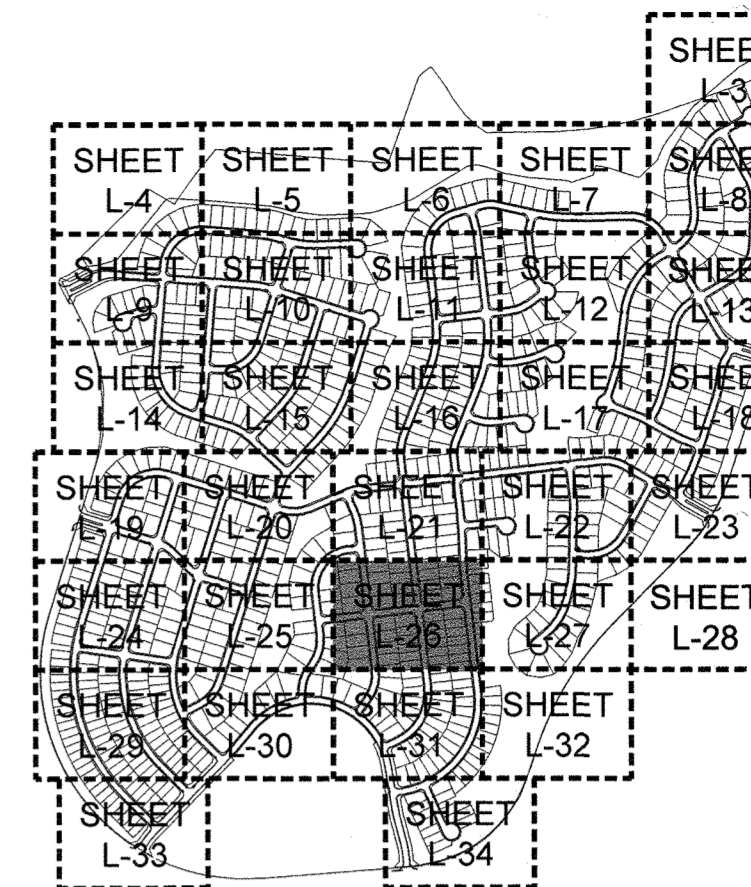
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
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- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN BIRNEY, PLS, ASLA, MFC
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 0000



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
PLAN

L-26
SHEET 47 OF 56

SEE SHEET L-21

SEE SHEET L-31

SEE SHEET L-25

SEE SHEET L-27

DEEPWOOD PL

MAILBOXES

DEER HOLLOW

ELK CROSSING/COLTIN WAY

4" CRUSHER
FINES TRAIL

PLAINS END

Official Copy



NORTH



SCALE 1"=30'



Know what's below.
Call before you dig.

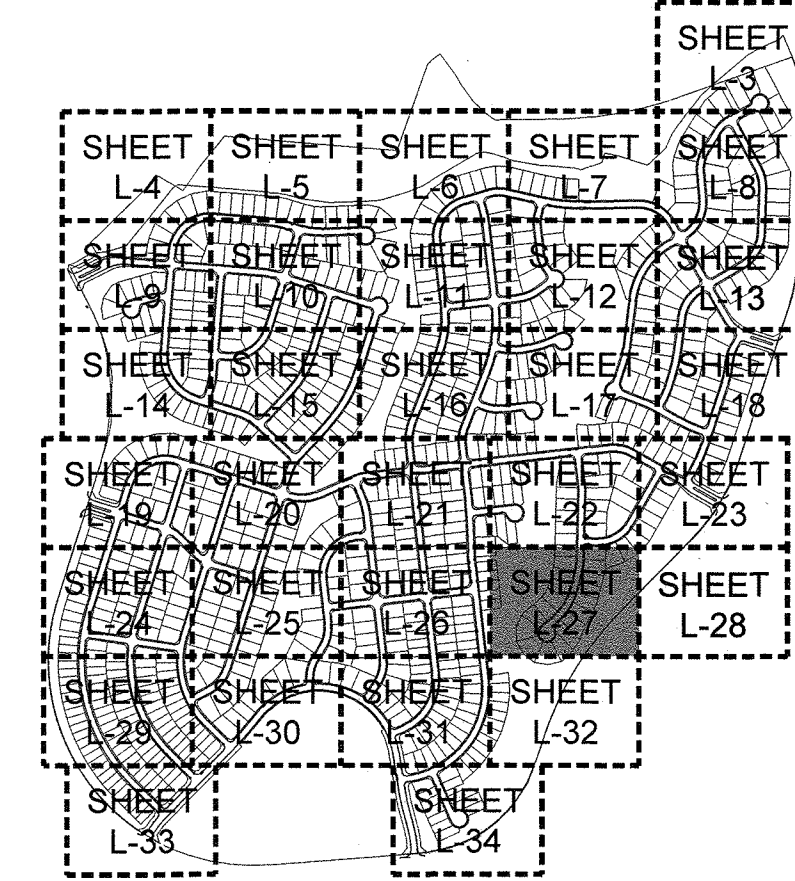
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP

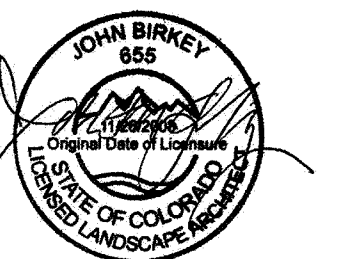


LEGEND

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- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN BIRNEY, PLS, AIA, AIA-CERTIFIED
WITH THE TOWN OF CASTLE ROCK
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 01665



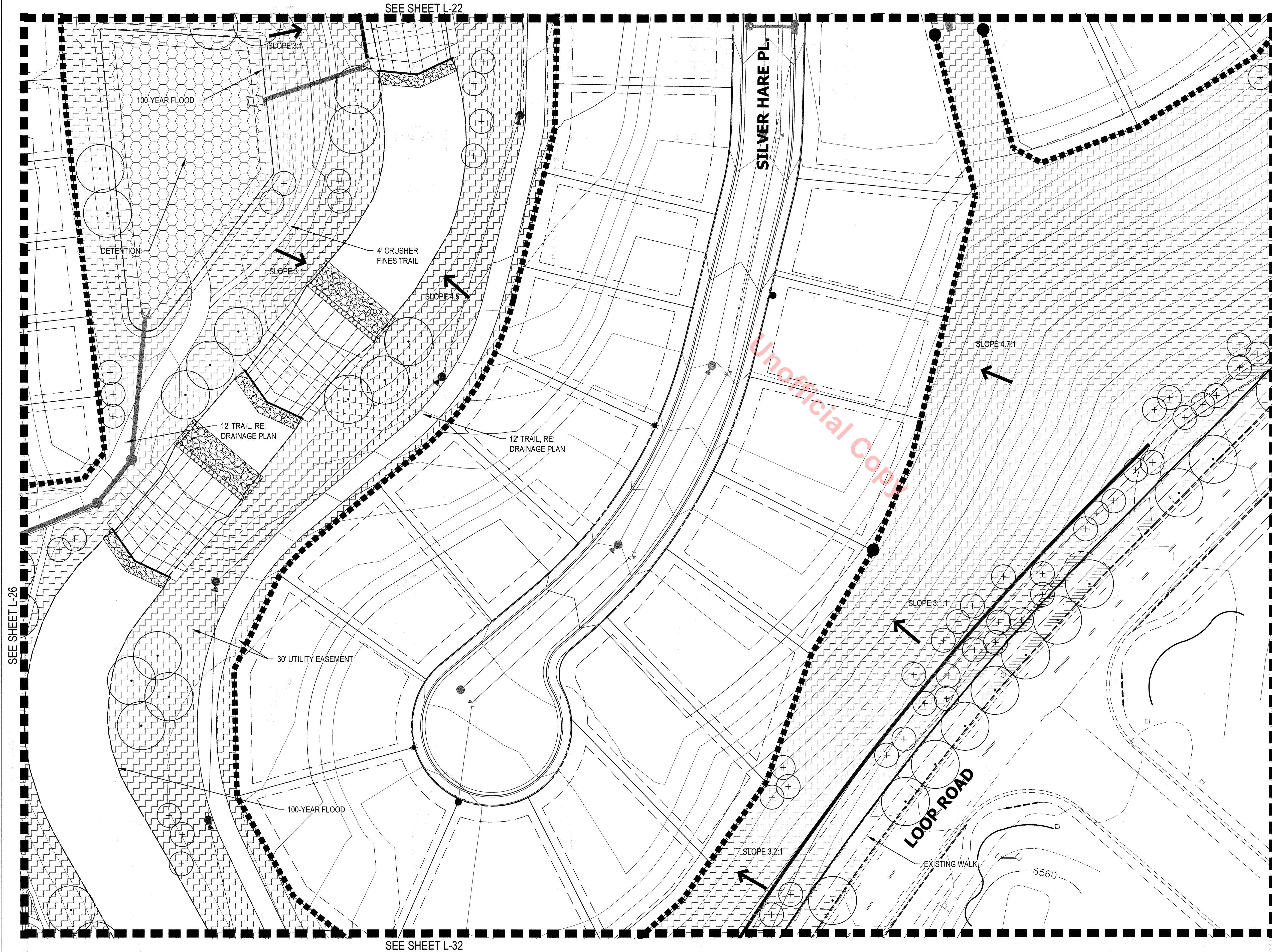
DATE:
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3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
PLAN

L-27

SHEET 48 OF 56

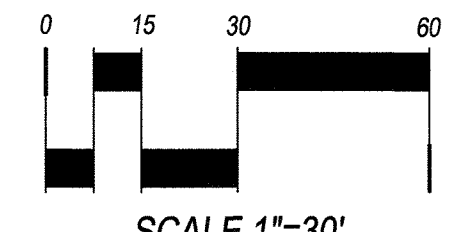
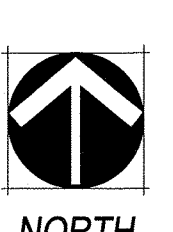


SEE SHEET L-26

SEE SHEET L-22

SEE SHEET L-32

SEE SHEET L-28



Know what's below.
Call before you dig.

CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

CHECKED BY: JB
DRAWN BY: DD

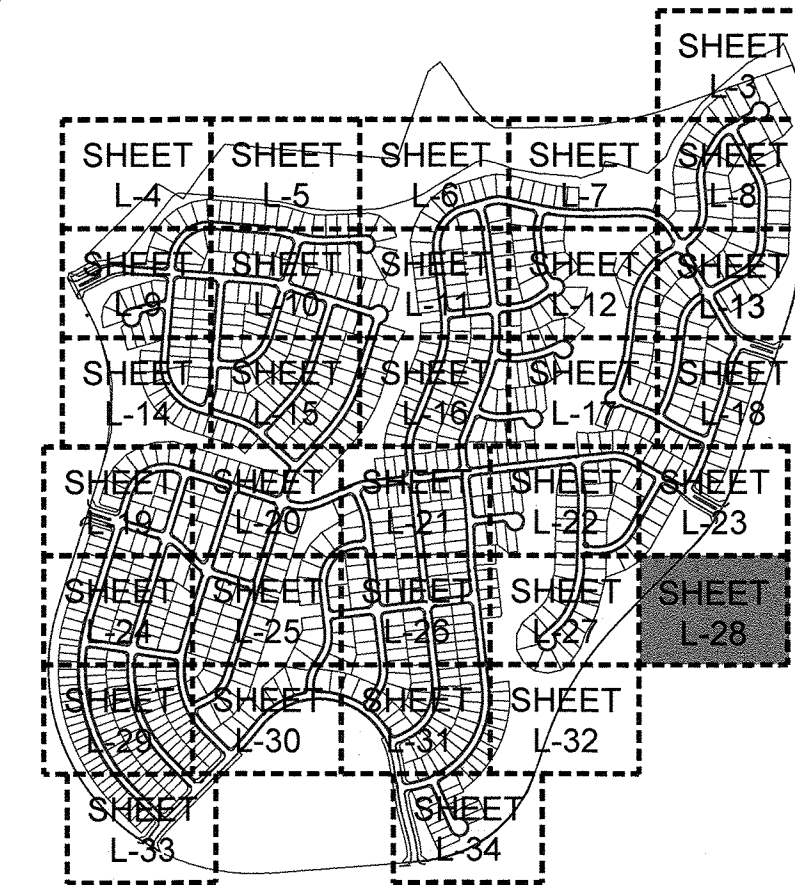
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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COUNTY OF DOUGLAS, STATE OF COLORADO



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP

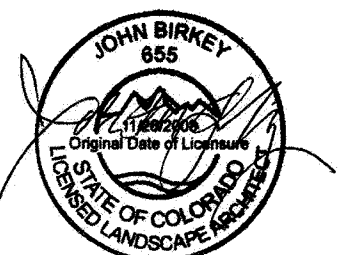


LEGEND

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- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY IS A QUALIFIED AND CERTIFIED
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 01665

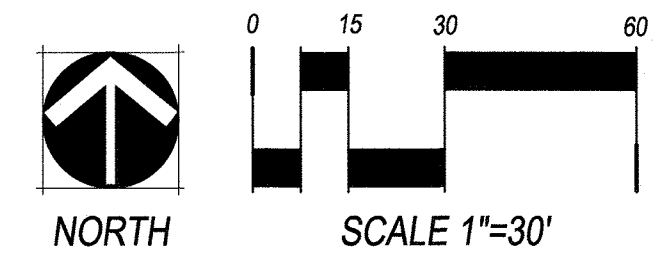
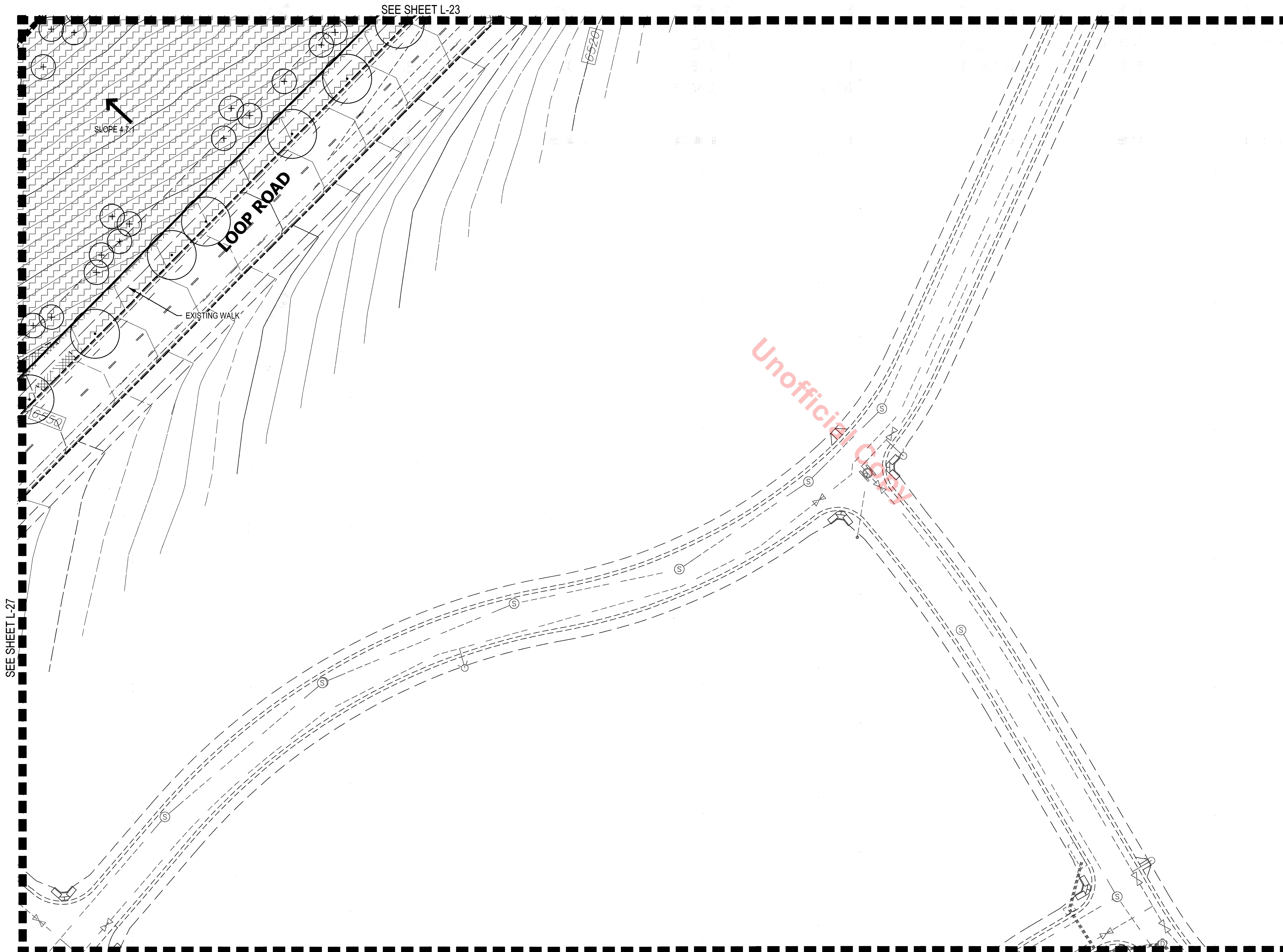


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3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
PLAN

L-28
SHEET 49 OF 56



CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

CHECKED BY: JB
DRAWN BY: DD

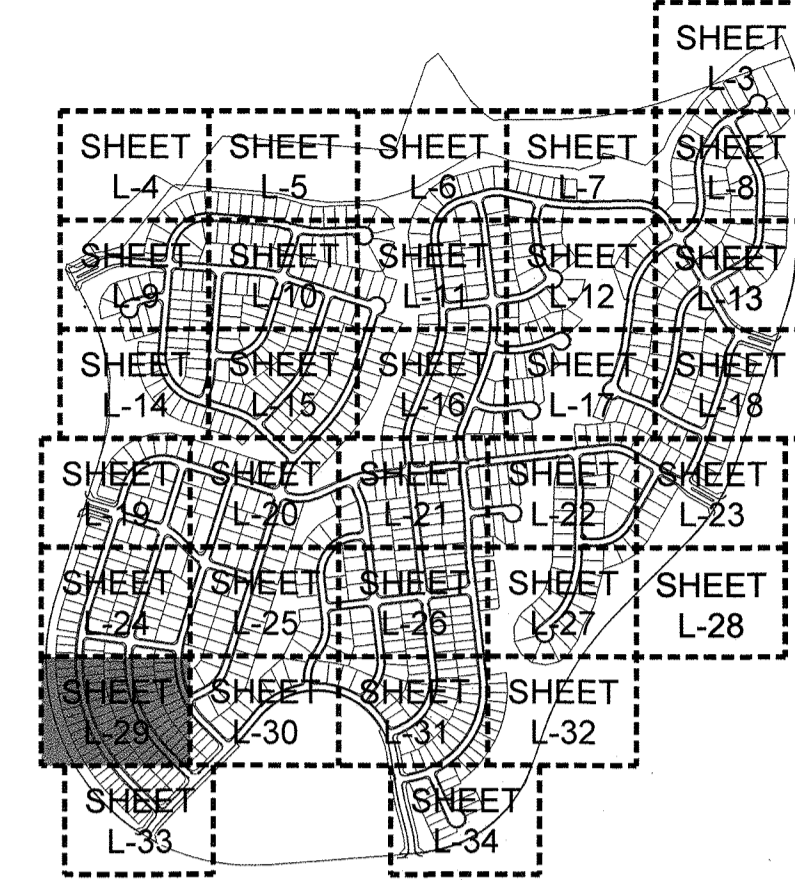
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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COUNTY OF DOUGLAS, STATE OF COLORADO



