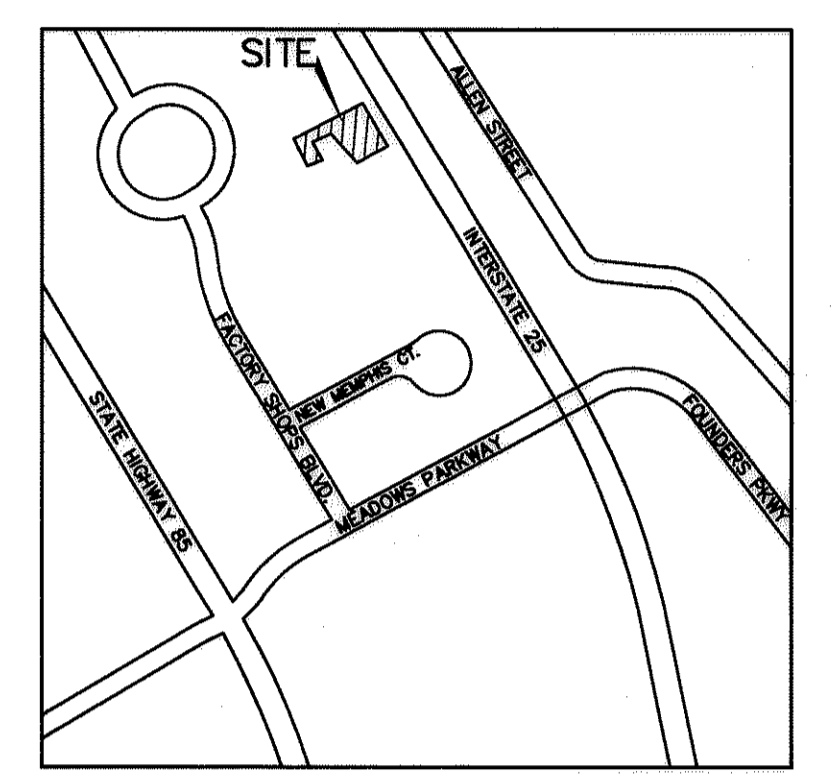


CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN, AMENDMENT NO.3

(FORMERLY CASTLE PINES COMMERCIAL FILING NO. 5, AMENDMENT 2 FINAL PD SITE PLAN)
 LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

NOTES:

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNER, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATIONS. IF APPLICABLE, LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THERE ARE NO FEMA REGULATED FLOODPLAINS AND WETLANDS ON THE SITE.
4. ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CDS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
6. APPROVAL OF THE SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.



VICINITY MAP
 SCALE: 1"=1000'

LEGAL DESCRIPTION:

LOT 2, BLOCK 1, CASTLE PINES COMMERCIAL FILING NO.5
 ACCORDING TO THE RECORDED PLAT THEREOF.

PURPOSE STATEMENT:

THE EXISTING SITE PARKING AREAS ARE BEING REMODELED IN ORDER TO INCREASE THE EFFICIENCY AND EASE OF USE BY CUSTOMERS VISITING THE OUTLET VENDORS.

SHEET INDEX:

TITLE SHEET	SHEET 1 OF 6
SITE PLAN	SHEET 2 OF 6
GRADING PLAN	SHEET 3 OF 6
UTILITY PLAN	SHEET 4 OF 6
LANDSCAPE PLAN	SHEET 5 OF 6
LANDSCAPE PLAN	SHEET 6 OF 6

SITE DATA CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLK 1		
ADDRESS:	5050 FACTORY SHOPS BLVD. CASTLE ROCK, CO 80104	
ZONING: PRESENT/PROPOSED	PD/PD	
USE: PRESENT/PROPOSED	PARKING/PARKING	
BUILDING SETBACKS:	N/A	
BUILDING SEPARATION:	N/A	
MAXIMUM HEIGHT OF BUILDING	N/A	
ITEM	SQ. FOOTAGE	%
TOTAL	225,950 SF	100
PARKING/ROAD/HARDSCAPE	176,688 SF	78.2
PLANTED AREA	49,262 SF	21.8
LANDSCAPE TOTAL	49,262 SF	21.8
TOTAL	5.187 ACRES	

PARKING TABULATION	
REQUIRED PARKING: MIN. 4 SPACES PER 1000 SF GLA MINIMUM OR 4.5 SPACES PER 1000 SF GLA MAXIMUM FOR SHOPPING CENTER (TOTAL AREA THIS PROJECT = 225,950 SF) 225,950 / 1000 = 226 MINIMUM SPACES	
EXISTING PARKING/REMODEL AREA	151
EXISTING ADA & VAN ACCESSIBLE STALLS	19
TOTAL EXISTING STALLS	160
PROVIDED PARKING/REMODEL AREA	365
ADA & VAN ACCESSIBLE STALLS	7
TOTAL NEW STALLS	372
ADDITIONAL PARKING TOTAL	212

OWNER/ DEVELOPER:

CRAIG REALTY GROUP -
 CASTLE ROCK LLC
 1500 QUAIL STREET, SUITE 100
 NEWPORT BEACH, CA 92660
 CONTACT: ALLISON TOBE

CIVIL ENGINEER

TERRA NOVA ENGINEERING, LLC
 815 S. 25TH STREET
 COLORADO SPRINGS, CO 80904
 CONTACT: MS. L DUCETT, P.E.



OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN:

CRAIG REALTY GROUP-CASTLE ROCK, LLC, A COLORADO LIMITED LIABILITY COMPANY
 BY: EUREKA REALTY PARTNERS, INC.,
 A CALIFORNIA CORPORATION,
 MANAGER

BY: Steven L. Craig
 STEVEN L. CRAIG,
 PRESIDENT

SIGNED THIS 15th DAY OF August, 2014.

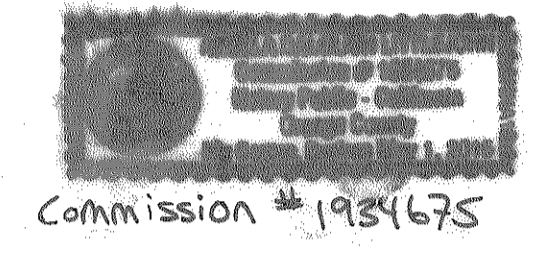
NOTARY BLOCK:

SUBSCRIBED AND SWORN TO BEFORE ME THIS 15 DAY OF August, 2014
 BY Steven L. Craig

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

COMMISSION EXPIRES 5/1/15



LIENHOLDER SUBORDINATION CERTIFICATION:

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIEN HOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON AUGUST 19, 2015 AT RECEPTION NO. 2005078237 DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT:

WELLS FARGO BANK, NATIONAL ASSOCIATION ILYA VOZİYAN
 SIGNED THIS 21 DAY OF August, 2014

NOTARY BLOCK:

SUBSCRIBED AND SWORN TO BEFORE ME THIS 21ST DAY OF AUGUST, 2014
 BY ILYA VOZİYAN

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES 11/6/2017
 COMM. # 200611

TITLE CERTIFICATION:

I, STEPHEN C. PERIN AN AUTHORIZED REPRESENTATIVE OF Fidelity National Title A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Stephen C. Perin
 AUTHORIZED REPRESENTATIVE
Fidelity National Title Insurance Co
 TITLE INSURANCE COMPANY

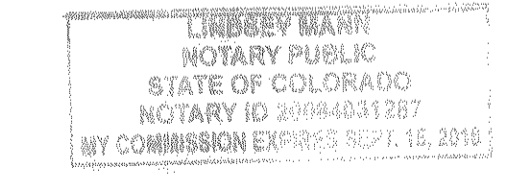
NOTARY BLOCK:

SUBSCRIBED AND SWORN TO BEFORE ME THIS 26th DAY OF August, 2014
 BY STEPHEN C. PERIN AS VICE PRESIDENT OF FIDELITY NATIONAL TITLE

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES



TOWN CERTIFICATION:

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO, ON THE 14 DAY OF September, 2014

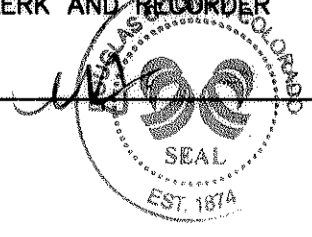
[Signature]
 DIRECTOR OF DEVELOPMENT SERVICES DATE 9/3/14

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 9:25am ON THE 4th DAY OF September, 2014 AT RECEPTION NO. 2014050326

