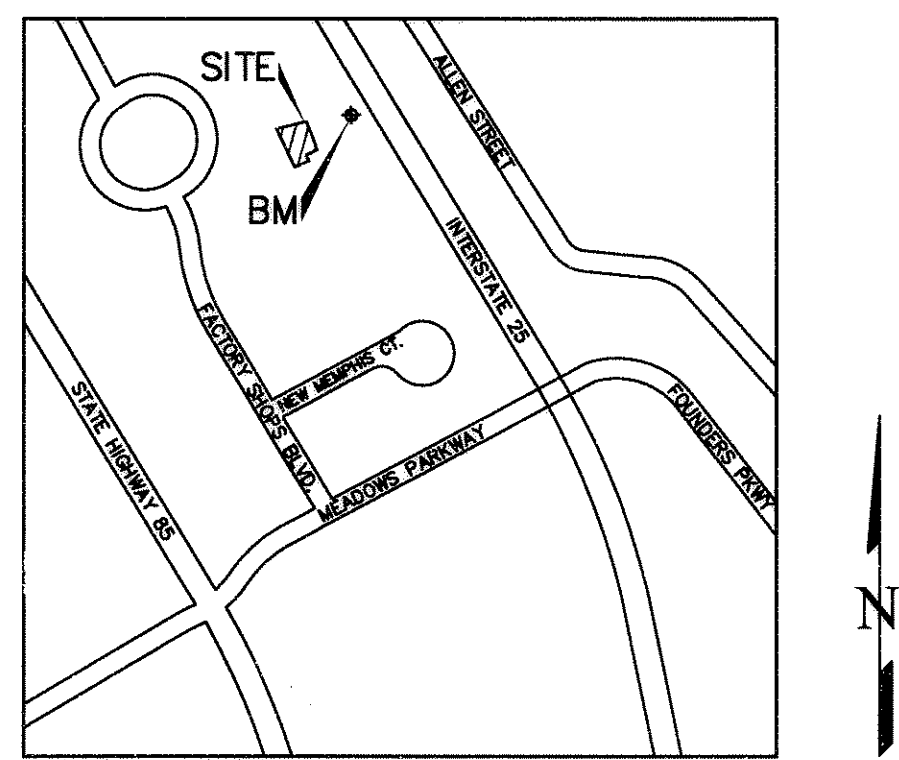


# CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN AMENDMENT NO 4 TO FINAL PD SITE PLAN

(FORMERLY CASTLE PINES COMMERCIAL FILING NO. 5, AMENDMENT 2 FINAL PD SITE PLAN)  
LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

**NOTES:**

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNER, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATIONS. IF APPLICABLE, LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THERE ARE NO FEMA REGULATED FLOODPLAINS AND WETLANDS ON THE SITE.
4. ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CDS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK 'WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY', AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
6. APPROVAL OF THE SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.



VICINITY MAP  
SCALE: 1"=1000'

**LEGAL DESCRIPTION:**

LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING 5 ACCORDING TO THE RECORDED PLAT THEREOF.

**PURPOSE STATEMENT:**

THE EXISTING SITE PARKING AREAS ARE BEING REMODELED IN ORDER TO INCREASE THE EFFICIENCY AND EASE OF USE BY CUSTOMERS VISITING THE OUTLET VENDORS.

**VERTICAL DATUM:**

A MARK ON TOP OF LIGHT POST LOCATED AT THE NORTHEAST OPEN SPACE AREA OF THE SITE BOUNDARY ADJACENT TO I-25. ELEVATION = 6149.18

ALL ELEVATIONS ARE IN NAVD88

SEE VICINITY MAP TO THE RIGHT FOR LOCATION

**SHEET INDEX:**

TITLE SHEET	SHEET 1 OF 6
SITE PLAN	SHEET 2 OF 6
GRADING PLAN	SHEET 3 OF 6
UTILITY PLAN	SHEET 4 OF 6
LANDSCAPE PLAN	SHEET 5 OF 6
BUILDING ELEVATIONS	SHEET 6 OF 6

**CIVIL ENGINEER'S STATEMENT**

I, L DUCETT, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

*L. Ducett* 10/31/14  
REGISTERED PROFESSIONAL ENGINEER  
COLORADO P.E. NO. 32339

SITE DATA		
CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLK 1		
ADDRESS:	5050 FACTORY SHOPS BLVD. CASTLE ROCK, CO 80104	
ZONING: PRESENT/PROPOSED	PD/PD	
USE: PRESENT/PROPOSED	BUILDING/PARKING	
BUILDING SETBACKS:	N/A	
BUILDING SEPARATION:	N/A	
MAXIMUM HEIGHT OF BUILDING	N/A	
ITEM	SQ. FOOTAGE	%
TOTAL	59,841 SF	100
ROAD & HARDSCAPE	25,128.5 SF	42.0
PARKING LOT AREA	31,362 SF	52.4
PARKING LOT LANDSCAPE	3,350.5 SF	5.6
LANDSCAPE TOTAL	3,350.5 SF	5.6
TOTAL	1.374 ACRES	

PARKING TABULATION	
REQUIRED PARKING: MIN. 4 SPACES PER 1000 SF GLA MINIMUM OR 4.5 SPACES PER 1000 SF GLA MAXIMUM FOR SHOPPING CENTER (TOTAL AREA THIS PROJECT = 225,950 SF) 225,950 / 1000 x 4 = 904 MINIMUM SPACES	
EXISTING PARKING/REMODEL AREA	0
EXISTING ADA & VAN ACCESSIBLE STALLS	10
TOTAL EXISTING STALLS REMOVED	10
PROVIDED PARKING/REMODEL AREA	91
ADA & VAN ACCESSIBLE STALLS	10
TOTAL NEW STALLS	101
ADDITIONAL PARKING TOTAL	91
BIKE RACK SPACES= 5% OF ADDITIONAL PARKING SPACES (91 X 0.05% = 4.55 SPACES)	5

**OWNERSHIP CERTIFICATION:**

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN:

*Alan X. Craig*  
CRAIG REALTY GROUP-CASTLE ROCK, LLC, A COLORADO LIMITED LIABILITY COMPANY  
SIGNED THIS 6 DAY OF November, 2014.

**NOTARY BLOCK:**

SUBSCRIBED AND SWORN TO BEFORE ME THIS 6 DAY OF November, 2014.  
BY Angela Dalglisch Littlejohn  
WITNESS MY HAND AND OFFICIAL SEAL  
*Angela Dalglisch Littlejohn* 1934675  
NOTARY PUBLIC  
MY COMMISSION EXPIRES May 1, 2015

**LIENHOLDER SUBORDINATION CERTIFICATION:**

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIEN HOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON AUGUST 19, 2005 AT RECEPTION NO. 2005078237 DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT:

*[Signature]*  
WELLS FARGO BANK, NATIONAL ASSOCIATION  
SIGNED THIS 7 DAY OF November, 2014.

**NOTARY BLOCK:**

SUBSCRIBED AND SWORN TO BEFORE ME THIS 7th DAY OF November, 2014.  
BY Susan Zorfas  
WITNESS MY HAND AND OFFICIAL SEAL  
*Susan Zorfas*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES January 30, 2015; Commission# 1923709, California, Orange County

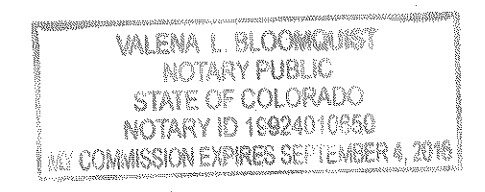
**TITLE CERTIFICATION:**

I, STANLEY C. PERW AN AUTHORIZED REPRESENTATIVE OF Fidelity National A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

*Stanley C. Perw V.P.*  
AUTHORIZED REPRESENTATIVE  
FIDELITY NATIONAL TITLE INSURANCE  
TITLE INSURANCE COMPANY

**NOTARY BLOCK:**

SUBSCRIBED AND SWORN TO BEFORE ME THIS 18th DAY OF NOVEMBER, 2014.  
BY Stanley C. Perw V.P.  
WITNESS MY HAND AND OFFICIAL SEAL  
*Stanley C. Perw*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES 9-4-2016



**TOWN CERTIFICATION:**

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO, ON THE 24 DAY OF November, 2014.

