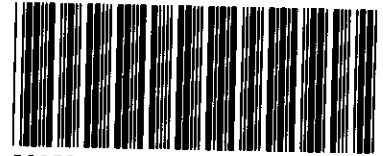


OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$91.00
10 PGS

2006042425
05/19/2006 02:40 PM



2006042425 10 PGS

PLAT IDENTIFICATION SHEET

Maple Grove Land Limited Partnership
Putnam, Richard A.
Wayne E. Brown Family, L.L.C.

Grantor (owner)

Grantor (owner)

UNOFFICIAL COPY
Crystal Valley Ranch 6 Preliminary Plat/Final PD Site Plan

Grantee (name of plat or condo)

Grantee (name of plat or condo)

Subdivision Info: Crystal Valley Ranch Filing: 6

Condo Info: Phase _____ Bldg _____ Unit _____

23

8

67

Section

Township

Range

Cross Reference numbers: (reception #s or book and page)

2004104297

2004040355

LEGAL DESCRIPTION

An irregular parcel of land lying in the Southeast Quarter of Section 23, Township 8 South, Range 67 West of the 6th Principal Meridian, County of Douglas, State of Colorado, more particularly described as follows:

Beginning at the point of intersection of the West line of the Southeast Quarter of said Section 23 and the North right-of-way line of Crystal Valley Parkway as recorded at Reception Number 02037509, Douglas County Records;
 thence along the West line of said Southeast Quarter N00°15'45"W, 1007.41 feet;
 thence N89°44'15"E, 285.92 feet;
 thence S41°57'13"E, 256.75 feet;
 thence N84°23'48"E, 146.43 feet;
 thence S59°55'14"E, 217.08 feet;
 thence S01°21'55"E, 186.46 feet;
 thence S47°30'41"E, 246.50 feet;
 thence N87°11'04"E, 155.78 feet;
 thence S18°34'11"E, 87.66 feet;
 thence S20°10'51"W, 63.33 feet;
 thence S53°43'46"E, 187.33 feet;
 thence N14°41'04"E, 130.38 feet;
 thence N81°56'48"E, 220.27 feet;
 thence N45°52'15"E, 160.79 feet;
 thence N61°51'41"E, 266.82 feet;
 thence S39°23'35"E, 150.00 feet;
 thence N50°36'25"E, 165.00 feet;
 thence S39°23'35"E, 50.00 feet;
 thence S50°36'25"W, 78.14 feet;
 thence S39°23'35"E, 50.00 feet;
 thence N50°36'25"E, 17.66 feet to a point of curve;
 thence along the arc of said curve to the right having a radius of 50.00 feet and a central angle of 89°53'34", 78.45 feet;
 thence S39°30'01"E, 11.25 feet to a point on the North right-of-line of said Crystal Valley Parkway;
 thence along the North right-of-way of said Crystal Valley Parkway the following five (5) courses:

1. S05°29'59"W, 33.94 feet;
2. S50°29'59"W, 542.25 feet to a point of curve;
3. thence along the arc of said curve to the right having a radius of 934.00 feet and a central angle of 55°07'40", 898.66 feet to a point of tangent;
4. thence along said tangent N74°22'21"W, 549.07 feet to a point of curve;
5. thence along the arc of said curve to the left having a radius of 1066.00 feet and a central angle of 22°08'19", 411.89 feet to the POINT OF BEGINNING, containing 1,357,074 square feet or 31.154 acres, more or less.

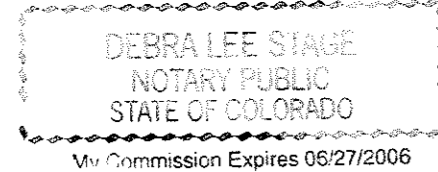
OWNERSHIP CERTIFICATION:

THE UNDERSIGNED IS THE OWNER OF CERTAIN LANDS KNOWN HEREIN AS THE CRYSTAL VALLEY RANCH FILING NO. 6 PD IN THE TOWN OF CASTLE ROCK.

MAPLE GROVE LAND LIMITED PARTNERSHIP,
 A MINNESOTA LIMITED PARTNERSHIP
 7808 CREEKEDGE CIRCLE, BLOOMINGTON, MN. 55439

BY: CRAIG C. EVERETT, COMPANY,
 A MINNESOTA CORPORATION, GENERAL PARTNER
 BY: CRAIG C. EVERETT, PRESIDENT

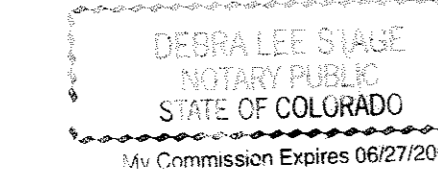
SUBSCRIBED AND SWORN TO BEFORE ME THIS 2ND DAY OF AUGUST, 2005
 WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES: 06-27-06
 Debra Lee Stage
 NOTARY PUBLIC



RICHARD A. PUTNAM
 2765 CASCO POINT ROAD, WAYZATA, MN. 55391

BY: Richard A. Putnam
 RICHARD A. PUTNAM

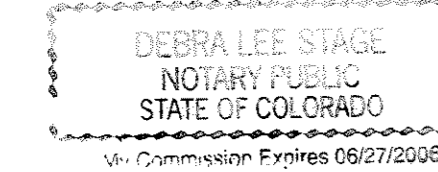
SUBSCRIBED AND SWORN TO BEFORE ME THIS 2ND DAY OF AUGUST, 2005
 WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES: 06-27-06
 Debra Lee Stage
 NOTARY PUBLIC



WAYNE E. BROWN FAMILY, L.L.C.,
 A MINNESOTA LIMITED LIABILITY COMPANY
 10200 WILD DUCK PASS, EDEN PRAIRIE, MN. 55347

BY: Gregory R. Brown
 GREGORY R. BROWN, MANAGER

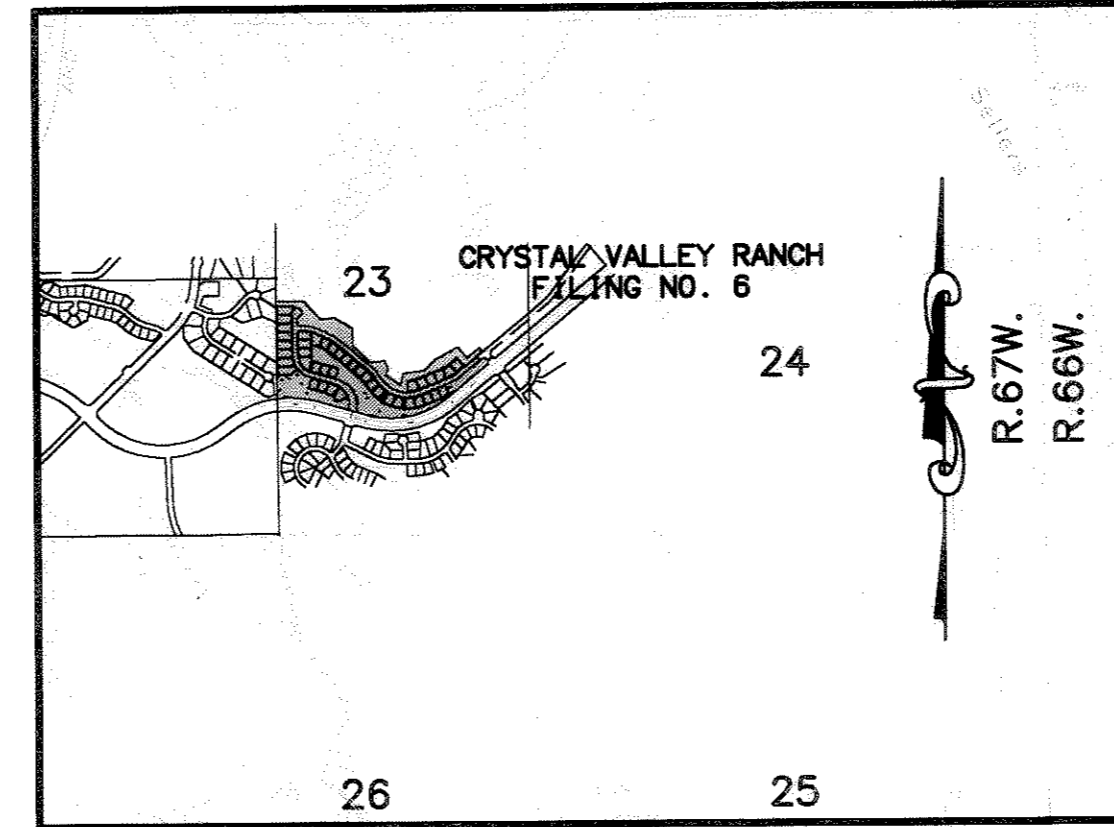
SUBSCRIBED AND SWORN TO BEFORE ME THIS 2ND DAY OF AUGUST, 2005
 WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES: 06-27-06
 Debra Lee Stage
 NOTARY PUBLIC



CRYSTAL VALLEY RANCH FILING NO. 6

A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 23,
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT & FINAL PD SITE PLAN SHEET 1 OF 9



VICINITY MAP
 Scale: 1" = 2000'

PROJECT BENCHMARK:

FOUND 3 1/2" ALUMINUM CAP DOUGLAS COUNTY GIS 3.025011. THE CAP IS LOCATED AT THE NORTHWEST CORNER OF A TYPE 'R' INLET ALONG EMERALD DRIVE, APPROXIMATELY 1/4 MILE SOUTH OF PLUM CREEK PARKWAY. NAVD 88 ELEV. = 6374.18 FEET (1942.85 METERS)

FLOODPLAIN:

NO MAPPED FLOODPLAIN IS CONTAINED WITHIN CRYSTAL VALLEY RANCH FILING NO. 6

CASTLE ROCK NOTES:

1. THE TOWN REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVIDER'S AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
2. THIS PROJECT WILL DEVELOP WITHIN AN AREA OF STEEP GRADES AND MATURE EVERGREEN TREES OR GAMBEL OAK RESULTING IN THE POTENTIAL FOR FIRE AFFECTING BOTH HOMES AND FOREST. THE HOMEOWNER SHALL WORK WITH WILDLAND MITIGATION OFFICER, TO DEVELOP A SAFE AREA AROUND HOMES AND STRUCTURES.

SHEET INDEX

1	OF	9	COVER SHEET	Prepared by: Legacy Engineering Inc. 4217 East Devine Place, Centennial, CO 80122 720.200.4977 www.legacyengineering.com 720.533.1000 f
2	OF	9	STREET SECTIONS & SITE DATA	
3	OF	9	PRELIMINARY PLAT	
4	OF	9	GRADING PLAN	
5	OF	9	UTILITY PLAN	
6	OF	9	PLANTING AND FENCING PLAN	Prepared by: Rockne Corty Design
7	OF	9	LANDSCAPE SPECIFICATIONS AND DETAILS	
8	OF	9	CONCEPT IRRIGATION PLAN	
9	OF	9	IRRIGATION SPECIFICATIONS AND DETAILS	

DEVELOPER:

CRYSTAL VALLEY RANCH DEVELOPMENT CO.
 823 SOUTH PERRY STREET, SUITE 210
 CASTLE ROCK, COLORADO 80104
 CONTACT: BYRON J. GLENN
 PHONE: (303) 814-6862

PLANNER:

MANHARD CONSULTING LTD.
 8232 EAST PARK MEADOWS DRIVE
 LITTLETON, COLORADO 80124
 CONTACT: TIM NELSON
 PHONE: (303) 708-0500

SURVEYOR:

EMK CONSULTANTS, INC.
 7006 SOUTH ALTON WAY
 BUILDING F
 CENTENNIAL, COLORADO 80112
 PHONE: (303) 694-1520

LANDSCAPE ARCHITECT:

ROCKNE CORTY DESIGN
 POST OFFICE BOX 3354
 CENTENNIAL, COLORADO 80161
 CONTACT: DOUG ROCKNE
 PHONE: (303) 770-6746

NO.	REVISIONS	DATE	BY
1	SUBMITTAL COMMENTS	12-17-04	JJM
2	SUBMITTAL COMMENTS	3-18-05	JJM
3	SUBMITTAL COMMENTS	4-19-05	JJM

CASTLE ROCK NOTES (CONTINUED):

3. THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE ARE SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOME OWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN. FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIME OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
4. ANY STREET SIGNS, STRIPING, AND STREETLIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CDS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK 'WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY', AS AMENDED FROM TIME TO TIME, FOR THE PROJECT.
6. APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
7. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, CABLE TV LINES, FIBER OPTIC LINES, AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
8. NO SOLID OBJECT EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS, SHALL BE PLACED IN A SIGHT DISTANCE EASEMENT AS SHOWN ON THIS PLAT. TREES WITH DIAMETER NO GREATER THAN TWELVE (12) INCHES AND A BRANCHING HEIGHT NO LESS THAN EIGHT (8) FEET WILL BE ALLOWED IN A SIGHT DISTANCE EASEMENT AS LONG AS IT CAN BE DEMONSTRATED THAT THESE TREES WILL NOT NEGATIVELY IMPACT THE VEHICULAR SIGHT DISTANCE AT THE INTERSECTION.
9. ALL EASEMENTS SHALL BE DEDICATED WITH FINAL PLATS.

TITLE CERTIFICATION:

EMK CONSULTANTS, INC., AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIEN HOLDER SUBORDINATION CERTIFICATE.

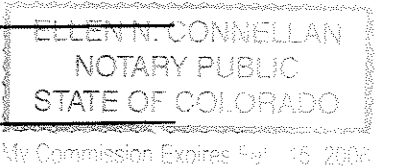
SIGNED THIS 23RD DAY OF August, 2005

Debra Lee Stage
 AUTHORIZED REPRESENTATIVE
 LAND TITLE GUARANTEE COMPANY

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23RD DAY OF August, A.D. 2005, BY Debra Lee Stage, Blagomir of LAND TITLE GUARANTEE COMPANY.

WITNESS MY HAND AND SEAL, NOTARY PUBLIC
 1400 E. 116th Avenue #500
 ADDRESS Aurora, CO 80014

MY COMMISSION EXPIRES: 2/5/06



SURVEYOR'S STATEMENT:

I, Jon S. McDaniel, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT THE GRAPHIC BOUNDARY DEPICTED ON THIS PRELIMINARY PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE OFFICIALLY RECORDED LEGAL DESCRIPTION. FURTHERMORE, I DO HEREBY ATTEST THAT THIS PRELIMINARY PLAT IS IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK AND STATE OF COLORADO LAND SUBDIVISION REGULATIONS.

Jon S. McDaniel
 7-26-05
 DATE

TOWN CERTIFICATION:

A. PLANNING COMMISSION RECOMMENDATION:

THE PRELIMINARY PLAT AND FINAL PD SITE PLAN FOR CRYSTAL VALLEY RANCH FILING NO. 6 WERE RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 21ST DAY OF MAY, 2005.

CHAIRMAN DATE 1-12-06
 ATTEST: [Signature] 1-12-06
 DIRECTOR OF DEVELOPMENT SERVICES DATE

B. TOWN COUNCIL APPROVAL:

THE PRELIMINARY PLAT AND FINAL PD SITE PLAN AND ZONING REGULATIONS FOR CRYSTAL VALLEY RANCH FILING NO. 6, WERE APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 26TH DAY OF June, 2005.

MAYOR DATE 2-7-06
 ATTEST: [Signature] 2-7-06
 TOWN CLERK DATE

DOUGLAS COUNTY CLERK AND RECORDERS CERTIFICATE:

STATE OF COLORADO)
 COUNTY OF DOUGLAS)

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THE 19TH DAY OF May, 2006 AT 2:40 O'CLOCK P.M. AND WAS RECORDED

NUMBER 200604295
 Douglas County Clerk and Recorder

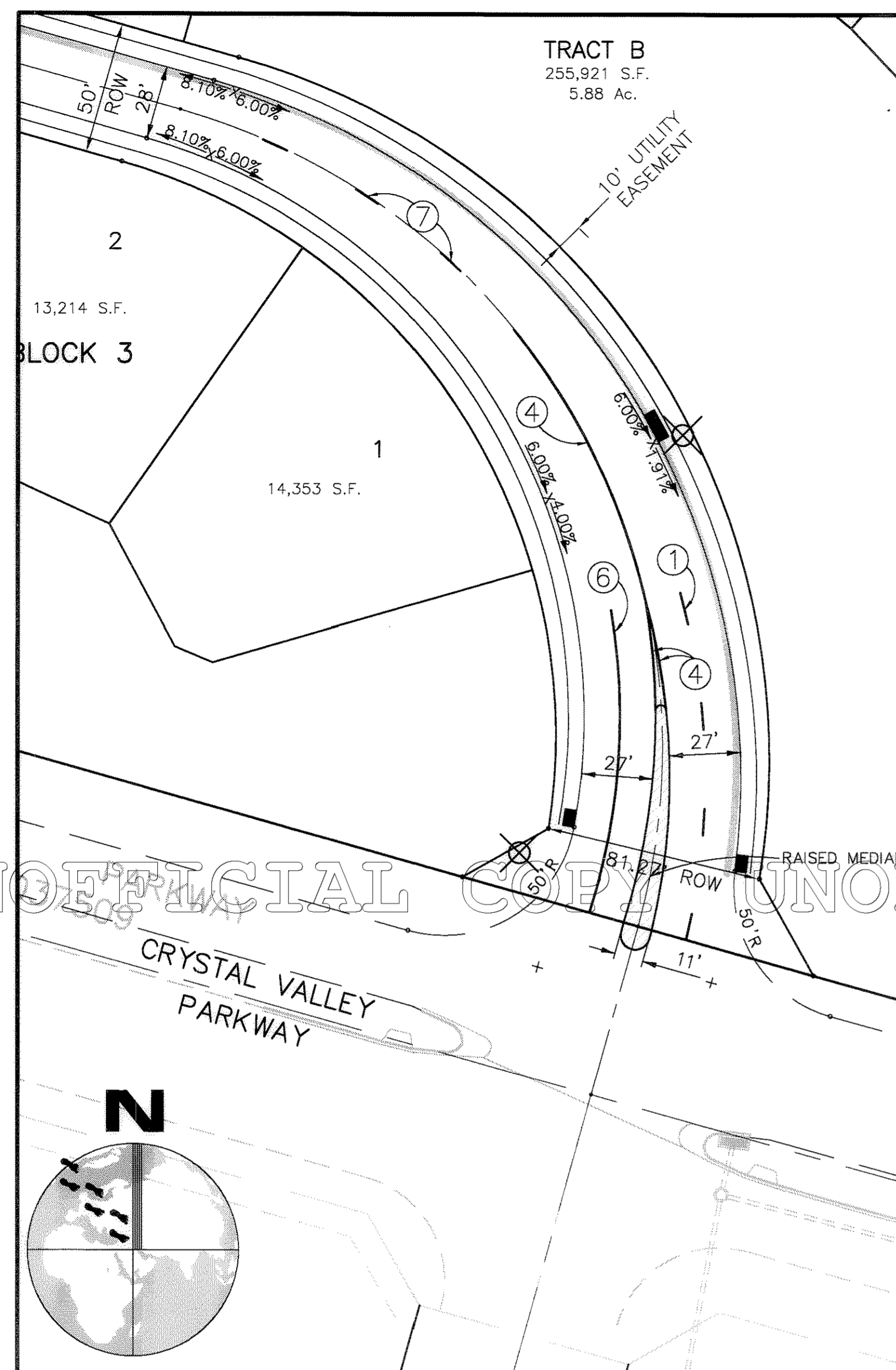


COVER SHEET
 CRYSTAL VALLEY RANCH FILING NO. 6
 PRELIMINARY PLAT & FINAL PD SITE PLAN
 SHEET 1 OF 9

CRYSTAL VALLEY RANCH FILING NO. 6

A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 23
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT & FINAL PD SITE PLAN SHEET 2 OF 9



PRELIMINARY ENTRANCE STRIPING (1"=40')

TRAFFIC STRIPING

- ① ---LANE LINE---BROKEN WHITE --- 5" WIDE, 10' SEGMENTS W/ 30' GAPS
- ② ---STOP LINE---SOLID WHITE --- 24" WIDE
- ③ ---CROSSWALK---SOLID WHITE --- 12" WIDE
- ④ ---MEDIAN---DOUBLE YELLOW --- 5" WIDE
- ⑤ ---EDGE LINE---SOLID WHITE --- 4" WIDE
- ⑥ ---CHANNELIZING---SOLID WHITE --- 10" WIDE
- ⑦ ---CENTERLINE---BROKEN YELLOW --- 6" WIDE, 10' SEGMENTS W/ 30' GAPS
- ⑧ ---EXISTING STRIPING TO BE REMOVED
(Acceptable methods include Burning, Blasting or Grinding)

SUMMARY TABLE (PA-1)

TRACT	Ac.	OWNERSHIP / MAINTENANCE	USAGE	USAGE TYPE
TRACT "A"	5.66	THE CRYSTAL VALLEY RANCH FIL. NO. 6 HOMEOWNERS ASSOCIATION	PRIVATE	UTILITIES/DRAINAGE/LANDSCAPING
TRACT "B"	5.88	THE CRYSTAL VALLEY RANCH FIL. NO. 6 HOMEOWNERS ASSOCIATION	PRIVATE	UTILITIES/DRAINAGE/LANDSCAPING
TRACT "C"	2.86	THE CRYSTAL VALLEY RANCH FIL. NO. 6 HOMEOWNERS ASSOCIATION	PRIVATE	UTILITIES/DRAINAGE/LANDSCAPING
TOTAL	14.40			

NOTE: PRIVATE OPEN SPACE TRACTS CAN BE USED FOR UTILITY AND DRAINAGE PURPOSES. REFER TO LANDSCAPE PLANS FOR SPECIFIC TRACT LANDSCAPING TREATMENT.