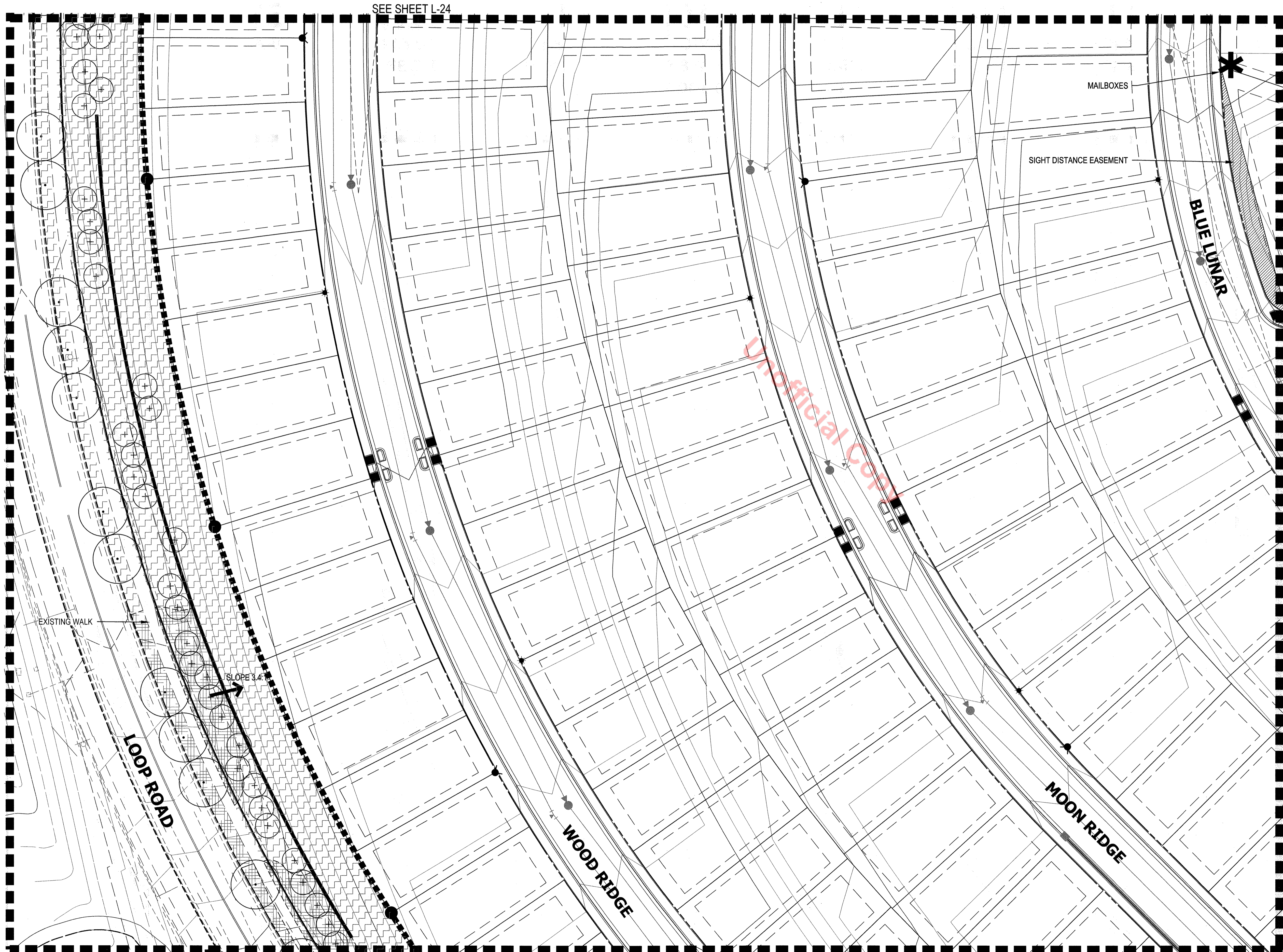
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

KEY MAP



LEGEND

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- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL



SEE SHEET L-24

SEE SHEET L-33

SEE SHEET L-30

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, PLS, ASLA AM, CERTIFIED
WITH THE BOARD OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 61865



DATE:
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3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

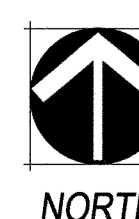
CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

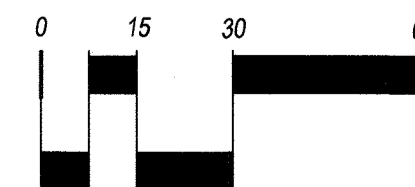
SHEET TITLE:
LANDSCAPE
PLAN

L-29

SHEET 50 OF 56



NORTH



SCALE 1"=30'



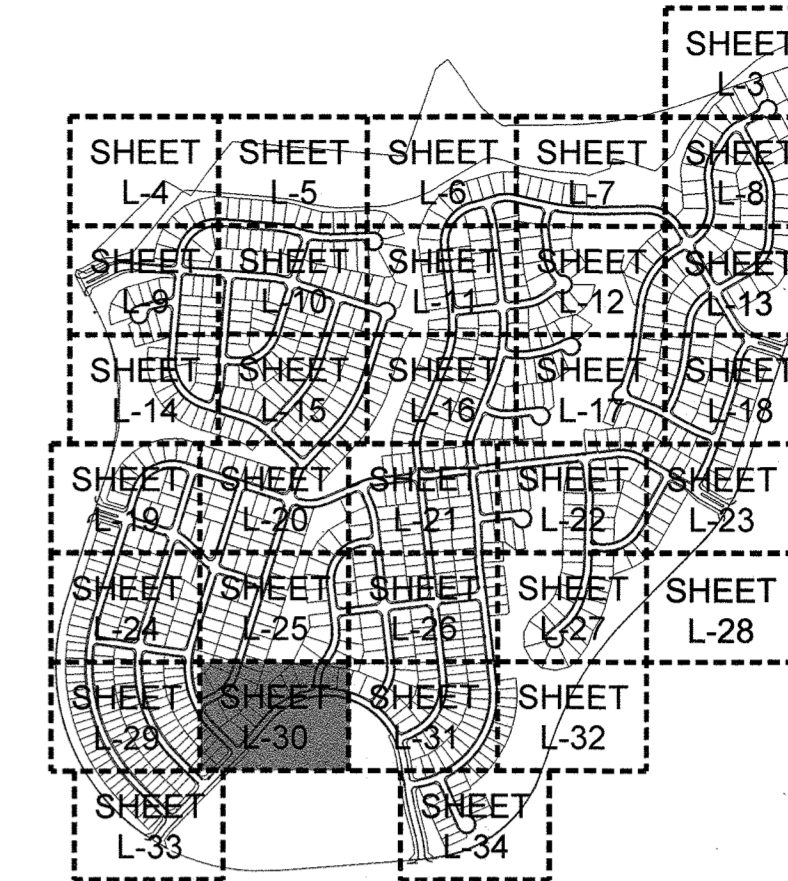
Know what's below.
Call before you dig.

CHECKED BY: JB
DRAWN BY: DD

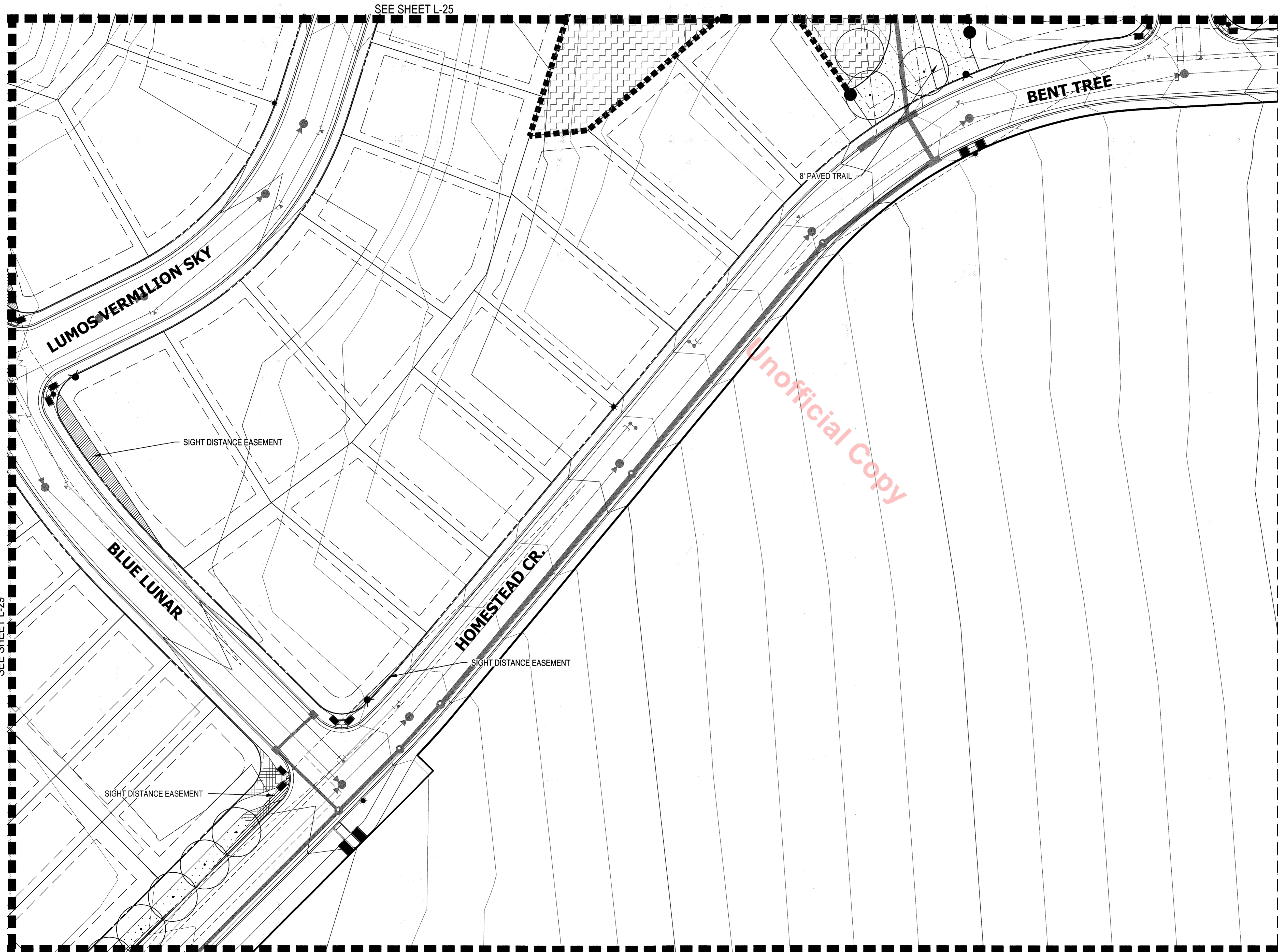
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREE
- LOW HYDROZONE DRIP IRRIGATED SHRUB BED
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
- VERY LOW HYDROZONE IRRIGATED TALL GRASS MIX
- NON-IRRIGATED TALL GRASS MIX
- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

Unofficial Copy

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
I, JOHN M. BIRNEY, RLA, ASLA, ARE CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 01655



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

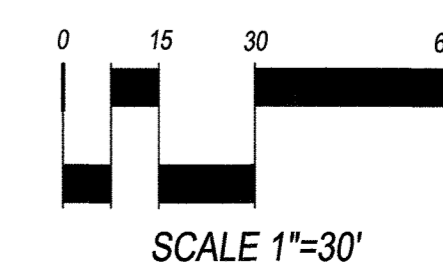
CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

SHEET TITLE:
LANDSCAPE
PLAN

L-30

SHEET 51 OF 56



Know what's below.
Call before you dig.

