

PURPOSE STATEMENT

THE PURPOSE OF THIS AMENDMENT IS TO CREATE A TENANT PAD ONLY. THIS SDP DOES NOT INCLUDE A BUILDING.

LEGAL DESCRIPTION

A PORTION OF LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING NO. 5, ACCORDING TO THE PLAT RECORDED NOVEMBER 20, 1996, AT RECEPTION NO. 9664761, COUNTY OF DOUGLAS, STATE OF COLORADO.

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE EAST LINE OF THE NE 1/4 OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°03'06"W AS BASED ON COLORADO STATE PLANE CENTRAL ZONE AND BOUNDED BY THE MONUMENTS SHOWN ON THE SURVEY.

BENCHMARK

DOUGLAS COUNTY BM 2.02020 - ELEVATION 8252.07 FEET (NAVD 1988 DATUM)

SITE ADDRESS

5053 FACTORY SHOPS BLVD. CASTLE ROCK, CO 80108

OWNER CIVIL ENGINEER SURVEYOR LANDSCAPE ARCHITECT

CRAIG REALTY GROUP 4100 MACARTHUR BLVD, SUITE 220 NEWPORT BEACH, CA 92660 (949) 224-4100 CONTACT: NANCY MAY
STERLING DESIGN ASSOCIATES, LLC 2009 W. LITTLETON BLVD, SUITE 300 LITTLETON, CO 80120 (303) 794-4727 CONTACT: JAY NEWELL, PE
ENGINEERING SERVICE COMPANY 14190 EAST EVANS AVENUE AURORA, CO 80014 (303) 337-1393 CONTACT: CHARLES BECKSTROM
STERLING DESIGN ASSOCIATES, LLC 2009 W. LITTLETON BLVD, SUITE 300 LITTLETON, CO 80120 (303) 794-4727 CONTACT: JON SPENCER, PLA

TOWN OF CASTLE ROCK GENERAL NOTES

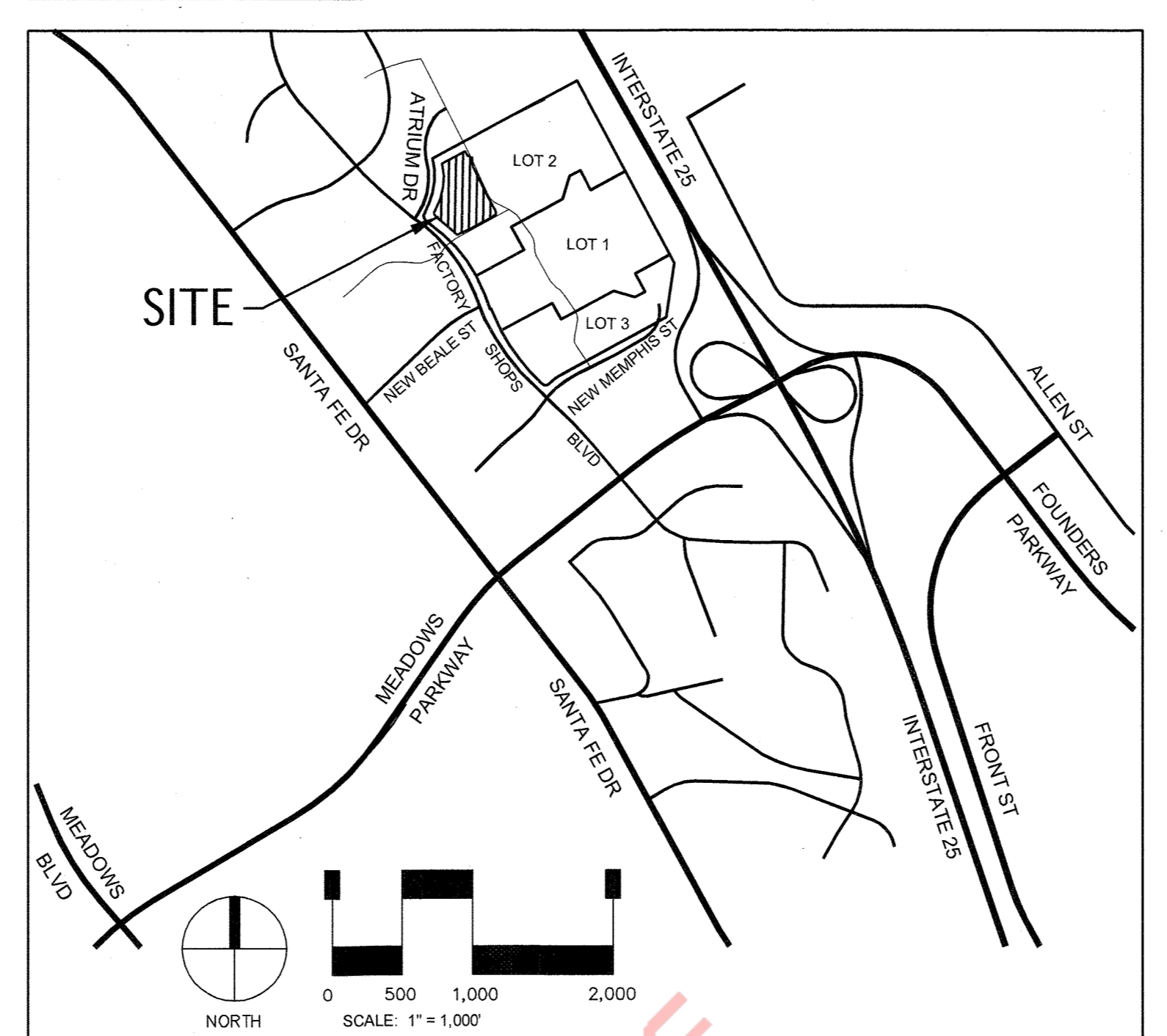
- 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM...
2. PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN...
3. THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT...
4. THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0167G DATED MARCH 16, 2016.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS...
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY...
7. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS...
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET...
9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
10. THIS SITE IS ZONED 'IB' WITHIN THE CASTLE PINES COMMERCIAL PLANNED DEVELOPMENT.
11. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
12. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH LOT LINE...
13. RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
14. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY...
15. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

TOWN OF CASTLE ROCK FIRE NOTES

- 1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION...
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS...
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS...
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU...
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS...
9. THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE...
10. BUT ARE NOT LIMITED TO: FIRE FLOW REGULATIONS, FIRE HYDRANT ACCESS, ETC.

SITE DEVELOPMENT PLAN, AMENDMENT NO. 6 FOR A PORTION OF LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING NO. 5 AN AMENDMENT TO CASTLEROCK MAJOR MODIFICATION TO THE FINAL PD SITE PLAN LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W. OF THE 6TH PRINCIPLE MERIDIAN TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO SDP19-0040

VICINITY MAP



Zoning Comparison table comparing Castle Pines Commercial PD and Integrated Business (IB) zoning requirements for Lot 2.

Lot 2 Utilization (This SDP19-0040) table showing unit counts, building coverage, and parking/hardscape coverage.

SHEET INDEX

- SHEET 1 COVER SHEET
SHEET 2 OVERALL SITE PLAN
SHEET 3 SITE PLAN
SHEET 4 GRADING PLAN
SHEET 5 UTILITY PLAN
SHEET 6 LANDSCAPE PLAN
SHEET 7 LANDSCAPE WORKSHEETS
SHEET 8 GENERAL LIGHTING PLAN
SHEET 9 GENERAL LIGHTING DETAILS

SURVEYOR'S CERTIFICATE

I, CHARLES N. BECKSTROM, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

CIVIL ENGINEER'S STATEMENT

I, JAY M. NEWELL, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 21st DAY OF October, 2020.

TITLE CERTIFICATION

I, DAN BENNETTS, AN AUTHORIZED REPRESENTATIVE OF FIRST AMERICAN TITLE, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE AS OF 2020, THAT ALL OWNERS, MORTGAGEES AND RECORDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LEINHOLDER SUBORDINATION CERTIFICATE.

NOTARY BLOCK: SUBSCRIBED AND SWORN TO BEFORE ME THIS 21st DAY OF September, 2020 BY DAN BENNETTS AS AUTHORIZED REPRESENTATIVE OF FIRST AMERICAN TITLE.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN. SIGNED THIS 15th DAY OF Sept., 2020 BY Steven L. Craig AS Manager OF CRAIG REALTY GROUP-CASTLE ROCK, LLC.

NOTARY BLOCK: SIGNED BY Lisa A. Burton-Larsen, Notary Public - California, Orange County, My Comm. Expires May 25, 2023.

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN. SIGNED THIS 5th DAY OF October, 2020 BY Cynthia K. Goodfellow.

NOTARY BLOCK: SIGNED BY Marilyn R. Smith, Notary Public - California, Orange County, My Comm. Expires Mar. 10, 2023.

