

SITE DEVELOPMENT PLAN

FOR A PORTION OF LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS

AN AMENDMENT TO CASTLE ROCK FACTORY SHOPS MAJOR MODIFICATION TO THE FINAL PD SITE PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP14-0007

STATISTICAL INFORMATION

	EXISTING:	PROPOSED IMPROVEMENTS:	NEW TOTAL:
ZONING:	PD, COMMERCIAL RETAIL	PD, COMMERCIAL/RETAIL	
GROSS SITE AREA: (OVERALL LOT)	483,576 S.F. (11.1 ACRES)		
NET PROJECT AREA:		90,432 S.F. (2.1 ACRES)	
MAX. GROSS FLOOR AREA: (OVERALL LOT)	96,882 S.F.		103,454 S.F.
MAX. GROSS FLOOR AREA: (PROJECT)		6,572 S.F. (INCLUDES 1,320 S.F. PATIO)	
PARKING LOT/DRIVES:	270,861 S.F.		266,611 S.F. (-4,250 S.F.)
PARKING LOT/DRIVES:		51,985 S.F.	
GROSS LANDSCAPE AREA: (OVERALL LOT)	115,835 S.F.		112,361 S.F.
LANDSCAPE AREA: (PROJECT)	20,644 S.F.	17,170 S.F. (-3,474 S.F.)	
BIKE RACKS REQUIRED/PROVIDED:		3 (4 SPACES)	
MAXIMUM BUILDING HEIGHT:	35'-0"	31'-6"	

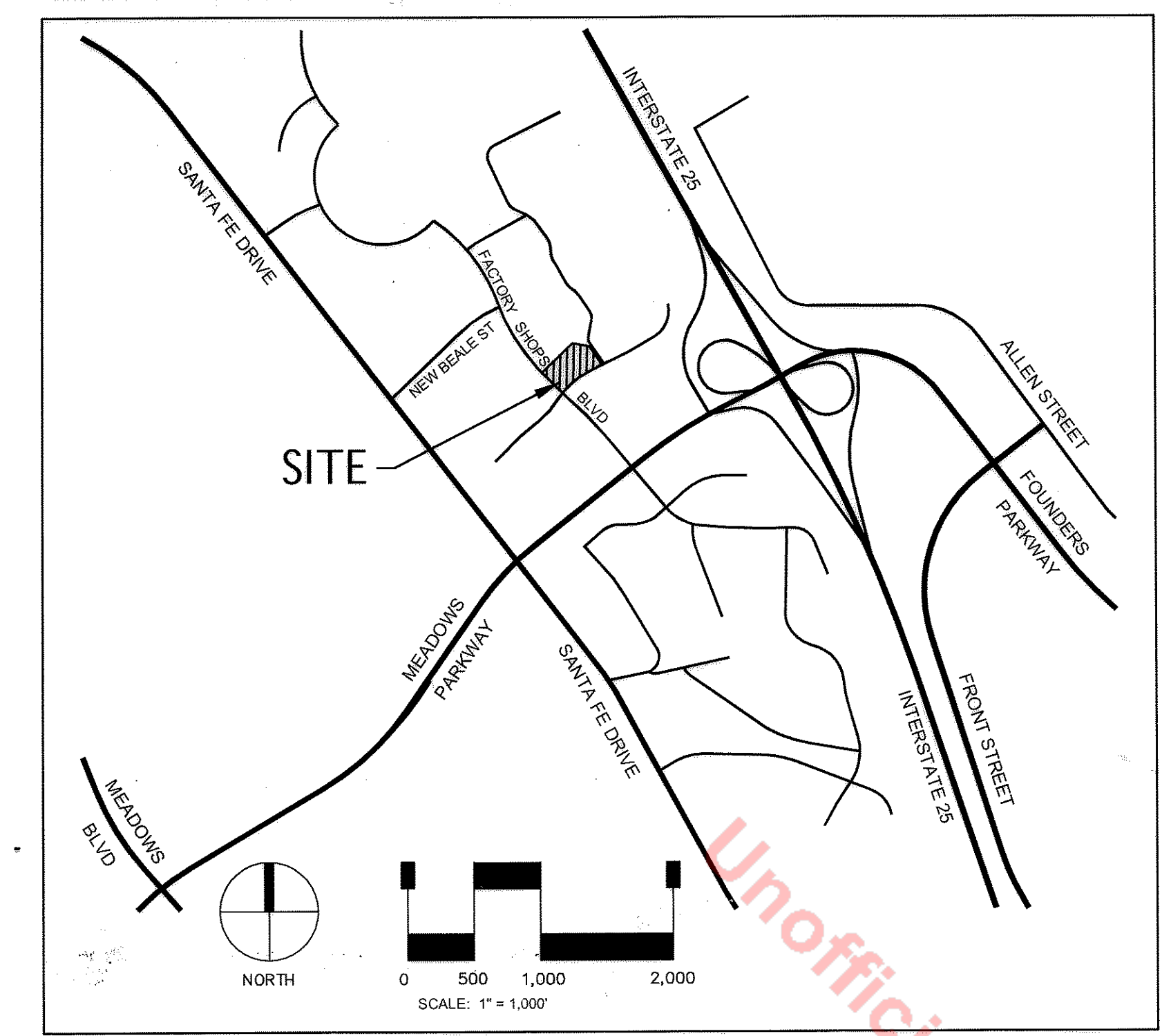
PARKING CALCULATIONS

PARKING STALLS REQUIRED	10 PER 1,000 SF (FAST FOOD RESTAURANT)
	6,572 (W/PATIO) / 1000 = 6.572 = 66 SPACES REQUIRED
TOTAL PARKING STALLS PROVIDED	115 (OVERALL REDUCTION OF 56 SPACES)
STANDARD PARKING SPACES (18' X 9')	81 (70%)
COMPACT PARKING SPACES (16' X 9')	34 (30%)
DRIVE-THRU STACKING REQUIRED	8
DRIVE-THRU STACKING PROVIDED	8
HANDICAP PARKING REQUIRED (PROPOSED IMPROVEMENTS)	3
HANDICAP PARKING PROVIDED	3
BICYCLE PARKING REQUIRED (PROPOSED IMPROVEMENTS)	5% OF PARKING REQUIREMENT (0.05 X 74 PARKING SPACES = 3.7 = 4 REQUIRED)
BICYCLE PARKING PROVIDED	4

TOWN OF CASTLE ROCK GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY. UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT, SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. A NOTE REGARDING THE EXISTENCE OF ANY FEMA REGULATED FLOODPLAINS AND WETLANDS ON THE SITE.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
10. THIS SITE IS ZONED PLANNED DEVELOPMENT.
11. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
12. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
13. RETAINING WALLS - SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
14. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

VICINITY MAP



SHEET INDEX

- SHEET 1 COVER SHEET
- SHEET 2 SITE PLAN
- SHEET 3 GRADING PLAN
- SHEET 4 UTILITY PLAN
- SHEET 5 LANDSCAPE PLAN
- SHEET 6 LANDSCAPE NOTES
- SHEET 7 LANDSCAPE WORKSHEETS
- SHEET 8 BUILDING ELEVATIONS
- SHEET 9 BUILDING ELEVATIONS
- SHEET 10 PHOTOMETRICS PLAN
- SHEET 11 PHOTOMETRICS DETAILS

LEGAL DESCRIPTION

A PORTION OF LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS, A PART OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK

BASED ON NATIONAL GEODETTIC SURVEY MONUMENT 'J 23' ELEVATION 8118.68 (NAVD 88)

SITE ADDRESS

5050 FACTORY SHOPS BLVD. CASTLE ROCK, CO 80108

OWNER

CRAIG REALTY GROUP
4100 MCCARTHR BLVD, SUITE 220
NEWPORT BEACH, CA 92660
(949) 224-4100
CONTACT: BILL KELLY

ARCHITECT

AMBREY COOK MCGILL ARCHITECTS
1045 14TH STREET, SUITE 100
SAN DIEGO, CA 92101-5701
(619) 388-3480
CONTACT: CLIFF COOK

M.E.P. ENGINEER

T SQUARED PROFESSIONAL ENGINEERS, INC.
1340 SPECIALTY DRIVE, SUITE E
VISTA, CA 92081
(760) 560-0100
CONTACT: TODD MULLIN

CIVIL ENGINEER

STERLING DESIGN ASSOCIATES, LLC
2009 W. LITTLETON BLVD, SUITE 300
LITTLETON, CO 80120
(303) 794-4727
CONTACT: SARA MARTIN

SURVEYOR

EARLE LAND SURVEYING, INC.
2345 ACADEMY PL., STE. 201
COLORADO SPRINGS, CO 80909
(719) 382-4150
CONTACT: SHAWN RICHARDS

LANDSCAPE ARCHITECT

STERLING DESIGN ASSOCIATES, LLC
2009 W. LITTLETON BLVD, SUITE 300
LITTLETON, CO 80120
(303) 794-4727
CONTACT: WAYNE STERLING

SURVEYOR'S CERTIFICATE

I, SHAWN RICHARDS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.
Shawn Richards
REGISTERED LAND SURVEYOR
DATE: 12/19/14

CIVIL ENGINEER'S STATEMENT

I, SARA J. MARTIN, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
Sara J. Martin
SARA J. MARTIN, P.E. COLORADO REGISTRATION NO. 47018
DATE: 12/2/14

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 29th DAY OF December, 2014

TITLE CERTIFICATION

I, STEPHEN C. FEIN, AN AUTHORIZED REPRESENTATIVE OF Fidelity National, TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LEIHHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LEIHHOLDER SUBORDINATION CERTIFICATE.
Stephen C. Fein
AUTHORIZED REPRESENTATIVE
Fidelity National Title Insurance
TITLE COMPANY
SIGNED THIS 19th DAY OF December, 2014

NOTARY BLOCK
SUBSCRIBED AND SWORN BEFORE ME THIS 19th DAY OF December, 2014.
BY STEPHEN C. FEIN AS AUTHORIZED REPRESENTATIVE OF Fidelity National Title
WITNESS MY HAND AND OFFICIAL SEAL.
Margaret M. Nott
NOTARY PUBLIC
MY COMMISSION EXPIRES: May 13, 2018

TOWN OF CASTLE ROCK FIRE NOTES

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.
Shawn Richards
CRAIG REALTY GROUP CASTLE ROCK LLC
A COLORADO LIMITED LIABILITY COMPANY
SIGNED THIS 3 DAY OF December, 2014.
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 3 DAY OF December, 2014.
BY Angela Dalgligh Littlejohn
WITNESS MY HAND AND OFFICIAL SEAL.
Angela Dalgligh Littlejohn
NOTARY PUBLIC
MY COMMISSION EXPIRES: May 1, 2015

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL OF THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS IN THE TOWN OF CASTLE ROCK.
THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON AUGUST 19, 2005 AT RECEPTION NO. 2005078237 DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.
Wells Fargo Bank, National Association
SIGNED THIS 15 DAY OF December, 2014.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 15th DAY OF December, 2014.
BY Susan Zorfas Commission # 1943709 Exp: 1-30-15
WITNESS MY HAND AND OFFICIAL SEAL.
Susan Zorfas
NOTARY PUBLIC
MY COMMISSION EXPIRES: 1-30-2015

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:14 ON THE 23rd DAY OF January, 2015.
AT RECEPTION NO. 2015004541
DOUGLAS COUNTY CLERK AND RECORDER
BY: Tulagan Kov
DEPUTY
DOUGLAS COUNTY CLERK AND RECORDER SEAL

Sterling Design Associates, llc
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

