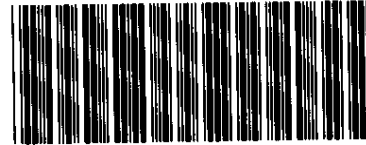


PLAT IDENTIFICATION SHEET



2003178167 4 PGS

OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$41.00
4 PGS

GRANTOR:

(owner/signer)

810 New Memphis Court, LLC

2003178167
12/18/2003 11:03 AM

GRANTEE:

(subdivision name or name of plat)

Castle Pines Commercial Filing No. 4
1st Amendment, Lot 5
Final PD Site Plan

LEGAL:

(section-township-range)

27-7-67

LEGAL DESCRIPTION:

LOT 5, CASTLE PINES COMMERCIAL FILING NO. 4, 1ST AMENDMENT, ACCORDING TO THE RECORDED PLAT THEREOF, DOUGLAS COUNTY, COLORADO, CONTAINING 32,260 SQUARE FEET (0.74 ACRES), MORE OR LESS.

OWNER'S CERTIFICATE:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE CASTLE PINES COMMERCIAL FILING NO. 4, 1ST AMENDMENT, LOT 5, FINAL PD IN THE TOWN OF CASTLE ROCK.

SIGNED THIS 18th DAY OF November 2002

G. STEPHEN LONG, MANAGER, 810 NEW MEMPHIS COURT, L.L.C.

SIGNED THIS 18th DAY OF November 20 2002

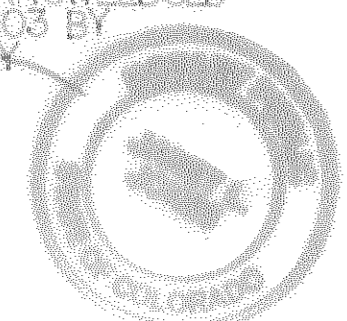
SHELLEY L. LONG

810 NEW MEMPHIS COURT, L.L.C.

G. STEPHEN LONG, MANAGER

NOTARY: STATE OF Colorado COUNTY OF Denver

THE FOREGOING OWNER'S CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF November 2002 BY G. STEPHEN LONG, AN AUTHORIZED SIGNATORY.



NOTARY:

STATE OF Colorado COUNTY OF Denver

THE FOREGOING OWNER'S CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF November A.D., 2002 BY G. STEPHEN LONG, AN AUTHORIZED SIGNATORY.

BY Janet A. Jones, NOTARY PUBLIC

WITNESS MY HAND AND SEAL

1030 17th St Suite 300, MY COMMISSION EXPIRES 12/31/05

ADDRESS: Denver CO 80265 CITY STATE ZIP CODE

STATE OF Colorado COUNTY OF Denver

THE FOREGOING OWNER'S CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF November A.D., 2002 BY SHELLEY L. LONG, AN AUTHORIZED SIGNATORY.

BY Janet A. Jones, NOTARY PUBLIC

WITNESS MY HAND AND SEAL

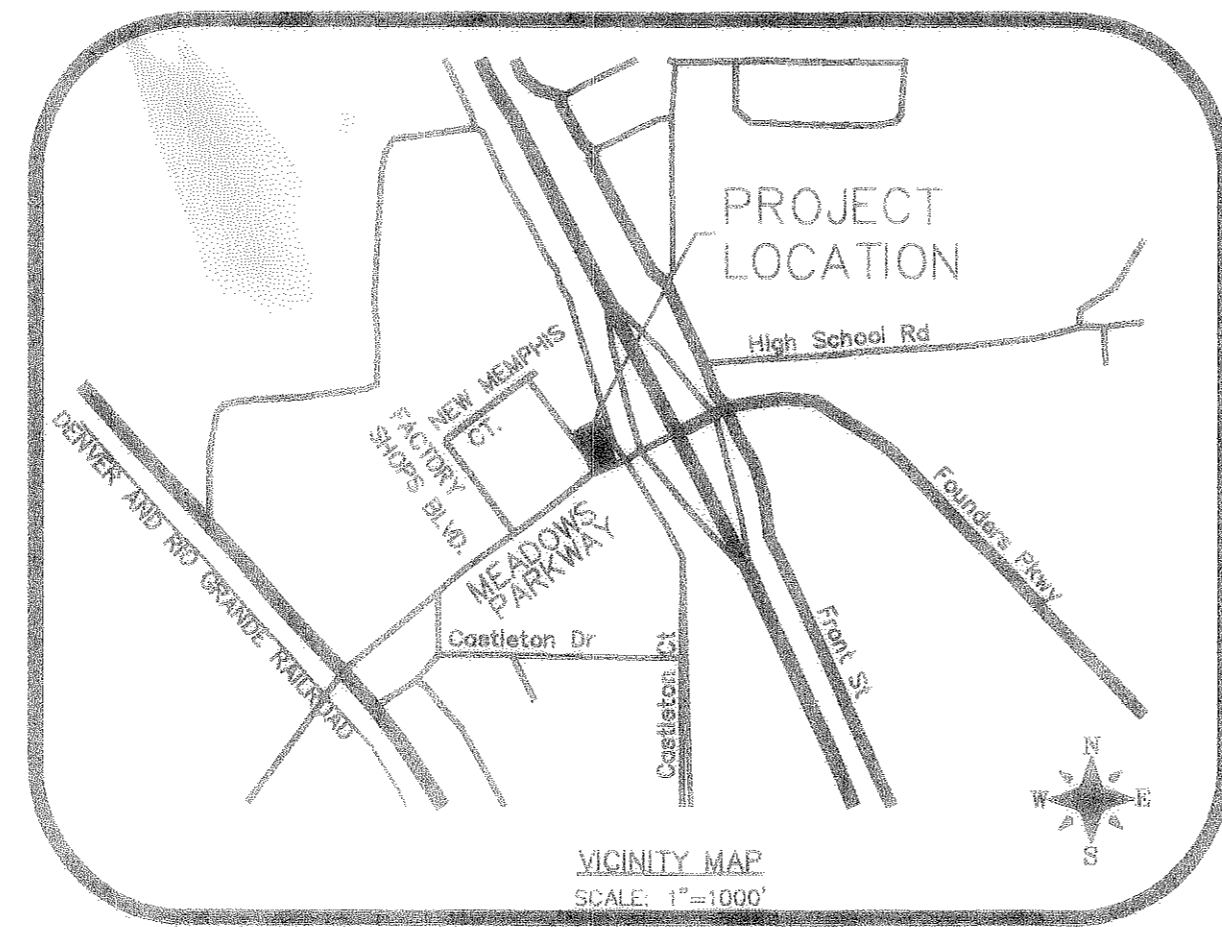
1030 17th St Suite 300, MY COMMISSION EXPIRES 12/31/05

ADDRESS: Denver CO 80265 CITY STATE ZIP CODE

STATE OF Colorado COUNTY OF Denver

CASTLE PINES COMMERCIAL FILING NO. 4, 1ST AMENDMENT, LOT 5 FINAL P.D. SITE PLAN

LOT 5, CASTLE PINES COMMERCIAL FILING NO. 4 1ST AMENDMENT BEING A PART OF SE 1/4 OF SECTION 27, T. 7 S, R 67 W OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SHEET INDEX

- 1 TITLE SHEET
2 SITE PLAN
3 LANDSCAPING PLAN
4 BUILDING ELEVATIONS

DEVELOPER

JARRE CREEK RANCH BREWERY 3640 NORTH HIGHWAY 67 SADALIA, COLORADO 80135 ATTN: STEPHEN LONG PH 303-572-9300

TITLE CERTIFICATE:

I, CHARLES BERGMAN, AN AUTHORIZED REPRESENTATIVE OF North American Title Insurance Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIEN HOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 3rd DAY OF January, 2003

AUTHORIZED REPRESENTATIVE: North American Title Insurance Company

NAT FILE 106386

NOTARY:

STATE OF Colorado COUNTY OF Denver S.S.