DOUGLAS COUNTY CLERK AND RECORDER

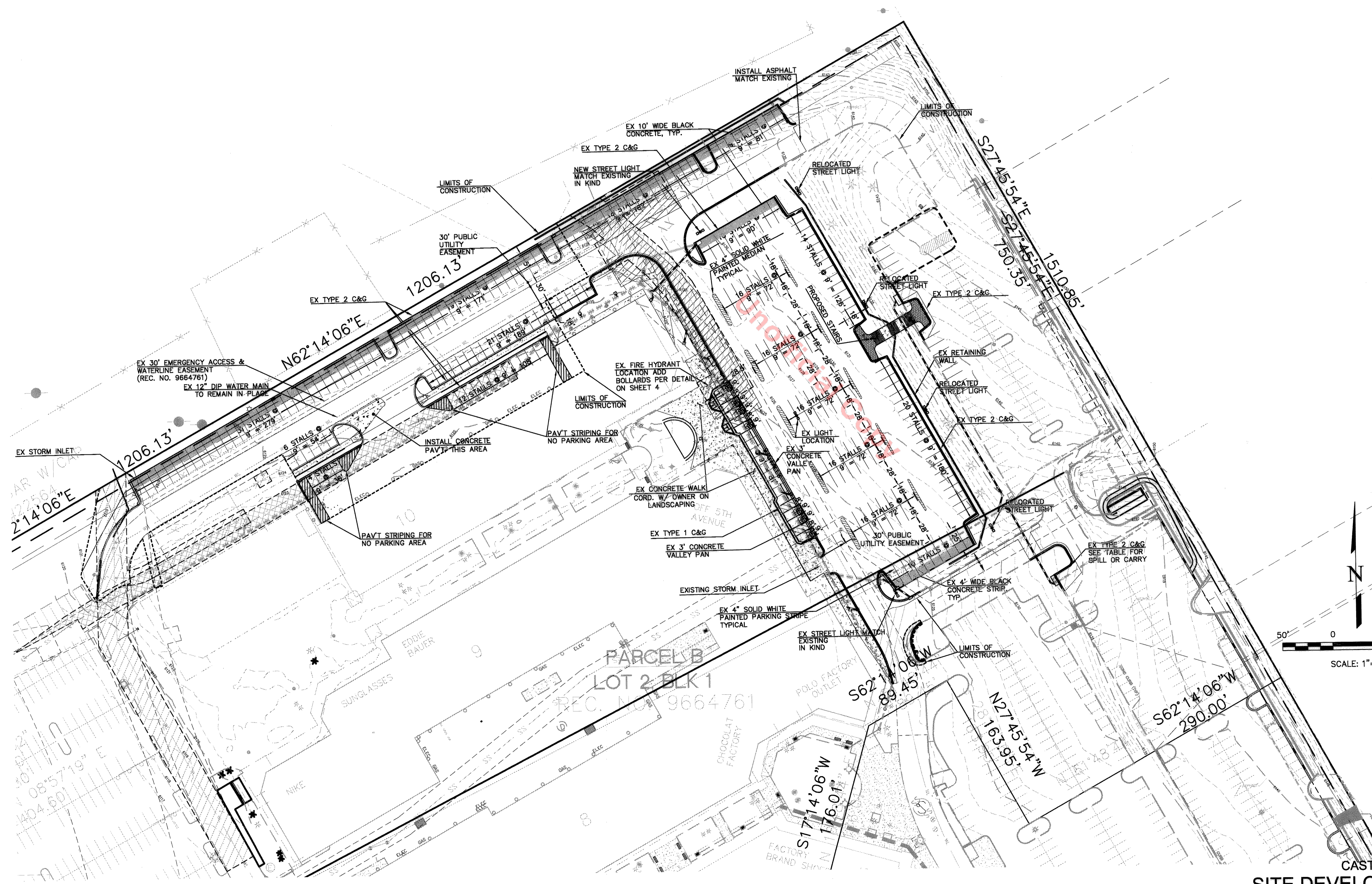
BY: [Signature]
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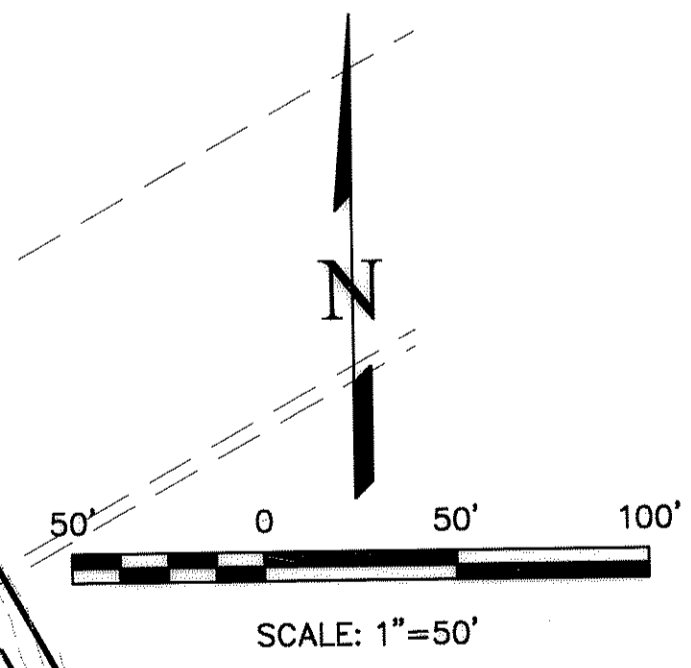
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CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN, AMENDMENT NO 3

(FORMERLY CASTLE PINES COMMERCIAL FILING NO. 5, AMENDMENT 2 FINAL PD SITE PLAN)
LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO



- NOTE:**
1. TYPICAL PARKING SPACES ARE 9'x18'.
STANDARD HANDICAP SPACES ARE 9'x18' W/5' AISLE.
VAN ACCESSIBLE HANDICAP SPACES ARE 9'x18' W/8' AISLE.
 2. ALL PARKING LOT DRIVE LANES ARE MINIMUM 24' WIDE.
 3. RETAINING WALLS 4' TALL OR HIGHER REQUIRE A BUILDING PERMIT.



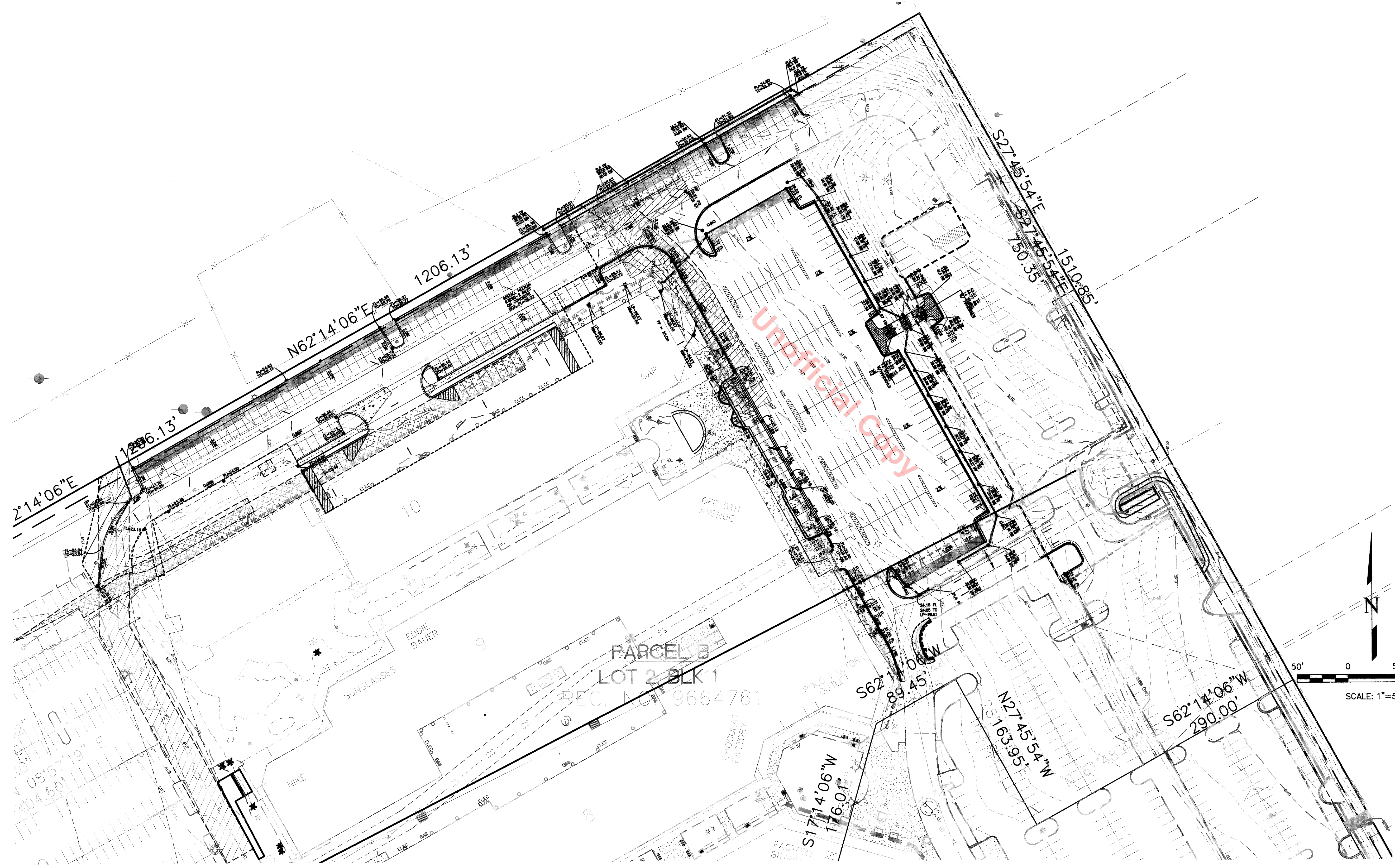
PARCEL B
LOT 2, BLK 1
REC. NO. 9664761

SDP13-0008
DATE: JULY 30, 2014
SITE & HORIZONTAL CONTROL PLAN
CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLK 1
SITE DEVELOPMENT PLAN, AMENDMENT NO.3
SHEET 2 OF 6

