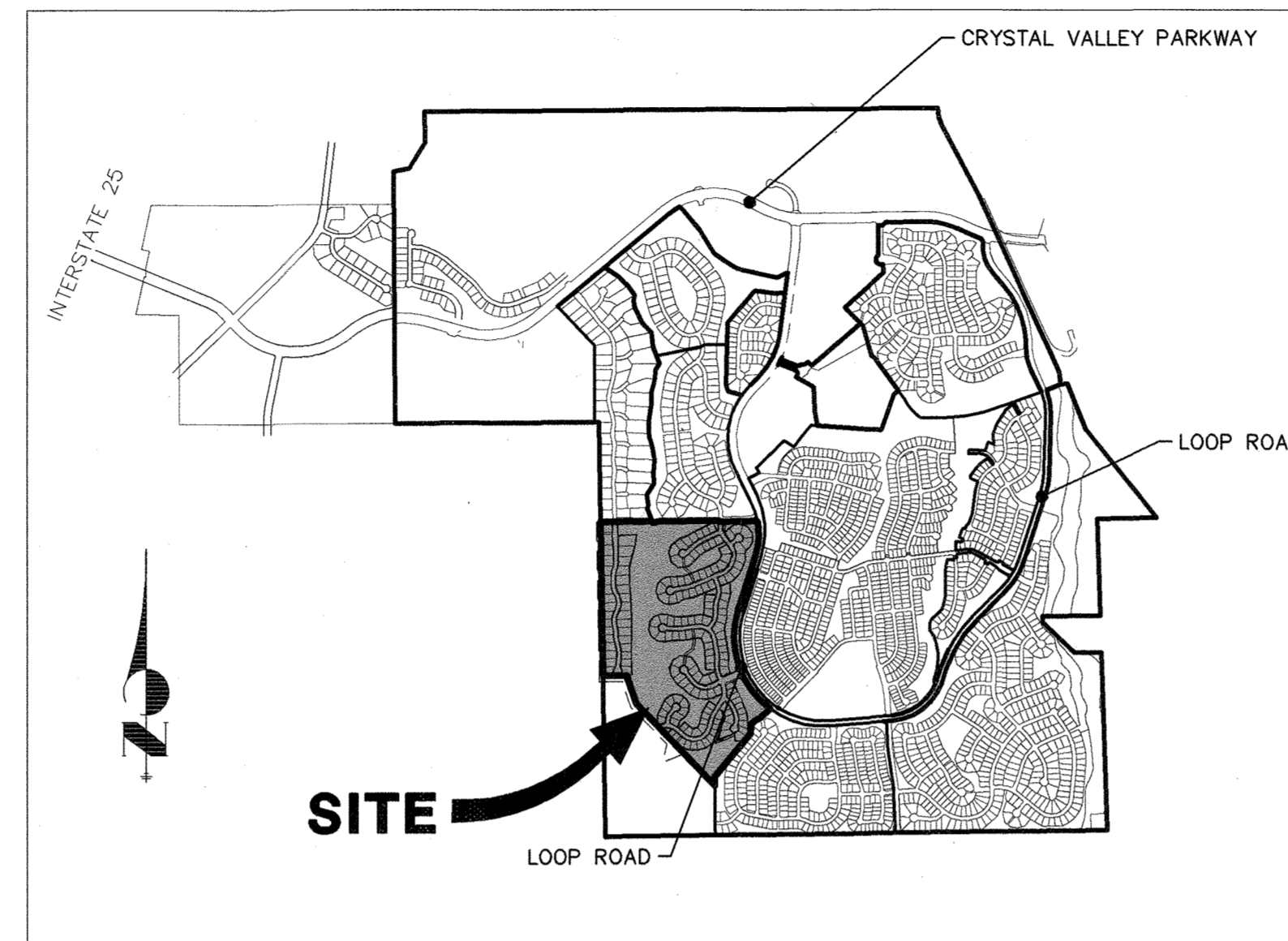


CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 25
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE DEVELOPMENT PLAN

GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER/SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0303G AND 08035C0304G DATED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THIS SITE DEVELOPMENT PLAN.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THE ZONING RECORDATION INFORMATION, FEBRUARY 24, 2012 AT REC. NO. 2012013155. THIS SITE IS ZONED R-SF-6
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRICAL LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS GREATER THAN 5-FOOT HIGH WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- HOMEBUILDERS MUST FOLLOW THE APPROVED CRYSTAL VALLEY BUILDER DESIGN GUIDELINES INCLUDED AS PART OF THIS SITE DEVELOPMENT PLAN SUBMITTAL. THESE DESIGN GUIDELINES HAVE BEEN APPROVED BY THE CRYSTAL VALLEY RANCH MASTER HOMEOWNERS' ASSOCIATION.
- THE DEVELOPER OF CRYSTAL VALLEY RANCH FILING 13 IS RESPONSIBLE FOR DESIGNING AND CONSTRUCTING A FUTURE TRAFFIC CALMING FEATURE AT LIONS PAW STREET AND DESERT ROSE PER THE FILING 13 SIA.
- BENCHMARK:**
DOUGLAS COUNTY CONTROL POINT 3040010 NAVD 88 ELEVATION = 6589.35' FOUND 3.5" ALUMINUM CAP ON STEEL ROD MARKED "DCGIS 3040010" LOCATED 38.28' SOUTHWEST OF THE SOUTHEAST CORNER OF SEC. 23, T8S, R67W.
- BASIS OF BEARINGS:**
THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M., SAID LINE BEING MONUMENTED AT BOTH ENDS BY 2-1/2" ALUMINUM CAPS STAMPED "LS 6935", WITH THE LINE CONSIDERED TO BEAR S89°14'28"W ACCORDING TO THE PLAT FOR CRYSTAL VALLEY RANCH FILING NO. 5A (Phase 1) AS RECORDED AT RECEPTION NO. 2006046476.



	SUMMARY TABLE	
	APPROVED (SDP14-0014)	AMENDED (SDP19-0022)
MAXIMUM GROSS FLOOR AREA	N/A	N/A
BUILDING SETBACKS *	20' FRONT, 20' REAR, 5' SIDE, 10' SIDE ALONG ALL PUBLIC ROW	20' FRONT, 20' REAR, 5' SIDE, 10' SIDE ALONG ALL PUBLIC ROW
MAX BUILDING HEIGHT	35'-0"	35'-0"
SITE UTILIZATION	LOT COVERAGE: 2,358,480 SF	LOT COVERAGE: 2,358,480 SF
	STREET COVERAGE: 466,183 SF	STREET COVERAGE: 466,183 SF
	OPEN SPACE AREA: 1,039,805 SF	OPEN SPACE AREA: 1,133,472 SF
	LANDSCAPED AREA: 1,196,886	LANDSCAPED AREA: 1,103,219
SINGLE FAMILY DETACHED LOTS	170	170
SINGLE FAMILY EQUIVALENT UNITS	170 SFE's	170 SFE's
MINIMUM LOT SIZE	8394 SF	8394 SF
MAXIMUM LOT SIZE	32234 SF	32234 SF
AVERAGE LOT SIZE	13,867 SF	13,867 SF
GROSS DENSITY	1.46 DWELLING UNITS/AC	1.46 DWELLING UNITS/AC
NET DENSITY	1.61 DWELLING UNITS/AC	1.61 DWELLING UNITS/AC

* THE MINIMUM BUILDING SEPARATION ON LOTS 1-27 BLOCK 1, LOTS 1-7 BLOCK 2, LOTS 48-50 BLOCK 12 SHALL BE 15'.

VICINITY MAP

1"=2000'

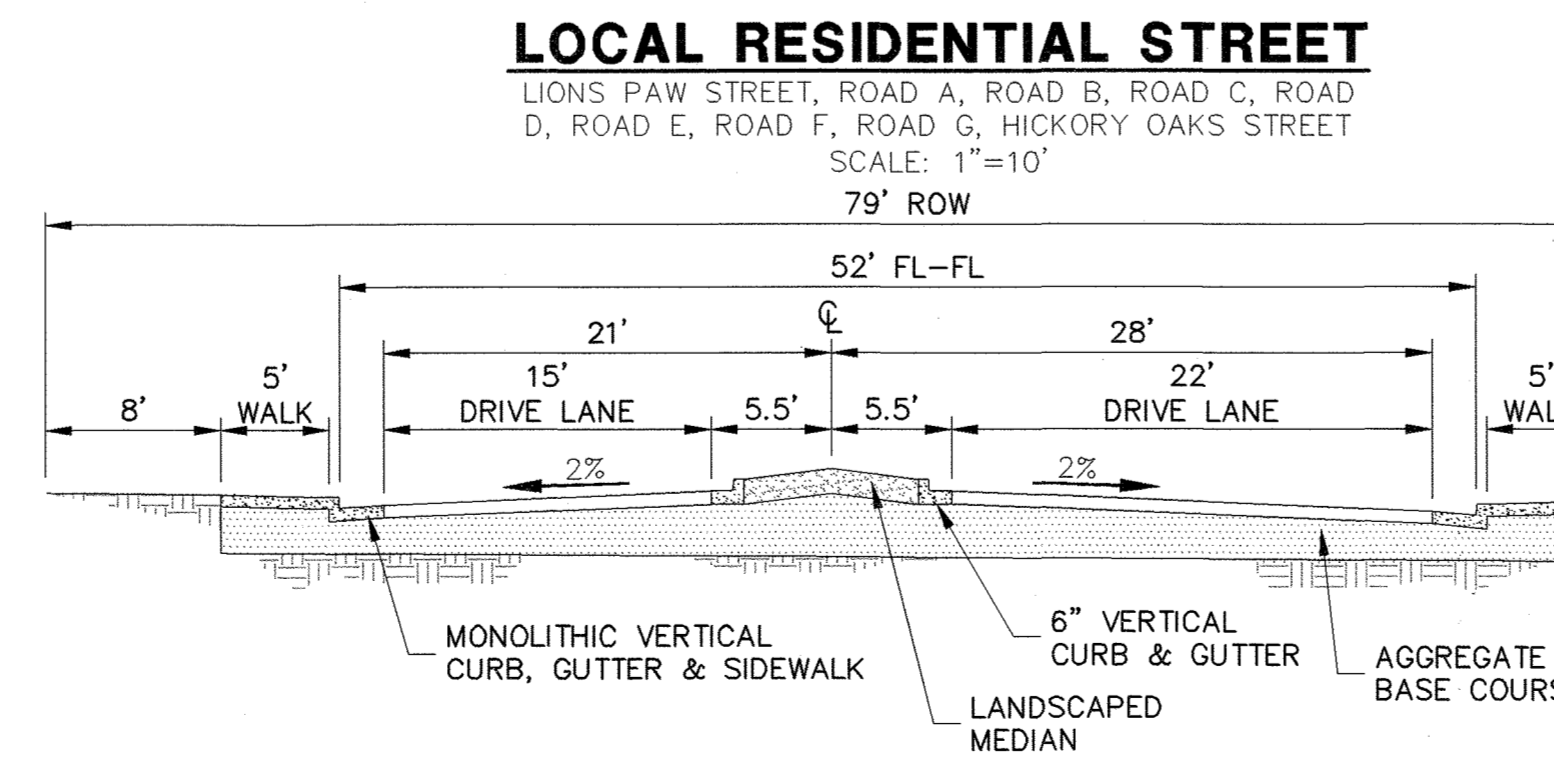
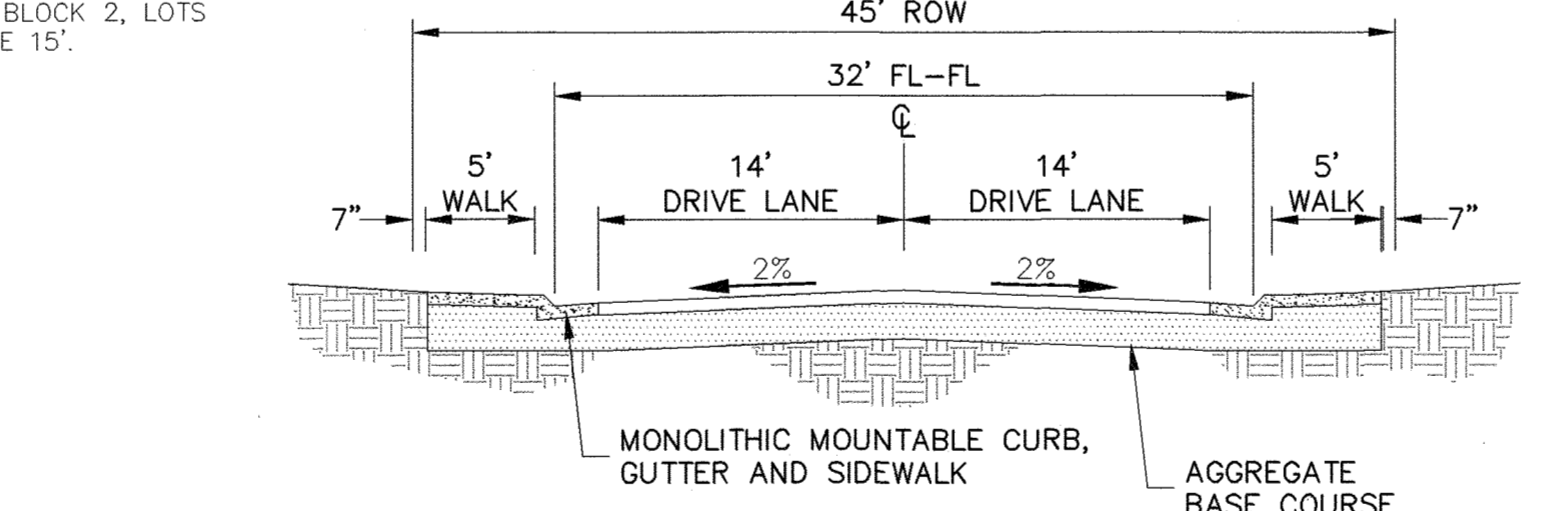
SHEET INDEX	
1	COVER SHEET
2-3	SITE PLAN
4-5	GENERAL GRADING PLAN
6-7	GENERAL UTILITY PLAN
8-9	LANDSCAPE CONCEPTUAL PLAN
10	LANDSCAPE WATER USE CHART
11-12	RETAINING WALL PLAN

APPROVED VARIANCES:

ENCROACHMENT OF SIGHT LINES MORE THAN 5' INTO LOTS 17, 58, AND 59 OF BLOCK 3 PER TECHNICAL CRITERIA VARIANCE TC15-0022 APPROVED ON 4-17-15.

FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- NO PARKING FIRE LANE SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.



PURPOSE STATEMENT

REVISED WALLS TO MATCH THE CONSTRUCTION PLANS. LANDSCAPE CHANGES ARE LIMITED TO MINOR ADJUSTMENTS ASSOCIATED WITH REQUIRED SITE PLAN CHANGES THAT INCLUDE REVISED RETAINING WALLS, RAMPS, AND TRAFFIC CALMING. THESE CHANGES CAUSED MINOR SHIFTS IN LANDSCAPE MATERIAL. EFFORTS WERE MADE TO KEEP CHANGES AS MINIMAL AS POSSIBLE AND TO RETAIN THE ORIGINAL DESIGN INTENT AND PLANT QUANTITIES.

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE WEST ONE-HALF OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- BEGINNING AT THE WEST ONE-QUARTER CORNER OF SAID SECTION 25,
- THENCE ON THE WEST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 25, N00°54'16"W, A DISTANCE OF 1375.82 FEET TO THE SOUTHERLY LINE OF CRYSTAL VALLEY RANCH - FILING NO. 1, AS RECORDED UNDER RECEPTION NO. 2002087570 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER,
- THENCE ON THE SOUTHERLY LINE OF SAID CRYSTAL VALLEY RANCH - FILING NO. 1, N89°05'44"E, A DISTANCE OF 663.34 FEET TO THE SOUTHEAST CORNER OF LOT 38, BLOCK 9, SAID CRYSTAL VALLEY RANCH - FILING NO. 1,
- THENCE DEPARTING THE SOUTHERLY LINE OF SAID CRYSTAL VALLEY RANCH - FILING NO. 1, S22°23'27"E, A DISTANCE OF 29.17 FEET TO A POINT OF NON-TANGENT CURVE ON THE SOUTHERLY LINE OF THAT ACCESS AND UTILITY EASEMENT RECORDED UNDER RECEPTION NO. 2002097028 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER;

THENCE ON SAID SOUTHERLY LINE, THE FOLLOWING THREE (3) COURSES:

- ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N11°35'23"W, HAVING A RADIUS OF 165.00 FEET, A CENTRAL ANGLE OF 4'24"07" AND AN ARC LENGTH OF 12.68 FEET, TO A POINT OF TANGENT;
- N74°00'30"E, A DISTANCE OF 56.36 FEET, TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 135.00 FEET, A CENTRAL ANGLE OF 15°05'14" AND AN ARC LENGTH OF 35.55 FEET, TO A POINT OF TANGENT ON THE SOUTHERLY LINE OF AN ACCESS AND UTILITY EASEMENT RECORDED UNDER RECEPTION NO. 2002097028;

THENCE ON SAID SOUTHERLY LINE, N89°05'44"E, A DISTANCE OF 737.66 FEET;

THENCE DEPARTING THE SOUTHERLY LINE OF SAID ACCESS AND UTILITY EASEMENT, THE FOLLOWING FIVE (5) COURSES:

- S00°54'16"E, A DISTANCE OF 15.00 FEET;
- N89°05'44"E, A DISTANCE OF 366.84 FEET, TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 543.00 FEET, A CENTRAL ANGLE OF 9'34'35" AND AN ARC LENGTH OF 90.76 FEET, TO A POINT OF TANGENT;
- N79°31'09"E, A DISTANCE OF 8.36 FEET, TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 35.00 FEET, A CENTRAL ANGLE OF 88°28'06" AND AN ARC LENGTH OF 54.04 FEET TO A POINT OF NON-TANGENT CURVE ON THE WESTERLY RIGHT-OF-WAY LINE OF LOOP ROAD AS DEDICATED TO THE TOWN OF CASTLE ROCK BY SPECIAL WARRANTY DEED RECORDED UNDER RECEPTION NO. 2002097027 AND 2008062016;

THENCE ON SAID WESTERLY RIGHT-OF-WAY LINE, THE FOLLOWING 4 (FOUR) COURSES:

- ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S79°49'57"W, HAVING A RADIUS OF 966.00 FEET, A CENTRAL ANGLE OF 10°37'23" AND AN ARC LENGTH OF 179.10 FEET, TO A POINT OF NON-TANGENT CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS N87°07'01"W, HAVING A RADIUS OF 965.00 FEET, A CENTRAL ANGLE OF 14°32'04" AND AN ARC LENGTH OF 244.80 FEET, TO A POINT OF TANGENT;
- S17°25'03"W, A DISTANCE OF 748.07 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1135.00 FEET, A CENTRAL ANGLE OF 70°59'03" AND AN ARC LENGTH OF 1406.16 FEET, TO A POINT OF NON-TANGENT;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, THE FOLLOWING NINE (9) COURSES:

- S47°42'51"W, A DISTANCE OF 188.04 FEET;
- S63°39'14"W, A DISTANCE OF 53.59 FEET;
- S51°13'46"W, A DISTANCE OF 74.49 FEET;
- S02°58'56"W, A DISTANCE OF 119.14 FEET;
- S39°48'00"W, A DISTANCE OF 721.16 FEET;
- S00°45'02"E, A DISTANCE OF 111.24 FEET;
- N43°57'09"W, A DISTANCE OF 1450.95 FEET;
- N18°48'59"W, A DISTANCE OF 377.97 FEET;
- N89°42'15"W, A DISTANCE OF 305.33 FEET TO A POINT ON THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 25;

THENCE ON SAID WEST LINE OF SAID SOUTHWEST ONE-QUARTER N00°52'28"W, A DISTANCE OF 593.84 FEET TO THE POINT OF BEGINNING,

CONTAINING A CALCULATED AREA OF 5,061,354 SQUARE FEET OR 116.193 ACRES

CONTACTS

OWNER
CRYSTAL VALLEY RECOVERY ACQUISITION, LLC
7200 S. ALTON WAY
SUITE C400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND

LAND PLANNER
NORRIS DESIGN
1101 BANNOCK STREET
DENVER, CO 80204
CONTACT: MITCH BLACK

ENGINEER/PLAN PREPARER
JR ENGINEERING
7200 S. ALTON WAY
SUITE C400
CENTENNIAL, CO 80112
CONTACT: KURTIS WILLIAMS

LAND SURVEYOR
JR ENGINEERING
7200 S. ALTON WAY
SUITE C400
CENTENNIAL, CO 80112
CONTACT: KEN BAKER

TITLE CERTIFICATION

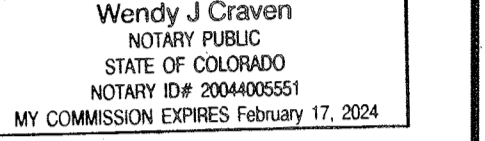
Beverly M. Carlson
AUTHORIZED REPRESENTATIVE OF **First American Title Insurance Co.**
AN AUTHORIZED REPRESENTATIVE OF FIRST AMERICAN TITLE INSURANCE CO., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 22nd DAY OF June, 2020.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 22nd DAY OF June, 2020 BY Beverly M. Carlson AS AUTHORIZED REPRESENTATIVE OF First American Title Insurance Co.

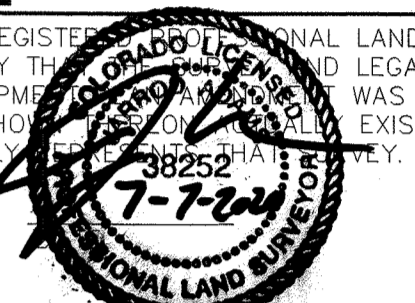
WITNESS MY HAND AND OFFICIAL SEAL.
Beverly M. Carlson
NOTARY PUBLIC

MY COMMISSION EXPIRES: 2/17/2024



SURVEYOR'S CERTIFICATE

I, Wendy J. Craven, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THE SAME.



REGISTERED LAND SURVEYOR

PROFESSIONAL ENGINEER CERTIFICATION

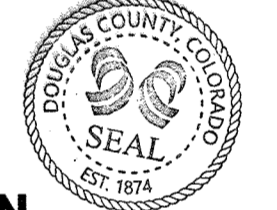
I HEREBY AFFIRM THAT THESE SITE DEVELOPMENT PLAN AMENDMENT PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF CASTLE ROCK AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY, AND THAT I AM FULLY RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

Wendy J. Craven
REGISTERED PROFESSIONAL ENGINEER
DATE: 6-23-2020

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:57 PM ON THE 14th DAY OF July, 2020 AT RECEPTION NO. 2020061825

DOUGLAS COUNTY CLERK AND RECORDER
BY: *Mary Ramirez*
DEPUTY



OWNERSHIP CERTIFICATION

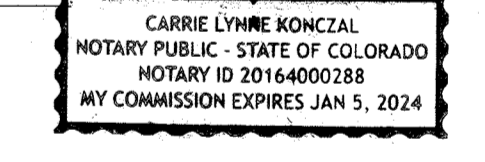
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

BY: *Jerry B. Richmond*
AS AUTHORIZED SIGNATORY OF CRYSTAL VALLEY RECOVERY ACQUISITION, LLC, A DELAWARE LIMITED LIABILITY COMPANY 1166 AVENUE OF AMERICAS, 21ST FLOOR, NEW YORK, NY 10036

SIGNED THIS 25th DAY OF June, 2020

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 25th DAY OF June, 2020 BY Jerry B. Richmond AS AUTHORIZED REPRESENTATIVE OF CRYSTAL VALLEY RECOVERY ACQUISITION, LLC

WITNESS MY HAND AND OFFICIAL SEAL.
NOTARY PUBLIC *Carrie L. Konczal*
MY COMMISSION EXPIRES: Jan 5, 2024



STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 9 DAY OF July, 2020

Carrie L. Konczal
DIRECTOR OF DEVELOPMENT SERVICES

CRYSTAL VALLEY RANCH FILING NO. 13
SITE DEVELOPMENT PLAN AMD NO. 1
JOB NO. 15635.30
JUNE 18, 2020
SHEET 1 OF 12



Centennial 303-740-9393 • Colorado Springs 719-593-2593
Fort Collins 970-491-9888 • www.jrengineering.com

PROJECT NO. SDP19-0022

CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

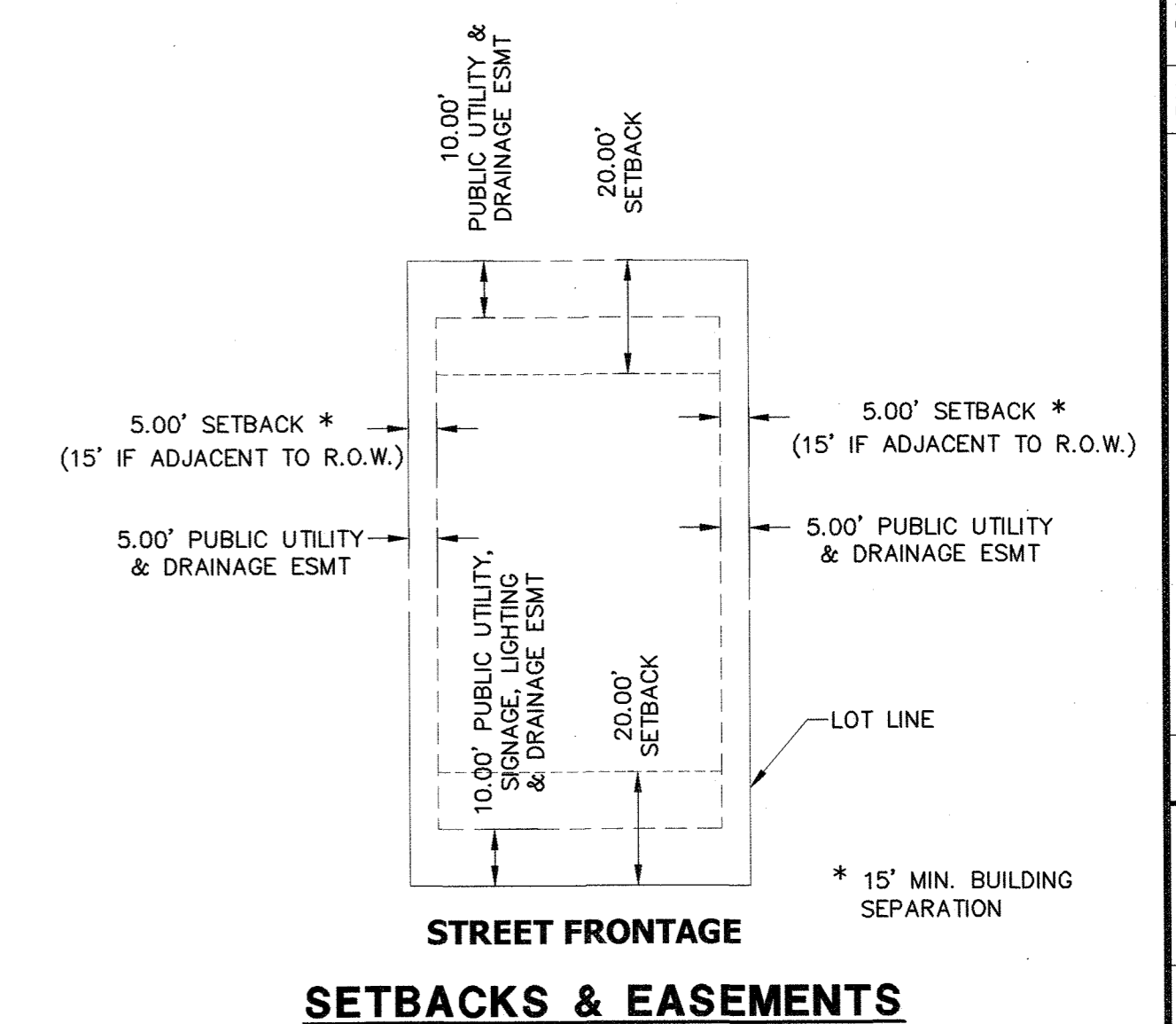
A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 25
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE DEVELOPMENT PLAN

LEGEND

- PROPOSED RIGHT OF WAY
- EXISTING RIGHT OF WAY
- PROPERTY LINE
- BOUNDARY LINE
- CENTERLINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- SIGHT EASEMENT
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT
- INDICATES UTILITY EASEMENT
- * MAILBOX KIOSK
- * MODERATE SKYLINE
- * MINOR SKYLINE

