

SITE DEVELOPMENT PLAN AMENDMENT NO.2

CASTLE ROCK INDUSTRIAL PARK

LOT 1A, CASTLE ROCK INDUSTRIAL PARK, AMENDMENT NO. 1

LOCATED IN THE NORTHEAST 1/4 OF SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN GENERAL NOTES

- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.
- Pursuant to Section 4.3 and 8.2.3 of the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
- The provided landscape counts in the Site Development Plan are minimum required counts. Any changes to the provided landscape counts shall require an SDP amendment. The location of plant material is subject to change due to field conditions with review of the Construction Documents.
- This property is located within Zone X as per FEMA FIRM Panel No. 08035C0188G Dated March 16, 2016.
- Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
- The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
- Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
- No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flowline elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.
- All Utility, Drainage, Sidewalk and Emergency Access Easements as shown on the Site Development Plan have been granted to the Town of Castle Rock with the Plats recorded at 2018058719 and 2019056269.
- This site is zoned I-2.
- All emergency access roads, emergency access gates and signage shall comply with the Town of Castle Rock Fire Department requirements and shall be maintained by Metropolitan District, Homeowners Association, or other property management entity.
- Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.
- A sign permit for each sign must be obtained from the Town of Castle Rock Building Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code.
- The number of parking spaces has been set based on the proposed uses on this Site Development Plan and Chapter 17.54 of the Castle Rock Municipal Code. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code will require an amendment to this Site Development Plan.

FIRE NOTES

- If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
- Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
- Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
- Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
- Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
- Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
- "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.
- It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.

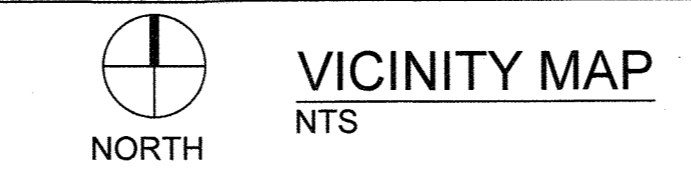
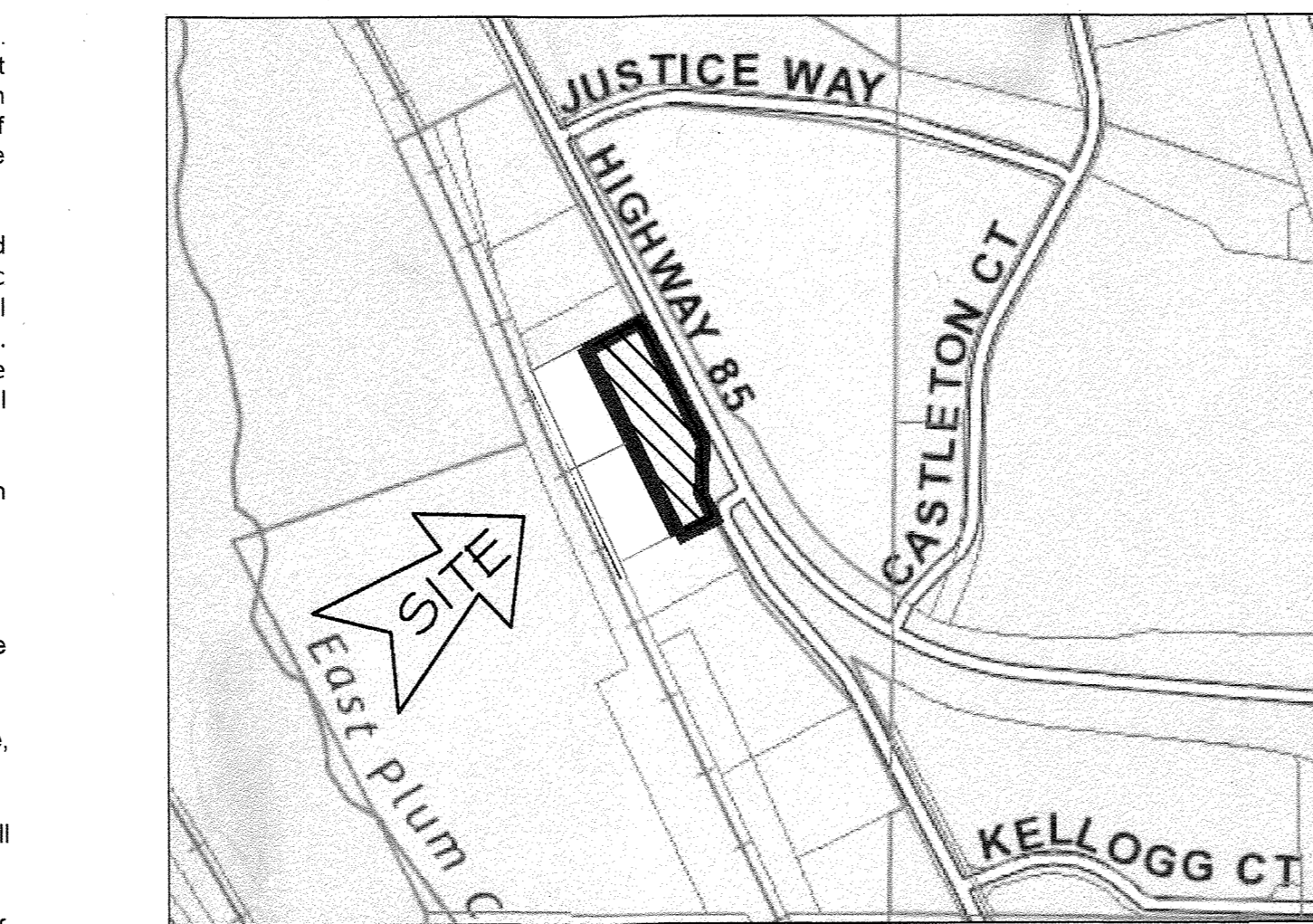
PURPOSE STATEMENT

THE PURPOSE OF THIS AMENDMENT TO SDP17-0006 (RECEPTION # 2018058719) AND SDP AMENDMENT NO. 1 (RECEPTION # 2019056268) IS TO:

- REVISE THE USES ALLOWED FOR LOT 1A TO INCLUDE VEHICLE SALES AND
- REVISE THE BUILDING ELEVATIONS.

PROJECT CONTACTS:

APPLICANT/OWNER POLO PROPERTIES HOLDINGS, LLC 2407 MORNINGVIEW TRAIL CASTLE ROCK, CO 80109 CONTACT: MIKE HUMPHREY PHONE: (303) 360-6600 mike@poloproperties.net	APPLICANT/OWNER SHANE ROTH EO INVESTMENTS, LLC 8160 BLAKELAND DR., UNIT B LITTLETON, CO 80125 CONTACT: SHANE ROTH PHONE: (303) 471-5788	PLANNER APERIO PROPERTY CONSULTANTS LLC 4032 DEFOE ST. STRASBURG, CO 80126 CONTACT: AARON THOMPSON PHONE: (720) 773-2801 aaron@aperioprop.com	ARCHITECT HOVER ARCHITECTURE 8089 S. LINCOLN ST., SUITE 201 LITTLETON, CO 80122 CONTACT: TROY KIRSCHMAN PHONE: (303) 888-6338 jkirschman@hoverarchitecture.com	CIVIL ENGINEER KELLY DEVELOPMENT SERVICES 9301 SCRUB OAK LANE LONE TREE, CO 80124 CONTACT: GREG KELLY PHONE: (303) 282-0463 greg@kellydev.com	LANDSCAPE ARCHITECT JUMP DESIGN 1733 S. CLARKSON ST. DENVER, CO 80210 CONTACT: TOM JUMP PHONE: (303) 481-8567 tom@jumpdesign.com	SURVEYOR ROCKY MOUNTAIN MERIDIAN, INC. 19600 E. PARKER SQ. DR., #200 PARKER, CO 80134 CONTACT: BOB FREE PHONE: (303) 481-8567 bfree@rmeridian.com
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LEGAL DESCRIPTION:
LOT 1A CASTLE ROCK INDUSTRIAL PARK AMENDMENT NO. 1