SEE SHEET L-29

SEE SHEET L-31

SEE SHEET L-25

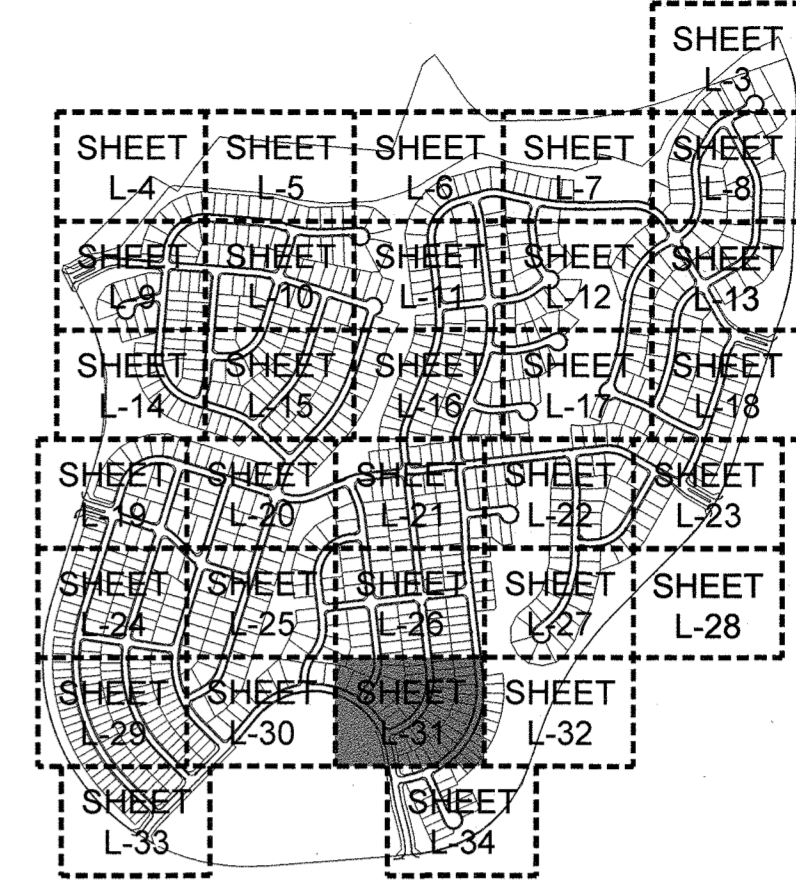
SEE SHEET L-33

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DRAWN BY: DD

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
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COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP

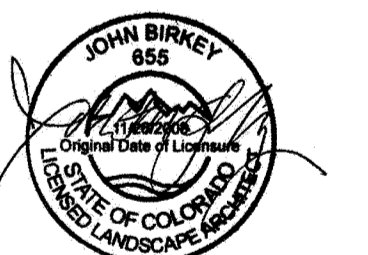


LEGEND

- DECIDUOUS CANOPY TREE
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- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
I, JOHN M. BIRNEY, P.L.A. AS LAM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AREA
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 15165

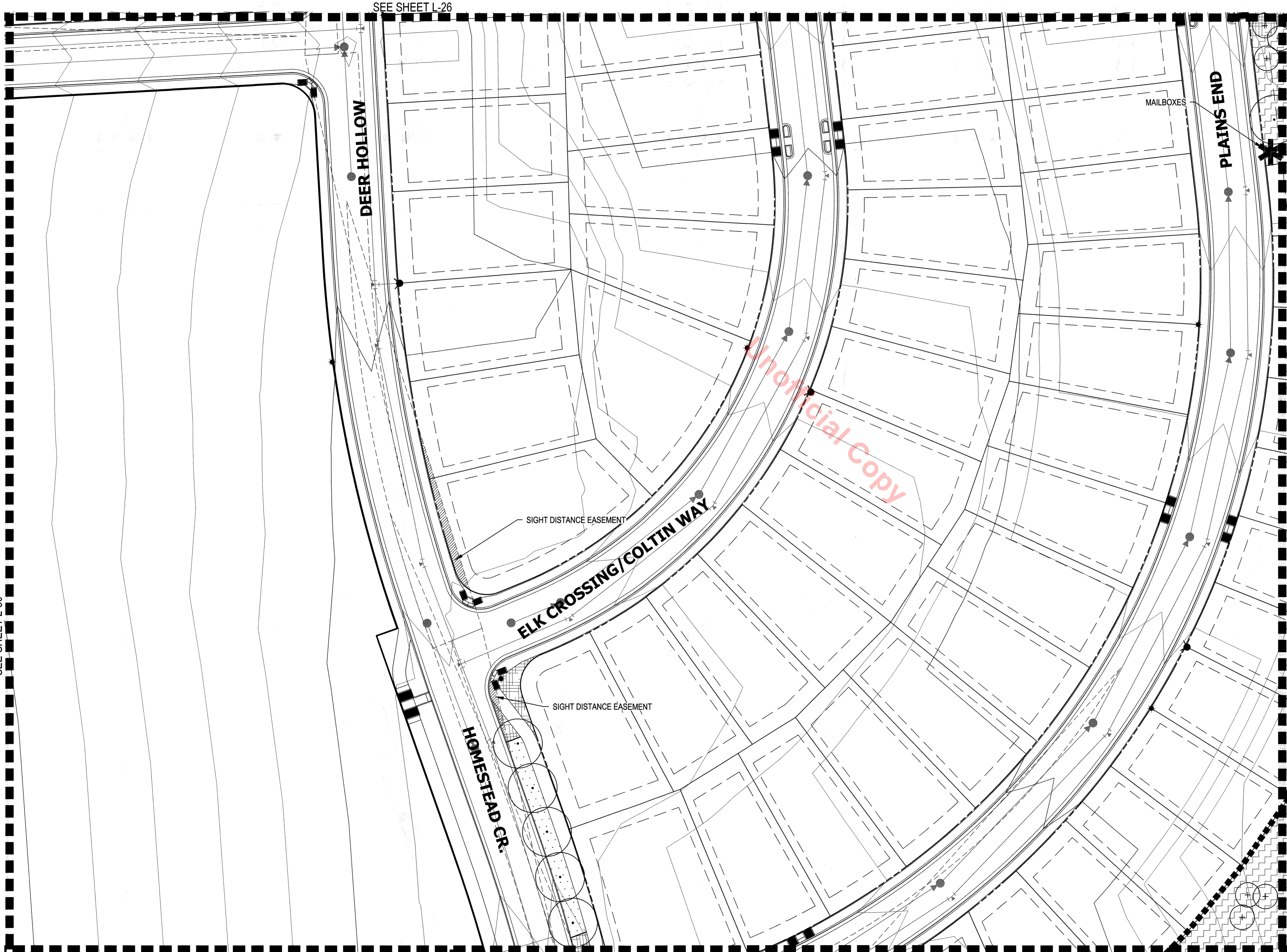


DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE
PLAN

L-31
SHEET 52 OF 56



SEE SHEET L-26

DEER HOLLOW

MAILBOXES

PLAINS END

ELK CROSSING/COLTIN WAY

HOMESTEAD GR.