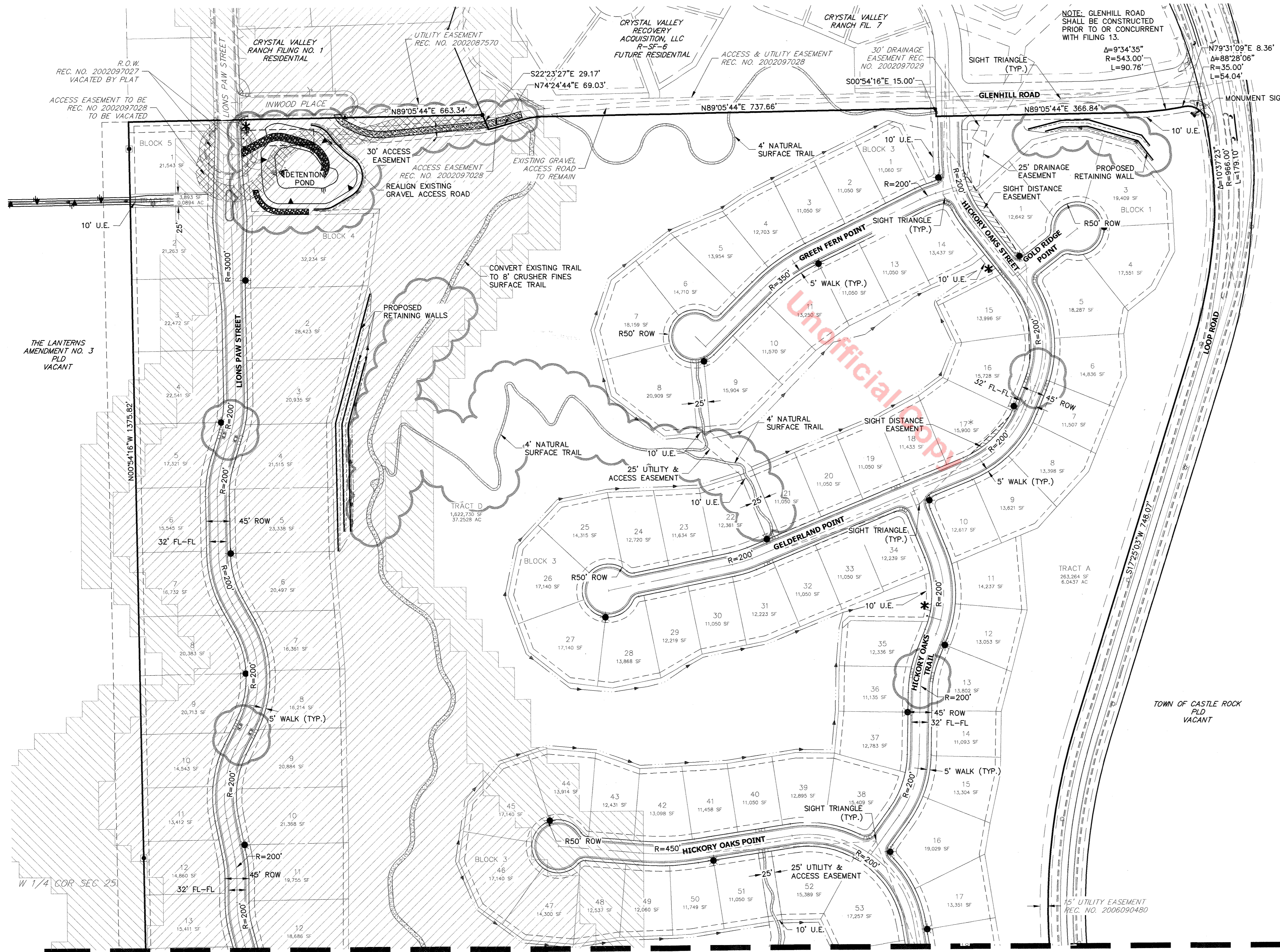
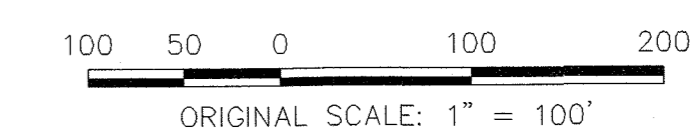
TRACT TABLE			
TRACT	USE	OWNERSHIP	MAINTENANCE
A	OPEN SPACE & DRAINAGE	MASTER HOA	MASTER HOA
B	OPEN SPACE & DRAINAGE	MASTER HOA	MASTER HOA
C	OPEN SPACE & DRAINAGE	MASTER HOA	MASTER HOA
D	OPEN SPACE & DRAINAGE	MASTER HOA	MASTER HOA
E	OPEN SPACE & DRAINAGE	MASTER HOA	MASTER HOA
F	OPEN SPACE, DRAINAGE & EVA**	CVR METRO DISTRICT #1	MASTER HOA

** AN EMERGENCY ACCESS EASEMENT SHALL BE GRANTED TO THE TOWN OVER TRACT F ON THE FINAL PLAT.



NOTE

LOTS DENOTED WITH "*" INCLUDE A SIGHT DISTANCE EASEMENT (SDE). NO LANDSCAPING OR STRUCTURES TALLER THAN 30' IN THE SDE, AND TREES MUST BE LIMBED UP TO 8' ABOVE ADJACENT FLOWLINE.



SEE SHEET 3

PREPARED FOR

CVR, LLC
 7200 SOUTH ALTON WAY
 SUITE C 400
 CENTENNIAL, CO 80112
 CONTACT: JERRY RICHMOND
 (303) 267-6195

J.R. ENGINEERING
 A Westman Company
 Centennial 303-749-9880 • Colorado Springs 719-583-2588
 Fort Collins 970-491-8888 • www.jrengineering.com

NO.	REVISION	BY	DATE

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1" = 100'	N/A	6/18/20	JMF	JMF	JMF

CRYSTAL VALLEY RANCH FILING
 NO. 13 SITE DEVELOPMENT
 PLAN AMENDMENT NO. 1
 SITE PLAN

SHEET 2 OF 12

PROJECT NO. SDP19-0022

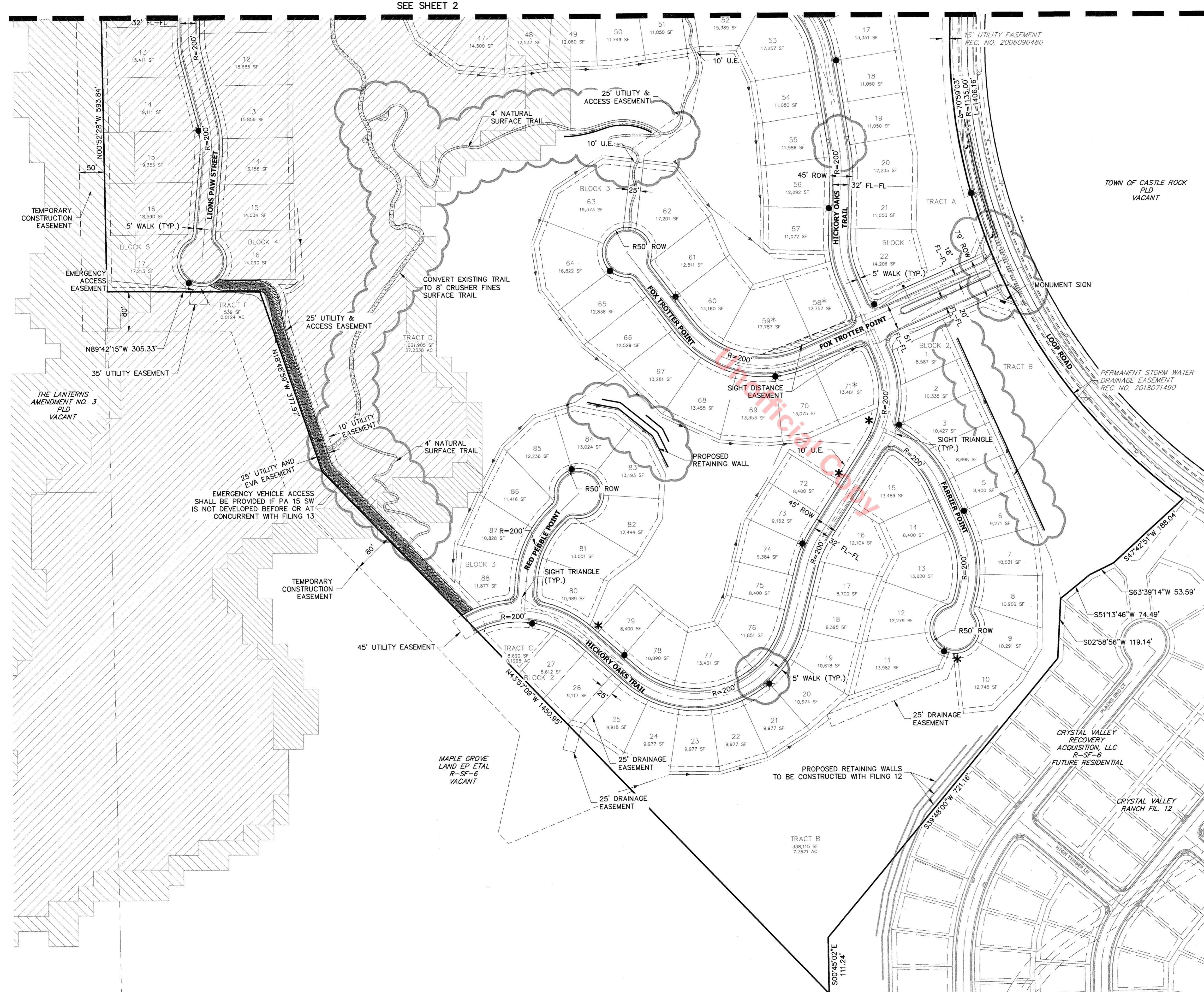
JOB NO. 15635.30

CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 25
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE DEVELOPMENT PLAN

LEGEND

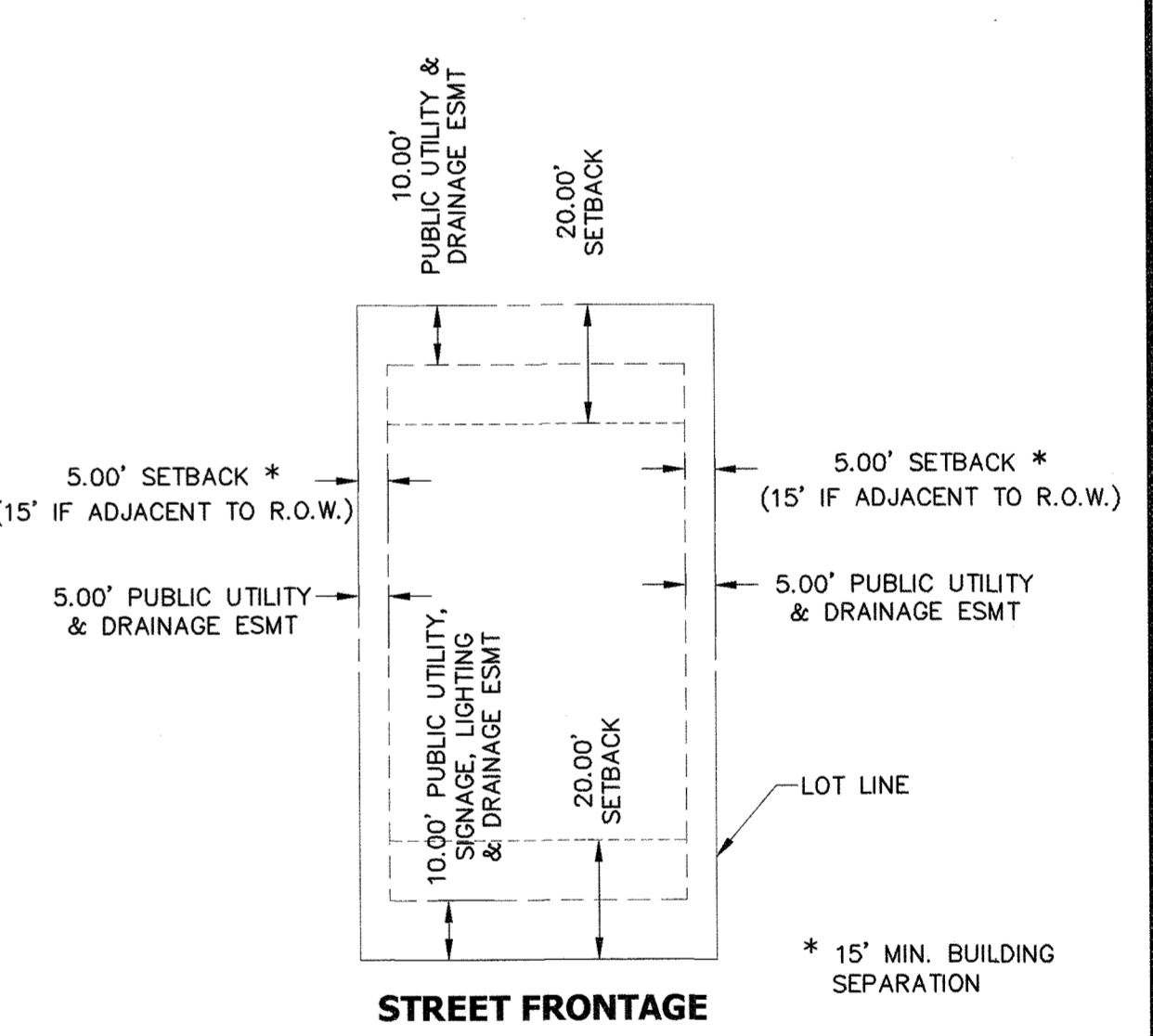
- PROPOSED RIGHT OF WAY
- EXISTING RIGHT OF WAY
- PROPERTY LINE
- BOUNDARY LINE
- CENTERLINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- SIGHT EASEMENT
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT
- MAILBOX KIOSK
- MODERATE SKYLINE
- MINOR SKYLINE



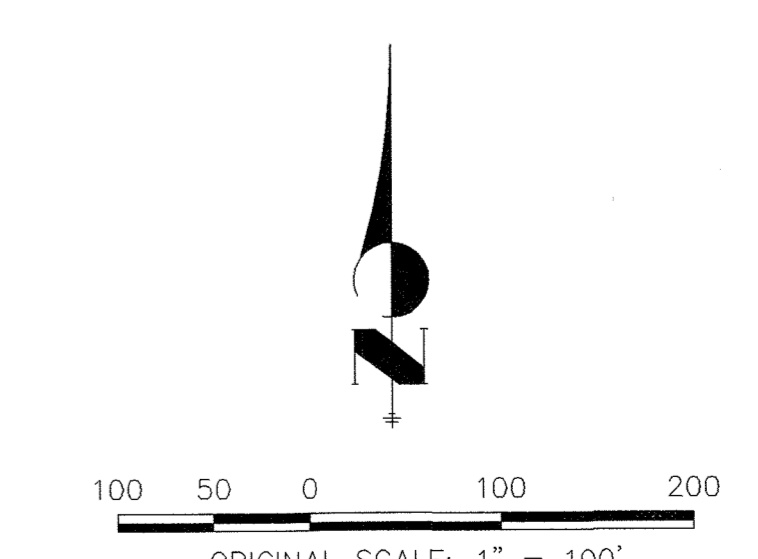
TRACT TABLE

TRACT	USE	OWNERSHIP	MAINTENANCE
A	OPEN SPACE & DRAINAGE	MASTER HOA	MASTER HOA
B	OPEN SPACE & DRAINAGE	MASTER HOA	MASTER HOA
C	OPEN SPACE & DRAINAGE	MASTER HOA	MASTER HOA
D	OPEN SPACE & DRAINAGE	MASTER HOA	MASTER HOA
E	OPEN SPACE & DRAINAGE	MASTER HOA	MASTER HOA
F	OPEN SPACE, DRAINAGE & EVA**	CVR METRO DISTRICT #1	MASTER HOA

** AN EMERGENCY ACCESS EASEMENT SHALL BE GRANTED TO THE TOWN OVER TRACT F ON THE FINAL PLAT.



NOTE
 LOTS DENOTED WITH "*" INCLUDE A SIGHT DISTANCE EASEMENT (SDE). NO LANDSCAPING OR STRUCTURES TALLER THAN 30" IN THE SDE, AND TREES MUST BE LIMBED UP TO 8' ABOVE ADJACENT FLOWLINE.