SITE DATA

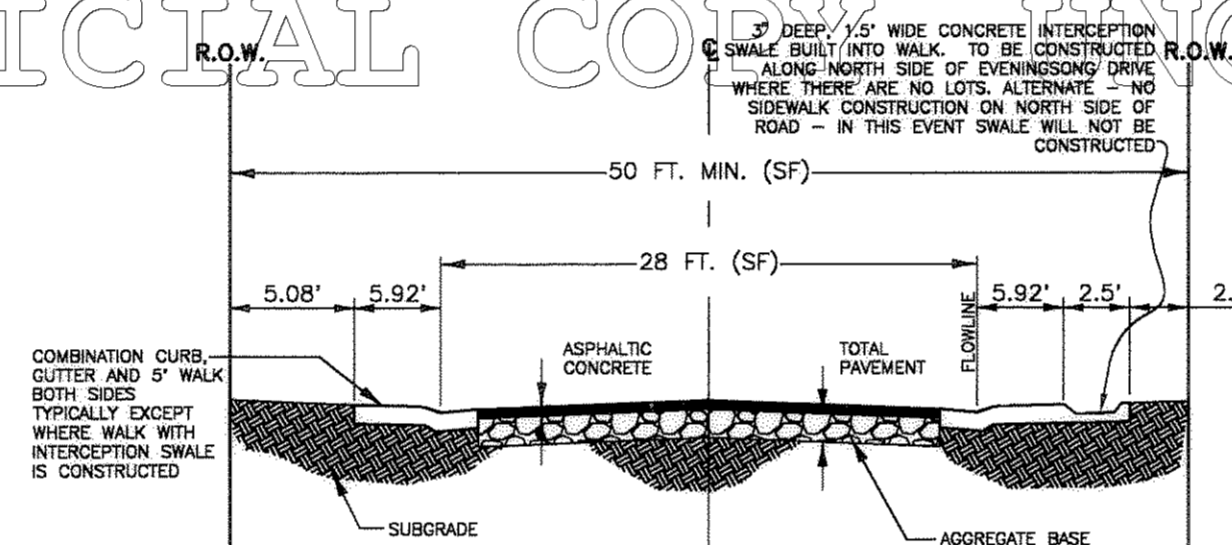
LAND AREA	31.15
NO. OF LOTS	42
NO. OF UNITS	42 S.F. DETACHED
NO. OF SFE'S	42 SFE'S
GROSS DENSITY (UNITS/AC.)	1.3 DU/AC
LAND USE	SINGLE FAMILY RESIDENTIAL/OPEN SPACE
BUILDING TYPE	11-N
ROADWAY AREA	4.50
NET DENSITY	1.6 DU/AC
MINIMUM LOT AREA	10,093 S.F.
MAXIMUM LOT AREA	17,124 S.F.
AVERAGE LOT AREA	12,707 S.F.
MINIMUM BUILDING SEPARATION	15'
MAXIMUM BUILDING HEIGHT	35'
MINIMUM BUILDING SETBACKS	
FRONT	20'
REAR	15'
SIDE	5**'
SIDE ADJACENT TO RIGHT-OF-WAY (CORNER LOTS)	15'

** 15' MINIMUM DISTANCE BETWEEN STRUCTURES

ZONE DISTRICT	FILING NO. 6
RSF-6	PA-1
S.F. LOTS	12.25 AC.
ROW	4.50 AC.
OPEN SPACE LANDSCAPING	14.40 AC.
OSD	-0-
PLD	-0-
TOTAL	31.15 AC.

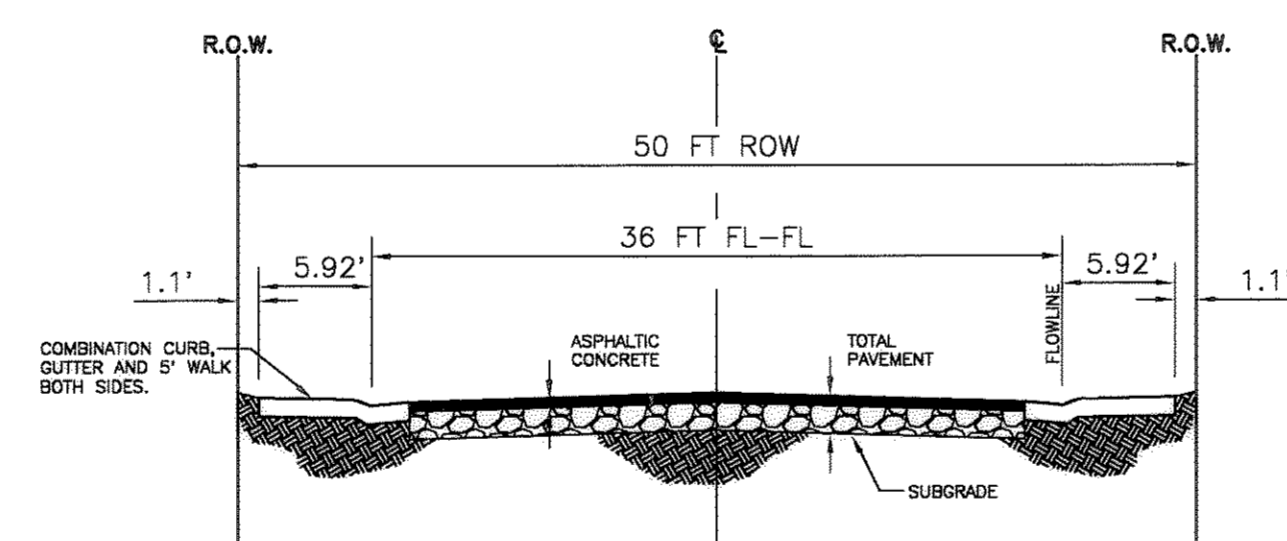
NOTES:

- SURFACED ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAVE BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT.
- ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND SERVICEABLE PRIOR TO AND DURING ALL CONSTRUCTION.
- RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, AND ON ALL THROUGH AND ANY AND ALL PRIVATE ROADS AND DRIVES.
- ALL ROADS AND DRIVES ARE HEREBY DESIGNATED AS FIRE LANES WHEN REQUIRED BY THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT. ALL FIRE LANES SHALL BE POSTED "NO PARKING FIRE LANES".
- COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE TOWN OF CASTLE ROCK FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.
- TEMPORARY INGRESS/EGRESS CONNECTIONS TO THE EXISTING SOUTH HALF OF CRYSTAL VALLEY PARKWAY WILL BE CONSTRUCTED AND UTILIZED UNTIL THE NORTH HALF OF CRYSTAL VALLEY PARKWAY IS CONSTRUCTED.
- ALL EXTERIOR LANDSCAPING SHALL CONFORM TO THE FOLLOWING:
 - Xeric Principles of design:
 - Plans use areas, consider slopes (terrace, use shrubs/perennials, no turf) and narrow strips (mulch, shrubs/perennials, no turf)
 - Locate plants with similar water needs together
 - Efficient irrigation technologies
 - Use organic mulch to hold moisture in soil
 - Prepare soil (4 cubic yards/1,000 square feet, tilled 6" deep)
 - Plant Material
 - No more than 3,000 square foot of high water use turf
 - Plant materials appropriate for semi-arid climate, including native and drought tolerant/resistant varieties
 - Maintain high percentage of living materials in landscaped area (75-80 %)
 - Irrigation
 - No overhead irrigation
 - Real Time Evapo-transpiration Based Irrigation Controllers
 - Hydro-zoning
 - Check valves on heads to reduce weeping
 - Irrigation audit prior to approval, ensuring meets minimum 80 % efficiency



LOCAL STREET TYPICAL CROSS SECTION

NOTE:
"NO PARKING FIRE LANE" SIGNS MUST BE POSTED BY THE DEVELOPER ON BOTH SIDES OF ACCESS ROADWAYS LESS THAN 28 FEET WIDE AND ON ONE SIDE OF ACCESS ROADWAYS 28 FEET OR GREATER BUT LESS THAN 34 FEET WIDE, PER CASTLE ROCK FIRE DEPARTMENT "NO PARKING FIRE LANE" SPECIFICATION DETAIL.



LIONS PAW STREET TYPICAL CROSS SECTION

NO.	REVISIONS	DATE	BY
1	SUBMITTAL COMMENTS	12-17-04	JJM
2	SUBMITTAL COMMENTS	3-18-05	JJM

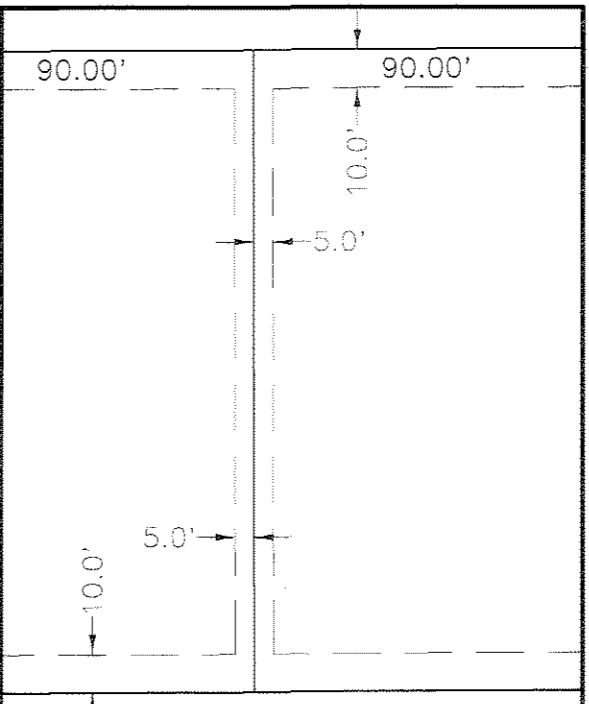
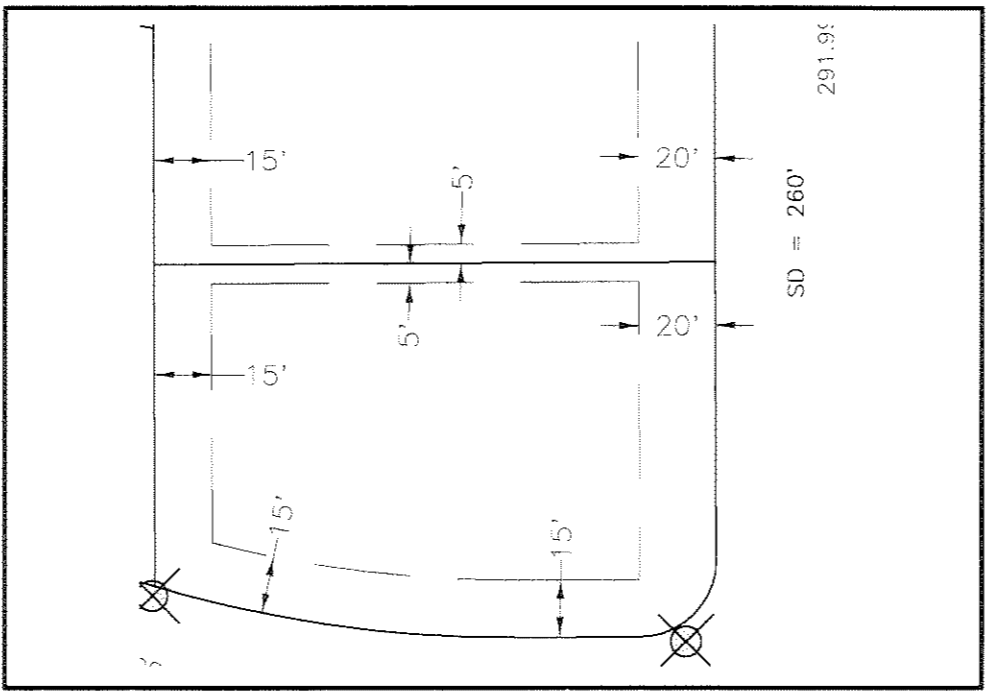
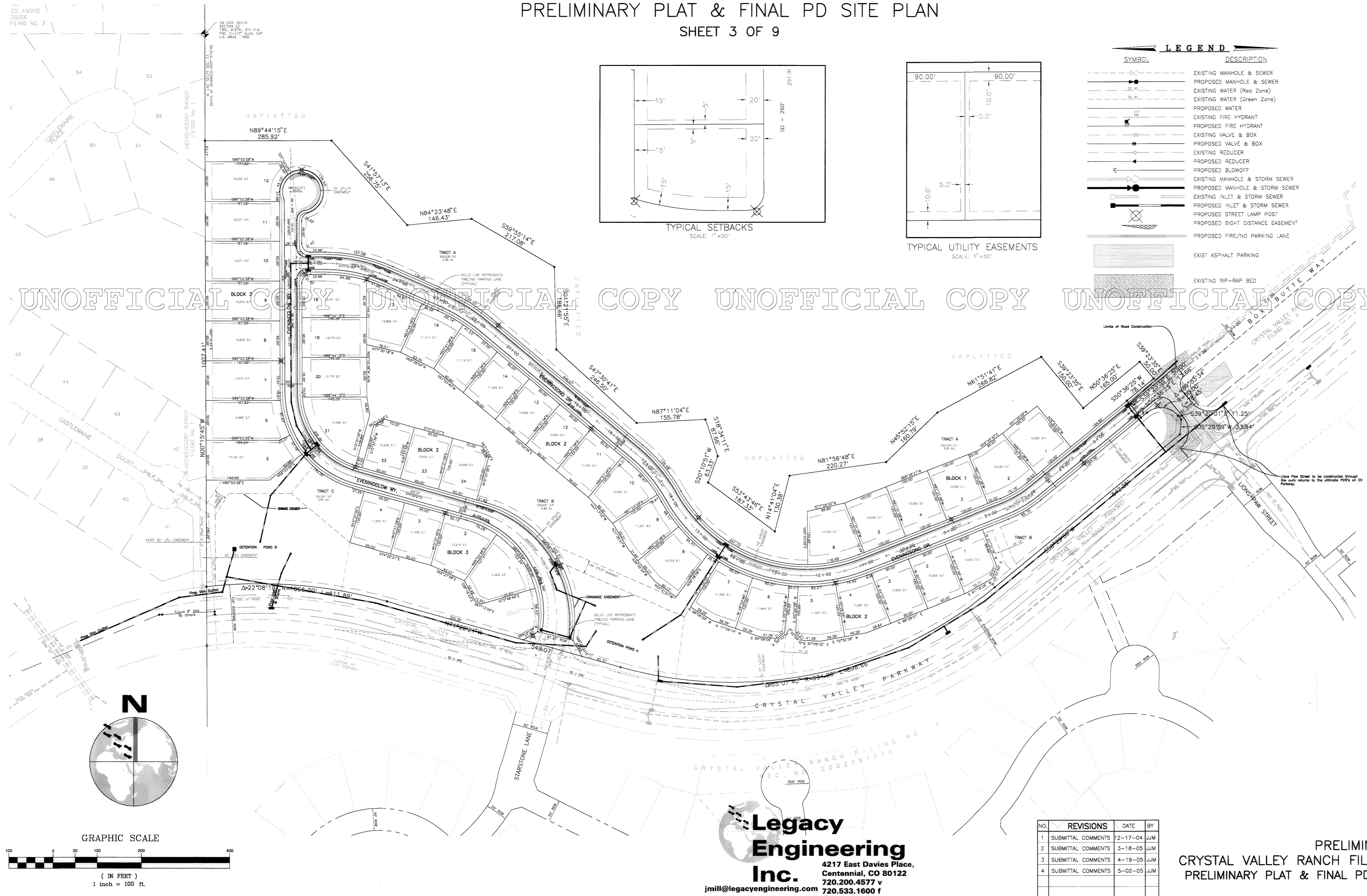
Legacy Engineering Inc.
4217 East Davies Place,
Centennial, CO 80122
720.200.4577 v
720.533.1600 f
jmill@legacyengineering.com
www.legacyengineering.com

CRYSTAL VALLEY RANCH FILING NO. 6

A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 23
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT & FINAL PD SITE PLAN

SHEET 3 OF 9



LEGEND	
SYMBOL	DESCRIPTION
	EXISTING MANHOLE & SEWER
	PROPOSED MANHOLE & SEWER
	EXISTING WATER (Red Zone)
	EXISTING WATER (Green Zone)
	PROPOSED WATER
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING VALVE & BOX
	PROPOSED VALVE & BOX
	EXISTING REDUCER
	PROPOSED REDUCER
	PROPOSED BLOWOFF
	EXISTING MANHOLE & STORM SEWER
	PROPOSED MANHOLE & STORM SEWER
	EXISTING INLET & STORM SEWER
	PROPOSED INLET & STORM SEWER
	PROPOSED STREET LAMP POST
	PROPOSED SIGHT DISTANCE EASEMENT
	PROPOSED FIRE/NO PARKING LANE
	EXIST ASPHALT PARKING
	EXISTING RIP-RAP BED

NO.	REVISIONS	DATE	BY
1	SUBMITTAL COMMENTS	12-17-04	JJM
2	SUBMITTAL COMMENTS	3-18-05	JJM
3	SUBMITTAL COMMENTS	4-19-05	JJM
4	SUBMITTAL COMMENTS	5-02-05	JJM

Legacy Engineering Inc.
4217 East Davies Place,
Centennial, CO 80122
720.200.4577 v
720.533.1600 f
jmill@legacyengineering.com