NOVEMBER 04, 2014
SEPTEMBER 08, 2014
AUGUST 11, 2014
MAY 30, 2014

SHEET 1 OF 11
COVER SHEET
PROJECT NO. SDP14-0007

SITE DEVELOPMENT PLAN

FOR A PORTION OF LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS

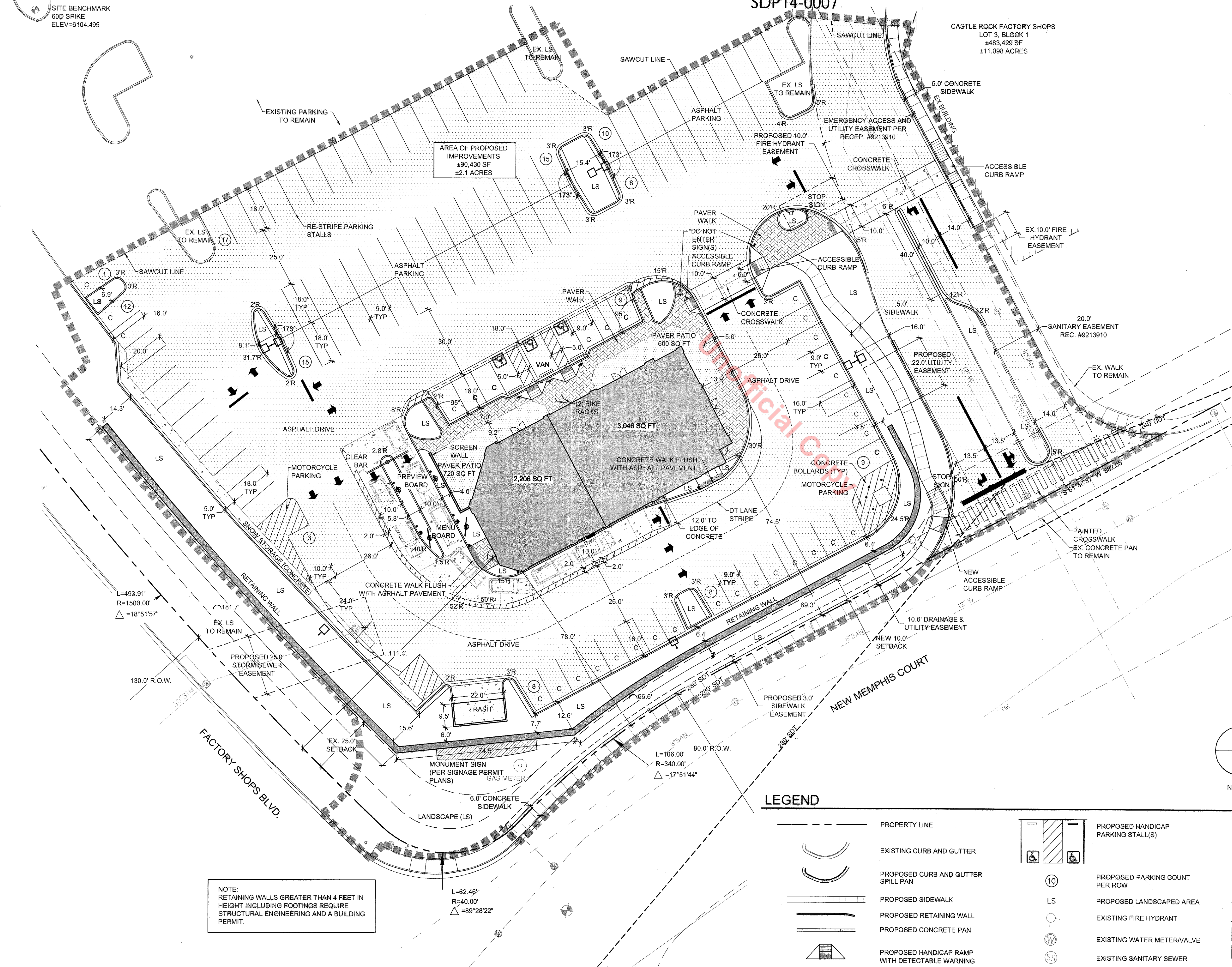
AN AMENDMENT TO CASTLE ROCK FACTORY SHOPS MAJOR MODIFICATION TO THE FINAL PD SITE PLAN LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP14-0007

SITE BENCHMARK
80D SPIKE
ELEV=6104.495

CASTLE ROCK FACTORY SHOPS
LOT 3, BLOCK 1
±483,429 SF
±11.098 ACRES

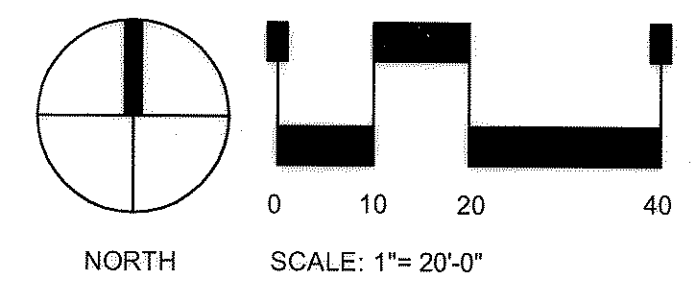
AREA OF PROPOSED IMPROVEMENTS
±90,430 SF
±2.1 ACRES



NOTE:
RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT INCLUDING FOOTINGS REQUIRE STRUCTURAL ENGINEERING AND A BUILDING PERMIT.

LEGEND

	PROPERTY LINE		PROPOSED HANDICAP PARKING STALL(S)		EXISTING POLE LIGHT
	EXISTING CURB AND GUTTER		PROPOSED POLE LIGHT		EXISTING ELECTRIC VAULT
	PROPOSED CURB AND GUTTER SPILL PAN		EXISTING STORM SEWER		LIMITS OF CONSTRUCTION
	PROPOSED SIDEWALK		PROPOSED PARKING COUNT PER ROW		EXISTING EASEMENT
	PROPOSED RETAINING WALL		PROPOSED LANDSCAPED AREA		PROPOSED ASPHALT
	PROPOSED CONCRETE PAN		EXISTING FIRE HYDRANT		PROPOSED CONCRETE
	PROPOSED HANDICAP RAMP WITH DETECTABLE WARNING		EXISTING WATER METER/VALVE		
			EXISTING SANITARY SEWER		



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NOVEMBER 04, 2014
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SHEET 2 OF 11
SITE PLAN
PROJECT NO. SDP14-0007

SITE DEVELOPMENT PLAN

FOR A PORTION OF LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS

AN AMENDMENT TO CASTLE ROCK FACTORY SHOPS MAJOR MODIFICATION TO THE FINAL PD SITE PLAN

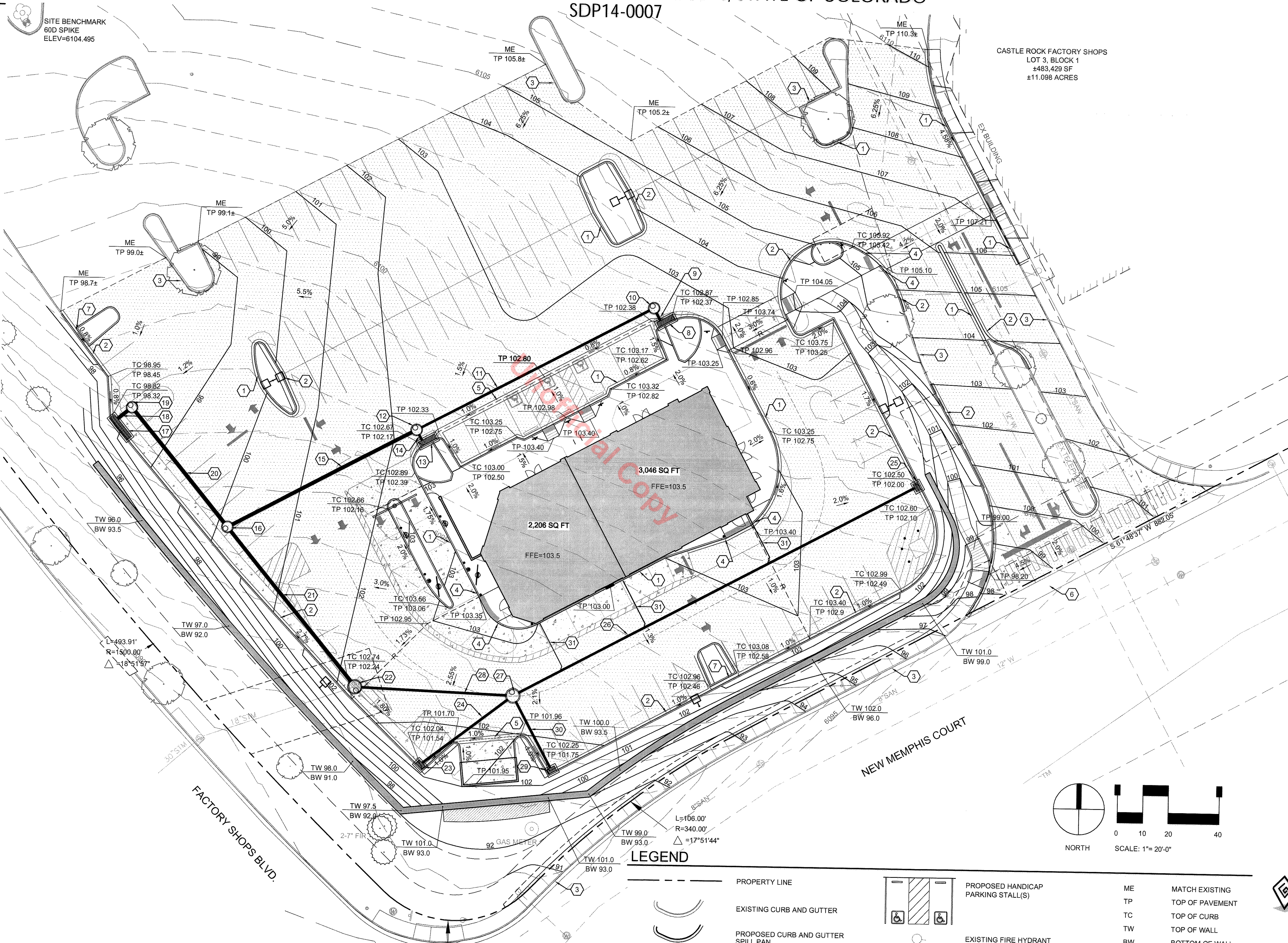
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP14-0007

CONSTRUCTION NOTES

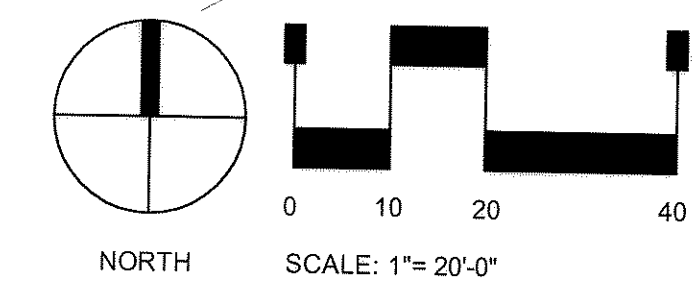
- 1 CONSTRUCT 6-INCH VERTICAL CONCRETE CURB AND GUTTER WITH 1-FT SPILL PAN.
- 2 CONSTRUCT 6-INCH VERTICAL CONCRETE CURB AND GUTTER WITH 1-FT CATCH PAN.
- 3 EXISTING CURB AND GUTTER TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 4 CONSTRUCT TAPERED CURB AND CURB CUT.
- 5 CONSTRUCT 2-FOOT WIDE CONCRETE PAN
- 6 EXISTING CONCRETE PAN TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 7 INSTALL CONCRETE CHASE AS SHOWN
- 8 INSTALL TYPE 16 DOUBLE INLET
RIM= 102.37
IE=97.00 (12" OUT NW)
- 9 INSTALL 6 LF 12" PVC @ 3.0%
- 10 INSTALL 48"Ø SDMH
RIM=102.50
IE=96.82 (12" SE IN)
IE=96.72 (12" SW OUT)
- 11 INSTALL 105 LF 12" PVC @ 3.0%
- 12 INSTALL 48"Ø SDMH
RIM=102.25
IE=96.32 (12" IN SE)
IE=93.57 (12" IN NE)
IE=93.07 (18" OUT SW)
- 13 INSTALL TYPE 16 DOUBLE INLET
RIM=102.17
IE=96.50 (12" OUT NW)
- 14 INSTALL 6 LF 12" PVC @ 3.0%
- 15 INSTALL 84 LF 18" PVC @ 3.27%
- 16 INSTALL 48"Ø SDMH
RIM=100.10
IE=90.32 (18" IN NE & NW)
IE=90.22 (18" OUT SE)
- 17 INSTALL TYPE 16 TRIPLE INLET
RIM=98.32
IE=92.50 (18" NE OUT)
- 18 INSTALL 7 LF 18" PVC @ 3.0%
- 19 INSTALL 48"Ø SDMH
RIM=98.40
IE=92.32 (18" SW IN)
IE=92.22 (18" SE OUT)
- 20 INSTALL 60 LF 18" PVC @ 3.0%
- 21 INSTALL 80 LF 18" PVC @ 3.0%
- 22 REMOVE EXISTING INLET & INSTALL 60"Ø SDMH
RIM=102.25
IE=87.92 (18" NW IN)
IE=88.42 (12" E IN)
EX IE=86.1± (18" SW OUT)
CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION OF EXISTING 18" STORM DRAIN PIPE.
- 23 INSTALL TYPE 16 SINGLE INLET
RIM=101.54
IE= 96.00 (12" NE OUT)
- 24 INSTALL 44 LF 12" PVC @ 2.90%
- 25 INSTALL TYPE 16 SINGLE INLET
RIM=102.00
IE= 96.50 (12" W OUT)
- 26 INSTALL 178 LF 12" PVC @ 1.0%
- 27 INSTALL 60"Ø MANHOLE
RIM=102.40
IE= 94.72 (12" S, E & SW IN)
IE= 94.62 (12" W OUT)
- 28 INSTALL 62 LF 12" PVC @ 10.0%
- 29 INSTALL TYPE SINGLE 16 INLET
RIM=101.75
IE= 96.00 (12" N OUT)
- 30 INSTALL 32 LF 12" PVC @ 4.0%
- 31 INSTALL 20 LF 4" PVC @ 2.0% MIN. CONNECT TO ROOF DRAINS.