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 9:42am ON THE 26th DAY OF October, 2020. AT RECEPTION NO. 2020103596. DOUGLAS COUNTY CLERK AND RECORDER BY Mary Samulson DEPUTY.

Parking Requirement for the Outlets at Castle Rock table showing GLA square footage and parking requirements for various building uses.

History of Outlets of Castle Rock table showing plan name, reception number, application, project number, and description of outlet modifications.

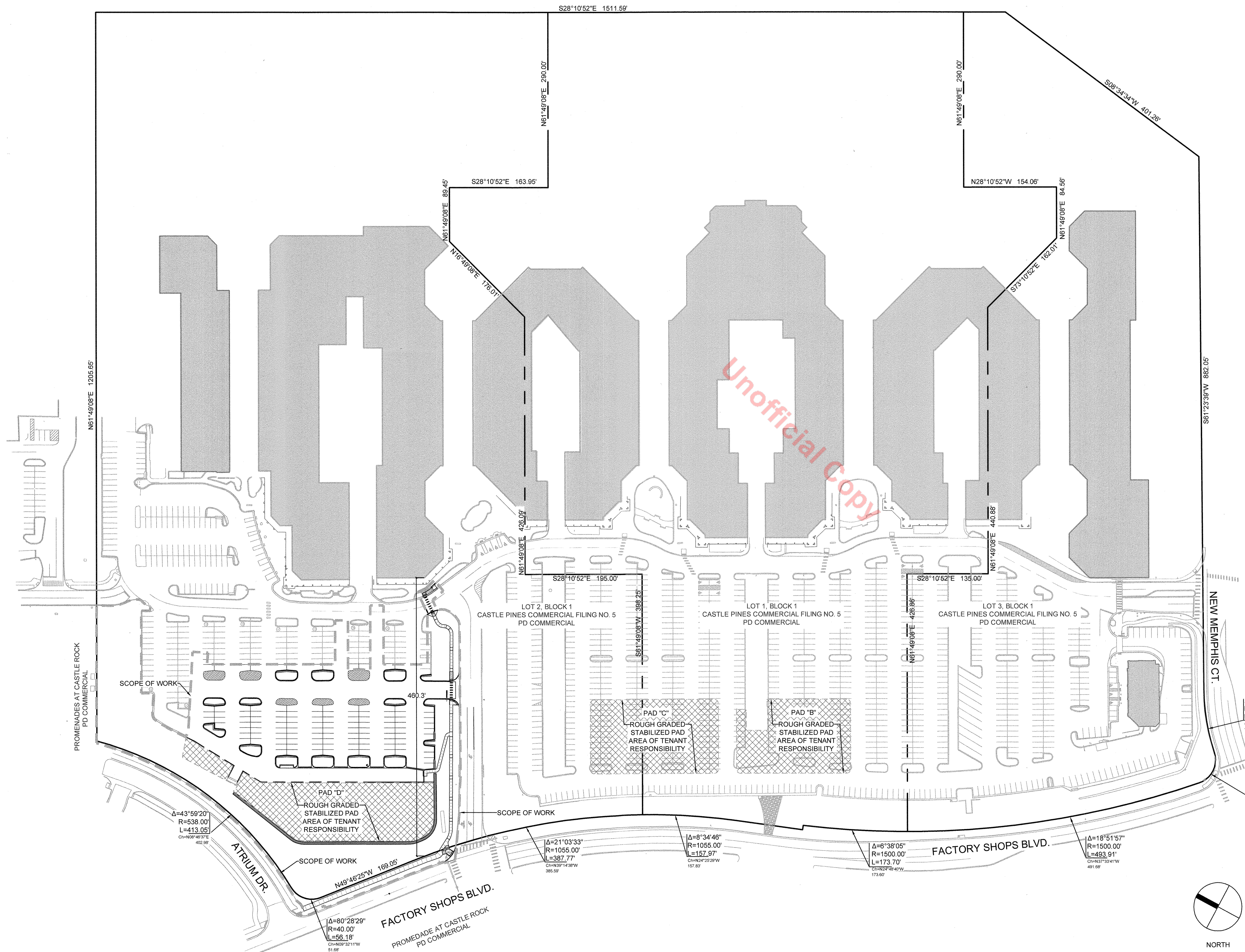
Sterling Design Associates, LLC CIVIL ENGINEERS - LANDSCAPE ARCHITECTS 2009 W. Littleton Blvd. #300 Littleton, CO 80120 303.794.4727 ph www.SterlingDesignAssociates.com

REVISOR PER 1ST RND COMMENTS 04/24/20
REVISOR PER 2ND RND COMMENTS 07/01/20
REVISOR PER 3RD RND COMMENTS 07/21/20
MYLAR SUBMITTAL 08/25/20
SHEET 1 OF 9
COVER SHEET
PROJECT NO. SDP19-0040

SITE DEVELOPMENT PLAN, AMENDMENT NO. 6
 FOR A PORTION OF LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING NO. 5
 AN AMENDMENT TO CASTLEROCK MAJOR MODIFICATION TO THE FINAL PD SITE PLAN
 LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 SDP19-0040

LEGEND

	PROPERTY LINE
	EXISTING EASEMENT
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING PARKING STRIPING
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED CURB & GUTTER
	SCOPE OF WORK
	STABILIZED PAD
	PARKING COUNT
	LANDSCAPE AREA
	LIGHT POLE
	EXISTING LIGHT POLE TO REMAIN, NEW FIXTURES
	CABLE TELEVISION LINE
	ELECTRICAL LINE
	FIBER-OPTIC LINE
	GAS LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	WATER LINE
	CONTOUR LINE
	ACCESS PLATE
	BOLLARD
	CLEANOUT
	COMMUNICATIONS PEDESTAL
	ELECTRICAL BOX
	ELECTRIC TRANSFORMER
	FIRE HYDRANT
	IRRIGATION VALVE
	EX. LIGHT POLE
	MANHOLE
	NUMBER OF PARKING STALLS
	SIGN
	STREET LIGHT
	TRAFFIC BOX
	TRAFFIC LIGHT
	WATER VALVE



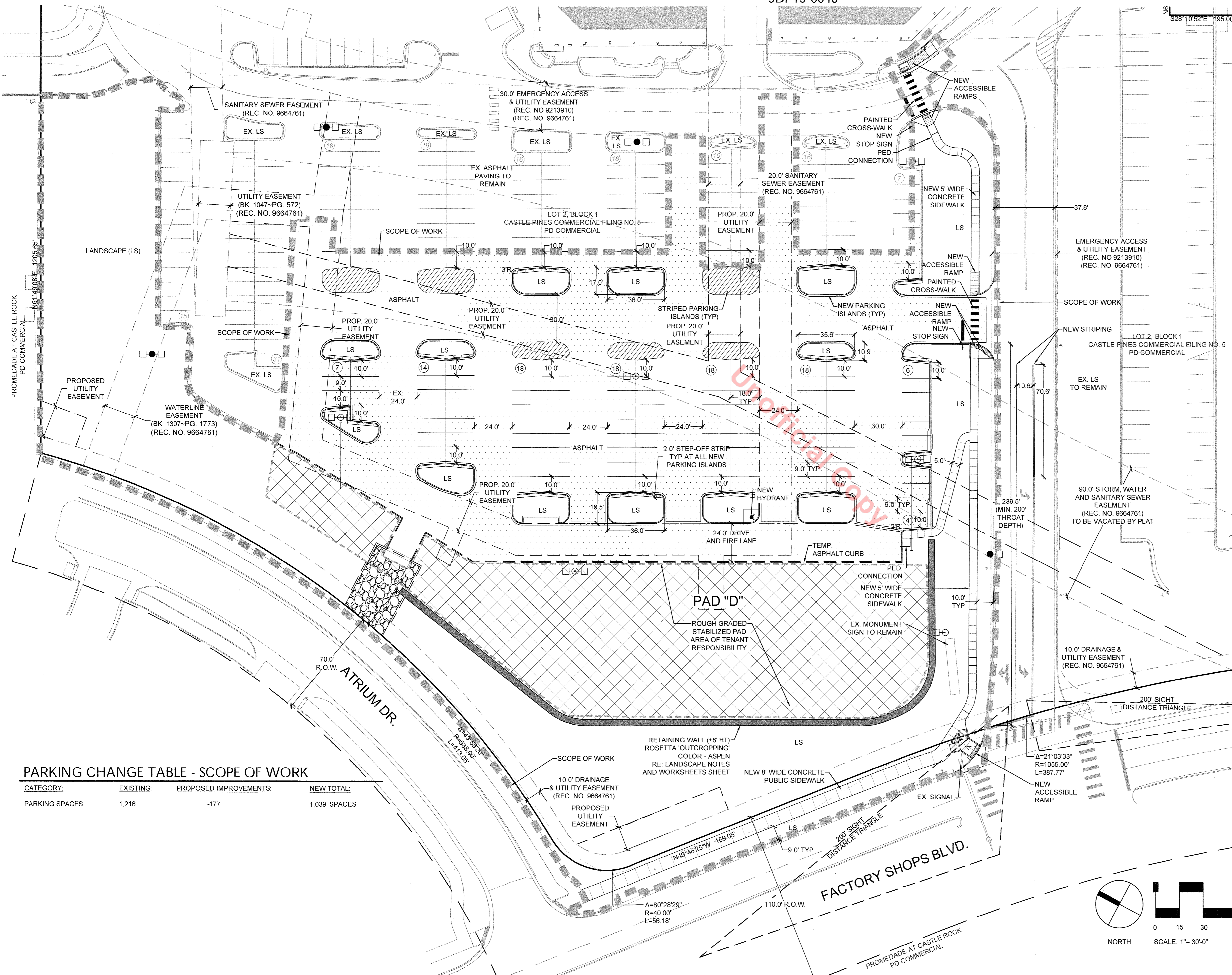
Unofficial Copy

Sterling Design Associates, llc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
 2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com