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVR, LLC
 7200 SOUTH ALTON WAY
 SUITE C 400
 CENTENNIAL, CO 80112
 CONTACT: JERRY RICHMOND
 (303) 267-6195

JR ENGINEERING
 A Westrian Company

Centennial 303-740-9888 • Colorado Springs 719-582-2588
 Fort Collins 970-491-9888 • www.jrengineering.com

No.	REVISION	BY	DATE

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1" = 100'	N/A	6/18/20		JMF	

CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

SITE PLAN

SHEET 3 OF 12

PROJECT NO. SDP19-0022

JOB NO. 15635.30

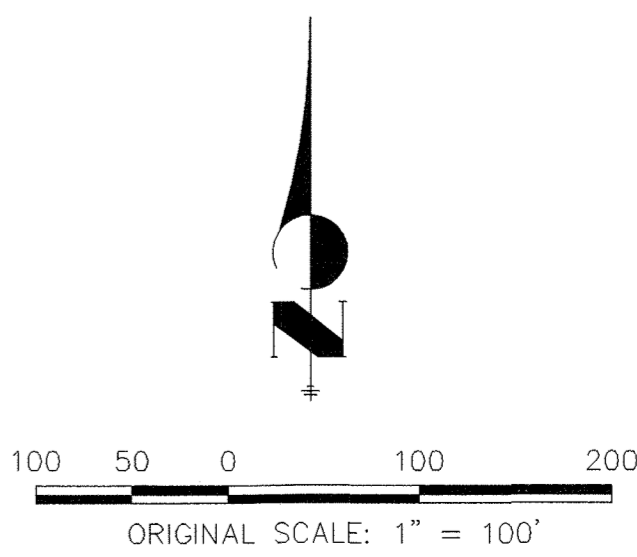
CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 25
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE DEVELOPMENT PLAN



LEGEND

	PROPOSED RIGHT OF WAY
	EXISTING RIGHT OF WAY
	PROPERTY LINE
	BOUNDARY LINE
	CENTERLINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER W/ MANHOLE
	EXISTING STORM SEWER W/ MANHOLE
	PROPOSED INLET
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	A LOT GRADING
	B LOT GRADING
	WALKOUT LOT GRADING
	GARDEN LOT GRADING
	TRANSITION BETWEEN LOT TYPES
	SWALE
	CONCRETE SWALE



SEE SHEET 5

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVRA, LLC
 7200 SOUTH ALTON WAY
 SUITE C 400
 CENTENNIAL, CO 80112
 CONTACT: JERRY RICHMOND
 (303) 267-6195

J.R. ENGINEERING
 A Westman Company

Centennial 303-740-0883 • Colorado Springs 719-588-2983
 Fort Collins 970-491-8888 • www.jrengineering.com

BY	DATE	No.	REVISION

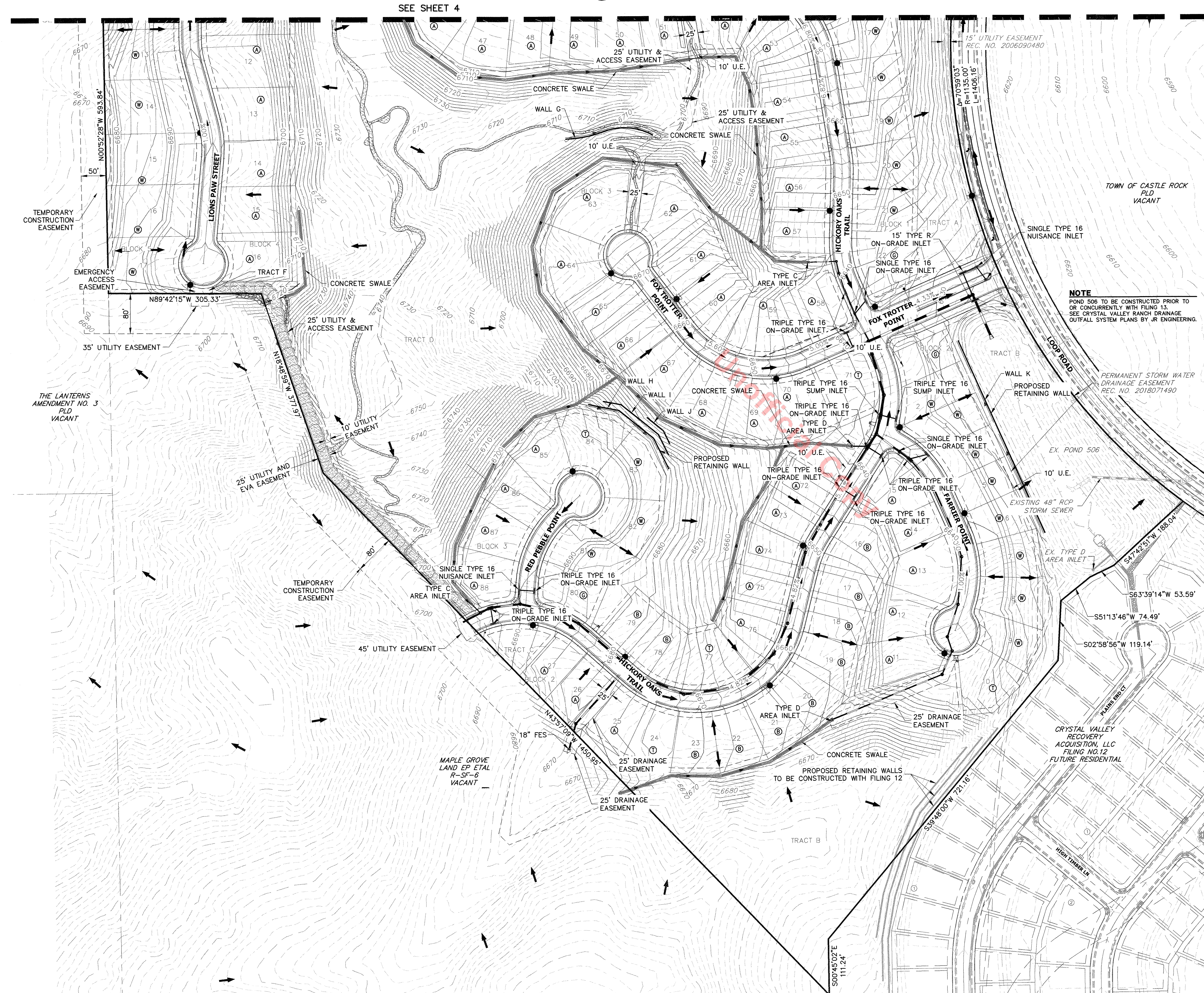
CRYSTAL VALLEY RANCH FILING
 NO. 13 SITE DEVELOPMENT
 PLAN AMENDMENT NO. 1
 GENERAL GRADING PLAN

x:\1563530\Drawings\sheet.dwg Site Development Plan\1563530 SDP GR.01.dwg, GR.01, 6/17/2020 4:09:38 PM, P:\rhoad

CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 25
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN



LEGEND

	PROPOSED RIGHT OF WAY
	EXISTING RIGHT OF WAY
	PROPERTY LINE
	BOUNDARY LINE
	CENTERLINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER W/ MANHOLE
	EXISTING STORM SEWER W/ MANHOLE
	PROPOSED INLET
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	A LOT GRADING
	B LOT GRADING
	WALKOUT LOT GRADING
	GARDEN LOT GRADING
	TRANSITION BETWEEN LOT TYPES
	SWALE
	CONCRETE SWALE

NOTE
POND 506 TO BE CONSTRUCTED PRIOR TO OR CONCURRENTLY WITH FILING 13.
SEE CRYSTAL VALLEY RANCH DRAINAGE OUTFALL SYSTEM PLANS BY JR ENGINEERING.

PERMANENT STORM WATER DRAINAGE EASEMENT REC. NO. 2018071490

UNTIL SUCH TIME AS THE PLAN IS APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

JR ENGINEERING
A Westrian Company

Centennial 303-749-8888 • Colorado Springs 719-583-2583
Fort Collins 970-491-8888 • www.jrengineering.com