WATER RIGHTS DEDICATION AGREEMENT
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE CASTLE ROCK INDUSTRIAL PARK ANNEXATION AND DEVELOPMENT AGREEMENT, RECORDED ON THE 23RD DAY OF AUGUST, 2018 AT RECEPTION NO. 2018051409. 6.34 SFE WERE PREVIOUSLY DEBITED FROM THE WATER BANK.

SHEET INDEX
1 of 8 COVER SHEET
2 of 8 SITE PLAN
3 of 8 GENERAL GRADING PLAN
4 of 8 GENERAL UTILITIES PLAN
5 of 8 CONCEPTUAL LANDSCAPE PLAN
6 of 8 GENERAL LIGHTING PLAN
7 of 8 SITE AND LIGHTING DETAILS
8 of 8 EXTERIOR BUILDING ELEVATIONS

Zoning Comparison						
Zoning	Requirement	General Industrial I-2				
		LOT 1-A	LOT 2	LOT 3	LOT 4	TRACT A
Lot		Building 1	Building 2	Building 3	Building 4	N/A
Building		SDP20-0032 & SDP19-0005 & SDP17-0006	SDP19-0005 & SDP17-0006		SDP18-0058	SDP17-0006
Project						
		Total = 11,400	Total = 12,900	Total = 16,440	Total = 13,225	
Building Square Footage		Vehicle Sales = 11,400 (includes 8,240 sf indoor display)	Warehouse = 9,030 Office = 3,870	Warehouse = 5,100 Auto Repair = 11,340	Warehouse = 9,258 Office = 3,967	N/A
Permitted Uses	Various uses by right and special review per 17.28.030	100% Vehicle Sales	70% Warehouse 30% Office	69% Auto Repair 31% Warehouse	70% Warehouse 30% Office	Drainage
Maximum Lot Coverage	As limited by applicable standards for development, parking, landscaping and other requirements	11,400 SF (26%)	12,900 SF (33%)	16,440 SF (29%)	13,225 SF (30%)	N/A
Minimum front yard setback	15-feet for lots 1 & 2; 0-feet for flag lots 3, 4 & A	69-feet	69-feet	40-feet	41-feet	N/A
Minimum rear yard setback	0-feet	16-feet	16-feet	41-feet	42-feet	N/A
Minimum side yard setback	0-feet	5-feet	5-feet	49-feet	28-feet	N/A
Maximum height	50-feet	28-feet	30-feet	24-feet	32-feet	N/A
Minimum Parking Spaces	For Vehicle sales: 1.5/1,000 GFA for automobile display, 3 per Bay for Auto Repair 1 per employee For Office: 3 per 1,000 GFA, plus 1 per employee For Auto Repair: 3 per 1,000 GFA, plus 1 per employee	11,400/1,000 x 1.5 = 18 1 bays x 3 = 3 3 empl. = 3 Required = 24 Provided = 25	9,030/1,000 x 1 = 10 3,870/1,000 x 3 = 12 Required = 22 Provided = 21*	14 empl.** = 14 7 bays x 3 = 21 5,100/1,000 x 1 = 6 Required = 41 Provided = 42	9,258/1,000 x 1 = 10 3,967/1,000 x 3 = 12 Required = 22 Provided = 36 (OPT. 'A') Provided = 29 (OPT. 'B')	N/A
Min. ADA Parking spaces	Per Muni. Code 1 ADA space required for 1 to 25 total lot spaces, 2 for 26 to 50 total lot spaces	ADA spaces required = 1 Provided = 1 Van ADA Total lot spaces = 25	ADA spaces required = 1 Provided = 1 Van ADA Total lot spaces = 21	ADA spaces required = 2 Provided = 2 Van ADA Total lot spaces = 42	ADA spaces required = 2 Provided = 2 Van ADA Total lot spaces = 36 (OPT. 'A') Total lot spaces = 29 (OPT. 'B')	N/A

Site Utilization by Lot											
Lot Coverage	Requirement	LOT 1-A		LOT 2		LOT 3		LOT 4		TRACT A	
		SF	% of Total	SF	% of Total	SF	% of Total	SF	% of Total	SF	% of Total
Building Coverage	N/A	11,400	26%	12,900	33%	16,440	29%	13,225	30%	TBD	TBD
Parking Coverage	N/A	20,773	47%	19,262	50%	28,840	52%	21,243	49%	TBD	TBD
Street Coverage	N/A	0	0%	0	0%	0	0%	0	0%	0	0
Landscape/Open Space Coverage	10%	11,976	27%	6,607	17%	10,774	19%	9,203	21%	22,610	100%
Irrigated Area		6,497				4,759		1,773			
Temporary Irrigated Native Seed		0				3,055		3,687			
Non-Irrigated Area (incl. sidewalks)		5,479				2,960		3,743			
Landscape/Open Space Coverage		11,976				10,774		9,203			
Other Coverage:	N/A	0	0%	0	0%	0	0%	0	0%	TBD	TBD
Total		44,149	100%	38,769	100.0%	55,814	100%	43,671	100%	22,610	100%

* VARIANCE TO REDUCE PARKING REQUIREMENT BY ONE SPACE GRANTED VIA TCV18-0037.

BENCHMARK:
DCBM 2011031, ELEVATION = 6089.99 (NAVD88)

BASIS OF BEARINGS:
BEARINGS ARE BASED ON THE CONSIDERATION THAT THE WEST LINE OF THE SUBJECT PROPERTY BEARS S27°58'00"E.

OWNERSHIP CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

HIGHPOINT I INVESTMENTS, LLC, A COLORADO LIMITED LIABILITY COMPANY
SIGNED THIS 10th DAY OF November, 2020

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 10 DAY OF November, 2020 BY Jeff Long AS Manager OF HIGHPOINT I INVESTMENTS, LLC.
WITNESS MY HAND AND OFFICIAL SEAL.
Diane Lgartner
DANIELLE GARTHMAN COMMISSION EXPIRES: March 19, 2021
NOTARY PUBLIC

TITLE CERTIFICATION
Jennifer Williams, AN AUTHORIZED REPRESENTATIVE OF FIRST AMERICAN TITLE INSURANCE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
Jennifer Williams
AUTHORIZED REPRESENTATIVE

FIRST AMERICAN TITLE INSURANCE COMPANY
SIGNED THIS 6 DAY OF November, 2020
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 6 DAY OF November, 2020 BY Jennifer Williams AS AUTHORIZED REPRESENTATIVE OF First American Title

WITNESS MY HAND AND OFFICIAL SEAL
Allison E Allen
Allison E Allen
Notary Public
State of Colorado
My Commission Expires: May 31, 2021
LIC# 20014020901
MY COMMISSION EXPIRES: 05/31/2021

