

SITE DEVELOPMENT PLAN LOT 2, CASTLE ROCK MARINE FILING NO. 1

A PARCEL OF LAND LOCATED IN THE NORTHWEST
QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH,
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK
COUNTY OF DOUGLAS, STATE OF COLORADO

LEGAL DESCRIPTION

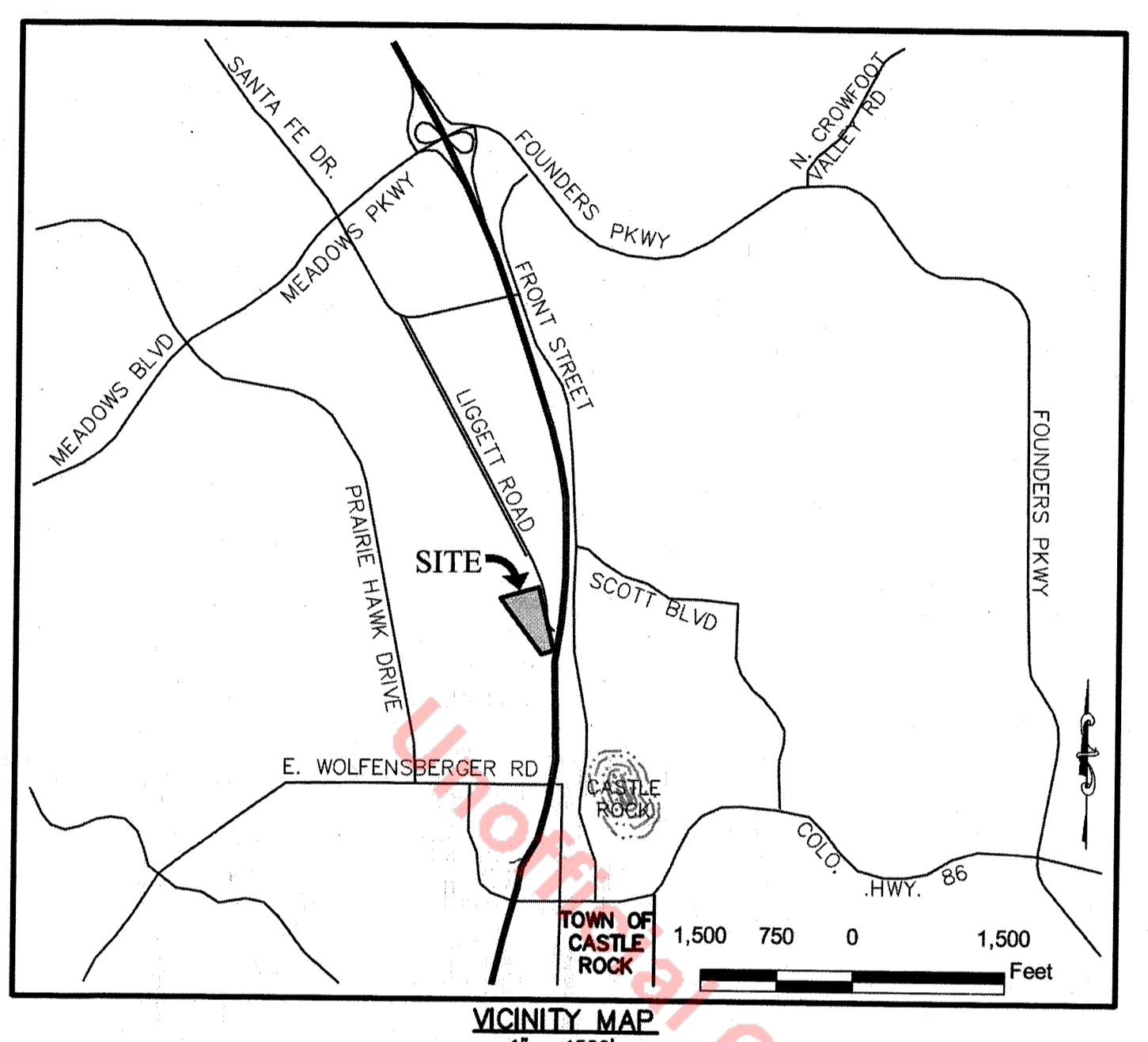
LOT 2,
CASTLE ROCK MARINE FILING NO. 1
COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. THERE ARE NO FEMA REGULATED FLOODPLAINS OR WETLANDS ON THE SITE. THE SITE IS LOCATED IN ZONE X PER FEMA FIRM MAP NUMBER 08035C0188G, DATED MARCH 16, 2016.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
10. THIS SITE IS ZONED: CASTLE ROCK MARINE PD DATE RECORDED 12/18/2003, RECEPTION NUMBER 2003178161
11. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
12. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
13. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
14. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

FIRE NOTES

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE REVISD: 11/4/2014 OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. NO PARKING FIRE LANE SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.



WATER RIGHTS DEDICATION AGREEMENT
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE CASTLE ROCK MARINE ANNEXATION AND DEVELOPMENT AGREEMENT, RECORDED ON THE 18TH DAY OF DECEMBER, 2003 AT RECEPTION NO. 2003178163. AND ACCORDINGLY 2 SFE ARE DEBITED FROM THE WATER BANK.