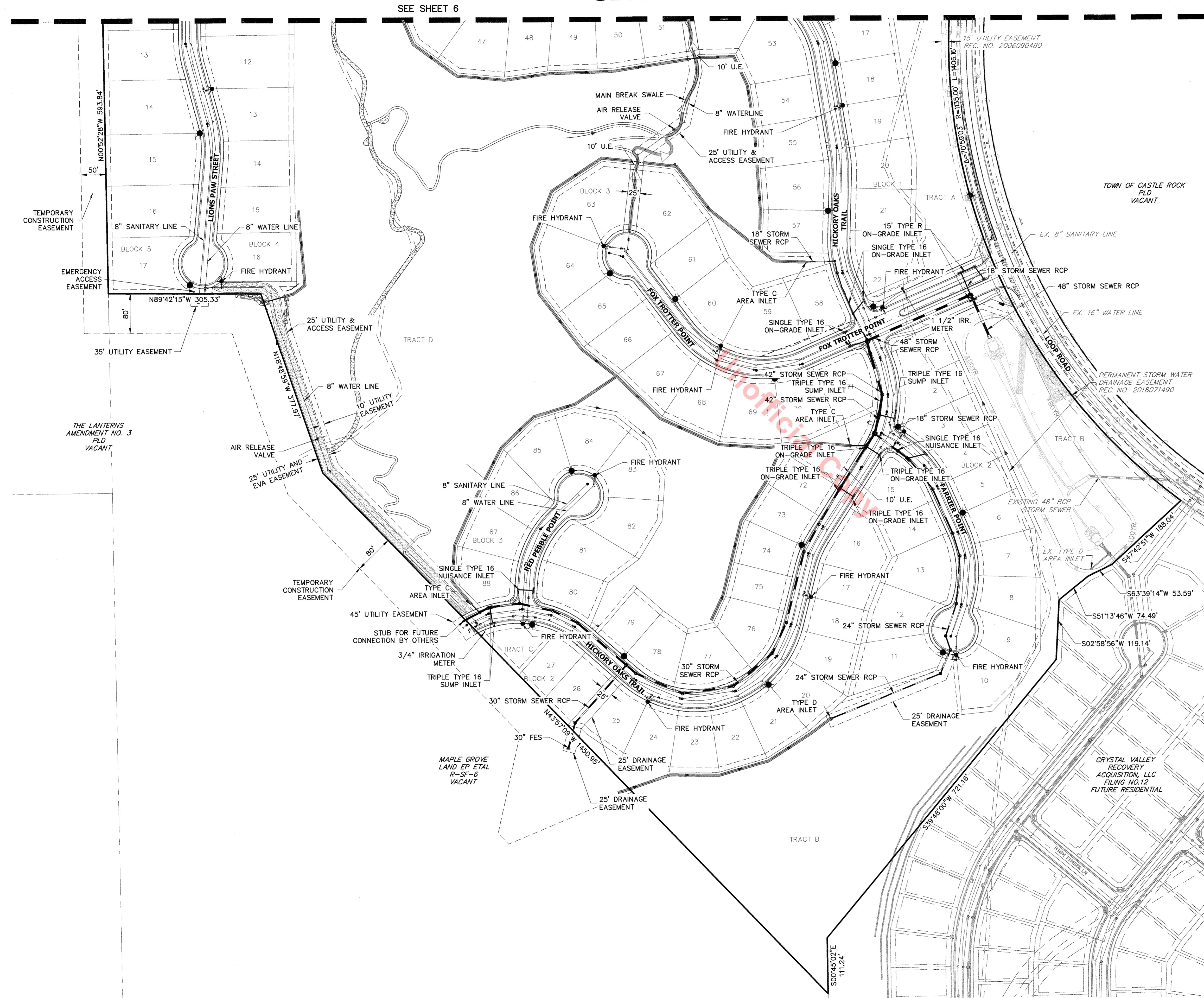
No.	REVISION	BY	DATE

H-SCALE	1" = 100'
V-SCALE	N/A
DATE	6/18/20
DESIGNED BY	JMF
DRAWN BY	JMF
CHECKED BY	

CRYSTAL VALLEY RANCH FILING
NO. 13 SITE DEVELOPMENT
PLAN AMENDMENT NO. 1
GENERAL GRADING PLAN

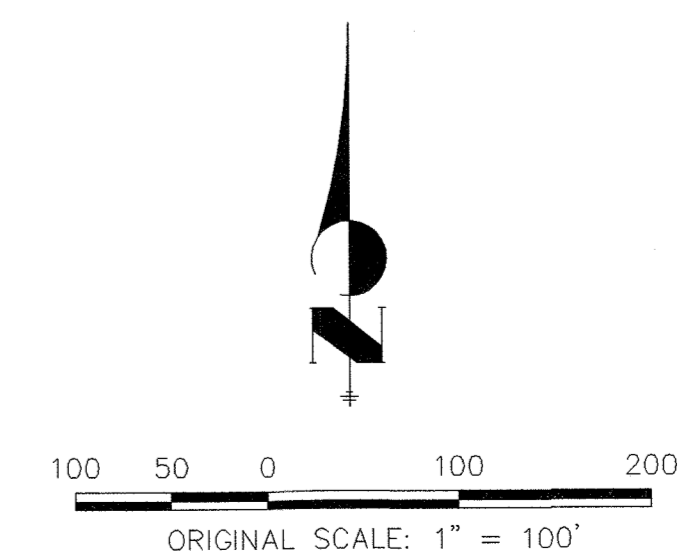
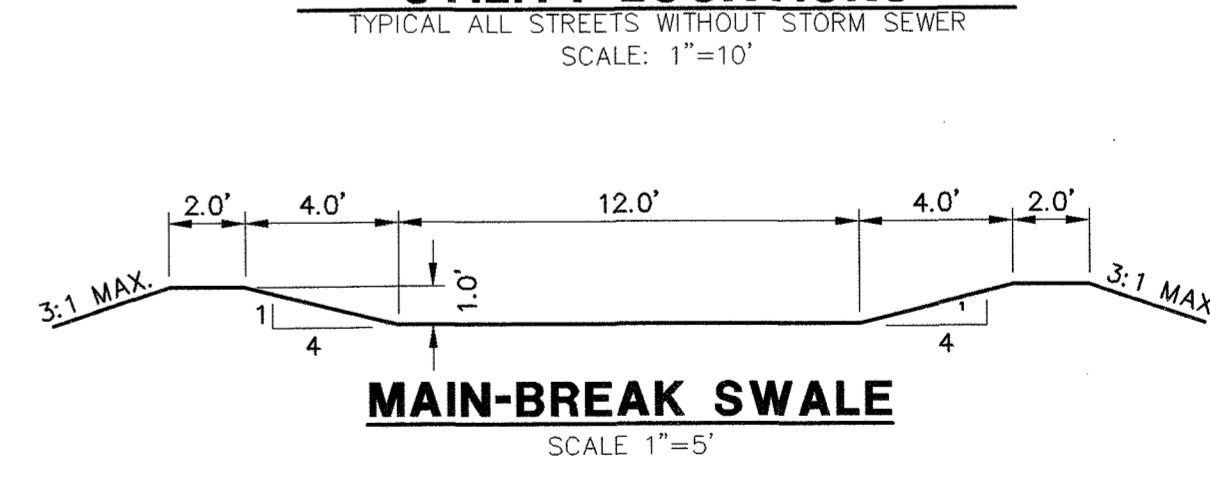
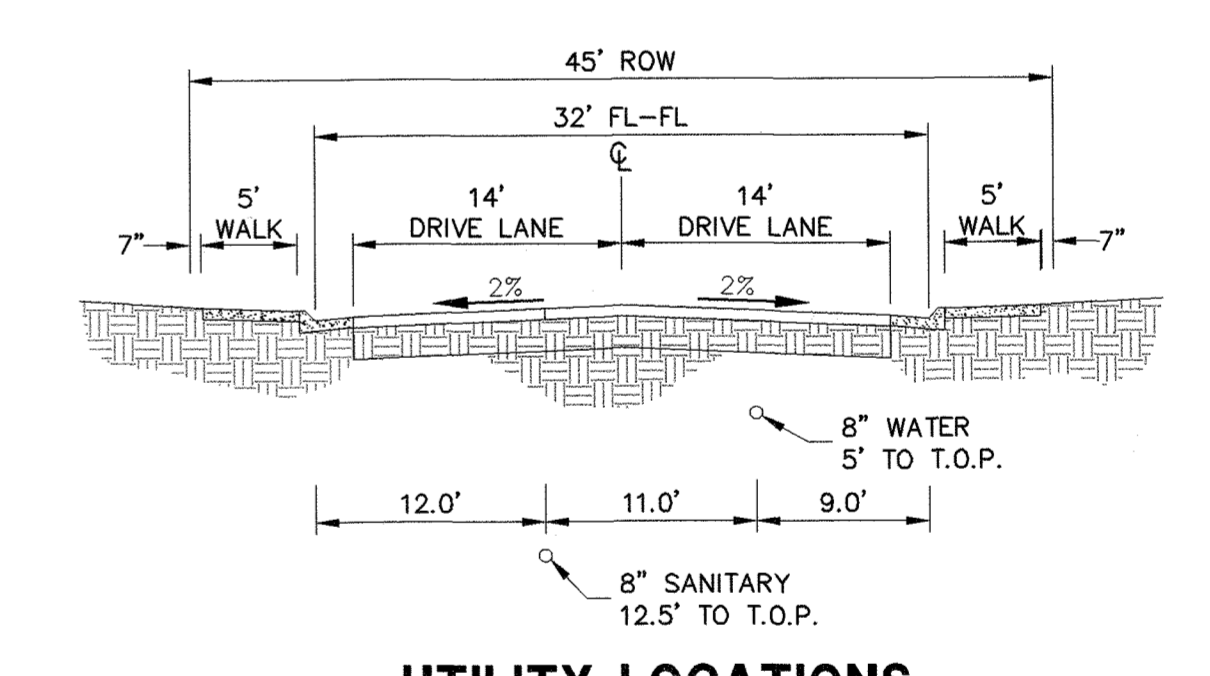
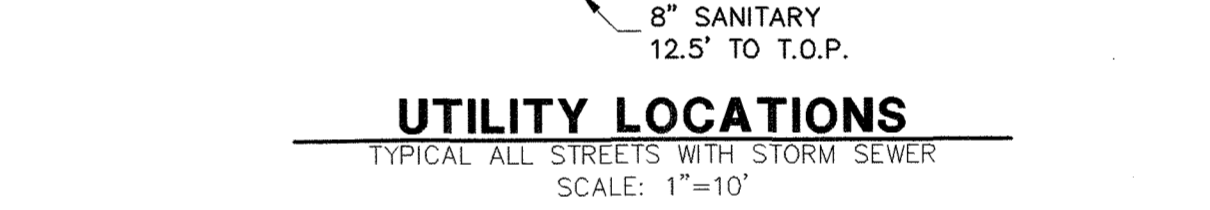
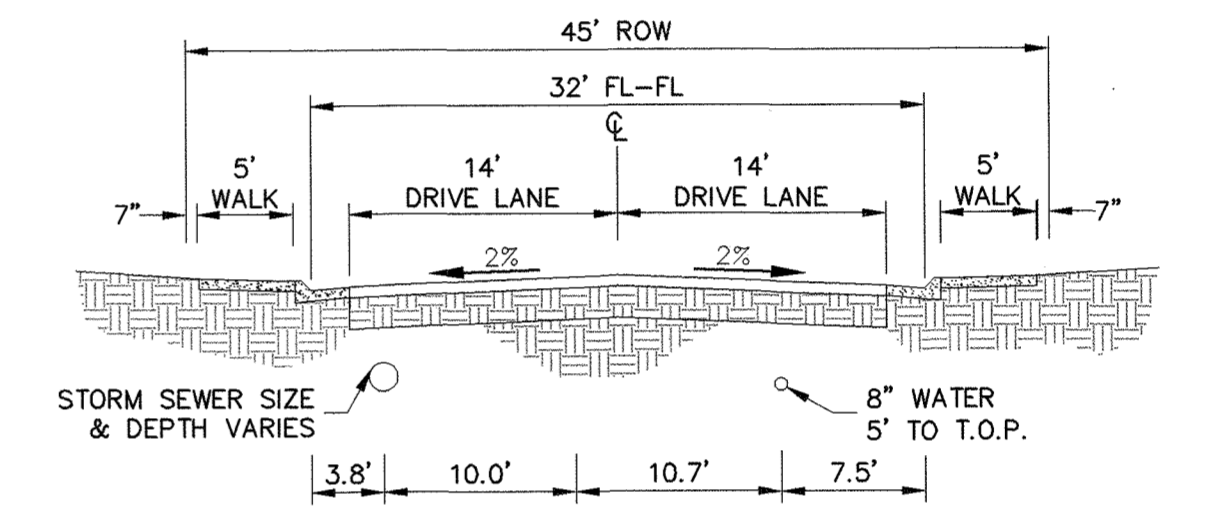
CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 25
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE DEVELOPMENT PLAN



LEGEND

	PROPOSED RIGHT OF WAY
	EXISTING RIGHT OF WAY
	PROPERTY LINE
	BOUNDARY LINE
	CENTERLINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	PROPOSED STREET LIGHT
	EXISTING STREET LIGHT
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	PROPOSED WATER LINE W/ GATE VALVE
	EXISTING WATER LINE W/ GATE VALVE
	PROPOSED SANITARY SEWER W/ MANHOLE
	EXISTING SANITARY SEWER W/ MANHOLE
	PROPOSED STORM SEWER W/ MANHOLE
	EXISTING STORM SEWER W/ MANHOLE
	PROPOSED INLET
	INDICATES UTILITY EASEMENT
	MAIN BREAK SWALE



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVRA, LLC
 7200 SOUTH ALTON WAY
 SUITE C 400
 CENTENNIAL, CO 80112
 CONTACT: JERRY RICHMOND
 (303) 267-6195

J.R. ENGINEERING
 A Westman Company

 Centennial 303-740-9830 • Colorado Springs 719-583-2583
 Fort Collins 970-491-9888 • www.jrengineering.com

NO.	REVISION	DATE

H-SCALE	1"=100'
V-SCALE	N/A
DATE	6/18/20
DESIGNED BY	JMF
DRAWN BY	JMF
CHECKED BY	

CRYSTAL VALLEY RANCH FILING
 NO. 13
 SITE DEVELOPMENT
 PLAN
 AMENDMENT NO. 1
 GENERAL UTILITY PLAN

CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 25
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

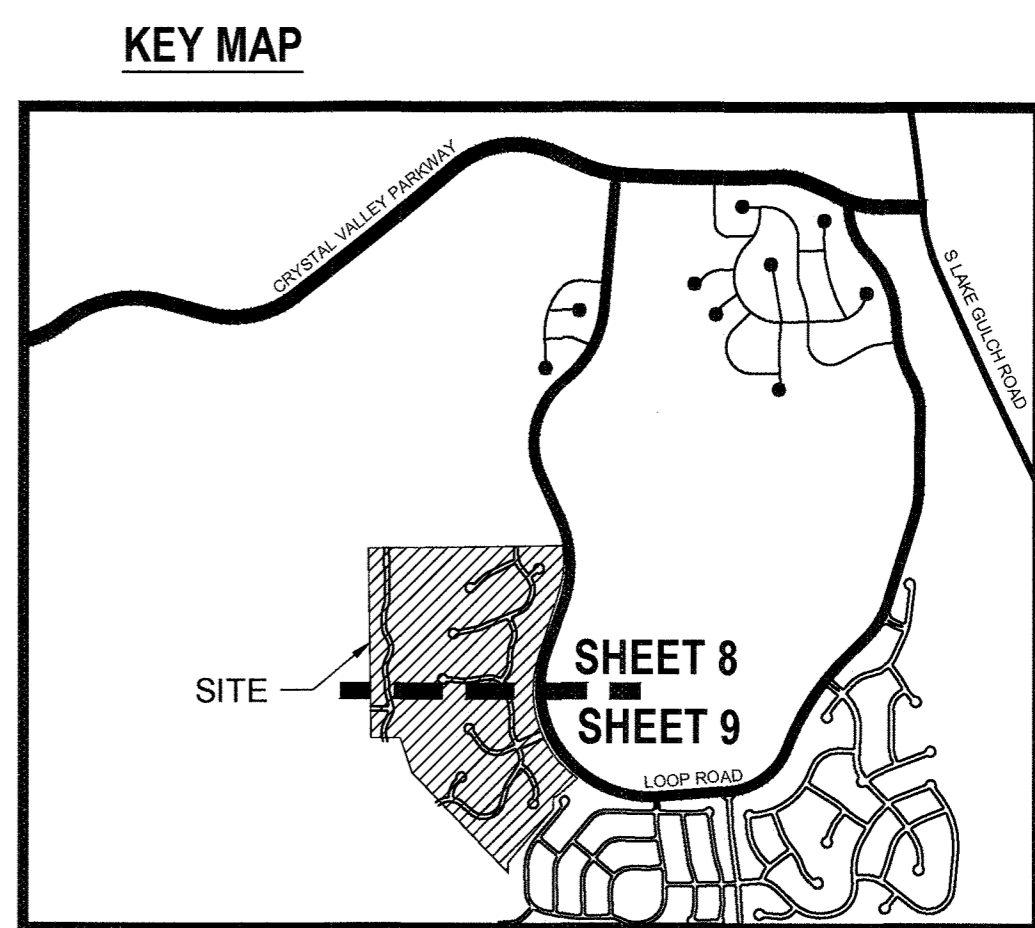
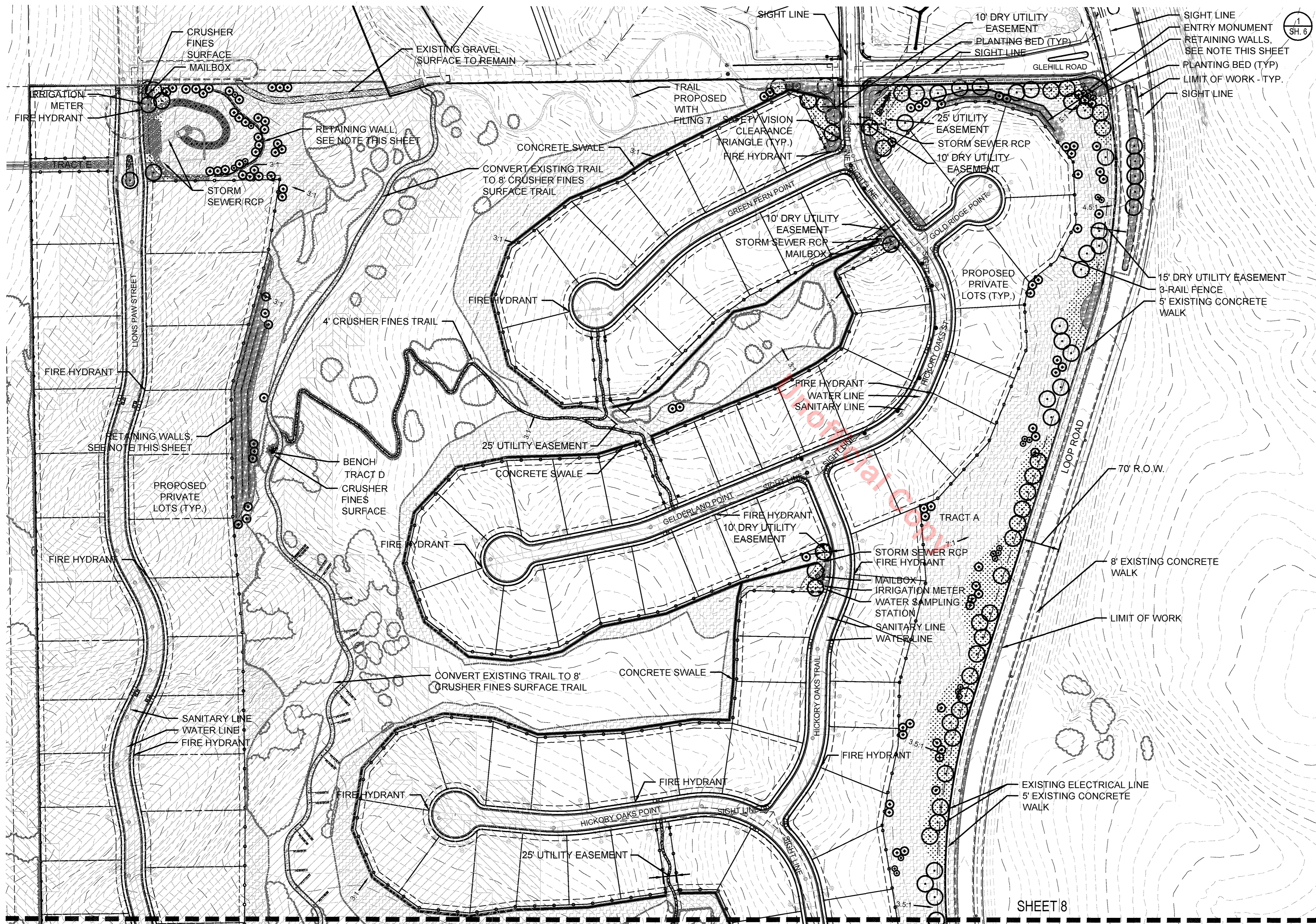
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, OR ENGINEERING APPROVES THEIR USE ONE OR MORE OF THE PURPOSES OF THESE DRAWINGS IS NOT AUTHORIZED BY WRITTEN AUTHORIZATION.