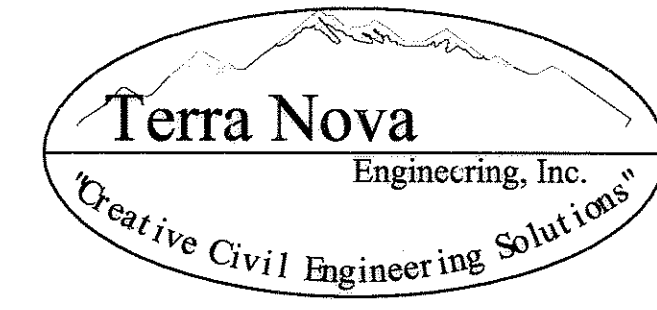
*[Signature]* 11/24/14  
DIRECTOR OF DEVELOPMENT  
DEV. SEV. DATE

**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:**

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT ON THE 25 DAY OF NOVEMBER, 2014 AT RECEPTION NO. 2014068532

DOUGLAS COUNTY CLERK AND RECORDER

BY: *Tulayn Lou*  
DEPUTY



815 S. 25TH STREET  
COLORADO SPRINGS, CO 80904  
OFFICE: 719-635-6422  
FAX: 719-635-6426  
www.tnesinc.com

**OWNER/ DEVELOPER:**

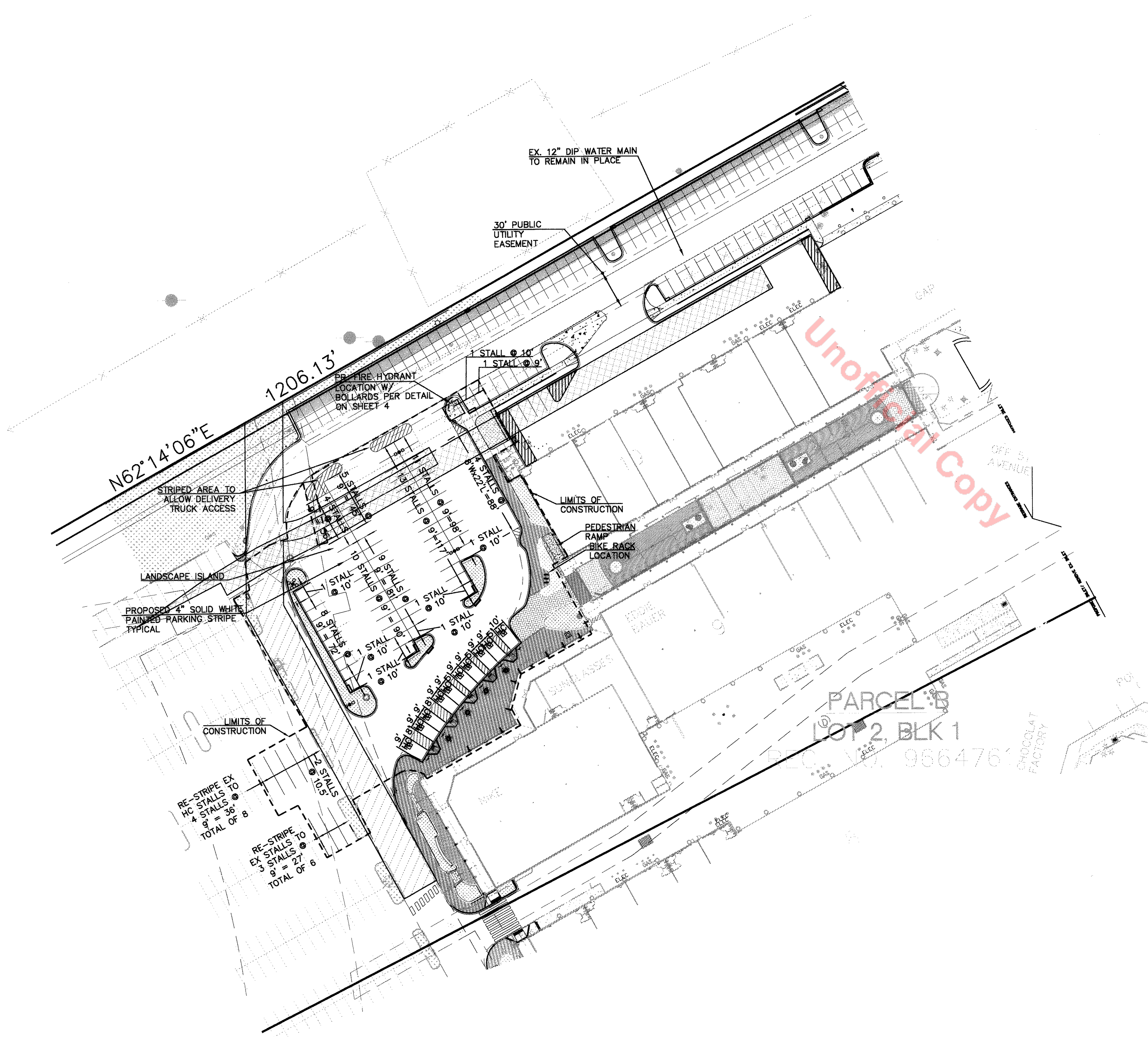
CRAIG REALTY GROUP -  
CASTLE ROCK LLC  
1500 QUAIL STREET, SUITE 100  
NEWPORT BEACH, CA 92660  
CONTACT: ALLISON TOWE

**CIVIL ENGINEER**

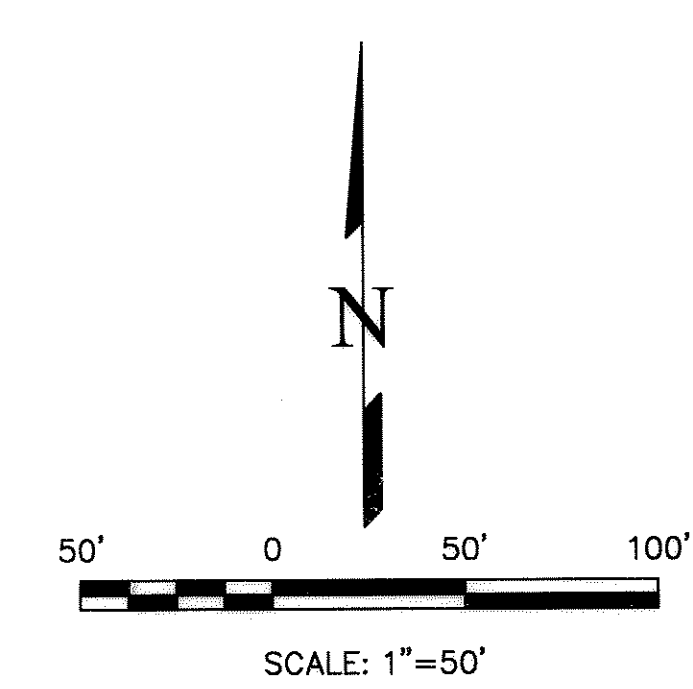
TERRA NOVA ENGINEERING, LLC  
815 S. 25TH STREET  
COLORADO SPRINGS, CO 80904  
CONTACT: MS. L DUCETT, P.E.

# CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN AMENDMENT NO 4 TO FINAL PD SITE PLAN

(FORMERLY CASTLE PINES COMMERCIAL FILING NO. 5, AMENDMENT 2 FINAL PD SITE PLAN)  
LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO



- NOTE:**
1. TYPICAL PARKING SPACES ARE 9'x18'. PARALLEL PARKING SPACES ARE 9'x22' (TOTAL OF 4). STANDARD HANDICAP SPACES ARE 9'x18' W/5' AISLE. VAN ACCESSIBLE HANDICAP SPACES ARE 9'x18' W/8' AISLE.
  2. ALL PARKING LOT DRIVE LANES ARE MINIMUM 24' WIDE.
  3. RETAINING WALLS 4' TALL OR HIGHER REQUIRE A BUILDING PERMIT.