PARKING CALCULATIONS:
MINI-WAREHOUSE = 1 SPACE/10,000 SF
MINI-WAREHOUSE = 98,513 SF/10,000 = 10 SPACES
AUTO SERVICE = 3 SPACES/BAY + 1 SPACE/EMPLOYEE
AUTO SERVICE 1 = 5 BAYS + 7 EMPLOYEES = 22 SPACES
AUTO SERVICE 2 = 5 BAYS + 5 EMPLOYEES = 20 SPACES
TOTAL SPACES REQUIRED: 52 SPACES
TOTAL SPACES PROVIDED: 54 SPACES

PERMITTED USES	PROVIDED (SDP)	REQUIRED (PD)
SITE AREA (SQ. FT.)	327,306	
GROSS FLOOR AREA (SQ. FT.)	115,695	
FAR		
TOTAL BUILDING COVERAGE (SQ. FT.)	115,695	
FLOOR AREA RATIO	0.35	0.40
HARD SURFACE (SQ. FT.)	193,723	
HARD SURFACE %	59.2%	
LANDSCAPE AREA %	21.5%	10.0%
LANDSCAPE AREA TOTAL (SQ. FT.)	70,411	32,731
PARKING		
PARKING AREA (SQ. FT.)	78,100	
PARKING AREA LANDSCAPE (SQ. FT.)	8,585	7,810
PARKING AREA LANDSCAPE %	11.0%	10.0%
SETBACK:		
FRONT	15'	15'
REAR	20'	20'
SIDE	5'	5'
MAX. BUILDING HEIGHT (FT.)	33'-8"	35'

DOUGLAS COUNTY CLERK AND RECORDERS CERTIFICATE
THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 11:28 ON THE 22nd DAY OF MARCH, 2018 AT RECEPTION NO. 2018016630.
DOUGLAS COUNTY CLERK AND RECORDER

BY: Tulayna Poon
DEPUTY

TITLE CERTIFICATION
I, ERIC STEARNS, AN AUTHORIZED REPRESENTATIVE OF CHICAGO TITLE OF COLORADO, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE
CHICAGO TITLE OF COLORADO
SIGNED THIS 6th DAY OF March, 2018

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 6th DAY OF MARCH, 2018 BY
ERIC STEARNS AS AUTHORIZED REPRESENTATIVE OF CHICAGO TITLE OF COLORADO.
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: March 29, 2021

OWNERSHIP CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

BY: GARAGECONDOS AT HANGMAN'S GULCH2, LTD. A COLORADO LIMITED PARTNERSHIP
BY: GARAGECONDOS, LLC, A COLORADO LIMITED LIABILITY COMPANY, IT'S GENERAL PARTNER

BY: Glenn Spencer McWilliams
GLENN SPENCER MCWILLIAMS, MEMBER
SIGNED THIS 6th DAY OF MARCH, 2018

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 6th DAY OF MARCH, 2018 BY
BY GLENN SPENCER MCWILLIAMS AS MEMBER OF GARAGECONDOS, LLC AS GENERAL PARTNER OF THE GARAGECONDOS AT HANGMAN'S GULCH2, LTD.

WITNESS MY HAND AND OFFICIAL SEAL.
NOTARY PUBLIC
MY COMMISSION EXPIRES: March 29, 2021

CIVIL ENGINEER'S STATEMENT
I, KEVIN ROHRBOUGH BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Kevin Rohrbough 3-5-18
DATE
FOR AND ON BEHALF OF ATWELL, LLC

SURVEYOR'S CERTIFICATE
I, SHAWN CLARKE, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

Shawn Clarke 03-05-18
DATE
FOR AND ON BEHALF OF ATWELL, LLC

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 20th DAY OF March, 2018

[Signature]
DIRECTOR OF DEVELOPMENT SERVICES

Sheet List Table	
SHEET NO.	SHEET TITLE
1	COVER
2	SITE PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	CONCEPTUAL LANDSCAPE PLAN
6	CONCEPTUAL LANDSCAPE PLAN
7	ARCHITECTURAL SITE PLAN
8	BUILDING ELEVATIONS
9	BUILDING ELEVATIONS
10	BUILDING ELEVATIONS
11	PHOTOMETRIC PLAN

DEVELOPER:
THE GARAGECONDOS, LLC
PO BOX 271047
LITTLETON, CO 80127
CONTACT: GLENN MCWILLIAMS
PHONE: 303-518-2353

ARCHITECT:
RLI ARCHITECTURAL
1550 LARIMER ST, SUITE 190
DENVER, CO 80202
CONTACT: RIC JOHNSON
303-520-9775

CIVIL ENGINEER:
ATWELL, LLC
143 UNION BLVD, SUITE 700
LAKEWOOD, CO 80228
CONTACT: KEVIN ROHRBOUGH
PHONE: 303-928-6751

ELECTRICAL ENGINEER:
ALBER ENGINEERING, INC
5173 OAK HOLLOW DR
MORRISON, CO 80465
CONTACT: JERRY ALBER
303-736-2739

LANDSCAPE ARCHITECT:
KIRBY SMITH & ASSOCIATES, INC.
6201 S. HUDSON CT
CENTENNIAL, CO 80121
CONTACT: KIRBY SMITH
PHONE: 303-694-9484

BENCHMARK
DOUGLAS COUNTY GIS POINT 3.005015.
ELEVATION = 6197.56 (NAVD 88)

SITE DEVELOPMENT PLAN
LOT 2, CASTLE ROCK MARINE FILING NO. 1
PROJECT NO. SDP16-0040

866.850.4200 www.atwell-group.com
143 UNION BOULEVARD, SUITE 700
LAKEWOOD, CO 80228
303.462.1100