N:_pba\0911\CD\DRAWINGS\North Parking Lot\2012-091100 parking lot, North-SDP.dwg, 8/7/2014 9:24:58 AM

CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN, AMENDMENT NO.3

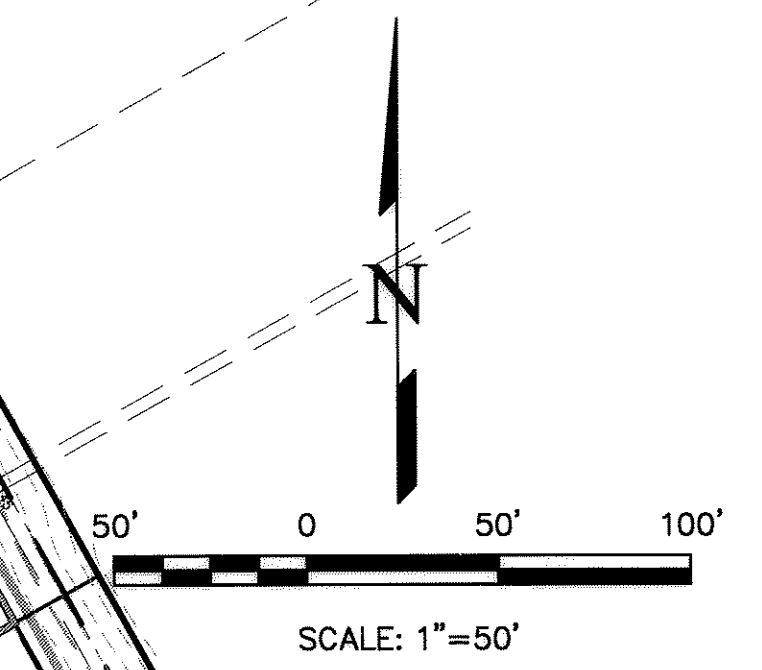
(FORMERLY CASTLE PINES COMMERCIAL FILING NO. 5, AMENDMENT 2 FINAL PD SITE PLAN)
LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO



NOTE:
1. RETAINING WALLS 4' TALL OR HIGHER REQUIRE A BUILDING PERMIT.

GRADING LEGEND

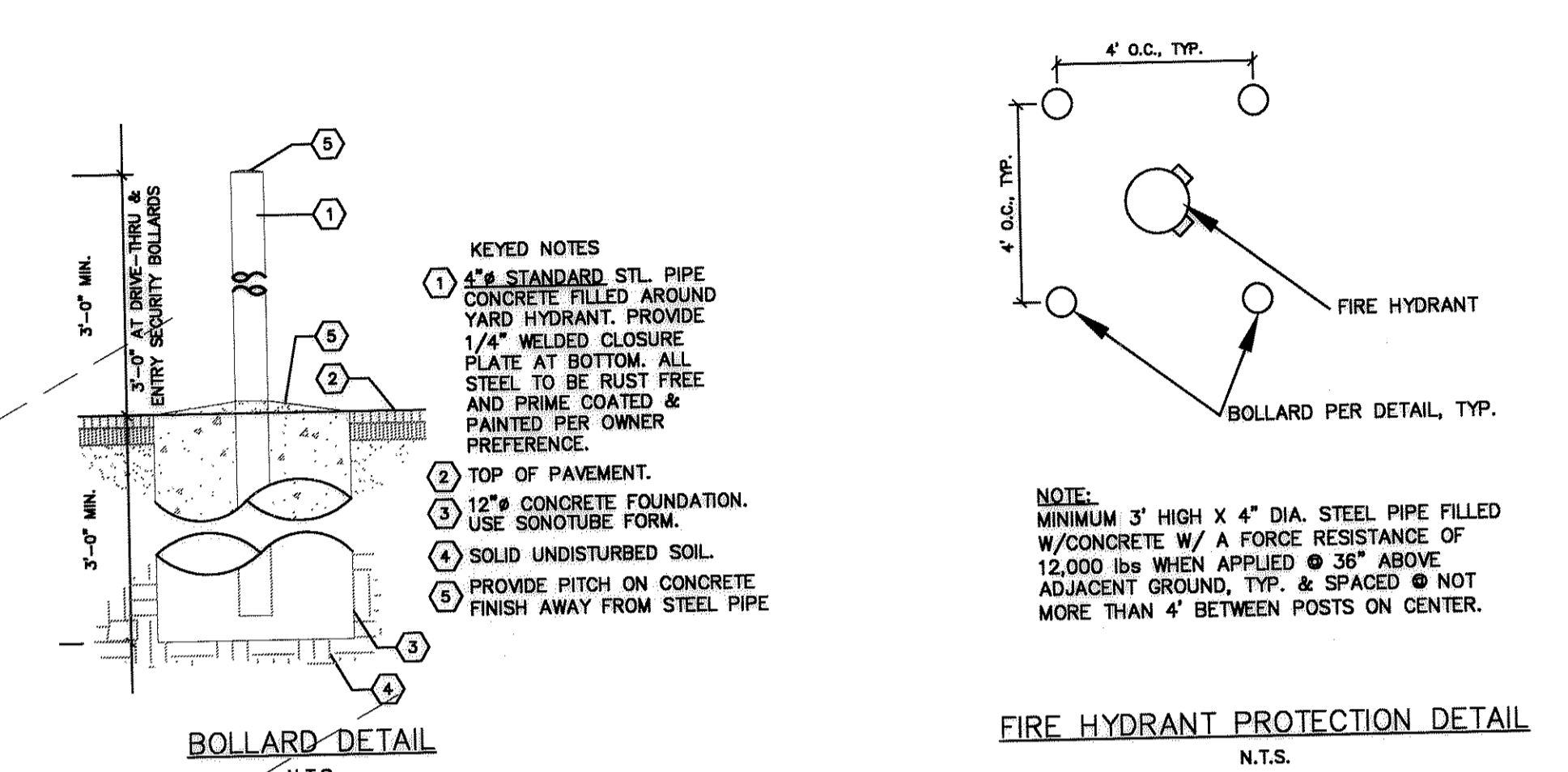
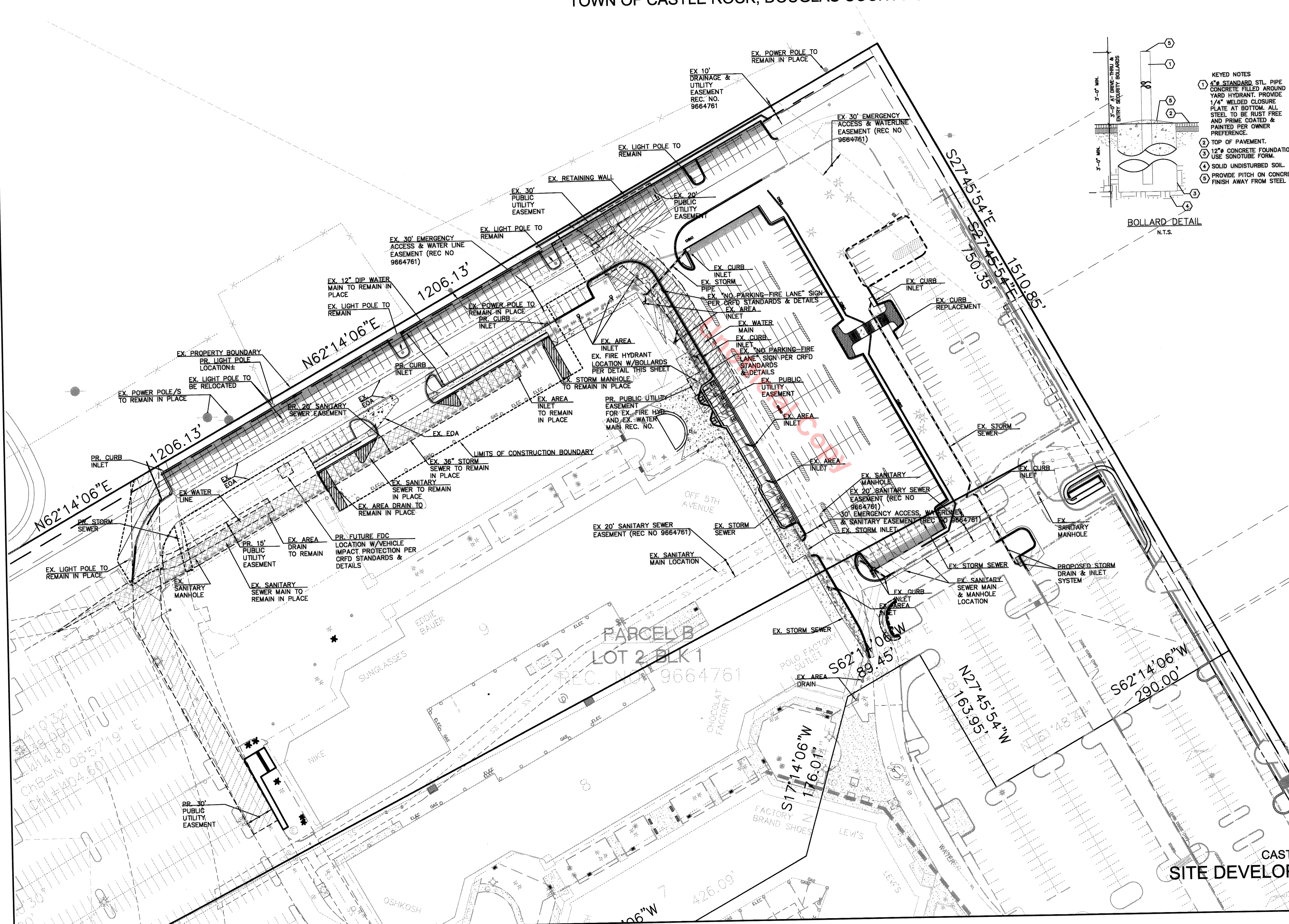
5' EX CONTOUR	----- 6805
1' EX CONTOUR	----- 6801
5' PROPOSED CONTOUR	===== 6805
1' PROPOSED CONTOUR	===== 6801
DIRECTION OF SURFACE FLOW	←
SLOPE	X.XX%
HIGH POINT	• HP
LOW POINT	• LP



