

# LOTS 6A-1 AND 6A-2, CASTLE PINES COMMERCIAL FILING NO. 3, AMENDMENT NO. 1

## SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THE SITE DOES NOT LIE WITHIN A FLOOD ZONE ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 08035C0186G, MAP REVISED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT TRIANGLE AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THIS SITE IS ZONED CASTLE PINES COMMERCIAL P.D. - GENERAL BUSINESS DISTRICT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- PER TOWN OF CASTLE ROCK MUNICIPAL CODE SECTION 17.54.040 F. MULTIPLE-USE DEVELOPMENTS: WHEN THERE ARE TWO OR MORE SEPARATE PRIMARY USES ON A SITE, THE REQUIRED PARKING FOR THE SITE SHALL BE THE SUM OF THE REQUIRED PARKING FOR THE INDIVIDUAL PRIMARY USES. WHERE THE TWO OR MORE SEPARATE USES ARE LOCATED ON SEPARATE LOTS, YET ARE PLANNED AS A COMPLETE DEVELOPMENT, THE TOTAL NUMBER OF PARKING SPACES FOR THE USES CAN BE DISTRIBUTED OVER THE SEPARATE LOTS, PROVIDED THAT OWNERSHIP, LEASE ARRANGEMENTS OR OTHER MEANS SHALL GUARANTEE THE CONTINUED PROVISION AND USE OF THE PARKING SPACES. THE APPROPRIATE OWNERSHIP/LEASE ARRANGEMENT DOCUMENTS ACCOMPANY THIS SITE DEVELOPMENT PLAN.

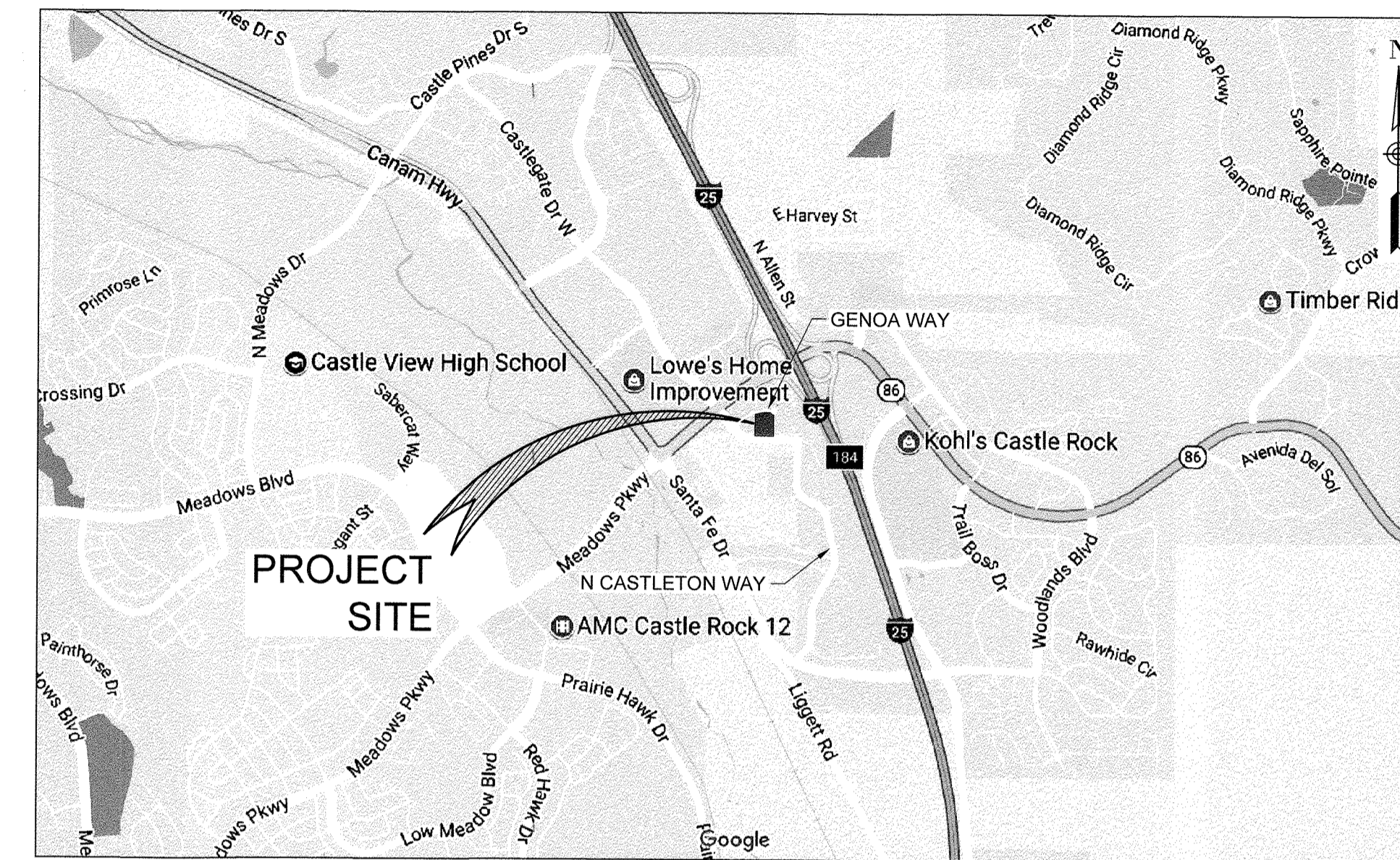
## FIRE NOTES:

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTION OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

## WATER RIGHTS DEDICATION AGREEMENT

- THE PROVISION OF MUNICIPAL WATER TO THIS SUB DIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE PROMENADE AT CASTLE ROCK DEVELOPMENT AGREEMENT, RECORDED ON THE 22 DAY OF JULY, 2015 AT RECEPTION NO. 2015051492AND ACCORDINGLY 7 SFE ARE DEBITED FROM THE WATER BANK.