REVISED PER 1ST RND COMMENTS 04/24/20
 REVISED PER 2ND RND COMMENTS 07/01/20
 REVISED PER 3RD RND COMMENTS 07/21/20
 MYLAR SUBMITTAL 08/25/20

SITE DEVELOPMENT PLAN, AMENDMENT NO. 6

FOR A PORTION OF LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING NO. 5
 AN AMENDMENT TO CASTLEROCK MAJOR MODIFICATION TO THE FINAL PD SITE PLAN
 LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 SDP19-0040



LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING PARKING STRIPING
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED SIDEWALK
- PROPOSED CURB & GUTTER
- SCOPE OF WORK
- LIMIT OF CONSTRUCTION
- STABILIZED PAD
- PARKING COUNT
- LANDSCAPE AREA
- LIGHT POLE
- EXISTING LIGHT POLE TO REMAIN, NEW FIXTURES
- CABLE TELEVISION LINE
- ELECTRICAL LINE
- FIBER-OPTIC LINE
- GAS LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- WATER LINE
- CONTOUR LINE
- ACCESS PLATE
- BOLLARD
- CLEANOUT
- COMMUNICATIONS PEDESTAL
- ELECTRICAL BOX
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- IRRIGATION VALVE
- EX. LIGHT POLE
- MANHOLE
- NUMBER OF PARKING STALLS
- SIGN
- STREET LIGHT
- TRAFFIC BOX
- TRAFFIC LIGHT
- WATER VALVE

RETAINING WALL NOTE

RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT INCLUDING FOOTINGS REQUIRE STRUCTURAL ENGINEERING AND A BUILDING PERMIT.

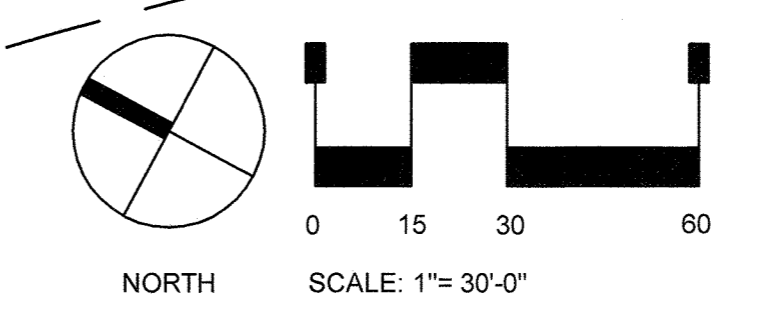
Sterling Design Associates, llc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4127 ph
 www.SterlingDesignAssociates.com

REVISED PER 1ST RND COMMENTS 04/24/20
 REVISED PER 2ND RND COMMENTS 07/01/20
 REVISED PER 3RD RND COMMENTS 07/21/20
 MYLAR SUBMITTAL 08/25/20

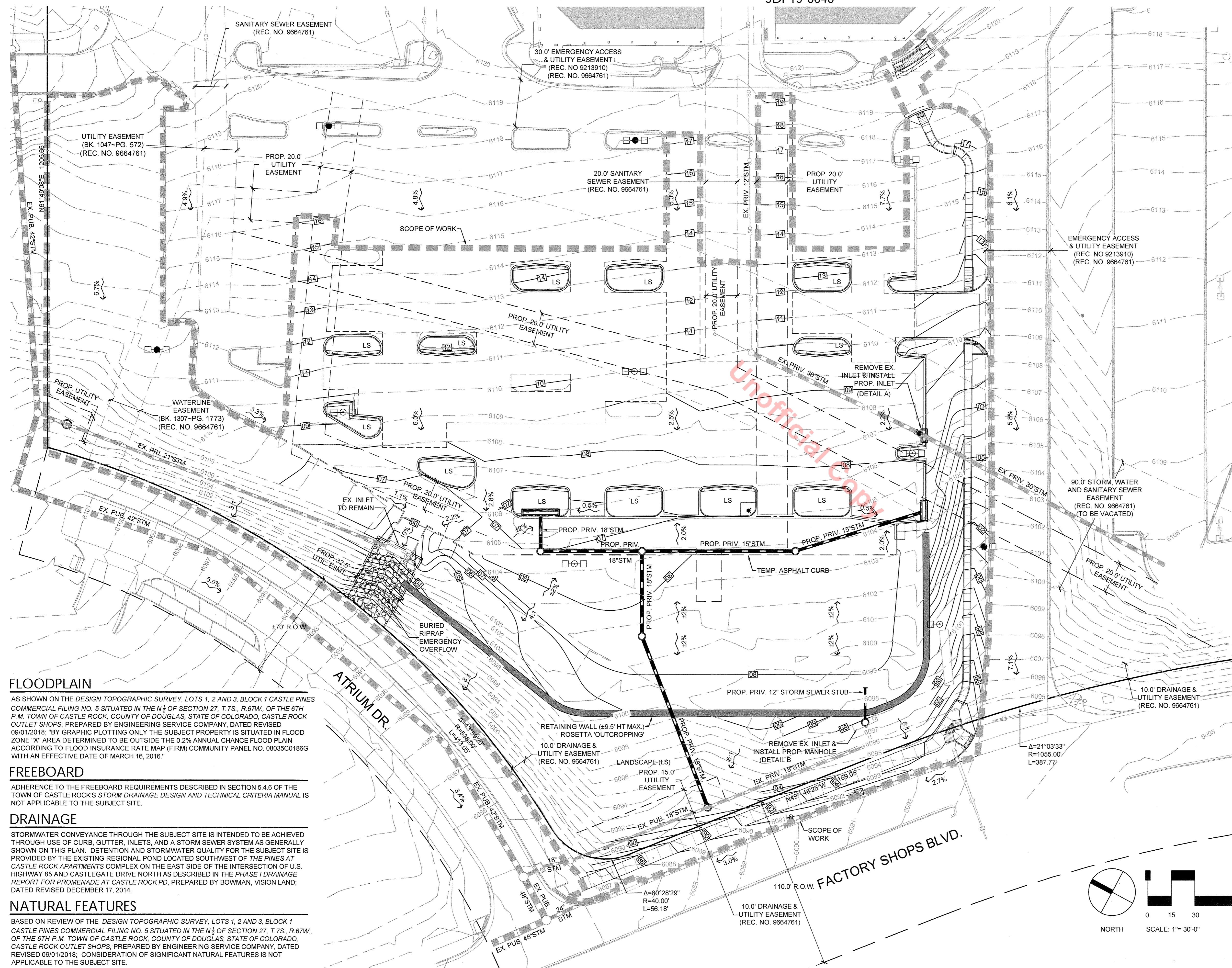
PARKING CHANGE TABLE - SCOPE OF WORK

CATEGORY	EXISTING	PROPOSED IMPROVEMENTS	NEW TOTAL
PARKING SPACES	1,216	-177	1,039 SPACES



SITE DEVELOPMENT PLAN, AMENDMENT NO. 6

FOR A PORTION OF LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING NO. 5
 AN AMENDMENT TO CASTLEROCK MAJOR MODIFICATION TO THE FINAL PD SITE PLAN
 LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 SDP19-0040