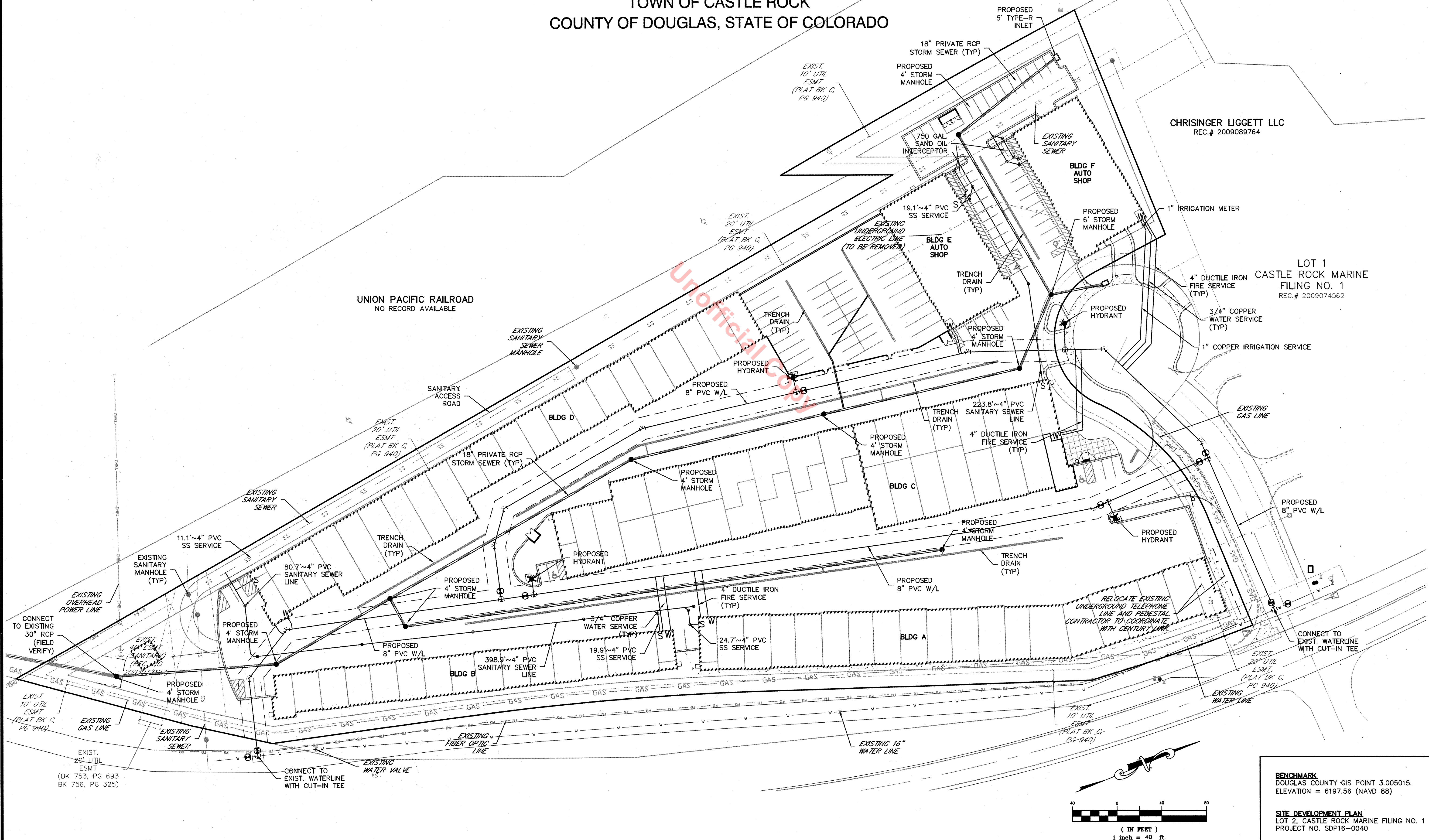
DEVELOPER THE GARAGECONDOS, LLC PO BOX 271047 LITTLETON, CO 80127 303-518-2353 GLENN MCWILLIAMS	DATE 8/25/2017 REVISIONS
DR. NA CH. GB P.M. KR COVER JOB 15002227 SHEET NO. 1 OF 11	

UTILITY NOTES

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK HGL: 6334 & 6352 YELLOW WATER PRESSURE ZONE.
5. THE WATER MAIN AND STORM SEWER WILL NOT BE PHASED AND ARE TO BE BUILT IN PHASE I.

SITE DEVELOPMENT PLAN LOT 2, CASTLE ROCK MARINE FILING NO. 1

A PARCEL OF LAND LOCATED IN THE NORTHWEST
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RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK
COUNTY OF DOUGLAS, STATE OF COLORADO



DEVELOPER
THE GARAGECONDO, LLC
PO BOX 271047
LITTLETON, CO 80127
303-518-2353
GLENN MCWILLIAMS

DATE 8/25/2017

REVISIONS



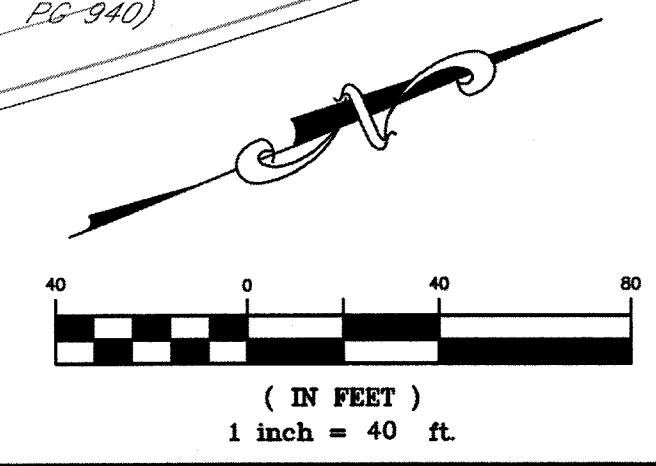
DR. NA | CH. GB
P.M. KR

UTILITY PLAN

JOB 15002227
SHEET NO. 4 OF 11

BENCHMARK
DOUGLAS COUNTY GIS POINT 3.005015.
ELEVATION = 6197.56 (NAVD 88)

SITE DEVELOPMENT PLAN
LOT 2, CASTLE ROCK MARINE FILING NO. 1
PROJECT NO. SDP16-0040



SITE DEVELOPMENT PLAN LOT 2, CASTLE ROCK MARINE FILING NO. 1

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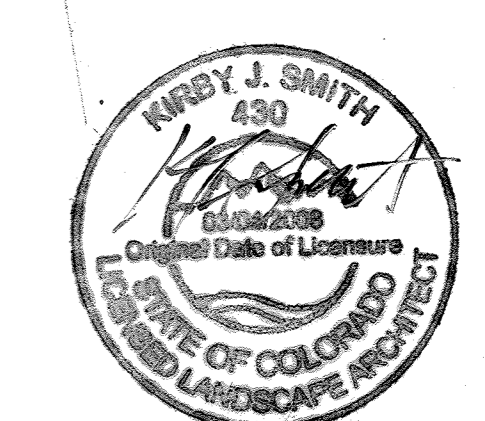
Conceptual Landscape Plan



DEVELOPER
THE GARAGECONDOS, LLC
PO BOX 271047
LITTLETON, CO 80127
303-518-2353
CLENN, MCWILLIAMS

DATE	REVISIONS
October 10, 2018	
1	Rev. Staff Comments 4/14/17
2	Rev. Staff Comments 8/31/17
3	Rev. Staff Comments 12/12/17
4	Rev. Staff Comments 1/11/18