LIENHOLDER SUBORDINATION CERTIFICATE
THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED June 12, 2020 AT RECEPTION NO. 2020051257, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

Independent Bank
SIGNED THIS 10th DAY OF November, 2020
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 10 DAY OF November, 2020 BY D.J. Tedesco, SUP AS AUTHORIZED REPRESENTATIVE OF Independent Bank

WITNESS MY HAND AND OFFICIAL SEAL
Diane Lgartner
Diane Lgartner
Notary Public
State of Colorado
My Commission Expires: March 19, 2021

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 12th DAY OF Nov. 2020
Director of Development Services

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 8:18 AM ON THE 15th DAY OF November, 2020 AT RECEPTION NO. 202011114

DOUGLAS COUNTY CLERK AND RECORDER
BY: Mary Dambon
DEPUTY

SURVEYOR'S CERTIFICATE
I, ROBERT FREE, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.
Robert Free
REGISTERED LAND SURVEYOR
DATE: 11/6/2020

CIVIL ENGINEER'S CERTIFICATE
I, GREG KELLY, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
Greg Kelly
REGISTERED PROFESSIONAL ENGINEER
DATE: 11/05/2020

Aperio Property Consultants, llc
4032 DEFOE ST.
STRASBURG, CO 80136
PHONE 303.317.3000
COVER SHEET
1 OF 8
10-08-20
CASTLE ROCK INDUSTRIAL PARK SITE DEVELOPMENT PLAN LOT1 AMENDMENT NO. 2 - PROJECT NO. SDP20-0032

SITE DEVELOPMENT PLAN AMENDMENT NO.2 CASTLE ROCK INDUSTRIAL PARK

LOT 1A, CASTLE ROCK INDUSTRIAL PARK, AMENDMENT NO. 1

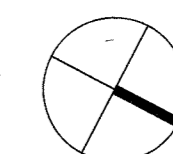
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN KEYNOTES

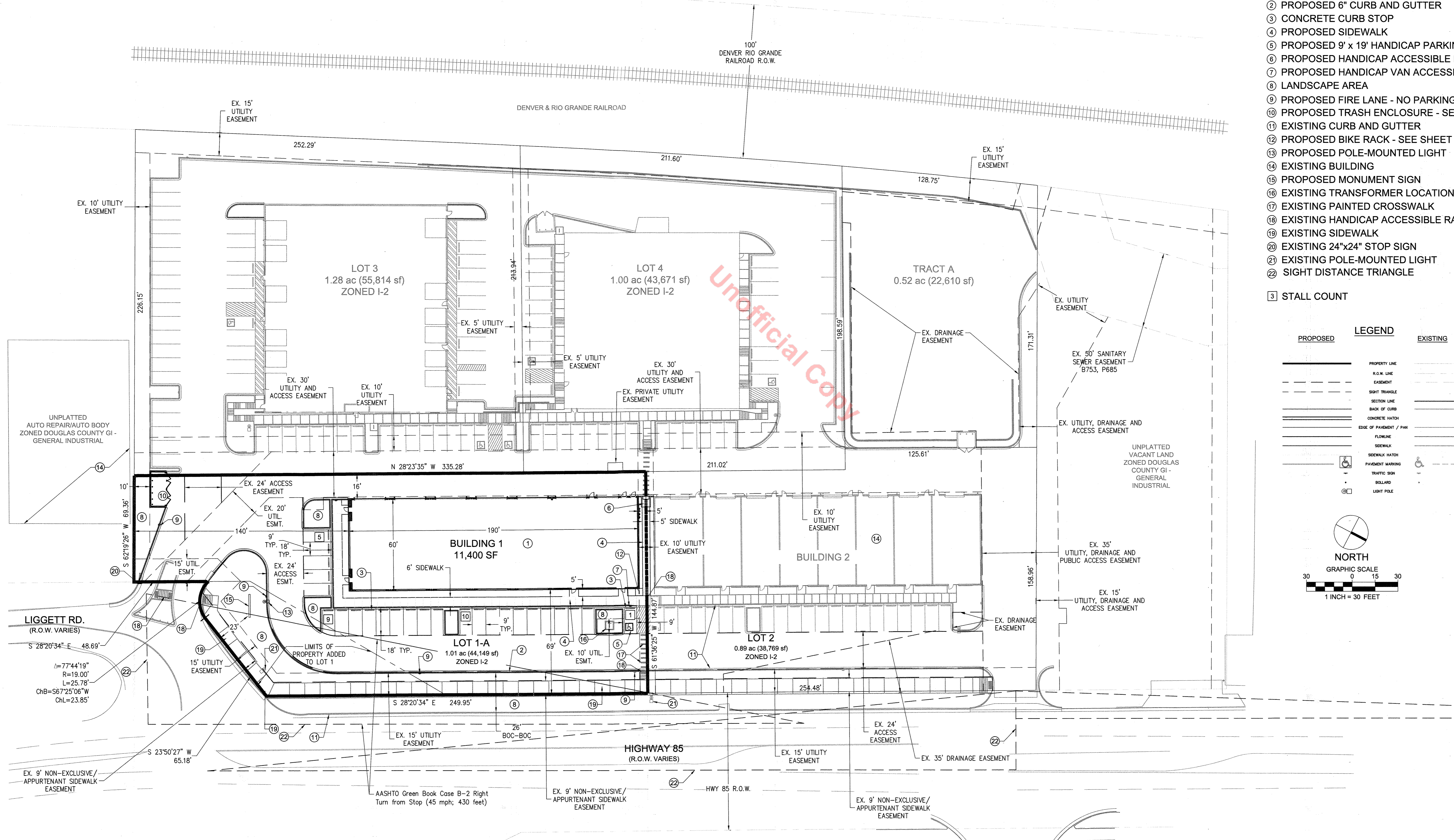
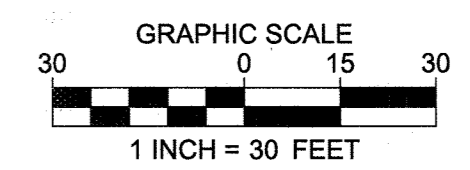
- ① PROPOSED BUILDING
- ② PROPOSED 6" CURB AND GUTTER
- ③ CONCRETE CURB STOP
- ④ PROPOSED SIDEWALK
- ⑤ PROPOSED 9' x 19' HANDICAP PARKING STALL
- ⑥ PROPOSED HANDICAP ACCESSIBLE RAMP
- ⑦ PROPOSED HANDICAP VAN ACCESSIBLE POLE-MOUNTED SIGN
- ⑧ LANDSCAPE AREA
- ⑨ PROPOSED FIRE LANE - NO PARKING SIGN
- ⑩ PROPOSED TRASH ENCLOSURE - SEE SHEET 8 FOR DETAILS
- ⑪ EXISTING CURB AND GUTTER
- ⑫ PROPOSED BIKE RACK - SEE SHEET 8 FOR DETAILS
- ⑬ PROPOSED POLE-MOUNTED LIGHT
- ⑭ EXISTING BUILDING
- ⑮ PROPOSED MONUMENT SIGN
- ⑯ EXISTING TRANSFORMER LOCATION
- ⑰ EXISTING PAINTED CROSSWALK
- ⑱ EXISTING HANDICAP ACCESSIBLE RAMP
- ⑲ EXISTING SIDEWALK
- ⑳ EXISTING 24"x24" STOP SIGN
- ㉑ EXISTING POLE-MOUNTED LIGHT
- ㉒ SIGHT DISTANCE TRIANGLE