LEGEND

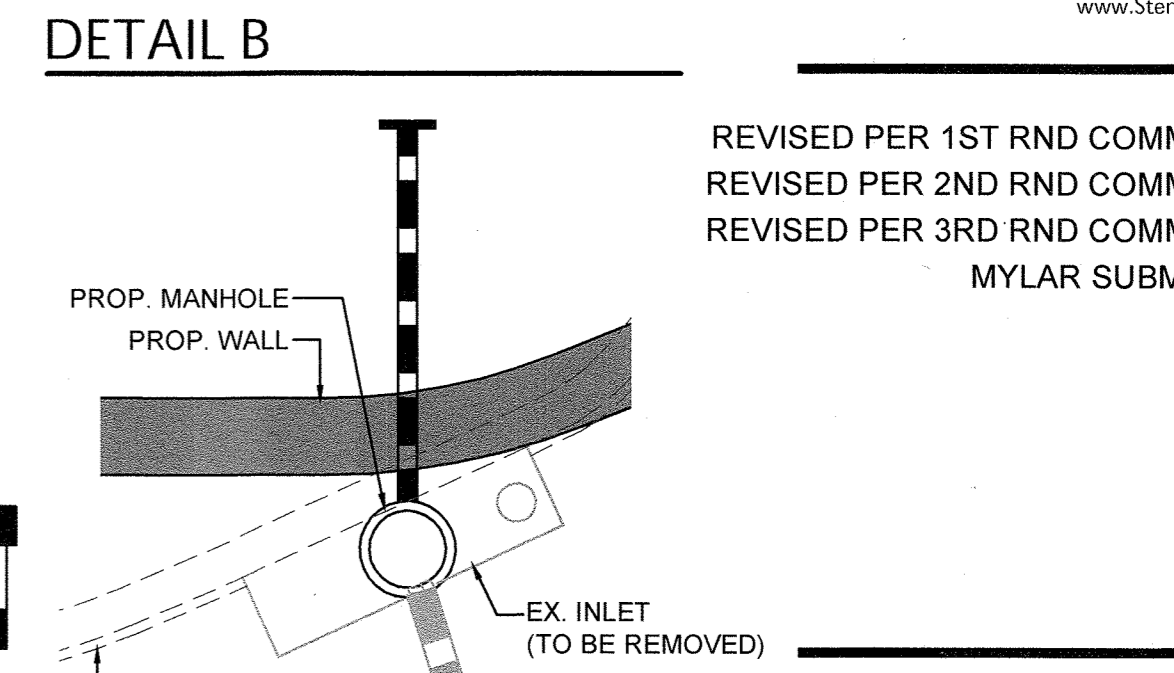
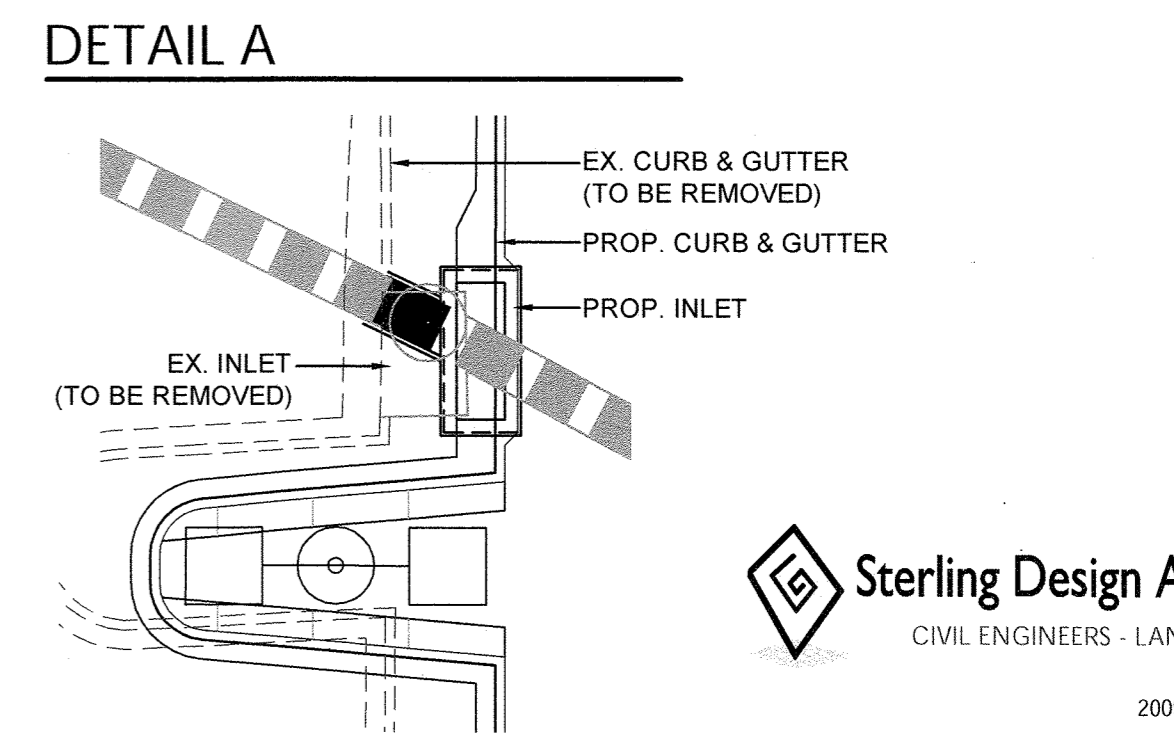
	SCOPE OF WORK
	PROPERTY LINE
	ADJACENT LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED CURB & GUTTER
	LIGHT POLE
	SAWCUT LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	LS LANDSCAPE AREA
	R.O.W. RIGHT-OF-WAY
	BK. PG. BOOK AND PAGE
	REC. NO. RECEPTION NUMBER
	SD EXISTING STORM SEWER
	PROPOSED STORM SEWER (LARGE Ø)
	PROPOSED STORM SEWER
	EXISTING ACCESS PLATE
	EXISTING BOLLARD
	EXISTING CLEANOUT
	EXISTING COMMUNICATIONS PEDESTAL
	EXISTING ELECTRICAL BOX
	EXISTING ELECTRIC TRANSFORMER
	EXISTING FIRE HYDRANT
	EXISTING IRRIGATION VALVE
	EXISTING LIGHT POLE (DIRECTIONAL)
	EXISTING MANHOLE
	EXISTING SIGN
	EXISTING STREET LIGHT
	EXISTING TRAFFIC BOX
	EXISTING TRAFFIC LIGHT
	EXISTING WATER VALVE
	FLOW DIRECTION

FLOODPLAIN
 AS SHOWN ON THE DESIGN TOPOGRAPHIC SURVEY, LOTS 1, 2 AND 3, BLOCK 1 CASTLE PINES COMMERCIAL FILING NO. 5 SITUATED IN THE N 1/2 OF SECTION 27, T. 7S., R. 67W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, CASTLE ROCK OUTLET SHOPS, PREPARED BY ENGINEERING SERVICE COMPANY, DATED REVISED 09/01/2018. "BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08035C0186G WITH AN EFFECTIVE DATE OF MARCH 16, 2016."

FREEBOARD
 ADHERENCE TO THE FREEBOARD REQUIREMENTS DESCRIBED IN SECTION 5.4.6 OF THE TOWN OF CASTLE ROCK'S STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA MANUAL IS NOT APPLICABLE TO THE SUBJECT SITE.

DRAINAGE
 STORMWATER CONVEYANCE THROUGH THE SUBJECT SITE IS TO BE ACHIEVED THROUGH USE OF CURBS, GUTTER, INLETS, AND A STORM SEWER SYSTEM AS GENERALLY SHOWN ON THIS PLAN. DETENTION AND STORMWATER QUALITY FOR THE SUBJECT SITE IS PROVIDED BY THE EXISTING REGIONAL POND LOCATED SOUTHWEST OF THE PINES AT CASTLE ROCK APARTMENTS COMPLEX ON THE EAST SIDE OF THE INTERSECTION OF U.S. HIGHWAY 85 AND CASTLEGATE DRIVE NORTH AS DESCRIBED IN THE PHASE 1 DRAINAGE REPORT FOR PROMENADE AT CASTLE ROCK PD, PREPARED BY BOWMAN, VISION LAND, DATED REVISED DECEMBER 17, 2014.

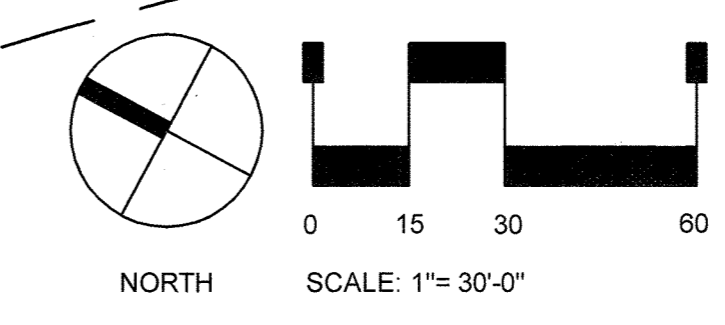
NATURAL FEATURES
 BASED ON REVIEW OF THE DESIGN TOPOGRAPHIC SURVEY, LOTS 1, 2 AND 3, BLOCK 1 CASTLE PINES COMMERCIAL FILING NO. 5 SITUATED IN THE N 1/2 OF SECTION 27, T. 7S., R. 67W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, CASTLE ROCK OUTLET SHOPS, PREPARED BY ENGINEERING SERVICE COMPANY, DATED REVISED 09/01/2018. CONSIDERATION OF SIGNIFICANT NATURAL FEATURES IS NOT APPLICABLE TO THE SUBJECT SITE.