THE FOREGOING TITLE CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 3rd DAY OF January A.D., 2003 BY Charles Bergman, AN AUTHORIZED SIGNATORY, OF North American Title Insurance Company.

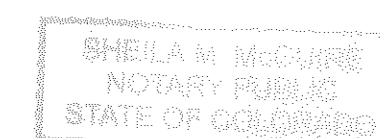
BY Sheila M. McGuire, NOTARY PUBLIC

WITNESS MY HAND AND SEAL

80234 Wolff St.

MY COMMISSION EXPIRES 9/22/04

ADDRESS: Westminster CO 80031 CITY STATE ZIP CODE



SURVEYOR'S CERTIFICATE:

I, MICHAEL C. CREGGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE CASTLE PINES COMMERCIAL FILING NO. 4, 1ST AMENDMENT, LOT 5, FINAL PD SITE PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

DATE OF SURVEY DECEMBER 17, 1999

Michael C. Cregger, MICHAEL C. CREGGER PLS NO. 22564

PLANNING COMMISSION RECOMMENDATION:

THE FINAL PD SITE PLAN FOR THE CASTLE PINES COMMERCIAL FILING NO. 4, 1ST AMENDMENT, LOT 5, FINAL PD WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 26th DAY OF JUNE, 2003.

CHAIRMAN: Emily Vador DATE: 2/1/03

ATTEST: Kathleen A. Salmen, PLANNING DIRECTOR OF DEVELOPMENT SERVICES DATE: 5-12-03

TOWN COUNCIL APPROVAL:

THE FINAL PD SITE PLAN FOR THE CASTLE PINES COMMERCIAL FILING NO. 4, 1ST AMENDMENT, LOT 5, FINAL PD WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 13th DAY OF July, 2003.

MAYOR: Sheila M. McGuire DATE: 2/1/03

ATTEST: Kelly Munn, TOWN CLERK DATE: 2-11-03

CLERK AND RECORDER'S CERTIFICATE:

THE FINAL PD SITE PLAN FOR THE CASTLE PINES COMMERCIAL FILING NO. 4, 1ST AMENDMENT, LOT 5, FINAL PD WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 11:03 A.M., ON THE 19th DAY OF December, 2003 IN BOOK 1111 PAGE 1111

DOUGLAS COUNTY CLERK AND RECORDER: Christine Davis DEPUTY

BASIS OF BEARINGS:

BEARINGS BASED ON "ALTA/ACSM LAND TITLE SURVEY" FOR LOT 5, CASTLE PINES COMMERCIAL FILING NO. 4, 1ST AMENDMENT, PREPARED BY TST INC. OF DENVER ON DECEMBER 17, 1999, JOB NO. 771-023.

BENCHMARK:

BENCHMARK: RMC TBM#95026, SOUTHEAST BONNET BOLT ON FIRE HYDRANT AT THE SOUTH SIDE OF MEADOWS PARKWAY, APPROX. 300' EAST OF CENTERLINE OF U.S.HWY. #85. ELEVATION = 6090.55

HOLDER OF DEED OF TRUST:

FOR: Wells Fargo Bank, N.A. BY: [Signature] NAME: [Signature] TITLE: [Signature]

STATE OF Colorado COUNTY OF Denver S.S.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF November 2002 BY [Signature] AS Wells Fargo BANK. MY COMMISSION EXPIRES 7-17-2005

WITNESS MY HAND AND SEAL BY [Signature] NOTARY PUBLIC

747 Grand Way, CASTLE ROCK CO 80109 CITY STATE ZIP CODE

HOLDER OF DEED OF TRUST

FOR: Shames-Markovitz Mortgage Company BY: [Signature] NAME: [Signature] TITLE: [Signature]

STATE OF Colorado COUNTY OF Denver S.S.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 25th DAY OF December 2002 BY [Signature] AS Shames-Markovitz Mortgage Company. MY COMMISSION EXPIRES 5/11/06

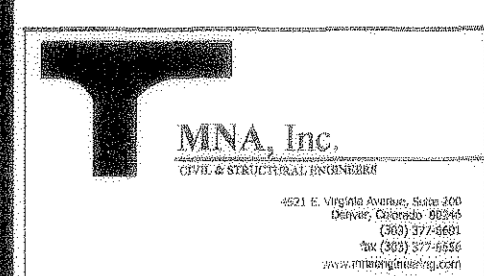
WITNESS MY HAND AND SEAL BY [Signature] NOTARY PUBLIC

9927 Monroe Dr., Thornton CO 80229 CITY STATE ZIP CODE

Unofficial Copy



BUCHANAN YONUSHEWSKI GROUP, LLC Integrated Building Solutions 825 Logan Street Denver, Colorado 80203 303.861.4800 303.861.4846 Fax