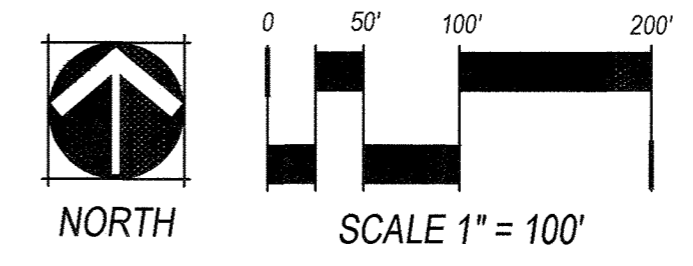
PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

J.R. ENGINEERING
A Westland Company
Centennial 303-740-9393 Colorado Springs
719-593-2593 Fort Collins 970-491-9888
www.jrengineering.com



- ### LEGEND
- RETAINING WALL
 - STEEL EDGER
 - SPADE CUT EDGE
 - CONCRETE TRAIL
 - MATCHLINE
 - 3-RAIL FENCE WITH PILLAR
 - LOW HYDROZONE**
DRIP IRRIGATED SHRUB BED
 - VERY LOW HYDROZONE**
IRRIGATED GRASS SEED MIX
 - NON-IRRIGATED GRASS SEED MIX
 - CRUSHER FINES SURFACE
 - LOCAL RIVER COBBLE, 2-4' DIA.
 - CRUSHER FINES TRAIL
 - EXISTING TREE COVER TO REMAIN
 - EXISTING DECIDUOUS TREE TO REMAIN
 - EXISTING EVERGREEN TREE TO REMAIN
 - PROPOSED CANOPY TREE
 - PROPOSED ORNAMENTAL TREE
 - PROPOSED EVERGREEN TREE
 - PROPOSED MAILBOX KIOSKS
 - PROPOSED BENCH
 - MODERATE SKYLINE
 - MINOR SKYLINE

- ### NOTES:
- PER WALL MANUFACTURER'S SPECIFICATIONS AND DETAILS, PLANTING, INCLUDING TREES, ARE ALLOWED WITHIN GEO-GRID AREAS OF MODULAR BLOCK RETAINING WALLS. PLANTINGS ARE NOT TO EXCEED OR DEVIATE FROM MANUFACTURER'S SPECIFICATIONS AND DETAILS.
 - THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.



I, JOHN W. BIRNEY, P.L.A., AS AN CERTIFIED LANDSCAPE DESIGNER, TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 15-1108. THIS IS VALID THROUGH 06/30/2020. COLORADO LICENSE NUMBER 01805

No.	REVISION	BY	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	EN	DD	JB
			6/18/2020						

CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1
LANDSCAPE CONCEPTUAL PLAN

SHEET 8 OF 12
PROJECT NO. SDP19-0022
JOB NO. 15635.30

CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 25
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 F 303.892.1186



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
 CVRA, LLC
 7200 SOUTH ALTON WAY
 SUITE C 400
 CENTENNIAL, CO 80112
 CONTACT: JERRY RICHMOND
 (303) 267-6195

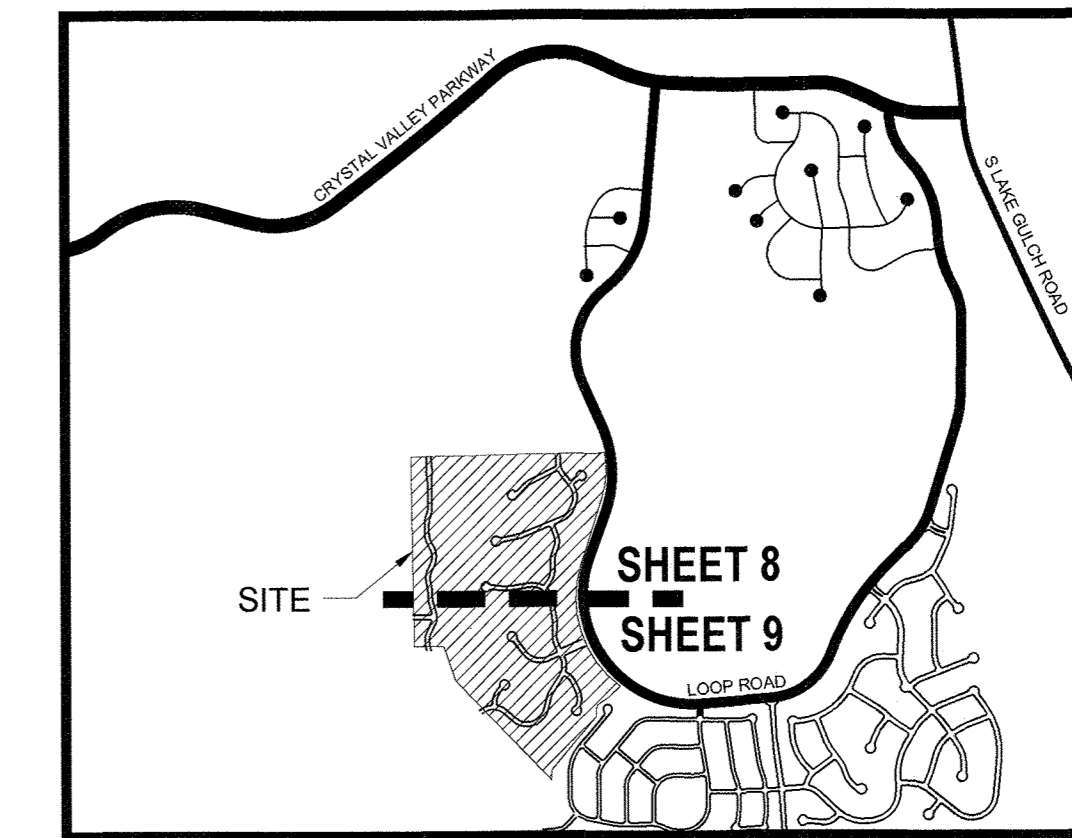
JR ENGINEERING
 A Westman Company

 Centennial 303-740-8393 Colorado Springs 719-593-2593 Fort Collins 970-491-8888
 www.jrengineering.com

SHEET 8

SHEET 9

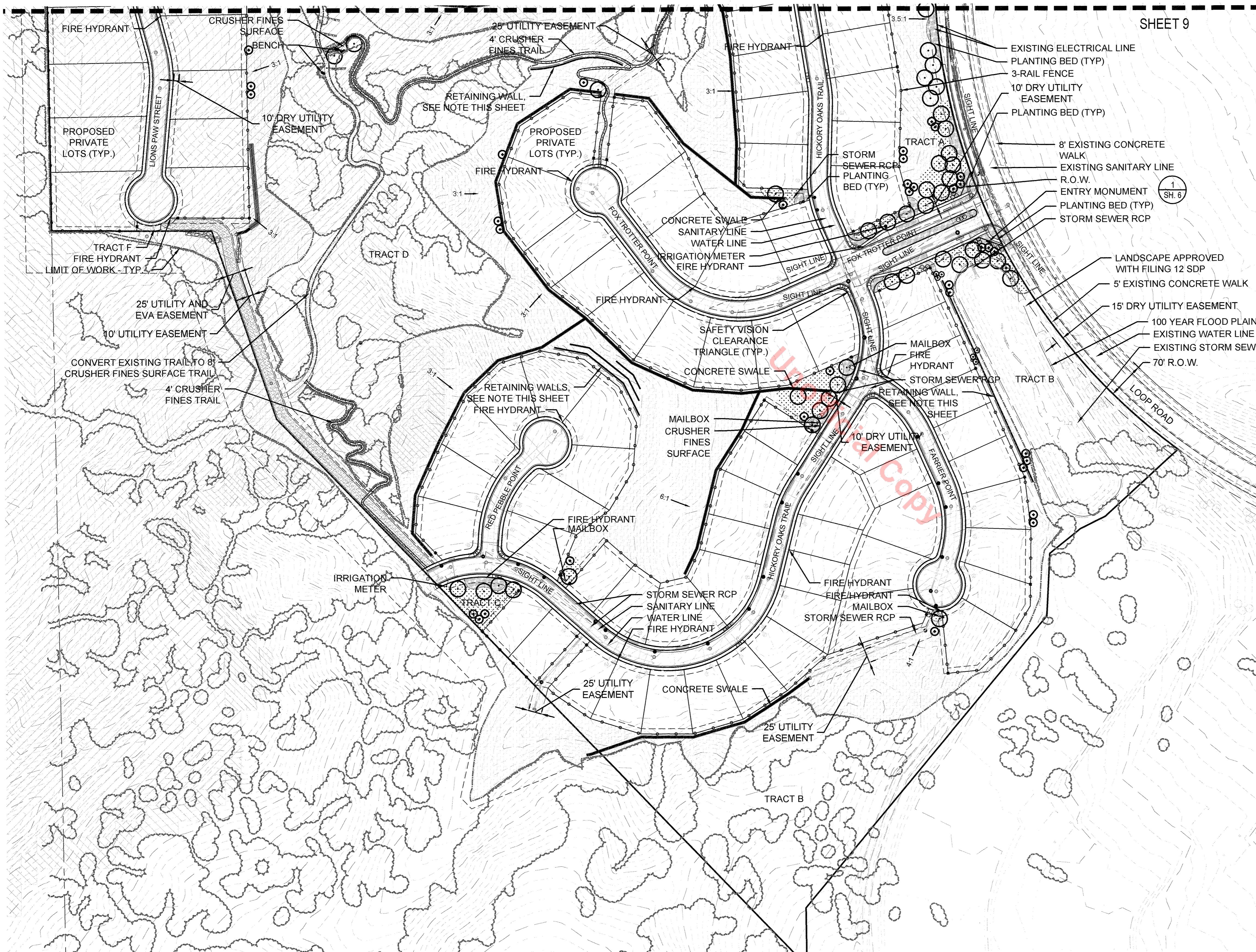
KEY MAP



SCALE: N.T.S.

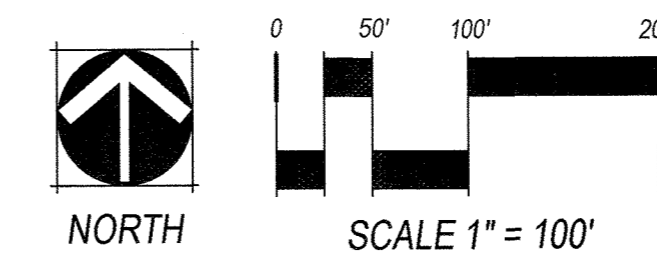
LEGEND

- RETAINING WALL
- STEEL EDGER
- SPADE CUT EDGE
- CONCRETE TRAIL
- LIMIT OF WORK
- MATCHLINE
- 3-RAIL FENCE WITH PILLAR
- LOW HYDROZONE
- DRIP IRRIGATED SHRUB BED
- VERY LOW HYDROZONE
- IRRIGATED GRASS SEED MIX
- NON-IRRIGATED GRASS SEED MIX
- CRUSHER FINES SURFACE
- LOCAL RIVER COBBLE, 2-4" DIA.
- CRUSHER FINES TRAIL
- EXISTING TREE COVER TO REMAIN
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING EVERGREEN TREE TO REMAIN
- PROPOSED CANOPY TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED MAILBOX KIOSKS
- PROPOSED BENCH
- MODERATE SKYLINE
- MINOR SKYLINE



NOTES:

1. PER WALL MANUFACTURER'S SPECIFICATIONS AND DETAILS, PLANTING, INCLUDING TREES, ARE ALLOWED WITHIN GEO-GRID AREAS OF MODULAR BLOCK RETAINING WALLS. PLANTINGS ARE NOT TO EXCEED OR DEVIATE FROM MANUFACTURER'S SPECIFICATIONS AND DETAILS.
2. THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.