Sterling Design Associates, Inc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727
 www.SterlingDesignAssociates.com

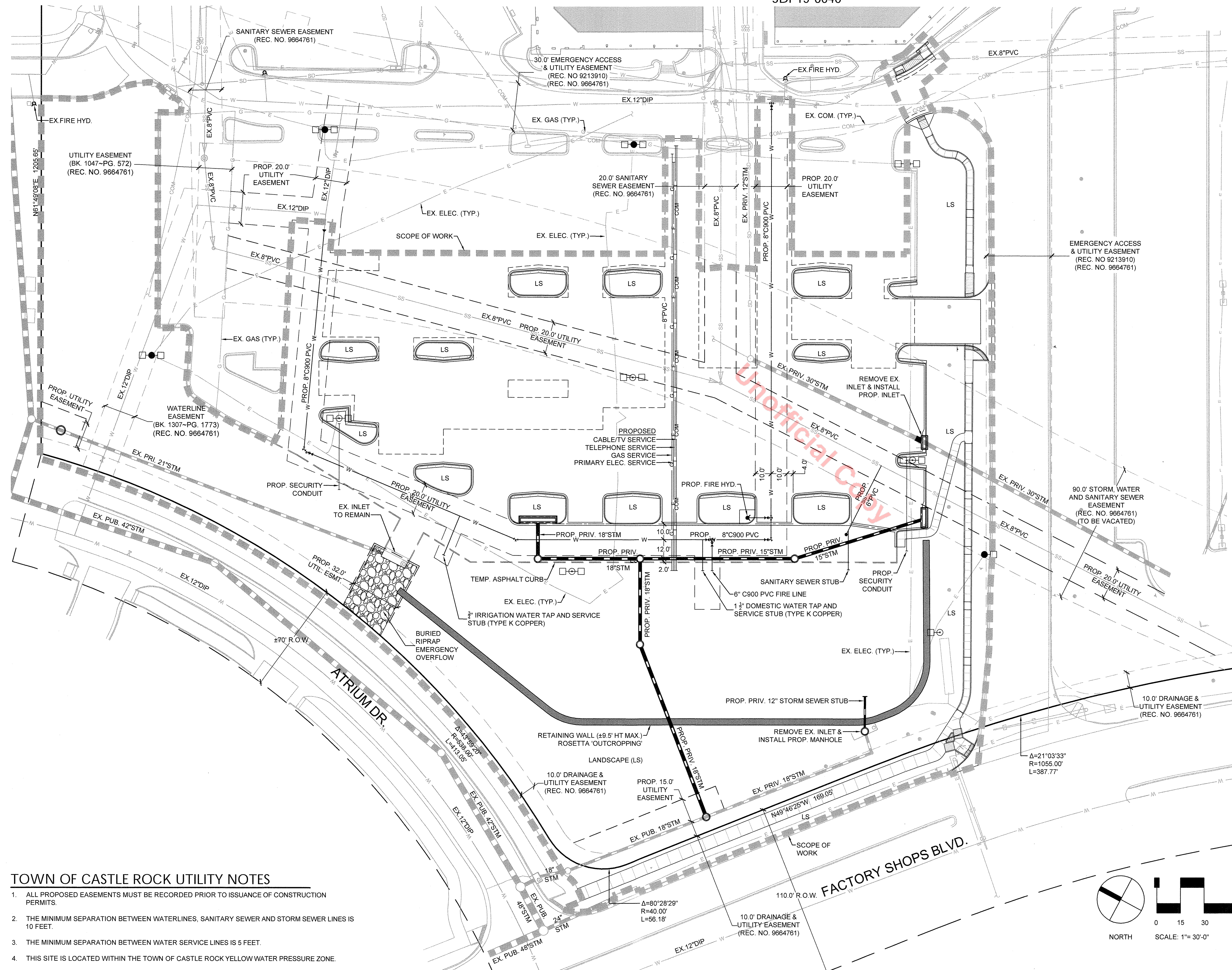
REVISED PER 1ST RND COMMENTS 04/24/20
 REVISED PER 2ND RND COMMENTS 07/01/20
 REVISED PER 3RD RND COMMENTS 07/21/20
 MYLAR SUBMITTAL 08/25/20



SHEET 4 OF 9
GRADING PLAN
PROJECT NO. SDP19-0040

SITE DEVELOPMENT PLAN, AMENDMENT NO. 6

FOR A PORTION OF LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING NO. 5
 AN AMENDMENT TO CASTLEROCK MAJOR MODIFICATION TO THE FINAL PD SITE PLAN
 LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 SDP19-0040



LEGEND

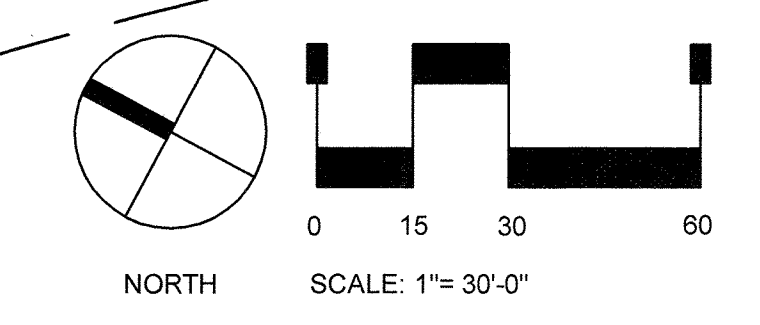
	SCOPE OF WORK
	PROPERTY LINE
	ADJACENT LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED CURB & GUTTER
	LIGHT POLE
	SAWCUT LINE
LS	LANDSCAPE AREA
R.O.W.	RIGHT-OF-WAY
BK. PG.	BOOK AND PAGE
REC. NO.	RECEPTION NUMBER
E	EXISTING ELECTRIC LINE
E	PROPOSED ELECTRIC LINE
T	EXISTING TELEPHONE LINE
T	PROPOSED TELEPHONE LINE
G	EXISTING GAS LINE
G	PROPOSED GAS LINE
FO	EXISTING FIBER OPTIC LINE
FO	PROPOSED FIBER OPTIC LINE
COM	EXISTING COMMUNICATIONS LINE (E.G. FOTHELE/CTV - RE DESIGN TOPOGRAPHIC SURVEY)
COM	PROPOSED COMMUNICATIONS LINE
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
SD	EXISTING STORM SEWER
	PROPOSED STORM SEWER (LARGE Ø)
SS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER
	PROPOSED SEWER
	EXISTING ACCESS PLATE
	EXISTING BOLLARD
	EXISTING CLEANOUT
	EXISTING COMMUNICATIONS PEDESTAL
	EXISTING ELECTRICAL BOX
	EXISTING ELECTRIC TRANSFORMER
	EXISTING FIRE HYDRANT
	EXISTING IRRIGATION VALVE
	EXISTING LIGHT POLE (DIRECTIONAL)
	EXISTING MANHOLE
	EXISTING SIGN
	EXISTING STREET LIGHT
	EXISTING TRAFFIC BOX
	EXISTING TRAFFIC LIGHT
	EXISTING WATER VALVE

- #### TOWN OF CASTLE ROCK UTILITY NOTES
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 - THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.

Sterling Design Associates, llc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