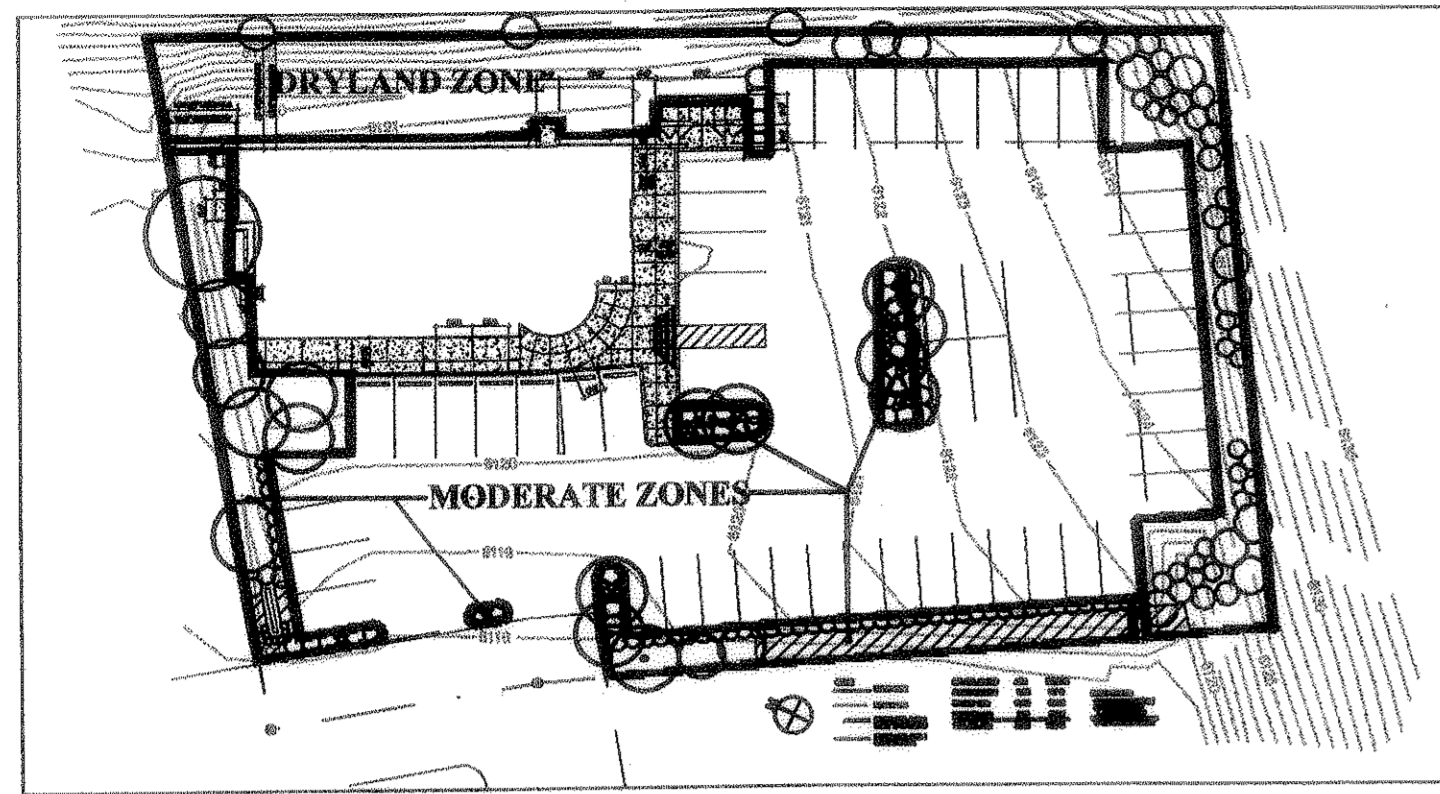


CASTLE PINES COMMERCIAL, FILING NO. 4, 1ST AMENDMENT, LOT 5 810 NORTH MEMPHIS COURT CASTLE ROCK, CO

DATE: 02-14-00 DRAWN BY: RDT CHECKED BY: MLP PROJ. NO: 20124 ISSUED FOR: DATE: SUBMITTAL: 03-27-00 RESUBMITTAL: 11-13-02

TITLE SHEET 1

F:\Projects\99073-Jarre Creek II\consult coord\Civil\JC01SP01.DWG, 11/13/2002 09:09:33 AM, Plotter-02CAD.pc3



IRRIGATION ZONE DIAGRAM

1" = 40'-0"