I, JOHN M. BIRNEY, P.L.A. AS A LM CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER, TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 15-1128. THIS IS VALID THROUGH 04/30/2020. COLORADO LICENSE NUMBER 12169

John M. Birney

CRYSTAL VALLEY RANCH FILING
 NO. 13 SITE DEVELOPMENT
 PLAN AMENDMENT NO. 1
 LANDSCAPE CONCEPTUAL PLAN

SHEET 9 OF 12
 PROJECT NO. SDP19-0022
 JOB NO. 15635.30

CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 25
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 F 303.892.1186



UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE FOLLOWING AGENCIES OR ENGINEERS ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

COMPOSITE LANDSCAPE WATER USE RATING CHART

LANDSCAPE ZONE	LWUR RATING RANGE
VERY LOW WATER USE	0.0 to 1.5
LOW WATER USE	+1.5 to 3.0
MODERATE WATER USE	+3.0 to 4.5
HIGH WATER USE	+4.5

NOTES: THE LWUR RATING RANGE IS BASED ON POST ESTABLISHMENT WATERING SCHEDULES.

IRRIGATION ZONE	PLANT NAME (COMMON)	APPLICATION RATE (INCHES/MONTH)	LANDSCAPE ZONE	% OF TOTAL AREA	IA (IRRIGATED AREA IN SQ FT FOR EACH ZONE)	LWUR (LANDSCAPE WATER USE RATING)	TOTAL AREA (TA)	CLWUR (LWUR X IA)/TA
DRIP	TREES IN NATIVE *	2.0 in./mo.	LOW	17.2%	34,167	2.0	198,978	0.34
DRIP	SHRUB BED	2.0 in./mo.	LOW	28.9%	57,506	2.0	198,978	0.58
SPRAY ROTORS	IRRIGATED DRYLAND GRASS	1.5 in./mo.	VERY LOW	53.9%	107,305	1.5	198,978	0.81

TOTALS 100 198,978 198,978 1.73

* TREES IN NON-IRRIGATED NATIVE SEED AREAS REQUIRING DRIP IRRIGATION

TOTAL OF THE CLWUR 1.73

LANDSCAPE SUMMARY TABLE

LANDSCAPE TYPE	APPROVED SDP		AMENDED SDP		PERCENT CHANGE
	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	
IRRIGATED TURF	0	0.0%	0	0.0%	0.0%
IRRIGATED DRYLAND GRASS	144,811	12.1%	107,305	9.7%	-25.9%
NON-IRRIGATED DRYLAND GRASS	885,138	74.0%	903,406	82.0%	2.1%
IRRIGATED TREES*	106,107	8.9%	34,167	3.1%	-67.8%
IRRIGATED BED	60,760	5.1%	57,506	5.2%	-5.4%
TOTAL AREA LANDSCAPE	1,196,816	100%	1,102,384	100%	-7.9%

NON-DISTURBED AREAS: N/A

REQUIRED STREETScape TREES/SHRUBS: 4685 LF STREET = 117 TREES / 468 SHRUBS

PROVIDED STREETScape TREES/SHRUBS: 117 TREES / 468 SHRUBS

TOTAL TREES/SHRUBS/GRASSES PROVIDED: 300/ma/na

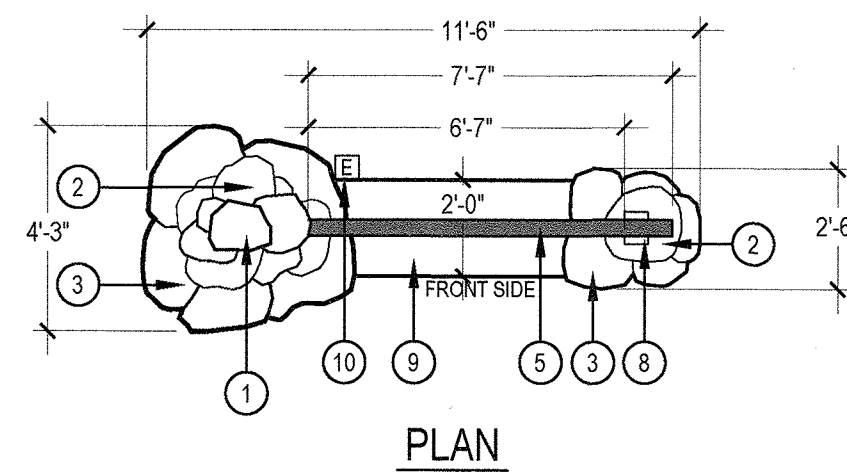
* TREES IN NON-IRRIGATED NATIVE SEED AREAS REQUIRING DRIP IRRIGATION

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES:

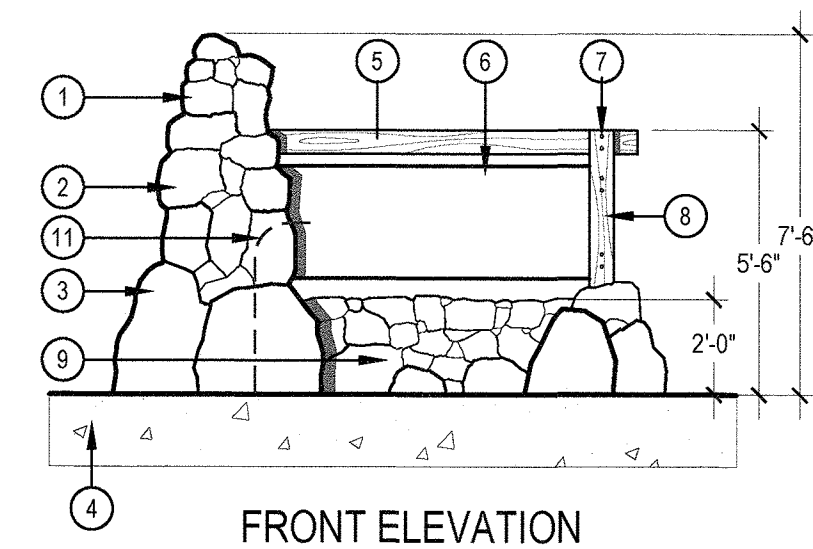
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATE AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, IF APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY THE TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

CONCEPTUAL IRRIGATION STANDARD NOTES:

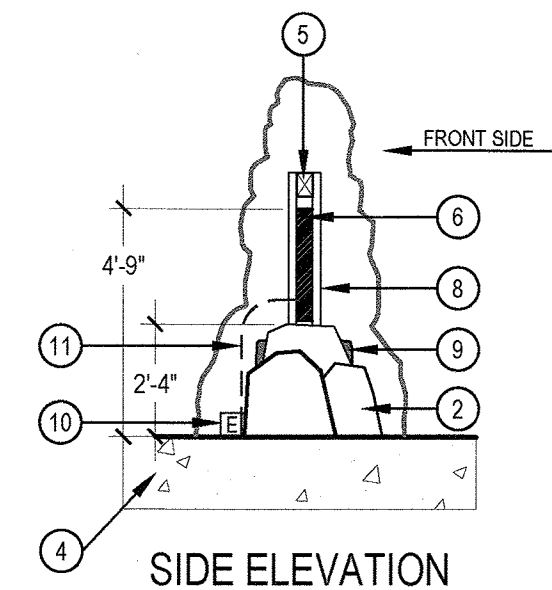
- TREES ARE TO BE IRRIGATED USING SUBSURFACE DRIP EMITTERS
- NATIVE SEED GRASSES THAT ARE IRRIGATED ARE TO USE ROTORS



PLAN



FRONT ELEVATION

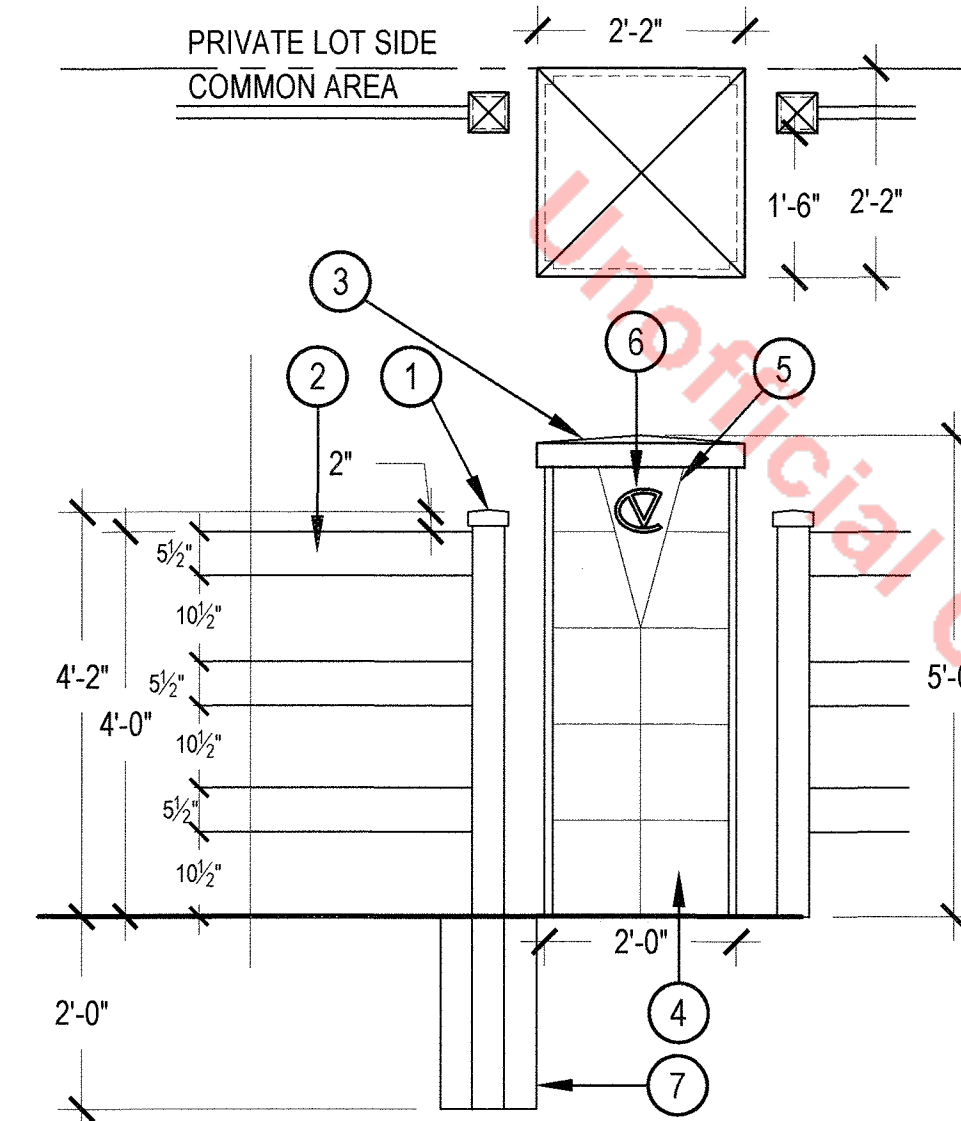


SIDE ELEVATION

1 ENTRY MONUMENT DETAIL

SCALE: 1/4" = 1'-0"

- SMALL BOULDER; APPROX. SIZE 8" HT. X 12" WD. X 12" LG.
- MEDIUM BOULDER; APPROX. SIZE 18" HT. X 14" WD. X 14" LG.
- LARGE BOULDER; APPROX. SIZE 32" HT. X 24" WD. X 24" LG.
- FOUNDATION DESIGN BY CONTRACTOR PER STRUCTURAL ENGINEER RECOMMENDATIONS; SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL
- 4"x6" TREATED CEDAR POST ANCHORED INTO CAIRN
- SIGN CABINET WITH PUSH THROUGH ACRYLIC LETTERING.
- (6) 3/4" GALVANIZED ANCHOR BOLTS; COUNTERSUNK
- (2) 2"x6" TREATED CEDAR POSTS ANCHORED INTO CONCRETE FOOTER WITHIN BOULDER CAIRN
- 24" WD. SIGN PANEL LEDGE WALL CONSTRUCTED WITH SMALL & MEDIUM BOULDERS TO MATCH CAIRN
- GFI QUAD BOX, WEATHER PROOFED
- PROVIDE ELECTRIC SERVICE FOR INTERNALLY LIT CABINET



2 ORNAMENTAL COLUMN / POST FENCE

SCALE: 1/2" = 1'-0"

- 5" X 5" X 84" CAPPED PVC POSTS @ 8' O.C.
 - 5-1/2" X 1-1/2" X 16" PVC RAILS
 - PRECAST CONCRETE CAP TO MATCH EXISTING ON SITE
 - SANDBLASTED CRYSTAL VALLEY EXISTING ON SITE
 - ACCENT V SHALL BE LYONS RED SANDSTONE DARKER THAN OTHER STONE PIECES FOR CONTRAST
 - SANDBLASTED CRYSTAL VALLEY LOGO AT OWNERS DISCRETION IN KEY VISIBLE AREAS
 - CONCRETE FOOTER BY OTHERS
- NOTES:
 1. MATCH ALL EXISTING DIMENSIONS IN FIELD
 2. FENCE MUST MATCH EXISTING LOCATED ON FILING NO. 1.