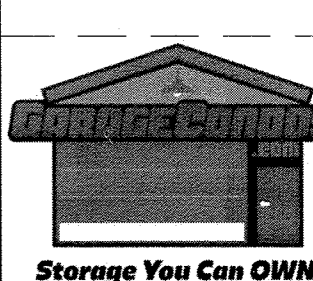
REVISIONS



Landscape Plans Prepared By:



Kirby Smith & Associates, Inc.
Land Planning • Site Design • Landscape Architecture
6201 So. Hudson Ct. Centennial, CO 80121
(303) 694-9484 FAX (303) 694-9272
Castle Rock Design Certificate No. 15-1088 Job # 436.0
Expiration: April 30, 2018
Signature: *Kirby Smith* Date: 3/15/18



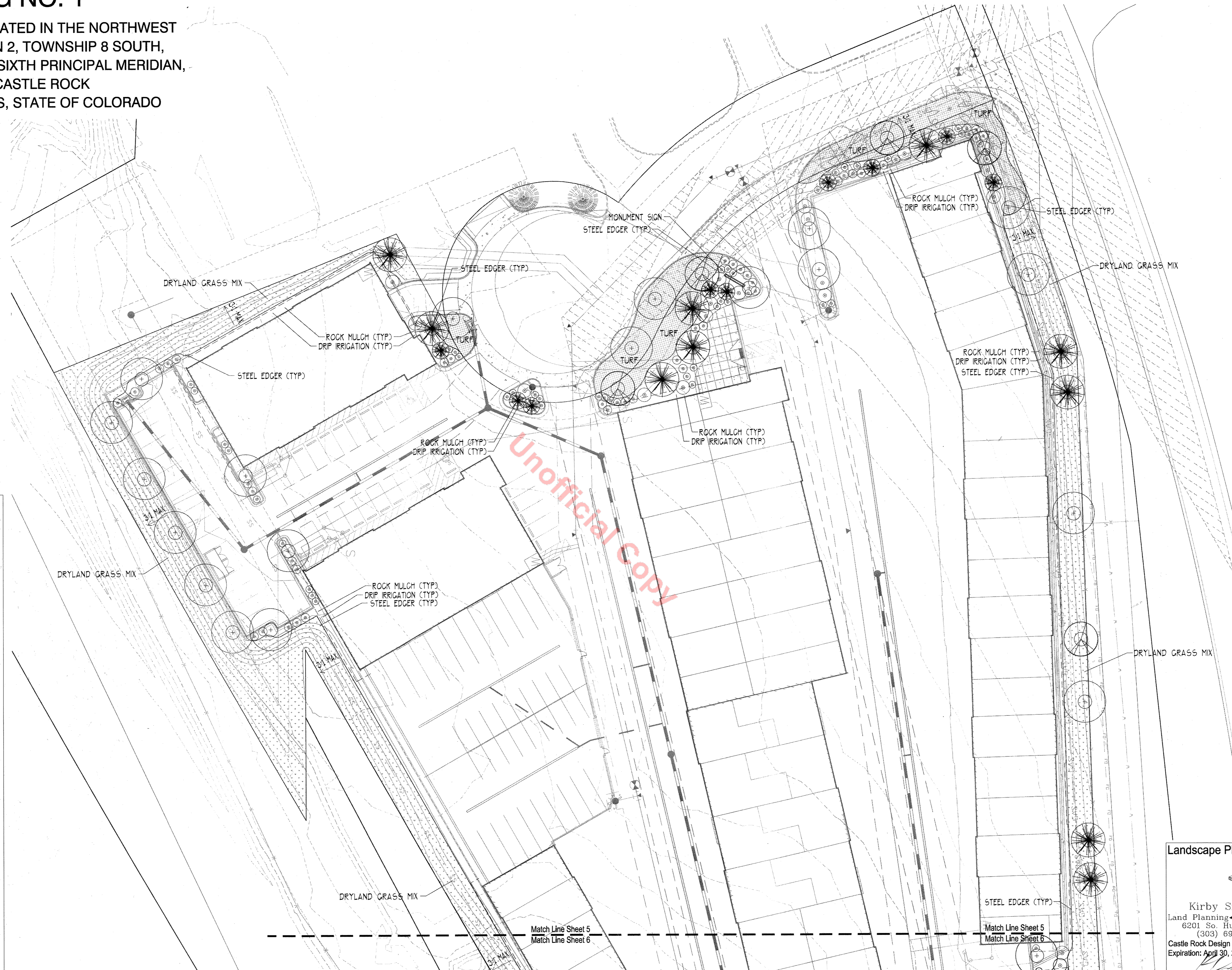
DR. KJS | CH. KJS
P.M. KJS
Conceptual Landscape Plan
JOB 15002227
SHEET NO. 5 OF 11

PLANT LEGEND

- AUS Austrian Pine Existing 50'X20'
- PON Ponderosa Pine Existing 40'X25'
- FIN Pinon Pine Existing 25'X15'
- MAR Marshall Seedless Ash Existing 50'X35' (1)
- SIL Silver Maple Existing 50'X40' (1)
- GOA Gambel Oak Existing 15' X 15'
- ROL Russian Olive Existing 25'X25'
- All Trees + Shrubs To Be Low To Moderate Hydrozone Evergreen Trees (27)
- Large Canopy Deciduous Trees (31)
- Ornamental Deciduous Trees (6)
- Deciduous + Evergreen Shrubs (145)
- Irrigated Turf - Blue Grama Grass
- Dryland Grass Mix-Arkansas Valley Low Grow Mix