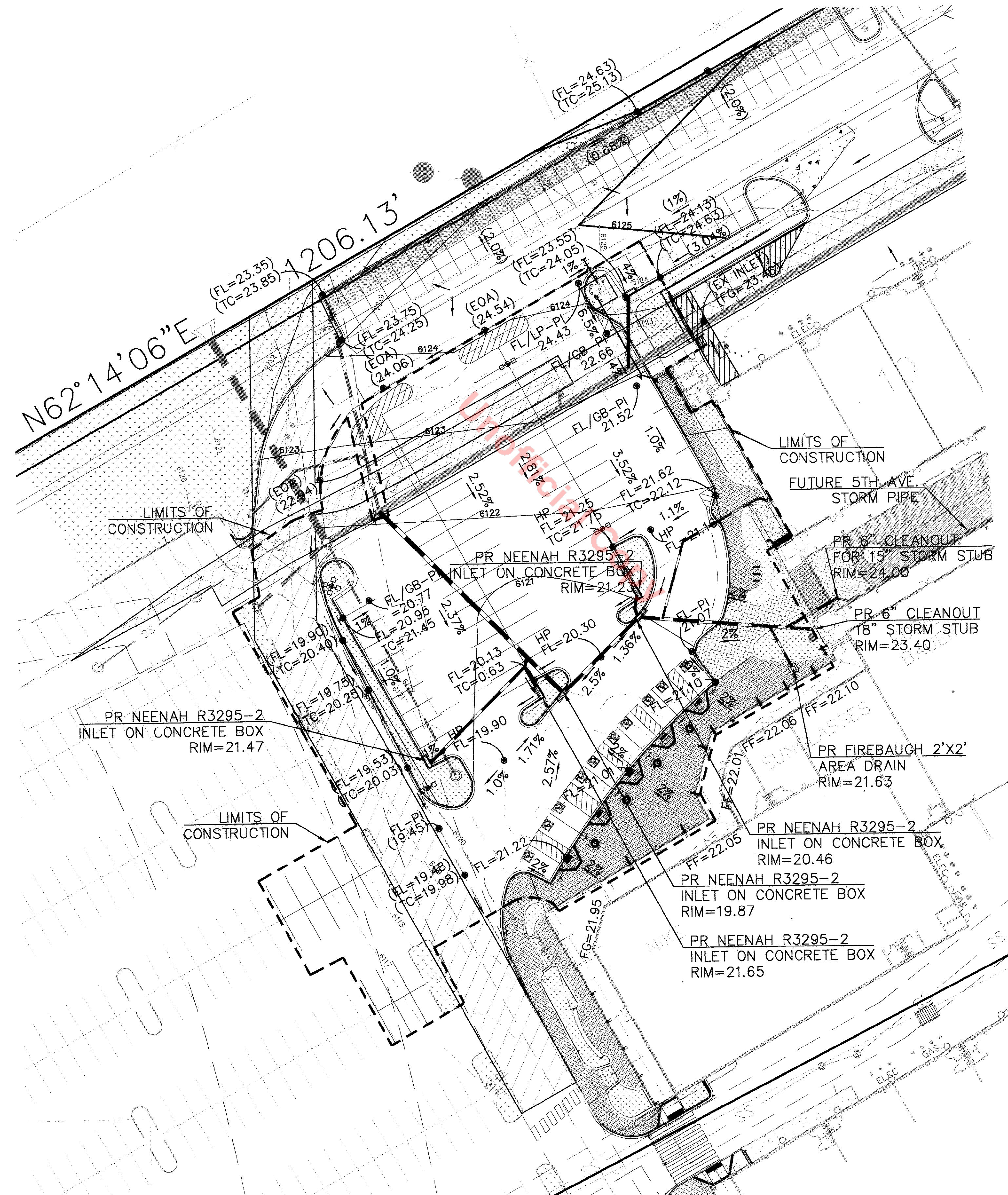


Unofficial Copy

PARCEL B  
LOT 2, BLK 1  
REC. NO. 956476

# CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN AMENDMENT NO 4 TO FINAL PD SITE PLAN

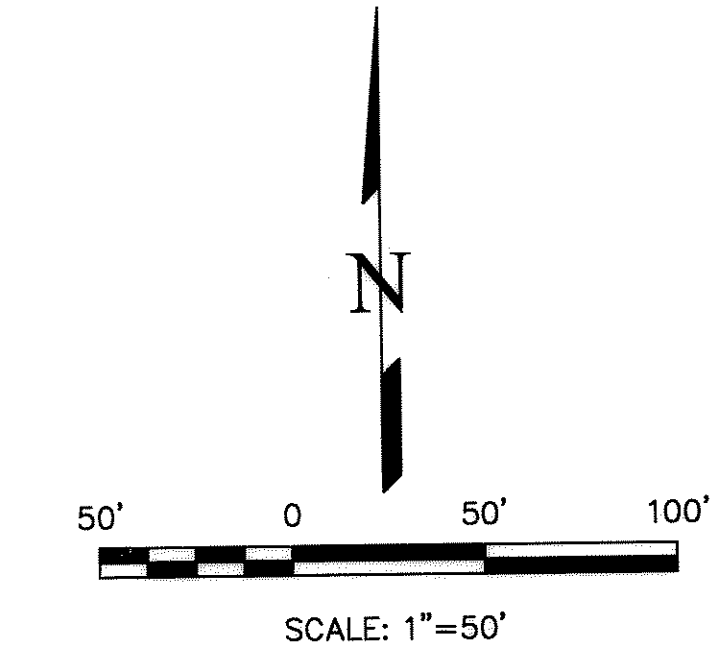
(FORMERLY CASTLE PINES COMMERCIAL FILING NO. 5, AMENDMENT 2 FINAL PD SITE PLAN)  
LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO



**NOTE:**  
1. RETAINING WALLS 4' TALL OR HIGHER REQUIRE A BUILDING PERMIT.

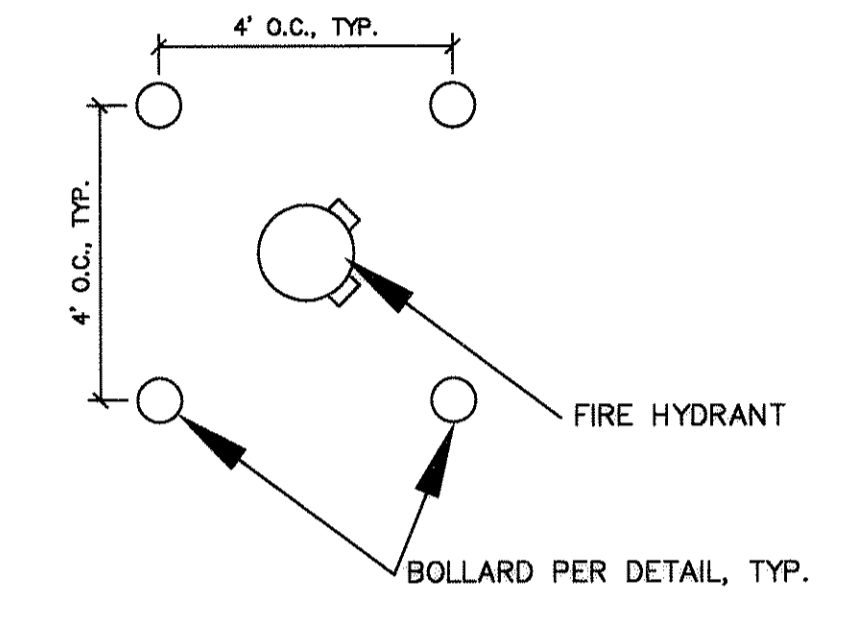
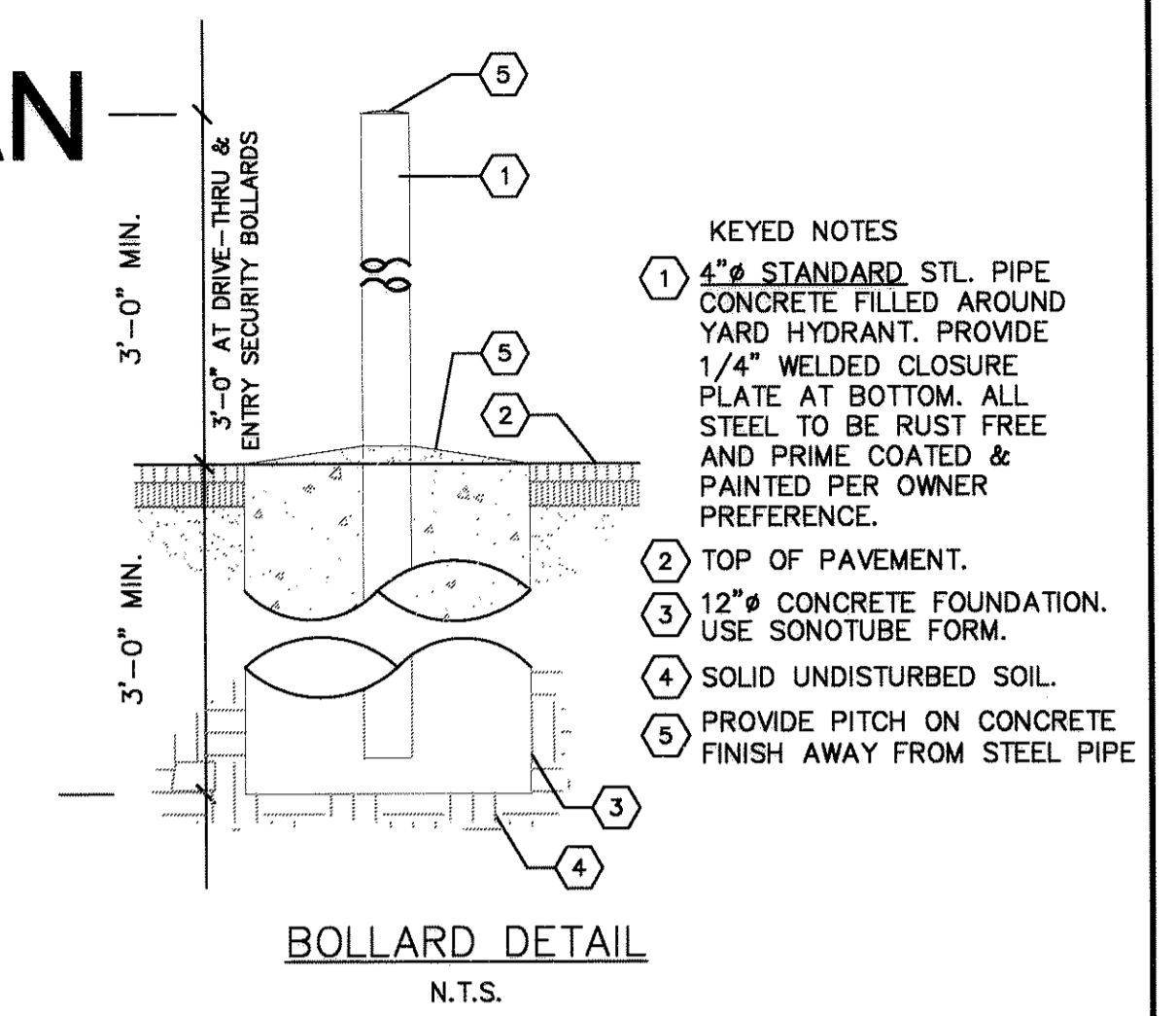
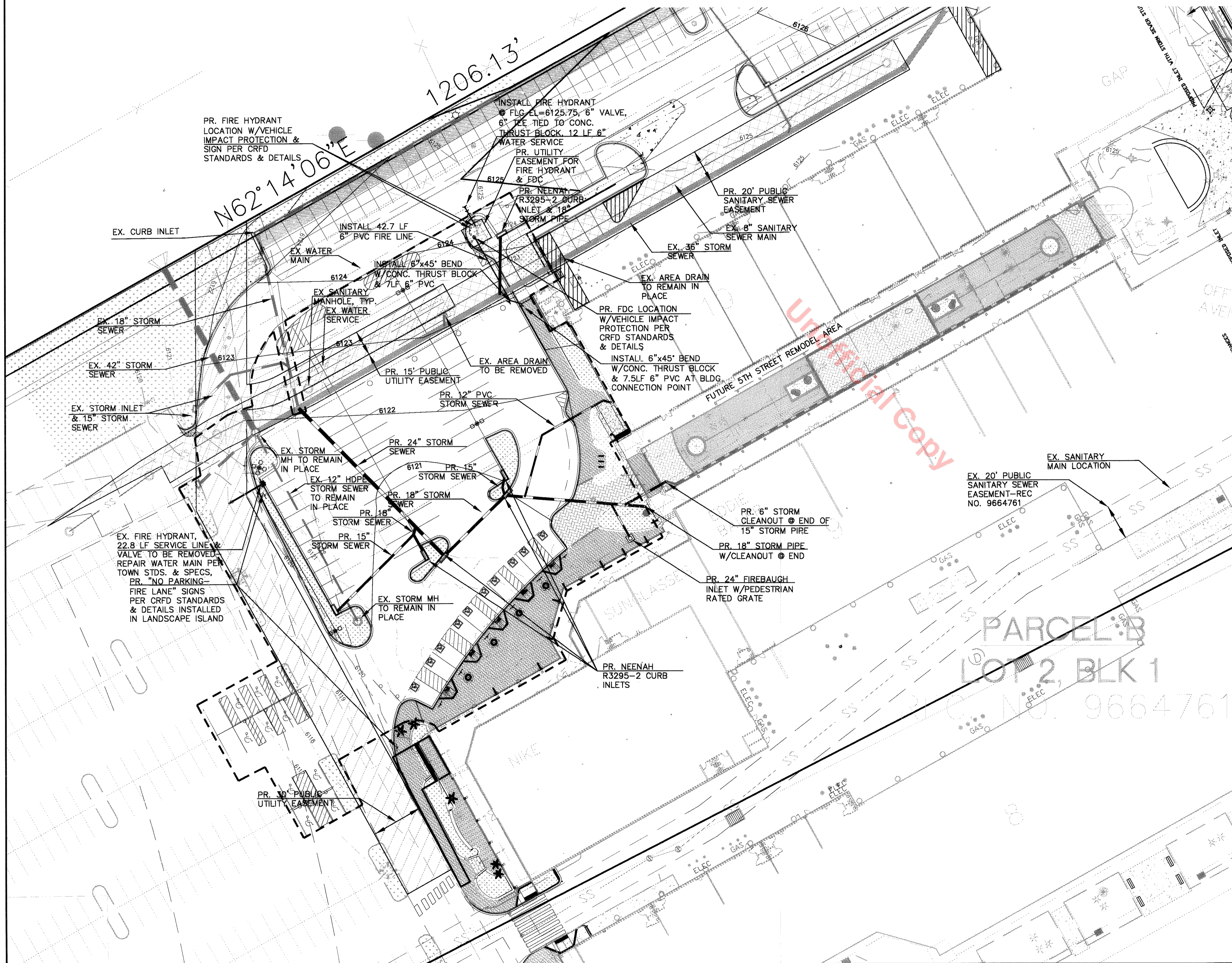
**GRADING LEGEND**

5' EX CONTOUR	6805
1' EX CONTOUR	6801
5' PROPOSED CONTOUR	6805
1' PROPOSED CONTOUR	6801
DIRECTION OF SURFACE FLOW	←
SLOPE	X.XX%
HIGH POINT	• HP
LOW POINT	• LP
GRADE BREAK	• GB
EDGE OF ASPHALT	• EOA
FLOW LINE OF CURB ELEVATION TOP BACK OF CURB ELEVATION	FL=XX TC=XX
EXISTING ELEVATION	• (XX.XX)
PROPOSED HARDSCAPE PAVER PATTERNS DESIGNED BY STUDIO PROGETTI	



# CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN AMENDMENT NO 4 TO FINAL PD SITE PLAN

(FORMERLY CASTLE PINES COMMERCIAL FILING NO. 5, AMENDMENT 2 FINAL PD SITE PLAN)  
LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO



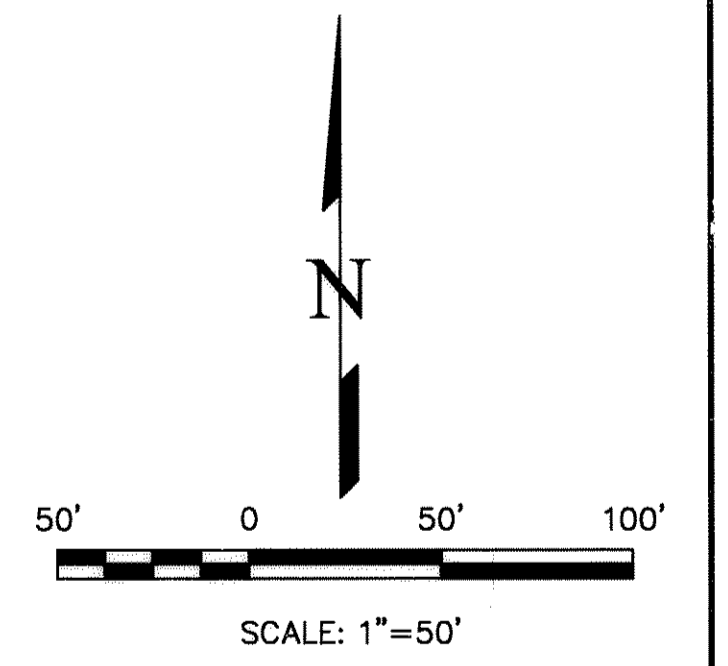
**NOTE:**  
MINIMUM 3' HIGH X 4" DIA. STEEL PIPE FILLED W/CONCRETE W/ A FORCE RESISTANCE OF 12,000 lbs WHEN APPLIED @ 36" ABOVE ADJACENT GROUND, TYP. & SPACED @ NOT MORE THAN 4' BETWEEN POSTS ON CENTER.

### UTILITY NOTE

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE CONTRACTOR SHALL COORDINATE/PROVIDE THE FIRE DEPARTMENT WITH AN ACCESS PLAN FOR THE DEMOLITION AND ACCESS TO THE FIRE SPRINKLER FDC AND SPRINKLER RISER ROOM ON THE NORTH/WEST PORTION OF BUILDING 10 DURING CONSTRUCTION. THESE AREAS SHALL REMAIN ACCESSIBLE TO CRFD DURING ALL PHASES OF CONSTRUCTION.
3. THIS PROJECT IS IN THE YELLOW PRESSURE ZONE.