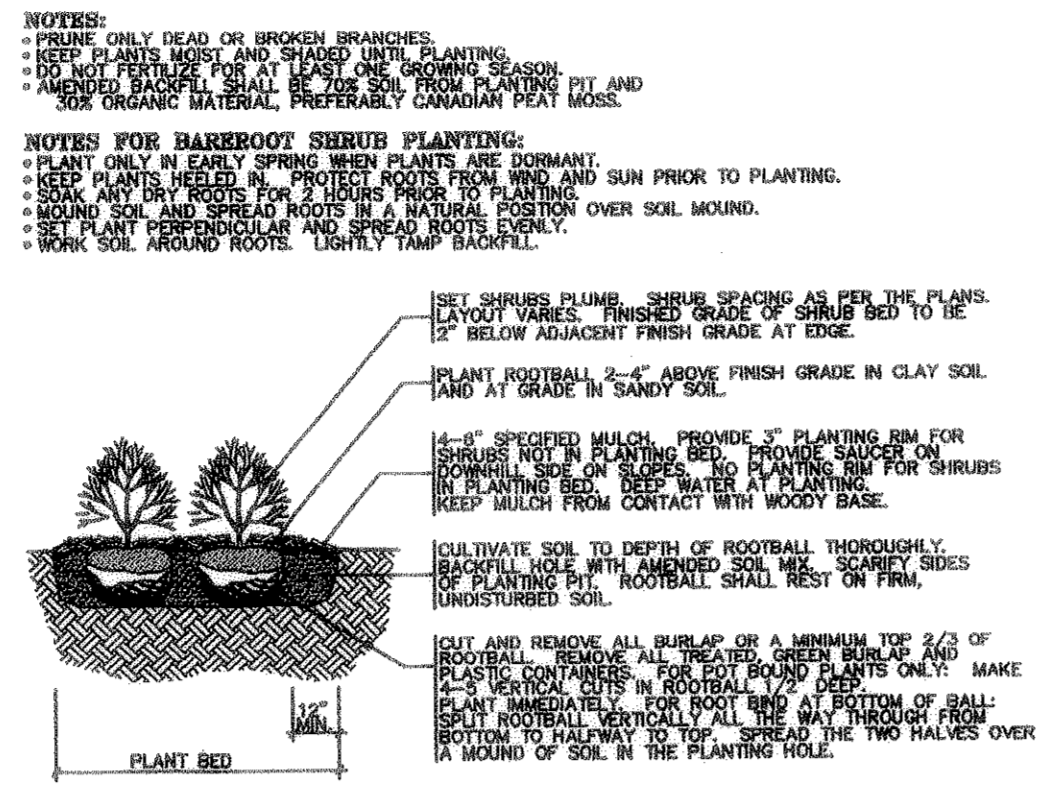
IRRIGATION NOTES

- Determine the static pressure at the point of connection and design pressure.
- The system shall be zoned and programmed to allow separate watering of dryland zone and moderate water zone as well as turf areas and shrub areas within each of the above zones.
- Obtain approval from Landscape Architect or Owner's Representative of irrigation methods to be utilized prior to completing system design.
- Obtain approval from the Landscape Architect or Owner's Representative before making any changes or substitutions from the approved design/build drawings.
- Locate all existing underground utilities prior to trenching or excavating.
- Route piping to avoid plants, root systems, groundcover, and structures. Report any discrepancies immediately to the Landscape Architect for clarification.
- Comply with applicable local plumbing codes during the installation of this system.
- Install or coordinate installation of sleeving under all paved areas.
- The minimum depth of the main line shall be 24" and 18" for all lateral lines. Backfill all trenches with clean fill free of debris.
- Install pipe, valves, controls, and outlets in accordance with the manufacturer's specifications.
- Install sprinkler head with top of head flush with grade and 6" from the edge of pavement, curb or plant bed.
- All valve manifolds shall be serviceable through minimum 10" valve boxes.
- Where possible, place the ball valves in the same valve box as the valve, which they serve.
- Slope main line for positive winter drainage and provide manual drain valves in 4" PVC sleeves at all low points. Lateral lines will contain automatic drain valves at all low points. Winterization will be accomplished using compressed air through a blow-out riser located at a point downstream from the backflow preventor.
- Coordinate points of connection and verify compliance with all applicable local plumbing codes.
- Supply a backflow preventor at the point of connection and comply with all applicable plumbing codes.
- Locate controller as directed by the architect.
- Install all electrical wiring inside the building in approved conduit by a licensed electrician.
- All control wires to be #14 GA. UF type. Splice using a dry-splice method.
- Adjust the radius and arc of each head to minimize overthrow and eliminate dry spots and adjust control system to achieve time cycles required.
- Provide an "as-built" plan and a two (2) week watering schedule to the Owner and the Landscape Architect upon completion of the project.
- Furnish two (2) quick coupling valve keys and two (2) matching hose swivels for each quick coupling valve type to the Owner upon completion of the project.
- Program the system along with the Landscape Contractor and walk through the entire system with the Landscape Contractor, Maintenance Contractor and Owner.
- Restore all disturbed areas to pre-existing condition.
- Warranty: All work is warranted for a period of one year from the date of final acceptance. Except as provided herein, the Contractor shall, at his own expense, make all needed repairs or replacements due to defective workmanship or materials, which are necessary in the judgement of the Owner or Landscape Architect during this period. The contractor shall make or undertake repairs within ten (10) days after written notice or verified communication by the Owner. If the Contractor neglects to make or undertake the repairs, the Owner may make repairs at the Contractor's expense. However, in the case of any emergency where, in the judgement of Owner, delay would cause serious loss or damage, repairs or replacements may be made without prior notice being sent to the Contractor, and the Contractor shall pay the costs thereof. Any expenses due to vandalism before final acceptance shall be borne by the Contractor. The Owner shall bear the expense for vandalism after final acceptance. The Owner shall maintain turf and planting areas after final acceptance and during the warranty period so they do not hamper proper operation of the irrigation system.

PLANTING AND SOIL PREPARATION NOTES

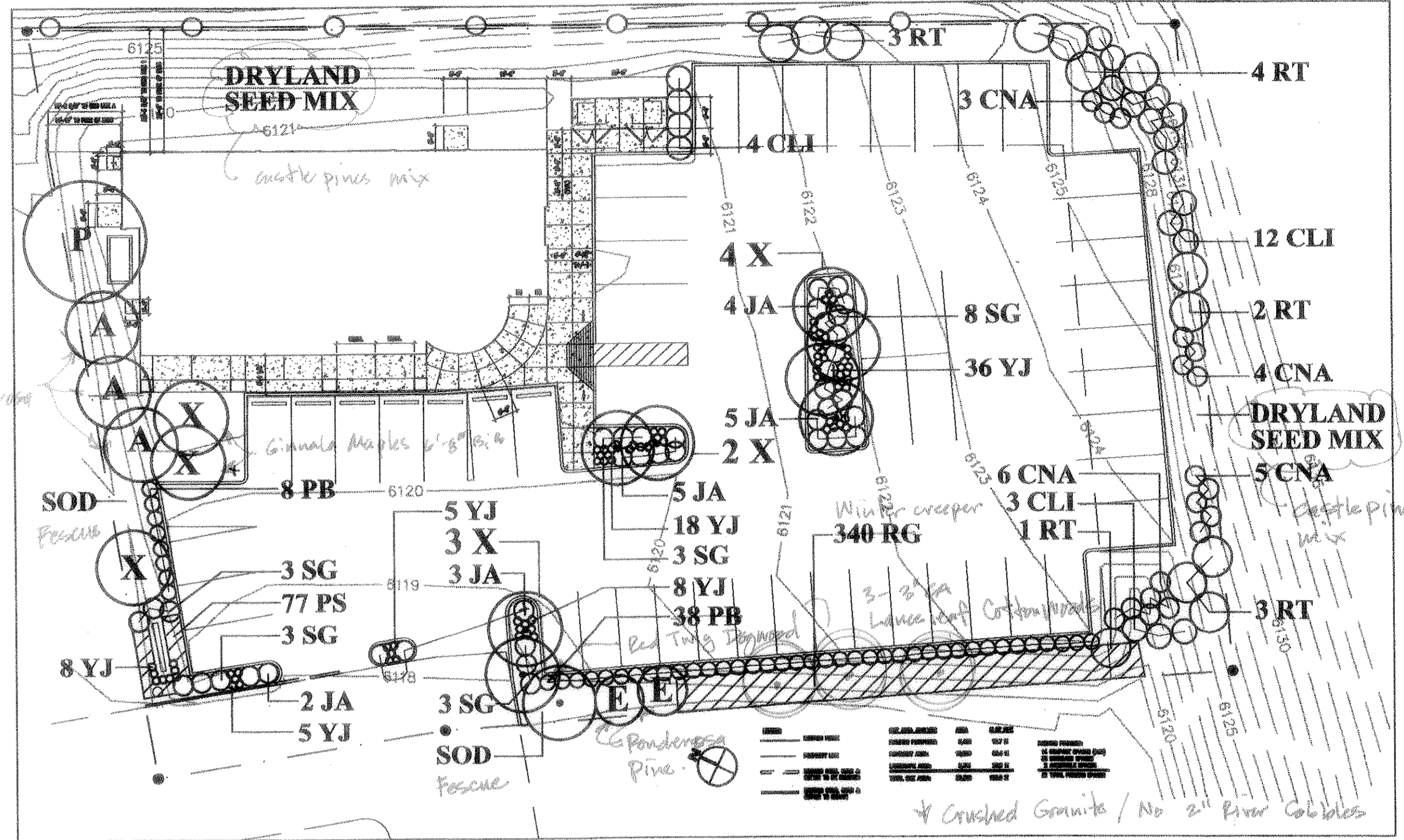
- Contractor shall verify the correct location of all underground utilities in the field prior to installation of any plant materials.
- Topsoil to be placed at a minimum depth of 18" in all parking islands. Topsoil shall be fertile, agricultural soil, free of subsoil, clay, impurities, plants, weeds, and roots. The minimum pH value of 5.4 and a maximum of 7.0.
- Place 2" river rock cobble along perimeter of all parking islands - 1'-0" wide and 6" deep. Edge with painted aluminum edger. Edger and cobble sample to be approved by landscape architect prior to installation.
- Amend all planting areas with compost free of weed seeds at a rate of 3 c.y./1,000 s.f.
- Grade topsoil and amended site soil to eliminate rough, low, or soft areas and to insure positive drainage.
- Contractor to verify positive drainage in all areas to be planted.
- All plant material shall conform to the sizes given in the plant list and shall be nursery grown in accordance with the "American Standard for Nursery Stock", latest edition.
- All planting shall be in accordance with standard American Association of Nurserymen procedures and specifications and the **Town of Castle Rock Landscape Guidelines**.
- Quantities shown on plant list are for the Contractor's convenience only and are not guaranteed to be accurate. In the event of a discrepancy between quantities shown on the plan and quantities shown on the plant list, the quantities on the plan shall apply.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for decision. The Contractor shall assume full responsibility for all necessary revision due to failure to give such notification.
- Obtain approval from Architect's or Owner's Representative before making any substitutions or changes.
- Plant material location to be staked in the field and approved by the Landscape Architect prior to planting.
- All shrubs and groundcovers shall be triangularly spaced, with spacing as shown in the planting legend, unless otherwise noted in the planting legend.
- Place plants for best appearance for review and final orientation by architect. Planting shall not be started until final subgrade has been established and approved by the architect. Under no condition shall work be done if the weather or soil conditions are not satisfactory.
- All plant beds and planting areas to be mulched with shredded organic mulch to a depth of 3" unless otherwise noted on drawings or specifications. Sample to be approved by the landscape architect.
- Refer to details for staking method, soil preparation, plant pit dimensions and backfill requirements.
- All plant beds shall be contained with a spaded edge unless otherwise noted on drawings.
- All areas disturbed off site or in the easement along the south and east property lines shall be fine graded and seeded with the following mix:

Lovington Blue			
Gramma	3.00	40	1.20
Texoka Buffalograss	16.50	10	1.70
Sandberg Bluegrass	4.00	15	0.60
Cover Sheep Fescue	4.00	10	0.40
Sodar Streambank			
Wheatgrass	11.00	25	2.75
- Provide a warranty on all work for a minimum of one year including one continuous growing season. Commence warranty on date identified in the certificate of substantial completion. Warranty to include coverage of plants from death or unhealthy conditions. Replacement plants shall be the same size and species as specified, planted in the next growing season with a new warranty commencing with the date of replacement.
- Maintain plant life immediately after placement; continue maintenance until termination of warranty. Maintenance to include weeding, applications of herbicides, remedy from damage resulting from herbicides, watering, trimming and pruning, disease control and maintenance of plant bracing equipment.



SHRUB PLANTING DETAIL

NO SCALE



LANDSCAPE PLAN

1" = 20'-0"

PLANTING REQUIREMENTS

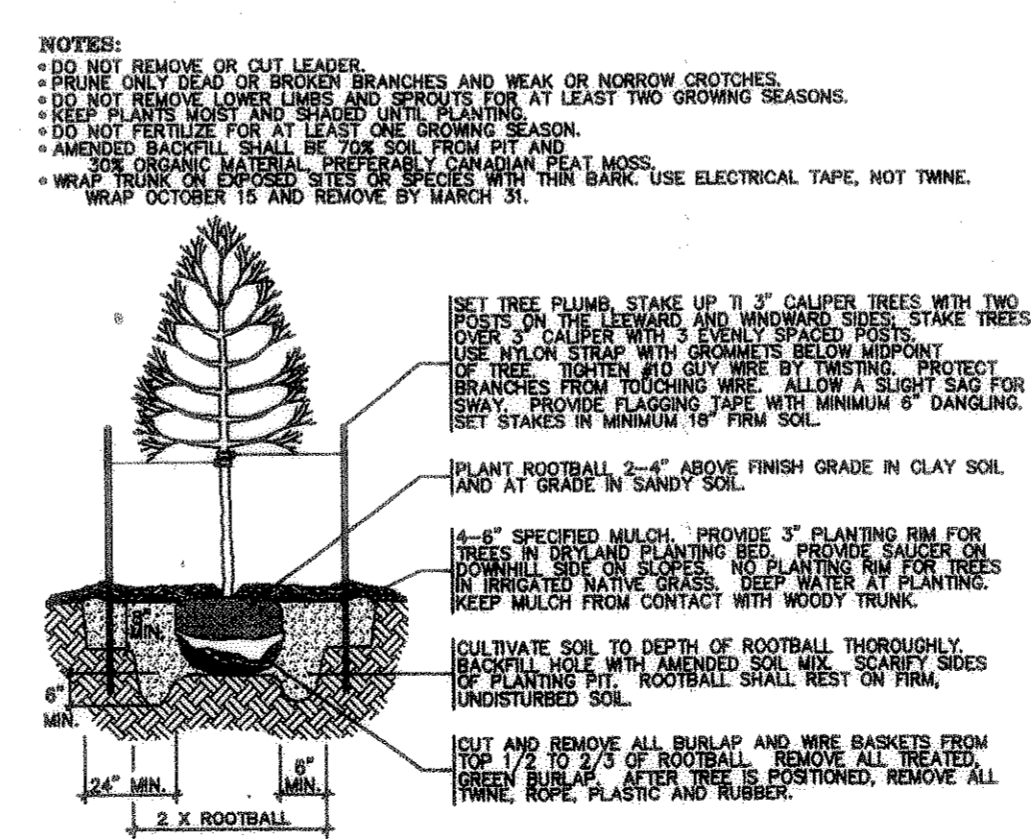
- 51 PARKING SPACES
- 11 PARKING BUFFER TREES
- 5 INTERNAL PARKING TREES AND 40 SHRUBS
- HEDGE AT PARKING, PLANTED 3' I.C.
- 2 STREET TREES

LANDSCAPE COVER SQUARE FOOTAGES

TURF	1,457 SF
SHRUB BEDS	1,154 SF
GROUNDCOVER	770 SF
NATIVE SEED	5,765 SF W/ SHRUBS PER PLAN
ORNAMENTAL NON-LIVING MATERIAL	195 SF