SDP13-0008
DATE: JULY 30, 2014
GRADING PLAN
CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLK 1
SITE DEVELOPMENT PLAN AMENDMENT NO. 3
SHEET 3 OF 6

CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN, AMENDMENT NO.3

(FORMERLY CASTLE PINES COMMERCIAL FILING NO. 5, AMENDMENT 2 FINAL PD SITE PLAN)
LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO



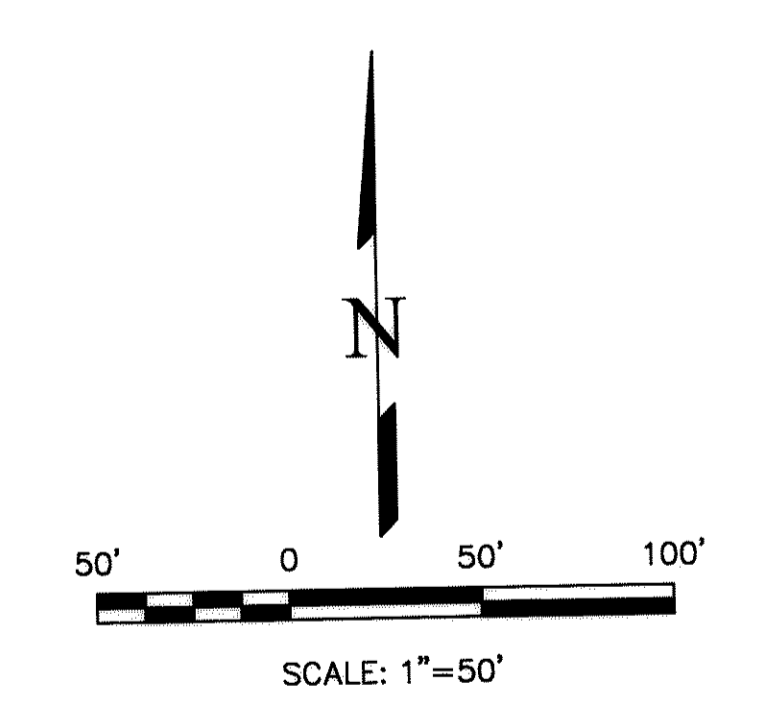
- KEYED NOTES**
1. 3" STANDARD STL. PIPE CONCRETE FILLED AROUND YARD HYDRANT. PROVIDE 1/4" WELDED CLOSURE PLATE AT BOTTOM. ALL STEEL TO BE RUST FREE AND PRIME COATED & PAINTED PER OWNER PREFERENCE.
 2. TOP OF PAVEMENT.
 3. 12" CONCRETE FOUNDATION. USE SONOTUBE FORM.
 4. SOLID UNDISTURBED SOIL.
 5. PROVIDE PITCH ON CONCRETE FINISH AWAY FROM STEEL PIPE.

NOTE:
MINIMUM 3' HIGH X 4" DIA. STEEL PIPE FILLED W/CONCRETE W/ A FORCE RESISTANCE OF 2,000 LBS WHEN APPLIED @ 36" ABOVE ADJACENT GROUND, TYP. & SPACED @ NOT MORE THAN 4' BETWEEN POSTS ON CENTER.

- UTILITY NOTE**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE CONTRACTOR SHALL COORDINATE/PROVIDE THE FIRE DEPARTMENT WITH AN ACCESS PLAN FOR THE DEMOLITION AND ACCESS TO THE FIRE SPRINKLER FDC AND SPRINKLER RISER ROOM ON THE NORTH/WEST PORTION OF BUILDING 10 DURING CONSTRUCTION.

UTILITY LEGEND

EXISTING WATER MAIN
EXISTING SANITARY SEWER



Terra Nova
Engineering, Inc.
"Creative Civil Engineering Solutions"

815 S. 25TH STREET
COLORADO SPRINGS, CO 80904
OFFICE: 719-635-6422
FAX: 719-635-6426
www.tnesinc.com

SDP13-0008
DATE: JULY 30, 2014

UTILITY PLAN
CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLK 1
SITE DEVELOPMENT PLAN, AMENDMENT NO. 3
SHEET 4 OF 6

N:\pba\091100\DRAWINGS\North Parking lot\North-SDP.dwg, 8/7/2014 9:27:01 AM

CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN, AMENDMENT NO.3

(FORMERLY CASTLE PINES COMMERCIAL FILING NO. 5, AMENDMENT 2 FINAL PD SITE PLAN)
LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

Landscape Plans Prepared By:

Kirby Smith & Associates, Inc.
Land Planning • Site Design • Landscape Architecture
6201 So. Hudson Ct., Centennial, CO 80121
(303) 694-9484 FAX (303) 694-9272
Castle Rock Design Certificate No. 5141
Expiration: March 1, 2015

Signature _____ Date _____

- PLANT LEGEND**
- EP Existing Pine
 - To Be Removed
 - SPR Spring Snow Crab Existing
 - Existing Juniper
 - DBB Dwarf Burning Bush Existing -5'x4'
 - GFP Goldfinger Potentilla 3'x4'
 - PON Ponderosa Pine 40'x25'
 - BRA Brandywine Crab 25'x20'
 - SPR Spring Snow Crab 20'x15'
 - CRC Canada Red Chokecherry-8' Clump 25'x20'
 - IMP Imperial Locust 35'x25'
 - SUN Sunburst Locust 30'x25'
 - B5G Spanish Gold Broom 4'x6'
 - MKR Oregon Grape Holly 6' X 6'
 - MCO Compact Oregon Grape Holly 3' X 4'-5'
 - CPL Common Purple Lilac 15'x8'
 - DGM Dwarf Ginnala Maple 8'x8'
 - GFP Goldfinger Potentilla 3'x4'
 - CIS Castina Plum 8'x6'
 - RSA Russian Sage 4'x3'
 - SSK Saskatoon Serviceberry 10' X 8'
 - BMS Blue Mist Spruce 3'x3'
 - VMO Mohican Viburnum 6' X 6'
 - AVG Blue Avena Grass 2'x2'
 - LBG Little Bluestem 30'-40'x2'
 - Decorative Boulders 2'-3'x3'-4'

Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional: Kirby Smith
Town of Castle Rock Registration #: 5141 State of Colorado License Landscape Architect #: 430
Company Name: Kirby Smith & Associates, Inc. Address: 6201 So. Hudson Ct., Centennial, CO 80121
Phone: 303-694-9484 Email: KSAKIRBY@AOL.com Date: 6/25/14

Grass Construction Area	Min. Landscaped Area (In Sq. Ft.)	Turfgrass List Species (Area in Sq. Ft.)	Nonliving Ornamental (Area in Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Salt Prep Amounts (In cu yds per 1000 sq.ft.)	Separate Irrigation Service Connections
174,131	x.10 = 17,413	Turf Type Tall Fescue Mix 3,081	± 2900	35	35	70	262	4	Existing
39,825	Provided	22,111	Low Growth Seed Mix						
Parking Lot (Area in Sq. Ft.)	Parking Lot Landscaped Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq. Ft.)	No. of Interior Landscaped Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
81,047	x.10 = 8,105	2,919	2,919 Native Grass	± 550	4	12 ft.	16	13	32
24,887	24,887	Total Provided							

CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE

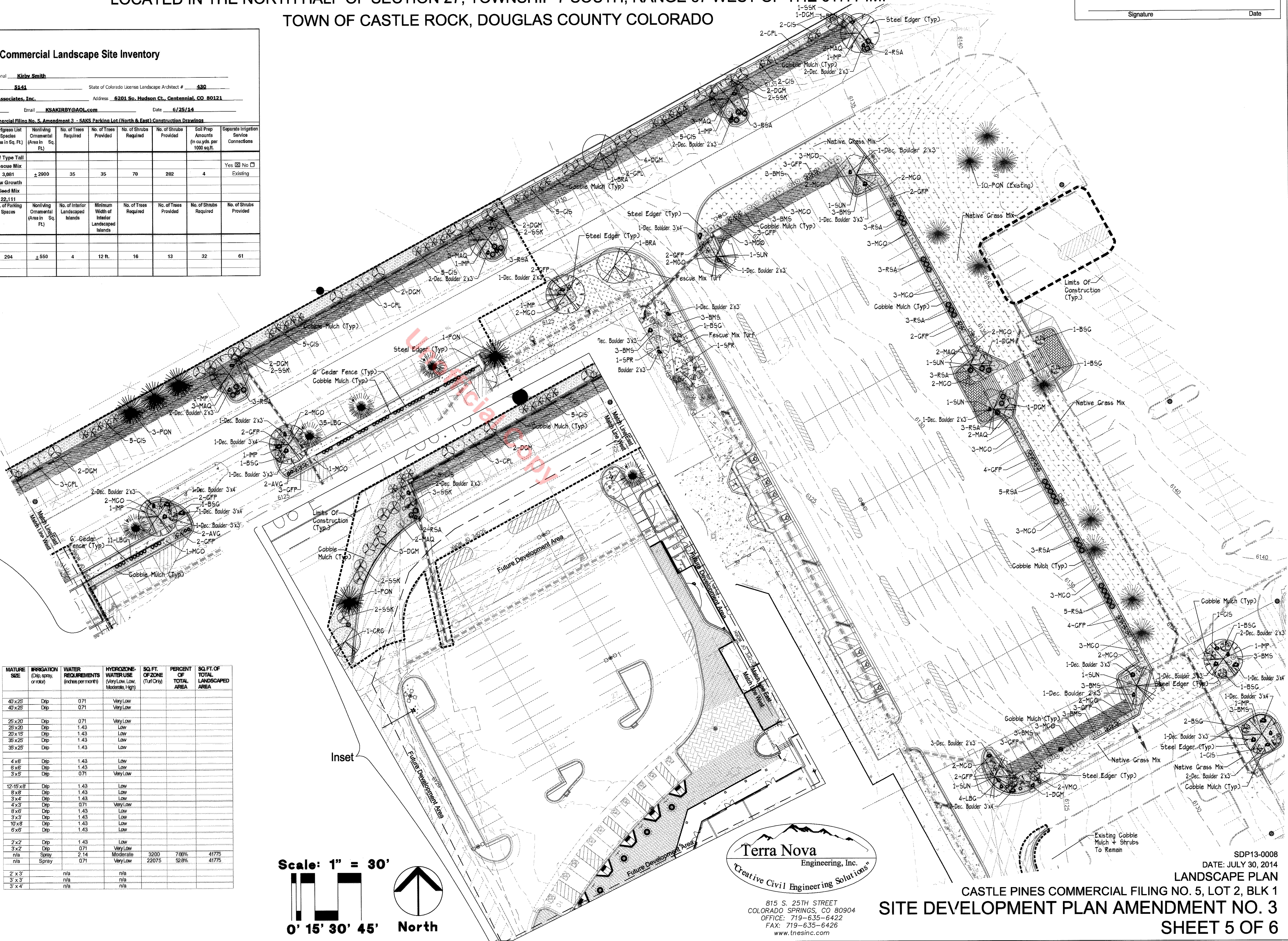
TOWN APPROVAL BLOCK
TOWN OF CASTLE ROCK APPROVAL PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM DATE OF DEVELOPMENT SERVICES APPROVAL

RECOMMENDED APPROVAL:

ENGINEERING DIVISION _____ DATE _____

APPROVED BY: _____ DATE _____

DEVELOPMENT SERVICES DIRECTOR _____ DATE _____



PLANT & MATERIALS SCHEDULE

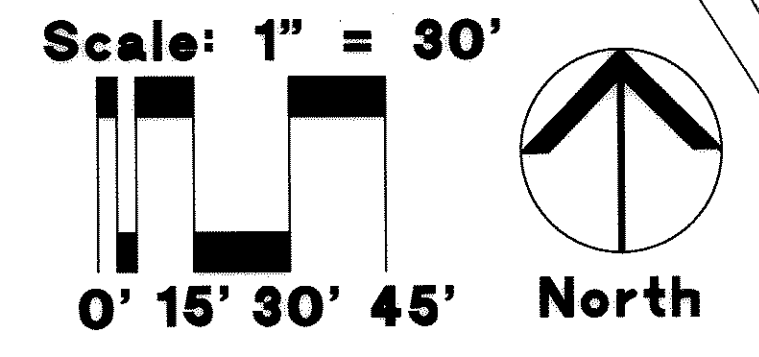
QTY.	ITEM	COMMON NAME	SCIENTIFIC NAME	SIZE	Comments	MATURE SIZE	IRRIGATION (Drip, spray, or other)	WATER REQUIREMENTS (inches per month)	HYDROZONE WATER USE (Very Low, Low, Moderate, High)	SQ. FT. OF ZONE (Turf Only)	PERCENT OF TOTAL AREA	SQ. FT. OF TOTAL LANDSCAPED AREA
10	PON	Ponderosa Pine	Pinus ponderosa	Existing		40'x25'	Drip	0.71	Very Low			
4	PON	Ponderosa Pine	Pinus ponderosa	Existing	B&B	40'x25'	Drip	0.71	Very Low			
1	CRC	Canada Red Chokecherry	Prunus virginiana 'Canada Red'	1.5' Cal	B&B	25'x20'	Drip	0.71	Very Low			
2	BRA	Brandywine Crab	Malus x 'Brandywine'	1.5' Cal	B&B	25'x20'	Drip	1.43	Low			
2	SPR	Spring Snow Crab	Malus x 'Spring Snow'	1.5' Cal	B&B	20'x15'	Drip	1.43	Low			
9	IMP	Imperial Honeylocust	Gleditsia triacanthos 'Imperial'	2' Cal	B&B	35'x25'	Drip	1.43	Low			
6	SUN	Sunburst Honeylocust	Gleditsia triacanthos 'Sunburst'	2' Cal	B&B	35'x25'	Drip	1.43	Low			
9	B5G	Brown Spanish Gold	Cytisus purgans 'Spanish Gold'	5 Gal	20' Min. Ht.	4'x6'	Drip	1.43	Low			
4	MCO	Mahonia/Oregon Grape	Mahonia aquifolium	5 Gal	20' Min. Ht.	6'x6'	Drip	1.43	Low			
67	MCO	Compact Mahonia/Oregon Grape	Mahonia aquifolium 'Compacta'	5 Gal	20' Min. Ht.	3'x5'	Drip	0.71	Very Low			
13	CPL	Common Purple Lilac	Syringa vulgaris	5 Gal	18-24' multi-stem	12'x15'x8'	Drip	1.43	Low			
23	DGM	Dwarf Ginnala Maple	Acer ginnala 'Compacta'	5 Gal	18-24' multi-stem	8'x8'	Drip	1.43	Low			
39	GFP	Goldfinger Potentilla	Potentilla fruticosa 'Goldfinger'	5 Gal	24' multi-stem	3'x4'	Drip	1.43	Low			
41	RSA	Russian Sage	Perovskia atriplicifolia	5 Gal	24' multi-stem	4'x3'	Drip	0.71	Very Low			
41	CIS	Castina Plum/Hurricane Sand Cherry	Prunus x castana	5 Gal	35' multi-stem	8'x6'	Drip	1.43	Low			
3	BMS	Blue Mist Spruce	Caryopteris x clandonensis	5 Gal	18-24' multi-stem	3'x3'	Drip	1.43	Low			
13	SSK	Saskatoon Serviceberry	Aamelanchier alnifolia	5 Gal	24' multi-stem	10'x8'	Drip	1.43	Low			
2	VMO	Mohican Viburnum	Viburnum lentiana 'Mohican'	5 Gal	24' multi-stem	6'x6'	Drip	1.43	Low			
4	AVG	Blue Avena Chat Grass	Helictotrichon sempervirens	1 Gal	12' Min Spread	2'x2'	Drip	1.43	Low			
50	LBG	Little Bluestem	Schizachyrium scoparium 'Blues'	1 Gal	Min. 24' oc	3'x2'	Drip	0.71	Very Low	3200	7.68%	4175
n/a	Turf	Turf Type Tall Fescue	Festuca dwarf hybrids mix	Sod	n/a	n/a	Spray	2.14	Moderate	22075	50.8%	4175
n/a	DRILL	Low-Growth Drill Mix	See seed mix with GESCO Detail #17	Seed	n/a	n/a	Spray	0.71	Very Low	22075	50.8%	4175
27	Non-Lichen	Lichen Covered Boulders	Owner To Select	2'x3'	24'-30' Ht.	2' x 3'	n/a	n/a	n/a			
8	Non-Lichen	Lichen Covered Boulders	Owner To Select	3'x3'	24'-30' Ht.	3' x 3'	n/a	n/a	n/a			
7	Non-Lichen	Lichen Covered Boulders	Owner To Select	3'x4'	24'-30' Ht.	3' x 4'	n/a	n/a	n/a			

Turf Areas: Approx. 3,081 square feet total - To be sodded with Turf Type Tall Fescue (dwarf hybrids mix), or Town approved equal.