SIGHT DISTANCE EASEMENT

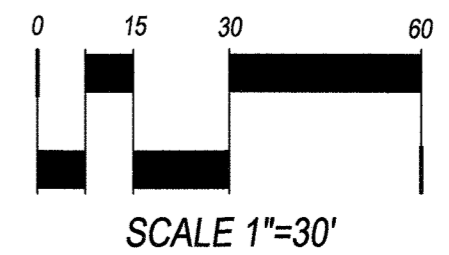
SIGHT DISTANCE EASEMENT

Unofficial Copy

SEE SHEET L-30

SEE SHEET L-32

SEE SHEET L-34



CHECKED BY: JB
DRAWN BY: DD

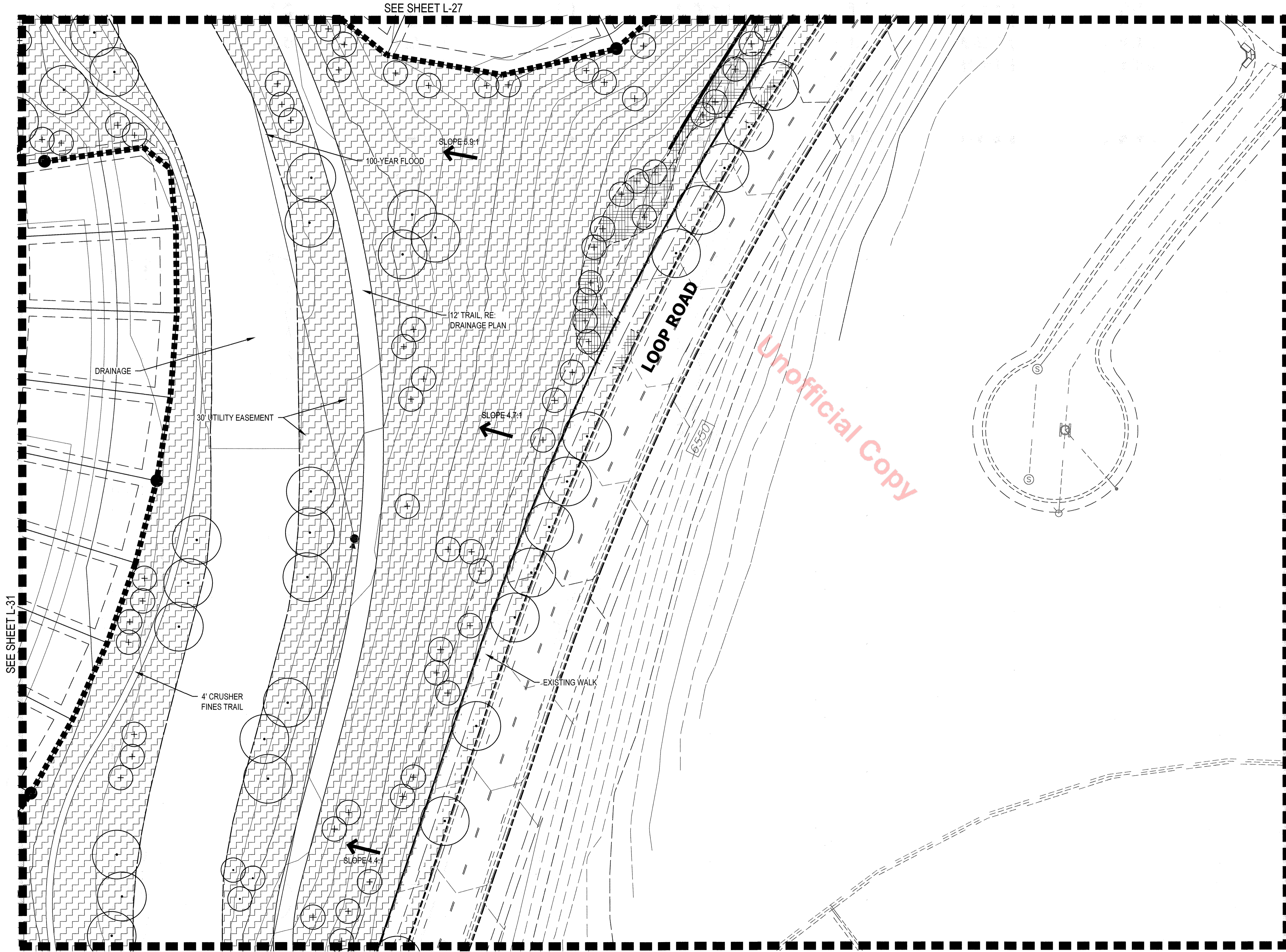
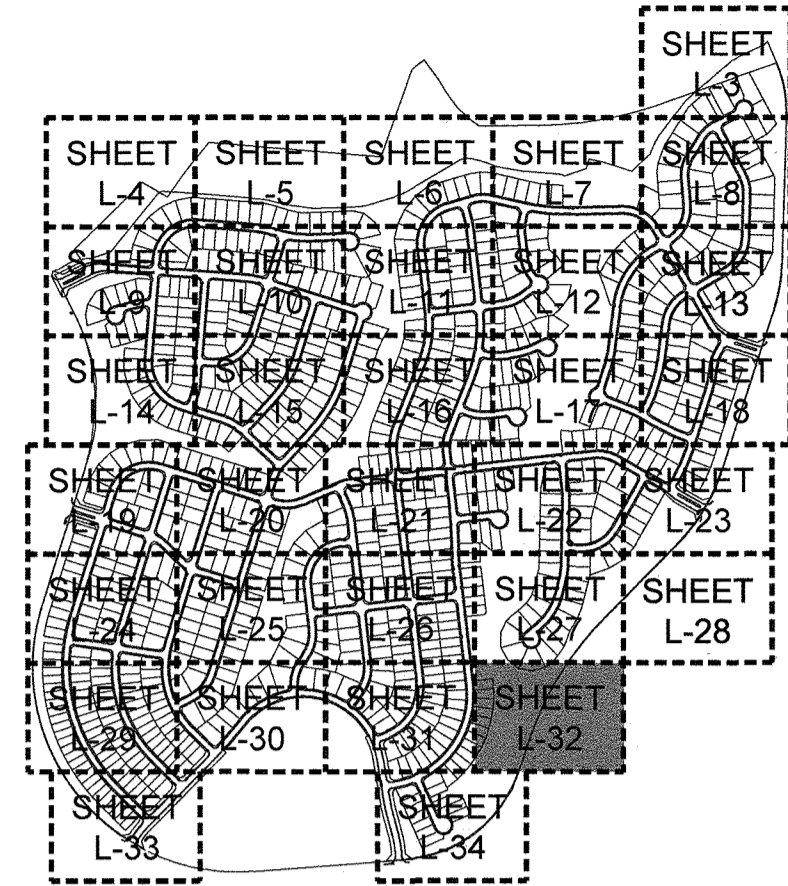
CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



LEGEND

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- RIPARIAN MIX
- STREET LIGHT
- FIRE HYDRANT
- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

Unofficial Copy

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN W. BIRKEY, S.A., S.A. IS AN CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 0195



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

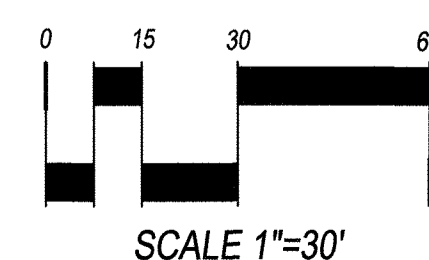
CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005

SHEET TITLE:
LANDSCAPE
PLAN

L-32

SHEET 53 OF 56



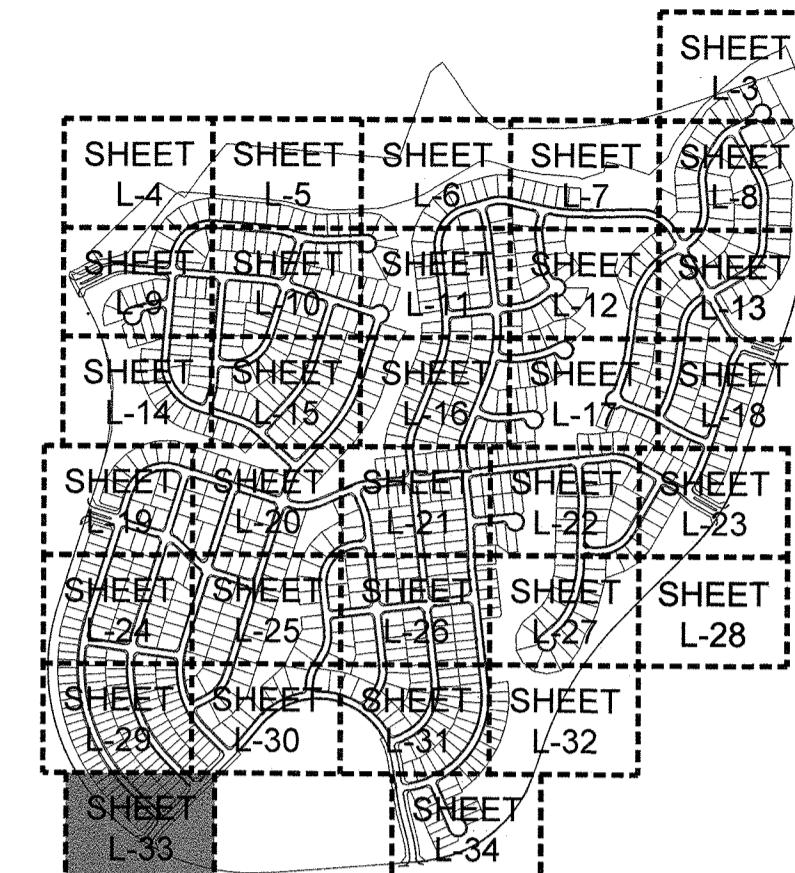
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DRAWN BY: DD

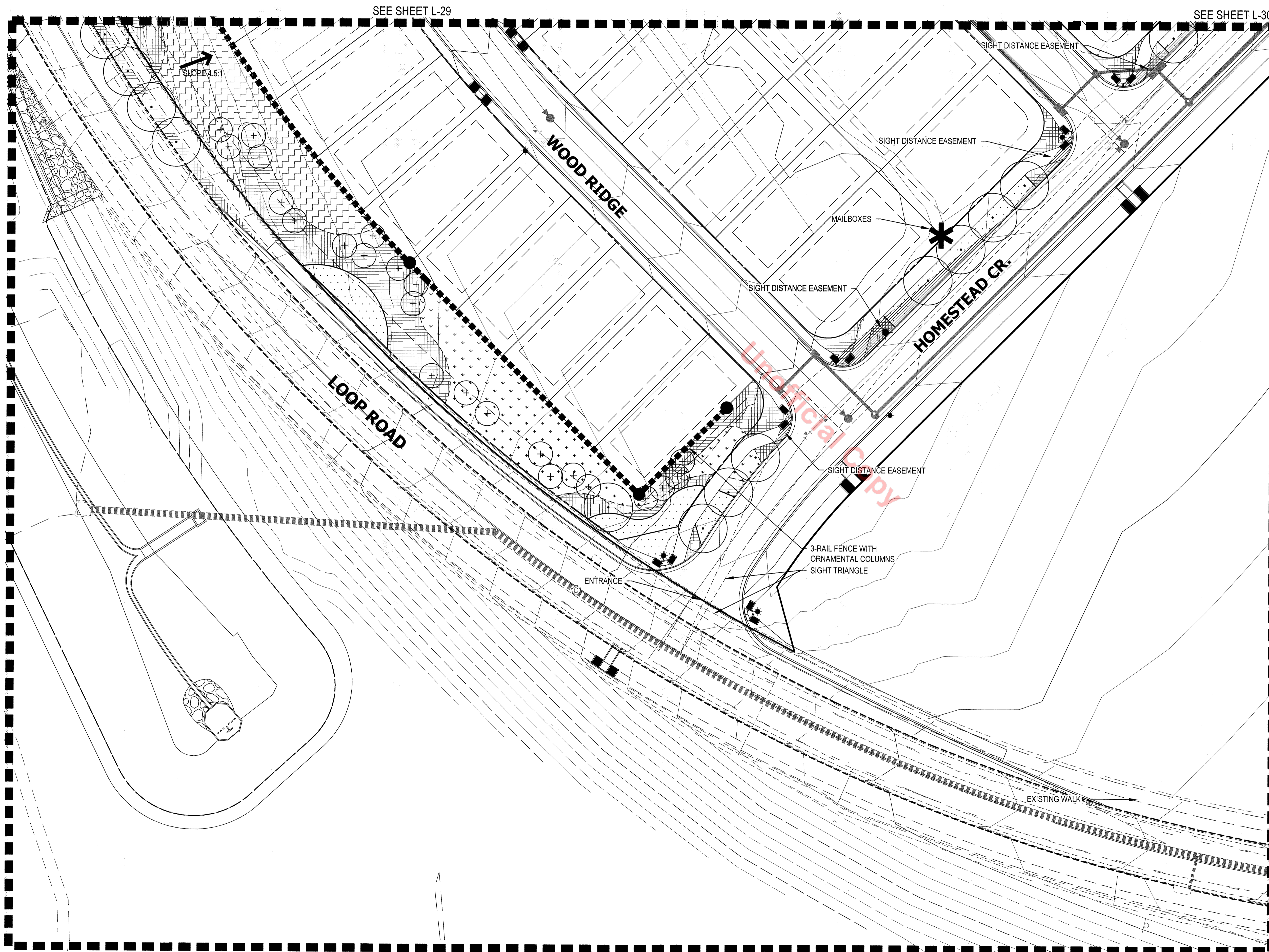
CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