③ STALL COUNT

PROPOSED	LEGEND	EXISTING
	PROPERTY LINE	
	R.O.W. LINE	
	EASEMENT	
	SIGHT TRIANGLE	
	SECTION LINE	
	BACK OF CURB	
	CONCRETE PATCH	
	EDGE OF PAVEMENT / PAV. FLOWLINE	
	SIDEWALK	
	SIDEWALK PATCH	
	PAVEMENT MARKING	
	TRAFFIC SIGN	
	BOLLARD	
	LIGHT POLE	



NORTH



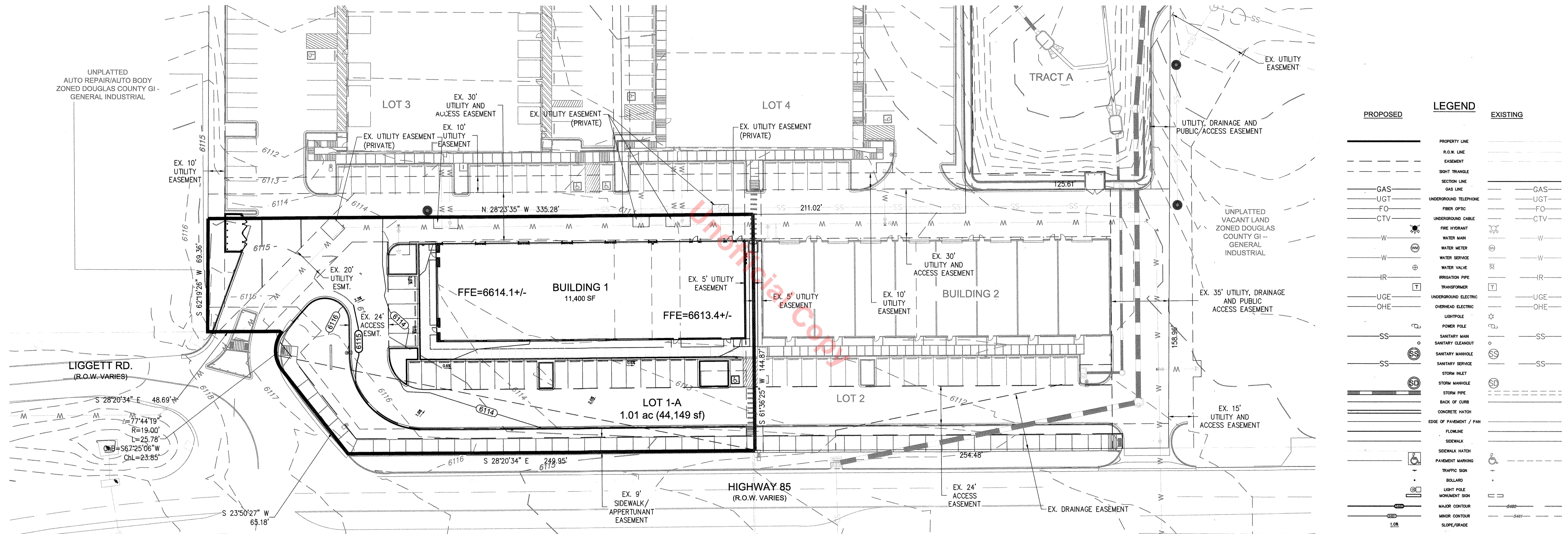
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PHONE 303.317.3000

SITE PLAN
2 OF 8
10-08-20

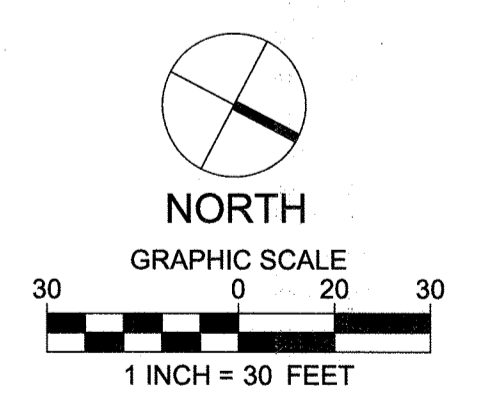
SITE DEVELOPMENT PLAN AMENDMENT NO.2 CASTLE ROCK INDUSTRIAL PARK

LOT 1A, CASTLE ROCK INDUSTRIAL PARK, AMENDMENT NO. 1

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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	R.O.W. LINE	---
---	EASEMENT	---
---	SIGHT TRIANGLE	---
---	SECTION LINE	---
---	GAS LINE	---
---	UGT	---
---	UNDERGROUND TELEPHONE	---
---	FIBER OPTIC	---
---	CTV	---
---	UNDERGROUND CABLE	---
---	FIRE HYDRANT	---
---	WATER MAIN	---
---	WATER METER	---
---	WATER SERVICE	---
---	IRIGATION VALVE	---
---	IRIGATION PIPE	---
---	TRANSFORMER	---
---	UNDERGROUND ELECTRIC	---
---	OVERHEAD ELECTRIC	---
---	LIGHTPOLE	---
---	POWER POLE	---
---	SANITARY MAN	---
---	SANITARY CLEANSUIT	---
---	SANITARY MANHOLE	---
---	SANITARY SERVICE	---
---	STORM INLET	---
---	STORM MANHOLE	---
---	STORM PIPE	---
---	BACK OF CURB	---
---	CONCRETE HATCH	---
---	EDGE OF PAVEMENT / PAV	---
---	FLOWLINE	---
---	SIDEWALK	---
---	SIDEWALK HATCH	---
---	PAVEMENT MARKING	---
---	TRAFFIC SIGN	---
---	BOLLARD	---
---	LIGHT POLE MONUMENT SIGN	---
---	MAJOR CONTOUR	---
---	MINOR CONTOUR	---
---	SLOPE/GRADE	---