CASTLE ROCK FACTORY SHOPS
LOT 3, BLOCK 1
±483,429 SF
±11.098 ACRES

LEGEND

	PROPERTY LINE		PROPOSED HANDICAP PARKING STALL(S)	ME	MATCH EXISTING
	EXISTING CURB AND GUTTER		EXISTING FIRE HYDRANT	TP	TOP OF PAVEMENT
	PROPOSED CURB AND GUTTER SPILL PAN		EXISTING WATER METER VALVE	TC	TOP OF CURB
	PROPOSED SIDEWALK		EXISTING SANITARY SEWER	TW	TOP OF WALL
	PROPOSED RETAINING WALL		EXISTING ELECTRIC VAULT	BW	BOTTOM OF WALL
	PROPOSED CONCRETE PAN		EXISTING STORM SEWER	102	102
	PROPOSED HANDICAP RAMP WITH DETECTABLE WARNING		EXISTING POLE LIGHT	6100	PROPOSED CONTOUR
					EXISTING CONTOUR
					PROPOSED INLET
					PROPOSED MANHOLE
					PROPOSED ASPHALT
					PROPOSED CONCRETE



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GRADING & STORM DRAINAGE PLAN
PROJECT NO. SDP14-0007

SITE DEVELOPMENT PLAN

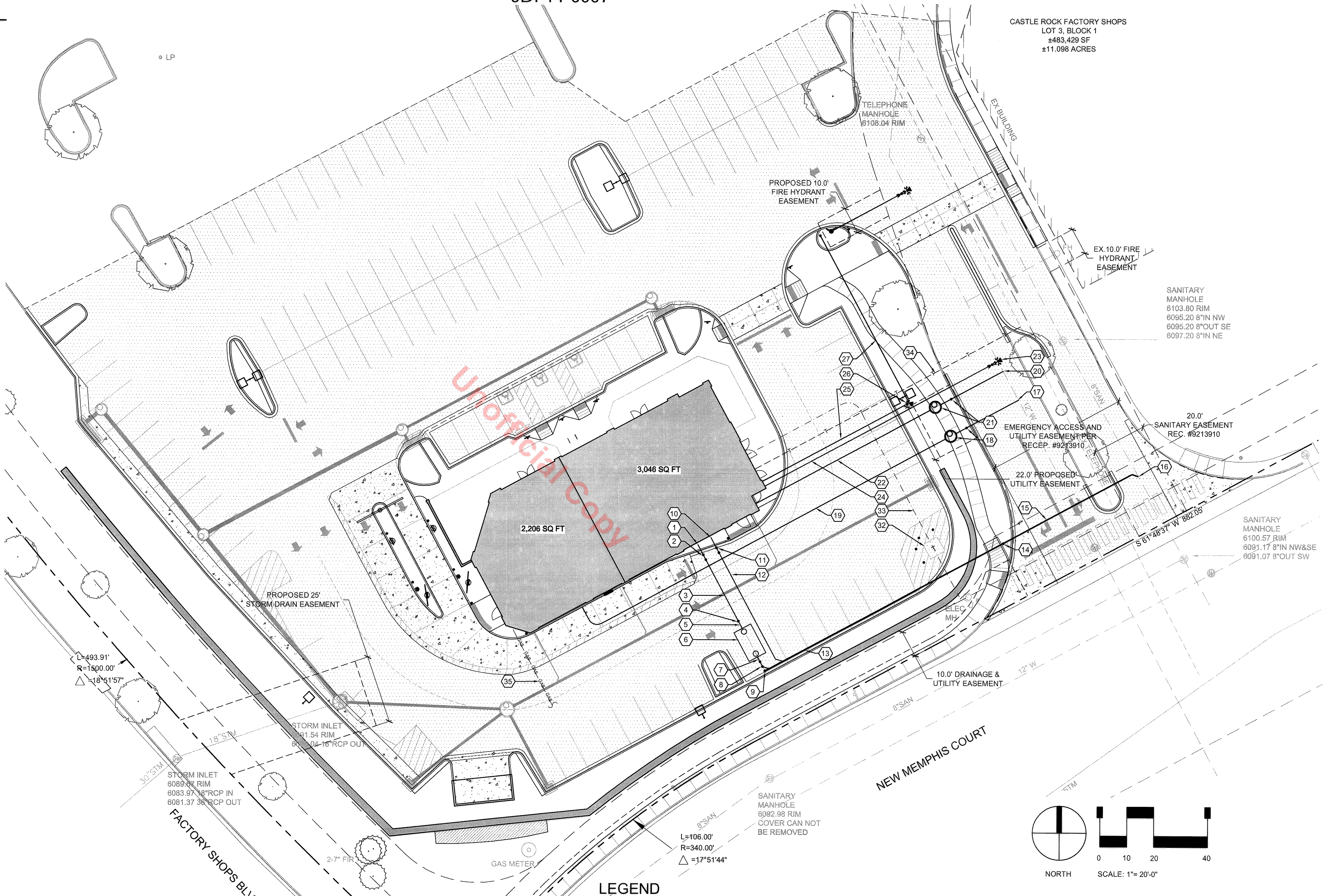
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SDP14-0007

CONSTRUCTION NOTES

- | | |
|---|--|
| <p>1 CONNECT TO BUILDING GREASE LINE
IE=97.20 (4")
RE: PLUMBING PLANS FOR DETAILS</p> <p>2 INSTALL TWO-WAY CLEANOUT
RIM=103.10
IE=97.10 (4")</p> <p>3 INSTALL 30 LF 4" PVC @ 2.0%</p> <p>4 INSTALL CLEANOUT
RIM=102.80
IE=96.58 (4")</p> <p>5 INSTALL 4 LF 4" PVC @ 2.0%</p> <p>6 INSTALL GREASE INTERCEPTOR
3,000 GALLON
IE (IN)=96.50 (4")
IE (OUT)=96.40 (4")
RE: PLUMBING PLANS FOR DETAILS</p> <p>7 INSTALL 5 LF 4" PVC @ 2.0%</p> <p>8 INSTALL TWO-WAY CLEANOUT
RIM=102.75
IE=96.35 (4")</p> <p>9 INSTALL CLEANOUT
RIM=102.65
IE=96.30 (6")</p> <p>10 CONNECT TO BUILDING WASTE LINE
IE=97.30 (4")
RE: PLUMBING PLANS FOR DETAILS</p> <p>11 INSTALL TWO-WAY CLEANOUT
RIM=103.20
IE=97.20 (4")</p> <p>12 INSTALL 52 LF 4" PVC @ 2.0%</p> <p>13 INSTALL 100 LF 6" PVC @ 2.0%</p> <p>14 INSTALL CLEANOUT
RIM=99.00
IE=94.30 (6")</p> <p>15 INSTALL 55 LF 6" PVC @ 2.0%</p> <p>16 CONNECT TO EXISTING SEWER
W/ PVC WYE
EX IE=92.8± (8")
IE=93.20 (6")
CONTRACTOR TO VERIFY LOCATION,
SIZE AND INVERT ELEVATION OF
EXISTING 8" SEWER PRIOR TO
CONSTRUCTION.</p> <p>17 TAP EXISTING 12" WATER AND
INSTALL 26 LF 1 1/2" TYPE K COPPER
SERVICE LINE W/ CURB BOX</p> <p>18 INSTALL 48" Ø MH METER PIT
W/ 1 1/2" DOMESTIC METER</p> <p>19 INSTALL 155 LF 1 1/2" TYPE K COPPER
DOMESTIC SERVICE LINE</p> <p>20 TAP EXISTING 12" WATER AND
INSTALL 26 LF 1 1/2" TYPE K COPPER
SERVICE LINE W/ CURB BOX</p> <p>21 INSTALL 48" Ø MH METER PIT
W/ 1 1/2" DOMESTIC METER</p> <p>22 INSTALL 74 LF 1 1/2" TYPE K COPPER
DOMESTIC SERVICE LINE</p> <p>23 INSTALL:
12"x12"x8" TEE (MxMxFL) W/
CONCRETE BLOCK
8"x4" REDUCER (FLxMJ)
4" VALVE BOX</p> | <p>24 INSTALL 94 LF 4" DIP FIRE SERVICE</p> <p>25 INSTALL 60 LF 4" DIP</p> <p>26 INSTALL 4" 90° BEND (MJ)
W/ CONCRETE BLOCK</p> <p>27 INSTALL 70 LF 4" DIP</p> <p>28 INSTALL REMOTE FDC</p> <p>29 INSTALL:
12"x12"x8" TEE (MxMxFL) W/
CONCRETE BLOCK
8"x6" REDUCER (FLxMJ)
6" VALVE BOX</p> <p>30 INSTALL 32 LF 6" DIP</p> <p>31 INSTALL FIRE HYDRANT ASSEMBLY</p> <p>32 PROPOSED LOCATION OF
TRANSFORMER PAD. CONTRACTOR
SHALL VERIFY EXACT LOCATION AND
SIZE WITH UTILITY PROVIDER PRIOR
TO INSTALLATION. CONTRACTOR
SHALL BE RESPONSIBLE FOR
INSTALLATION OF CONCRETE PAD
AND CONDUIT AS REQUIRED BY
UTILITY PROVIDER. CONTRACTOR
SHALL COORDINATE SAID WORK WITH
THE UTILITY PROVIDER.</p> <p>33 APPROXIMATE ALIGNMENT AND
CONNECTION POINTS FOR PROPOSED
ELECTRICAL SERVICE. CONTRACTOR
SHALL VERIFY EXACT SIZE,
ALIGNMENT AND CONNECTION POINT
WITH THE UTILITY PROVIDER AND
COORDINATE AND INSTALL REQUIRED
INSTALLATIONS (INCLUDING, BUT NOT
LIMITED TO, TRENCHING, CONDUIT,
PULL BOXES, ETC.) AS NECESSARY
PRIOR TO CONSTRUCTION.</p> <p>34 APPROXIMATE ALIGNMENT AND
CONNECTION POINTS FOR PROPOSED
TELEPHONE SERVICE. CONTRACTOR
SHALL VERIFY EXACT SIZE,
ALIGNMENT AND CONNECTION POINT
WITH THE UTILITY PROVIDER AND
COORDINATE AND INSTALL REQUIRED
INSTALLATIONS (INCLUDING, BUT NOT
LIMITED TO, TRENCHING, CONDUIT,
PULL BOXES, ETC.) AS NECESSARY
PRIOR TO CONSTRUCTION.</p> <p>35 APPROXIMATE ALIGNMENT AND
CONNECTION POINTS FOR PROPOSED
GAS SERVICE. CONTRACTOR SHALL
VERIFY EXACT SIZE, ALIGNMENT AND
CONNECTION POINT WITH THE
UTILITY PROVIDER AND COORDINATE
AND INSTALL REQUIRED
INSTALLATIONS (INCLUDING, BUT NOT
LIMITED TO, TRENCHING, CONDUIT,
PULL BOXES, ETC.) AS NECESSARY
PRIOR TO CONSTRUCTION.</p> |
|---|--|



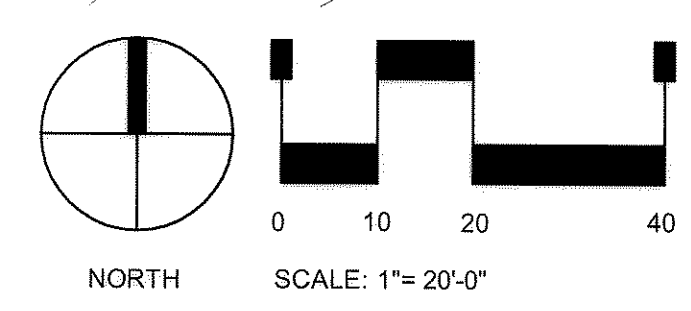
TOWN OF CASTLE ROCK UTILITY NOTES

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.