## SITE DEVELOPMENT PLAN LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



VICINITY MAP  
 SCALE 1" = 2000'  
 IMAGE PROVIDED BY GOOGLE MAPS

## SUMMARY TABLE

ZONE DISTRICT	COMMERCIAL PD	
	GROSS PROJECT AREA	86,791 S.F. 1.99 AC
	LOT 6A-1	43,722 S.F. 1.00 AC
	LOT 6A-2	43,070 S.F. 0.99 AC
<b>GROSS FLOOR AREA</b>	<b>(S.F.)</b>	
	LOT 6A-1 (GENERAL RETAIL)	9,976
	LOT 6A-2 (RESTAURANT)	4,174
	<b>TOTAL FLOOR AREA</b>	<b>14,150</b>
<b>RESIDENTIAL UNITS</b>	0	
<b>SFEs</b>	36.3	
<b>BUILDING SETBACKS AND SEPERATIONS</b>	<b>REQUIRED (FT)</b>	<b>PROVIDED (FT)</b>
	FRONT (GENOA WAY/ W. CASTLETON RD)	15 15
	SIDE	15 15
	REAR	15 15
<b>PARKING SPACES</b>	<b>REQUIRED (EA)</b>	<b>PROVIDED (EA)*</b>
	LOT 6A-1 (GENERAL RETAIL): 5 SPACES/1,000 SF OF GFA	50 50
	LOT 6A-2 (RESTAURANT): 10 SPACES/1,000 SF OF GFA	42 41
	LOT 6A-2 (DRIVE-THRU): 8 STACKING SPACES	8 8
	<b>TOTAL PARKING SPACES</b>	<b>101 99</b>
	ACCESSIBLE <sup>(A)</sup>	4 4
	(BICYCLE): 5% OF TOTAL VEHICLE PARKING SPACES	6 12
<b>DESIGN ELEMENTS</b>	<b>MAX (FT)</b>	<b>PROVIDED (FT)</b>
	LOT 6A-1 (GENERAL RETAIL): BUILDING HEIGHT	50 28
	LOT 6A-2 (RESTAURANT): BUILDING HEIGHT	50 23
<b>TOTAL SITE COVERAGE</b>	<b>(S.F.)</b>	<b>PERCENT OF TOTAL</b>
	BUILDING	14,150 16.3%
	SIDEWALK	10,438 12.0%
	PARKING/ DRIVE LANES	45,427 52.3%
	OPEN SPACE/LANDSCAPE <sup>(B)</sup>	16,776 19.3%

<sup>(A)</sup> THE ACCESSIBLE STALLS ARE INCLUDED IN THE REQUIRED/ PROVIDED COUNT  
<sup>(B)</sup> DOES NOT INCLUDE SIDEWALKS OR PATIO AREAS  
 \* A FORMAL VARIANCE FOR PARKING DISCREPANCY WILL BE REQUESTED BY SEPARATE DOCUMENT

## SHEET INDEX

- 1 OF 10 COVER
- 2 OF 10 SITE PLAN
- 3 OF 10 GRADING PLAN
- 4 OF 10 OVERALL UTILITY PLAN
- 5 OF 10 CONCEPTUAL LANDSCAPE PLAN
- 6 OF 10 CONCEPTUAL ELEVATIONS-ENCLOSURES
- 7 OF 10 CONCEPTUAL ELEVATIONS-ENCLOSURES
- 8 OF 10 CULVERS RESTAURANT BUILDING ELEVATIONS
- 9 OF 10 SITE PHOTOMETRIC PLAN PH1
- 10 OF 10 SITE PHOTOMETRIC PLAN PH 2

## SITE BENCHMARK

NGS CONTROL POINT K 23  
 THE STATION IS A BRASS DISK SET IN A CONCRETE POST 10 CM ABOVE THE GROUND. THE MARK IS 73.0 FEET SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 85, 48.4 FEET NORTH OF THE NORTH RAIL OF THE UNION PACIFIC RAILROAD TRACKS, 2.0 FEET EASTERLY OF CDOH CARSONITE WITNESS POST AND 2.0 FEET WESTERLY OF CDOH CARSONITE WITNESS POST. ELEVATION: 5984.83 FEET (NAVD 88 DATUM)

## BASIS OF BEARING

BEARINGS ARE BASED ON THE WEST LINE OF LOT 6A BEARING N01°03'15"E AS REFERENCED ON THE PLAT OF CASTLE PINES COMMERCIAL FILING 3 AND BOUNDED THE MONUMENTS SHOWN HEREON.

## LEGAL DESCRIPTION

LOT 6-A, CASTLE PINES COMMERCIAL FILING 3, ACCORDING TO THE LOT LINE ADJUSTMENT CERTIFICATE RECORDED APRIL 19, 2013 UNDER RECEPTION NO. 2013032253, COUNTY OF DOUGLAS, STATE OF COLORADO.