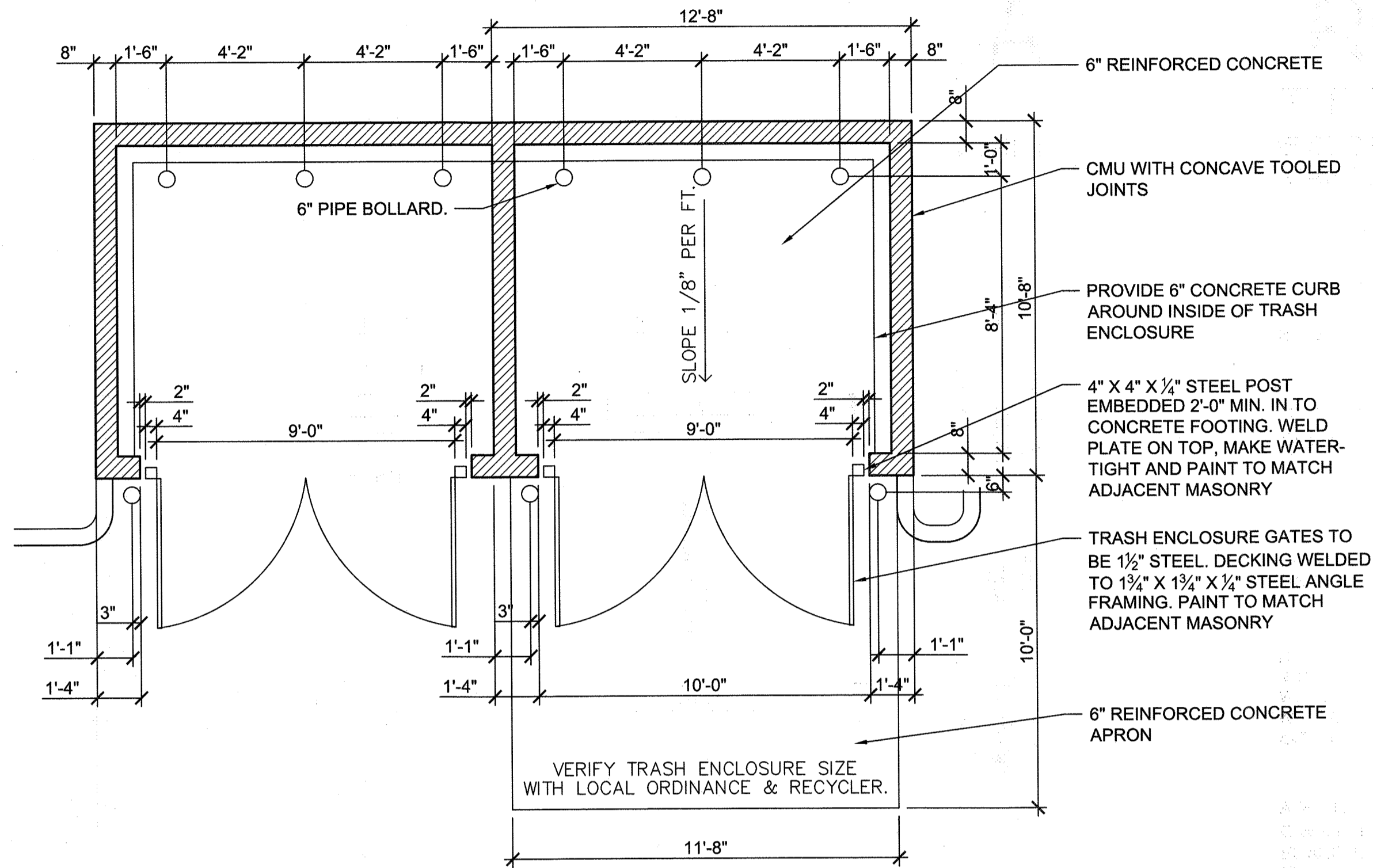


KELLY DEVELOPMENT SERVICES, LLC
 9301 SCRUB OAK DR
 LONE TREE, CO 80124
 303-888-6338
 greg@kellydev.com
GENERAL GRADING PLAN

SITE DEVELOPMENT PLAN AMENDMENT NO.2 CASTLE ROCK INDUSTRIAL PARK

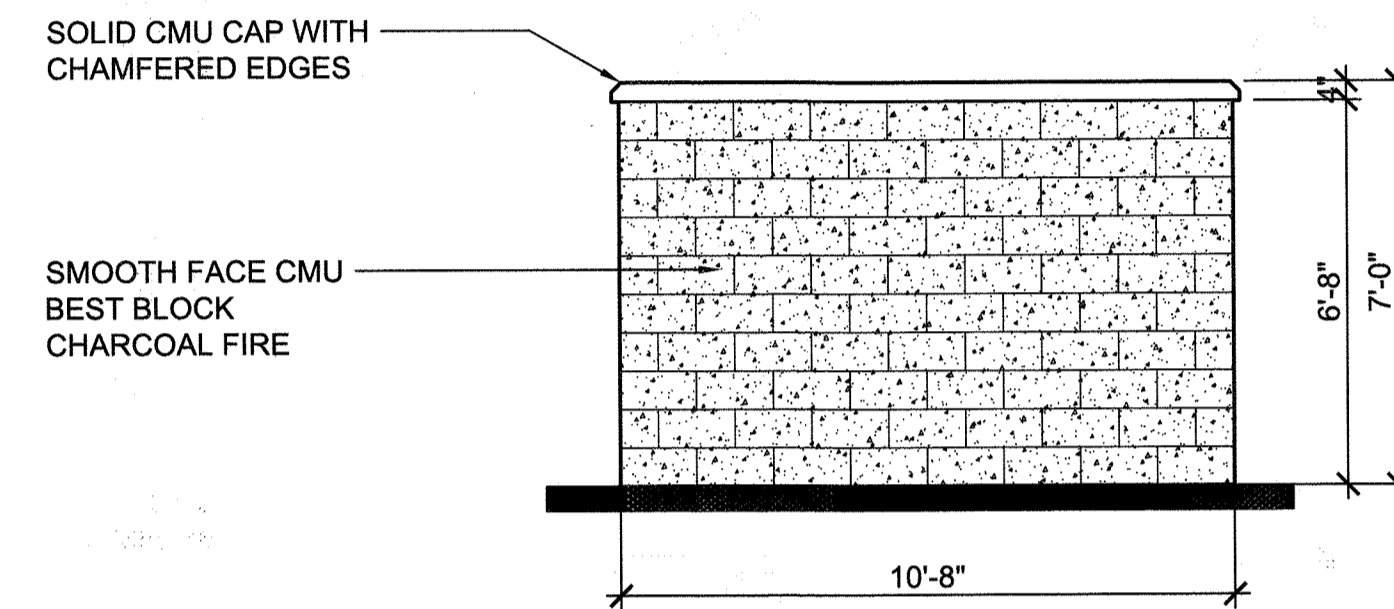
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