Dryland Grass Areas: Approx. 22,111 square feet total - To be sodded with Douglas County & Castle Rock Low-Growth Drill Seed Mix (see notes), or Town approved equal.

Cobble Mulch Beds: Approx. 13,757 square feet total - White River Cobble 3'-4", or owner approved equal.

Steel Edger: Approx. 118 linear feet - Rolled top, 14 gage, Ryersons, or owner approved equal.



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Creative Civil Engineering Solutions

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SDP13-0008
DATE: JULY 30, 2014
LANDSCAPE PLAN
CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLK 1
SITE DEVELOPMENT PLAN AMENDMENT NO. 3
SHEET 5 OF 6

CALL UTILITY NOTIFICATION CENTER OF COLORADO 811 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE

CASTLE PINES COMMERCIAL FILING NO. 5, LOT 2, BLOCK 1 SITE DEVELOPMENT PLAN, AMENDMENT NO.3

Landscape Plans Prepared By: Kirby Smith & Associates, Inc. Land Planning • Site Design • Landscape Architecture 6201 So. Hudson Ct. Centennial, CO 80121 (303) 694-9484 FAX (303) 694-9272 Castle Rock Design Certificate No. 5141 Expiration: March 1, 2015

(FORMERLY CASTLE PINES COMMERCIAL FILING NO. 5, AMENDMENT 2 FINAL PD SITE PLAN)

LOCATED IN THE NORTH HALF OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

TOWN APPROVAL BLOCK TOWN OF CASTLE ROCK APPROVAL PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM DATE OF DEVELOPMENT SERVICES APPROVAL

RECOMMENDED APPROVAL:

ENGINEERING DIVISION DATE

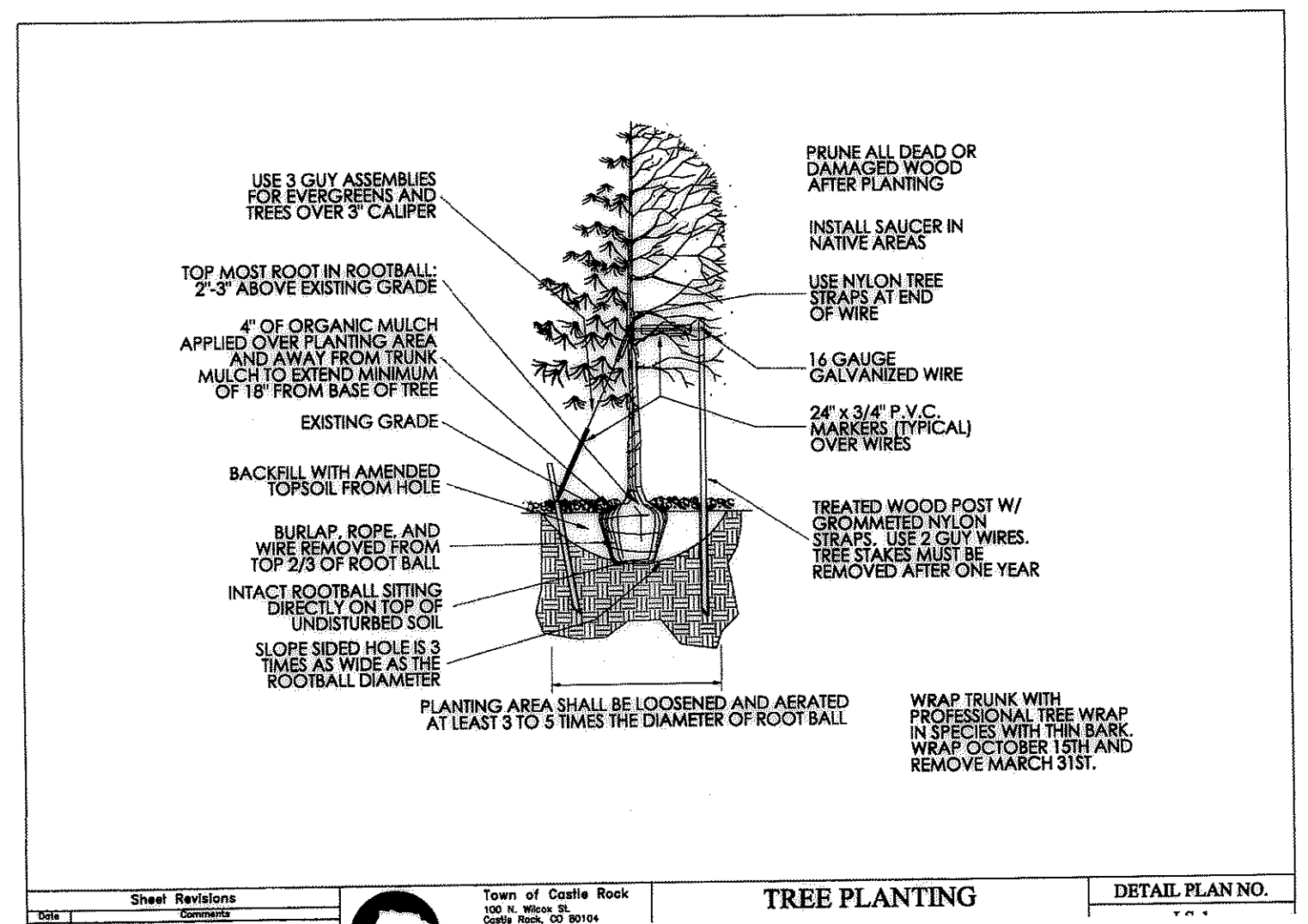
APPROVED BY: DATE

DEVELOPMENT SERVICES DIRECTOR DATE

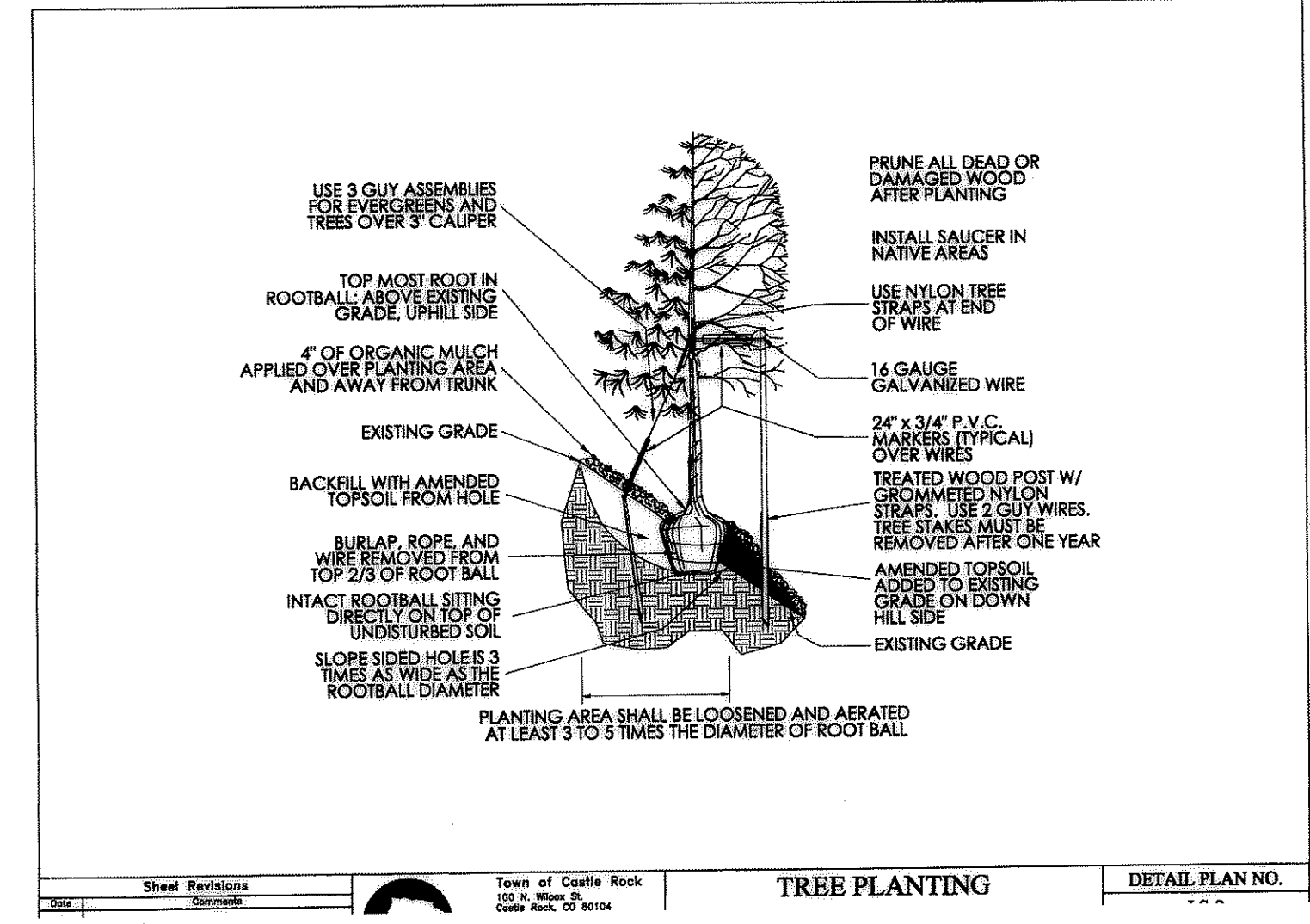
TOWN STANDARD LANDSCAPE NOTES (Continued)