### UTILITY LEGEND

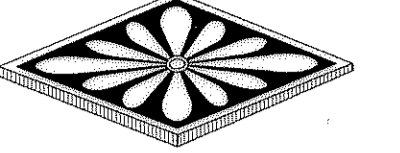
	EXISTING SANITARY MAIN
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING LIGHT
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING FENCE
	EXISTING VALVE
	PROPOSED VALVE
	PROPOSED HARDSCAPE PAVER PATTERNS DESIGNED BY STUDIO PROGETTI



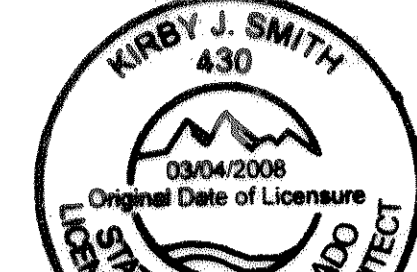
# CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN AMENDMENT NO. 4 TO FINAL PD SITE PLAN

LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

Landscape Plans Prepared By:



Kirby Smith & Associates, Inc.  
Land Planning • Site Design • Landscape Architecture  
6201 So. Hudson Ct., Centennial, CO 80121  
(303) 694-9484 FAX (303) 694-9272  
Castle Rock Design Certificate No. 5141  
Expiration: March 1, 2015



*[Signature]* 10/23/14  
Date

**PLANT LEGEND**

- To Be Removed
- BAU Blue Arrow Juniper 7 Gal. (or 5 Gal.) 15'x2'
- SBB S' Baby Blue Eyes Spruce 18'x8'
- BSP B' Bakeri Spruce 30'x10'
- BRA Brandywine Crab 25'x20'
- CBC Coralburst Crab 1.75' Gal. 12'x12'
- CCB Coralburst Crab #10 Gal. 8'x8'
- CRC Canada Red Chokecherry-8' Clump 25'x20'
- MP Imperial Locust 35'x25'
- SUN Sunburst Locust 30'x25'
- CCP Chanticleer Pear 35'x15'

- BSG Spanish Gold Broom 4'x6'
- BSL Scotch Larch Broom 3'x4'
- MCO Compact Oregon Grape Holly 3' X 4'-5'
- MRE Mahonia Repens 15'x2'
- HBP Helmond Pillar Barberrry 5'x2'
- DBB Dwarf Burning Bush 5'x4'
- GND Darts Gold Ninearb 4'x4'
- GDF Gold Drop Potentilla 3' X 3'
- GGF Goldfinger Potentilla 3'x4'
- CIS Castina Plus 8'x6'
- BMS Blue Mist Spirea 3'x3'
- NFS Neon Flash Spirea 3'x3'
- WSC Western Sand Cherry 5'x5'
- VMO Mohican Viburnum 6' X 6'
- DSD Dwarf Shasta Daisy 12'x15'
- HBF Hummingbird Flower 4'x20'
- REV Red Valerian 24'x24'
- RGD Goldstrum Rudbeckia 30'x24'
- SMN Salvia May Night 18'x18'
- AVG Blue Avena Grass 2'x2'
- FRG Feather Reed Grass 5'-6'x24'
- Decorative Boulders Typ.
- Fescue Mix Turf Typ.
- White Cobble Mulch Typ.

NOTE: The Overall Outlets at Castle Rock Site provides approximately 28% landscaping

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**811**  
CALL A BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE

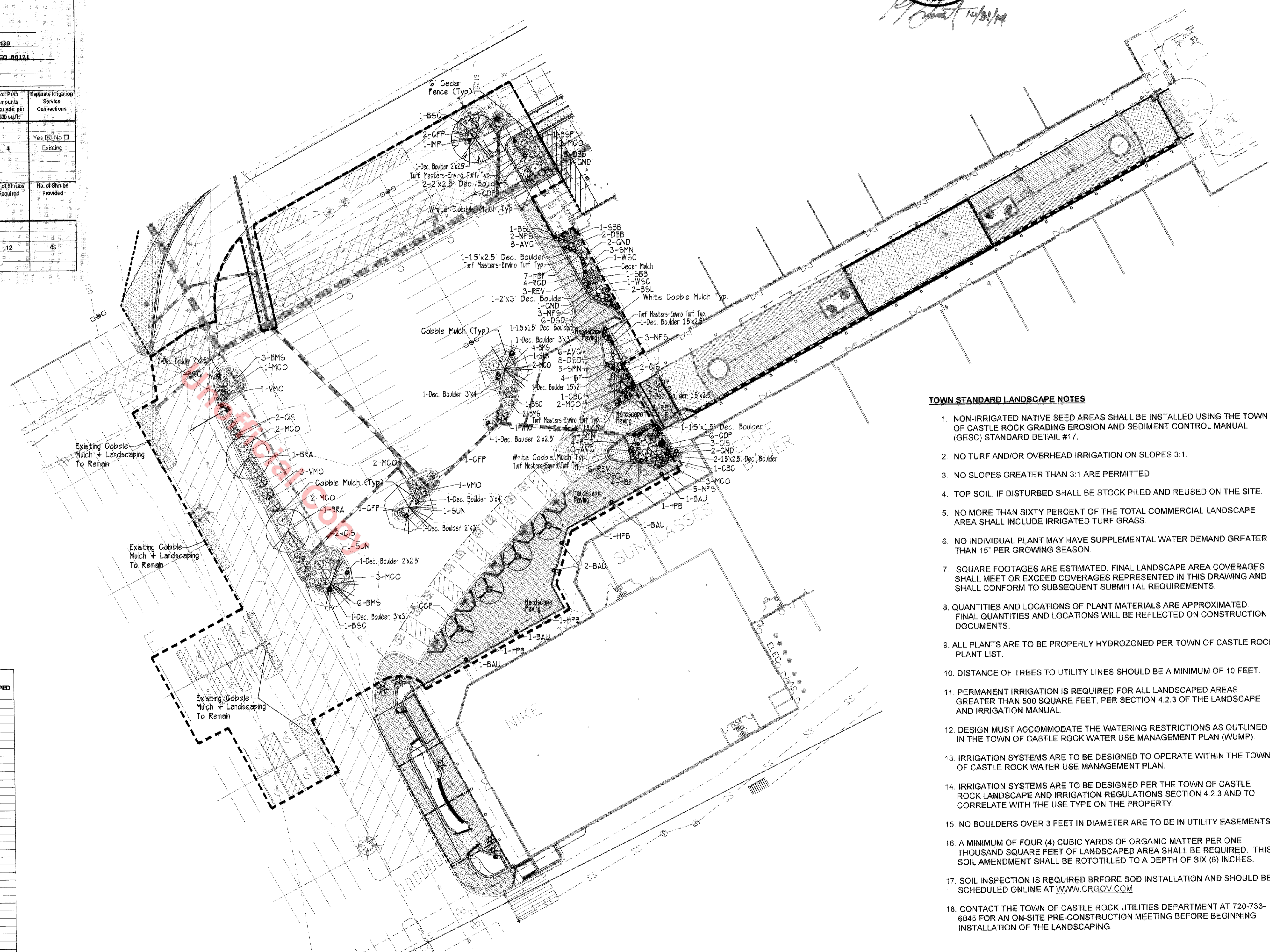
**UTILITY LEGEND**

- ML — EXISTING SANITARY MAIN
- WM — EXISTING WATER MAIN
- PM — PROPOSED WATER MAIN
- FH — EXISTING FIRE HYDRANT
- PFH — PROPOSED FIRE HYDRANT
- EL — EXISTING LIGHT
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- X — EXISTING FENCE
- V — EXISTING VALVE
- PV — PROPOSED VALVE
- H — PROPOSED HARDSCAPE PAVEMENT PATTERNS DESIGNED BY STUDIO PROGETTI

**Commercial Landscape Site Inventory**

Town of Castle Rock Registered Professional: Kirby Smith  
Town of Castle Rock Registration #: 5141 State of Colorado License Landscape Architect #: 430  
Company Name: Kirby Smith & Associates, Inc. Address: 6201 So. Hudson Ct., Centennial, CO 80121  
Phone: 303-694-9484 Email: KSAKIRBY@AOL.COM Date: 10/27/14

Gross Construction Area	Min. Landscaped Area In Sq. Ft.	Turfgrass List Species (Area In Sq. Ft.)	Nonliving Ornamental (Area In Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 sq.ft.)	Separate Irrigation Service Connections
59,841	x.10 = 5,984	Turf Masters Enviro Turf	329 Low Growth Seed Mix	12	15	24	114	4	Existing
31,362	x.10 = 3136	Provided	0	2	6 ft.	6	6	12	45