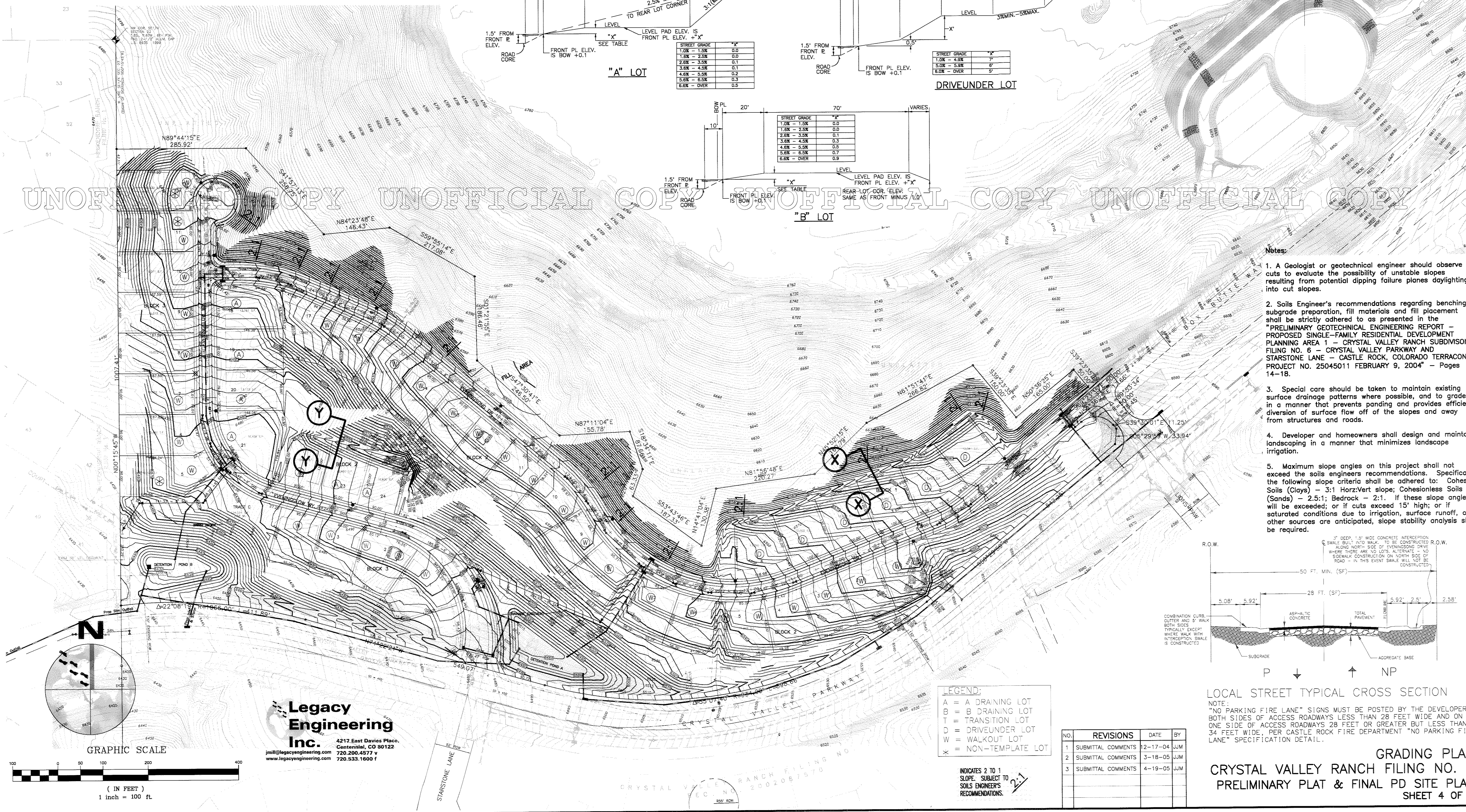
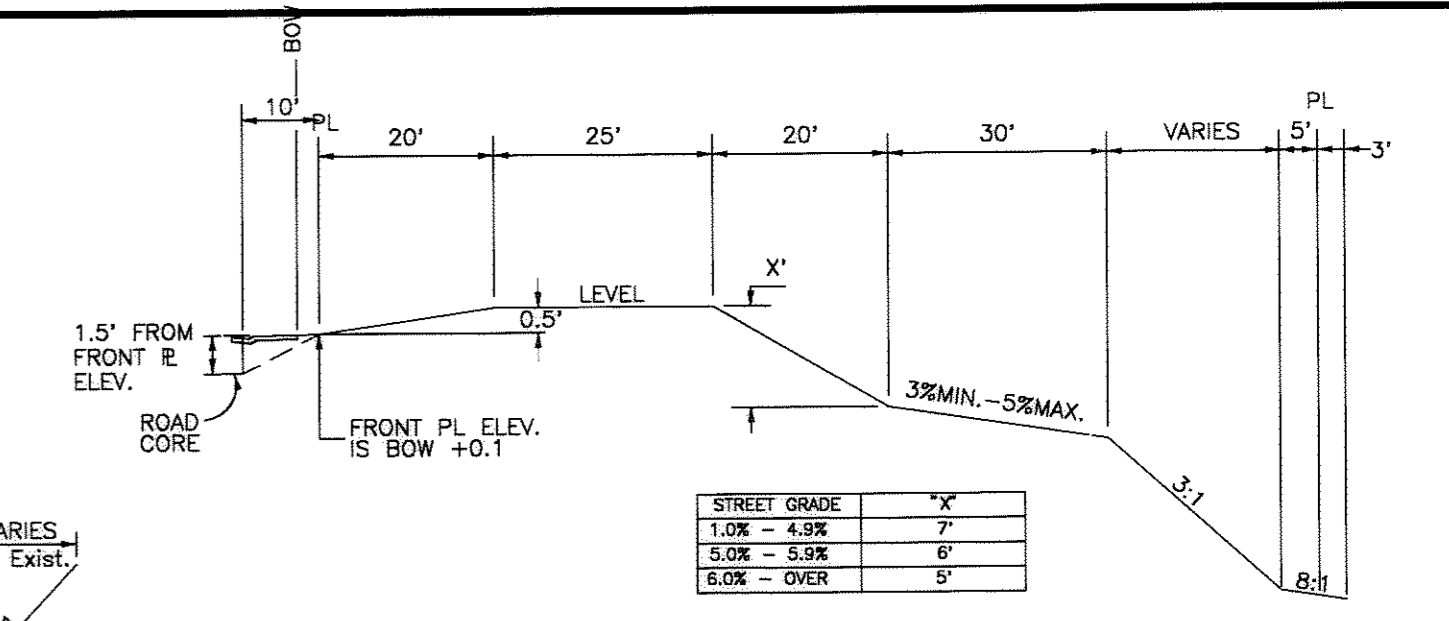
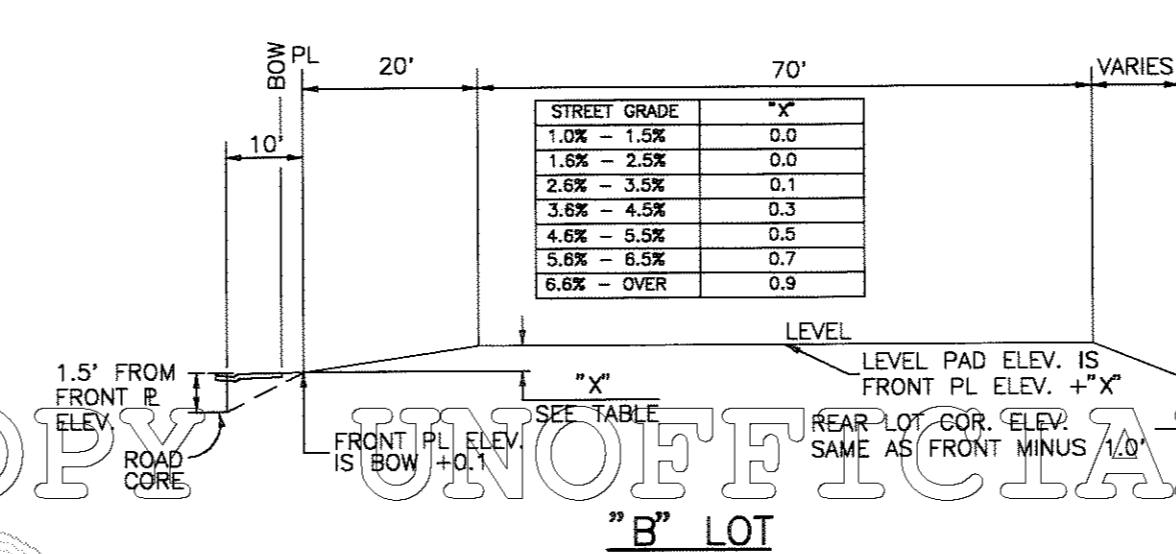
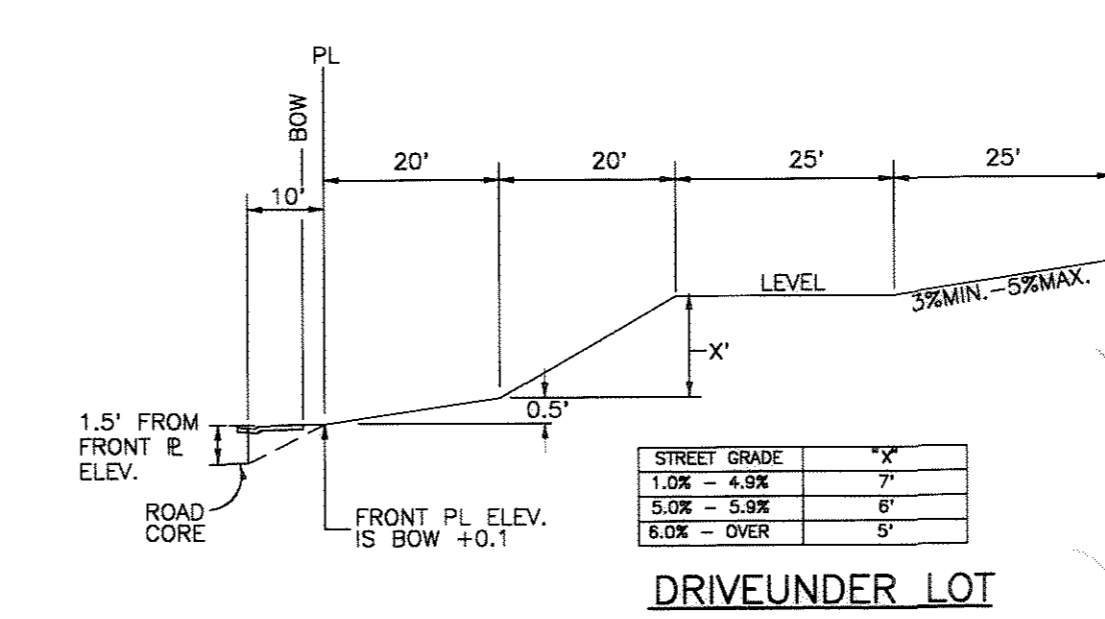
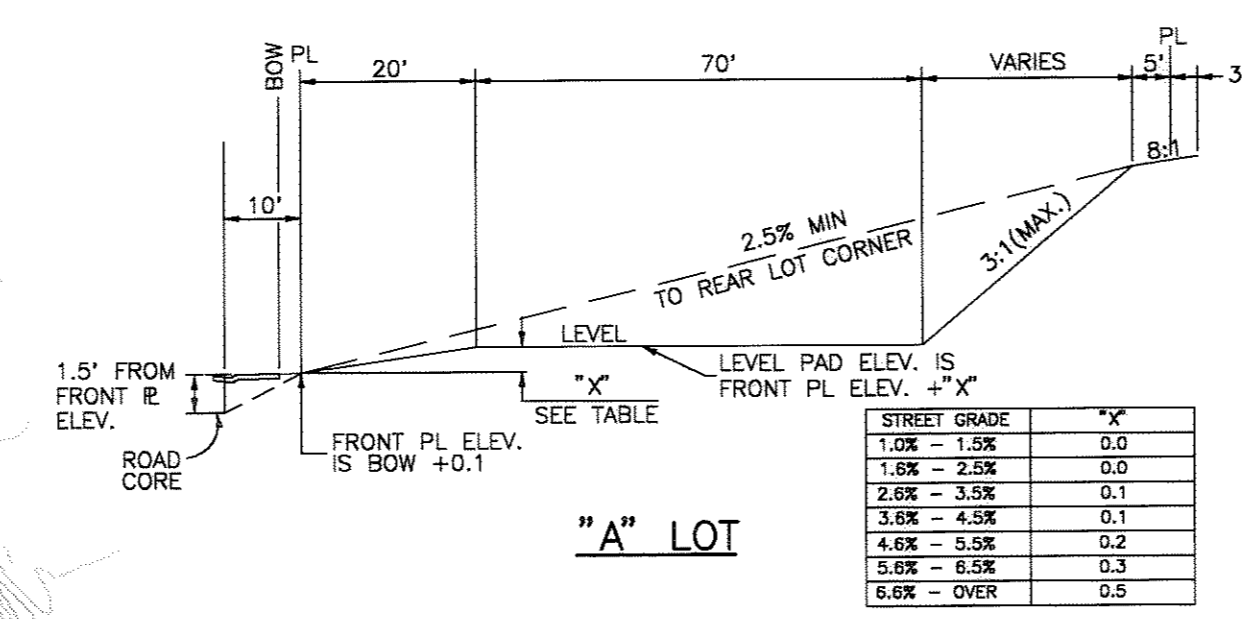
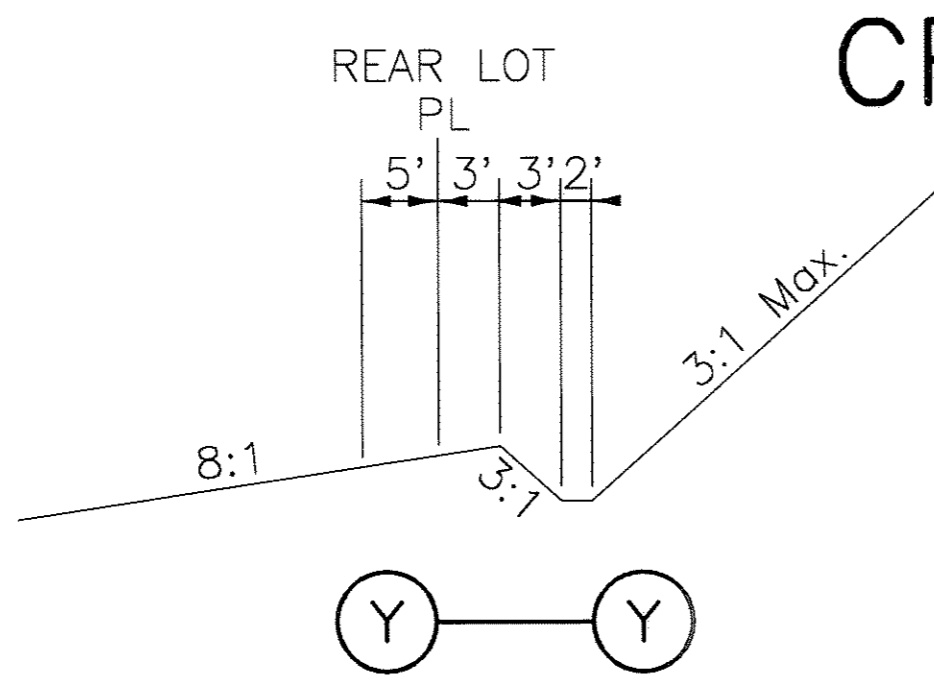
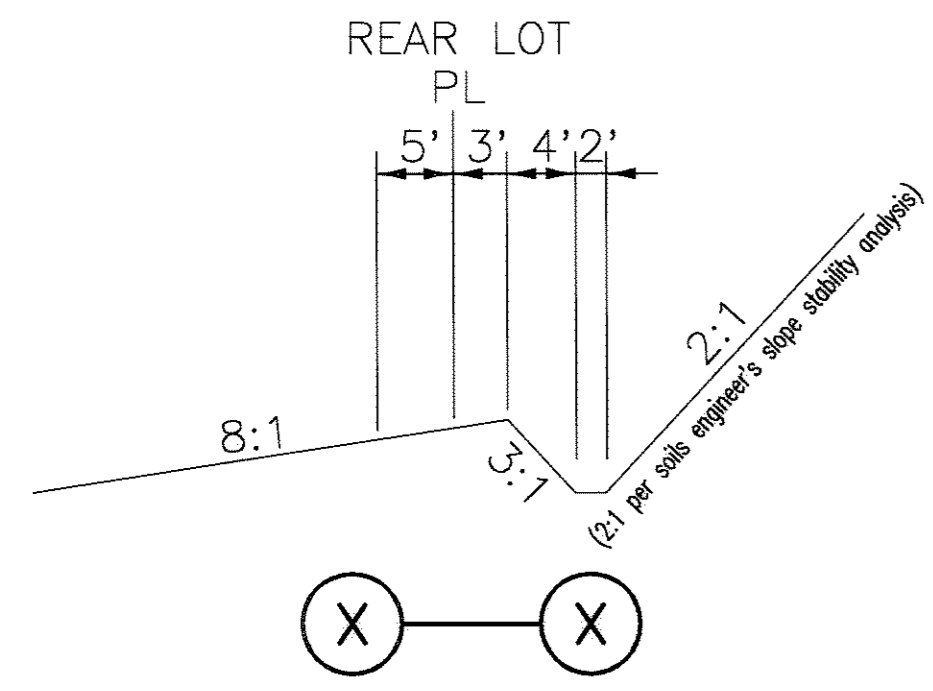
PRELIMINARY PLAT
CRYSTAL VALLEY RANCH FILING NO. 6
PRELIMINARY PLAT & FINAL PD SITE PLAN
SHEET 3 OF 9

CRYSTAL VALLEY RANCH FILING NO. 6

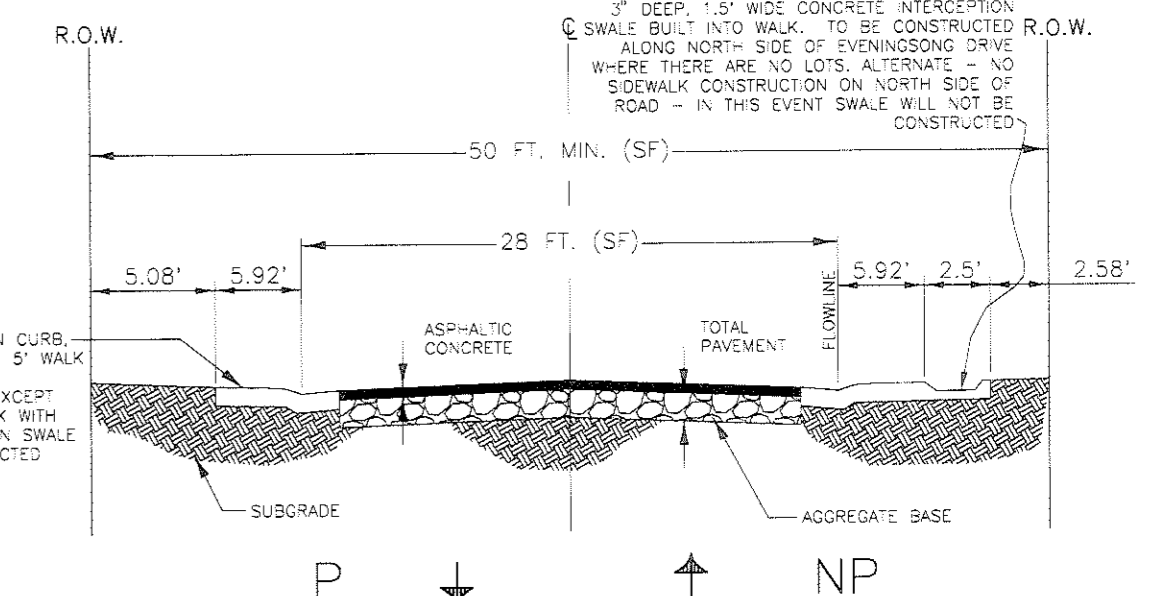
A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 23
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT & FINAL PD SITE PLAN

SHEET 4 OF 9



- Notes:
1. A Geologist or geotechnical engineer should observe all cuts to evaluate the possibility of unstable slopes resulting from potential dipping failure planes daylighting into cut slopes.
 2. Soils Engineer's recommendations regarding benching, subgrade preparation, fill materials and fill placement shall be strictly adhered to as presented in the "PRELIMINARY GEOTECHNICAL ENGINEERING REPORT - PROPOSED SINGLE-FAMILY RESIDENTIAL DEVELOPMENT PLANNING AREA 1 - CRYSTAL VALLEY RANCH SUBDIVISION FILING NO. 6 - CRYSTAL VALLEY PARKWAY AND STARSTONE LANE - CASTLE ROCK, COLORADO TERRACON PROJECT NO. 25045011 FEBRUARY 9, 2004" - Pages 14-18.
 3. Special care should be taken to maintain existing surface drainage patterns where possible, and to grade in a manner that prevents ponding and provides efficient diversion of surface flow off of the slopes and away from structures and roads.
 4. Developer and homeowners shall design and maintain landscaping in a manner that minimizes landscape irrigation.
 5. Maximum slope angles on this project shall not exceed the soils engineer's recommendations. Specifically the following slope criteria shall be adhered to: Cohesive Soils (Clays) - 3:1 Horz:Vert slope; Cohesionless Soils (Sands) - 2.5:1; Bedrock - 2:1. If these slope angles will be exceeded, or if cuts exceed 15' high; or if saturated conditions due to irrigation, surface runoff, or other sources are anticipated, slope stability analysis shall be required.

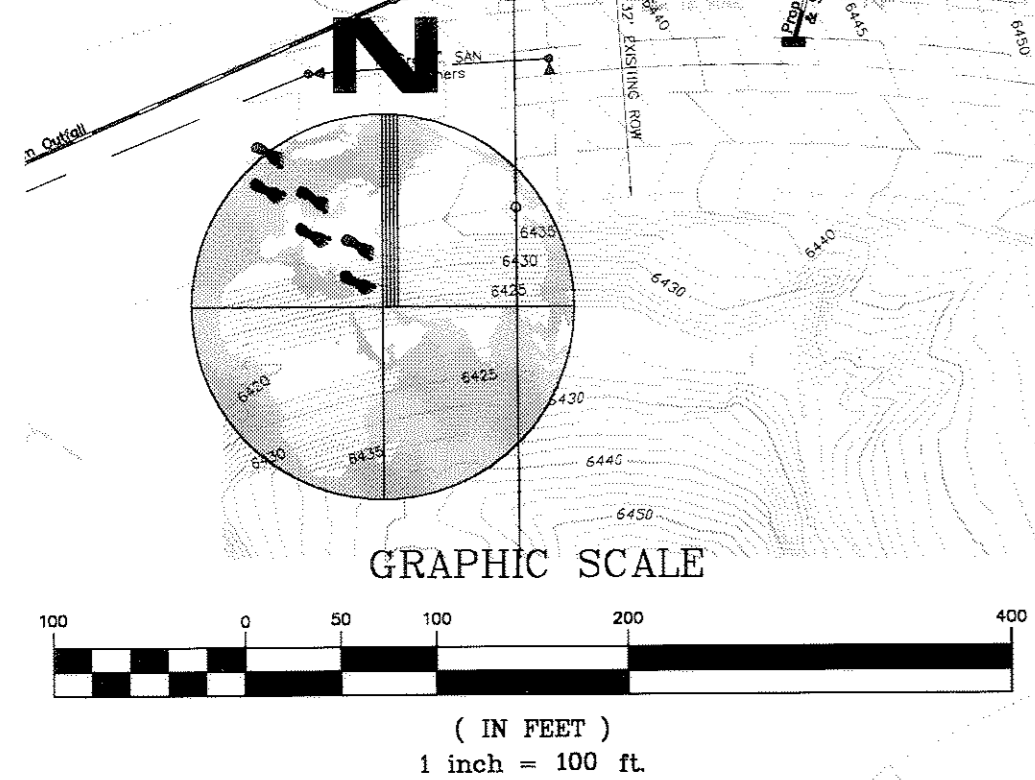


LOCAL STREET TYPICAL CROSS SECTION
NOTE:
"NO PARKING FIRE LANE" SIGNS MUST BE POSTED BY THE DEVELOPER ON BOTH SIDES OF ACCESS ROADWAYS LESS THAN 28 FEET WIDE AND ON ONE SIDE OF ACCESS ROADWAYS 28 FEET OR GREATER BUT LESS THAN 34 FEET WIDE, PER CASTLE ROCK FIRE DEPARTMENT "NO PARKING FIRE LANE" SPECIFICATION DETAIL.