LEGEND

	PROPERTY LINE		PROPOSED HANDICAP PARKING STALL(S)		EXISTING POLE LIGHT
	EXISTING CURB AND GUTTER		PROPOSED HANDICAP RAMP WITH DETECTABLE WARNING		PROPOSED POLE LIGHT
	PROPOSED CURB AND GUTTER SPILL PAN		PROPOSED PARKING COUNT PER ROW		EXISTING ELECTRIC VAULT
	PROPOSED SIDEWALK		PROPOSED LANDSCAPED AREA		EXISTING STORM SEWER
	PROPOSED RETAINING WALL		EXISTING FIRE HYDRANT		EXISTING EASEMENT
	PROPOSED CONCRETE PAN		EXISTING WATER METER/VALVE		PROPOSED ASPHALT
	PROPOSED HANDICAP RAMP WITH DETECTABLE WARNING		EXISTING SANITARY SEWER		PROPOSED CONCRETE

CASTLE ROCK FACTORY SHOPS
LOT 3, BLOCK 1
±483,429 SF
±11.098 ACRES



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NOVEMBER 04, 2014
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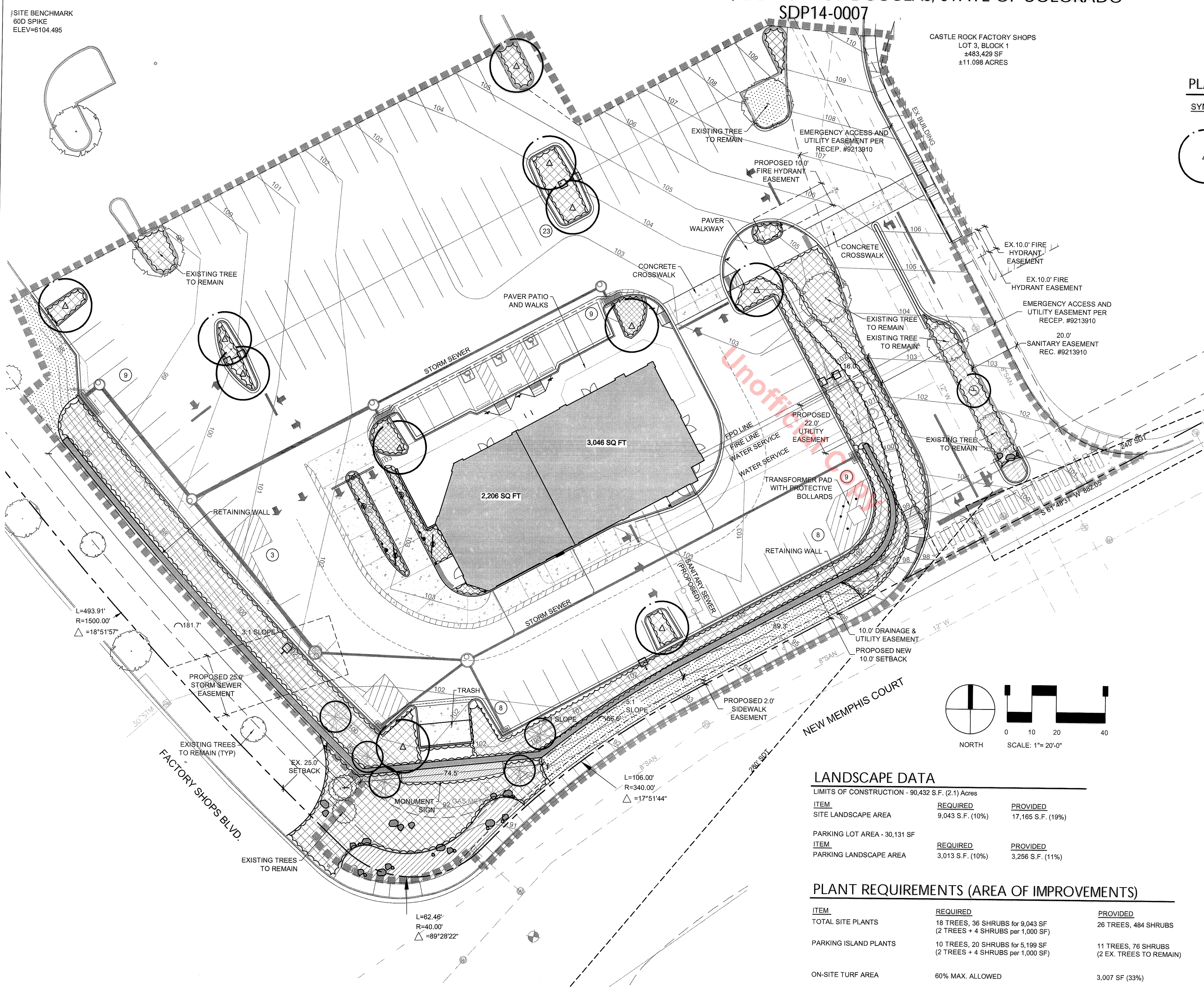
SHEET 4 OF 11
UTILITY PLAN
PROJECT NO. SDP14-0007

SITE DEVELOPMENT PLAN

FOR A PORTION OF LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS

AN AMENDMENT TO CASTLE ROCK FACTORY SHOPS MAJOR MODIFICATION TO THE FINAL PD SITE PLAN LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP14-0007



| SITE BENCHMARK
 60D SPIKE
 ELEV=6104.495

CASTLE ROCK FACTORY SHOPS
 LOT 3, BLOCK 1
 ±483,429 SF
 ±11.098 ACRES

PLANT LEGEND

SYMBOL	HYDRO	
△	LOW	DECIDUOUS TREES
○	LOW	
●	LOW	EVERGREEN TREES
○	LOW	
○	VERY LOW	
■		IRRIGATED SEED MIX MOD. HYDROZONE SEE BELOW FOR SPEC.
■		MIXED SHRUB BED MOD. TO LOW HYDROZONE
■		SEASONAL PLANTING BED (HIGH HYDROZONE)
○		GRANITE BOULDERS (TO MATCH EXISTING) 30" DIA. MINIMUM

IRRIGATED SEED MIX

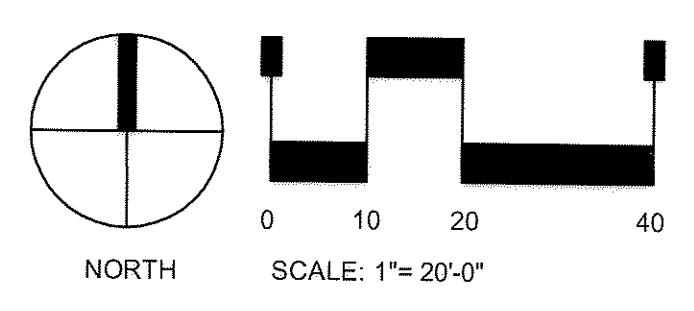
BOTANICAL NAME	COMMON NAME	% BY WEIGHT
AGROPYRON CRISTATUM 'EPHRIAM'	EPHRIAM CRESTED WHEATGRASS	20%
ANDROPOGON SMITHII 'ARRIBA'	ARRIBA WESTERN WHEATGRASS	80%

SEED RATE: 50 LBS./ACRE

*SEED MIX AREAS SHALL BE SEEDED PER TOWN OF CASTLE ROCK STANDARDS

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST. DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3. OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.



LANDSCAPE DATA

LIMITS OF CONSTRUCTION - 90,432 S.F. (2.1) Acres

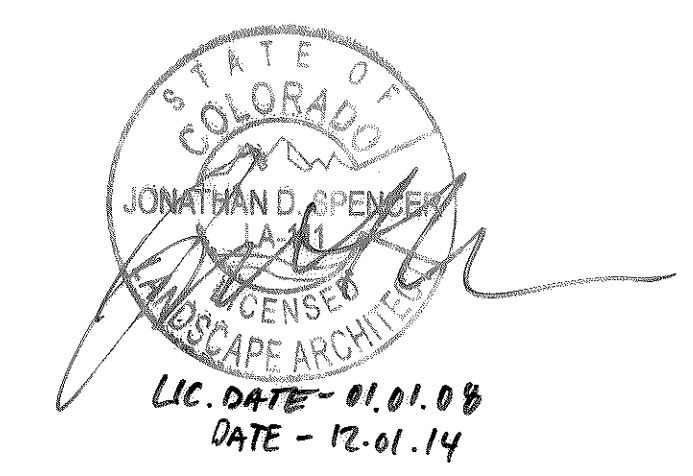
ITEM	REQUIRED	PROVIDED
SITE LANDSCAPE AREA	9,043 S.F. (10%)	17,165 S.F. (19%)
PARKING LOT AREA - 30,131 SF		
ITEM	REQUIRED	PROVIDED
PARKING LANDSCAPE AREA	3,013 S.F. (10%)	3,256 S.F. (11%)

PLANT REQUIREMENTS (AREA OF IMPROVEMENTS)

ITEM	REQUIRED	PROVIDED
TOTAL SITE PLANTS	18 TREES, 36 SHRUBS for 9,043 SF (2 TREES + 4 SHRUBS per 1,000 SF)	26 TREES, 484 SHRUBS
PARKING ISLAND PLANTS	10 TREES, 20 SHRUBS for 5,199 SF (2 TREES + 4 SHRUBS per 1,000 SF)	11 TREES, 76 SHRUBS (2 EX. TREES TO REMAIN)
ON-SITE TURF AREA	60% MAX. ALLOWED	3,007 SF (33%)

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NOVEMBER 04, 2014
 SEPTEMBER 08, 2014
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SHEET 5 OF 11
LANDSCAPE PLAN
PROJECT NO. SDP14-0007

SITE DEVELOPMENT PLAN
FOR A PORTION OF LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS
AN AMENDMENT TO CASTLE ROCK FACTORY SHOPS MAJOR MODIFICATION TO THE FINAL PD SITE PLAN
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SDP14-0007

TOWN OF CASTLE ROCK NOTES

1. **STANDARDS**
ALL WORK SHALL CONFORM TO THE CURRENT ADDITION OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA SECTION 4.2.3D5B AND WATER USE MANAGEMENT PLAN.
2. **INSTALLATION**
ALL LANDSCAPE AND IRRIGATION SYSTEM INSTALLATIONS SHALL BE ACCOMPLISHED BY A LANDSCAPE PROFESSIONAL INSTALLER THAT IS REGISTERED WITH THE TOWN OF CASTLE ROCK.
3. **MAINTENANCE**
LANDSCAPE MAINTENANCE SHALL MEET THE TOWN OF CASTLE ROCK REQUIREMENTS.
4. **EASEMENTS**
NO TREES OR PERMANENT STRUCTURES ARE ALLOWED WITHIN UTILITY AND DRAINAGE EASEMENTS.

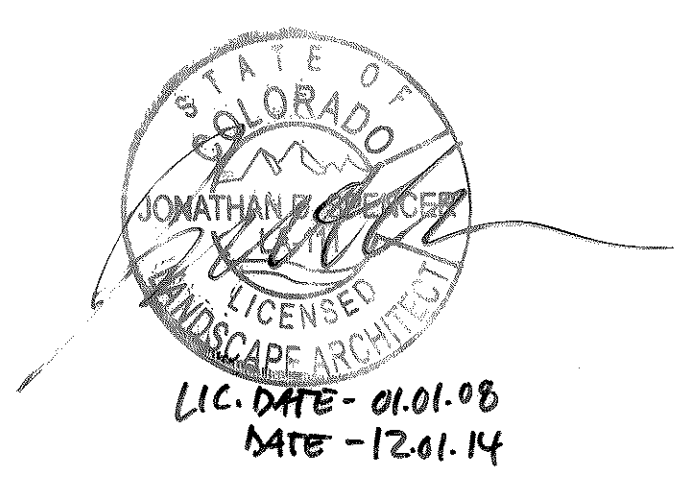
LANDSCAPE NOTES

1. **COORDINATION**
THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
2. **COMPLIANCE**
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
3. **GUARANTEE**
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
4. **COMPLETION AND MAINTENANCE**
 - A. FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE L.A. SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE L.A. SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDER DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
 - B. MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
5. **SITE CONDITIONS**
LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
6. **DAMAGE AND CLEANING**
 - A. CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
 - B. CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
7. **RIGHT OF REJECTION**
OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
8. **SOIL PREPARATION**
SOD AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. AMEND SOIL WITH FOUR CUBIC YARDS PER THOUSAND SQUARE FEET OF ORGANIC COMPOST. COMPOST TO HAVE A C:N RATIO BETWEEN 15:1 AND 30:1, LESS THAN 6 mmhos/cm SALT CONTENT, A pH BETWEEN 6.5 AND 8.5, AND OVER 30% ORGANIC MATTER. APPLY 1 LBS. OF 20-10-5 SLOW RELEASE COMMERCIAL FERTILIZER PER THOUSAND SF OR AS RECOMMENDED BY SOIL TEST. ROTOTILL AMENDMENTS AND TOPSOIL TO A DEPTH OF SIX INCHES.
9. **PLANTING**
TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED BY SOIL TEST.
10. **EDGING**
INSTALL 4" RYERSON ROLLTOP STEEL EDGING (14 GAUGE WITH GREEN FINISH) OR EQUAL. INSTALL WITH STAKES AND SPLICERS PER MANUFACTURER'S RECOMMENDATIONS.
11. **MULCH**
INSTALL WESTERN RED CEDAR MULCH A MINIMUM OF 4" DEEP (NO FABRIC) UNLESS OTHERWISE SHOWN.
12. **COBBLE**
2"-4" ROUNDED COBBLE OVER FABRIC DEWITT PRO 5 FILTER FABRIC OR EQUAL.
13. **MAINTENANCE**
THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.