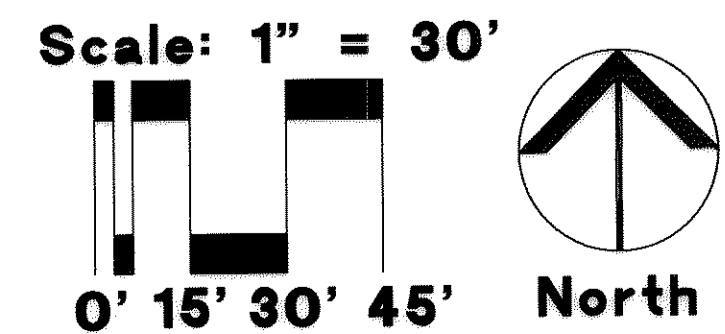
**TOWN STANDARD LANDSCAPE NOTES**

- NON-IRRIGATED NATIVE SEED AREAS SHALL BE INSTALLED USING THE TOWN OF CASTLE ROCK GRADING EROSION AND SEDIMENT CONTROL MANUAL (GESC) STANDARD DETAIL #17.
- NO TURF AND/OR OVERHEAD IRRIGATION ON SLOPES 3:1.
- NO SLOPES GREATER THAN 3:1 ARE PERMITTED.
- TOP SOIL, IF DISTURBED SHALL BE STOCK PILED AND REUSED ON THE SITE.
- NO MORE THAN SIXTY PERCENT OF THE TOTAL COMMERCIAL LANDSCAPE AREA SHALL INCLUDE IRRIGATED TURF GRASS.
- NO INDIVIDUAL PLANT MAY HAVE SUPPLEMENTAL WATER DEMAND GREATER THAN 15' PER GROWING SEASON.
- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGES SHALL MEET OR EXCEED COVERAGES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- NO BOULDERS OVER 3 FEET IN DIAMETER ARE TO BE IN UTILITY EASEMENTS.
- A MINIMUM OF FOUR (4) CUBIC YARDS OF ORGANIC MATTER PER ONE THOUSAND SQUARE FEET OF LANDSCAPED AREA SHALL BE REQUIRED. THIS SOIL AMENDMENT SHALL BE ROTOTILLED TO A DEPTH OF SIX (6) INCHES.
- SOIL INSPECTION IS REQUIRED BEFORE SOD INSTALLATION AND SHOULD BE SCHEDULED ONLINE AT WWW.CRGOV.COM.
- CONTACT THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT AT 720-733-6045 FOR AN ON-SITE PRE-CONSTRUCTION MEETING BEFORE BEGINNING INSTALLATION OF THE LANDSCAPING.

**PLANT & MATERIALS SCHEDULE**

QTY.	ITEM	COMMON NAME	SCIENTIFIC NAME	SIZE	Comments	MATURE SIZE	IRRIGATION (Dri. spray, or ribs)	WATER REQUIREMENTS (inches per month)	HYDROZONE WATER USE (Very Low, Low, Moderate, High)	SQ. FT. OF ZONE (Turf Only)	PERCENT OF TOTAL AREA	SQ. FT. OF TOTAL LANDSCAPED AREA
<b>EVERGREEN TREES</b>												
2	SBB	Spruce Baby Blue Eyes	Picea pungens 'Baby Blue Eyes'	6' Ht.	B&B	18'x8'	Dip	1.43	Low			
1	BSP	Bakeri Spruce	Picea pungens 'Bakeri'	6' Ht.	B&B	18'x8'	Dip	1.43	Low			
<b>DECIDUOUS TREES</b>												
2	BRA	Brandywine Crab	Malus x 'Brandywine'	1.5' Cal	B&B	25'x20'	Dip	1.43	Low			
2	CBC	Coralburst Crab	Malus sap. coronata	1.5' Cal	B&B	12'x12'	Dip	1.43	Low			
1	MP	Imperial Honeylocust	Gleditsia hincantios 'Imperial'	2' Cal	B&B	38'x29'	Dip	1.43	Low			
1	SUN	Sunburst Honeylocust	Gleditsia hincantios 'Sunburst'	2' Cal	B&B	30'x25'	Dip	1.43	Low			
4	CCP	Chanticleer/Cleveland Select Pear	Pyrus calleryana	1.5' Cal	B&B	35'x15'	Dip	1.43	Low			
<b>BROADLEAF EVERGREEN SHRUBS</b>												
6	BAU	Blue Arrow Juniper	Juniperus virginiana 'Blue Arrow'	7 Gal.	3'-4' Min. Ht.	19'x2'	Dip	0.71	Very Low			
4	BSG	Broom Spanish Gold	Cytisus purgans 'Spanish Gold'	5 Gal.	20'-24' Min. Ht.	4'x6'	Dip	1.43	Low			
3	BBL	Broom, Scotch Larch	Cytisus scottii 'Larch'	5 Gal.	20'-24' Min. Ht.	3'x5'	Dip	1.43	Low			
20	MCO	Compact Mahonia/Oregon Grape	Mahonia aquifolium 'Compacta'	5 Gal.	20' Min. Ht.	3'x5'	Dip	0.71	Very Low			
<b>DECIDUOUS SHRUBS</b>												
4	HBP	Helmond Pillar Barberrry	Berberis thunbergii 'Helmond Pillar'	5 Gal.	38' Min. Ht.	5'x2'	Dip	1.43	Low			
5	DBB	Dwarf Burning Bush	Eucryphia alata 'Compacta'	5 Gal.	18' multi-staked	5'x4'	Dip	1.43	Low			
10	GND	Darts Gold Ninearb	Physocarpus opulifolius 'Darts Gold'	5 Gal.	24' multi-staked	4'x4'	Dip	1.43	Low			
4	GFP	Goldfinger Potentilla	Potentilla fruticosa 'Goldfinger'	5 Gal.	24' multi-staked	5'x4'	Dip	1.43	Low			
13	GDF	Gold Drop Potentilla	Potentilla fruticosa 'Gold Drop'	5 Gal.	18'-24' multi-staked	5'x3'	Dip	1.43	Low			
9	CIS	Castina Plum/Purpleleaf Sand Cherry	Prunus x castana	5 Gal.	38' multi-staked	6'x6'	Dip	1.43	Low			
15	BMS	Blue Mist Spirea	Caryopteris x clandonensis	5 Gal.	18'-24' multi-staked	3'x3'	Dip	1.43	Low			
13	NFS	Neon Flash Spirea	Spirea japonica 'Neon Flash'	5 Gal.	24' multi-staked	3'x3'	Dip	1.43	Low			
2	WSC	Western Sand Cherry	Prunus besseyi	5 Gal.	24' multi-staked	5'x5'	Dip	1.43	Low			
6	VMO	Mohican Viburnum	Viburnum lantana 'Mohican'	5 Gal.	24' multi-staked	6'x6'	Dip	1.43	Low			
<b>PERENNIAL/SUBGROUNDCOVERS</b>												
1	DSB	Dwarf Shasta Daisy	Leucanthemum compact 'Snow Lady'	1 Gal.	12'-18" oc.	12'x19"	Dip	1.43	Low			
15	HBF	Hummingbird Flower	Zauschneria garretii	1 Gal.	20'-24" oc.	4' x 20"	Dip	1.43	Low			
11	REV	Red Valerian/Jupiter's Beard	Centranthus ruber	1 Gal.	18" oc.	24'x24"	Dip	1.43	Low			
12	RGD	Rudbeckia, Blackeyed Susan	Rudbeckia fulgida 'Goldstrum'	1 Gal.	18" oc.	30'x24"	Dip	1.43	Low			
15	SMN	Salvia May Night	Salvia sylvestris x 'Mainacht'	1 Gal.	18" oc.	18'x18"	Dip	1.43	Low			
<b>GRASSES</b>												
24	AVG	Blue Avena Oat Grass	Halicotriehon sempervirens	1 Gal.	12' Min Spread	2'x2'	Dip	1.43	Low			
		Turf Master (Grass)	Enviro Turf			n/a	SDI	2.14	Moderate	318	66%	4785
<b>DECORATIVE BOULDERS</b>												
2	Non-Lichen Or Lichen Covered Boulders	Owner To Select		1.5'x1.5'	14-18" Ht.	1.5'x1.5'	n/a	n/a	n/a			
2	Non-Lichen Or Lichen Covered Boulders	Owner To Select		1.5'x2'	18-20" Ht.	1.5' x 2'	n/a	n/a	n/a			
3	Non-Lichen Or Lichen Covered Boulders	Owner To Select		1.5'x2.5'	20-24" Ht.	1.5'x2.5'	n/a	n/a	n/a			
8	Non-Lichen Or Lichen Covered Boulders	Owner To Select		2'x2.5'	24-30" Ht.	2' x 2.5'	n/a	n/a	n/a			
2	Non-Lichen Or Lichen Covered Boulders	Owner To Select		2'x3'	24-30" Ht.	2' x 3'	n/a	n/a	n/a			
2	Non-Lichen Or Lichen Covered Boulders	Owner To Select		3'x3'	24-38" Ht.	3' x 3'	n/a	n/a	n/a			
1	Non-Lichen Or Lichen Covered Boulders	Owner To Select		3'x4'	24-38" Ht.	3' x 4'	n/a	n/a	n/a			

Turf Areas: Approx. 320 square feet total - To be sodded with 'Enviro Turf', grown by Turf Master, or Town approved equal.  
Cobble Mulch Beds: Approx. 1,904 square feet total - White River Cobble 3'-4", or owner approved equal.  
Bark Mulch Beds: Approx. 1,600 square feet total - Medium to large Pine bark, or owner approved equal.  
Steel Edger: Approx. 332 linear feet - Rolled top, 14 gage, Ryersons, or owner approved equal.