- NON-IRRIGATED NATIVE SEED AREAS SHALL BE INSTALLED USING THE TOWN OF CASTLE ROCK GRADING EROSION AND SEDIMENT CONTROL MANUAL (GESC) STANDARD DETAIL #17.
- NO TURF AND/OR OVERHEAD IRRIGATION ON SLOPES 3:1.
- NO SLOPES GREATER THAN 3:1 ARE PERMITTED.
- TOP SOIL, IF DISTURBED SHALL BE STOCK PILED AND REUSED ON THE SITE.
- NO MORE THAN SIXTY PERCENT OF THE TOTAL COMMERCIAL LANDSCAPE AREA SHALL INCLUDE IRRIGATED TURF GRASS.
- NO INDIVIDUAL PLANT MAY HAVE SUPPLEMENTAL WATER DEMAND GREATER THAN 15" PER GROWING SEASON.
- SQUARE FOOTAGES ARE ESTIMATED FINAL LANDSCAPE AREA COVERAGES SHALL MEET OR EXCEED COVERAGES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.

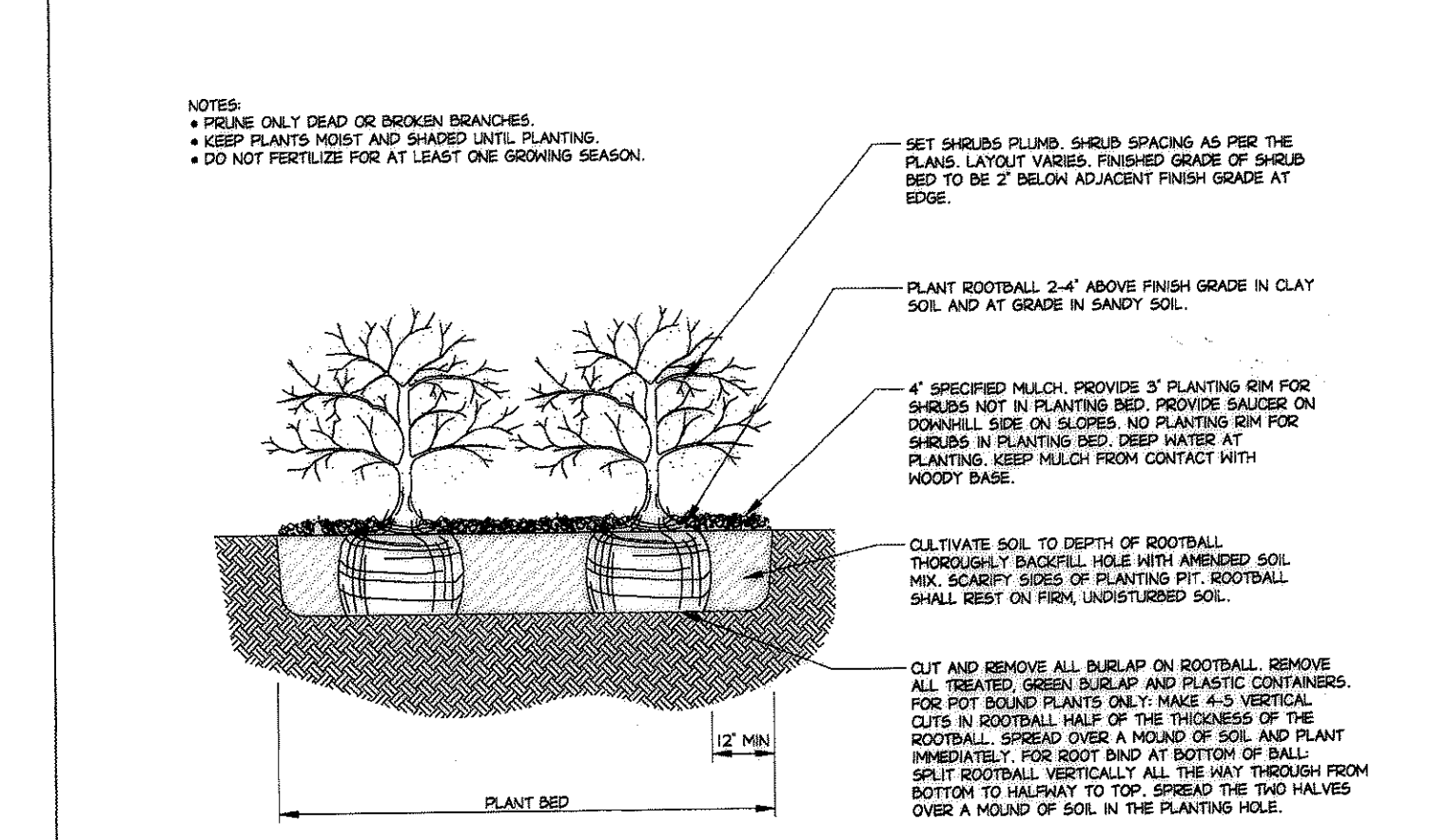
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHALL BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET. PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.