LEGEND:

- A = A DRAINING LOT
- B = B DRAINING LOT
- T = TRANSITION LOT
- D = DRIVEUNDER LOT
- W = WALKOUT LOT
- X = NON-TEMPLATE LOT

NO.	REVISIONS	DATE	BY
1	SUBMITTAL COMMENTS	12-17-04	JJM
2	SUBMITTAL COMMENTS	3-18-05	JJM
3	SUBMITTAL COMMENTS	4-19-05	JJM



Legacy Engineering Inc.
4212 East Davies Place,
Centennial, CO 80122
720.200.4577 v
720.533.1600 f
jml@legacyengineering.com
www.legacyengineering.com

INDICATES 2 TO 1 SLOPE. SUBJECT TO SOILS ENGINEER'S RECOMMENDATIONS.

GRADING PLAN
CRYSTAL VALLEY RANCH FILING NO. 6
PRELIMINARY PLAT & FINAL PD SITE PLAN
SHEET 4 OF 9

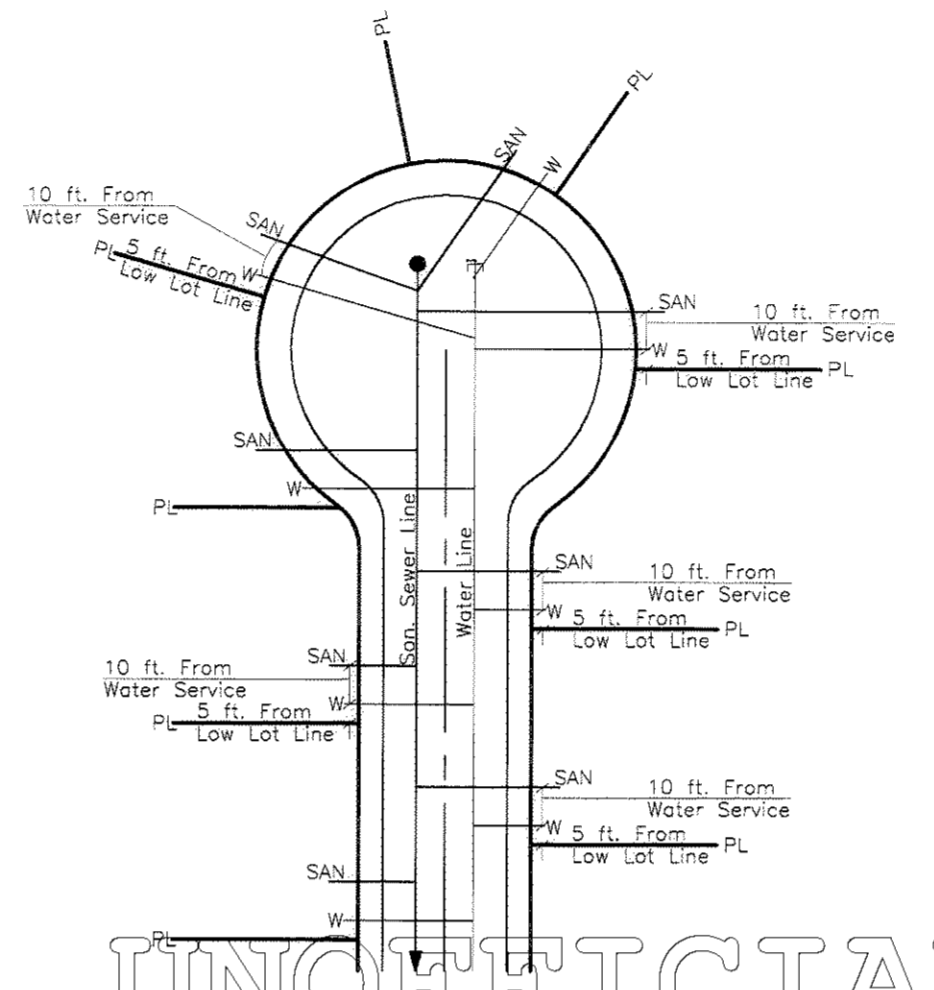
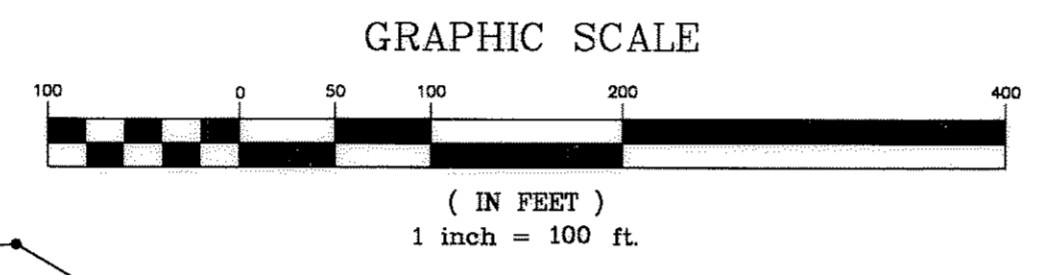
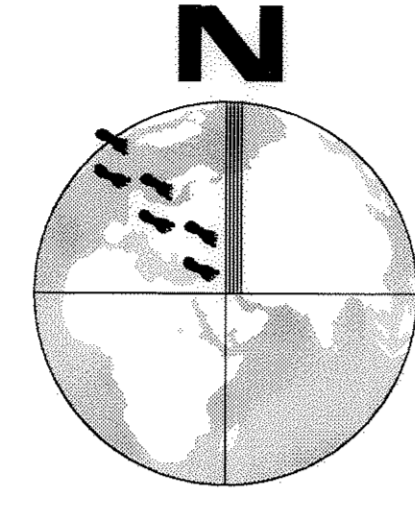
CRYSTAL VALLEY RANCH FILING NO. 6

A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 23
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

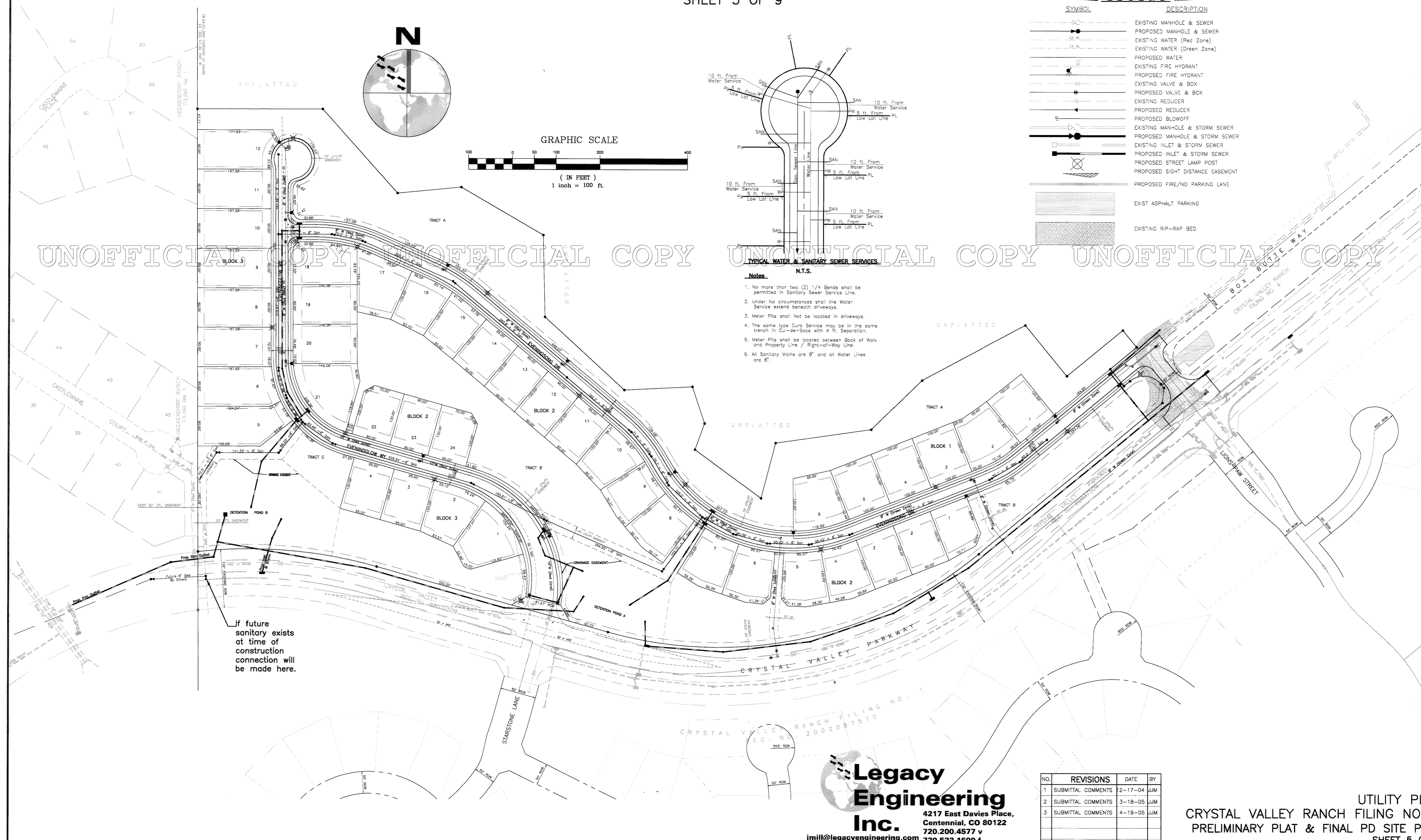
PRELIMINARY PLAT & FINAL PD SITE PLAN
SHEET 5 OF 9

LEGEND

SYMBOL	DESCRIPTION
	EXISTING MANHOLE & SEWER
	PROPOSED MANHOLE & SEWER
	EXISTING WATER (Red Zone)
	EXISTING WATER (Green Zone)
	PROPOSED WATER
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING VALVE & BOX
	PROPOSED VALVE & BOX
	EXISTING REDUCER
	PROPOSED REDUCER
	PROPOSED BLOWOFF
	EXISTING MANHOLE & STORM SEWER
	PROPOSED MANHOLE & STORM SEWER
	EXISTING INLET & STORM SEWER
	PROPOSED INLET & STORM SEWER
	PROPOSED STREET LAMP POST
	PROPOSED SIGHT DISTANCE EASEMENT
	PROPOSED FIRE/NO PARKING LANE
	EXIST ASPHALT PARKING
	EXISTING RIP-RAP BED



- Notes**
1. No more than two (2) 1/4 Bends shall be permitted in Sanitary Sewer Service Line.
 2. Under No circumstances shall the Water Service extend beneath driveways.
 3. Meter Pits shall Not be located in driveways.
 4. The same type Cur Service may be in the same trench in Cur-de-Socs with 4 ft. Separation.
 5. Meter Pits shall be located between Back of Walk and Property Line / Right-of-Way Line.
 6. All Sanitary Mains are 8" and all Water Lines are 8".



If future sanitary exists at time of construction connection will be made here.

Legacy Engineering Inc.
4217 East Davies Place,
Centennial, CO 80122
720.200.4577 v
720.533.1600 f
jmill@legacyengineering.com

NO.	REVISIONS	DATE	BY
1	SUBMITTAL COMMENTS	12-17-04	JUM
2	SUBMITTAL COMMENTS	3-18-05	JUM
3	SUBMITTAL COMMENTS	4-19-05	JUM

UTILITY PLAN
CRYSTAL VALLEY RANCH FILING NO. 6
PRELIMINARY PLAT & FINAL PD SITE PLAN
SHEET 5 OF 9

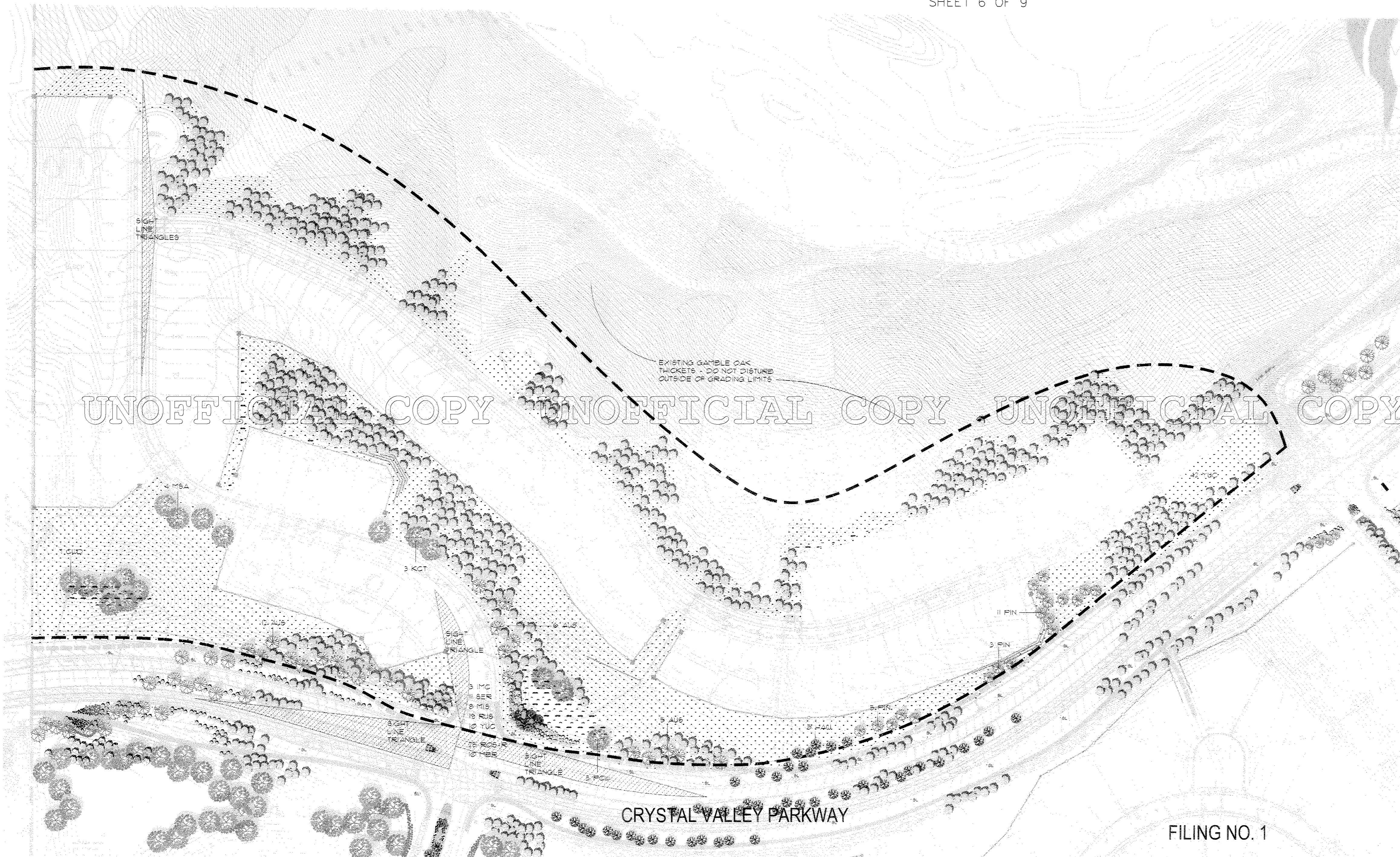
J:\1250\p\crystal_valley_ranch_filing_no_6\platt\platt.dwg, Layout1, 7/15/2005, 17:28:44 PM, jmill, Xrefs: jcd, ATD1 (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100) (101) (102) (103) (104) (105) (106) (107) (108) (109) (110) (111) (112) (113) (114) (115) (116) (117) (118) (119) (120) (121) (122) (123) (124) (125) (126) (127) (128) (129) (130) (131) (132) (133) (134) (135) (136) (137) (138) (139) (140) (141) (142) (143) (144) (145) (146) (147) (148) (149) (150) (151) (152) (153) (154) (155) (156) (157) (158) (159) (160) (161) (162) (163) (164) (165) (166) (167) (168) (169) (170) (171) (172) (173) (174) (175) (176) (177) (178) (179) (180) (181) (182) (183) (184) (185) (186) (187) (188) (189) (190) (191) (192) (193) (194) (195) (196) (197) (198) (199) (200) (201) (202) (203) (204) (205) (206) (207) (208) (209) (210) (211) (212) (213) (214) (215) (216) (217) (218) (219) (220) (221) (222) (223) (224) (225) (226) (227) (228) (229) (230) (231) (232) (233) (234) (235) (236) (237) (238) (239) (240) (241) (242) (243) (244) (245) (246) (247) (248) (249) (250) (251) (252) (253) (254) (255) (256) (257) (258) (259) (260) (261) (262) (263) (264) (265) (266) (267) (268) (269) (270) (271) (272) (273) (274) (275) (276) (277) (278) (279) (280) (281) (282) (283) (284) (285) (286) (287) (288) (289) (290) (291) (292) (293) (294) (295) (296) (297) (298) (299) (300) (301) (302) (303) (304) (305) (306) (307) (308) (309) (310) (311) (312) (313) (314) (315) (316) (317) (318) (319) (320) (321) (322) (323) (324) (325) (326) (327) (328) (329) (330) (331) (332) (333) (334) (335) (336) (337) (338) (339) (340) (341) (342) (343) (344) (345) (346) (347) (348) (349) (350) (351) (352) (353) (354) (355) (356) (357) (358) (359) (360) (361) (362) (363) (364) (365) (366) (367) (368) (369) (370) (371) (372) (373) (374) (375) (376) (377) (378) (379) (380) (381) (382) (383) (384) (385) (386) (387) (388) (389) (390) (391) (392) (393) (394) (395) (396) (397) (398) (399) (400) (401) (402) (403) (404) (405) (406) (407) (408) (409) (410) (411) (412) (413) (414) (415) (416) (417) (418) (419) (420) (421) (422) (423) (424) (425) (426) (427) (428) (429) (430) (431) (432) (433) (434) (435) (436) (437) (438) (439) (440) (441) (442) (443) (444) (445) (446) (447) (448) (449) (450) (451) (452) (453) (454) (455) (456) (457) (458) (459) (460) (461) (462) (463) (464) (465) (466) (467) (468) (469) (470) (471) (472) (473) (474) (475) (476) (477) (478) (479) (480) (481) (482) (483) (484) (485) (486) (487) (488) (489) (490) (491) (492) (493) (494) (495) (496) (497) (498) (499) (500) (501) (502) (503) (504) (505) (506) (507) (508) (509) (510) (511) (512) (513) (514) (515) (516) (517) (518) (519) (520) (521) (522) (523) (524) (525) (526) (527) (528) (529) (530) (531) (532) (533) (534) (535) (536) (537) (538) (539) (540) (541) (542) (543) (544) (545) (546) (547) (548) (549) (550) (551) (552) (553) (554) (555) (556) (557) (558) (559) (560) (561) (562) (563) (564) (565) (566) (567) (568) (569) (570) (571) (572) (573) (574) (575) (576) (577) (578) (579) (580) (581) (582) (583) (584) (585) (586) (587) (588) (589) (590) (591) (592) (593) (594) (595) (596) (597) (598) (599) (600) (601) (602) (603) (604) (605) (606) (607) (608) (609) (610) (611) (612) (613) (614) (615) (616) (617) (618) (619) (620) (621) (622) (623) (624) (625) (626) (627) (628) (629) (630) (631) (632) (633) (634) (635) (636) (637) (638) (639) (640) (641) (642) (643) (644) (645) (646) (647) (648) (649) (650) (651) (652) (653) (654) (655) (656) (657) (658) (659) (660) (661) (662) (663) (664) (665) (666) (667) (668) (669) (670) (671) (672) (673) (674) (675) (676) (677) (678) (679) (680) (681) (682) (683) (684) (685) (686) (687) (688) (689) (690) (691) (692) (693) (694) (695) (696) (697) (698) (699) (700) (701) (702) (703) (704) (705) (706) (707) (708) (709) (710) (711) (712) (713) (714) (715) (716) (717) (718) (719) (720) (721) (722) (723) (724) (725) (726) (727) (728) (729) (730) (731) (732) (733) (734) (735) (736) (737) (738) (739) (740) (741) (742) (743) (744) (745) (746) (747) (748) (749) (750) (751) (752) (753) (754) (755) (756) (757) (758) (759) (760) (761) (762) (763) (764) (765) (766) (767) (768) (769) (770) (771) (772) (773) (774) (775) (776) (777) (778) (779) (780) (781) (782) (783) (784) (785) (786) (787) (788) (789) (790) (791) (792) (793) (794) (795) (796) (797) (798) (799) (800) (801) (802) (803) (804) (805) (806) (807) (808) (809) (810) (811) (812) (813) (814) (815) (816) (817) (818) (819) (820) (821) (822) (823) (824) (825) (826) (827) (828) (829) (830) (831) (832) (833) (834) (835) (836) (837) (838) (839) (840) (841) (842) (843) (844) (845) (846) (847) (848) (849) (850) (851) (852) (853) (854) (855) (856) (857) (858) (859) (860) (861) (862) (863) (864) (865) (866) (867) (868) (869) (870) (871) (872) (873) (874) (875) (876) (877) (878) (879) (880) (881) (882) (883) (884) (885) (886) (887) (888) (889) (890) (891) (892) (893) (894) (895) (896) (897) (898) (899) (900) (901) (902) (903) (904) (905) (906) (907) (908) (909) (910) (911) (912) (913) (914) (915) (916) (917) (918) (919) (920) (921) (922) (923) (924) (925) (926) (927) (928) (929) (930) (931) (932) (933) (934) (935) (936) (937) (938) (939) (940) (941) (942) (943) (944) (945) (946) (947) (948) (949) (950) (951) (952) (953) (954) (955) (956) (957) (958) (959) (960) (961) (962) (963) (964) (965) (966) (967) (968) (969) (970) (971) (972) (973) (974) (975) (976) (977) (978) (979) (980) (981) (982) (983) (984) (985) (986) (987) (988) (989) (990) (991) (992) (993) (994) (995) (996) (997) (998) (999) (1000)