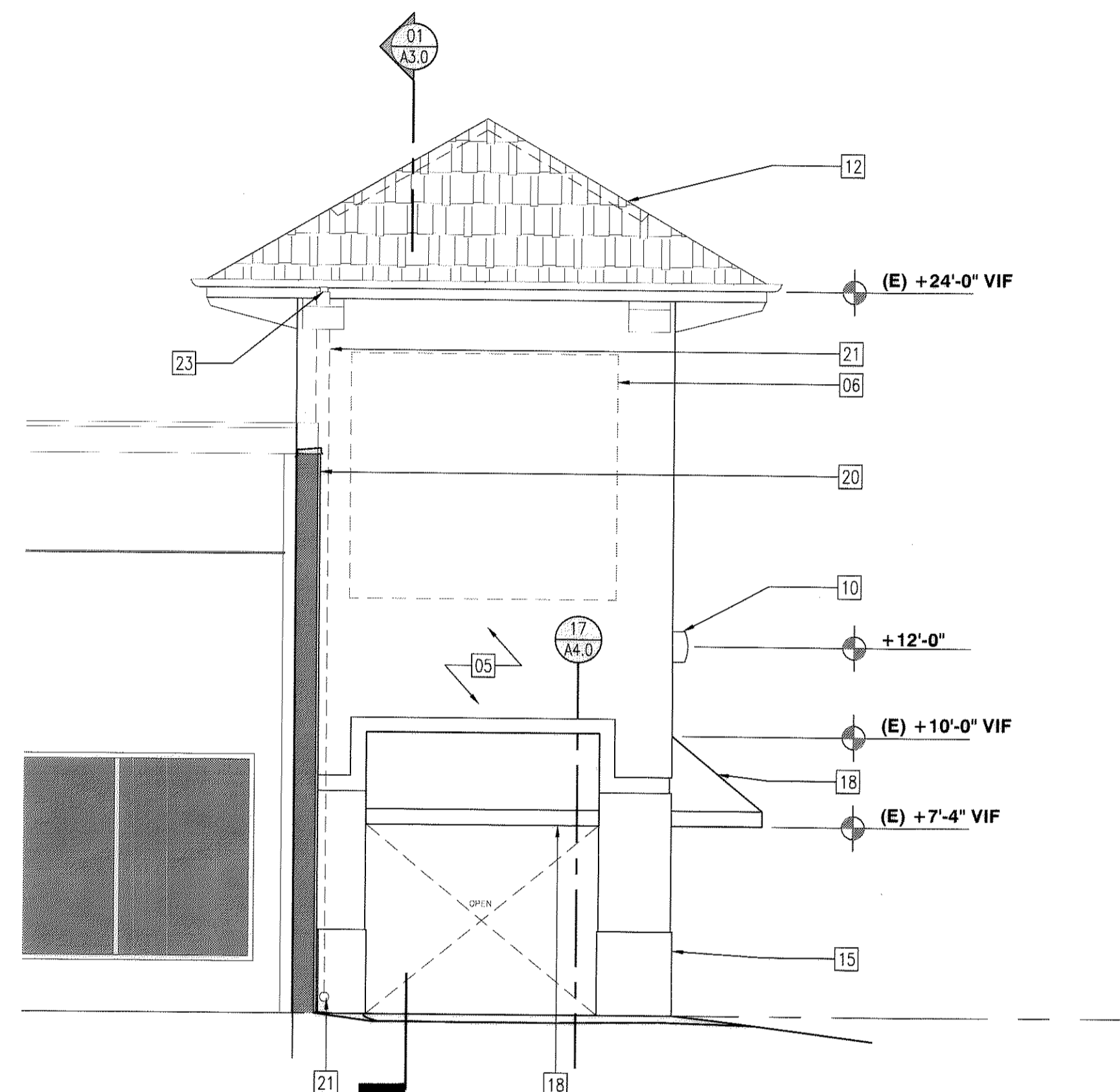
# Castle Pines Commercial Filing No. 5 Lot 2, Block 1 Site Development Plan Amendment No 4 to Final PD Site Plan Located in the North Half of Section 27, Township 7 South, Range 67 West of the 6th P.M. Town of Castle Rock, Douglas County Colorado

**r h a**  
robinson hill architecture, inc.  
A California Corporation  
3195-B Airport Loop Dr.  
Costa Mesa, CA 92626  
tel. 714-825-8888  
fax 714-825-8889  
web www.rhainc.net

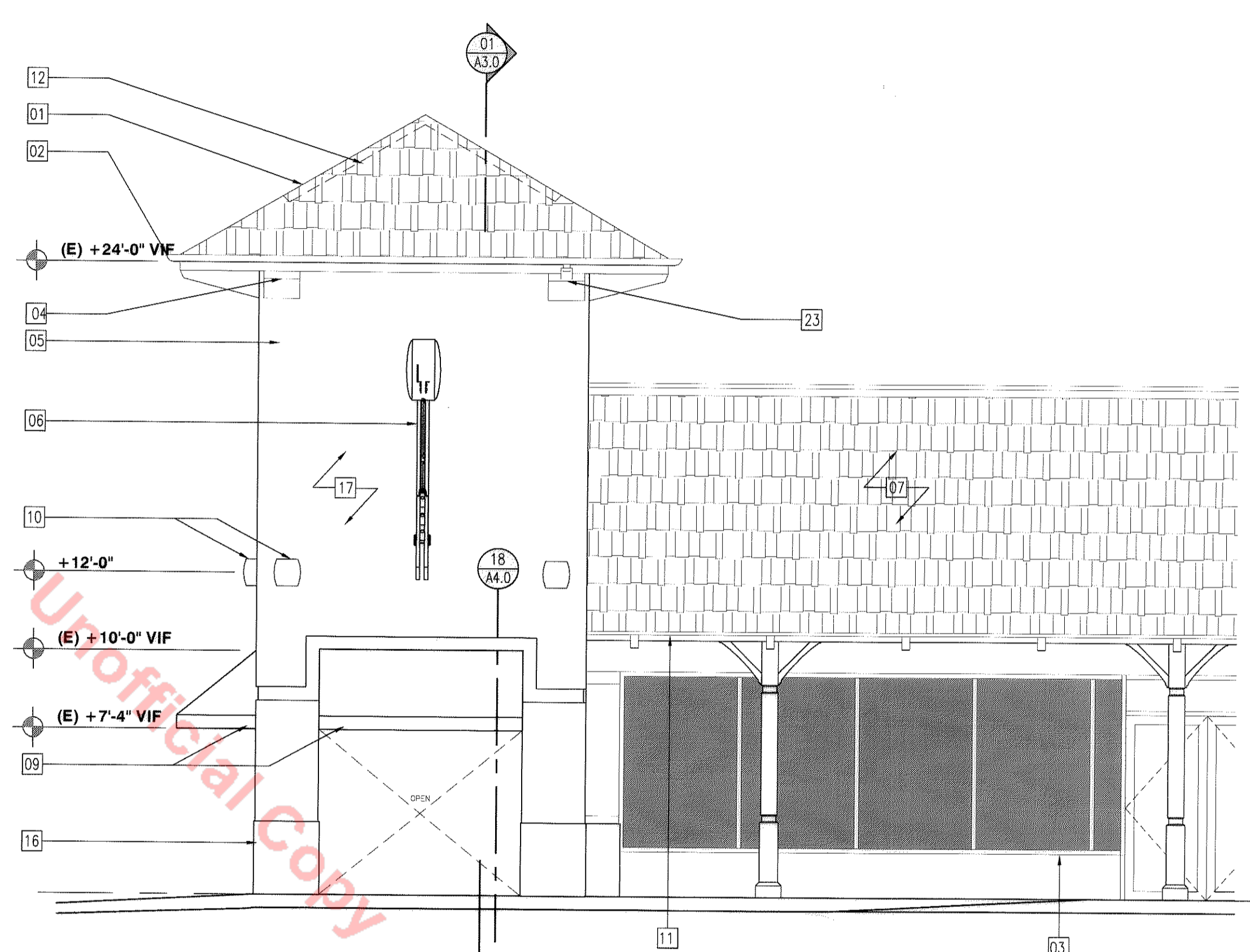
Michael David Robinson: C-20731  
John Steven Hill: C-23553

This document, and the ideas and designs incorporated herein as an instrument of professional service, is the property of Robinson Hill Architecture, Inc. (rha) and is not to be used in whole or in part, for any other project without the written authorization of rha. This document is not to be reproduced and/or modified in any way, nor shall any reproduction of this document be modified without the prior written consent of rha.