## SURVEYOR'S CERTIFICATE

Charles N. Beckstrom, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR 11 DATE 2.6.18

## CIVIL ENGINEER'S STATEMENT

I, Kevin S. Roth, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER DATE 2/5/18

## LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED AUGUST 1, 2016, RECEPTION NO. 2016050920, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

SIGNED THIS 7<sup>th</sup> DAY OF February, 2018  
 BY John Van Offchoo AS Business Banker  
 OF DACOTAH BANK  
 NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 7<sup>th</sup> DAY OF February, 2018  
 BY John Van Offchoo AS Business Banker  
 OF DACOTAH BANK  
 WITNESS MY HAND AND OFFICIAL SEAL.  
Eric Hanson  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 11/18/2020

## TITLE CERTIFICATION

I, Brenda Beckler, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 12<sup>th</sup> DAY OF February, 2018  
 BY Brenda Beckler AS AUTHORIZED REPRESENTATIVE  
 OF Land Title Guarantee Company  
 TITLE COMPANY  
 NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 12<sup>th</sup> DAY OF February, 2018  
 BY Brenda Beckler AS AUTHORIZED REPRESENTATIVE  
 OF Land Title Guarantee Company  
 WITNESS MY HAND AND OFFICIAL SEAL.  
Jessica Campbell  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 10/21/21

## OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

SIGNED THIS 7<sup>th</sup> DAY OF FEBRUARY, 2018  
 BY Nicholas Magera AS Member  
 OF CR REAL ESTATE, LLC #2, A SOUTH DACOTAH LIMITED LIABILITY COMPANY  
 NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 7<sup>th</sup> DAY OF February, 2018  
 BY Nicholas Magera AS Member  
 OF CR REAL ESTATE, LLC #2, A SOUTH DACOTAH LIMITED LIABILITY COMPANY  
 WITNESS MY HAND AND OFFICIAL SEAL.  
Eric Hanson  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 11/18/2020

## DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 1:46 pm ON THE 15 DAY OF February, 2018 AT RECEPTION NO. 201802284.

BY Sandra C. Seal  
 DEPUTY

## STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 12 DAY OF Feb, 2018.

**OWNER/ DEVELOPER**  
 CR REALESTATE, LLC #2  
 4912 S. MINNESOTA AVENUE  
 SIOUX FALLS, SD 57108

**DEVELOPMENT TEAM**  
**CIVIL ENGINEER**  
  
 7853 E. ARAPAHOE COURT, SUITE 2500  
 CENTENNIAL, CO 80112  
 PHONE: 303-841-9365

**ARCHITECT LOT 6A-1**  
  
 Jim Mitchell  
 303-792-8202  
 jim@jimitchellarchitecture.com  
 www.jimitchellarchitecture.com  
 1334 E. Green Meadows Lane  
 Greenwood Village, CO 80121  
**MITCHELL ARCHITECTURE, P.C.**  
 residential remodels and additions commercial