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NOVEMBER 04, 2014
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SHEET 6 OF 11
LANDSCAPE NOTES
PROJECT NO. SDP14-0007

SITE DEVELOPMENT PLAN
FOR A PORTION OF LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS
AN AMENDMENT TO CASTLE ROCK FACTORY SHOPS MAJOR MODIFICATION TO THE FINAL PD SITE PLAN
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SDP14-0007

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Commercial Landscape Site Inventory

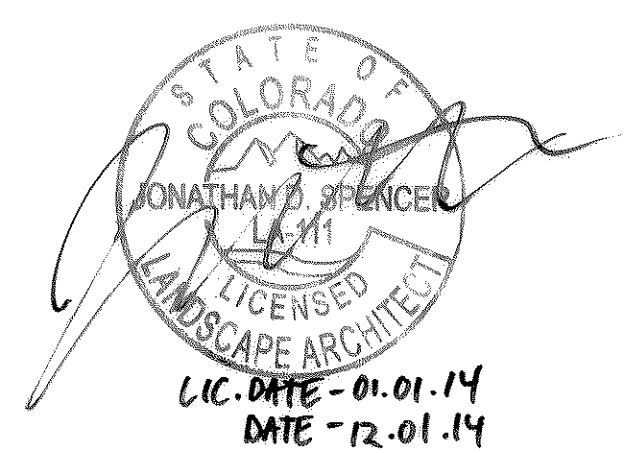
Town of Castle Rock Registered Professional Wayne Sterling
 Town of Castle Rock Registration # 9085 State of Colorado License Landscape Architect # 144
 Company Name Sterling Design Associates, llc Address 2009 W. Littleton Blvd. #300, Littleton, CO 80120
 Phone 303-794-4727 Email Wayne@SterlingDesignAssociates.com Date 9/08/14
 PROJECT NAME Castle Rock Factory Shops, Amendment 1

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
90,432 SF	9,043 SF	3,007 SF seed mix per sheet 5 of 13	984 SF	18	26	36	484	4 yds/ 1,000 SF	Yes ___ No <input checked="" type="checkbox"/> (Tied to ex. mall system)
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
31,013 SF	3,256 SF (3,013 SF REQUIRED)	74	0 SF	4	6 FT	10	11	21	76

Revised April 2013



CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
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NOVEMBER 04, 2014
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SHEET 7 OF 11
 LANDSCAPE WORKSHEETS
 PROJECT NO. SDP14-0007

SITE DEVELOPMENT PLAN

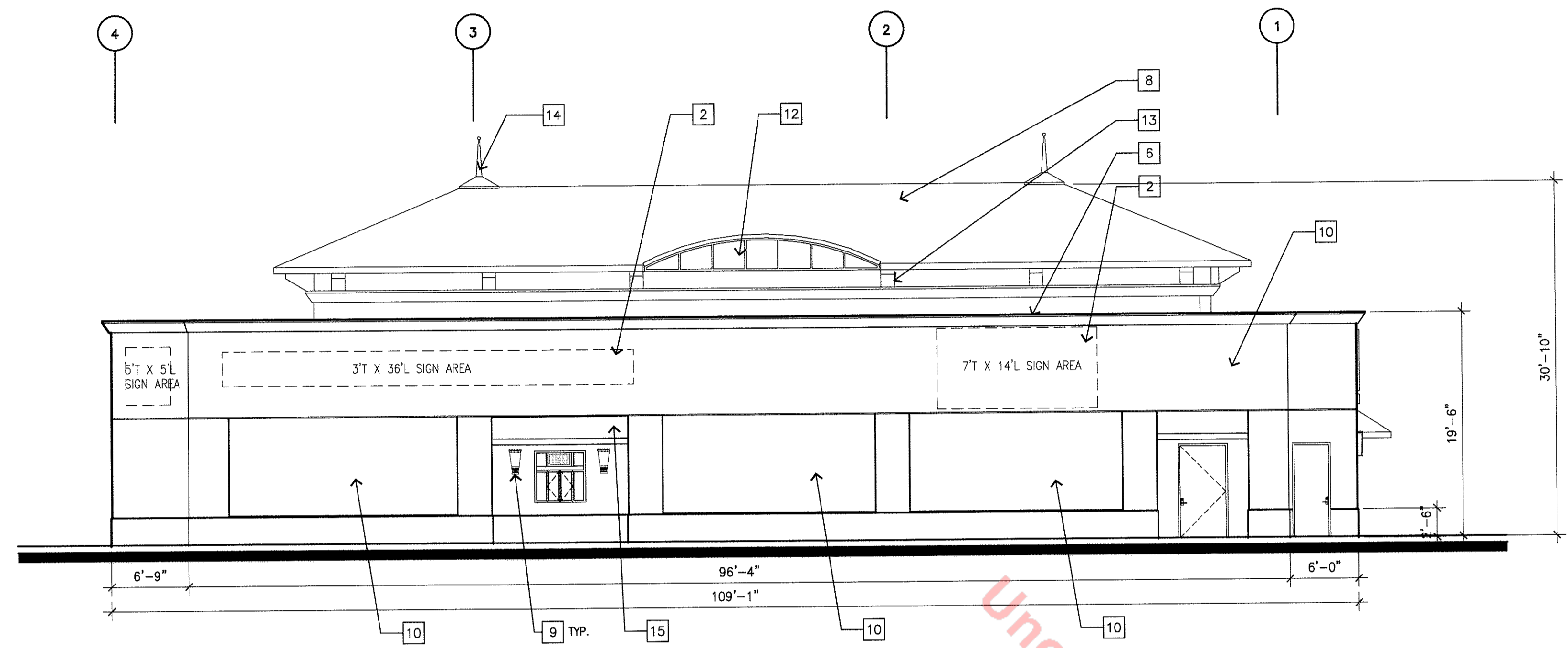
FOR A PORTION OF LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS

AN AMENDMENT TO CASTLE ROCK FACTORY SHOPS MAJOR MODIFICATION TO THE FINAL PD SITE PLAN

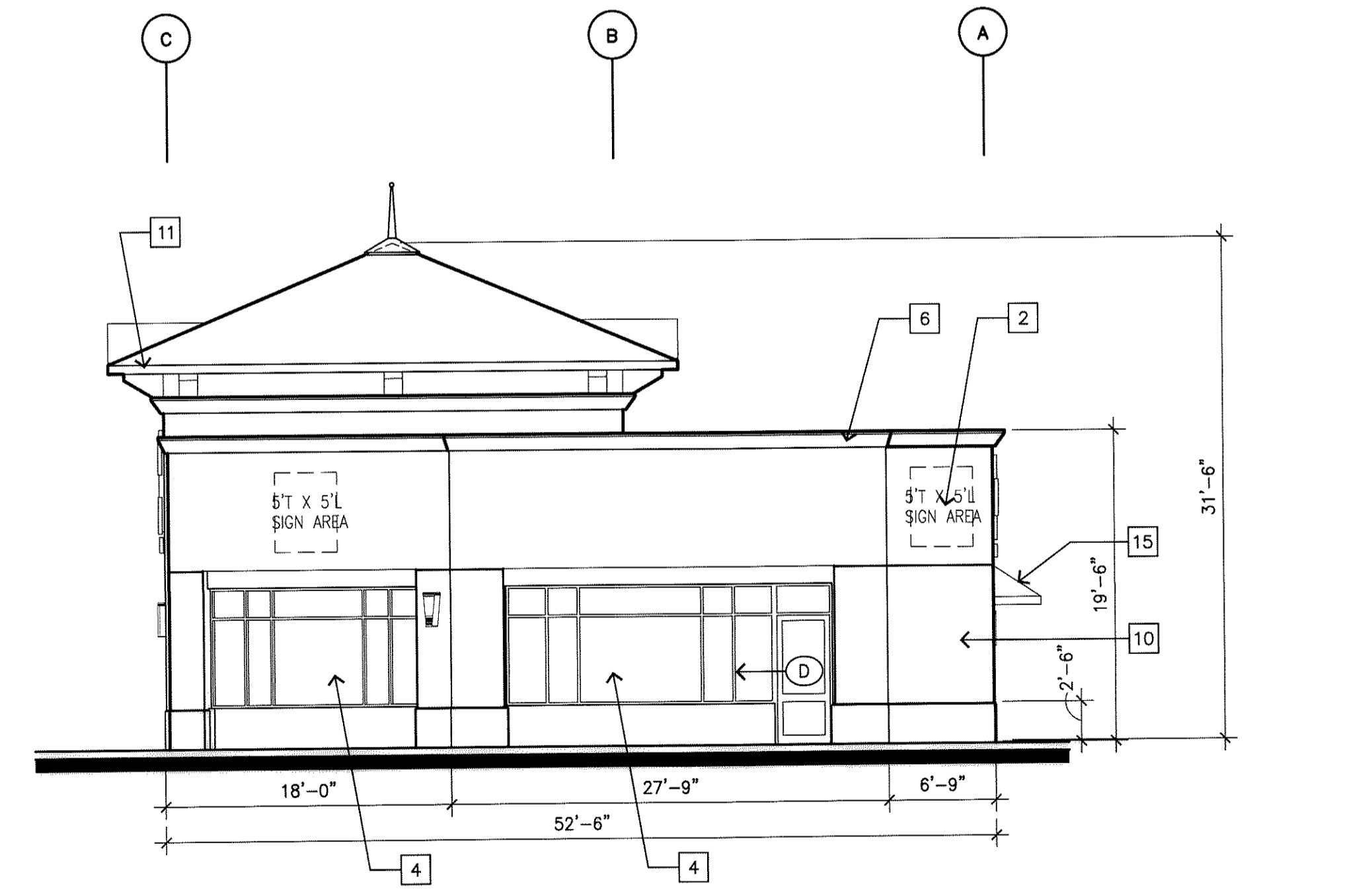
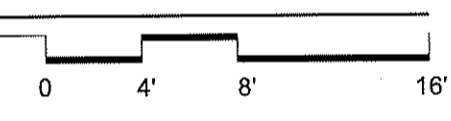
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

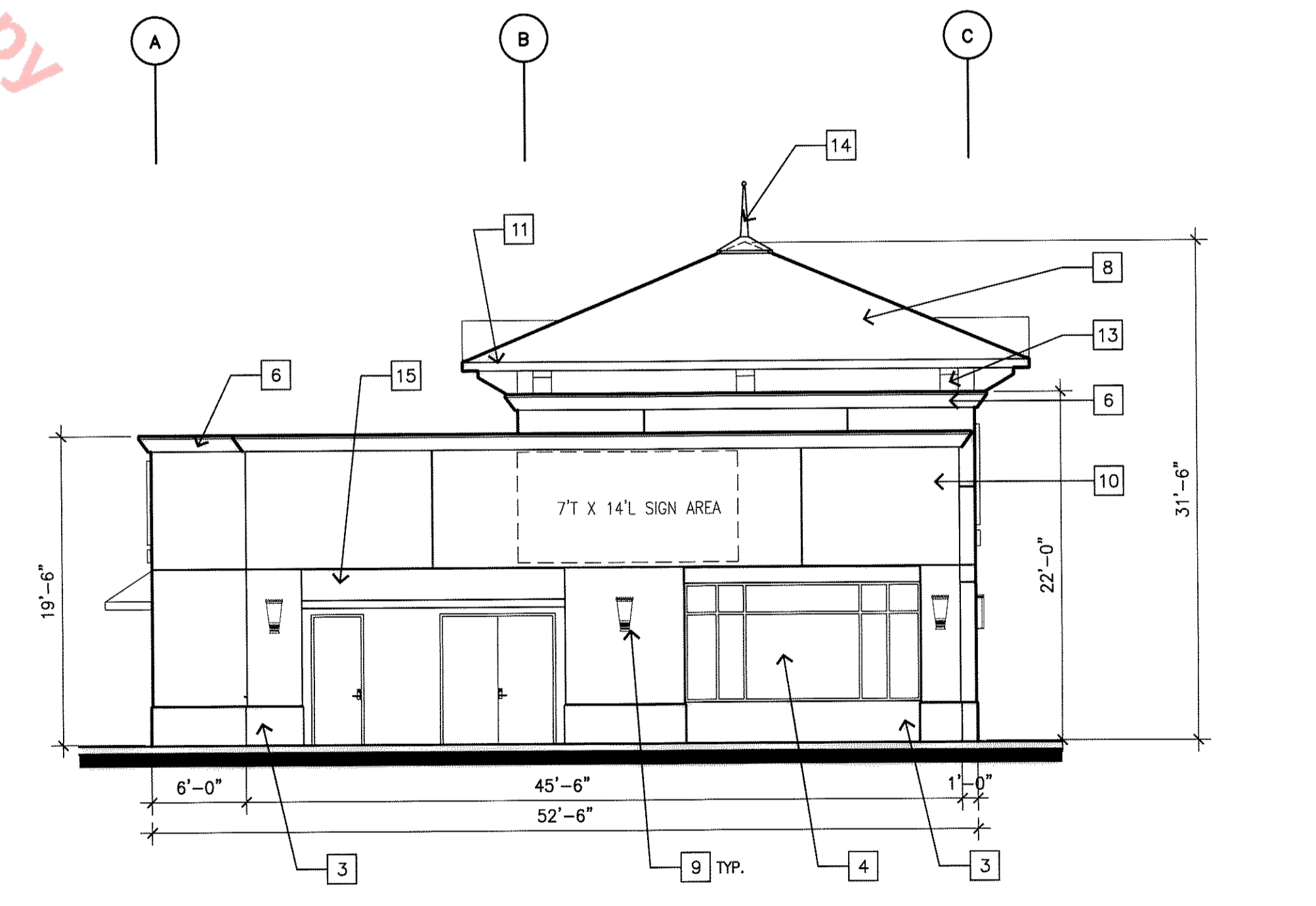
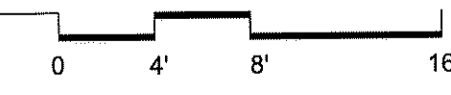
SDP14-0007