PREPARED FOR
 CVRA, LLC
 7200 SOUTH ALTON WAY
 SUITE C 400
 CENTENNIAL, CO 80112
 CONTACT: JERRY RICHMOND
 (303) 267-6195

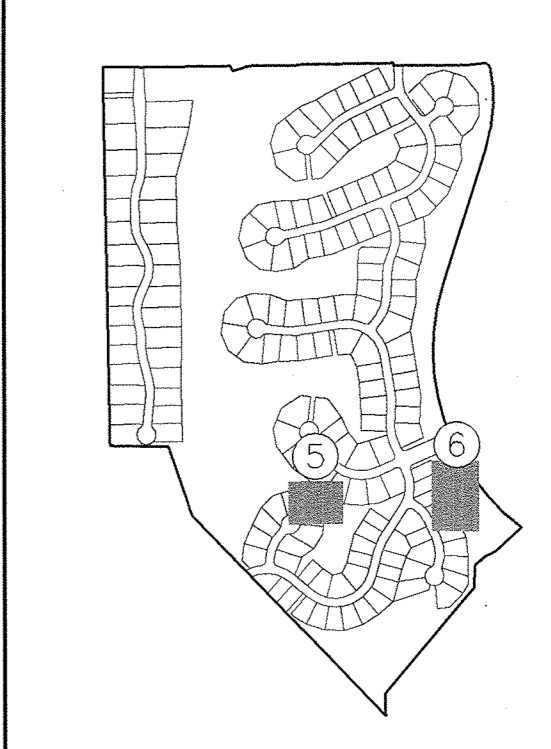
J.R. ENGINEERING
 A Westban Company
 Centennial 303-740-9393
 Colorado Springs 719-593-2593
 Fort Collins 970-491-9888
 www.jrengineering.com

No.	REVISION	BY	DATE

CRYSTAL VALLEY RANCH FILING
 NO. 13 SITE DEVELOPMENT
 PLAN AMENDMENT NO. 1
 LANDSCAPE WATER USE CHARTS

CRYSTAL VALLEY RANCH FILING NO. 13 SITE DEVELOPMENT PLAN AMENDMENT NO. 1

A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 25
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

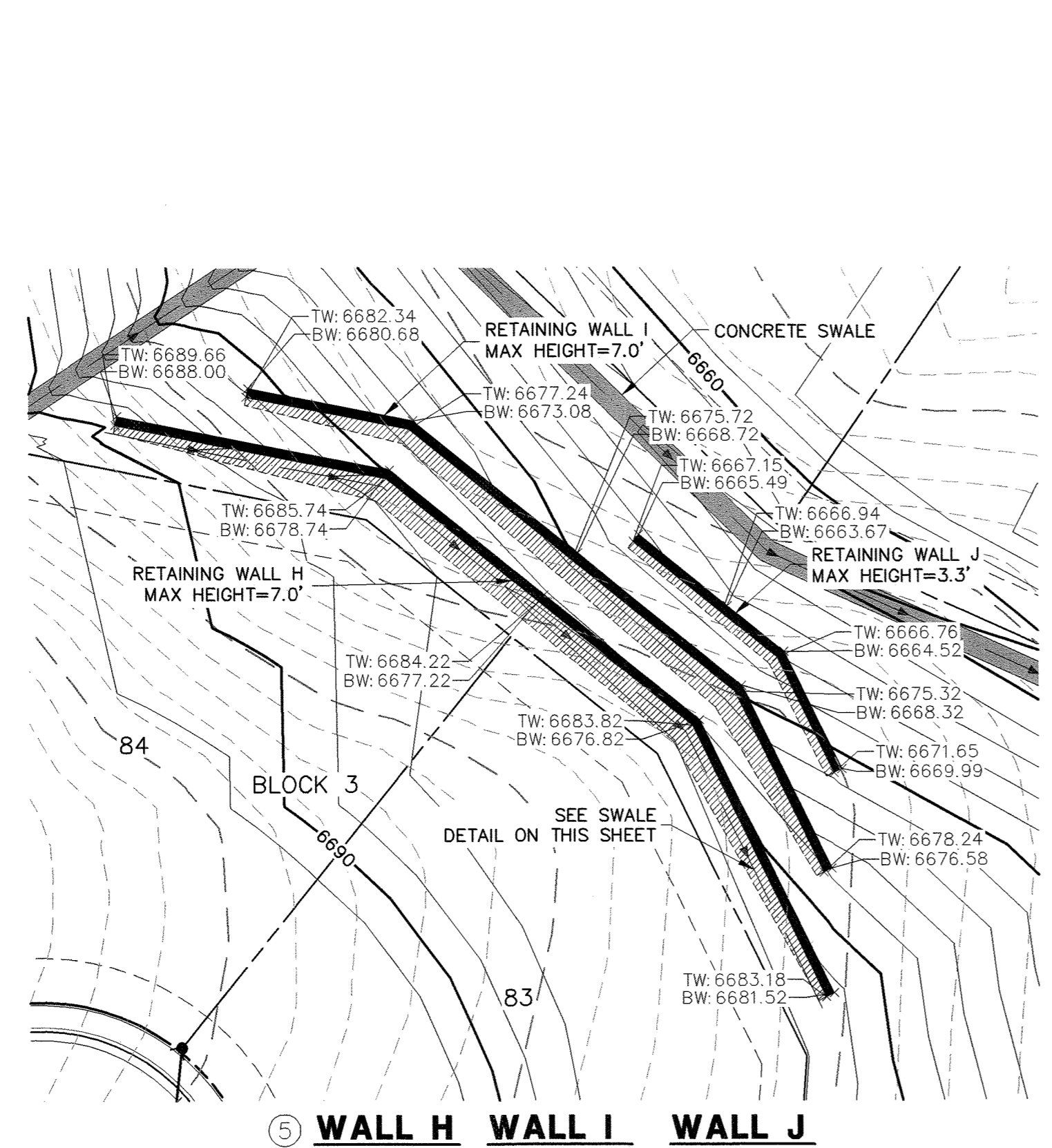


KEY MAP
SCALE 1"=1000'

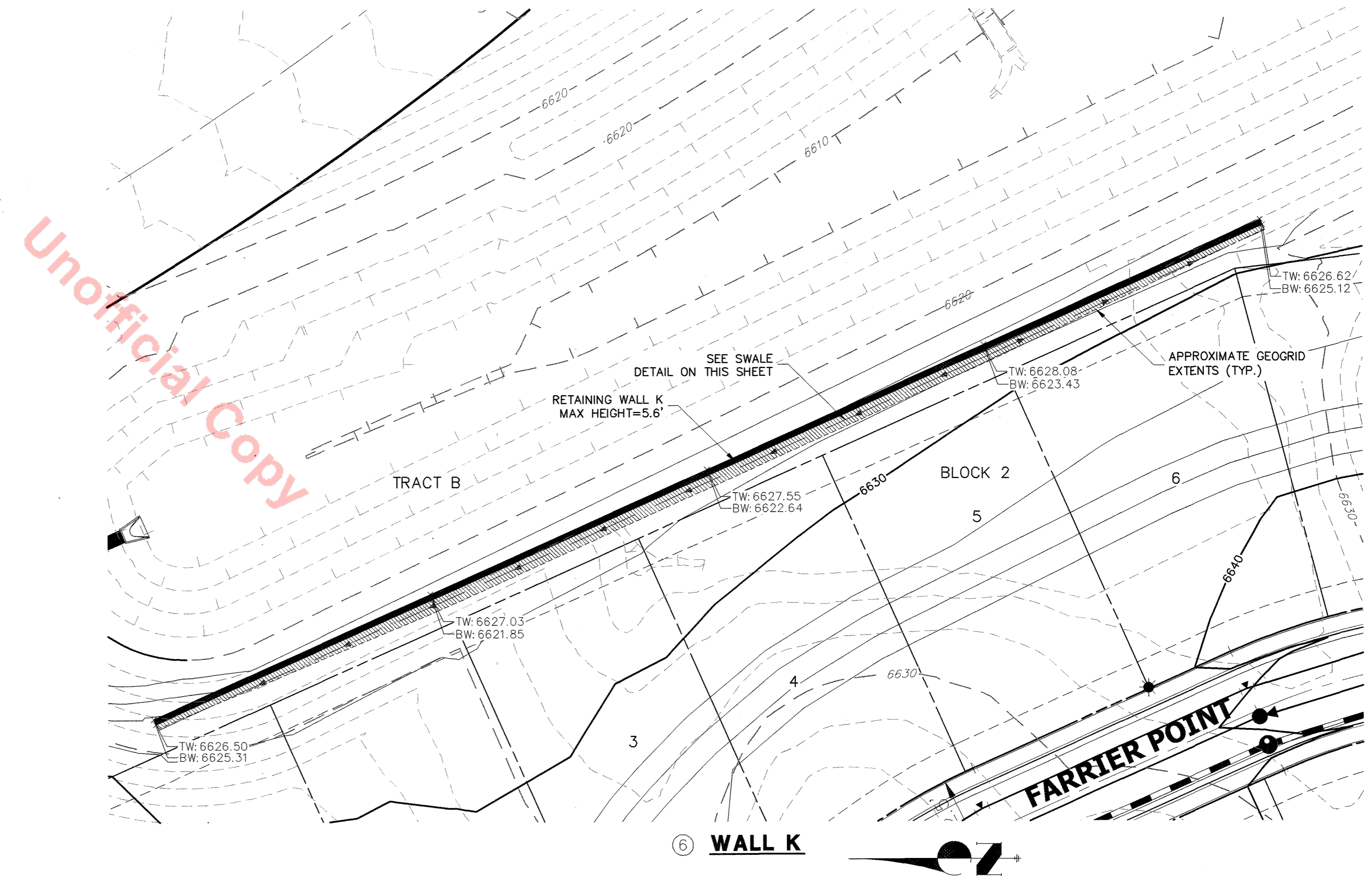
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, JR ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

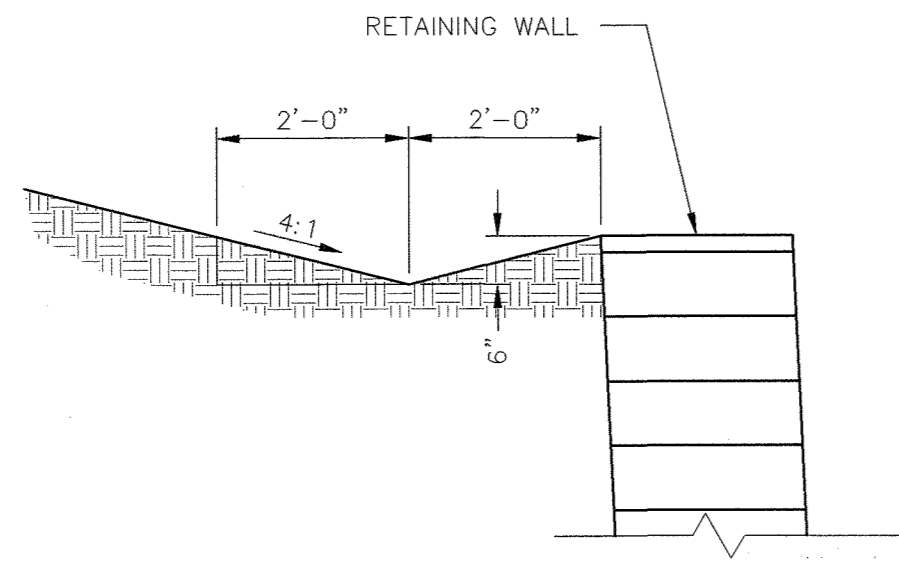
J.R. ENGINEERING
A Westman Company
Centennial 305-740-8888 • Colorado Springs 719-589-2588
Fort Collins 970-489-8888 • www.jrengineering.com



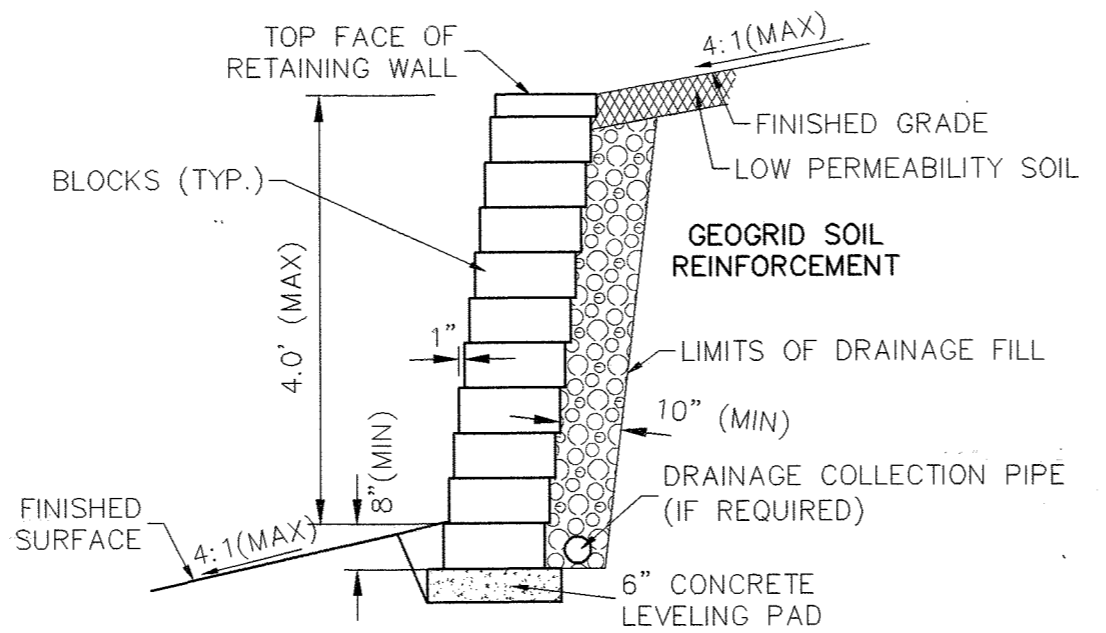
WALL H WALL I WALL J



WALL K



SWALE AT RETAINING WALL
SCALE: 1"=4'



RETAINING WALL
NOT TO SCALE

- NOTES:**
1. WALLS GREATER THAN 4' FROM BOTTOM OF FOOTING TO TOP OF WALL REQUIRE A SEPARATE SUBMITTAL FOR A BUILDING PERMIT. CONTACT THE BUILDING DEPARTMENT FOR WALL PERMIT REQUIREMENTS.
 2. RETAINING WALLS WILL REQUIRE 3RD PARTY INSPECTION.
 3. BW INDICATES BOTTOM OF WALL FINISHED GRADE SHALL BE 1.0' ABOVE BW.
 4. PER WALL MANUFACTURER'S SPECIFICATIONS AND DETAILS, PLANTINGS, INCLUDING TREES, ARE ALLOWED WITHIN GEO-GRID AREAS OF MODULAR BLOCK RETAINING WALLS. PLANTINGS ARE NOT TO EXCEED OR DEVIATE FROM MANUFACTURER'S SPECIFICATIONS AND DETAILS.
 5. RETAINING WALLS SHALL BE ANCHOR DIAMOND PRO MSE BLOCK, COLOR SOUTH FORK OR APPROVED EQUAL.

BT	DATE	No.	REVISION	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
				1"=30'	N/A	6/18/20	JAP	CGM	

CRYSTAL VALLEY RANCH FILING
NO. 13 SITE DEVELOPMENT
PLAN AMENDMENT NO. 1
RETAINING WALL PLAN