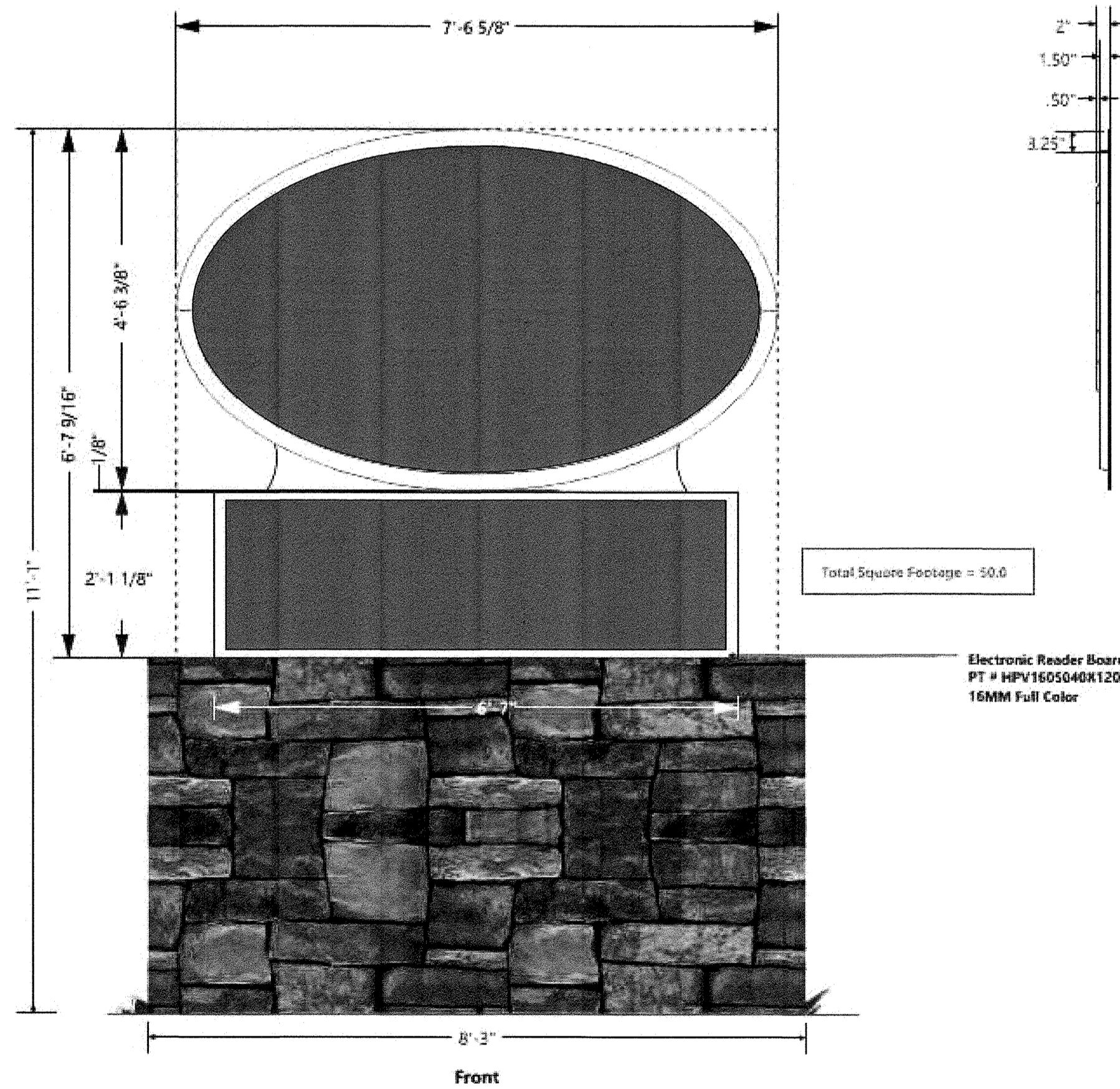
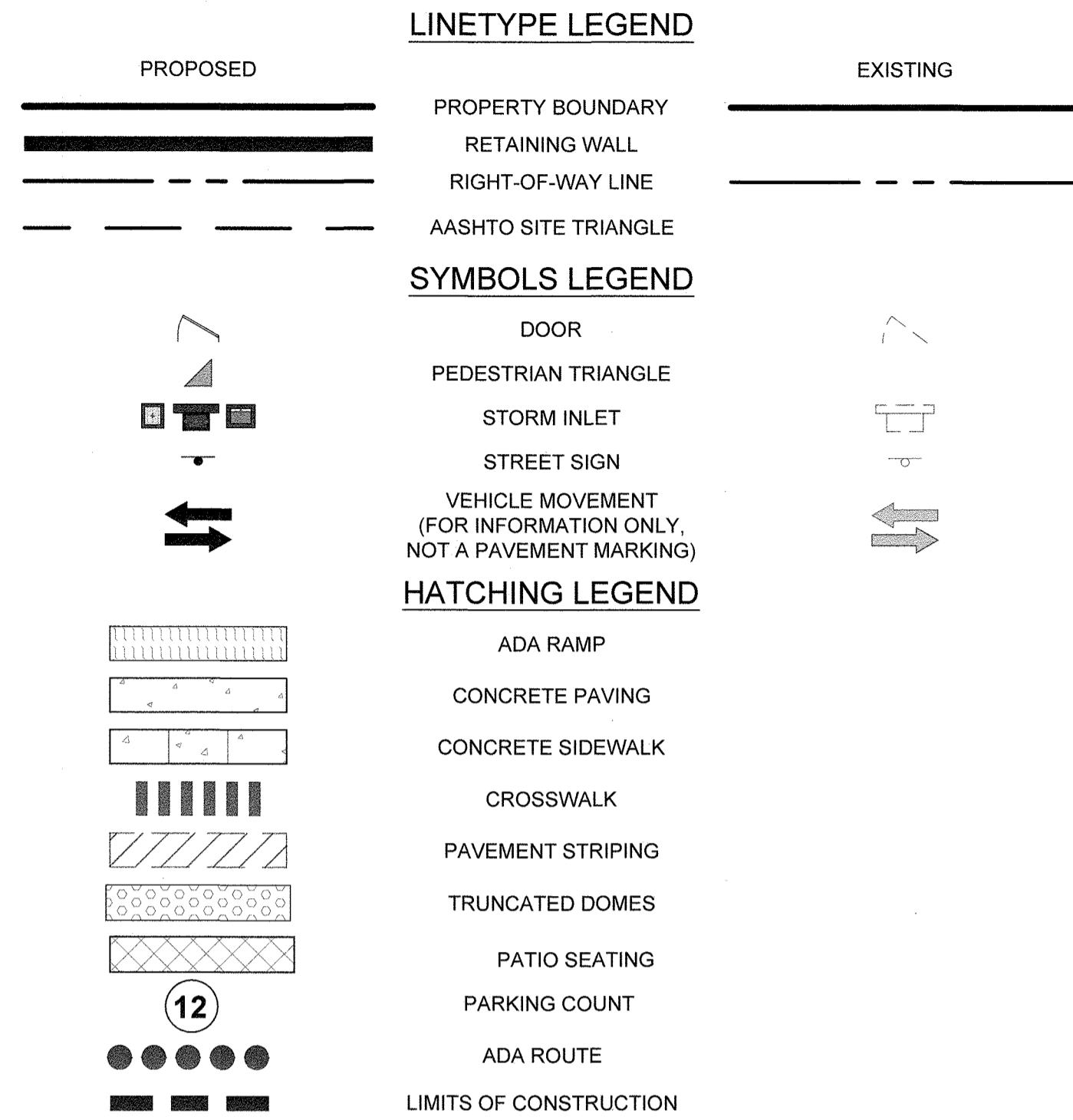
**PHOTOMETRICS**  
  
**EXCELLENCE IN ENGINEERING**  
 12005 Antelope Trail  
 Parker, Colorado 80138  
 303-748-1189  
 info@eaparker.com

**LANDSCAPE ARCHITECT**  
**TIM DUNN DESIGN LANDSCAPE ARCHITECTURE**  
 720-350-2411

**ARCHITECT LOT 6A-2**  
**NEAR DESIGN AND PLANNING, INC**  
 10701 MELODY DR. #5555  
 NORTHGLENN, CO 80234  
 303-451-1113