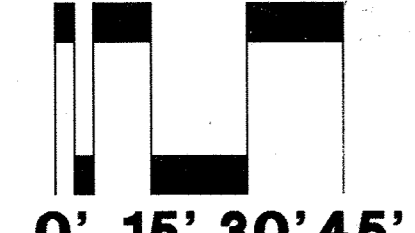
LEGEND

- SANITARY MANHOLE
- SANITARY MKR POST
- STORM FES
- STORM MANHOLE
- WATER FIRE HYDRANT
- WATER METER
- WATER VALVE
- WATER STOPBOX
- ELECTRIC BREAKER BOX
- ELECTRIC POLE
- LIGHT POLE
- GUY WIRE
- TELEPHONE MKR
- TELEPHONE PEDESTAL
- FIBER OPTIC MKR
- FIBER OPTIC PEDESTAL
- FIBER OPTIC VAULT
- IRRIGATION CONTROL BOX
- VENT PIPE
- BUSH EVERGREEN
- TREE CONIFER
- TREE DECIDUOUS
- BOLLARD
- DELINEATOR
- SIGN
- ELECTRIC UNDERGROUND
- WATER LINE UNDERGROUND
- TELEPHONE LINE UNDERGROUND
- FIBER OPTIC UNDERGROUND
- GAS LINE UNDERGROUND
- SANITARY UNDERGROUND
- FENCE
- CONCRETE
- ASPHALT PAVEMENT



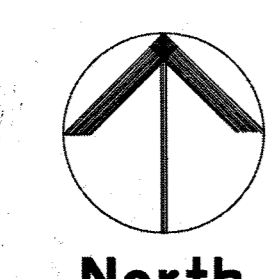
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Scale: 1" = 30'



0' 15' 30' 45'

North



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
811
CALL 2 BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

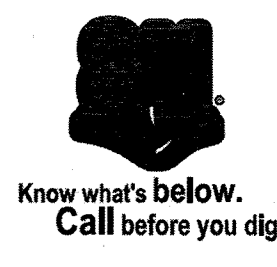
BENCHMARK
DOUGLAS COUNTY GIS POINT 3.005015
ELEVATION = 6197.56 (NAVD 88)

SITE DEVELOPMENT PLAN
LOT 2, CASTLE ROCK MARINE FILING NO. 1
PROJECT NO. SDP16-004

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Conceptual Landscape Plan



DEVELOPER
THE GARAGECONDOS, LLC
PO BOX 271047
LITTLETON, CO 80127

DATE October 10, 2016

1	Rev. Staff Comments 4/14/17
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REVISIONS



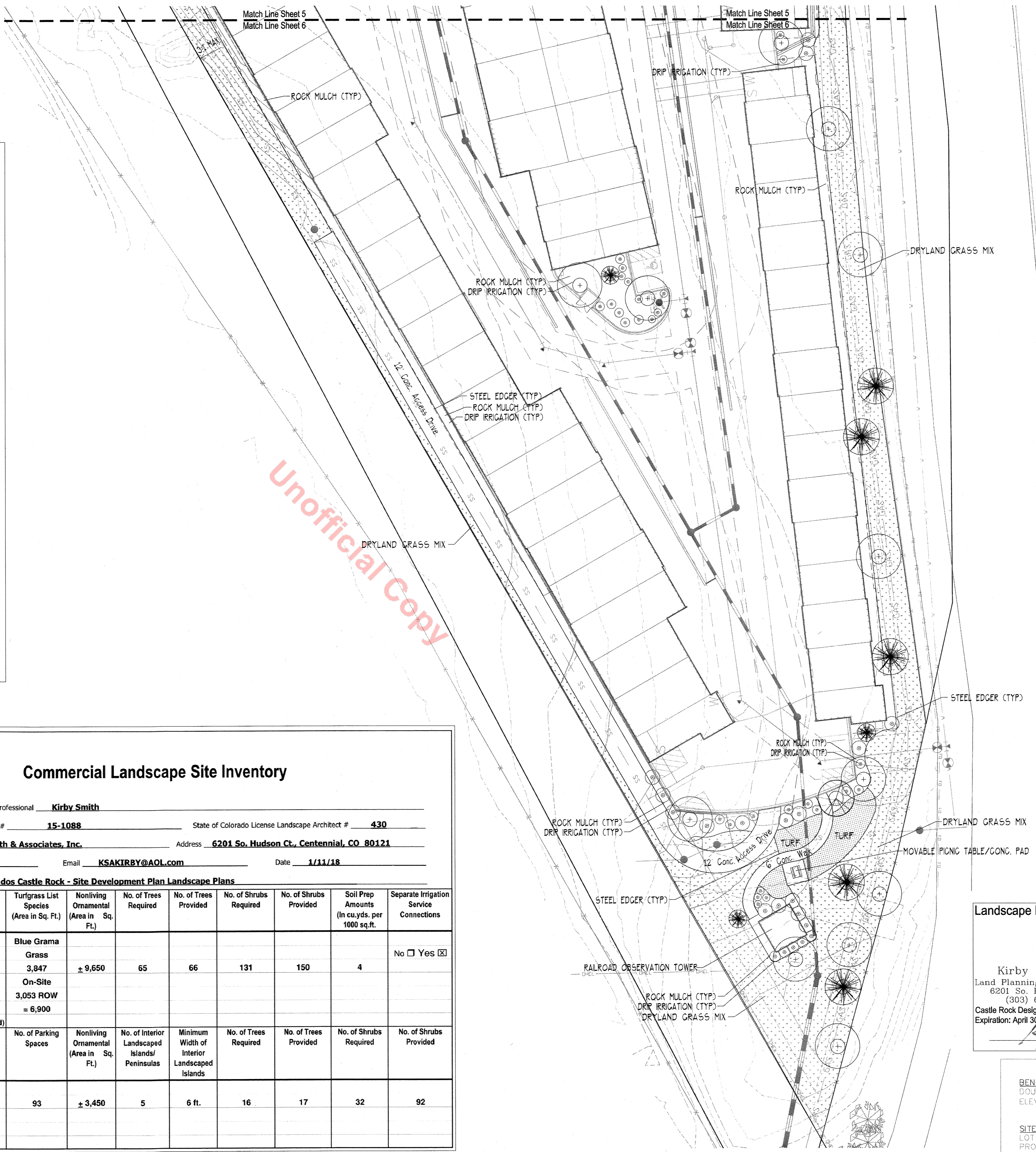
DR. KJS | CH. KJS
P.M. KJS
Conceptual Landscape Plan
JOB 15002227
SHEET NO. 6 OF 11