1 EXTERIOR SOUTH ELEVATION - BUILDING #11
SCALE 1/8" = 1'-0"



2 EXTERIOR WEST ELEVATION - BUILDING #11
SCALE 1/8" = 1'-0"



3 EXTERIOR EAST ELEVATION - BUILDING #11
SCALE 1/8" = 1'-0"

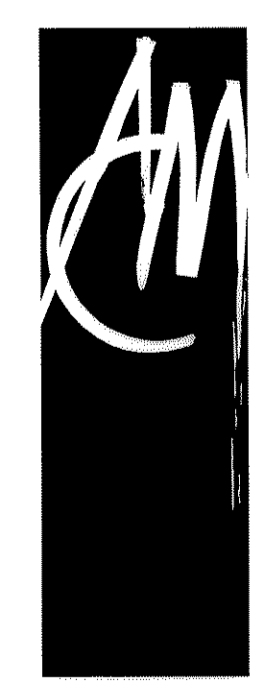
ELEVATION KEYNOTES

- | | |
|---|--|
| <p>1 NOT USED</p> <p>2 WALL MOUNTED TENANT SIGN (N.I.C.), PROVIDE 24 GA SHT. MTL. BACKING SIZED PER ELEV. (COORDINATE W/OWNER FOR GAUGE), PROVIDE J-BOX PER ELECTRICAL DWGS.</p> <p>3 WAINSCOT - 8"x16" STONE TILE VENEER "WHISPER GRASS" RUNNING BOND</p> <p>4 ALUMINUM STOREFRONT- LIGHT CHAMPAGNE BRONZE ANODIZED, CLASSIC COPPER PERMANIZED FINISH DOORS, CHROME HARDWARE.</p> <p>5 NOT USED</p> <p>6 CORNICE - LYKESTONE AGED FINISH T/M CRG STANDARD</p> <p>7 NOT USED</p> <p>8 COMPOSITION DIMENSIONAL SHINGLE ROOF, WEATHERED WOOD TO MATCH PROJECT STANDARD, GAF TIMBERLAND HD</p> <p>9 EXTERIOR LIGHT FIXTURE, TYPICAL PROVIDE BACKING FOR LIGHT FIXTURE SUPPORT. REFER TO ELECTRICAL DRAWINGS. AGED COPPER METALLIC PAINT FINISH</p> | <p>10 EIFS FINISH - FIELD COLOR GLIDDEN "ONIONSKIN TAN"00yy 37/221. INSET COLOR GLIDDEN "CANVASBACK" 10yy 23/183. EAVE COLOR GLIDDEN "SWEETWOOD"90yy 26/147</p> <p>11 GUTTER - BRONZE ANODIZED ALUMINUM</p> <p>12 DECORATIVE GLAZING</p> <p>13 BRACKET - LYKESTONE AGED FINISH T/M CRG STANDARD</p> <p>14 DECORATIVE COPPER ROOF CAP AND FINIAL</p> <p>15 FIRE RATED SUMBRELLA FABRIC AWNING</p> <p>16 STEEL GATES, PAINT TO MATCH WALL FINISH.</p> <p>17 EIFS, COLOR TO MATCH BUILDING FIELD.</p> |
|---|--|

GLASS LEGEND

1. UNLESS NOTED OTHERWISE, ALL GLAZING FOR STOREFRONT SYSTEM ARE GLAZING TYPE "A"
- (A) 1" INSULATED TEMPERED CLEAR GLASS (UNLESS NOTED OTHERWISE)
 - (B) 1" INSULATED TINTED GLASS (TYP. FOR ALL GLAZING ABOVE 10' FROM GRADE, U.N.O.)
 - (C) 1/4" THICK TINTED GLASS
 - (D) 1/4" THICK TEMPERED CLEAR GLASS, TYP. AT DOORS U.N.O.
 - (E) 1" INSULATED WITH LAMINATE GLASS
 - (F) 1/4" THICK OBSCURED GLASS GL590 PIMPERNEL BY HOLLANDER GLASS

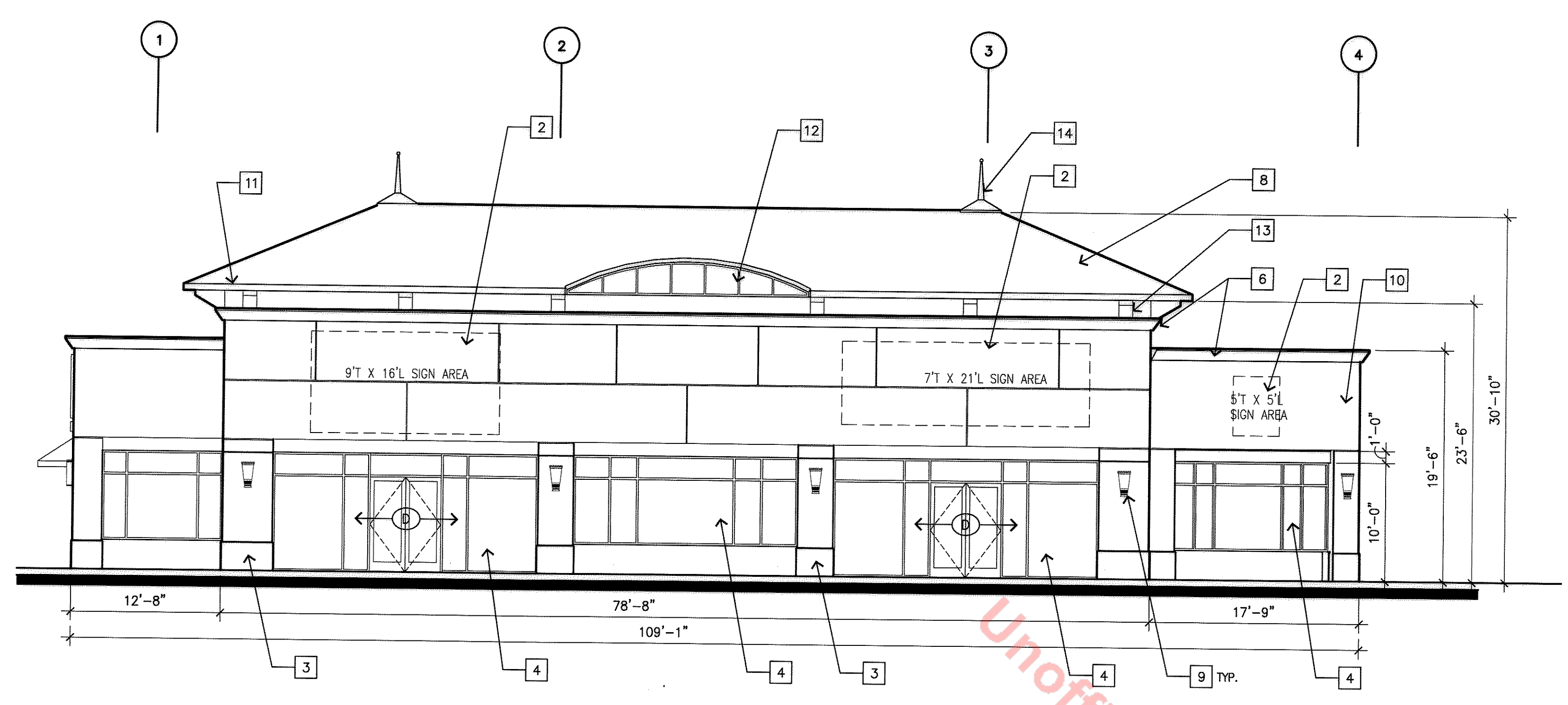
NOTE:
THERE ARE TWO STYLES OF ALUMINUM STOREFRONT SYSTEM PER SPECS. ALL NON-INSULATED GLASS REQUIRES STYLE A (1 3/4" x 4 1/2" MULLION). ALL OTHER INSULATED GLASS REQUIRES STYLE C (2" x 4 1/2" MULLION). REFER TO SHEETS A7.1 AND 7.2 FOR APPLICABLE STOREFRONT DETAILS.



**AWBREY
COOK
MCGILL**
architects
1045 14th Street, Suite 100
San Diego, CA 92101-5701
Phone: 619 . 398 . 3480

NOVEMBER 03, 2014
SEPTEMBER 08, 2014
AUGUST 11, 2014
MAY 30, 2014

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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SDPI4-0007