# LOTS 6A-1 AND 6A-2, CASTLE PINES COMMERCIAL FILING NO. 3, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



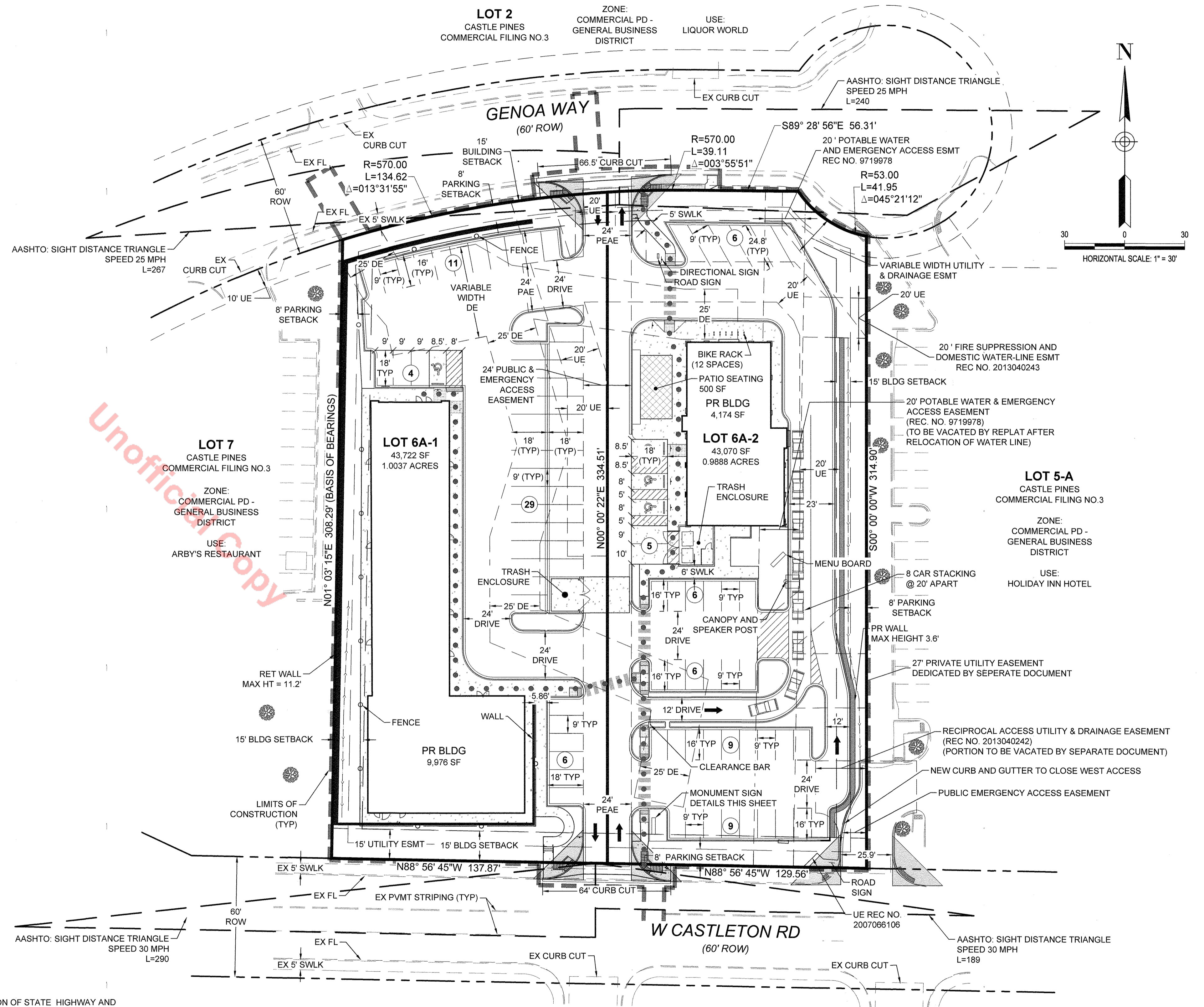
**MONUMENT SIGN**  
PERMITTING AND DESIGN BY OTHERS

**ABBREVIATIONS:**

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICE
BLDG	BUILDING
BW	BOTTOM OF WALL (FG @ WALL FACE)
DE	DRAINAGE EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT
ESMT	EASEMENT
EX	EXISTING
FH	FIRE HYDRANT
FL	FLOWLINE
HC	HANDICAP
PEAE	PUBLIC EMERGENCY & ACCESS EASEMENT
PL	PROPERTY LINE
RET	RETAINING
ROW	RIGHT-OF-WAY
SWLK	SIDEWALK
TYP	TYPICAL
UE	UTILITY EASEMENT

**NOTES:**

- ALL SIDEWALKS ARE CONCRETE.
- ALL DRIVING SURFACES ARE ASPHALT UNLESS OTHERWISE INDICATED.
- TWO PARKING SPACES IN FRONT OF DUMPSTER WILL BE SIGNED FOR NO PARKING DURING TIMES OF TRASH PICK UP.
- INTERSECTION SAFETY TRIANGLES MUST BE KEPT FREE OF VISUALLY-OBSTRICTING OBJECTS: BETWEEN 2-1/2 FT AND 10 FT ABOVE STREET ELEVATION.
- SIGHT DISTANCE TRIANGLES MUST BE KEPT FREE OF VISUALLY-OBSTRICTING OBJECTS: 30" OR HIGHER.



SITE PLAN

SHEET NUMBER:

**2 OF 10**

01/31/18

# LOTS 6A-1 AND 6A-2, CASTLE PINES COMMERCIAL FILING NO. 3, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

**NOTES**  
INTERSECTION SAFETY TRIANGLES MUST BE KEPT FREE OF VISUALLY-OBSTRICTING OBJECTS. BETWEEN 2-1/2 FT AND 10 FT ABOVE STREET ELEVATION.  
SIGHT DISTANCE TRIANGLES MUST BE KEPT FREE OF VISUALLY-OBSTRICTING OBJECTS. 30' OR HIGHER.