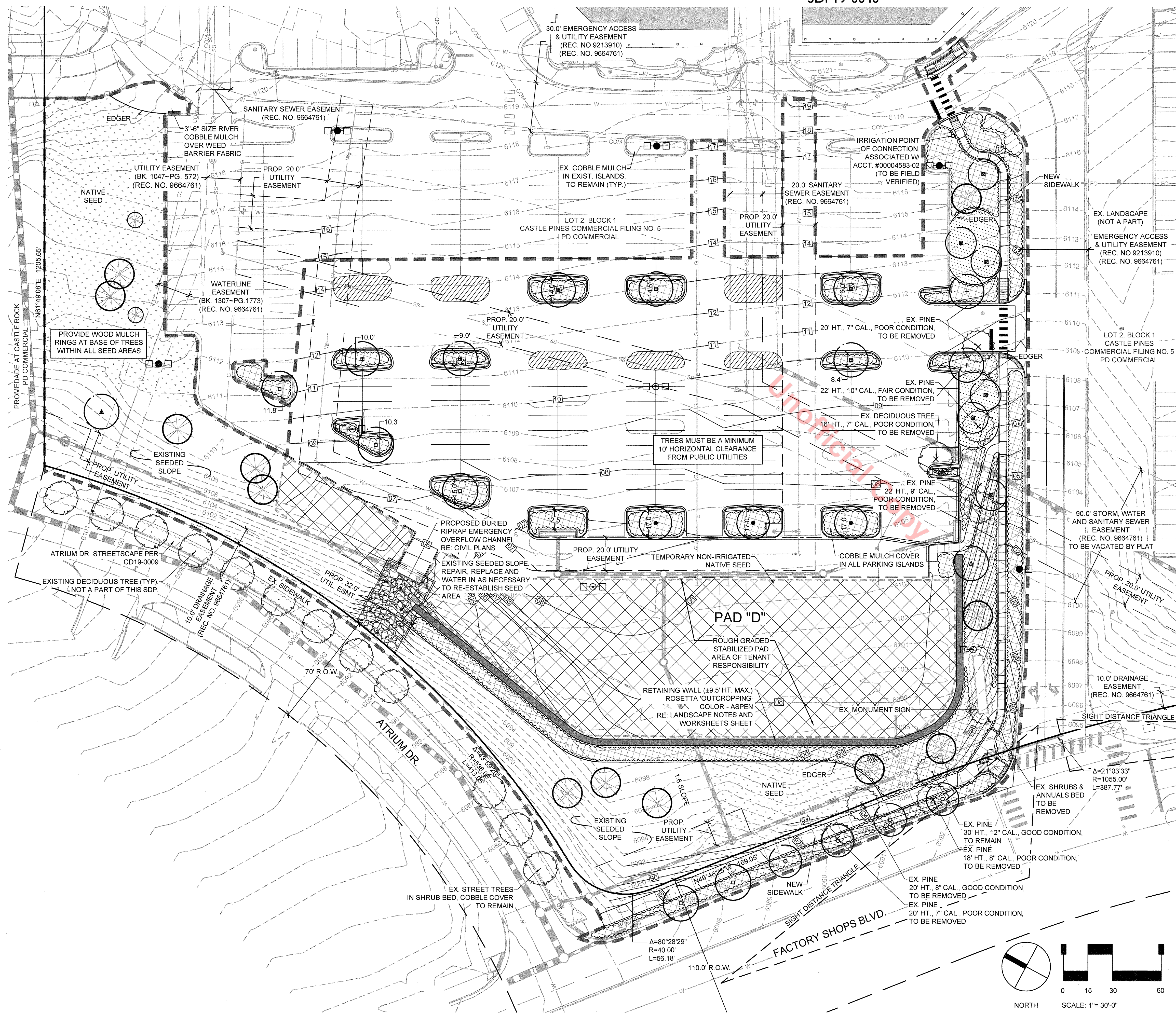
2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4721 ph
 www.SterlingDesignAssociates.com

REVISED PER 1ST RND COMMENTS 04/24/20
 REVISED PER 2ND RND COMMENTS 07/01/20
 REVISED PER 3RD RND COMMENTS 07/21/20
 MYLAR SUBMITTAL 08/25/20



SITE DEVELOPMENT PLAN, AMENDMENT NO. 6

FOR A PORTION OF LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING NO. 5
 AN AMENDMENT TO CASTLEROCK MAJOR MODIFICATION TO THE FINAL PD SITE PLAN
 LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 SDP19-0040



LEGEND

SYMBOL	DESCRIPTION	QTY
	DECIDUOUS SHADE TREE (LOW WATER HYDROZONE) MIN. 2" CAL.	21
	DECIDUOUS ORNAMENTAL TREE (LOW WATER HYDROZONE) MIN. 1.5" CAL.	1
	EVERGREEN TREE (VERY LOW-LOW WATER HYDROZONE) MIN. 6' HT.	14
	EXISTING EVERGREEN TREE TO REMAIN	1
	EXISTING DECIDUOUS TREE TO BE REMOVED	
	EXISTING EVERGREEN TREE TO BE REMOVED	
	MIXED SHRUB BED (VERY LOW-MODERATE HYDROZONE), SHRUBS MIN. 5 GAL. SIZE TO SATISFY CODE REQUIRED QUANTITIES	
	IRRIGATED SOD (MODERATE HYDROZONE)	
	NATIVE SEED MIX - NON-IRRIGATED (VERY LOW HYDROZONE)	
	STABILIZED PAD, TEMPORARY NON-IRRIGATED NATIVE SEED (VERY LOW HYDROZONE)	
	SEASONAL PLANTING BED (MED-HIGH HYDROZONE)	
	SCOPE OF WORK	
	PROPERTY LINE	
	ADJACENT LOT LINE	
	EXISTING EASEMENT	
	PROPOSED EASEMENT	
	EXISTING SIDEWALK	
	EXISTING CURB & GUTTER	
	EXISTING PARKING STRIPING	
	PROPOSED SIDEWALK	
	PROPOSED CURB & GUTTER	
	LIGHT POLE	
	EX. LIGHT POLE TO REMAIN, NEW FIXTURES	
	EXISTING CONTOUR	
	PROPOSED CONTOUR	
	R.O.W.	
	BK. PG.	
	REC. NO.	
	CABLE TELEVISION LINE	
	ELECTRICAL LINE	
	FIBER-OPTIC LINE	
	GAS LINE	
	SANITARY SEWER LINE	
	STORM SEWER LINE	
	WATER LINE	
	PROPOSED STORM SEWER (LARGE Ø)	
	EXISTING FIRE HYDRANT	
	EXISTING IRRIGATION VALVE	
	EXISTING SIGN	
	EXISTING WATER VALVE	

PREPARED UNDER THE DIRECT SUPERVISION OF
 MICHAEL HAAF, COLORADO LANDSCAPE ARCHITECT,
 REGISTRATION NO. 854 FOR AND ON BEHALF OF
 STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC © 2019

TOWN OF CASTLE ROCK - UTILITIES DEPT.
 MICHAEL HAAF, REGISTERED LANDSCAPE PROFESSIONAL - DESIGN
 REGISTRATION NO. 15-1105, ISSUED 04/14/18, EXPIRES 04/30/21

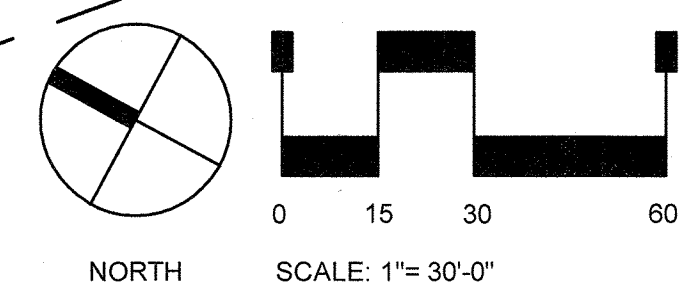
Sterling Design Associates, llc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com

REVISED PER 1ST RND COMMENTS 04/24/20
 REVISED PER 2ND RND COMMENTS 07/01/20
 REVISED PER 3RD RND COMMENTS 07/21/20
 MYLAR SUBMITTAL 08/25/20

IRRIGATION NOTE:

ALL NON-TURF PLANTED AREAS WILL BE DRIP IRRIGATED,
 ZONED SEPARATE FROM TURF AREAS. TREES IN
 NON-IRRIGATED SEED AREAS SHALL BE DRIP IRRIGATED.
 SODDED/SEEDED TURF AREAS SHALL BE IRRIGATED WITH
 SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.



SITE DEVELOPMENT PLAN, AMENDMENT NO. 6

FOR A PORTION OF LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING NO. 5

AN AMENDMENT TO CASTLEROCK MAJOR MODIFICATION TO THE FINAL PD SITE PLAN

LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP19-0040

LANDSCAPE WORKSHEET



Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional Michael Haaf
 State of Colorado License Landscape Architect # 854
 Town of Castle Rock Registration # 15-1105
 Company Name Sterling Design Associates, LLC Address 2009 W. Littleton Blvd, #300, Littleton, CO 80120
 Phone (303) 794-4727 x210 Email Mike@SterlingDesignAssociates.com Date 8/12/20
 PROJECT NAME Castle Rock Factory Shops, Town of Castle Rock, SDP Amendment No. SDP19-0040

Scope of Work Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
185,189 SF <small>(Required min. = 18,519 sf (10% of gross))</small>	97,099 SF	Turf Masters Nature's Prairie Sod	14,873 SF	37 <small>(2 trees per 1,000 sf of required landscape area. Minimum 50% must be large tree species)</small>	37 <small>(36 proposed + 1 existing)</small>	74 <small>(4 shrubs per 1,000 sf of required landscape area)</small>	74	4 yds/ 1,000 SF	Yes... NoX <small>(Tied to ex. mall system. Acct. No. 00004583-02, SW corner of Bldg 9, 1.5' meter)</small>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
20,877 SF	8,694 <small>(Required minimum = 2,088 sf (10% of parking lot area))</small>	122 <small>(within Scope of Work)</small>	6,340 SF	13	8 FT	13 <small>(2 large canopy trees per 1,000 sf of required parking lot landscaped area (5), or 1 tree per island (13), which ever is higher)</small>	12* <small>*Storm sewer drain restricts placement of one tree in an island.</small>	10 <small>(4 shrubs per 1,000 s.f. of required parking lot landscape area)</small>	10

Note: Parking area requirement is included in and counts towards the landscape requirements for the gross site.