CRYSTAL VALLEY RANCH - FILING NO. 6

A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT & FINAL P.D. SITE PLAN

SHEET 6 OF 9



PLANT LIST

SYM.	QTY.	CODE	SIZE & COND.	COMMON NAME	BOTANICAL NAME
DECIDUOUS SHADE TREES					
	3	KGT	2-1/2" CAL	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS
	3	PCW	2-1/2" CAL	PRAIRIE CASCADE WILLOW	SAUL X PRAIRIE CASCADE
	7	CLD	2-1/2" CAL	NARROWLEAF COTTONWOOD	POPULUS ANGUSTIFOLIA
	4	MBA	2-1/2" CAL	MARSHALL SEEDLESS ASH	FRAXINUS PENNSYLVANICA
EVERGREEN TREES					
	23	AUS	6' - 8' HT.	AUSTRIAN PINE	PINUS NIGRA
	19	FIN	6' - 8' HT.	FINION PINE	PINUS EDULIS
DECIDUOUS ORNAMENTAL TREES					
	5	HAW	1-1/2" CAL	THORNLESS COCKSPUR HAWTHORNE	CRATAEGUS CRUSGALLI NERMIS
	3	IMC	1-1/2" CAL	INDIAN MAGIC ORAB	MALUS 'INDIAN MAGIC'
DECIDUOUS SHRUBS					
	11	SER	5' - 6' CLUMP	SERVICEBERRY 'AUT. BRILLIANCE'	AMELANCHIER GRANDIFLORA
	665	GAM	* 5 CONT.	GAMBEL OAK	QUERCUS GAMBELII
	25	ROS-R	* 5 CONT.	RED ROSE	ROSA 'MEDIAN' RED
	19	RUS	* 5 CONT.	RUSSIAN SAGE	PEROVSKIA
	9	MBR	* 5 CONT.	MOONLIGHT BROOM	CYTISUS SCOPARIUS
BROADLEAF EVERGREEN					
	10	YUC	* 5 CONT.	ADAMS NEEDLE	YUCCA FILAMENTOSA
ORNAMENTAL GRASSES					
	8	MIS	* 5 CONT.	MISCANTHUS GRASS	MISCANTHUS SENENSIS SPECIES

LANDSCAPE NOTES

- THE INTENT OF THE PLANT SELECTIONS (INCLUDING SEEDED GRASSES) IS TO RECREATE THE EXISTING ENVIRONMENT OF CRYSTAL VALLEY RANCH IN ORDER TO BLEND THE BUILT COMMUNITY INTO THE NATURAL SETTING. GAMBEL OAK WILL BE PLANTED IN AREAS PREVIOUSLY OCCUPIED BY GAMBEL OAKS IN ORDER TO MAINTAIN THE SAME DENSITY & PROVIDE A NON-DISTURBED EFFECT.
- TOPSOIL WILL BE STOCKPILED PRIOR TO CONSTRUCTION AND SPREAD OVER AREAS TO BE LANDSCAPED TO A MINIMUM DEPTH OF 12". SEEDS AND ROOTS CONTAINED IN THE TOPSOIL WILL BE ENCOURAGED TO GROW IN ORDER TO REESTABLISH NATIVE VEGETATION.
- SEED INSTALLED ON 3:1 SLOPES OR STEEPER SHALL BE COVERED WITH EROSION NETTING TO OPTIMIZE SEED GERMINATION. WHERE POSSIBLE, SEED WILL OCCASIONALLY BE WATERED BY TRUCK.
- IN PLANT BED AREAS, ADD 3 CUBIC YARDS OF TESTED ORGANIC COMPOST TO EVERY 1,000 SQUARE FEET OF BED AREA PER THE DETAIL ON SHEET 7.

LEGEND

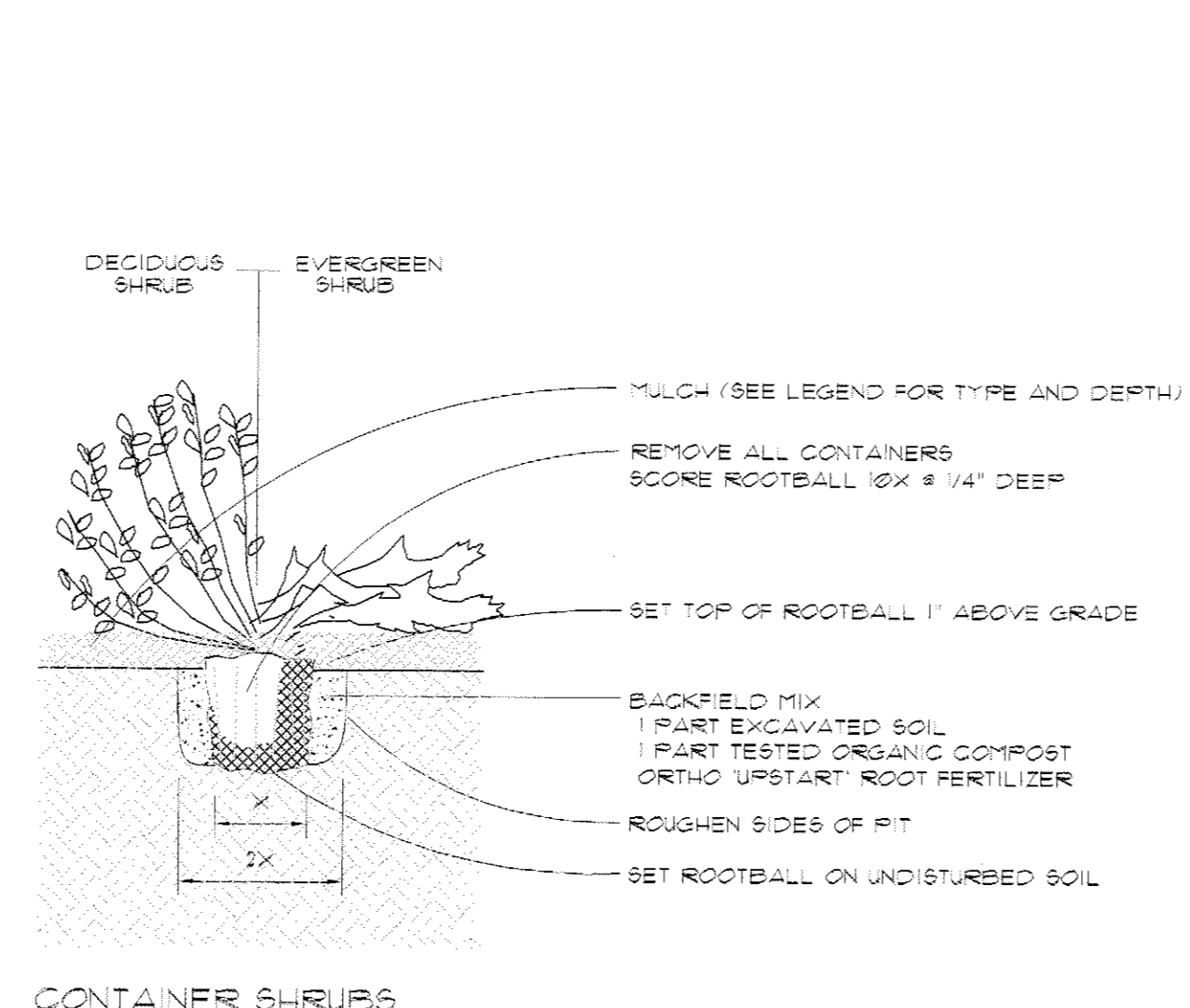
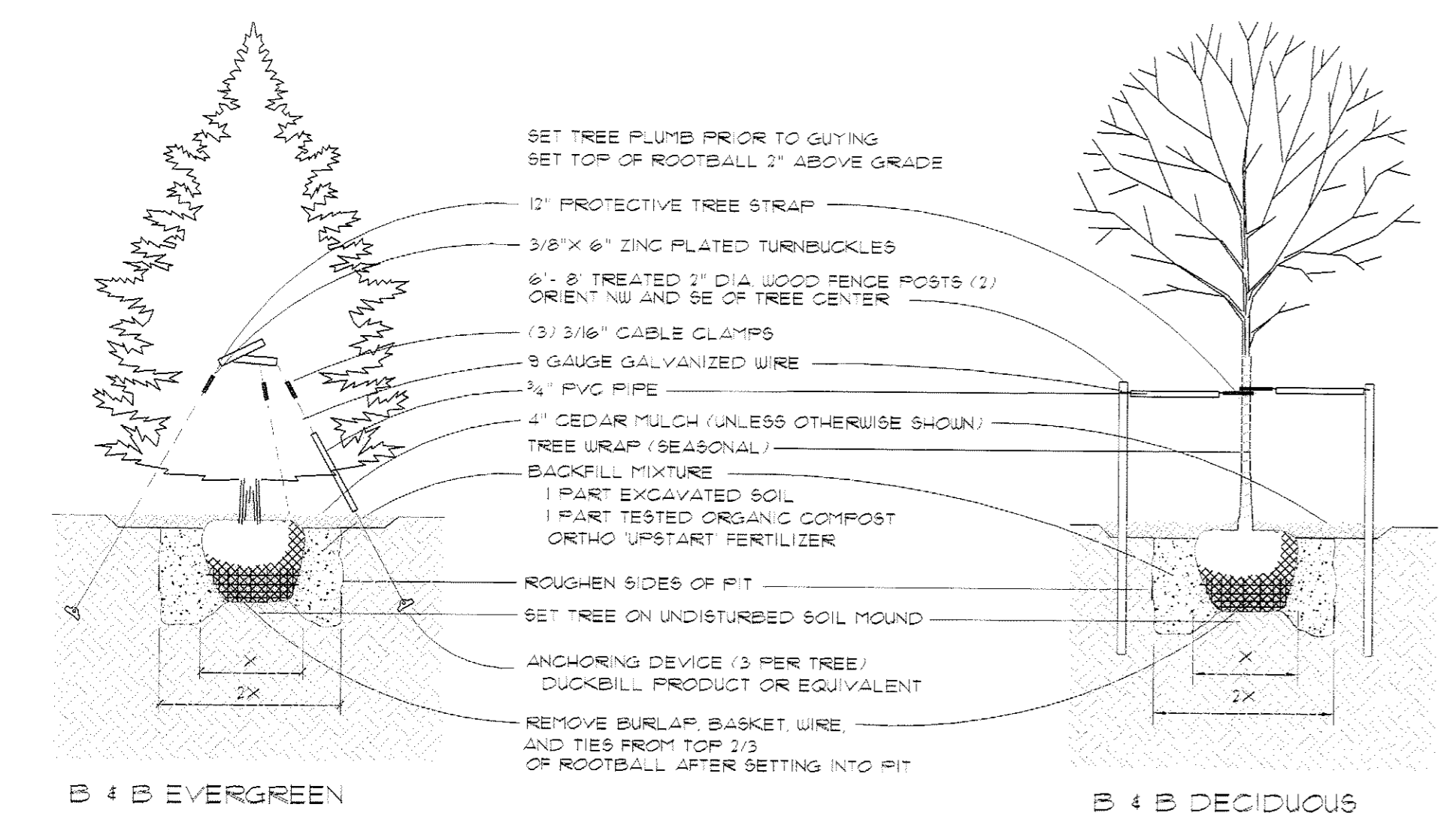
	GAMBEL OAK TO REMAIN UNDISTURBED		
	MULCHED SHRUB BEDS AT ENTRY SIGN		
	NON-IRRIGATED DRYLAND SEED (DRILLED) (NON-IRRIGATED AND OCCASIONALLY MOVED) (CANYON VALLEY COLORADO NATIVE MIX)		
SPECIES		% MIX	LB'S/AC
WESTERN WHEATGRASS	20%	3.0	
SLENDER WHEATGRASS	20%	3.0	
BLUE GRAMA	15%	2.3	
BUFFALOGRASS	15%	2.3	
STREAMBANK WHEATGRASS	15%	2.3	
SHERMAN BIG BLUEGRASS	10%	1.5	
CANADA WILDRIE	5%	0.8	
TOTAL	100%	15 LB'S / AC	

WETLANDS AND SWALES (BROADCAST AND RAKED)	
(NOT IRRIGATED AND NEVER MOVED) (CARP WOOD SEED COMPANY)	
DETENTION BASIN MIX	
AMERICAN SLOUGHGRASS	NUTTALL'S ALKALI GRASS
VIRGINIA WILDRIE	HARDSTEM BULLRUSH
AMERICAN MANNA GRASS	PALE BULLRUSH
SWITCHGRASS	SOFTSTEM BULLRUSH
APPLICATION RATE: 10 LB'S / AC	
INSTALL GREENFIX OR 5012R DOUBLE NET STRAW COCOON. EROSION CONTROL BLANKET IN ALL SWALES AND ON 3:1 SLOPES OR STEEPER AFTER SEED IS INSTALLED. DO NOT INSTALL BLANKETS IN BOTTOMS OF DETENTION BASINS.	

- FENCE PILLAR (SEE DETAIL)
- ENTRY SIGN (SEE DETAIL)
- 3 RAIL FENCE (SEE DETAIL)
- GRANITE RETAINING WALLS
- LIMITS OF THIS PHASE (OTHER LANDSCAPING SHOWN FOR COORDINATION PURPOSES)

LANDSCAPE QUANTITIES

OVERALL AREA - FLG. #6	1387,068 SF	31.2 AC
OVERALL DISTURBED AREA	1200,000 SF	27.6 AC
LOTS AND STREETS	66,247 SF	1.5 AC
COMMON LANDSCAPED AREA	533,653 SF	12.4 AC
MULCHED SHRUB BEDS	4,117 SF	.1 AC
NON-IRRIGATED DRYLAND SEED	919,104 SF	21.0 AC
WETLANDS AND SWALES	19,832 SF	.5 AC
	533,653 SF	12.4 AC



B 4 B EVERGREEN

B 4 B DECIDUOUS

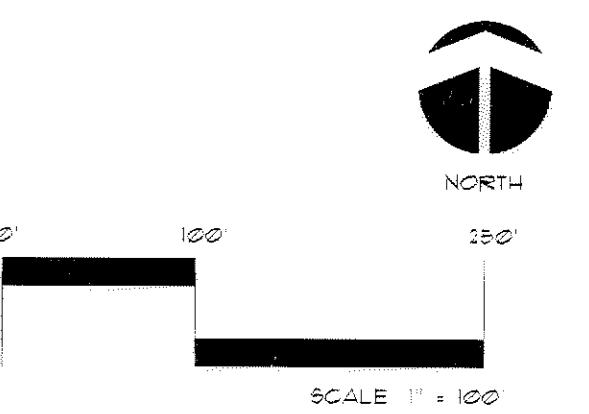
CONTAINER SHRUBS

PLANTING & FENCING PLAN

RockneCortyDesign
A CORPORATION FOR THE PRACTICE OF
LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN
POST OFFICE BOX 3354 - CENTENNIAL, COLORADO 80116
303-710-6746

CASTLE ROCK
REG. NO. 332

MARCH 17, 2005
CRYSTAL VALLEY RANCH
FILING NO. 6
SHEET 6 OF 9

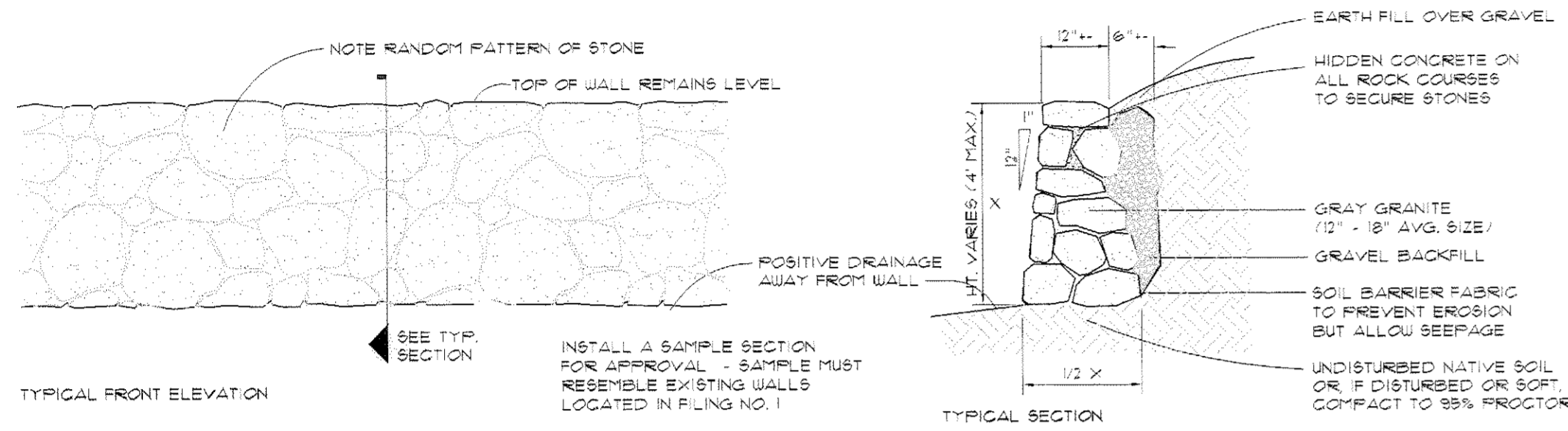


CRYSTAL VALLEY RANCH – FILING NO. 6

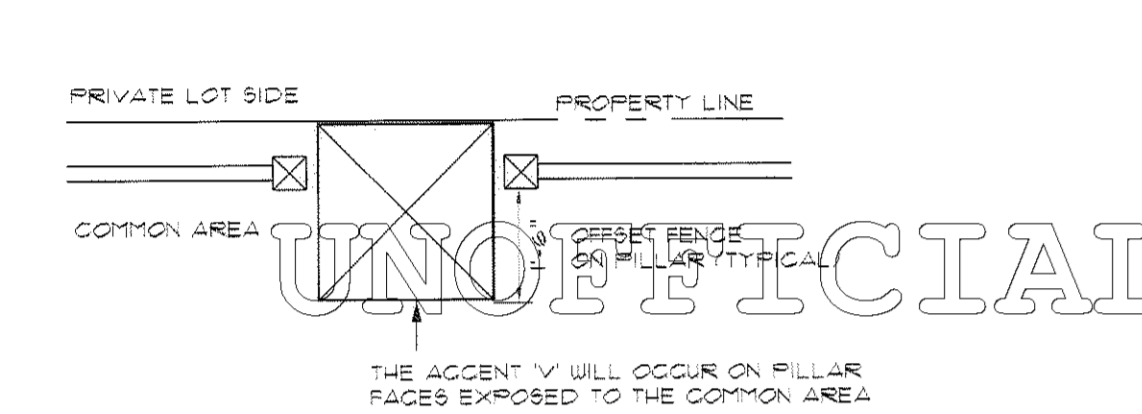
A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT & FINAL P.D. SITE PLAN