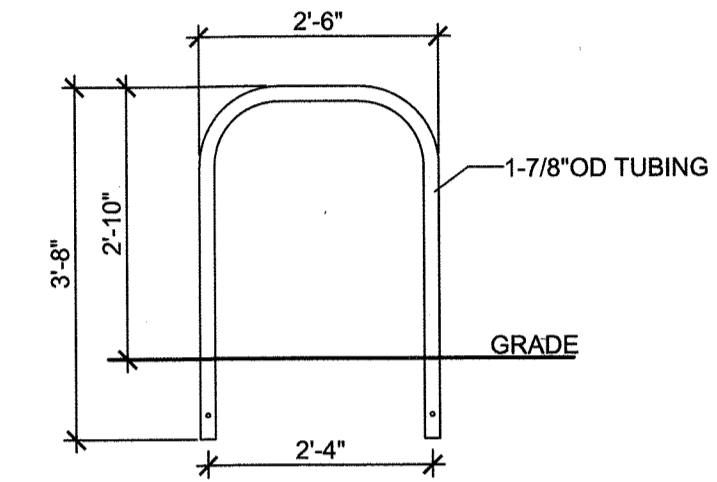


TRASH ENCLOSURE PLAN

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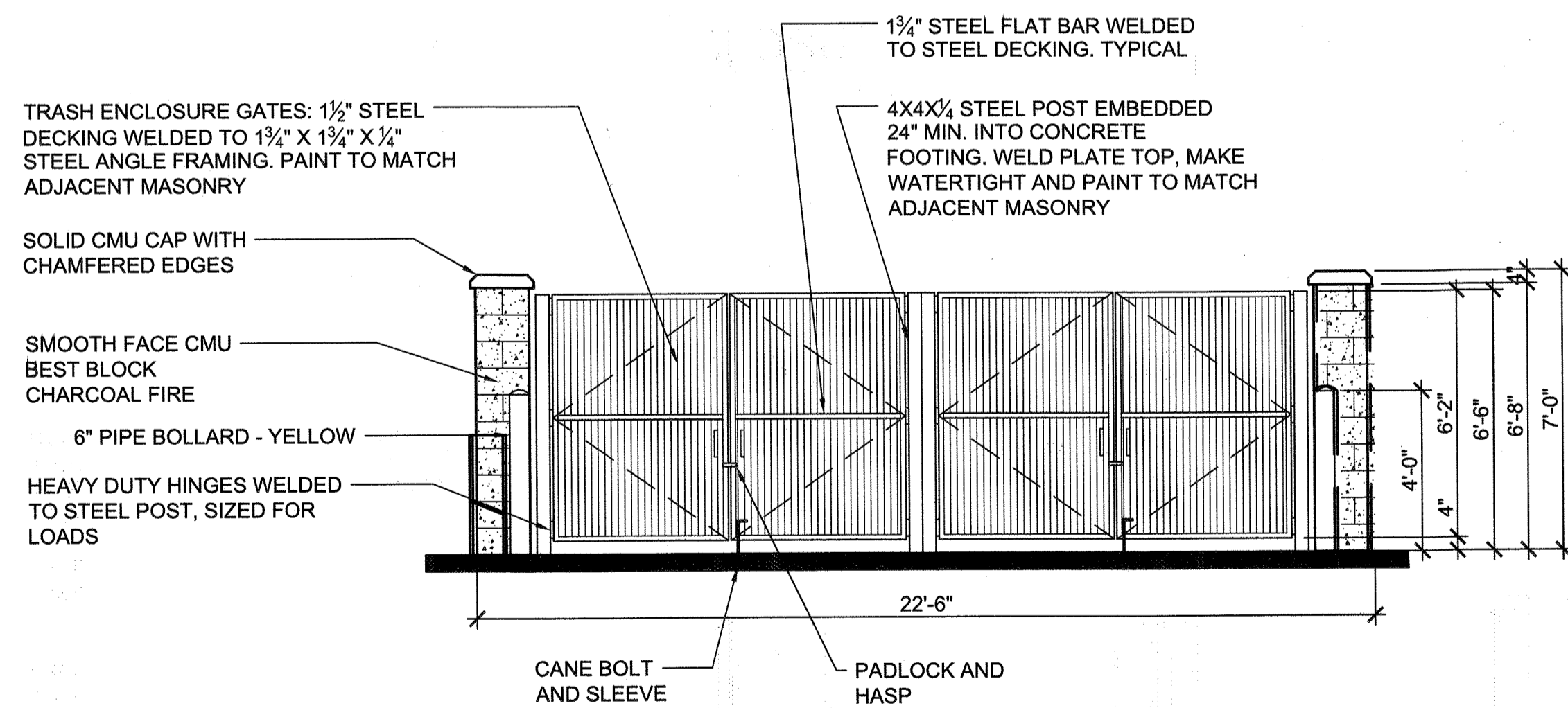


**TRASH ENCLOSURE ELEVATION
REAR AND SIDES**

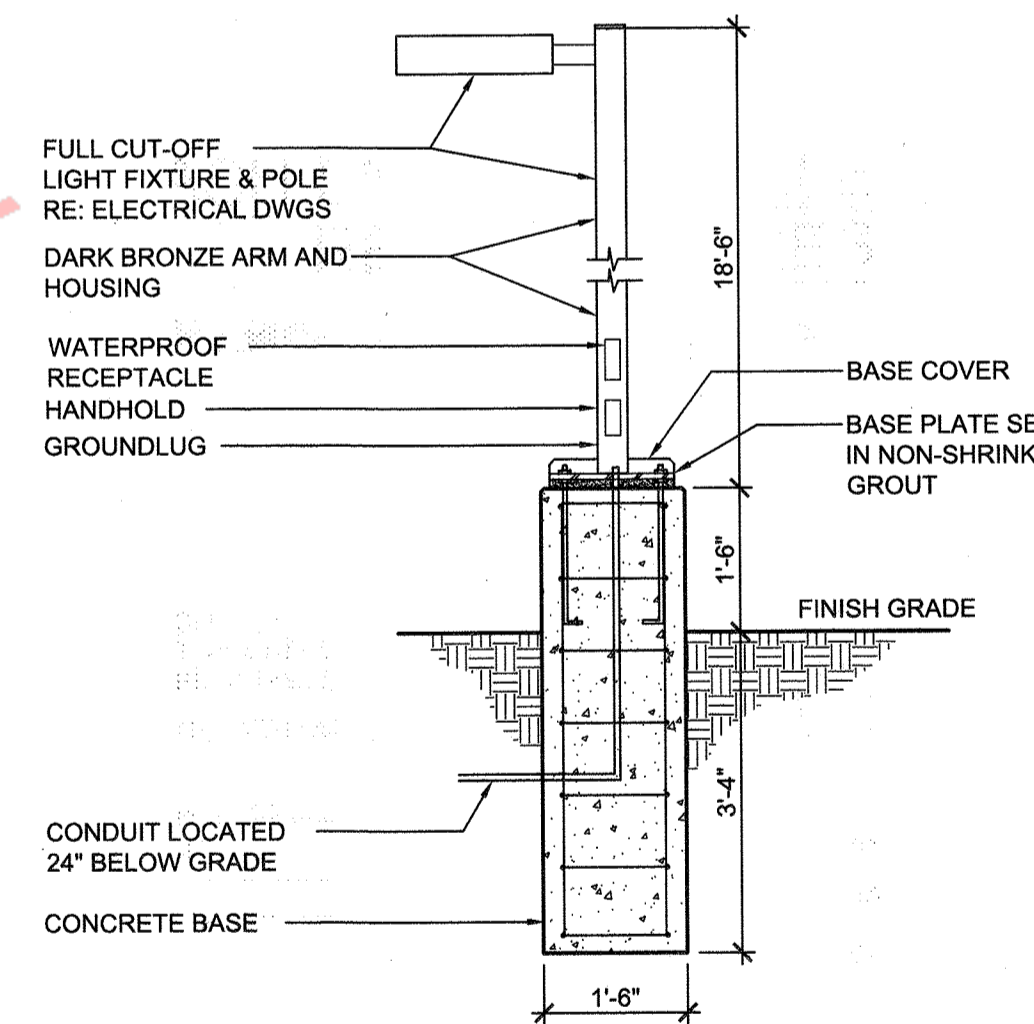


PRODUCT: UX190-IG(SF,SG)
DESCRIPTION: 'U' BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT

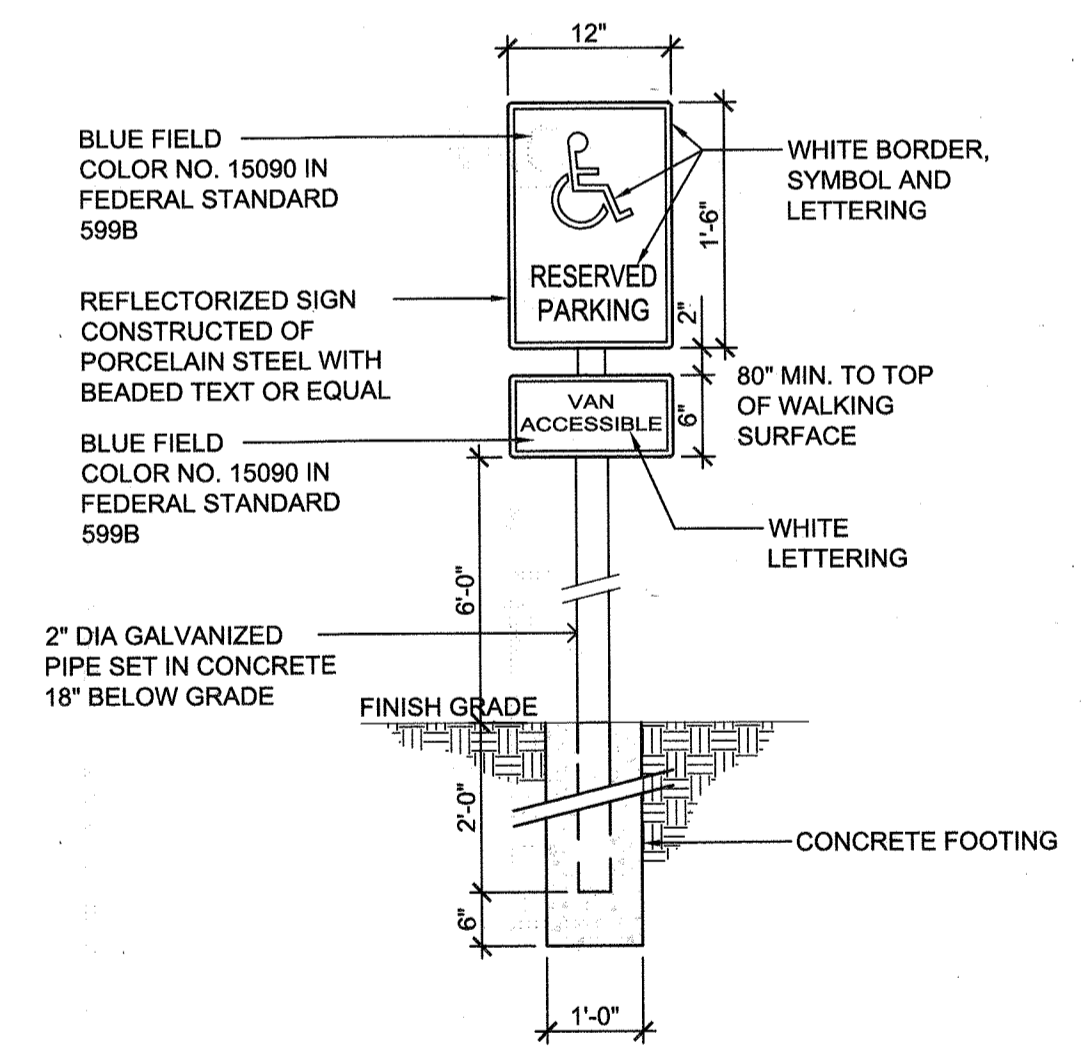
BIKE RACK



TRASH ENCLOSURE ELEVATION - FRONT



SITE POLE-MOUNTED LIGHT

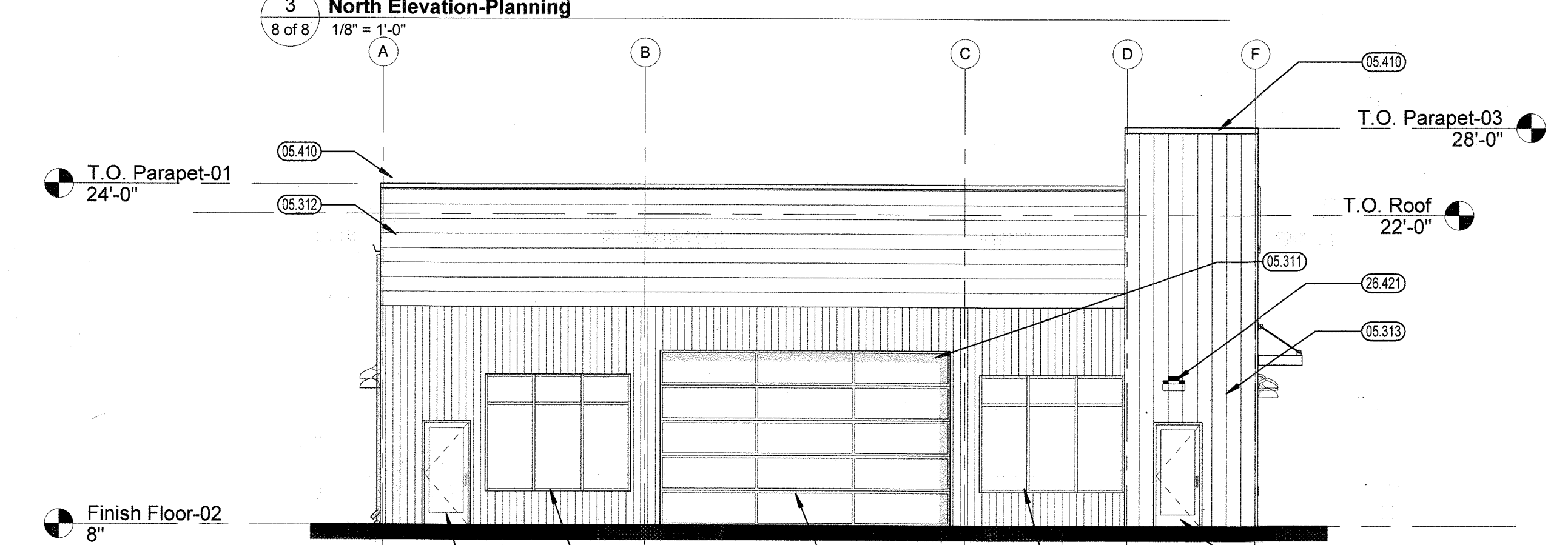
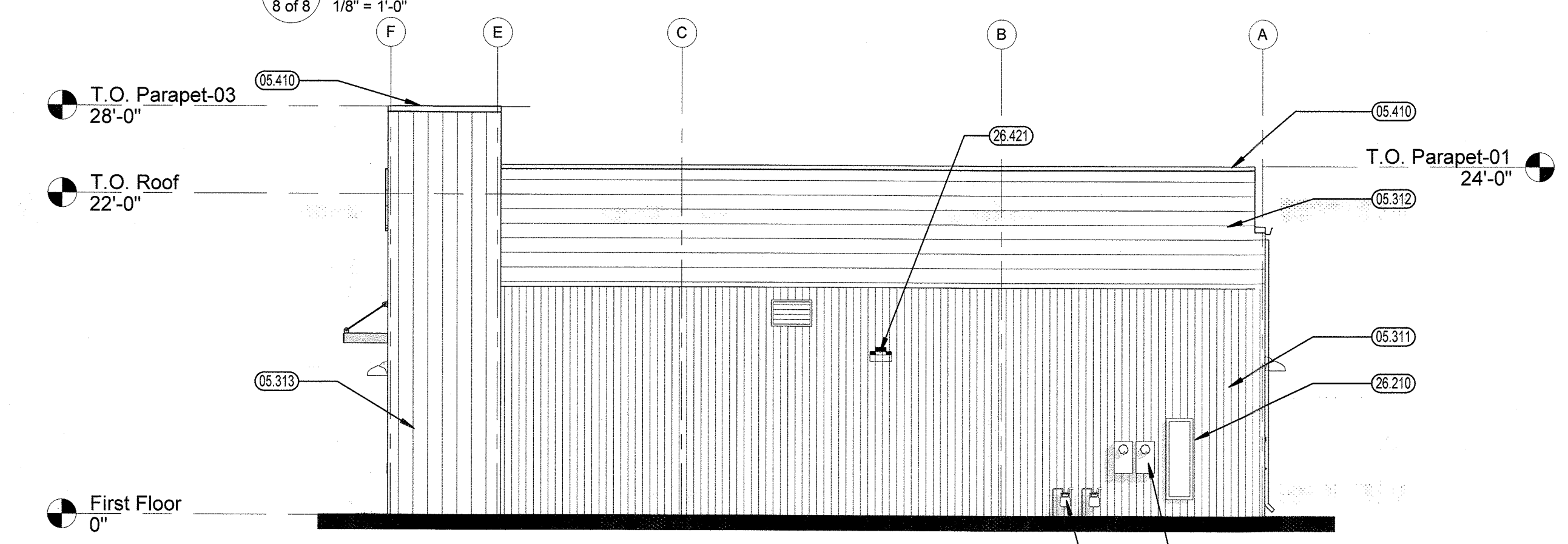
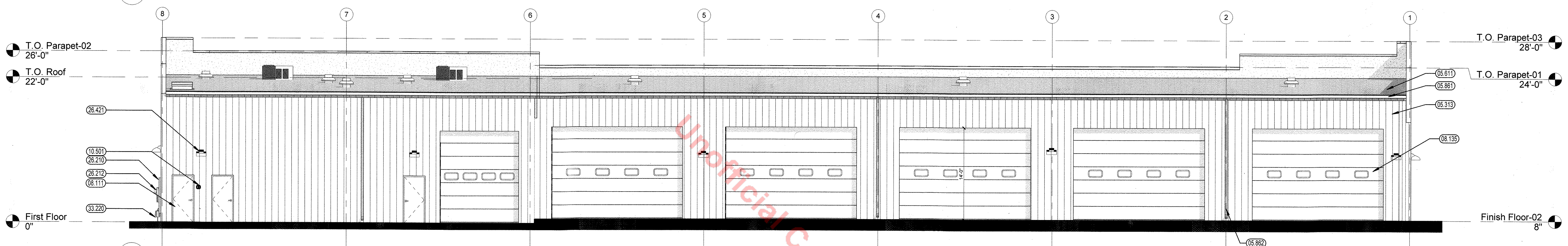
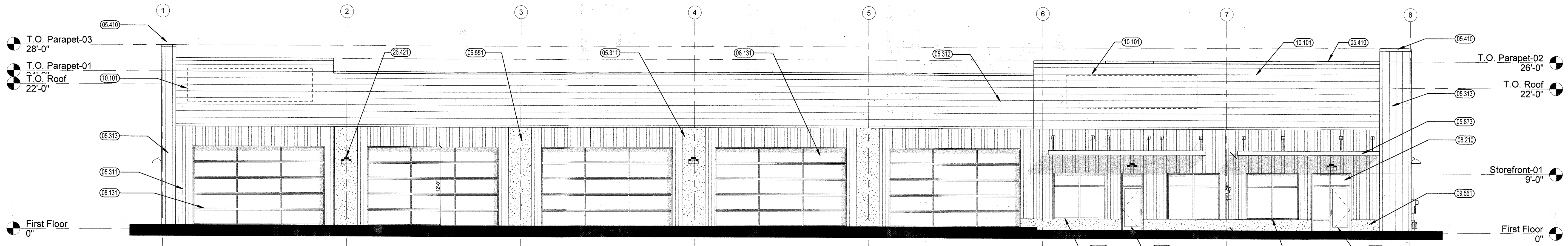