Landscape Right-of-Way Inventory

AREA	MEASUREMENT	REQUIREMENT	REQUIRED TREES	PROPOSED TREES	REQUIRED SHRUBS	PROPOSED SHRUBS
Right of Way (Factory Shops Blvd)	225 lf	1 large tree per 40 lf. of r.o.w. & 4 shrubs per tree, max 120' spacing	6	6	24	24

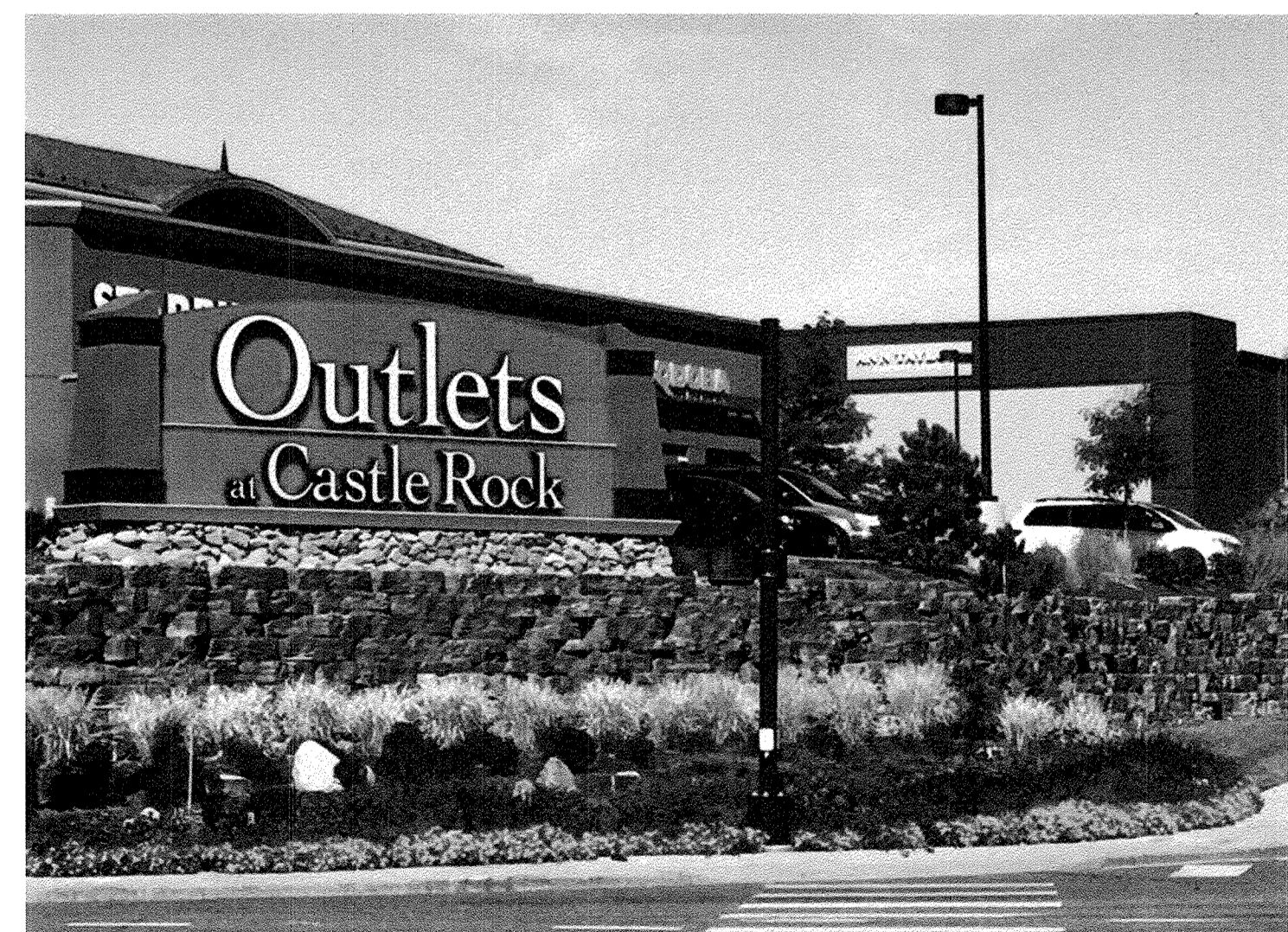
Note: For Atrium Drive see CD19-0009. Not a part of this SDP.

CLWUR WORKSHEET - OVERALL LANDSCAPE AREA

CLWUR Chart for the Town of Castle Rock								
Irrig. Zone	Plant Type	App Rate (inches/month)	Zone (VL, L, Mod, HW)	% of Total Area	IA (Irrigated area in sf for each zone)	LWUR (Landscape Water Use Rating)	TA (Total Area of all irrigated landscape zones)	CLWUR (LWUR x IA/TA)
A	Drip Irrigated Shrubs, Trees, and Perennials	2.4	Low	90.90	24,768 sf	2.25	27,248 sf	2.25 x 24,768/27,248 = .205
B	Spray Irrigated Turf	3.0	Mod	8.25	2,248 sf	3.75	27,248 sf	3.75 x 2,248/27,248 = .31
C	Drip Irrigated Annuals/Seasonal Plantings	4.0	High	0.85	232 sf	4.00	27,248 sf	4.00 x 232/27,248 = .33
Total of the CLWUR = 2.39								

CONCEPTUAL LANDSCAPE PLAN GENERAL NOTES

- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL. CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES - CONT'D.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30' IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE(45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.



ROSETTA WALL
NOT TO SCALE

PREPARED UNDER THE DIRECT SUPERVISION OF
 MICHAEL HAAF, COLORADO LANDSCAPE ARCHITECT,
 REGISTRATION NO. 854 FOR AND ON BEHALF OF
 STERLING DESIGN ASSOCIATES, LLC

STERLING DESIGN ASSOCIATES, LLC ©2019
 TOWN OF CASTLE ROCK - UTILITIES DEPT.
 MICHAEL HAAF, REGISTERED LANDSCAPE PROFESSIONAL - DESIGN
 REGISTRATION NO. 15-1105 ISSUED 04/14/15 EXPIRES 04/30/21

Sterling Design Associates, llc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com

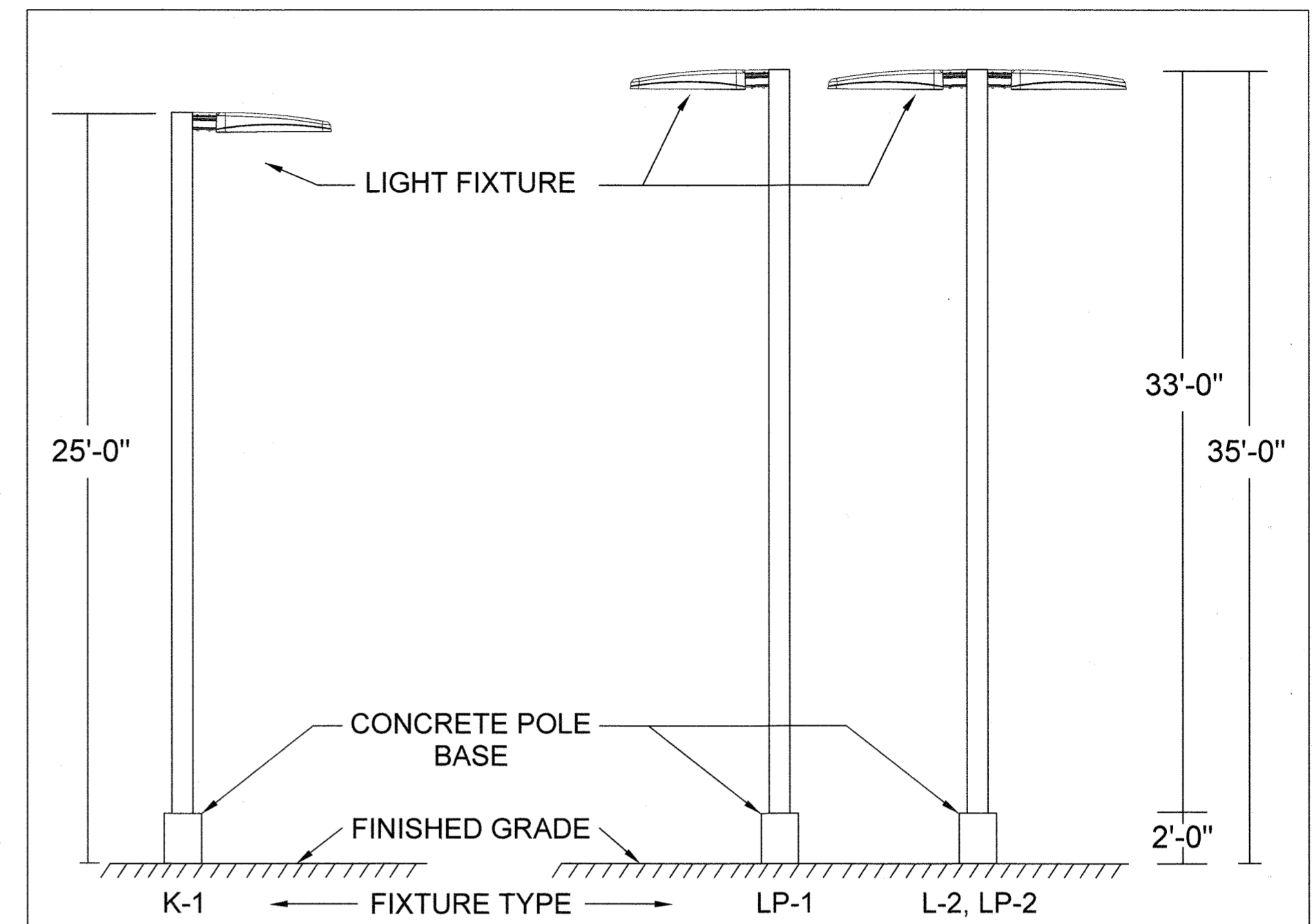
REVISED PER 1ST RND COMMENTS 04/24/20
 REVISED PER 2ND RND COMMENTS 07/01/20
 REVISED PER 3RD RND COMMENTS 07/21/20
 MYLAR SUBMITTAL 08/25/20