TREE PLANTING DETAIL PLAN NO. 1



TREE PLANTING DETAIL PLAN NO. 2



SHRUB PLANTING DETAIL PLAN NO. 1

SEEDING AND MULCHING INSTALLATION NOTES

- SEE PLAN VIEW FOR: AREA OF SEEDING AND MULCHING; TYPE OF SEED MIX (LOW-GROWTH).
- ALL BRANDS FURNISHED SHALL BE FREE FROM SUCH NOXIOUS SEEDS AS RUSSIAN OR CANADIAN THISTLE, COARSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAF WEEED AND LEAMY SPURGE.
- THE SEEDER SHALL FURNISH TO THE CONTRACTOR A SIGNED STATEMENT CERTIFYING THAT THE SEED FURNISHED IS FROM A LOT THAT HAS BEEN TESTED BY A RECOGNIZED LABORATORY. SEED WHICH HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR IN STORAGE WILL NOT BE ACCEPTABLE. SEED TICKETS SHALL BE PROVIDED TO THE TOWN OF CASTLE ROCK UPON REQUEST.
- DRILL SEEDING MIX SHALL CONFORM TO THE TABLE ON THE RIGHT.
- IF THE SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED, THE SUBCONTRACTOR MUST COMPENSATE FOR A LOWER PERCENTAGE OF PURITY OR GERMINATION BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT. THE TAGS FROM THE SEED MIXES MUST BE SUPPLIED TO CONTRACTOR AND FORWARDED TO THE TOWN GESC INSPECTOR.
- THE FORMULA USED FOR DETERMINING THE QUANTITY OF PURE LIVE SEED (PLS) SHALL BE: (POUNDS OF SEED) X (PURITY) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS).
- PERMANENT SEED MIX SHALL BE USED UNLESS OTHERWISE APPROVED BY THE TOWN. THE USE OF TEMPORARY NURSERY CROP IN PERMANENT AND LOW GROW MIXES IS PROHIBITED.
- ALL AREAS TO BE SEEDED AND MULCHED SHALL HAVE NATIVE TOPSOIL SPREAD TO A DEPTH OF AT LEAST 6 INCHES (LOOSE DEPTH). HALL ROADS AND OTHER COMPACTED AREAS SHALL BE LOOSENEED TO A DEPTH OF 6 INCHES PRIOR TO SPREADING TOPSOIL.
- FOR PERMANENTLY IRRIGATED AREAS OR FOR AREAS WITH INADEQUATE TOPSOIL SHALL BE AMENDED PRIOR TO SEEDING. SOIL AMENDMENTS SHALL BE IN COMPLIANCE WITH THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS. MINIMUM SOIL AMENDMENTS SHALL BE 3 CUBIC YARDS OF ORGANIC MATTER PER 1,000 SQUARE FEET OF SEEDING AREAS, AND SHALL BE TILLED TO A MINIMUM DEPTH OF 6 INCHES. SOIL AMENDMENTS SHALL BE TESTED TWO WEEKS IN ADVANCE OF ITS USE AND RESULTS SUBMITTED FOR APPROVAL BY THE TOWN GESC INSPECTOR.
- SOIL IS TO BE THOROUGHLY LOOSENEED (TILLED) TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO SEEDING. THE TOP 6 INCHES OF THE SEED BED SHALL BE FREE OF ROCKS GREATER THAN 4 INCHES AND SOIL CLOSURE GREATER THAN 2 INCHES. SEEDING OVER ANY COMPACTED AREAS THAT HAVEN'T BEEN THOROUGHLY LOOSENEED SHALL BE REJECTED. SEED BED SHALL BE FREE OF WEEDS.
- SEED IS TO BE APPLIED USING A MECHANICAL DRILL TO A DEPTH NOT LESS THAN 1/4 INCH AND NOT MORE THAN 3/4 INCH. ROW SPACING SHALL BE NO MORE THAN 6 INCHES. MATERIAL USED FOR MULCH SHALL CONSIST OF WEED-FREE LONG-STEMMED STRAW. AT LEAST 50 PERCENT OF THE MULCH, BY WEIGHT, SHALL BE 10 INCHES OR MORE IN LENGTH. MULCH SHALL BE APPLIED AND MECHANICALLY ANCHORED TO A DEPTH OF AT LEAST 4 INCHES. MULCH SHALL BE APPLIED AT A RATE OF 4000 LB. OF STRAW PER ACRE.
- IF THE PERMITTEE DEMONSTRATES TO THE TOWN THAT IT IS NOT POSSIBLE TO DRILL SEED, SEED IS TO BE UNIFORMLY BROADCAST AT TWO TIMES THE DRILLED RATE, THEN LIGHTLY HARROWED TO PROVIDE A SEED DEPTH OF APPROXIMATELY 1/4 INCH, THEN ROLLED TO COMPACT, THEN MULCHED AS SPECIFIED ABOVE.
- SEEDING AND MULCHING SHALL BE COMPLETED WITHIN 30 DAYS OF INITIAL EXPOSURE OR 7 DAYS AFTER GRADING IS SUBSTANTIALLY COMPLETE IN A GIVEN AREA (AS DEFINED BY THE TOWN). THIS MAY REQUIRE MULTIPLE MOBILIZATIONS FOR SEEDING AND MULCHING.
- ALL SEEDED AREAS SHALL BE MULCHED, CRIMPED AND TACKIFIED WITHIN 24-HOURS AFTER SEEDING.
- TACKIFIER SHOULD BE UTILIZED TO HELP WITH STRAW DISPLACEMENT. THE TACKIFIER MATERIAL SHALL CONSIST OF A FREE-FLOWING, NON-CORROSIVE POWDER PRODUCED FROM THE NATURAL PLANT SUM OF PLANTAIN INSULARIS (DESERT INDIANWHEAT), APPLIED IN A SLURRY WITH WATER AND WOOD FIBER. THE POWDER SHALL POSSESS THE FOLLOWING PROPERTIES: PROTEIN CONTENT = 1.0 +/- 0.2%, ASH CONTENT = 2.7 +/- 0.2%, FIBER = 4.0 +/- 0.4%, PH 12 SOLUTION = 6.5 +/- 6.0. THE MATERIAL SHALL NOT CONTAIN ANY MINERAL FILLER, RECYCLED CELLULOSE FIBER, CLAYS, OR OTHER SUBSTANCES, WHICH MAY INHIBIT GERMINATION OR GROWTH OF PLANTS. THE WOOD FIBER AND WATER USED SHALL CONFORM TO THE COLORADO HIGHWAY SPECIFICATIONS, SUBSECTION 213.02 - PAR. 8, AND SUBSECTION 209.02, RESPECTIVELY. APPLY TACKIFIER WITH A SPRAY NOZZLE, DISPENSING A MIST THAT WILL UNIFORMLY COVER THE SURFACE.

SEEDING AND MULCHING MAINTENANCE NOTES

- ALL SEEDED AREAS SHALL BE KEPT IN A DAMP CONDITION, FOR AT LEAST 14 DAYS AFTER SEEDING, TO AID IN GERMINATION. SOME FORM OF IRRIGATION MAY BE REQUIRED TO ACHIEVE THIS GOAL, AND IT IS THE RESPONSIBILITY OF THE GESC MANAGER TO PERFORM ANY AND ALL NECESSARY OPERATIONS TO THAT END. THE MEANS OF IRRIGATION SHALL BE APPROVED BY THE TOWN AND PROPER PERMITS OBTAINED PRIOR TO IMPLEMENTATION. DIRECT FLOWS FROM LARGE HOSES, WHICH COULD DAMAGE THE MULCH, WILL NOT BE PERMITTED.
- SEEDED AND MULCHED AREAS SHALL BE INSPECTED FOR REQUIRED COVERAGE MONTHLY FOR A PERIOD OF TWO YEARS FOLLOWING INITIAL SEEDING. REPAIRS AND RE-SEEDING AND MULCHING SHALL BE UNDERTAKEN AFTER THE FIRST AND SECOND GROWING SEASON OR AS REQUESTED BY THE GESC INSPECTOR FOR ANY AREAS FAILING TO MEET THE REQUIRED COVERAGE.
- RILL AND GULLY EROSION SHALL BE FILLED WITH TOPSOIL PRIOR TO RESEEDING. THE RESEEDING METHOD SHALL BE APPROVED BY THE TOWN.
- NOXIOUS WEEDS SHALL BE CONTROLLED IN A MANNER ACCEPTABLE TO THE TOWN.
- REQUIRED COVERAGE FOR STANDARD, OPEN SPACE AND LOW GROWTH SEED MIXES SHALL BE DEFINED AS FOLLOWS:
 - THREE (3) PLANTS PER SQUARE FOOT WITH A MINIMUM HEIGHT OF 3 INCHES. THE 3 PLANTS PER SQUARE FOOT SHALL BE OF THE VARIETY AND SPECIES LISTED IN THE TOWN OF CASTLE ROCK-APPROVED MIX.
 - NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY TWO-FEET OR EQUIVALENT).
 - FREE OF ERODED AREAS.
 - FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH SECTION 6.4 OF THE GESC CRITERIA MANUAL.
- REQUIRED COVERAGE FOR TURF GRASS AREAS SHALL BE DEFINED AS FOLLOWS:
 - AT LEAST 80% VEGETATIVE COVER OF GRASS SPECIES PLANTED.
 - NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY TWO-FEET OR EQUIVALENT).
 - FREE OF ERODED AREAS.
 - FREE FROM INFESTATION OF NOXIOUS WEEDS IN ACCORDANCE WITH SECTION 6.4 OF THE GESC CRITERIA MANUAL.

SPECIES	VARIETY	NOTES	% IN MIX	POUNDS OF PLS PER ACRE
BIG BLUESTEM	KAW	PNWS	10	1.1
YELLOW INDIAN GRASS	CHEYENNE	PNWS	10	1
SWITCHGRASS	BLACKWELL	PNWS	5	0.4
SIDECATS GRAMA	VAUGHN	PNWB	10	0.9
WESTERN WHEATGRASS	ARRIBA	PNCS	10	1.6
BLUE GRAMA	HACHITA	PNWB	10	0.3
THICKSPIKE WHEATGRASS	CRITANA	PNCS	10	1
PRAIRIE SANDREED	GOSHEN	PNWS	10	0.7
GREEN NEEDLEGRASS	LODORM	PNCS	1	1
SLEAZER WHEATGRASS	PRYOR	PNCS	5	0.6
STREAMBANK WHEATGRASS	SODAR	PNCS	5	0.6
TOTAL				9.2

SPECIES	VARIETY	NOTES	% IN MIX	POUNDS OF PLS PER ACRE
SMOOTH BROWNGRASS	LINCOLN	PICS	30	3.9
INTERMEDIATE WHEATGRASS	UNL	PICS	30	4.5
PURBESCENT WHEATGRASS	LUNA	PICS	30	4.2
AMERICAN WHEATGRASS	N/A	A/CB	10	0.8
TOTAL				11.0

DOUGLAS COUNTY AND CASTLE ROCK LOW-GROWTH DRILL SEEDING MIX

SPECIES	VARIETY	NOTES	% IN MIX	POUNDS OF PLS PER ACRE
BUFFALOGRASS	TEXOKA	PNWS	20	3.2
BLUE GRAMA	HACHITA	PNWB	20	0.6
WESTERN WHEATGRASS	ARRIBA	PNCS	20	3.2
SIDECATS GRAMA	VAUGHN	PNWB	20	1.8
THICKSPIKE WHEATGRASS	CRITANA	PNCS	10	1
STREAMBANK WHEATGRASS	SODAR	PNCS	10	1.2
TOTAL				11.0

SM SEEDING AND MULCHING 17

CR1	3/11	GESC MANUAL UPDATES	DVD

NOTE: SCALES SHOWN ARE FOR 22"x34" SHEETS; ADJUST ACCORDINGLY FOR 11"x17" SHEETS.



UTILITIES DEPARTMENT Stormwater Engineering Division

GESC GRADING, EROSION, AND SEDIMENT CONTROL

GESC PLAN STANDARD NOTES AND DETAILS

SHEET 10 OF 14

Town of Castle Rock Development Services

SHRUB PLANTING

DETAIL PLAN NO. 1-S-3 Sheet 1 of 1

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