4 EXTERIOR NORTH ELEVATION - BUILDING #11
 SCALE 1/8" = 1'-0"

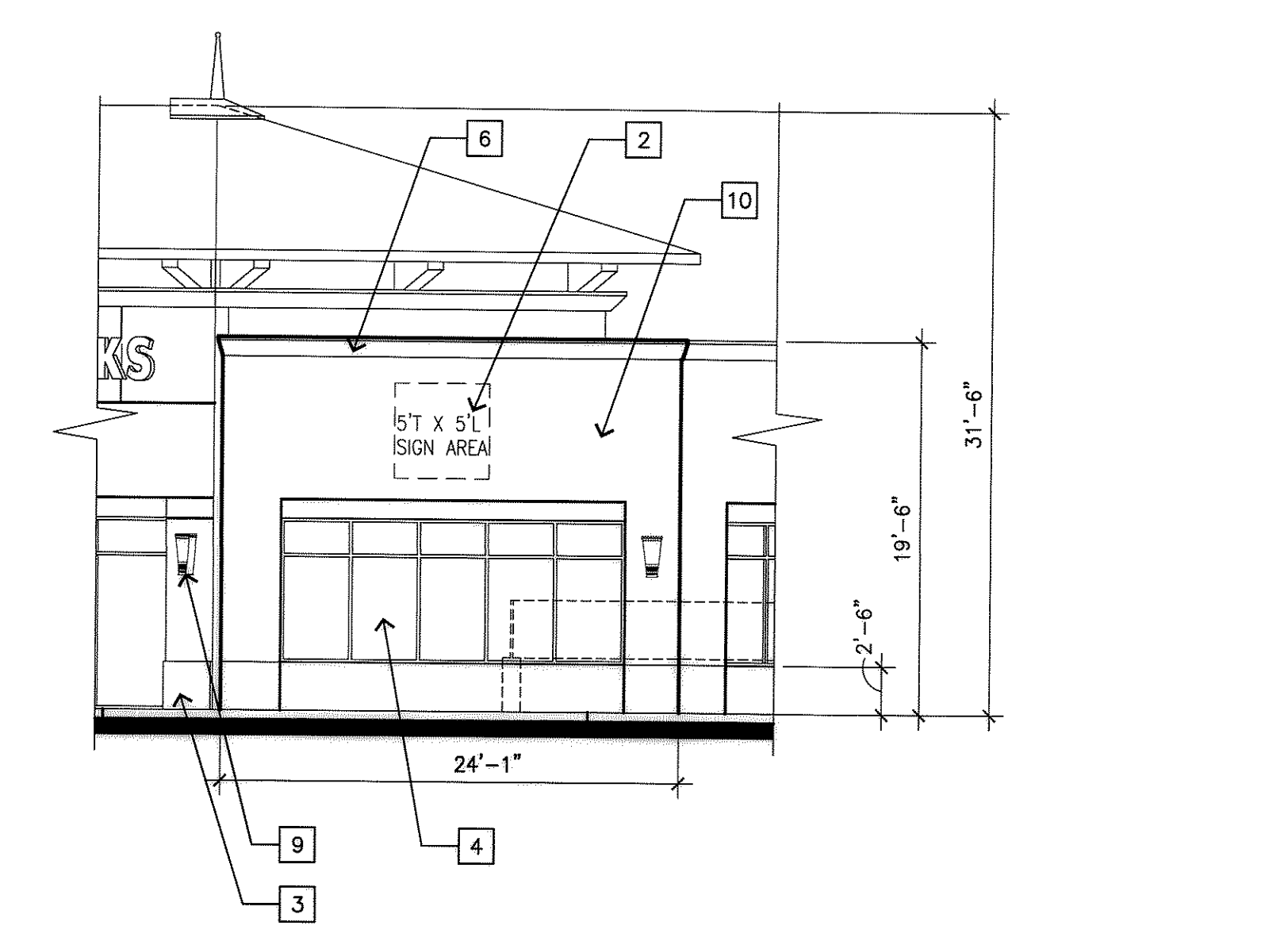
ELEVATION KEYNOTES

- | | |
|--|--|
| 1 NOT USED | 10 EIFS FINISH - FIELD COLOR GLIDDEN "ONIONSKIN TAN"00yy 37/221. INSET COLOR GLIDDEN "CANVASBACK" 10yy 23/183. EAVE COLOR GLIDDEN "SWEETWOOD"90yy 26/147 |
| 2 WALL MOUNTED TENANT SIGN (N.I.C.), PROVIDE 24 GA. SHT. MTL. BACKING SIZED PER ELEV. (COORDINATE W/OWNER FOR GAUGE), PROVIDE J-BOX PER ELECTRICAL DWGS. | 11 GUTTER - BRONZE ANODIZED ALUMINUM |
| 3 WAINSCOT - 8"x16" STONE TILE VENEER "WHISPER GRASS" RUNNING BOND | 12 DECORATIVE GLAZING |
| 4 ALUMINUM STOREFRONT- LIGHT CHAMPAGNE BRONZE ANODIZED, CLASSIC COPPER PERMANIZED FINISH DOORS, CHROME HARDWARE. | 13 BRACKET - LYKESTONE AGED FINISH T/M CRG STANDARD |
| 5 NOT USED | 14 DECORATIVE COPPER ROOF CAP AND FINIAL |
| 6 CORNICE - LYKESTONE AGED FINISH T/M CRG STANDARD | 15 FIRE RATED SUMBRELLA FABRIC AWNING |
| 7 NOT USED | 16 STEEL GATES, PAINT TO MATCH WALL FINISH. |
| 8 COMPOSITION DIMENSIONAL SHINGLE ROOF, WEATHERED WOOD TO MATCH PROJECT STANDARD, GAF TIMBERLAND HD | 17 EIFS, COLOR TO MATCH BUILDING FIELD. |
| 9 EXTERIOR LIGHT FIXTURE, TYPICAL. PROVIDE BACKING FOR LIGHT FIXTURE SUPPORT. REFER TO ELECTRICAL DRAWINGS. AGED COPPER METALLIC PAINT FINISH | |

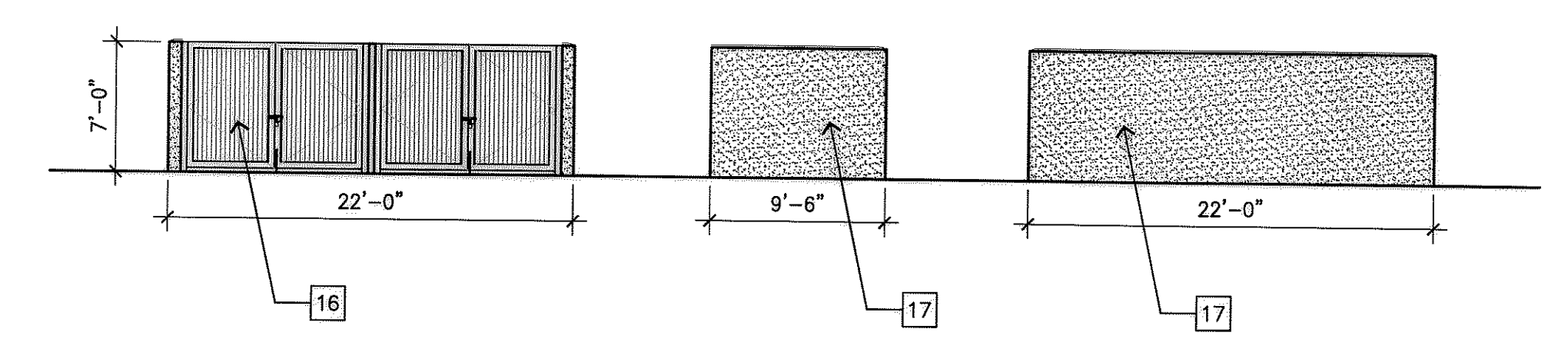
GLASS LEGEND

1. UNLESS NOTED OTHERWISE, ALL GLAZING FOR STOREFRONT SYSTEM ARE GLAZING TYPE "A"
- (A) 1" INSULATED TEMPERED CLEAR GLASS (UNLESS NOTED OTHERWISE)
 - (B) 1" INSULATED TINTED GLASS (TYP. FOR ALL GLAZING ABOVE 10' FROM GRADE, U.N.O.)
 - (C) 1/4" THICK TINTED GLASS
 - (D) 1/4" THICK TEMPERED CLEAR GLASS, TYP. AT DOORS U.N.O.
 - (E) 1" INSULATED WITH LAMINATE GLASS
 - (F) 1/4" THICK OBSCURED GLASS GL590 PIMPERNEL BY HOLLANDER GLASS

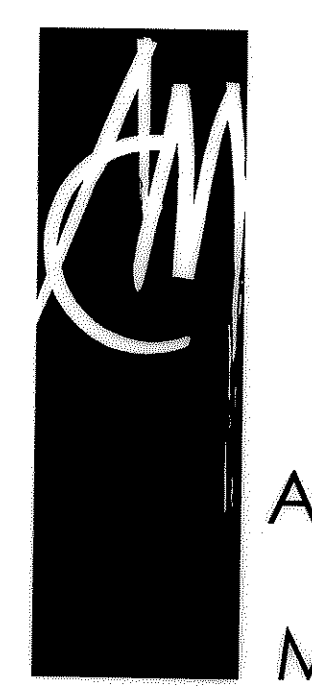
NOTE:
 THERE ARE TWO STYLES OF ALUMINUM STOREFRONT SYSTEM PER SPECS. ALL NON-INSULATED GLASS REQUIRES STYLE A (1 3/4" x 4 1/2" MULLION). ALL OTHER INSULATED GLASS REQUIRES STYLE C (2" x 4 1/2" MULLION). REFER TO SHEETS A7.1 AND 7.2 FOR APPLICABLE STOREFRONT DETAILS.



5 EXTERIOR NORTH-WEST ELEVATION - BUILDING #11
 SCALE 1/8" = 1'-0"



6 EXTERIOR NORTH-WEST-SOUTH ELEVATION - TRASH ENCLOSURE
 SCALE 1/8" = 1'-0"



**AWBREY
 COOK
 MCGILL**
 architects
 1045 14th Street, Suite 100
 San Diego, CA 92101-5701
 Phone: 619 . 398 . 3480

NOVEMBER 03, 2014
 SEPTEMBER 08, 2014
 AUGUST 11, 2014
 MAY 30, 2014

SITE DEVELOPMENT PLAN

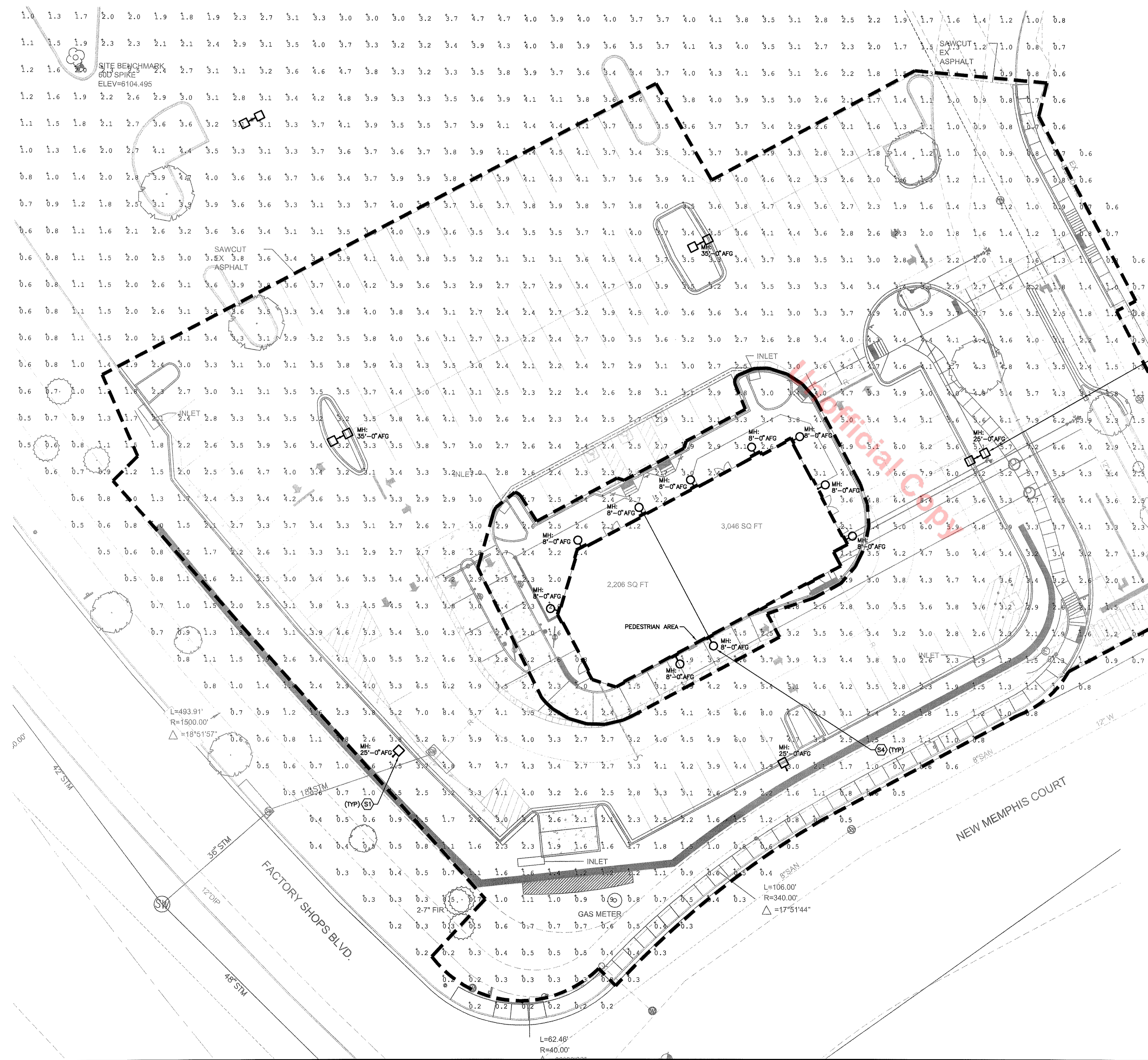
FOR A PORTION OF LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS

AN AMENDMENT TO CASTLE ROCK FACTORY SHOPS MAJOR MODIFICATION TO THE FINAL PD SITE PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDPI4-0007



LIGHTING FIXTURE SCHEDULE

FIXT DES	SYMBOL	LAMP TYPE	FIXTURE MOUNTING	LAMP DESC	WATTS	VOLTS	MFR/CATALOG	DESCRIPTION
S1	□	LED	POLE	300 W LED	344	-	KIM LIGHTING #1SA-ALT-3-P-35-300L-4K WITH #KSS25-4180 POLE	SINGLE HEAD POLE MOUNTED FIXTURE WITH TYPE III DISTRIBUTION, INTEGRAL DRIVER, LISTED FOR WET LOCATIONS AND MOUNTED TO STRAIGHT STEEL SQUARE POLE AT 25' ABOVE FINISHED GRADE.
S2	□□	LED	POLE	(2)300 W LED	688	-	KIM LIGHTING #2(1)SA-ALT-3-P-35-300L-4K WITH #KSS25-4180 POLE	DUAL HEAD POLE MOUNTED FIXTURE WITH TYPE III DISTRIBUTION, INTEGRAL DRIVER, LISTED FOR WET LOCATIONS AND MOUNTED TO STRAIGHT STEEL SQUARE POLE AT 25' ABOVE FINISHED GRADE.
S4	○	LED	SURFACE/WALL	30 W LED	34	-	TMS LIGHTING #CR800 GCR-C-1	DECORATIVE SCENCE WITH INTEGRAL DRIVER AND LISTED FOR WET LOCATIONS.