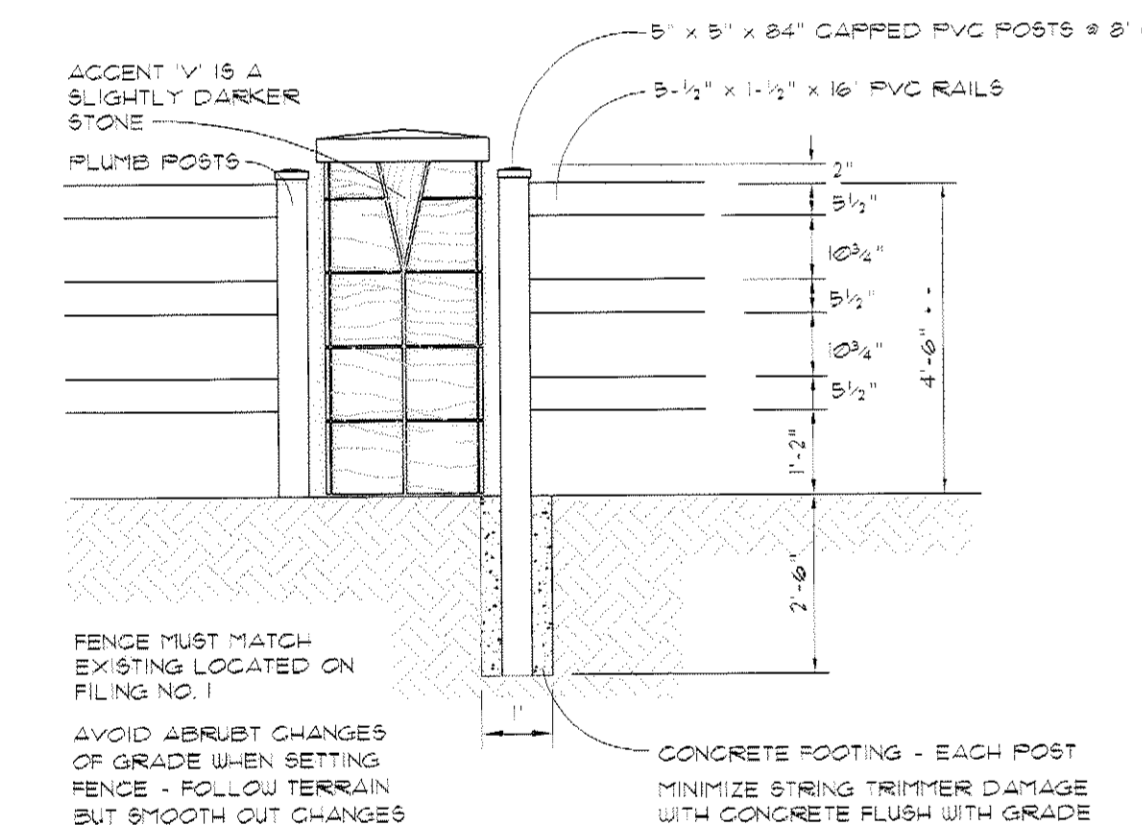
SHEET 7 OF 9



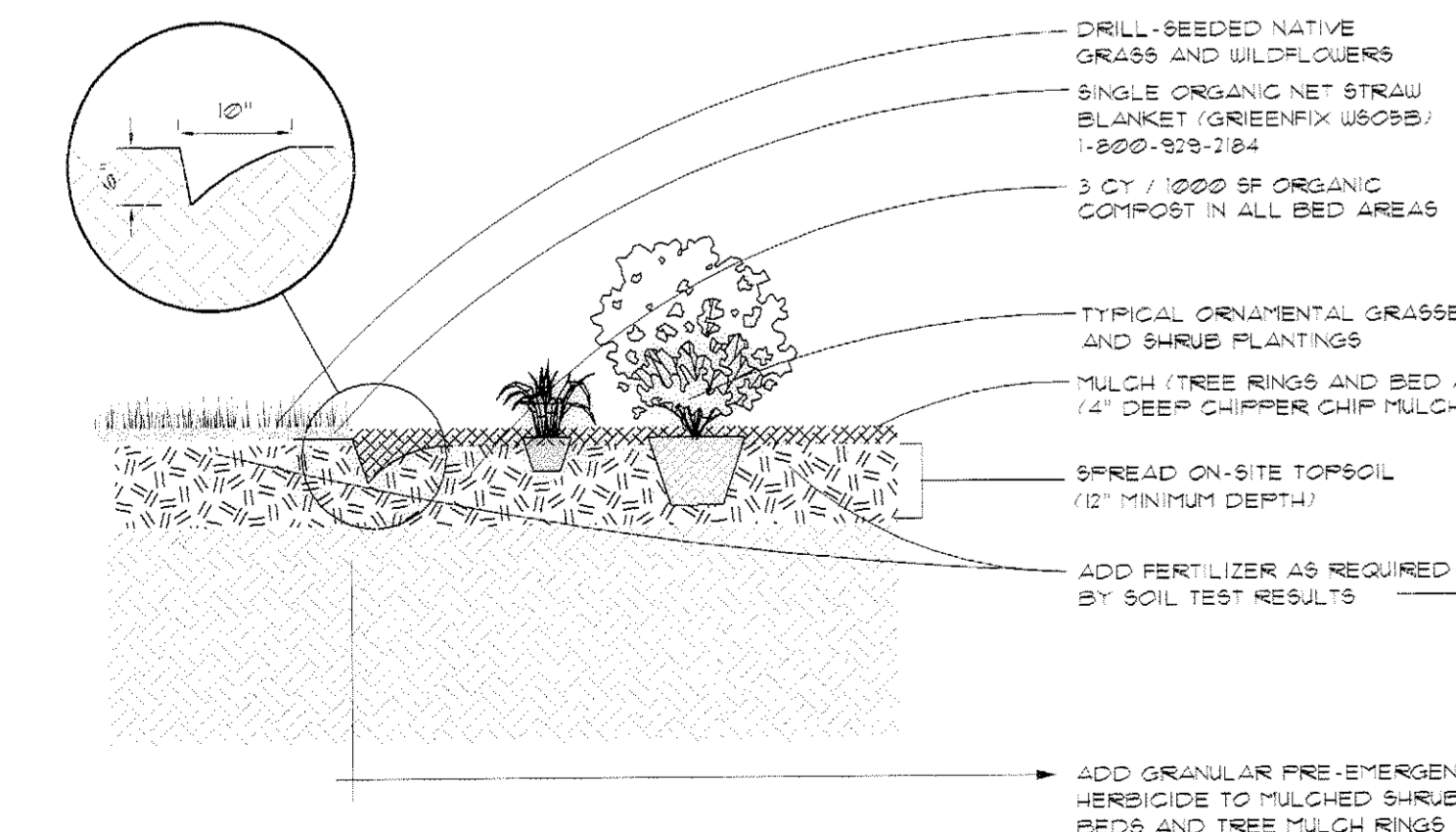
STONE RETAINING WALL SEE CIVIL PLANS FOR LOCATION, LAYOUT AND WALL ELEVATIONS



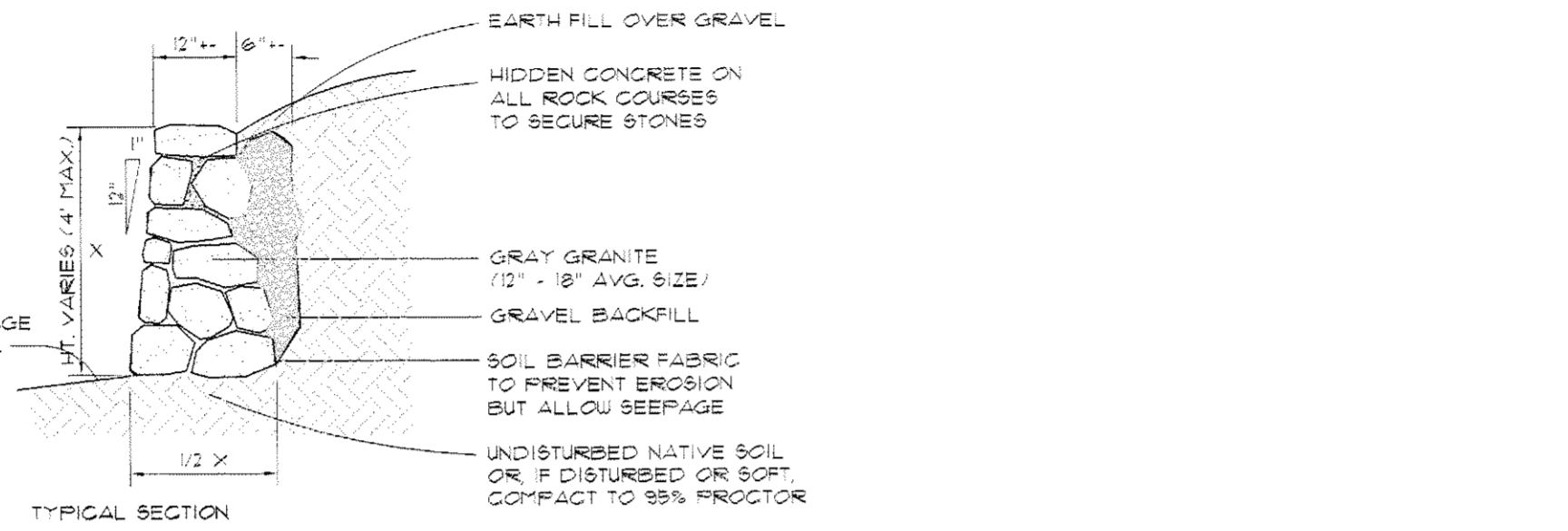
TYPICAL PILLAR AND FENCE PLACEMENT



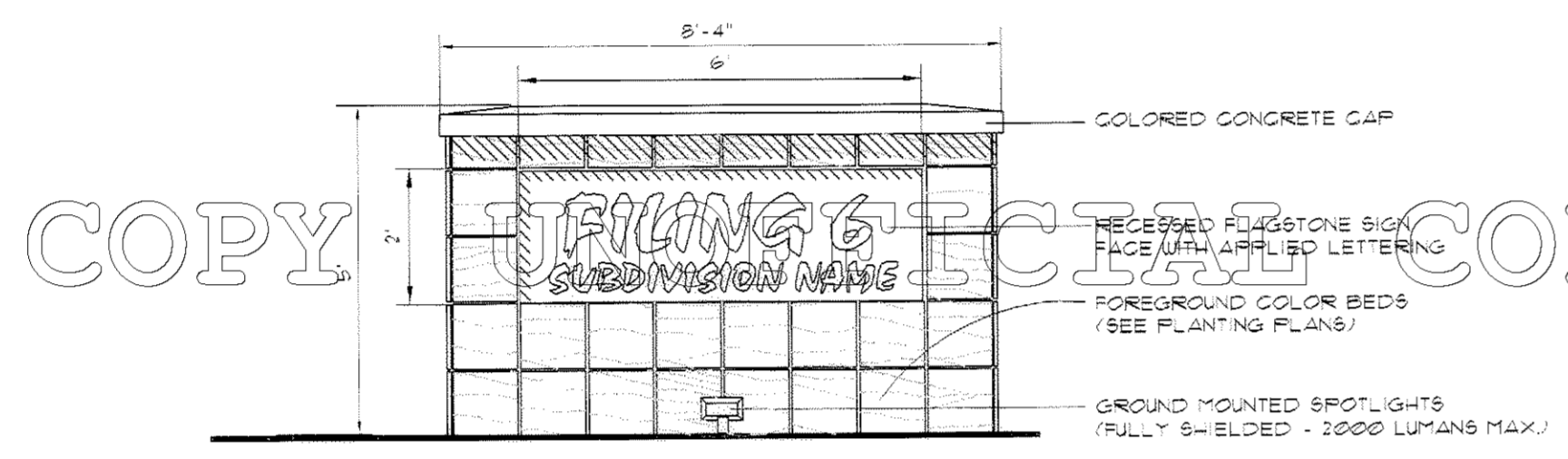
PILLAR WITH 3-RAIL TAN COLORED PVC FENCE



TRENCH EDGER, SOIL PREPARATION, NUTRIENTS & MULCH



ENTRY SIGN ELEVATION



ENTRY SIGN ELEVATION

SOIL NUTRIENT LABORATORY REPORT			
LAB NO: 1193900	REPORT TO: CINDY CORTY	BILL TO: ROCKNE CORTY DESIGN, INC. P.O. BOX 3354 CENTENNIAL, CO 80116	
DATE RCVD: 12/9/02	REPORTED: 12/18/02		
SAMPLE ID: SOIL REC 12/9/02	PROJECT:		
LABORATORY RESULTS:	SAMPLE RESULT	LOW	AVE
FIELD TEXTURE (EST)	6.7	*****	HIGH
pH (UNITS)	6.7	*****	
SALTS (MMHOS/CM)	1.05	*****	
CEC EST. (MEQ/100G)	8.2	*****	
LIME (QUAL.)	1.0	*****	
ORGANIC MATTER (%)	44.8	*****	
ORGANIC N (LBS/ACRE)	44.8	*****	
SODIUM (MEQ/100G SOIL)	0.31	*****	
AVAILABLE NUTRIENTS (PPM)			
NITRATE-N	4.6	****	
PHOSPHORUS (as bicarb)	16.7	*****	
POTASSIUM	189.7	*****	
CALCIUM	196.4	*****	
MAGNESIUM	217.2	*****	
SULFUR	40.1	*****	
BORON	0.2	****	
ZINC	1.1	*****	
IRON	14.0	*****	
MANGANESE	9.3	*****	
COPPER	0.5	*****	
NOTE: AVERAGE VALUES ARE FOR COLORADO SOILS			
FERTILIZER RECOMMENDATIONS			
CROP	DL. NATIVE GRASS		
YIELD GOAL	AVE		
NITROGEN	30	LBS/ACRE	
PHOSPHORUS - P ₂ O ₅	6	LBS/ACRE	
POTASSIUM - K ₂ O	0	LBS/ACRE	
SULFUR - SO ₂ S	0	LBS/ACRE	
LIME	0	LBS/ACRE	
COMMENTS: SPLIT N RECOMMENDATION 2 TO 3 TIMES THROUGHOUT THE GROWING SEASON. TO CONVERT RECOMMENDATIONS TO LBS/1000 SQ FT DIVIDE BY 40.			

USE ANALYSIS

THE LANDSCAPED CHARACTER OF CRYSTAL VALLEY RANCH IS TO BLEND WITH THE EXISTING ENVIRONMENT UTILIZING MINIMAL WATER RESOURCES. THE INTENDED USE OF THE COMMON AREA IS TO PRESERVE OPEN SPACE AND TO ALLOW FOR TRAILS THROUGH THE NATURAL ENVIRONMENT.

LANDSCAPING WILL BE ADDED FOR REVEGETATION, FOR WILDLIFE HABITAT, AND TO ENHANCE THE PROPERTY. ALL SEEDED AREAS WILL BE NON-IRRIGATED. TREES, SHRUBS AND ORNAMENTAL GRASSES WILL BE DRIP IRRIGATED.

NATIVE GRASS AND WILDFLOWER SEEDING SPECIFICATIONS

PART 1 GENERAL

1.01 WORK INCLUDED

Work shall include all labor, materials and equipment to place topsoil and to install seed in accordance with the plan and as herein specified. The work shall comply with the requirements of all legally constituted authorities having jurisdiction.

1.02 QUALITY ASSURANCE

A. Requirements. Work shall be performed in accordance with the best standards of practice relating to the various trades and under the continuous supervision of a competent foreman capable of interpreting Drawings and Specifications. The Contractor shall notify the Project Manager as soon as any conditions or discrepancies are discovered.

B. Coordination. Coordinate work of this section with site work, plumbing, paving, landscaping and other trades and schedule in a manner to avoid damage to seeded areas.

1.03 EXPLANATION OF DRAWINGS

A. It is intended that the Drawings and Specifications specify an efficient and complete seeding installation meeting the Project Manager's approval without further bidding the Owner.

B. All scaled drawings are approximate. Before beginning any work, the Contractor shall check and verify all pertinent dimensions and sizes on the Drawings and shall notify the Project Manager of any significant discrepancies.

C. All work specified on the Drawings by notes or details shall be furnished and installed unless or not specifically mentioned in the Specifications.

D. Omissions from the Specifications or Drawings, or any misdescriptions of details or work which are absolutely necessary to carry out the intentions of the Drawings and these Specifications shall not relieve the Contractor from performing such omitted details of work, but they shall be executed as if fully set forth and described in the Specifications and Drawings at the Contractor's expense.

1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

All seed shall be clearly labeled with seed tags which shall be saved and delivered to the Owner as proof of species, percentages of mix and rate of application. Storage shall be dry and well ventilated. Damaged seed shall be replaced prior to installation.

1.05 JOB CONDITIONS

The Contractor shall coordinate seeding work with other trades to avoid damage or conflicts. Before starting work, the Contractor shall inspect the site and check all grades to satisfy himself that he may safely proceed. In the event of damage, the Contractor shall repair or replace seeded areas to the satisfaction of the Owner at no additional cost.

1.06 WARRANTY

The seed shall be guaranteed from the time of seeding to the date of final Acceptance or one growing season, whichever is longer. A growing season is defined as May through September. If seed is installed in the fall, evidence of germination and establishment will not be evident until the summer of the following year, which will constitute one growing season.

1.07 MAINTENANCE

The seeded area is under the control of the Contractor who shall make all adjustments and repairs until the site is under the control of the Owner. Prior to turnover, the Contractor shall correct any defects without expense to the Owner.

Vandalism and Acts of God are not considered unusual and are therefore the Contractor's risk. Any settling of disturbed earth which may occur during the warranty period, shall be repaired without expense to the Owner, including complete restoration of all damaged property.

PART 2 PRODUCTS

2.01 MATERIALS

1. Topsoil stockpiled from on-site scrapings shall be defined as having organic matter mixed with the top layer of soil. Debris including limbs, rocks greater than 2" in average size, and other materials will not be acceptable.

2. Seed shall be Arkansas Valley Seed or approved equivalent, located at 4333 Hwy. 66, Longmont, Colorado (970-535-4481).

3. Seed Mix shall be as specified on the drawings. Provide proof of seed type, quality and source to the Project Manager prior to commencing seeding operations.

4. Erosion blanket shall be Greenix W80B, single organic net, straw, or approved equivalent.

PART 3 EXECUTION

3.01 IMPLEMENTATION AND SCHEDULING

1. The seeding work shall be scheduled by the Contractor in such a way that the completed seed installation shall not be damaged by others or the weather to the extent of unlikely germination during the remaining growing season. Multiple seedings may be necessary to protect open ground during the construction process. Erosion caused by open ground shall not be considered Acts of God or unusual circumstances. The Contractor has an obligation to protect the site from wind and water erosion throughout the course of construction and to deliver to the Owner semi-established vegetation. If supplemental watering is considered necessary that shall not be considered an extra cost to the Owner due to normally dry conditions in the foothills of Colorado.

2. Topsoil spreading is critical to re-establishing native vegetation whereby the grasses and shrubs will regenerate, providing a seamless integration of plant species. Spread topsoil uniformly over all areas to be revegetated. Incorporate into the top 6" of compacted finished grades by discing, rototilling and/or harrowing. Do not layer the soil that will cause slippage.

3. Seed shall be installed by drill (filler) or equivalent wherever possible. Where conditions prohibit drilling, broadcasting and raking and/or hydroseeding may be used. Discuss methods and equipment at the pre-construction meeting.

4. Erosion blankets shall be installed over all seeded areas regardless of slope. This is to protect the seed bed from wind and water erosion and to maintain a clean, finished appearance during seed germination and establishment. Install in strict conformance with manufacturer's recommendations for stapling and tracking. Failures in proper anchoring will result in replacement.

3.02 INSPECTIONS

The Contractor shall arrange a meeting with the Project Manager prior to commencing work, at which time the Contractor shall be informed of the specific instructions required and the method of calling for such inspections as the individual work is completed.

3.03 PROTECTION AND REPAIRS

1. It shall be the responsibility of the Contractor to protect and preserve all existing and new plant material, structures, etc. from damage during seed installation. Repair or restore damaged items to the satisfaction of the Project Manager.

2. All seeding under trees or shrubbery shall be done by hand or other methods in order to minimize damage to root systems. All drilling shall be no less than six feet (6') from the trunk of any tree, unless approved in writing by the Project Manager.

3. Lawn area damage shall be kept to a minimum. Any damage due to access or construction activity shall be repaired and paid for by the Contractor.

3.04 CLEAN UP

Perform clean up as a continuous operation throughout the duration of the work, including vehicle tracking and litter.

3.05 MAINTENANCE

It shall be the responsibility of the Contractor to maintain all seeded areas up to final Acceptance. Thereafter, maintenance shall be the responsibility of the Owner.

3.06 FINAL INSPECTION AND ACCEPTANCE

Acceptance of the seed installation will be determined at final completion of the overall project, or at the end of the warranty period, whichever is longer. Partial acceptance will not be considered due to possible damages to the seeded area by others beyond the control of the Owner.

PLANTING SPECIFICATIONS

PART 1 GENERAL

1.01 Description of Work

A. The extent of landscaping work is shown on the Drawings and includes plants, soil preparation, fertilizing and mulching.

1.02 Quality Assurance

A. ANSI Z60-1 requirements for measurements, grading, branching, quality and the staking and burllapping of plants of the American Association of Nurseries, Inc.

B. Quality of Materials. Plant materials shall be available for inspection at their source and at the site and may be rejected if, in the Landscape Architect's opinion, they fail to meet specified quality or appearance. The Contractor shall remove rejected material promptly from the site.

C. Plants shall have a habit of growth that is normal for the species. They shall be healthy, vigorous, and free from insect pests, plant diseases and injuries. All plant materials shall be inspected stock conforming to State and Federal regulations.