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AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



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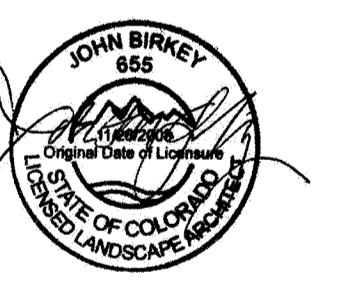


LEGEND

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- RIPARIAN MIX
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- ORNAMENTAL COLUMN / POST & FENCE
- SIGHT TRIANGLES
- RETAINING WALL

PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRNEY, RLA, ASLA AM CERTIFIED
WITH THE TOWN OF CASTLE ROCK AS A
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER IS 655



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

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SHEET TITLE:
LANDSCAPE
PLAN

L-33

SHEET 54 OF 56

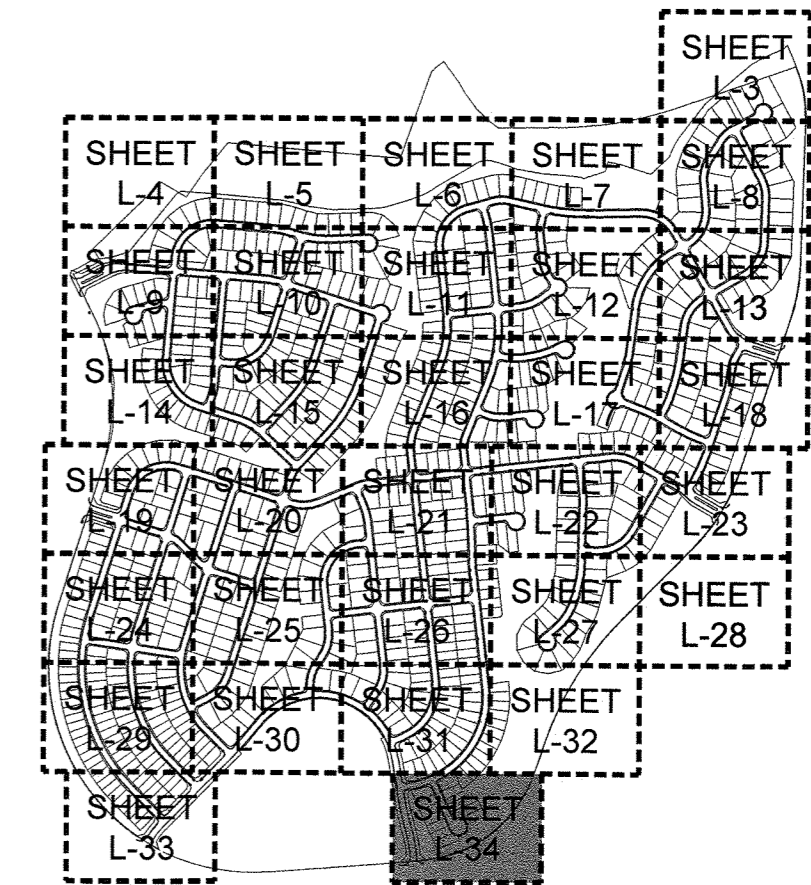


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CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

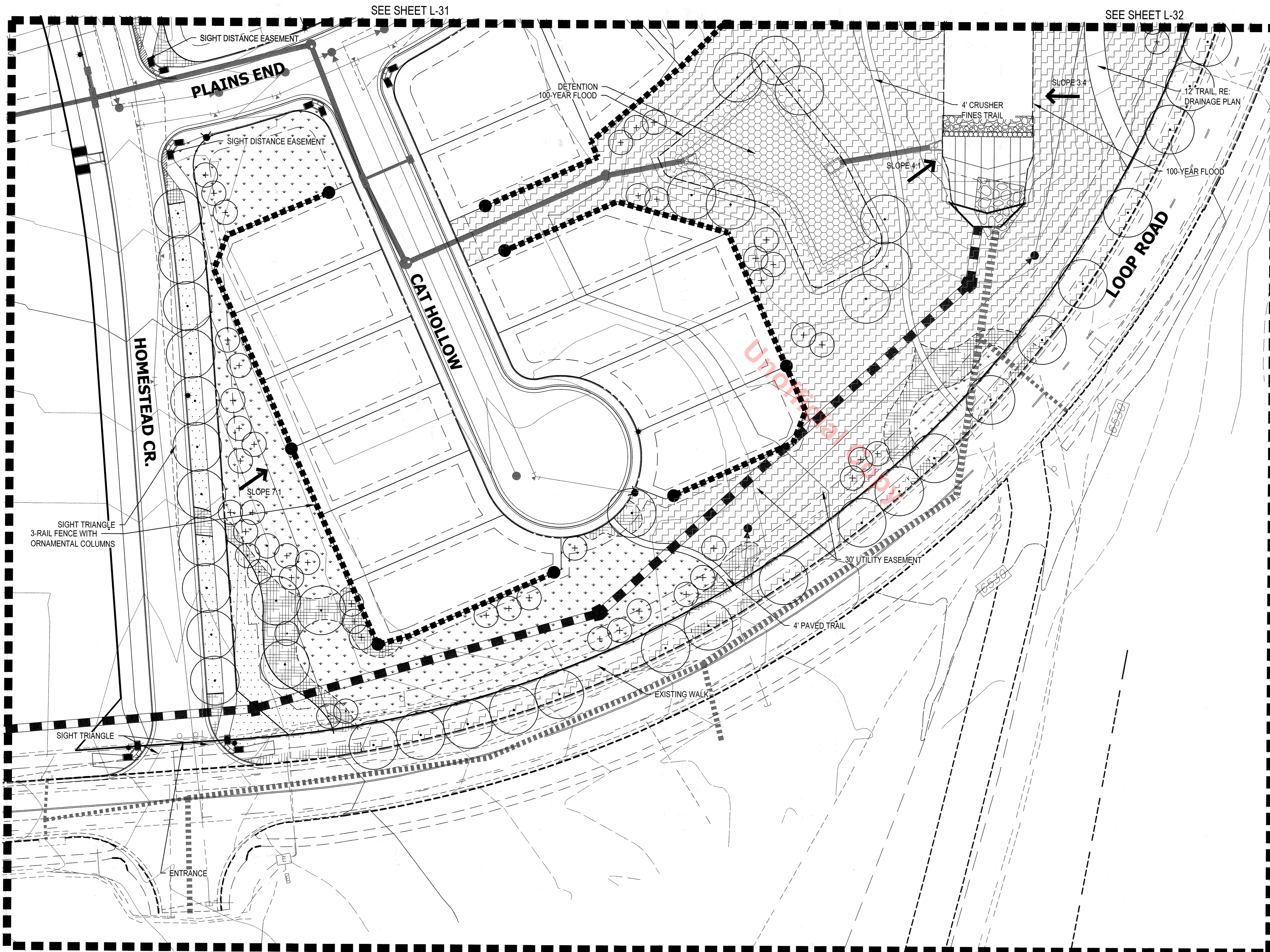
A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



NORRIS DESIGN
www.norris-design.com

1101 Bannock Street
Denver, Colorado 80204
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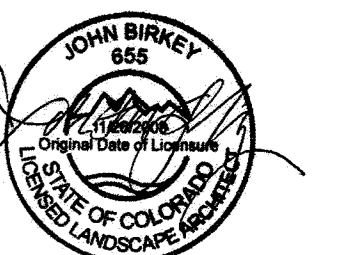
LEGEND

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PREPARED FOR:
CRYSTAL VALLEY
RECOVERY ACQUISITION
LLC

LANDSCAPE
CERTIFICATION:
JOHN M. BIRKEY, R.L.A., ASLA, AN CERTIFIED
LANDSCAPE DESIGNER, COLORADO LICENSE
NUMBER 855

John M. Birkey



DATE:
1st SDP - 01/22/2016
2nd SDP - 04/22/2016
3rd SDP - 07/05/2016
4th SDP - 08/26/2016
FINAL MYLAR - 10/07/2016

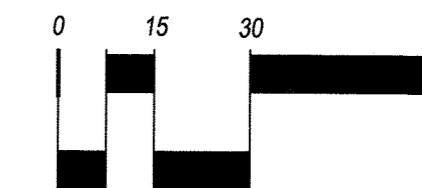
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CRYSTAL VALLEY RANCH FILING NO. 15
SITE DEVELOPMENT PLAN

PROJECT NO. SDP16-0005



NORTH



SCALE 1"=30'



Know what's below.
Call before you dig.