PLANT LEGEND

- AUS Austrian Pine Existing 50'X20'
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- MAR Marshall Seedless Ash Existing 50'X35' (1)
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LEGEND

- SANITARY MANHOLE
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- WATER VALVE
- WATER STOPBOX
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- WATER LINE UNDERGROUND
- TELEPHONE LINE UNDERGROUND
- FIBER OPTIC UNDERGROUND
- GAS LINE UNDERGROUND
- SANITARY UNDERGROUND
- FENCE
- CONCRETE
- ASPHALT PAVEMENT



Unofficial Copy

TOWN STANDARD SITE DEVELOPMENT PLAN (SDP) LANDSCAPE NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGES SHALL MEET OR EXCEED COVERAGES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- A MINIMUM OF FOUR (4) CUBIC YARDS OF ORGANIC MATTER PER ONE THOUSAND SQUARE FEET OF LANDSCAPED AREA SHALL BE REQUIRED. THIS SOIL AMENDMENT SHALL BE ROTOTILLED TO A DEPTH OF SIX (6) INCHES.
- THERE WILL BE NO TREES WITH A CALIPER GREATER THAN 12" OR A BRANCHING HEIGHT NO LESS THAN 8' WITHIN SIGHT DISTANCE LINES PER PARAGRAPH 2.4.8 (2) OF THE TDCM.

Scale: 1" = 30'

0' 15' 30' 45'

North

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
811
CALL 2 BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

Town of Castle Rock Registered Professional Kirby Smith									
Town of Castle Rock Registration # 15-1088 State of Colorado License Landscape Architect # 430									
Company Name Kirby Smith & Associates, Inc. Address 6201 So. Hudson Ct., Centennial, CO 80121									
Phone 303-694-9484 Email KSAKIRBY@AOL.com Date 1/11/18									
PROJECT NAME Garagecondos Castle Rock - Site Development Plan Landscape Plans									
Gross Construction Area	Min. Landscaped Area In Sq. Ft.	Turfgrass List Species (Area in Sq. Ft.)	Nonliving Ornamental (Area in Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 sq.ft.)	Separate Irrigation Service Connections
327,306 (7.51 Ac.)	x.10 = 32,731	Blue Grama Grass 3,847	± 9,650	65	66	131	150	4	No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
	70,172.00 Provided	On-Site = 6,900							
	(± 17,000 Irrigated)								
Parking Lot (Area in Sq. Ft.)	Parking Lot Landscaped Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq. Ft.)	No. of Interior Landscaped Islands/ Peninsulas	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
78,100.0	x.10 = 7,810	93	± 3,450	5	6 ft.	16	17	32	92
	± 8,585 Provided								

Landscape Plans Prepared By:

Kirby Smith & Associates, Inc.
Land Planning • Site Design • Landscape Architecture
6201 So. Hudson Ct. Centennial, CO 80121
(303) 694-9484 FAX (303) 694-9272
Castle Rock Design Certificate No. 15-1088 Job # 438.0
Expiration: April 30, 2018

[Signature] *[Signature]*
Signature Date

BENCHMARK
DOUGLAS COUNTY GIS POINT 3.005015.
ELEVATION = 6197.56 (NAVD 88)

SITE DEVELOPMENT PLAN
LOT 2, CASTLE ROCK MARINE FILING NO. 1
PROJECT NO. SDP16-0040

SITE DEVELOPMENT PLAN LOT 2, CASTLE ROCK MARINE FILING NO. 1

A PARCEL OF LAND LOCATED IN THE NORTHWEST
QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH,
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK
COUNTY OF DOUGLAS, STATE OF COLORADO

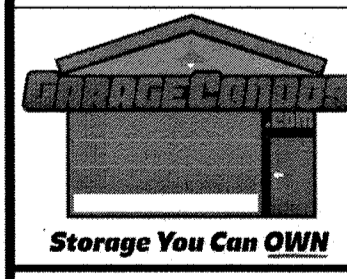


R L J Architectural Services LLC
 1550 Larimer Street, PMB 190, Denver, CO 80202
 (303) 920-9775

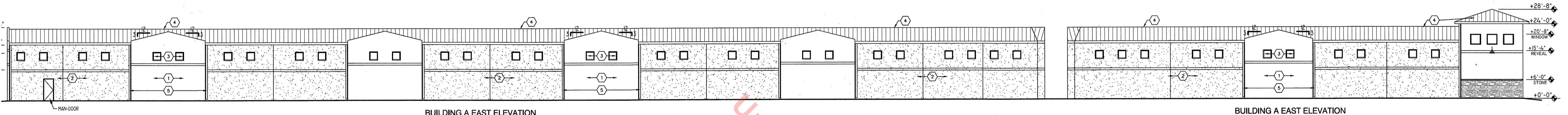
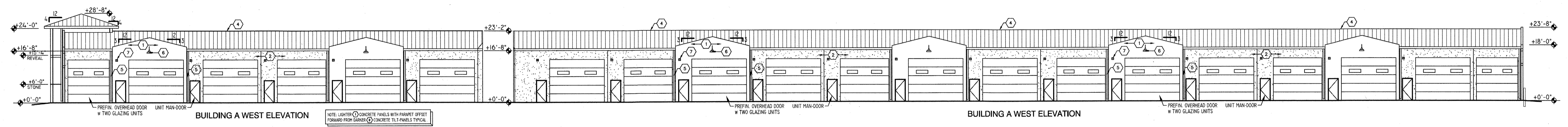
DEVELOPER
THE GARAGECONDOS, LLC
 PO BOX 277047
 LITTLETON, CO 80127
 303-518-2353
 GLENN MCWILLIAMS