1.03 Submittals

A. Certification of Inspection. Upon request, submit copies of invoices for materials with State, Federal, or other inspection certificates, showing source of origin.

B. Planting Schedule. Planting shall occur when weather and soil conditions are favorable as determined by the Landscape Contractor. Do not compromise the warranty by planting in unfavorable conditions.

C. Material Samples. Organic material, wood mulch, landscaping rock and topsoil samples, including any required analysis, shall be submitted to the Landscape Architect for approval.

E. Warranty. Furnish written warranty for all new plant materials for a period of two (2) calendar years following the date of final Acceptance. Warranty does not apply to existing plants or transplanted plants. Warranty does not apply to plants that were not properly maintained, plants that were vandalized, plants that were damaged by Acts of God, or other conditions beyond the control of the Contractor. If plants die or change shape due to die back, a warranty claim may be made, even though the plant may be alive. The intent of the warranty is to insure the Owner that live, healthy plants were installed at the time of construction.

1.04 Product Delivery, Storage & Handling

A. Delivery Schedule. Notify the Landscape Architect of delivery schedule not less than twenty-four (24) working hours in advance of delivery of each type of material.

B. Packaged Materials. Deliver fertilizer to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer which becomes caked or otherwise damaged making it unusable for use shall not be used.

C. Plant Materials. Containerize plant materials with limbs bound and properly wrapped and prepare them for shipping in accordance with recognized standard practices. Keep root systems moist and protected from adverse conditions due to climate and transportation between the time they are dug and actual planting.

D. Planting Containers. Plants shall be planted in containers. Plants shall be protected to the vehicle upon vehicles shall be covered with tarpaulins or other suitable covers securely fastened to the vehicle to protect plants from the elements. Do not remove plants from refrigerated trucks into hot weather without allowing time for plants to adjust to heat.

E. Handling. Do not drop plants. Do not lift plants by the trunk stems or foliage. Handle plants by the ball or the container. Reject ball plants if the ball is broken. Reject roots shall be pruned before planting. Major damage shall be cause for rejection as determined by the Landscape Architect.

1.05 Job Conditions

A. Install trees, shrubs and groundcover plants after final grades are established.

B. Utilities. Determine location of underground utilities and perform work in a manner which will avoid possible damage. Do not permit heavy equipment such as trucks, rollers or bulldozers to damage utilities. Hand excavate, as required, to minimize the possibility of damage to underground utilities.

C. Any damage to underground piping or wiring must be corrected and repaired by the Contractor to the satisfaction of the utility company.

D. Damage to Other Improvements. All costs for repair or replacement of any damage to other work done on-site or adjacent properties by installation of plant material shall be borne by the Landscape Contractor.

E. Existing grades, paving, vegetation, irrigation and other improvements damaged during planting shall be restored at the Contractor's expense.

PART 2 PRODUCTS

2.01 Mulch

A. Mulch for planting beds and plant pits shall be free of foreign soil, stones, sticks, debris or other matter. A sample shall be delivered to the Landscape Architect for approval at least twenty-four (24) hours prior to delivery to the site.

2.02 Water

A. Water shall be supplied and paid for by the Owner. Distribution of the water from the Owner's source for all operations, including maintenance, shall be the responsibility of the Contractor. Failure of the irrigation system shall not relieve the Contractor from applying the water necessary to irrigate the plantings. The Contractor shall supply all water required for new plantings prior to Owner's activation of irrigation system in the spring.

2.03 Organic Material

A. Organic material for planting shall be dry, well-rotted compost. Acceptable organics shall be equivalent to A-1 Premium Compost. The organic material shall have an acidity in the range of pH 5.5 to 6.5, shall not exceed 3 percent salt content, and shall have a 60% or greater organic content. The mixture shall be free from clay, silt, soil, stones, lumps, plants and their roots, sticks, weed stems and seeds, high salt content and other materials harmful to plant life. Verification of source and test results from an approved soils testing laboratory may be required prior to delivery.

2.04 Topsoil

A. Topsoil shall be defined as the top layer of on-site soil which had been previously farmed or pastured. This soil shall be carefully scraped and stockpiled in a location that will minimize contamination to the soil or cause erosion.

2.05 Mountain Peat

A. Peat shall be of standard commercial quality delivered to the site in a workable, air dry condition in bags or other convenient containers. It shall be composed of not less than sixty (60%) decomposed organic material by weight, have a pH from four to six percent (4 - 6%) moisture content of from 11 to 12 percent.

PART 3 EXECUTION

3.01 Installation of Plant Materials

A. Location Staking. Mark plant material locations prior to excavation for approval.

B. Excavation, plant placement, backfilling, fertilizing and mulching - See Detailed Drawings.

3.02 Pruning

A. After planting, all plant materials shall be neatly pruned in accordance with the Maintenance Specifications. All pruning must be supervised by the Landscape Architect or Owner.

3.03 Landscape Maintenance/Establishment

A. The installing Contractor shall maintain all plant material from installation to Turn Over, which includes a minimum of 30 days of maintenance prior to final Acceptance.

3.04 Cleanup, Protection & Repairs

A. Throughout the entire operation of planting, the Landscape Contractor will be responsible for keeping the site clean and neat, including collecting debris on adjacent property.

LANDSCAPE SPECIFICATIONS AND DETAILS

MARCH 17, 2005
CRYSTAL VALLEY RANCH
FILING NO. 6
SHEET 7 OF 9

RockneCortyDesign
LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN
REG. OFFICE: BOX 3354 • CENTENNIAL, COLORADO 80116
303-710-1140 FAX: 303-710-6243

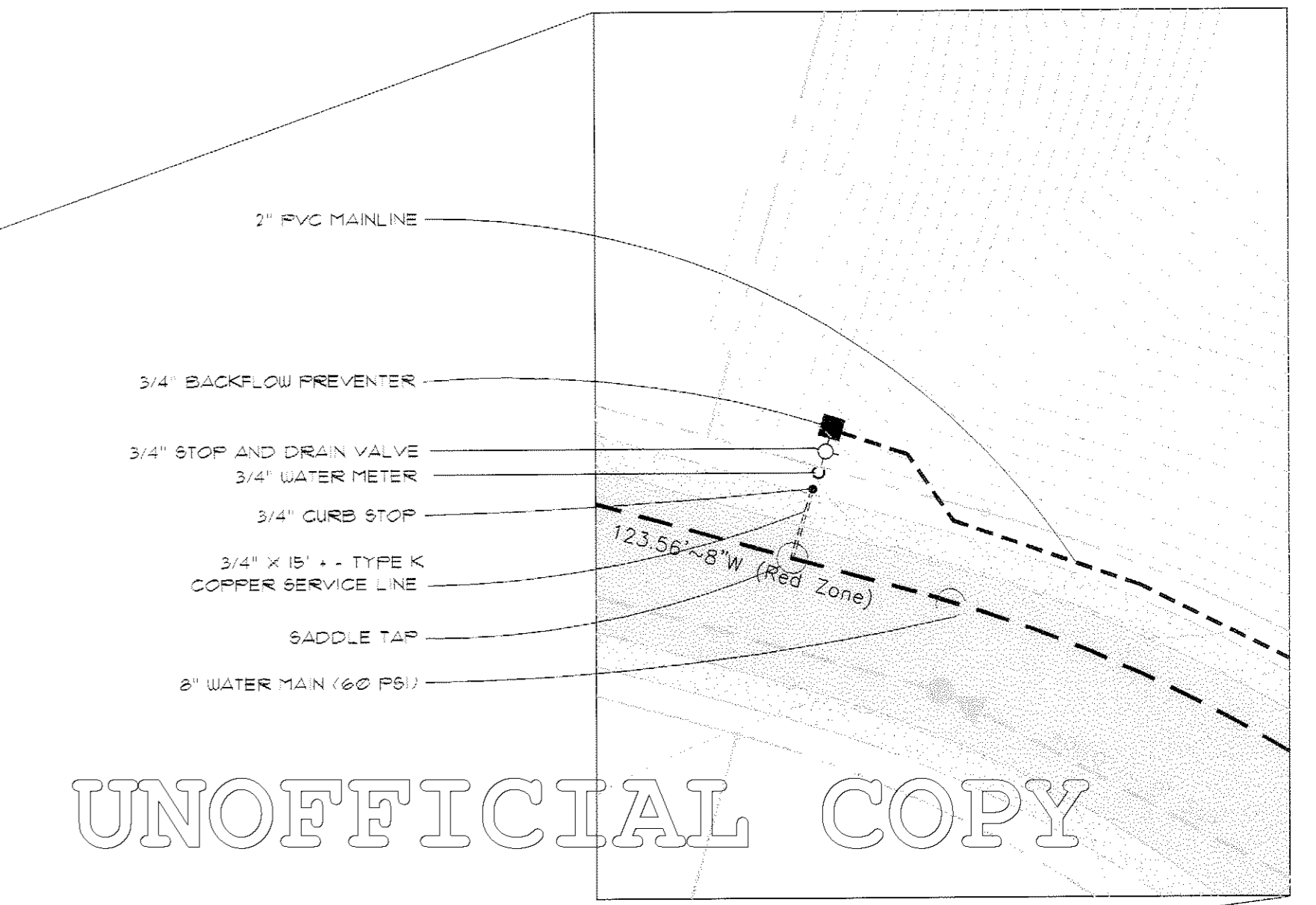
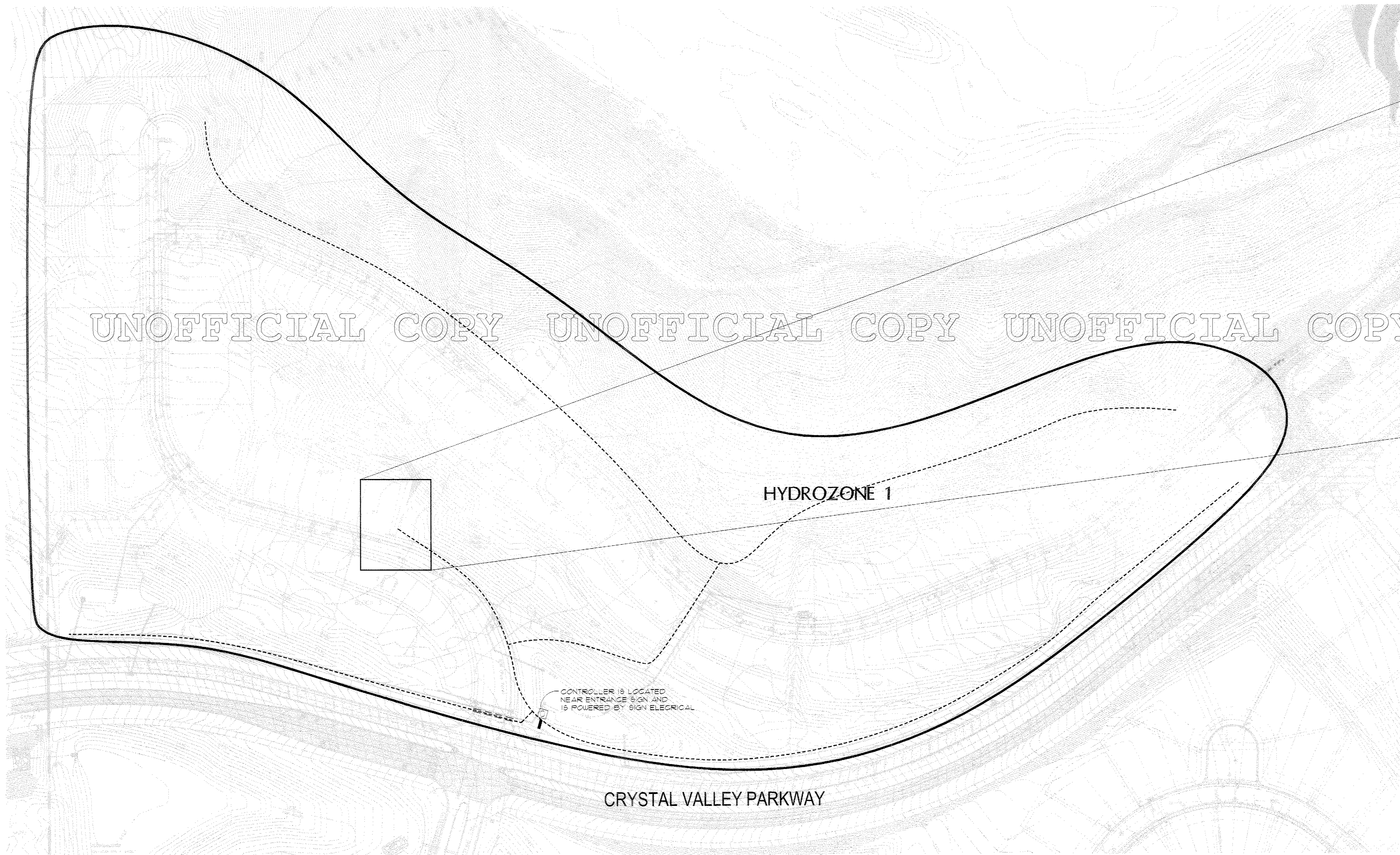
CASTLE ROCK, COLORADO
REG. NO. 332

CRYSTAL VALLEY RANCH – FILING NO. 6

A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT & FINAL P.D. SITE PLAN

SHEET 8 OF 9



IRRIGATION WATER – POINT OF CONNECTION

NO SCALE

WATER USE ANALYSIS

HYDROZONE	TREES 9 SF / EA)
I	335
TOTAL	335
IWR	12"/YEAR
LWU	2.4
CLWUR	2.4

HYDROZONE SUMMARY

HYDROZONE	TREES
I	335
WATER TAP SIZE	3/4"
AREA SERVED	67 TREES

IRRIGATION NOTES

1. THIS IS A CONCEPTUAL DESIGN INTENDED TO ILLUSTRATE LAYOUT, METHODS OF PLANT WATERING AND SCHEDULING.
2. A DETAILED IRRIGATION DESIGN WILL BE PREPARED UPON APPROVAL OF THE FILING NO. 6 LANDSCAPE PLAN.
3. NATIVE GRASSES WILL NOT BE IRRIGATED. THESE GRASSES OCCUR NATURALLY AT CRYSTAL VALLEY RANCH AND WILL REESTABLISH WITHOUT SUPPLEMENTAL IRRIGATION.
4. PLANTS HAVE BEEN SELECTED FOR ADAPTABILITY TO THIS ELEVATION AND CLIMATE. HOWEVER, IRRIGATION WILL BE NECESSARY FOR PLANT ESTABLISHMENT AND TO PROMOTE HEALTHY GROWTH. THEREFORE, DRIP IRRIGATION WILL BE USED FOR SHRUBS AND ORNAMENTAL GRASSES, AND BUBBLER IRRIGATION WILL BE USED FOR ORNAMENTAL AND SHADE TREES, AS WELL AS EVERGREEN TREES. ALL PLANTS WILL BE MULCHED TO CONSERVE MOISTURE.
5. PLANT TYPES WILL BE ZONED ACCORDING TO WATER NEEDS. FOR EXAMPLE, EVERGREEN TREES WILL BE WATERED SEPARATELY FROM ROSES DUE TO ROOT SIZE AND OVERALL PLANT SIZE.
6. ALL PLANT WATERING WILL CONFORM TO THE TOWN OF CASTLE ROCK'S THREE DAY WATERING SCHEDULE FROM 11:00 PM TO 4:00 AM.

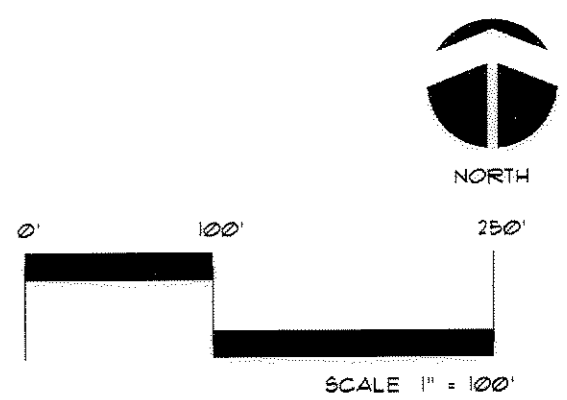
CONCEPT IRRIGATION PLAN

THIS PLAN IS NOT INTENDED FOR BID COLLECTION OR CONSTRUCTION

RockneCortyDesign

A CORPORATION FOR THE PRACTICE OF
LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN
POST OFFICE BOX 3354 - CENTENNIAL, COLORADO 80161
303-770-6746

CASTLE ROCK
REG. NO. 332



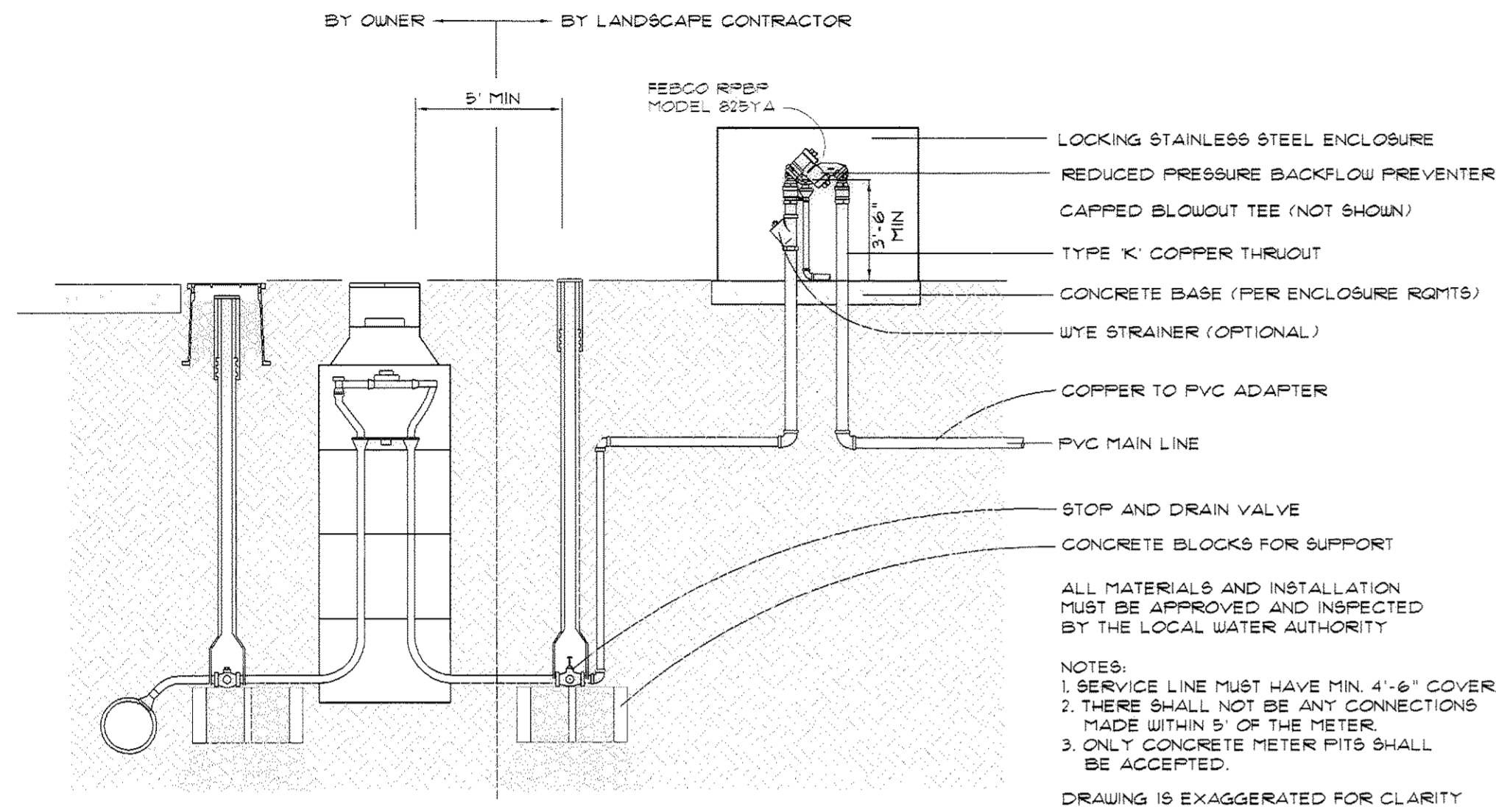
MARCH 17, 2005
CRYSTAL VALLEY RANCH
FILING NO. 6
SHEET 8 OF 9

CRYSTAL VALLEY RANCH - FILING NO. 6

A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRELIMINARY PLAT & FINAL P.D. SITE PLAN