L-34

SHEET 55 OF 56

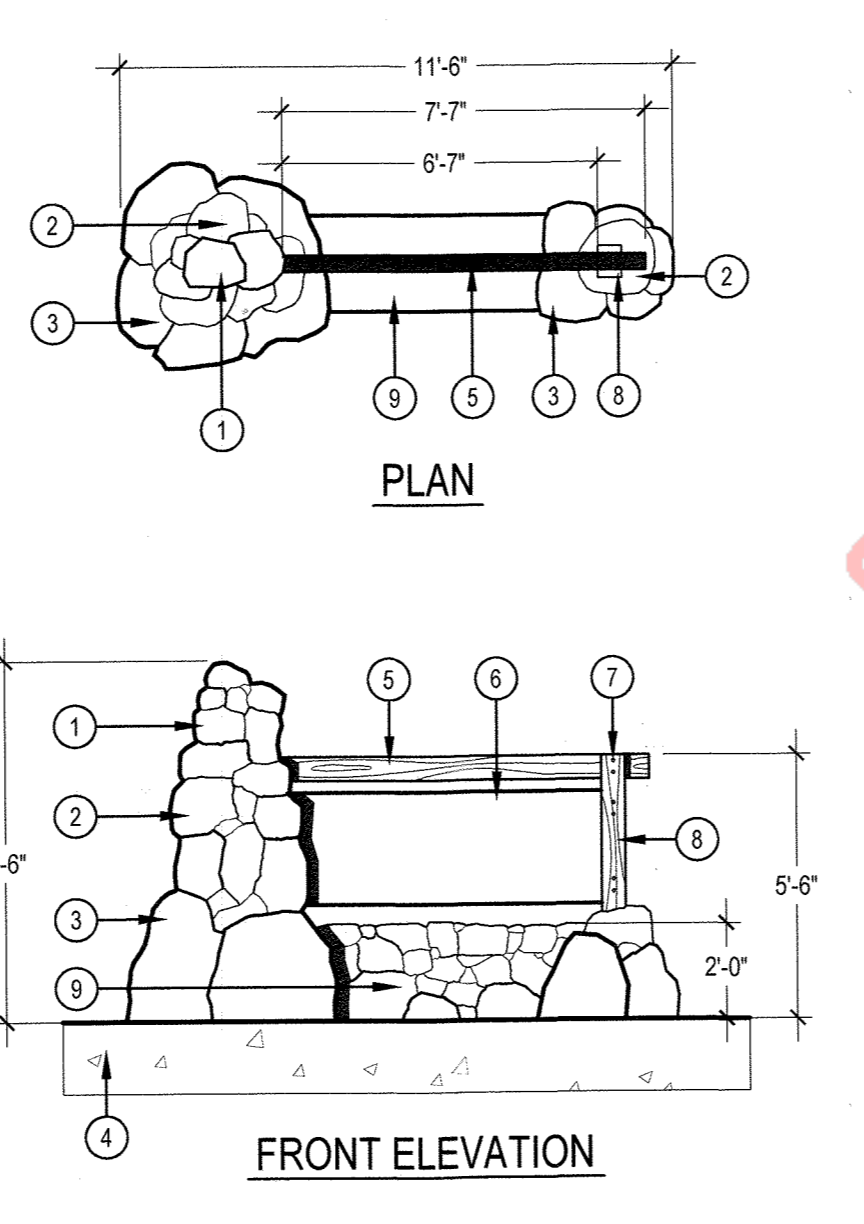
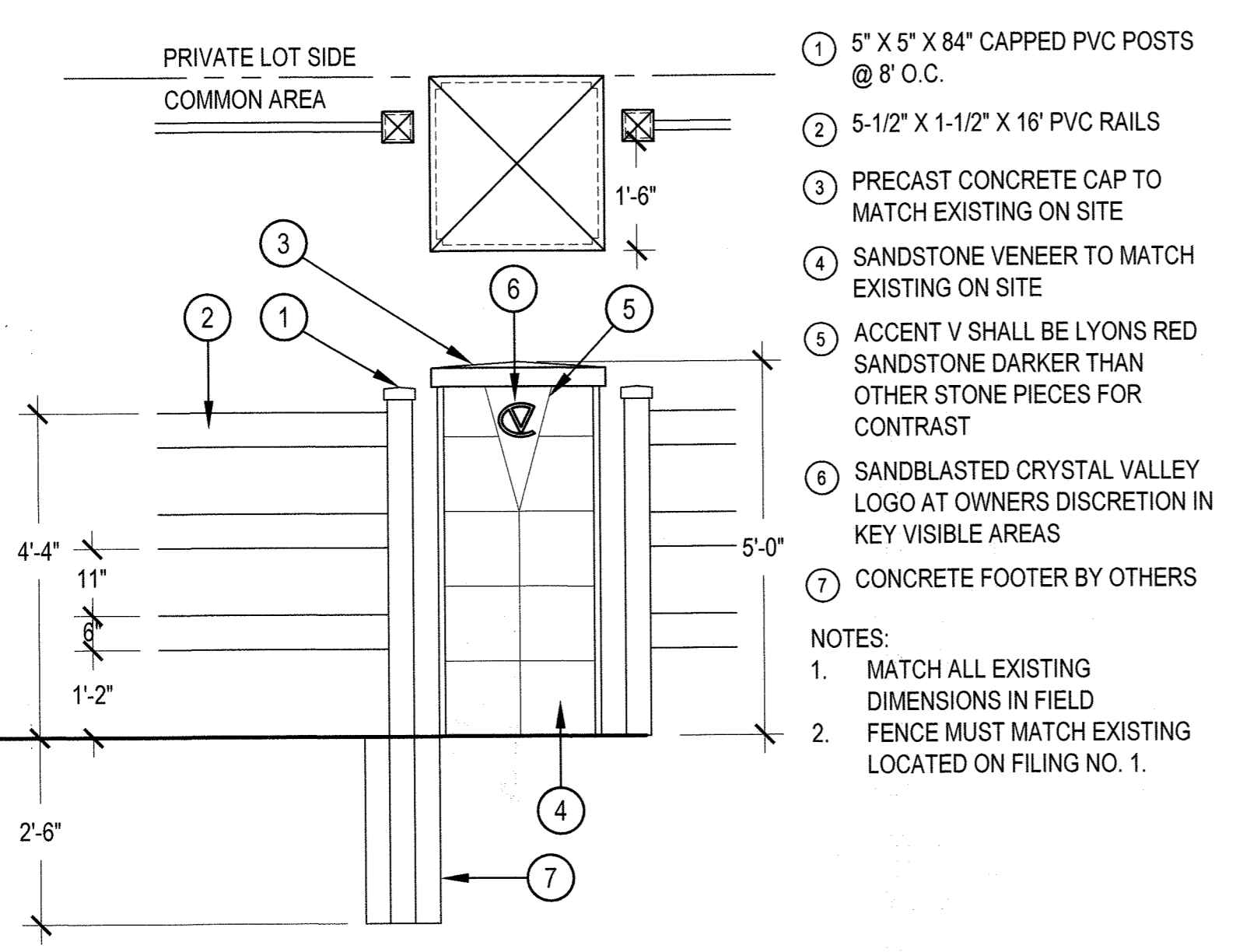
CHECKED BY: JB
DRAWN BY: DD

CRYSTAL VALLEY RANCH FILING NO. 15 SITE DEVELOPMENT PLAN

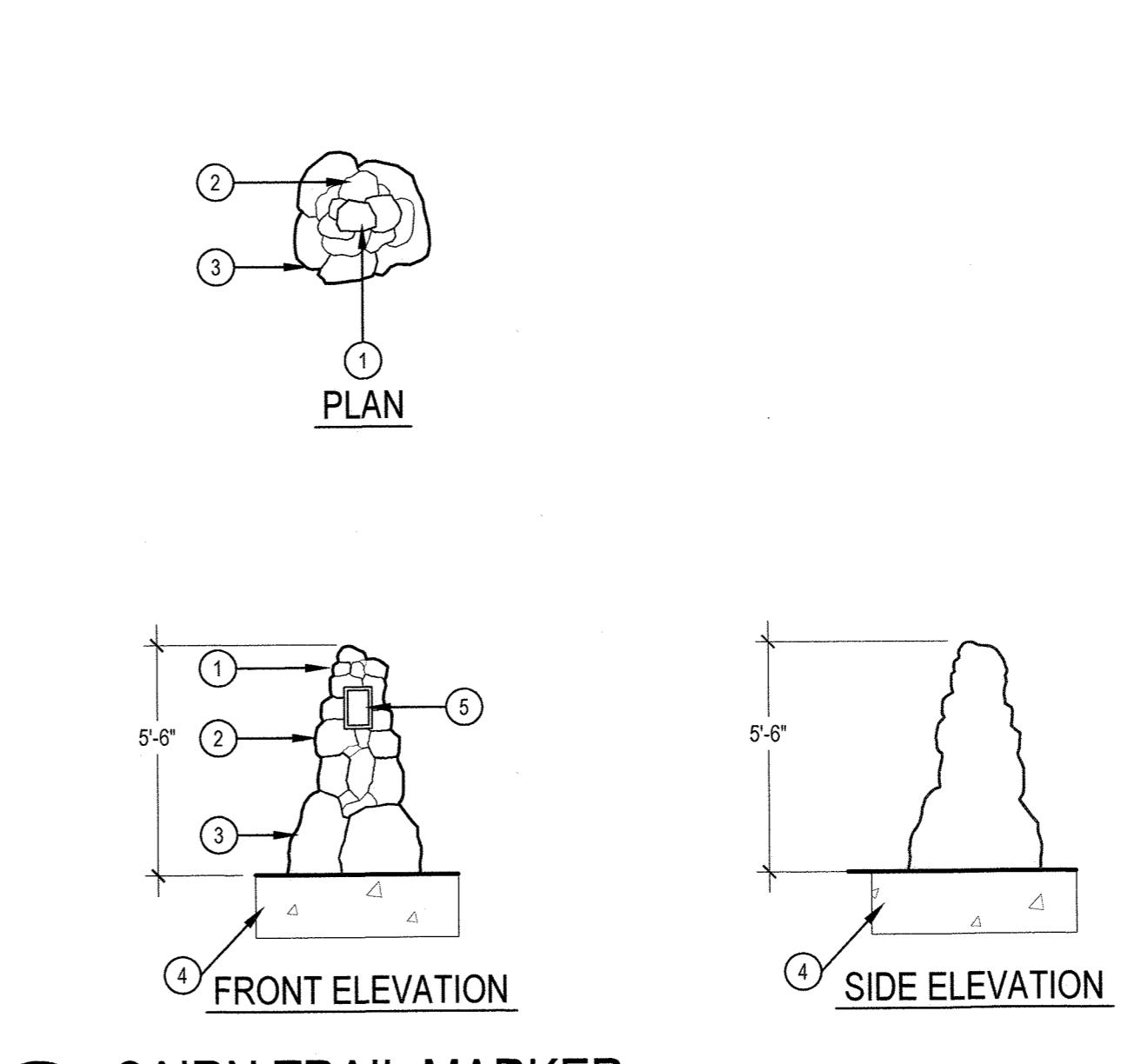
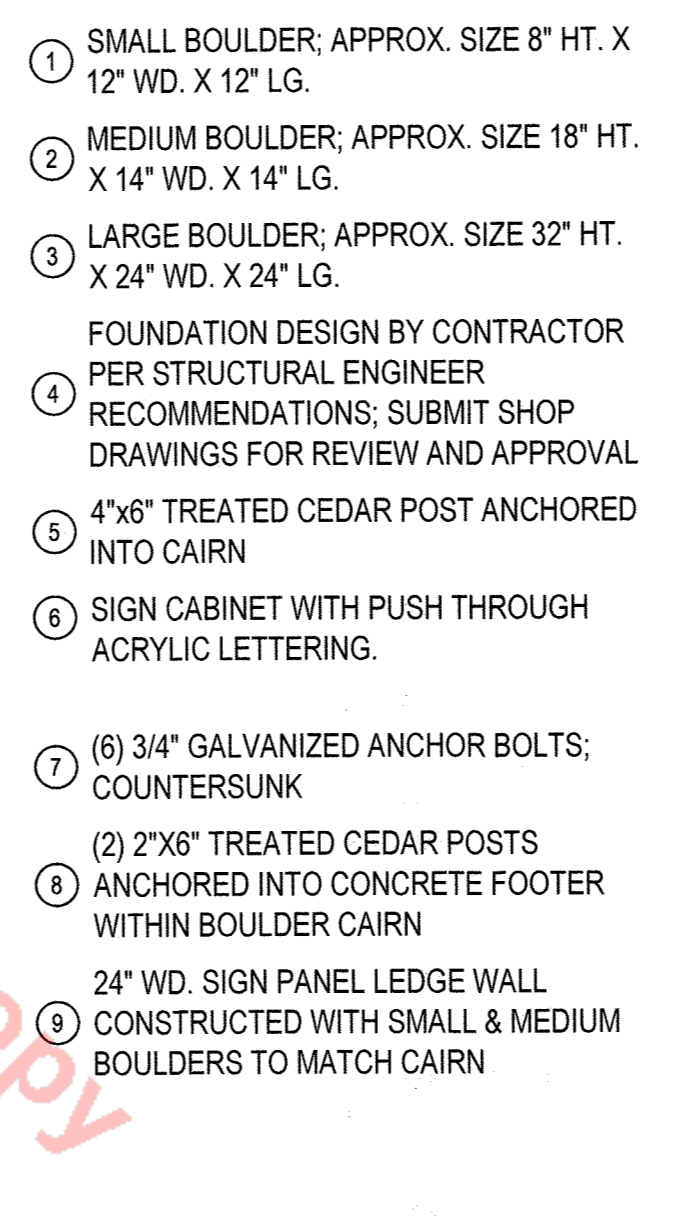
A PARCEL OF LAND LYING IN SECTIONS 24 AND 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
 AND IN SECTIONS 19 AND 30, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF DOUGLAS, STATE OF COLORADO