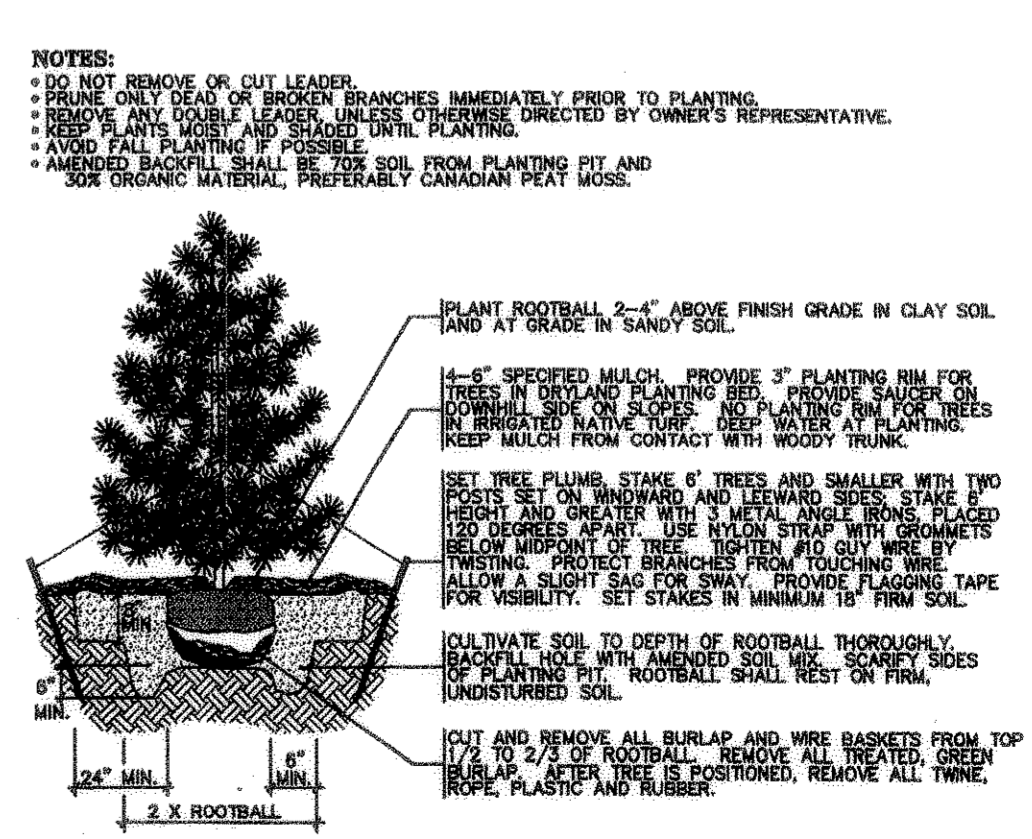
PLANT LIST

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	PLANTING REQUIREMENT CATEGORY
TREES						
3	A	ABIES CONCOLOR	WHITE FIR	8' HGT.	B&B, FULL	3 PARKING BUFFER
2	E	PINUS EDULIS	PINON PINE	6' HGT.	B&B, FULL	2 PARKING BUFFER
1	P	PINUS PONDEROSA	PONDEROSA PINE	6' HGT.	B&B, FULL TO BASE	1 PARKING BUFFER
12	X	POPULUS X ACUMINATA	LANCELEAF COTTONWOOD	3' CAL.	B&B, FULL	2 STREET, 5 PARKING BUFFER, 5 INTERNAL PARKING
SHRUBS						
19	CLI	CERACIARPUS LEDIFOLIUS INTRICATUS	MOUNTAIN MAHOGANY	5 GAL.	FULL	1 INTERNAL PARKING SHRUB
18	CNA	CHRYSOTHAMUS NAUSEOSUS ALBICAULIS	RABBITBRUSH	5 GAL.	FULL	
20	SG	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	5 GAL.	FULL, PLANT 4' I.C.	20 INTERNAL PARKING SHRUBS
19	JA	JUNIPERUS SABINA 'ARCADIA'	ARCADIA SABIN JUNIPER	5 GAL.	FULL, PLANT 4' I.C.	19 INTERNAL PARKING SHRUBS
46	PB	PRUNUS BESSEYI	WESTERN SAND CHERRY	5 GAL.	FULL, PLANT 3' I.C.	PARKING HEDGE
13	RT	RHUS TRILOBATA	THREE LEAF SUMAC	5 GAL.	FULL	
GROUNDCOVERS AND PERENNIALS						
80	YJ	MISCANTHUS SINENSIS 'YAKU JIMA'	YAKU JIMA MAIDEN GRASS	1 GAL.	FULL	
77	PS	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	4" POTS	FULL, STAKE BIODEGRADABLE NETTING OVER MULCH TO HOLD ON SLOPE, PLANT 15" I.C.	
340	RG	PHALARIS ARUNDINACEA 'PICTA'	RIBBON GRASS	4" POTS	FULL, STAKE BIODEGRADABLE NETTING OVER MULCH TO HOLD ON SLOPE, PLANT 18" I.C.	



DECIDUOUS TREE PLANTING DETAIL

NO SCALE



EVERGREEN TREE PLANTING DETAIL

NO SCALE

BUCHANAN YONUSHEWSKI GROUP, LLC
Integrated Building Solutions
825 Logan Street
Denver, Colorado 80205
303.861.4800
905.861.4846 Fax

TAPIS Associates
Landscape Architects
540 Buckley - Terrace Level
Colorado Springs, CO 80919
719.585.1540 Fax 719.585.9000

JARRE CREEK RANCH
BREWERY/RESTAURANT
CASTLE ROCK, CO

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© Buchanan Yonushewski Group, LLC, 1999