DATE 8/25/2017

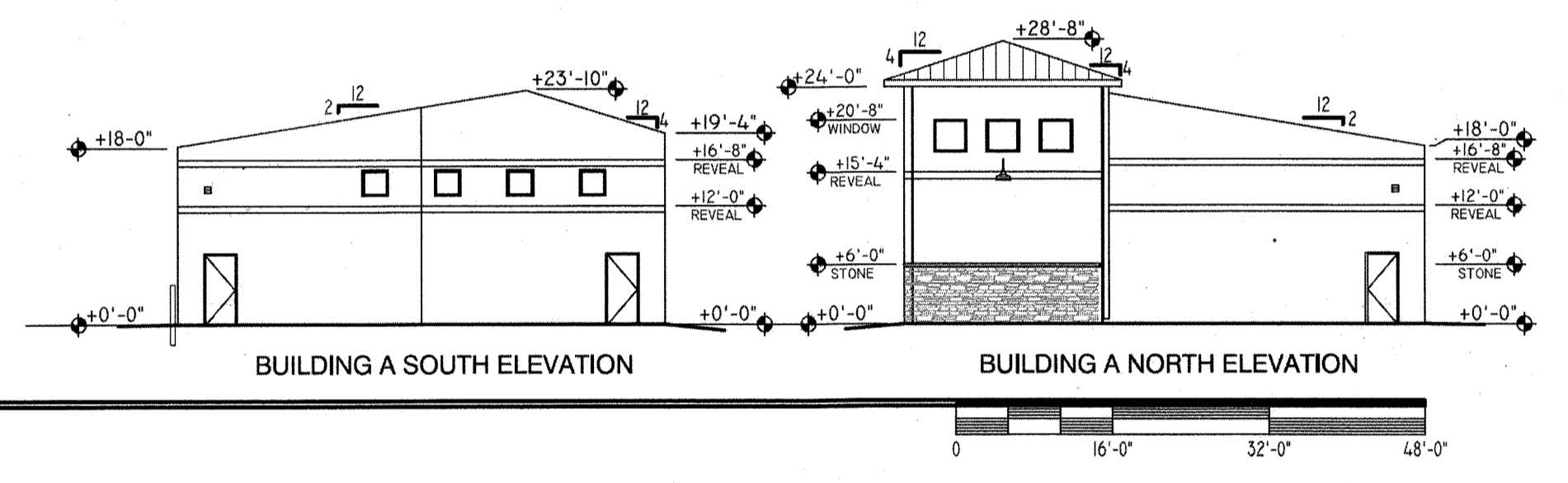
REVISIONS



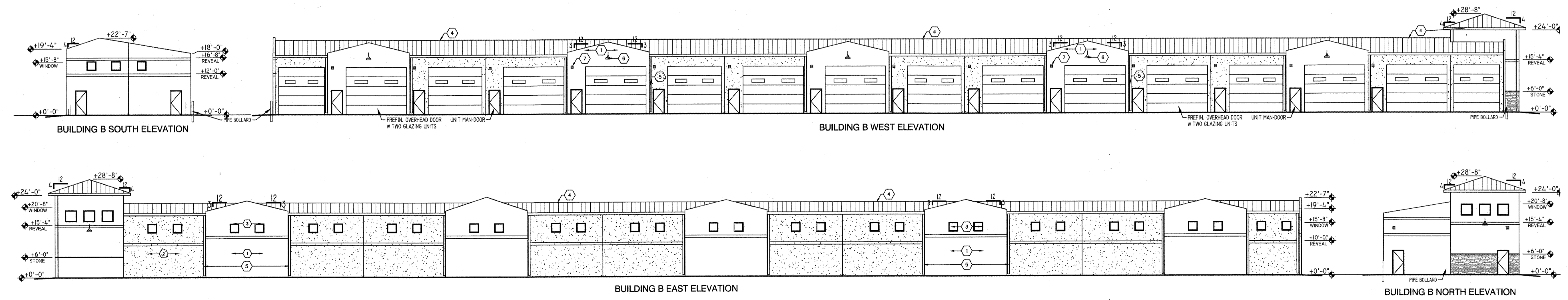
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P.M. KR			
BLGD. ELEVATIONS			
JOB	15002227		
SHEET NO.	8 OF 11		



- KEYNOTES:**
- ① CONCRETE TILT-PANEL (BEIGE - LIGHT BROWN)
 - ② CONCRETE TILT-PANEL (BROWN)
 - ③ STOREFRONT SYSTEM, PREFINISHED (DARK BRONZE) W/ GREEN-BLUE GLAZING
 - ④ METAL ROOF (DARK BROWN)
 - ⑤ METAL SALES (WEATHERED COPPER)
 - ⑥ GUTTER & DOWNSPOUT (DARK BROWN)
 - ⑦ BUILDING MOUNTED LIGHT FIXTURE (PREFIN.)
 - ⑧ 12" VENT THRU WALL; MATCH 'WEATHERED COPPER'



1 BUILDING A EXTERIOR ELEVATIONS
SCALE: 1/16" = 1'-0"



2 BUILDING B EXTERIOR ELEVATIONS
SCALE: 1/16" = 1'-0"

BENCHMARK
 DOUGLAS COUNTY GIS POINT 3.005015.
 ELEVATION = 6197.56 (NAVD 88)

SITE DEVELOPMENT PLAN
 LOT 2, CASTLE ROCK MARINE FILING NO. 1
 PROJECT NO. SDP16-0040



RLJ Architectural Services LLC
 1550 Laimier Street, PMB 150, Denver, CO 80202
 (303) 920-9775

DEVELOPER
 THE GARAGECONDS, LLC
 PO BOX 271047
 LITTLETON, CO 80127
 303-518-2353
 GLENN MCWILLIAMS

DATE 8/25/2017

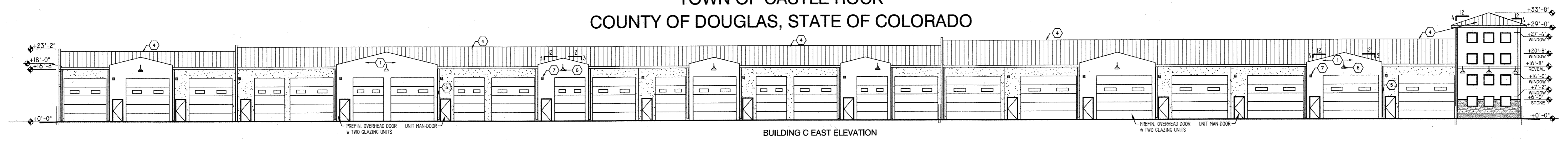
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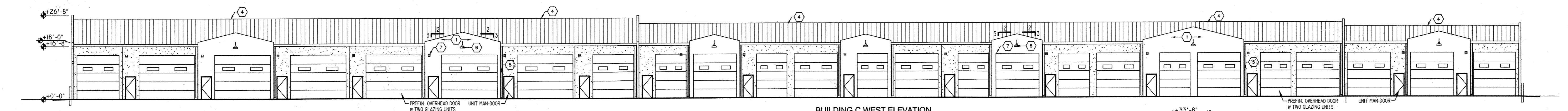
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P.M. KR			
BLGD. ELEVATIONS			
JOB 15002227			
SHEET NO. 9 OF 11			