**ABBREVIATIONS:**

DUE	DRAINAGE UTILITY EASEMENT
EX	EXISTING
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
MH	MANHOLE
PEAE	PUBLIC EMERGENCY ACCESS EASEMENT
PL	PROPERTY LINE
ROW	RIGHT-OF-WAY
ST	STORM
SWLK	SIDEWALK
TYP	TYPICAL
UE	UTILITY EASEMENT

**LINETYPE LEGEND**

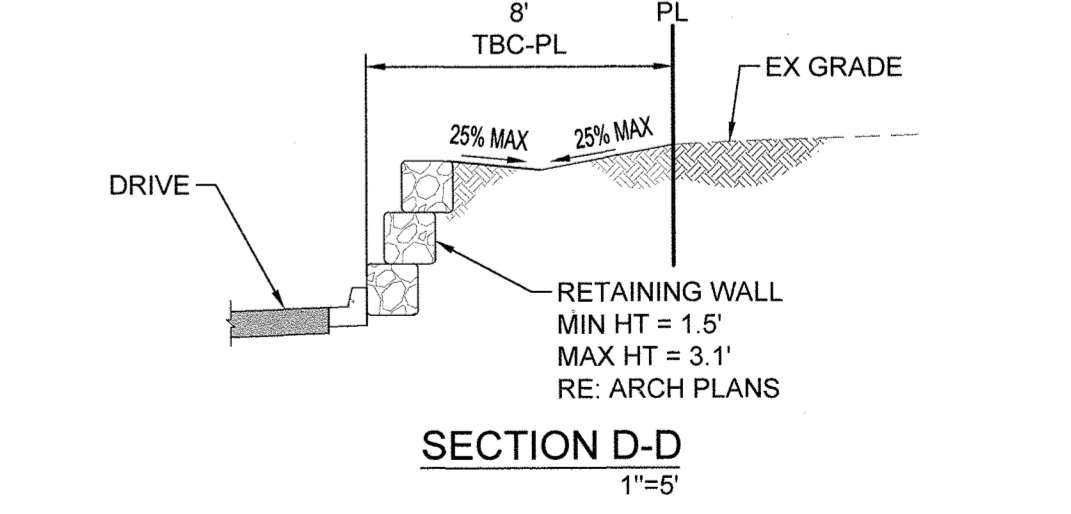
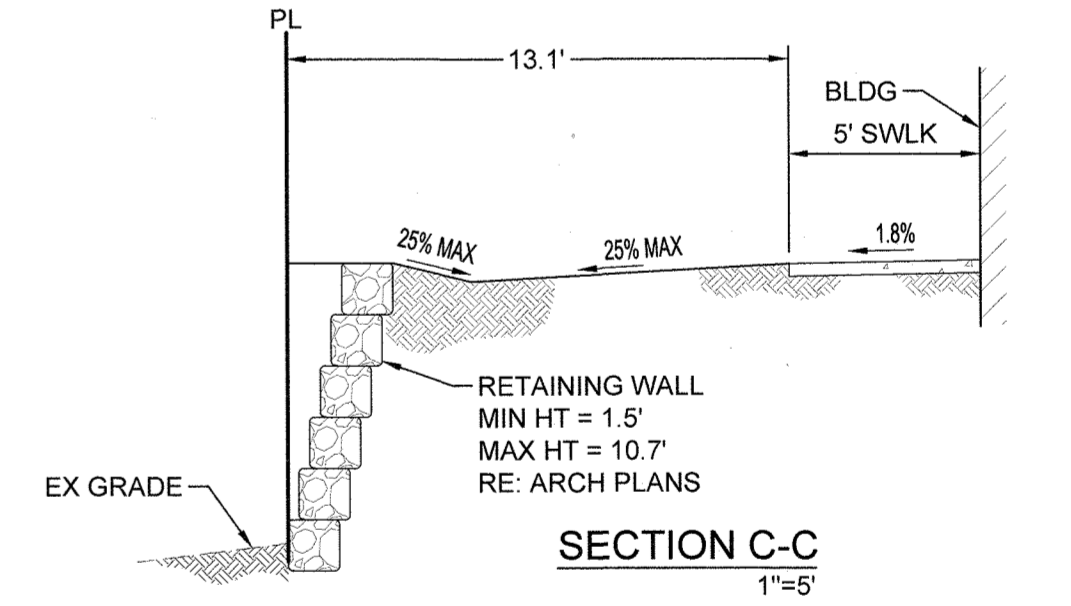
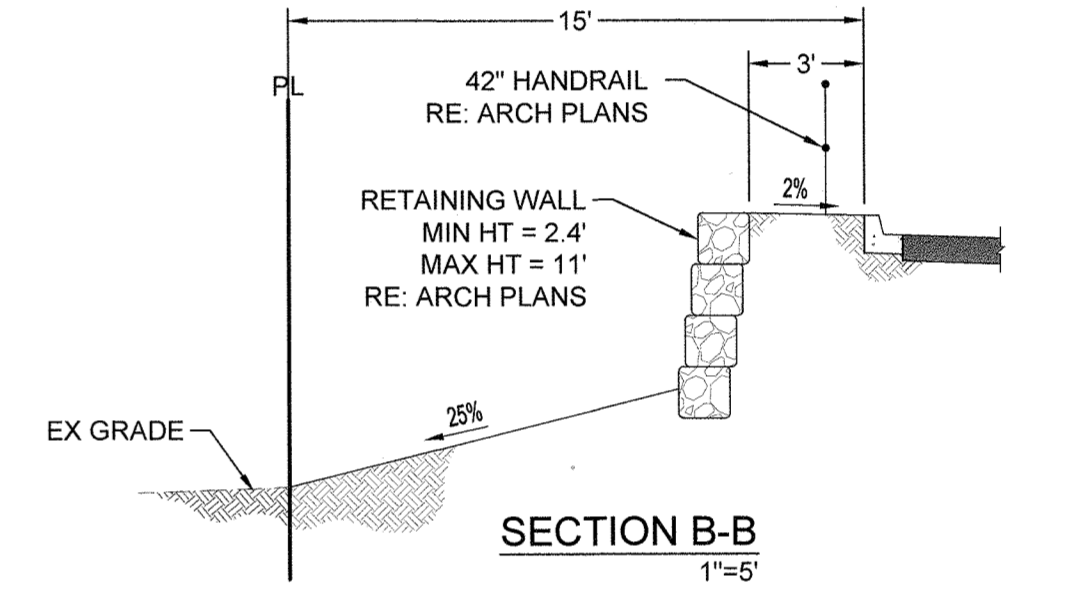