DATE: 02-14-00
DRAWN BY: BV
CHECKED BY: JW
PROJ. NO: 99073.00
ISSUED FOR: DATE:
SCHEMATICS 02-01-00
ARE Review 02-10-00

LANDSCAPE PLAN

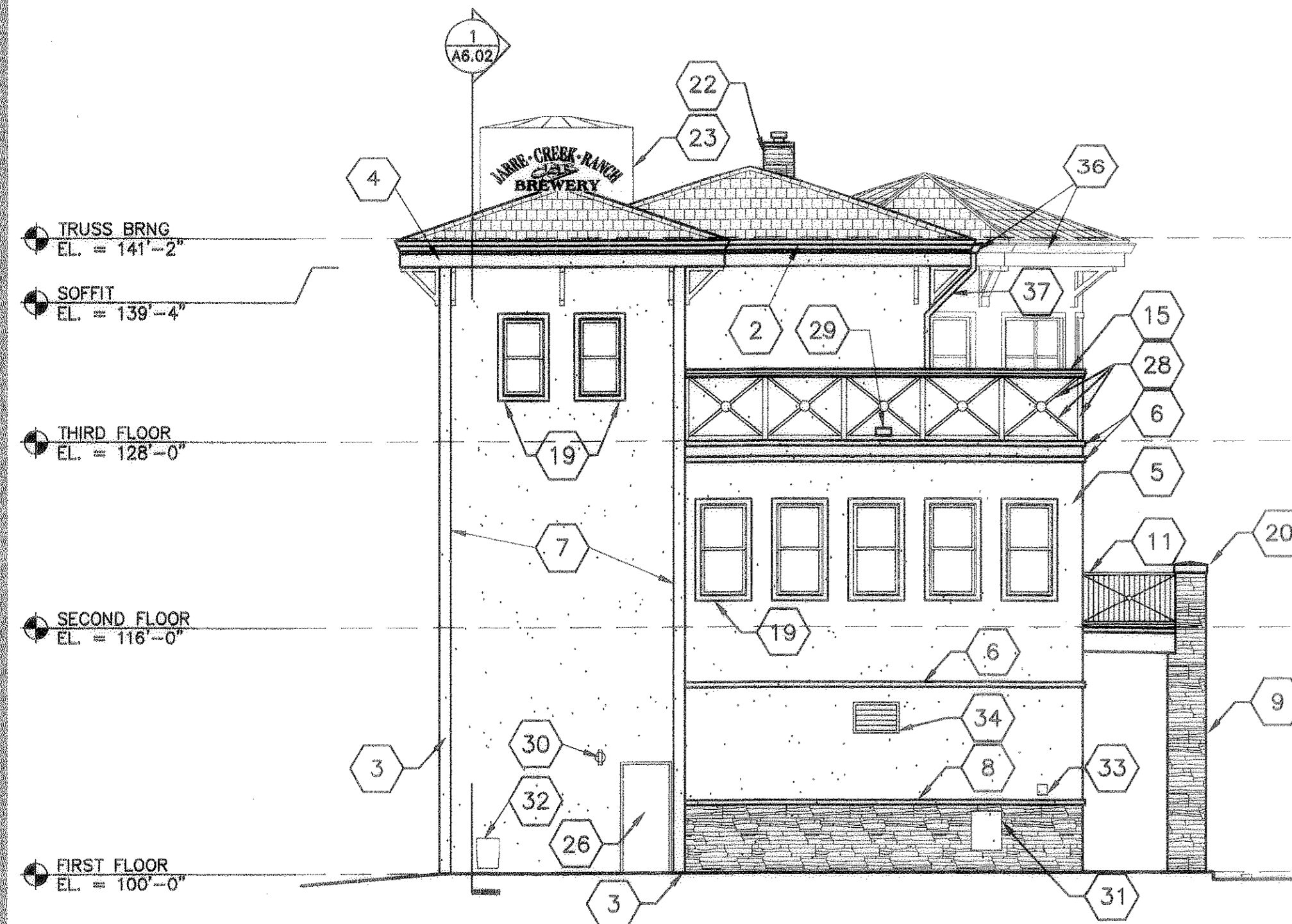
24 March 2000

L-1.0

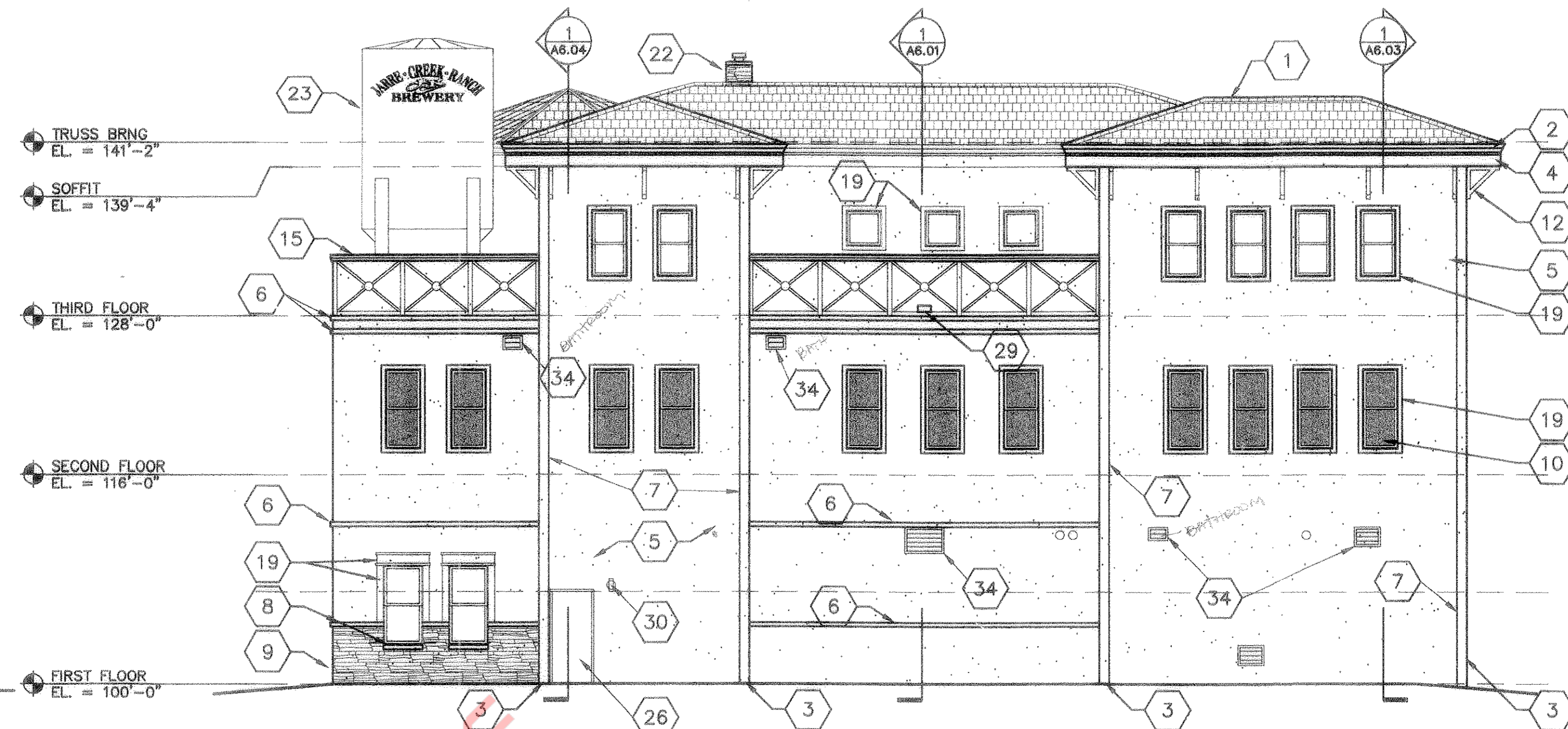
CASTLE ROCK
FIRE AND RESCUE DEPT
LIFE SAFETY DIVISION

ELEVATION NOTES

- 1. LIGHT WT. CONCRETE TILE ROOFING
- 2. METAL DRIP EDGE
- 3. EIFS CORNER DETAIL, RE: 4/A6.09
- 4. EIFS FASCIA
- 5. EIFS
- 6. EIFS BAND
- 7. EIFS CONTROL JOINT; SEALANT & BACKER ROD, COLOR TO MATCH ADJACENT EIFS
- 8. PRECAST CONC. SILL
- 9. CAST STONE VENEER
- 10. SPANDREL GLAZING
- 11. METAL RAILING
- 12. WOOD BRACKET
- 13. WOOD CLAD WINDOW
- 14. STOREFRONT WINDOW/DOOR
- 15. PARAPET WALL W/METAL COPING
- 16. GLULAM WOOD TRELLIS
- 17. METAL SUSPENSION CABLE
- 18. PRECAST CONC. LINTEL
- 19. EIFS SURROUND
- 20. PRECAST CONC. CAP
- 21. PRECAST CONC. SPRING ARCH
- 22. CHIMNEY W/METAL FLUE CAP & CAST STONE VENEER
- 23. GRASS SLO
- 24. LANDSCAPING IN PLANTER DOOR
- 25. METAL OVERHEAD LOADING DOCK DOOR
- 26. HOLLOW METAL DOOR & FRAME
- 27. WOOD CLAD FRENCH DOORS
- 28. EIFS DETAIL
- 29. ROOF OVERFLOW SCUPPER
- 30. WALL-HUNG LIGHT FIXTURE: RE ELECT
- 31. ELECT SVC PANEL: RE ELECT
- 32. GAS METER: RE MECH
- 33. PHONE PANEL: RE ELECT
- 34. MECH LOUVER: RE MECH
- 35. CURVED STEEL CHANNEL: RE STRUCTURAL
- 36. METAL GUTTER: RE: ROOF PLAN
- 37. METAL DOWNSPOUT: RE: ROOF PLAN
- 38. HORN & LIGHT: RE: ELECT