ACCESSIBLE PARKING SIGN

SITE DEVELOPMENT PLAN AMENDMENT NO.2 CASTLE ROCK INDUSTRIAL PARK

LOT 1A, CASTLE ROCK INDUSTRIAL PARK, AMENDMENT NO.1

LOCATED IN THE NORTHEAST 1/4 SECTION 34, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Unofficial Copy

EXTERIOR MATERIAL FINISHES	
ABBREV.	DESCRIPTION
DS-1	PRE-FINISHED GALVANIZED DOWNSPOUT COLOR: BURNISHED SLATE
MD-1	SECTIONAL METAL DOOR - JANUS COLOR: SANDSTONE
MF-1	PRE-FINISHED GALVANIZED CAP FLASHING COLOR: BURNISHED SLATE
MP-1	B&C - VERTICAL METAL PANEL COLOR: LIGHTSTONE
MP-2	B&C - HORIZONTAL METAL PANEL COLOR: BUCKSKIN
MP-3	B&C - VERTICAL METAL PANEL COLOR: BUCKSKIN
PT-1	EXTERIOR PAINT COLOR: TAN TO MATCH DOORS
PT-3	EXTERIOR PAINT COLOR: BLACK
SC-1	STUCCO FINISH - DRYVIT COLOR: SWISS MOCHA
SF-1	KAWNEER ALUMINUM FRAME WITH CLEAR GLAZING COLOR: DARK BRONZE
MR-1	METAL ROOF - METAL SALES - SEAM LOC 24 COLOR: GALVALUME

KEYNOTES	
Key Value	Keynote Text
05.311	1 1/2" VERTICAL METAL WALL PANELS, MP-1
05.312	1 1/2" HORIZONTAL METAL WALL PANELS, MP-2
05.313	1 1/2" VERTICAL METAL WALL PANELS, MP-3
05.410	METAL WALL CAP, MF-1
05.611	PBR METAL PANEL ROOFING, MR-1
05.881	PREFINISHED METAL GUTTERS, DS-1
05.882	PREFINISHED METAL DOWNSPOUTS, DS-1
05.873	METAL AWNINGS, PAINTED PT-3
08.111	HM INSULATED EXTERIOR DOOR, PAINT TO MATCH WINDOWS, SF-1
08.121	PRE-FINISHED ALUMINUM STOREFRONT DOOR WITH 3/4" GLAZING, SF-1
08.131	PRE-FINISHED ALUMINUM / GLASS SECTIONAL ROLL-UP DOOR
08.135	PRE-FINISHED METAL SECTIONAL DOOR, FINISH MD-1
08.210	EXTERIOR ALUMINUM STOREFRONT WINDOW SYSTEM WITH 1" INSULATED GLASS, SF-1
09.551	APPLIED STUCCO FINISH, SC-1
10.101	INTERNALLY ILLUMINATED SIGN BY OWNER
10.501	KNOX BOX, APPROX 6'-0" AFF. COORDINATE W/ FIRE DEPT FOR TYPE AND KEYING.
26.210	POWER DISTRIBUTION PANEL, RE: ELECTRICAL
26.212	ELECTRICAL SERVICE METER, RE: ELECTRICAL
26.421	EXTERIOR WALL PACK WITH 90 DEGREE CUTOFF, RE: ELECTRICAL
33.220	GAS METER LOCATION, RE: PLUMBING.

DATE: 10.07.2020
SCALE: As indicated
DRAWN BY: ALW
CHECKED BY: PEW



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Exterior Elevations