This document has been prepared to describe proposed new work and does not necessarily represent as-built or existing conditions. The architect does not warrant, in any way, the accuracy of this information and shall not be responsible for any discrepancy between this document and the existing conditions.



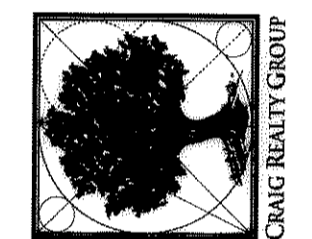
PROPOSED NORTH ELEVATION (UNDER SEPARATE PERMIT) SCALE: 1/4" = 1'-0"



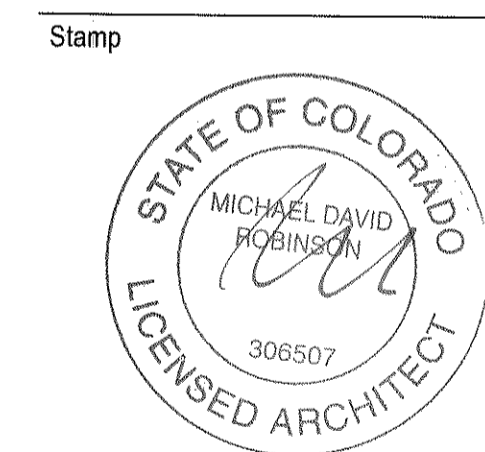
PROPOSED SOUTH ELEVATION (UNDER SEPARATE PERMIT) SCALE: 1/4" = 1'-0"

- 01 (N) ROOF SHINGLES TO MATCH (E) ROOFING SPECIFICATION. SEE STRUCTURAL DRAWINGS FOR FRAMING
- 02 (N) 8" HALF ROUND BRONZE ANODIZED ALUMINUM GUTTER
- 03 (E) GLAZING TO REMAIN - PROTECT IN PLACE
- 04 (N) COMPOSITE ROOF BRACKET
- 05 (N) DRYVIT OUTSULATION PLUS MO SYSTEM, TEXTURE TO MATCH (E) - SEE A6.1 & A6.2 FOR DETAILS
- 06 (N) TENANT SIGNAGE UNDER SEPARATE PERMIT - GC TO PROVIDE BLOCKING AS REQ'D & (2) J-BOXES PER LOCATION
- 07 (E) CANOPY AND SUPPORTS TO REMAIN
- 08 EIFS EXPANSION JOINT - SEE A4.0 FOR DETAILS
- 09 (E) FABRIC AWNINGS TO BE REMOVED AND REINSTALLED AT SAME LOCATION
- 10 (N) TYPE HH LIGHT FIXTURE. SEE ELEC DRAWINGS. CUSTOM SHROUD, OWNER SUPPLIED & GC INSTALLED
- 11 (E) OVERHANG TO REMAIN - PROTECT IN PLACE
- 12 (N) GAF HIPVENT EXHAUST VENTILATION SYSTEM, PROVIDE 43" MIN LINEAR FEET OF EXHAUST PROVIDE TEMPERED GLAZING - IBC -
- 13 (N) FABRIC AWNINGS TO MATCH (E) CONSTRUCTION
- 14 (N) PARAPET WALL BASE - SEE DTL
- 15 (E) PRECAST WALL BASE PROTECT IN PLACE
- 16 (N) LAYER OF EIFS & PLYWD O/ (E) WALL STRUCTURE
- 17 (N) GALV. METAL PARAPET CAP - SEE WALL SECTION
- 18 (E) EXTERIOR WALL TO REMAIN
- 19 (N) ROOF DRAINAGE LAMB'S TONGUE - DISCHARGE @ LANDSCAPING
- 20 EIFS CONTROL JOINT
- 21 4" DRAINAGE THROUGH DECORATIVE EAVE BRACKET - ROUTE THROUGH EXTERIOR WALL CAVITY
- 22 HIGH IMPACT EIFS, PROFILE TO MATCH PRECAST CONCRETE PANEL @ BASE OF WALL
- 23 (N) GUARDRAIL TO MATCH (E) ON SITE AT PAC SUN.
- 24 (N) HANDRAIL AT BEYOND AT RAMP
- 25 (N) CONCRETE CURB BETWEEN TOWER PIERS. REFER TO STRUCTURAL AND

Project Name / Type  
**Building 10  
West Tower Renovation**  
**Outlets at Castle Rock**  
5050 Factory Shops Blvd.,  
Castle Rock, CO 80108



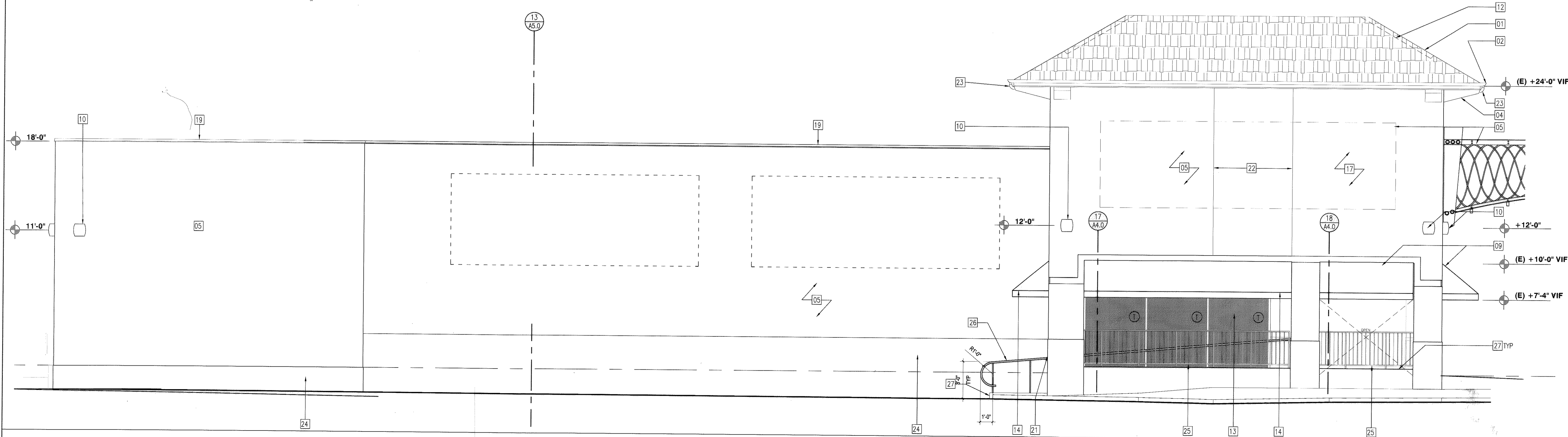
Client  
**Craig Realty Group**  
4100 MacArthur, Suite 200  
Newport Beach, CA 92660  
t: 949.224.4100



Submittal Dates	
P.C. Submittal	08.01.2014
P.C. Resubmittal	10.23.2014

Rev.	Description	Date

Job Number:  
14CRG034.C1  
Date:  
06.09.2014  
Sheet Title:  
PROPOSED EXTERIOR  
ELEVATIONS (FOR  
REFERENCE ONLY)  
Sheet No.:  
SDP14-0018  
DATE: OCTOBER 23, 2014  
CASTLE PINES COMMERCIAL FILING 5, LOT 2, BLK 1  
SITE DEVELOPMENT PLAN AMENDMENT NO. 4  
TO FINAL SITE PLAN



PROPOSED WEST ELEVATION (UNDER SEPARATE PERMIT) SCALE: 1/4" = 1'-0"