NORRIS DESIGN
 www.norris-design.com
 1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
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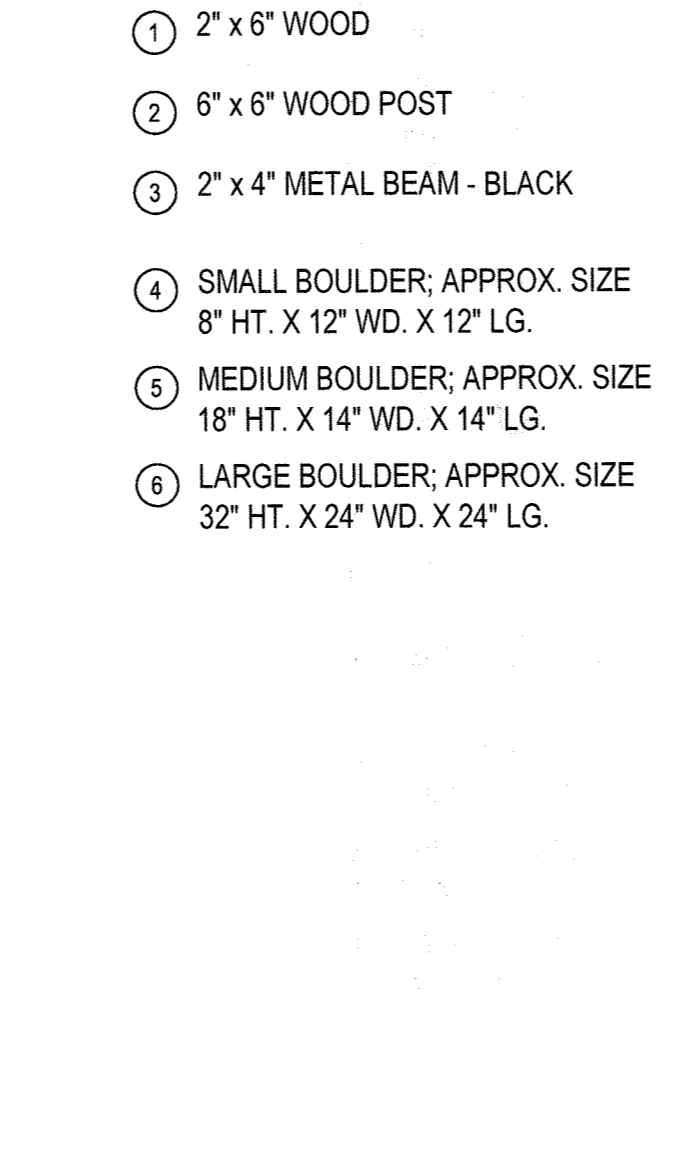
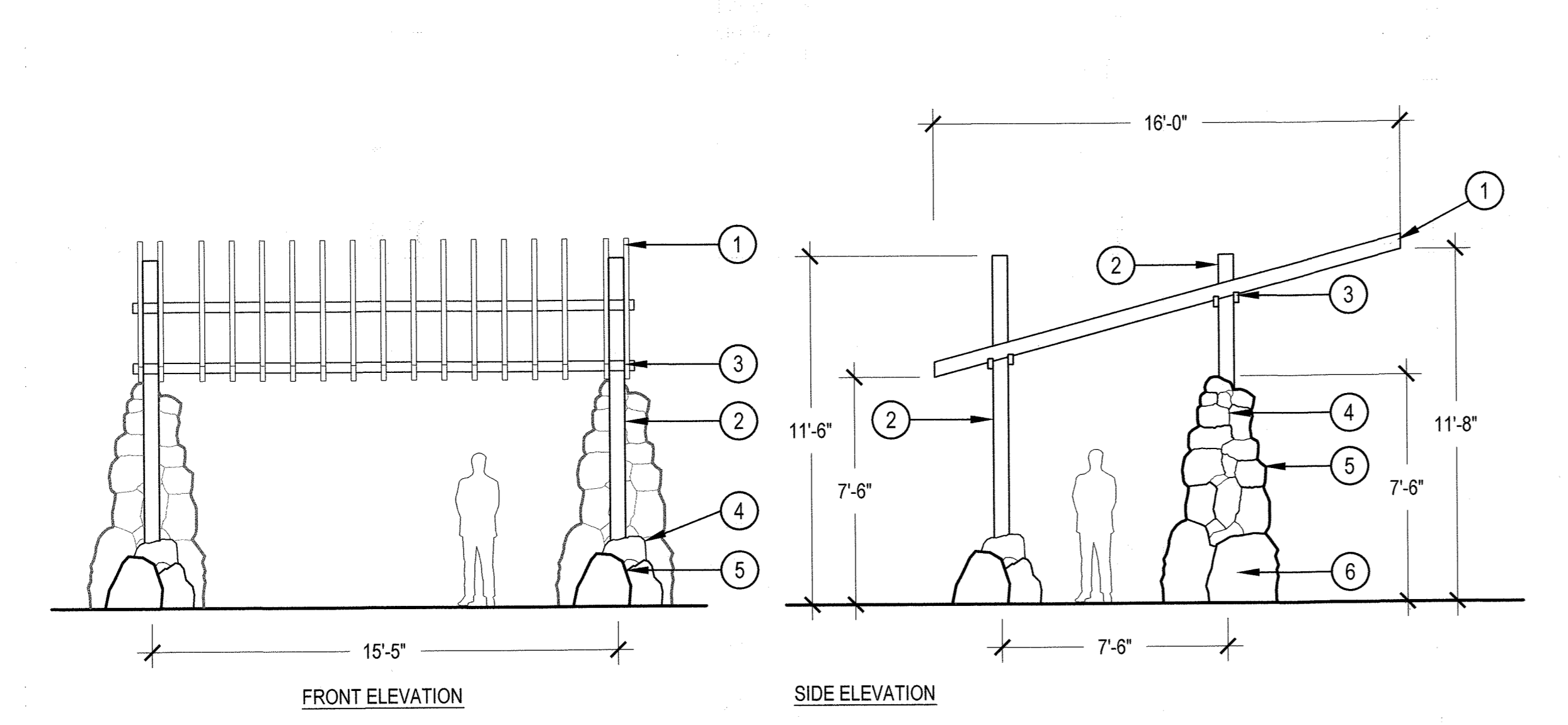
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1 ORNAMENTAL COLUMN / POST FENCE SCALE: 1/2" = 1'-0"

2 ENTRY MONUMENT DETAIL SCALE: 1/4" = 1'-0"

3 CAIRN TRAIL MARKER SCALE: 1/4" = 1'-0"



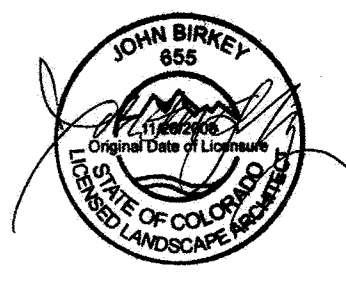
4 SMALL SHELTER SCALE: 1/4" = 1'-0"

CRYSTAL VALLEY RANCH FILING NO. 15
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP16-0005

PREPARED FOR:
 CRYSTAL VALLEY RECOVERY ACQUISITION LLC

LANDSCAPE CERTIFICATION:
 JOHN M. BIRKEY, P.L.A., A.S.L.A. AM CERTIFIED WITH THE TOWN OF CASTLE ROCK, CO. LANDSCAPE DESIGNER, COLORADO LICENCE NUMBER 6565

John M. Birkey



DATE:
 1st SDP - 01/22/2016
 2nd SDP - 04/22/2016
 3rd SDP - 07/05/2016
 4th SDP - 08/26/2016
 FINAL MYLAR - 10/07/2016

NOT FOR CONSTRUCTION

SHEET TITLE:
 LANDSCAPE DETAILS