SHEET 9 OF 9



IRRIGATION EQUIPMENT LIST

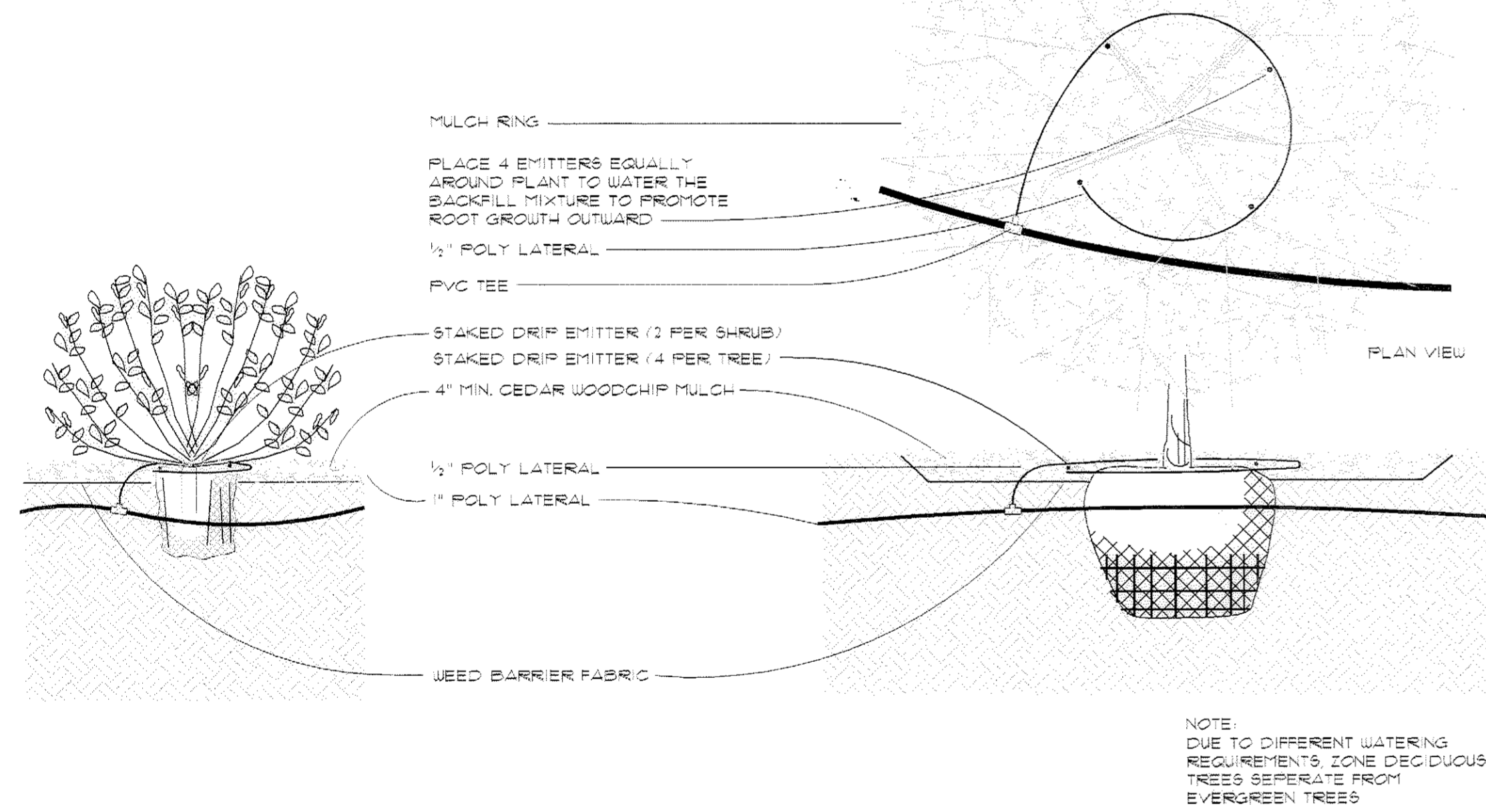
SYMBOL	EQUIPMENT	SIZE / QUANTITY	DESCRIPTION	NOTES AND INFORMATION
○	WATER CONNECTION	3/4" - 15 GPM	BY OWNER	60 MIN. PSI REQUIRED
○	WATER TAP AND METER	3/4"	BY OWNER	SEE DETAIL
○	STOP AND DRAIN VALVE	3/4"	BY OWNER	TESTED AND TAGGED UPON INSTALLATION
■	REDUCED PRESSURE BFF	3/4" UNIT	FEBCO 825YA	
□	CONTROL			
○	CONTROLLER	1 UNIT	HUNTER ICC	CONTROLLER AND PEDESTAL
○	20' WIRES	12-4 GA	COLOR CODED DIRECT BURIAL UFPL	RED
○	COMMON WIRE	2 GA	COLOR CODED DIRECT BURIAL UFPL	WHITE
○	SPARE WIRES	2 GA	COLOR CODED DIRECT BURIAL UFPL	BLUE - 2 ENTIRE LENGTH OF MAINLINE
—	PIPING			
—	PRESSURIZED MAIN LINE	1/2" DIA.	PVC CLASS 100 IPS PLASTIC PIPE	18" BURY - MINIMUM
—	LATERAL PIPE	1" UNLESS NOTED	80' NSF POLY PVC CLASS 160	2" BURY - MINIMUM
—	RAVENHUT SLEEVES	4" DIA.		INSTALL UNDER ALL STREETS AND WALKS
—	ELECTRIC VALVES	N/A	CARBON	STANDARD AND JUMBO SIZES - GROUP VALVES WHERE POSSIBLE
—	VALVE BOXES	N/A	REMOTE CONTROL ELECTRIC VALVES	PRESSURE REGULATING SOLENOID TYPE VALVE
—	ELECTRIC VALVES	3/4" SIZE		
—	MANUAL VALVES			
—	BALL VALVE	VALVE SIZE	RAINBIRD XEV	SEE ASSEMBLY DETAIL
—	QUICK COUPLER	3/4" UNIT	RAINBIRD 33 RC	PROVIDE SWIVEL HOSE END AND KEY FOR EACH UNIT
—	ISOLATION VALVE	1" UNIT	RED-WHITE OR EQUIV.	SET IN VALVE BOX
—	DRIP ASSEMBLY			
—	LOW VOLUME ELECTRIC VALVE	3/4" UNIT	RAINBIRD XCV-075 WITH FILTER	SEE ASSEMBLY DETAIL
—	DRIP LATERAL PIPE	AS NEEDED	IRRITROL 1/2" DURA-POL BLUE STRIPE	STAKE IN PLACE BELOW MULCH
—	EMITTERS	AS NEEDED	IRRITROL E-2 EMITTER	SEE DETAILED DRAWINGS
—	HEADS			
—	POP-UP SPRAY HEAD	2" RISERS	RAINBIRD 182	
—			RAINBIRD NOZZLES	

IRRIGATION SPECIFICATIONS

- PART 1 GENERAL**
- 1.01 WORK INCLUDED**
- A. Work includes all labor, material and equipment necessary to furnish and install an automatic underground irrigation system as specified and indicated on the Drawings.
- 1.02 QUALITY ASSURANCE**
- A. Installer Qualifications: Minimum of five years experience installing irrigation systems of comparable size. Submit experience and references upon request.
- B. Quality Control: Obtain Landscape Architect's acceptance of installed and tested irrigation system components prior to and after installing backfill materials.
- 1.03 SUBMITTALS**
- A. Products: Use equipment as specified. If alternates are proposed, submit manufacturer's product data including installation and operation instructions for each of the system components. Release of used components is subject to approval. All cover materials must be new and fully warranted by the manufacturer.
- B. As-Builts: The Contractor shall supply the Landscape Architect with a legibly marked field drawing with all deviations from the original recorded thereon. The Landscape Architect shall make all record changes to the original CAD drawings which shall become a permanent record of the installed work.
- 1.04 DELIVERY, STORAGE AND HANDLING**
- A. Storage and Handling: Store and handle all irrigation equipment to prevent damage, deterioration and theft, which could cause installation delays.
- 1.05 PROJECT CONDITIONS**
- A. Locate existing utilities and make connections as required for this work. Saw cut existing pavements and tunnel under concrete walks where necessary.
- B. Protect all irrigation equipment and materials for one (1) calendar year following Turn Over. Warranty includes trench and head settlement greater than 1".
- PART 2 PRODUCTS**
- 2.01 MATERIALS**
- A. General: Unless existing equipment is to be used, provide only new materials without flaws or defects and of the highest quality of their specified class and kind.
- B. Brand or Product: Refer to the Irrigation Equipment List on this drawing for desired equipment. Because of similarities in competitive brands, alternate equipment will be considered if the bidder/contractor requests approval prior to the bid date. Approval, if granted, will be in the form of a written addendum so that all bidders have the same advantage in pricing. If written approval is not in hand at the time bids are submitted, the equipment shall be exactly as stated on the equipment list.
- PART 3 EXECUTION**
- 3.01 PREPARATION**
- A. Irrigation system layout is diagrammatic. Exact locations of irrigation components shall be established by the Contractor in the field at the time of installation. Layout and stake the location of each pipe run and all sprinkler heads and sprinkler valves. Obtain Landscape Architect's acceptance of significant deviations.
- 3.02 INSTALLATION**
- A. Excavating and Backfilling: All excavation shall be considered unclassified excavation and include all materials encountered. Excavate trenches of sufficient depth and width to permit proper handling and installation of pipe and fittings. Excavate to depths required to provide 2" depth of earth fill or sand bedding for piping when rock or other unsuitable bearing material is encountered. Fill to match adjacent grade elevations with approved earth fill material. Place and compact fill in layers not greater than 8" in depth.
- B. Plastic Pipe: Install plastic pipe and fittings in accordance with manufacturer's installation instructions, including recommendations on "raft" tape and pipe jointing compounds. Provide for thermal expansion and contraction. Saw cut plastic pipe using a square-in-sawing vice to ensure a square cut. Remove burrs and shavings at cut ends prior to installation. Make connections with solvent weld, joints or slip seal joints. Use only solvent recommended by the pipe manufacturer. Allow joints to set at least 24 hours before pressure is applied to the system. Maintain pipe interiors free of dirt and debris. Close open ends of pipe by acceptable methods when pipe installation is not in progress.
- C. Sprinkler Heads, Fittings, Valves and Accessories: Install fittings, valves, irrigation heads, risers and accessories in accordance with the Detailed Drawings and manufacturer's recommendations, except as otherwise indicated. Set sprinkler heads perpendicular to finished grades.
- D. Flushing, Adjustment and Testing: Flush piping and risers after installation with a full head of water prior to sprinkler head installation. Adjust all irrigation components after installation for proper and adequate distribution of the water over the coverage pattern. Test system upon completion of each section. Make necessary repairs and retest repaired sections as required.
- E. Service: Return to the site during the fall season, regardless of maintenance responsibility, and demonstrate to the Owner's representative winterization procedures by draining all water from the system. Return to the site during the subsequent spring season and demonstrate to the Owner's representative the proper procedure for system startup, operation and maintenance. Make any warranty repairs or adjustments.
- 3.03 CLEANING**
- A. Perform cleaning during installation of the work and upon completion of the work. Remove from site all excess materials, soil, debris, and equipment. Maintain disposal route clear, clean and free of debris.

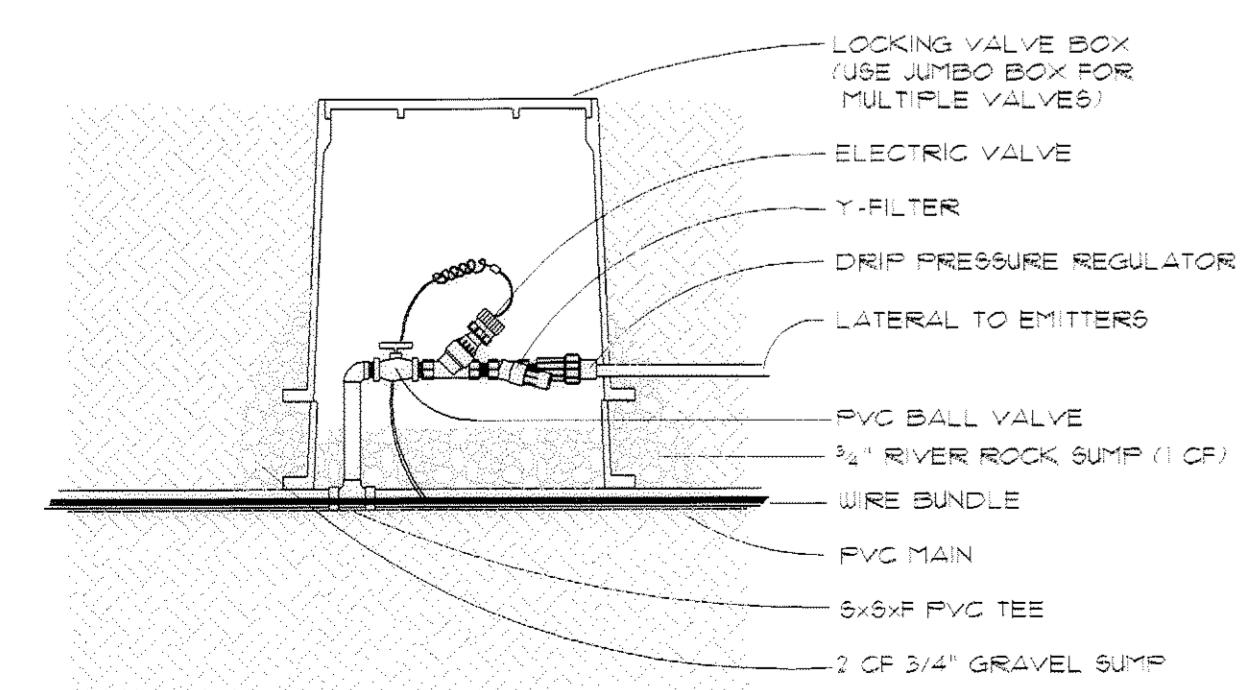
UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

WATER CONNECTION

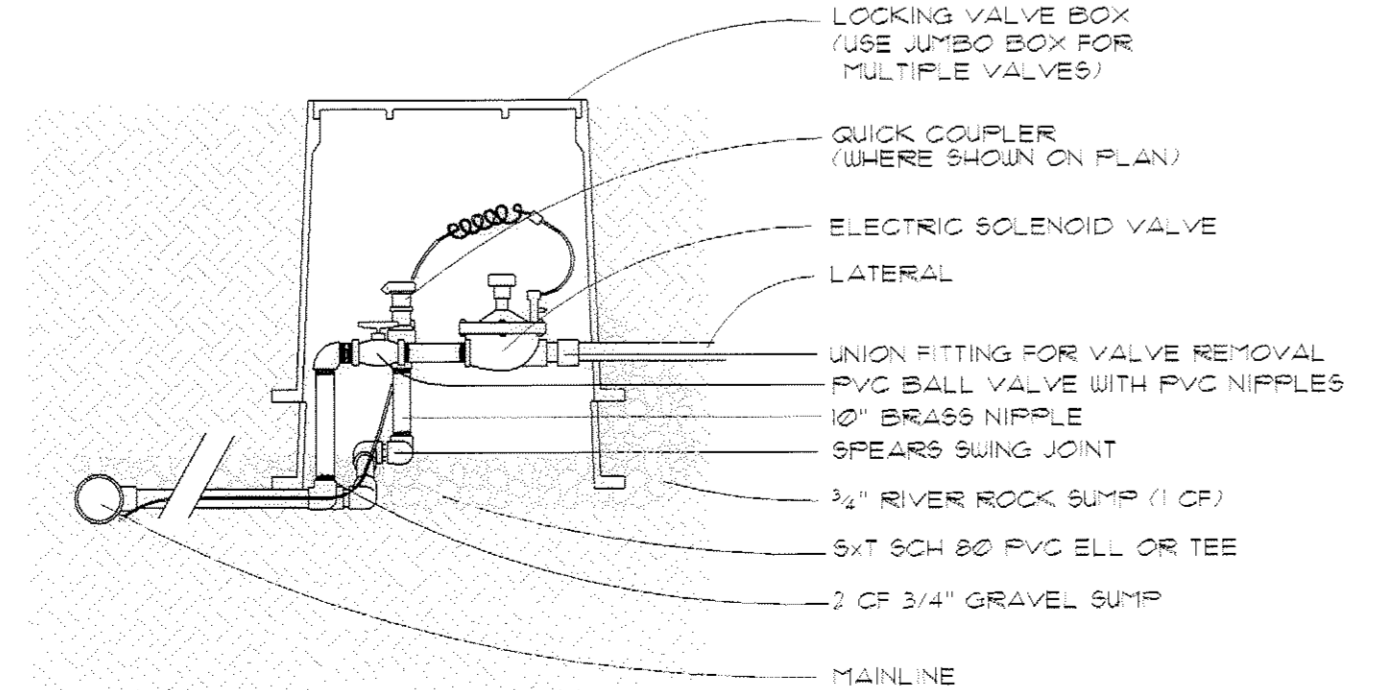


DRIP EMITTERS FOR SHRUBS

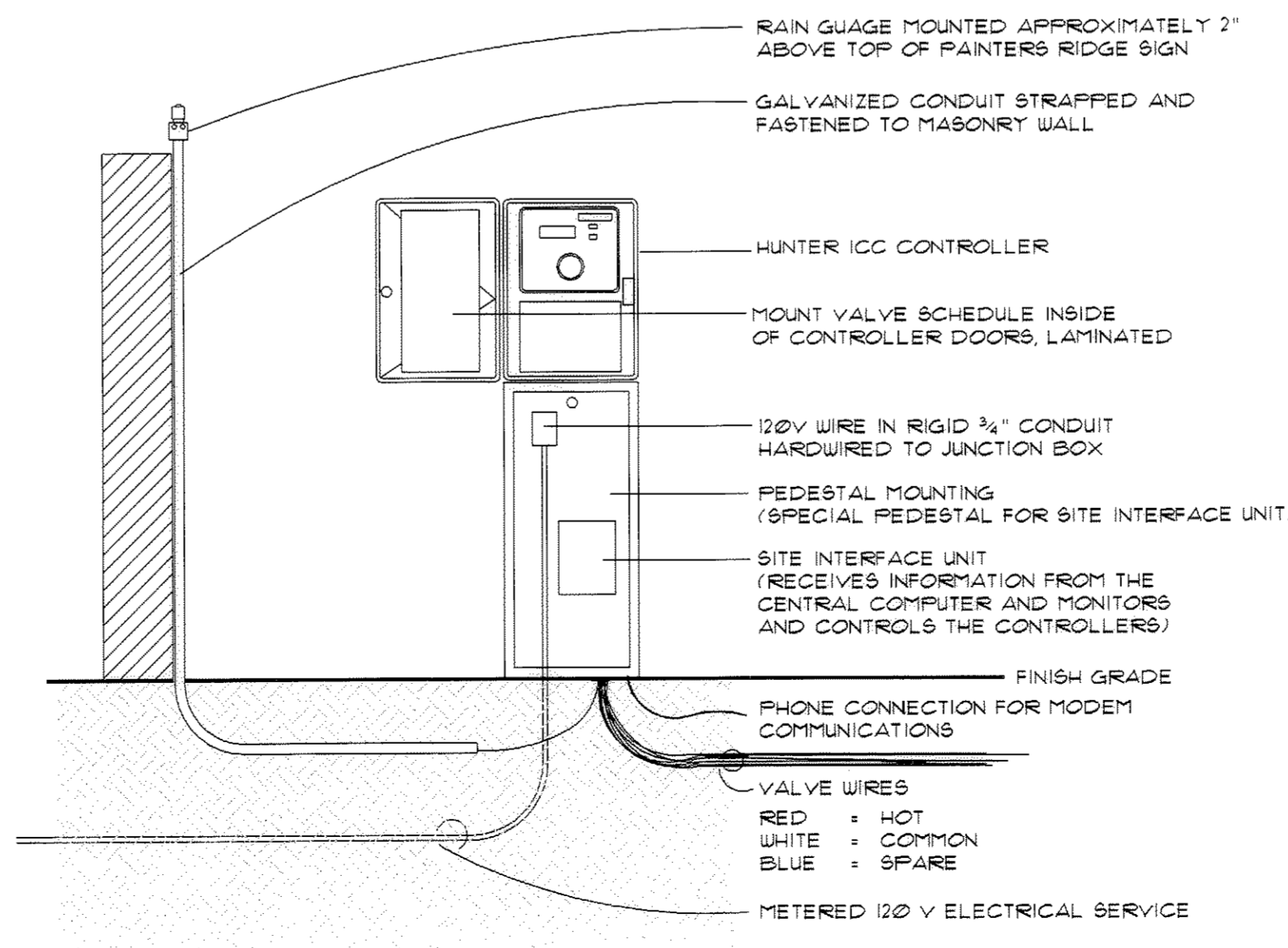
DRIP EMITTERS FOR TREES (EVERGREEN AND DECIDUOUS)



ELECTRIC DRIP VALVE ASSEMBLY



ELECTRIC VALVE / QUICK COUPLER ASSEMBLY



CONTROLLER

IRRIGATION SPECIFICATIONS AND DETAILS

THIS DRAWING IS NOT INTENDED FOR BID COLLECTION OR CONSTRUCTION

RockneCortyDesign
LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN
POST OFFICE BOX 3354 • CENTENNIAL, COLORADO 80611
303-718-6746

MARCH 17, 2005
CRYSTAL VALLEY RANCH
FILING NO. 6
CASTLE ROCK
REG. NO. 332 SHEET 9 OF 9