SITE DEVELOPMENT PLAN LOT 2, CASTLE ROCK MARINE FILING NO. 1

A PARCEL OF LAND LOCATED IN THE NORTHWEST
 QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH,
 RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 TOWN OF CASTLE ROCK
 COUNTY OF DOUGLAS, STATE OF COLORADO

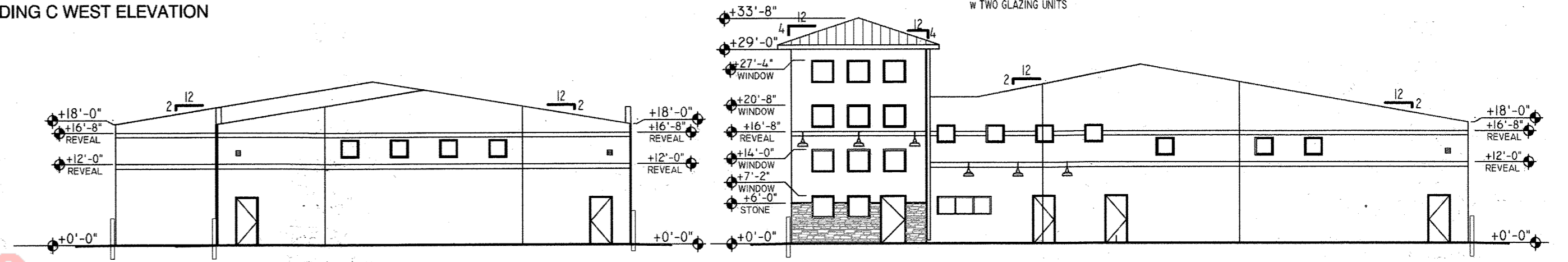


BUILDING C EAST ELEVATION



BUILDING C WEST ELEVATION

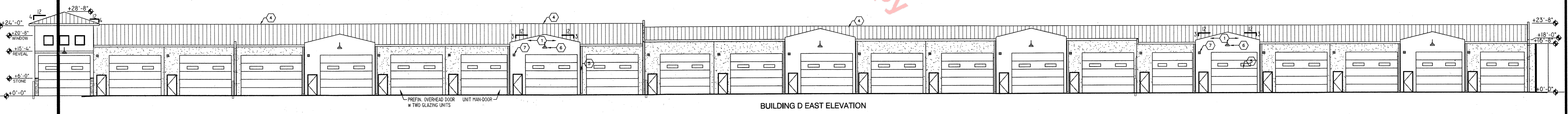
- KEYNOTES:**
- 1 CONCRETE TILT-PANEL DECS - LIGHT BROWN
 - 2 CONCRETE TILT-PANEL (BROWN)
 - 3 STOREFRONT SYSTEM 'PREFINISHED DARK BRONZE' W/ GREEN/BLUE GLAZING
 - 4 METAL ROOF (DARK BROWN)
 - 5 METAL SALES 'WEATHERED COPPER'
 - 6 GUTTER & DOWNSPOUT (DARK BROWN)
 - 7 METAL SALES 'WEATHERED COPPER'
 - 8 BUILDING MOUNTED LIGHT FIXTURE (PREFIN.)
 - 9 12"X12" VENT THRU WALL MATCH 'WEATHERED COPPER'



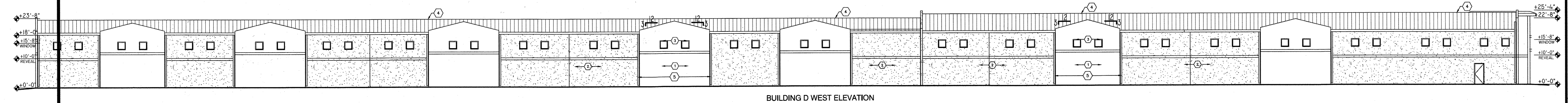
BUILDING C SOUTH ELEVATION

BUILDING C NORTH ELEVATION

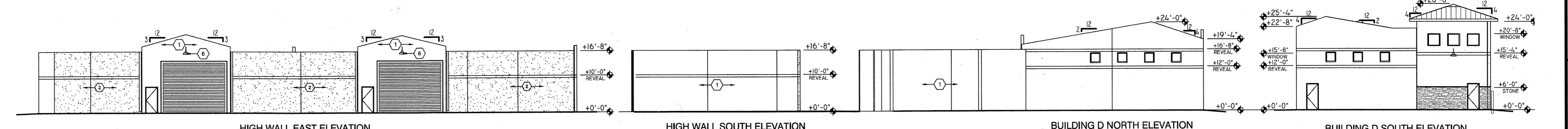
1 BUILDING C EXTERIOR ELEVATIONS
 SCALE: 1/16" = 1'-0"



BUILDING D EAST ELEVATION



BUILDING D WEST ELEVATION



HIGH WALL EAST ELEVATION

HIGH WALL SOUTH ELEVATION

BUILDING D NORTH ELEVATION

BUILDING D SOUTH ELEVATION

2 BUILDING D EXTERIOR ELEVATIONS
 SCALE: 1/16" = 1'-0"

BENCHMARK
 DOUGLAS COUNTY GIS POINT 3.005015.
 ELEVATION = 6197.56 (NAVD 88)

SITE DEVELOPMENT PLAN
 LOT 2, CASTLE ROCK MARINE FILING NO. 1
 PROJECT NO. SDP16-0040