SITE DEVELOPMENT PLAN, AMENDMENT NO. 6
 FOR A PORTION OF LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING NO. 5
 AN AMENDMENT TO CASTLEROCK MAJOR MODIFICATION TO THE FINAL PD SITE PLAN
 LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 SDP19-0040

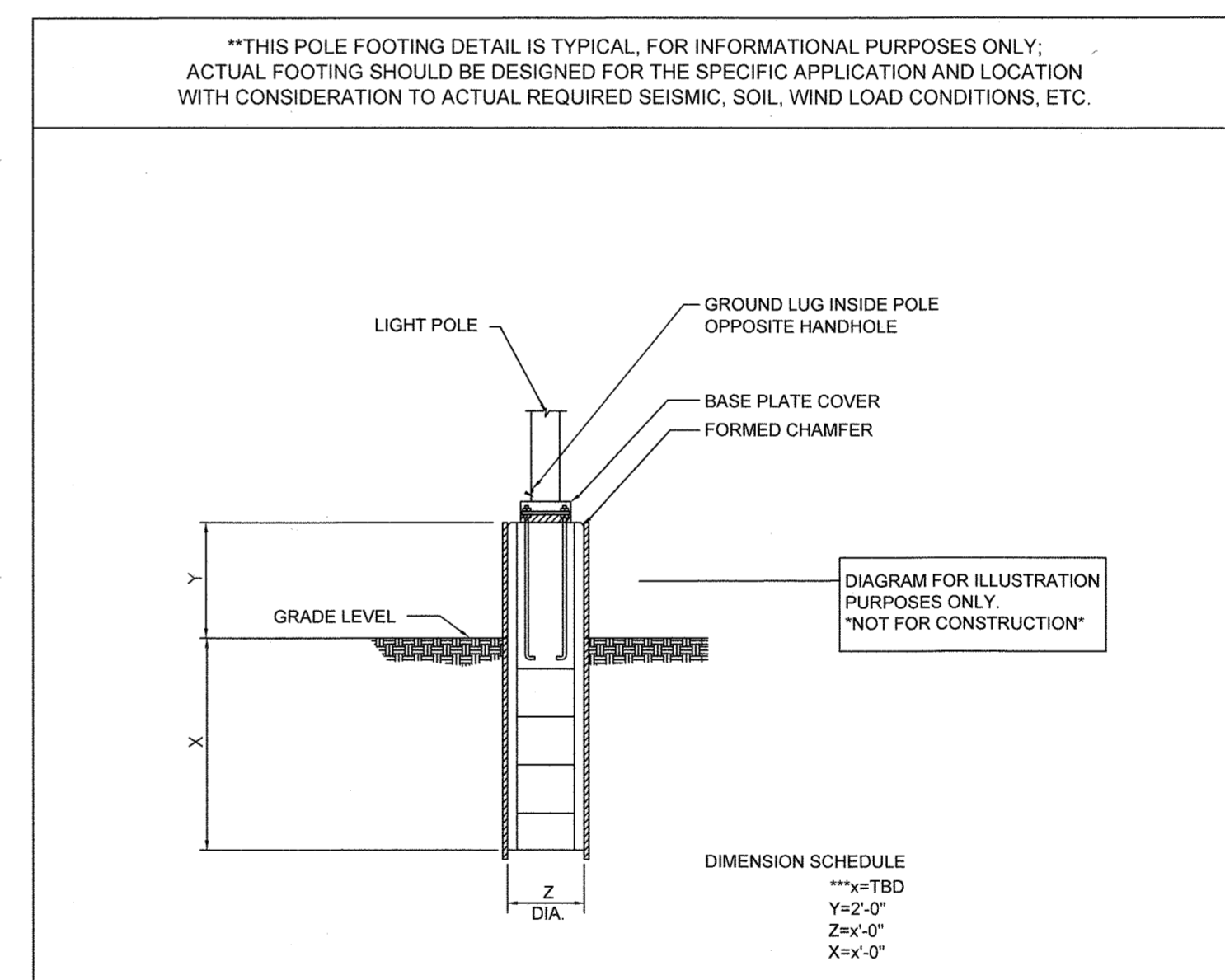


1 SITE LIGHTING PHOTOMETRIC PLAN
 SCALE: 1" = 40'-0"

Luminaire Schedule					
Symbol	Qty	Label	Arranged	Description	BUG Rating
	1	K-1	SINGLE	New Fixt on Exist Base & Pole 269W LED T3 25'-0 Mtg Ht (4000K/240 LED's/31126 Lumens/350mA) Kim Altitude 240 1SA-ALT3-P35-240L-4K-XXX-BL	B4-U0-G5
	6	L-2	BACK-BACK	New Fixt on Exist Base & Pole 344W LED T5 VS 35'-0 Mtg Ht (4000K/300 LED's/39709 Lumens/350mA) Kim Altitude 300 2SB-ALT5-P35-300L-4K-XXX-BL	B5-U0-G5
	1	LP-1	SINGLE	Relocate Pole, New Base & Fixt 344W LED T5 VS 35'-0 Mtg Ht (4000K/300 LED's/39709 Lumens/350mA) Kim Altitude 300 2SB-ALT5-P35-300L-4K-XXX-BL	B5-U0-G5
	2	LP-2	BACK-BACK	Relocate Pole, New Base & Fixt 344W LED T5 VS 35'-0 Mtg Ht (4000K/300 LED's/39709 Lumens/350mA) Kim Altitude 300 2SB-ALT5-P35-300L-4K-XXX-BL	B5-U0-G5



2 POLE DETAIL (TYPICAL)
 SCALE: NTS



3 POLE BASE DETAIL (TYPICAL) LP-1 & LP-2
 SCALE: NTS

SDP CHECKLIST - GENERAL LIGHTING PLAN
 (For Non-Single Family)

Req'd	Subm'd
	Luminaire Location: The location and height above grade of all building and ground luminaires.
	Luminaire Style: The style of the luminaire.
	Sign Lighting: Sign lighting description including luminaire type, mounting details, control means during pre-curfew and post-curfew hours.
	Luminaire Summary Table: Provide a table which shows the breakdown of luminaires by type to include number, IESNA cutoff classification, lumens (for non-full cutoff fixtures), and height above grade.
	Sports Facilities: For sports facilities, provide aiming angles and diagrams for sports lighting luminaires.
	General Lighting Plan Standard Notes: (address each of the following) 1. Objectives for lighting in different areas of the site. 2. Hours of light operations. 3. Mitigation to neighborhoods/adjacent properties. 4. The following lighting types are prohibited: Forward Throw (Type IV) distribution, pole-mounted lights aimed at a building's facade, and un-shielded wallpacks.

GENERAL NOTE

1. CALCULATIONS POINTS, CALCULATION SUMMARY TABLE AND "LLF" COLUMN IN LUMINAIRE SCHEDULE ARE SHOWN TURNED OFF FOR SDP SUBMITTAL AND WILL BE SHOWN TURNED ON FOR CONSTRUCTION DOCUMENTS (CD) SUBMITTAL.

FOR NATIONAL ACCOUNT MATERIAL PURCHASING AND PRICING INFORMATION PLEASE CONTACT:

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
 THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER THE CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

FOR ADDITIONAL LIGHTING INFORMATION CONTACT:
On-Site Lighting & Survey, LLC
 PH: 783.884.1548