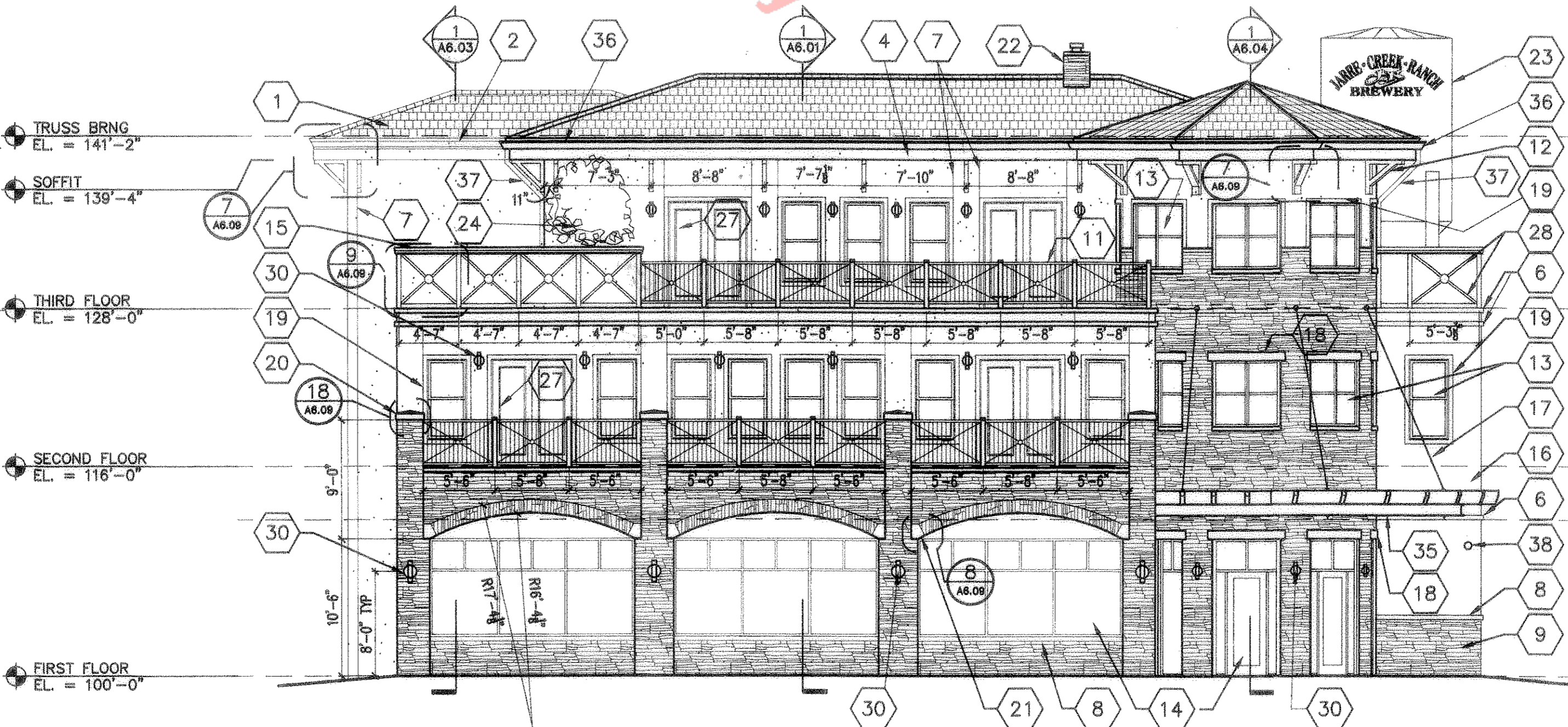
4 NORTH ELEVATION
A5.01 1/8" = 1'-0"



2 EAST ELEVATION
A5.01 1/8" = 1'-0"



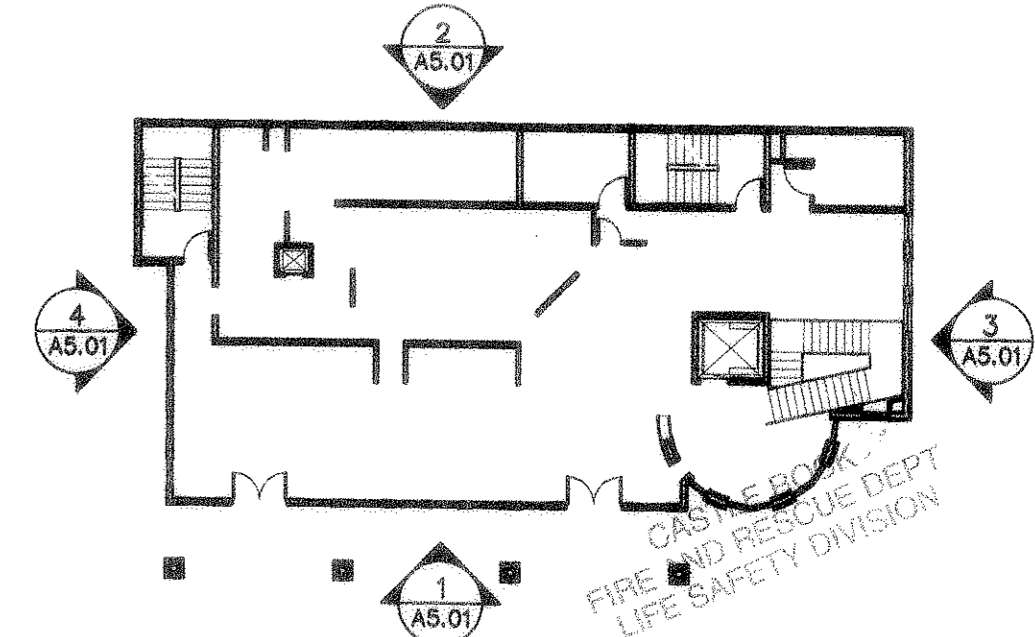
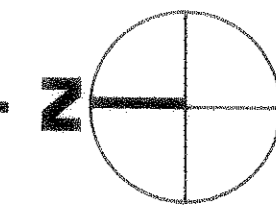
3 SOUTH ELEVATION
A5.01 1/8" = 1'-0"



1 WEST ELEVATION
A5.01 1/8" = 1'-0"

KEYPLAN

SCALE: NTS

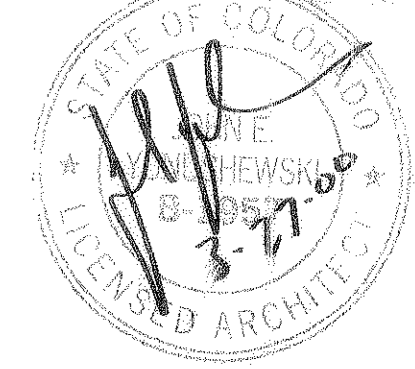


BUCHANAN YONUSHEWSKI GROUP, LLC
Integrated Building Solutions
625 Logan Street
Denver, Colorado 80203
303.861.4800
303.861.4846 Fax

JARRE CREEK RANCH BREWERY/RESTAURANT
810 NORTH MEMPHIS COURT
CASTLE ROCK, CO

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DATE: 03-27-00
DRAWN BY: BV, JS, LD
CHECKED BY: JW
PROJ. NO: 99073.00
ISSUED FOR: DATE: 03-27-00
PERMIT



BLDG. ELEVATIONS

A5.01