CALCULATION SUMMARY

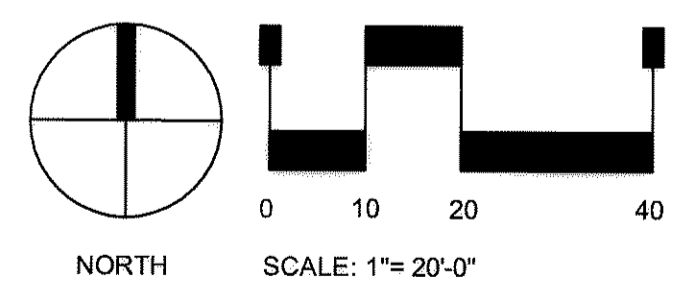
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING PLUS 10' PAST PROPERTY LINE	ILLUMINANCE	FC	2.11	8.4	0.0	N.A.	N.A.
PEDESTRIAN AREA_GROUND	ILLUMINANCE	FC	2.58	4.6	0.8	3.23	5.75
PARKING AREAS ONLY WITHIN SCOPE	ILLUMINANCE	FC	3.37	8.4	0.7	4.81	12.00

Luminaire Schedule

Symbol	Qty	[MANUFAC]	Label	Arrangement	LLF	Lum. Lumens	Description
□	6	KIM LIGHTING	Type 3 - TWIN	BACK-BACK	1.000	36506/HEAD	ALT3P35-300L5K
□□	2	KIM LIGHTING	Type 3 - SINGLE	SINGLE	1.000	36506/HEAD	ALT3P35-300L5K
○	10	TMS LIGHTING	CR800 GCR-CF48	SINGLE	1.000	1224	MOD to 30W LED

CONTROL NOTES

- A. ALL LIGHT FIXTURES WILL BE CONTROLLED BY A LIGHTING CONTROL PANEL. LIGHT FIXTURES WILL BE TURNED ON BY PHOTOCELL (DUSK) AND TURNED OFF AT 11:00 PM.
- B. DESIGNATED SECURITY LIGHTING WILL BE TURNED ON AND OFF BY PHOTOCELL (DUSK TO DAWN) THROUGH THE LIGHTING CONTROL PANEL.



LEGEND:



1340 SPECIALTY DR.
SUITE
VISTA, CA 92081
TEL: (760) 560-0100
FAX: (760) 560-0101
E-Mail: admin@tsqeng.com
www.tsqeng.com

T-SQUARED
PROFESSIONAL ENGINEERS, INC.

#13091
09-11-14

SEPTEMBER 08, 2014
AUGUST 11, 2014
MAY 30, 2014

SHEET 10 OF 11
PHOTOMETRICS PLAN
PROJECT NO. SDPI4-0007

SITE DEVELOPMENT PLAN

FOR A PORTION OF LOT 3, BLOCK 1, CASTLE ROCK FACTORY SHOPS

AN AMENDMENT TO CASTLE ROCK FACTORY SHOPS MAJOR MODIFICATION TO THE FINAL PD SITE PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDPI4-0007

TYPE S4

TMSLIGHTING

Crescent GCR Sconce

Features

- Architectural design to complement corporate environments, fascia design customizable for corporate identity
- Smooth dimming without any color shift (optional)
- Application and design flexibility with several lamps, accessories, and hardware finishes
- Stays ON in case of a power failure with the optional emergency ballast
- Quality components combined with the most current technology for high efficiency and reduced lighting costs

Applications

The Crescent GCR wall sconce is ideal for illuminating entrances, facades, lobbies, and other areas, indoor and outdoor, that could benefit from clean light and modern aesthetics. The modern geometry and contemporary finishes blend with most commercial environments to complement the existing architecture.

Fascia

The fascia is available in a choice of 316L stainless steel and aluminum. The design is precisely cut-out and the metal is shaped to form the body of the sconce. The fascia is fastened to the body using stainless steel hardware.

Lamp

The Crescent GCR sconce is designed to operate with compact fluorescent (2x 39W max.) and LED (45W max.) light sources.

Ballast

Electronic compact fluorescent ballasts used with the Crescent GCR possess many characteristics that contribute to the quality of light, energy savings and safety:

- High ballast factor of 1.10 for maximum lumen maintenance
- High power factor, greater than 90%
- Less than 10% THD
- Sound rated "A" for the most quiet operation
- Equipped with a RFI circuit to eliminate any electromagnetic interference

• EOL protection switches, output OFF on lamp burnout

• Environmentally friendly, containing no PCB's

• Color-coded leads for easy installation

• NEMA1 type remote ballast, for indoor applications

• Manufactured to ISO9002 standards

LED Driver

The LED source is controlled by an advanced electronic driver for cool, flicker-free operation and energy savings. Built from quality components, the driver delivers consistent power, and extends LED lamp life. The driver is installed inside the enclosure, and can be used on a 120V line.

LED Dimmer

The optional LED dimmer can be installed into a standard switchbox. It controls the intensity of the light output over the full range. Integrated pulse width modulation (PWM) technology ensures a consistent color temperature (CCT) when making adjustments, for no color shifts or blues. You can adjust the amount of light while maintaining the same quality.

Mounting

Mount on a flat wall, directly over a standard 4" electrical junction box with 3-1/2" holes or

Dimensions

Lamp Code

Lamp A	2x 24W T5 HO
Lamp B	2x 24W T5 HO
Lamp C	30W LED
Lamp D	45W LED

Finishes

The Crescent GCR sconce is available in a broad assortment of plated, polyester powder-coated, painted finishes, and RAL color finishes. See the TMS Lighting Color Chart.

Product Key

CR800 GCR	1	2	3	4	5
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Photometric Data

Candela per 1,000 lumens

Vertical Plane @ 0°H
Horizontal Plane @ 90°V
Photometric measurements were recorded at 25°C (77°F)

Warranty

TMS Lighting covers this product by a limited warranty for a period of five (5) years from the date of purchase. This warranty is effective only when the products are used within the parameters of the recommended operating environment, and that the optional components were supplied by TMS Lighting. Install in areas where the ambient temperature does not exceed 50°C (122°F).

Compliance

The Crescent GCR is UL and ULSTC listed, complies with the Consultants ENEC directives, and meets the requirements of the Americans with Disabilities Act. It is rated IP65, for indoor and outdoor applications.

Options

- OP Opal White Diffuser (standard)
- SBA Semi-Blasted Diffuser
- DML LED Dimmer (0 - 10V, current sinking control)
- DMD Dimming Ballast (Advance Mark 10)
- DMDL Dimming Ballast (Lutron, consult TMS)
- EBJ Emergency Ballast (remote, consult TMS)

Dimming ballasts are for indoor use only. Ballast (non-dimming) is supplied, not lamps. The Advance dimming ballast is compatible with all fluorescent lamps offered, except the 39W T5HO. Please select the Lutron ballast for dimming this lamp. Diffusers are manufactured with acrylic.

North America (905) 793-1174
UK & Europe 44-1474-200-864

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ALT300

ALITUDE™ LED

3/13/11 • KIM_LIGHT000_spec.pdf

Type: S1, S2
Job:

Specifications

AL300
Approx. Wt. = 67 lbs.

Housing: One piece, low copper aluminum extrusion is mechanically secured with stainless steel fasteners to a low copper aluminum die-cast electrical compartment and end cap. The electrical compartment includes an integral support arm for mounting directly to a surface mount pole adaptor or a horizontal slipfitter. A solid burner wall separates the optical and electrical compartments for thermal control. Electrical compartment and end cap covers are securely fastened with two torques and a single latch at each cover. One piece silicone gaskets seal the compartments of the burner surface.

Optical Module: The high performance optic utilizes the IP66 rated "ProFres" technology securely attached to integral beam sink modules producing incredible uniformity and visual comfort. This ProFres optic utilizes a curved prism lens array to project the beam and spread beam totally to produce high lumen output as well as great uniformity. All the optical modules are fastened to the body of the luminaire across the beam sink as stated in the literature.

Electrical Compartment: Available in voltages from 120V through 480V or 600VAC Class 2 output with power factor > 0.99. All LED used in accordance with the National Electrical Code, ANSINEMA 70, Integral 100V surge suppression protection standard. In addition, main circuit, slow blow fuse or type GED breaker should be used. All electronic components are UL and CSA recognized and mounted directly to a driver. The LED's temperature control device and surge protector. Driver is rated for -40°C starting and has a 0-10V dimming interface for multi-level illumination options. All electronic components are IP66 rated. 347V and 480V currents may have a separate transformer.

Support Arm: Die-cast, low copper aluminum with spike access cover and lockless only. A die-cast pole adaptor and an integral mounting plate are provided with one arm each. For arm adaptor a square or circular cut for specific pole size and shape. For field wire connections, a terminal block is mounted in the arm cover and accessible behind the spike access cover. The block accepts 2/14 to 20 wire sizes and is factory pre-wired in the electrical module quick-disconnect plug inside the electrical compartment.

Optional Horizontal Slip-Fitter: Cast low copper aluminum with stamped, spike access cover. A die-cast adaptor plate is provided to secure the luminaire to 1 1/2" or 2" IPS pipe size arms. For field wire connections, a terminal block is mounted in the arm cavity and accessible behind the spike access cover. Accepts #12 wire sizes and is factory pre-wired to electrical module quick-disconnect plug inside the electrical compartment.

Optional Wall Mount: The Alitude easily mounts to the wall. A cast aluminum mounting plate is attached to the wall over the junction box. Bolt the Speed Mount to the cover plate. Then install the assembly over the mounting plate. Side the luminaire into place for hands free wiring and finishing.

Finish: All luminaires are available in a broad assortment of plated, polyester powder-coated, painted finishes, and RAL color finishes. See the TMS Lighting Color Chart.

Listed to: UL 1598 Standard for Luminaires - UL 8750 Standard for Safety for Light Emitting Diode (LED) Luminaires for Use in Lighting Products and CSA C22.2 252.0 Luminaires, 90°Cs compliant, Meets British American requirements under BS6853.

CAUTION: Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

US Patent Numbers 6974,959 and 6974,963. Other Patents Pending.

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ALT300

ALITUDE™ LED

3/13/11 • KIM_LIGHT000_spec.pdf

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Job:

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ALT300

ALITUDE™ LED

3/13/11 • KIM_LIGHT000_spec.pdf

Type: S1, S2
Job:

Standard Features

Mounting: 3SY configuration is available for round poles only.

Fixture: Cat. No. designates fixture and light distribution.

Distribution:

- 1 - Type I
- 2 - Type II
- 3 - Type III
- 4 - Type IV
- 5 - Type V

Color Temperature:

- 2K - 2000K
- 3K - 3000K
- 4K - 4000K
- 5K - 5000K

Voltage:

- 110 - 120V
- 208 - 208V
- 240 - 240V
- 277 - 277V
- 347 - 347V
- 480 - 480V

Electrical Module

Source: 25 W x 42 1/4"

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ALT300

ALITUDE™ LED

3/13/11 • KIM_LIGHT000_spec.pdf

Type: S1, S2
Job:

Optional Features

Finish: I/C powder coat.

Color: Black (BL), Dark Bronze (DB), South Gray (SG), Platinum Silver (PS), White (WH), Custom Color (CC)

Wall Mounting: Cat. No. 15W. Select from Mounting on page 2.

Fusing (Internal only): Cat. No. (see chart at right). No Option.

Photocell Receptacle: Cat. No. A26. No Option.

Lenses: Cat. No. FGL (Glass), FPL (Polycarbonate), No Option.

Neighbor Friendly Optic: Cat. No. NFO. No Option.

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ALT300

ALITUDE™ LED

3/13/11 • KIM_LIGHT000_spec.pdf

Type: S1, S2
Job:

Optional Features

Horizontal Slipfitter Mount: Cat. No. HSF. No Option.

Vertical Slipfitter Mounts: Cat. No. (See right). No Option.

Wireless Control: Cat. No. WHM. No Option.

0-10V Dimming Interface:

Warranty:

Kim Lighting warrants "Alitude" products ("Products") sold by Kim Lighting to be free from defects in material and workmanship for (i) a period of five (5) years for metal parts, (ii) a period of ten (10) years for exterior housing paint finishes, (iii) a period of six (6) years for LED Light Engines ("ProFres" and "LED") and, (iv) a period of five (5) years for LED power components (LED Driver, "Lighthouse" devices) from the date of sale of such goods to the buyer as specified in Kim Lighting shipment documents for each product. Occupancy sensors, Surge Protection, dimmers and relay wiring components are covered by the manufacturer's warranty.

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ALT300

ALITUDE™ LED

3/13/11 • KIM_LIGHT000_spec.pdf

Type: S1, S2
Job:

Optional Features

Outdoor Occupancy Sensor: Cat. No. (See right). No Option.

Fixture Mount: Cat. No. SCH - Occupancy Sensor up to 16" or SCH - Occupancy Sensor up to 31"

Side Pole Mount: Same specifications as above. In addition, one sensor can support multiple units up to 1500 watts. (Wiring from module to luminaire(s) is by-cable), mounted in a cast pole adaptor painted to match pole.

Outdoor Occupancy Sensor with 0-10VDC dimming control: Measure directly to the underside of the luminaire. While 30" pattern. Available in voltages to match luminaire from 120 through 480VAC. Module color available in Black, Gray, or White (Picked at the factory when luminaire color is chosen, black color for dark colors). Field adjustable. Timeout settings for 5, 10, 15, and 30 minutes (factory default is 5 minutes). Field adjustable unoccupied dimming level, 20%, 30%, 60%, or 70% of factory default is 50%.

Side Pole Mount: Same specifications as above. In addition, one sensor can support multiple units up to 1500 watts. (Wiring from module to luminaire(s) is by-cable), mounted in a cast pole adaptor painted to match pole.

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