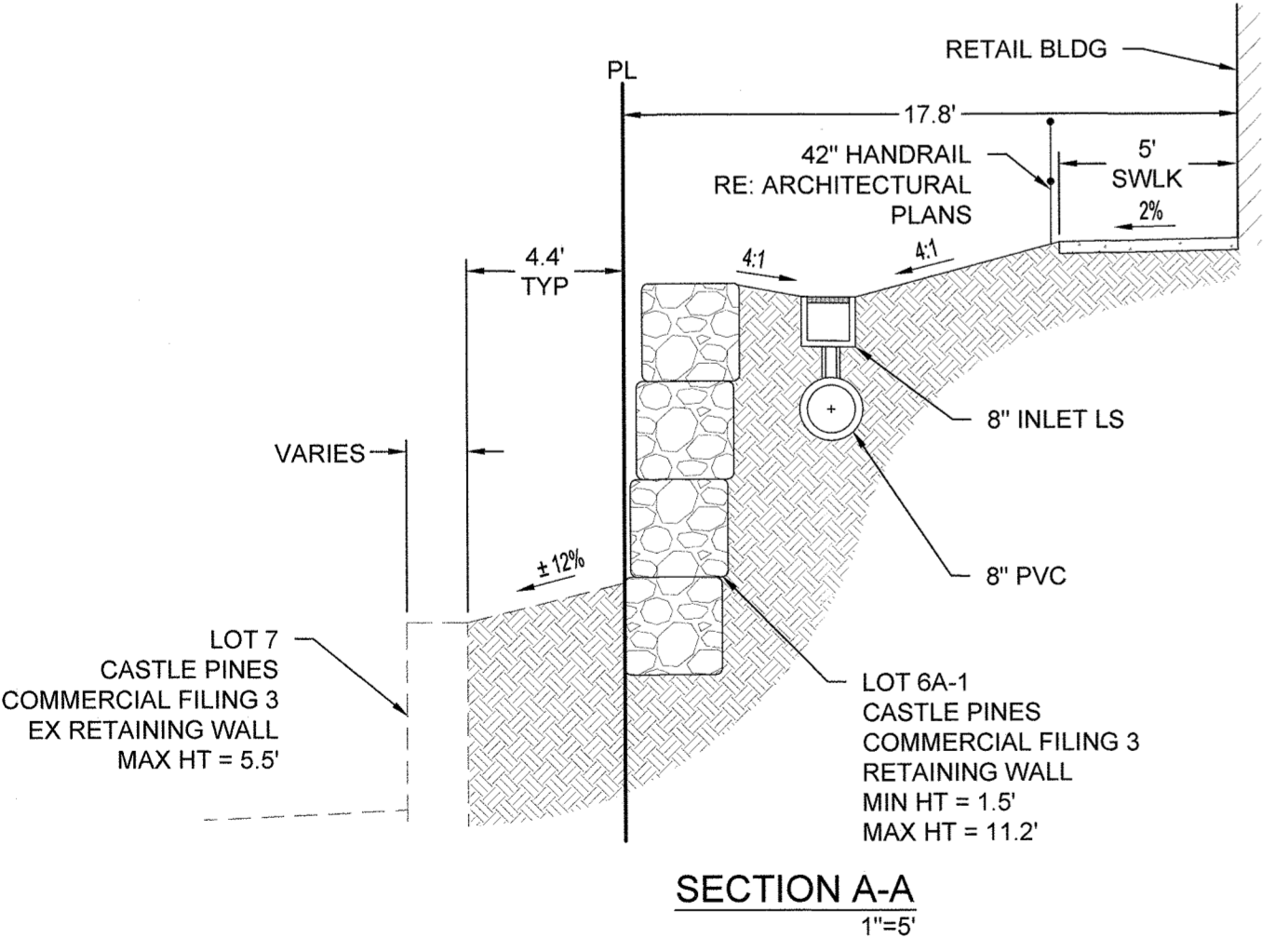
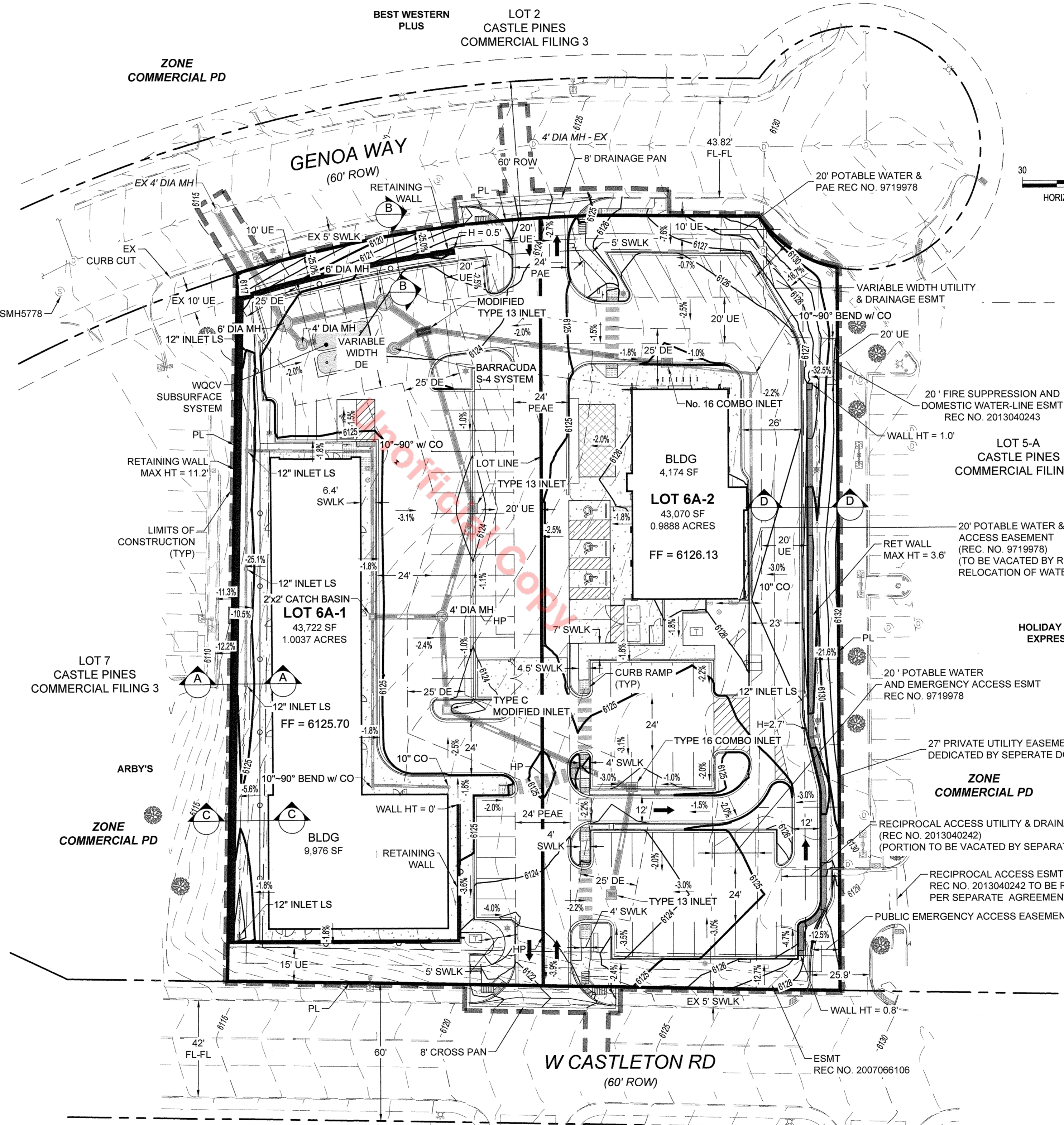
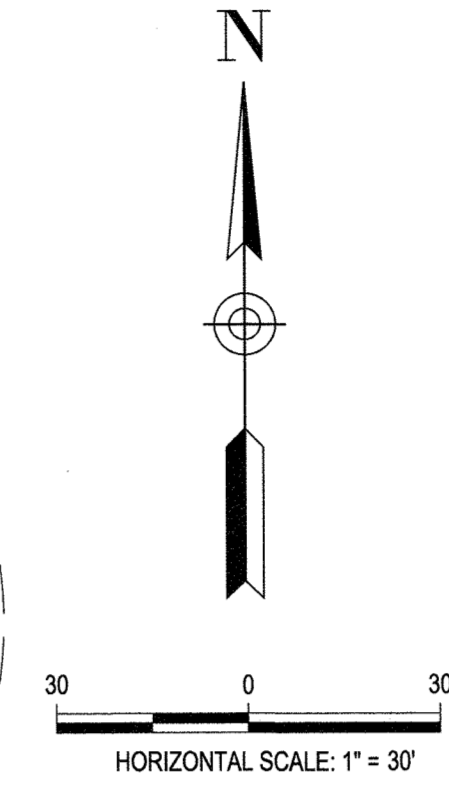
	CONTOUR - MAJOR	
	CONTOUR - MINOR	
	PROPERTY BOUNDARY	
	RETAINING WALL	
	RIGHT-OF-WAY LINE	
	STORM SEWER	

**SYMBOLS LEGEND**

	DOOR
	FIRE HYDRANT
	LIGHT POLE
	SANITARY MANHOLE
	STORM INLET
	STORM MANHOLE
	STREET SIGN
	UTILITY POLE
	VEHICLE MOVEMENT (FOR INFORMATION ONLY, NOT A PAVEMENT MARKING)

**HATCHING LEGEND**

	ADA RAMP
	CONCRETE PAVING
	CONCRETE SIDEWALK
	CROSSWALK
	TRUNCATED DOMES
	TREE
	LIMITS OF CONSTRUCTION



**GRADING PLAN**  
SHEET NUMBER:  
**3 OF 10**

# LOTS 6A-1 AND 6A-2, CASTLE PINES COMMERCIAL FILING NO. 3, AMENDMENT NO. 1

## SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27,  
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**LINETYPE LEGEND**

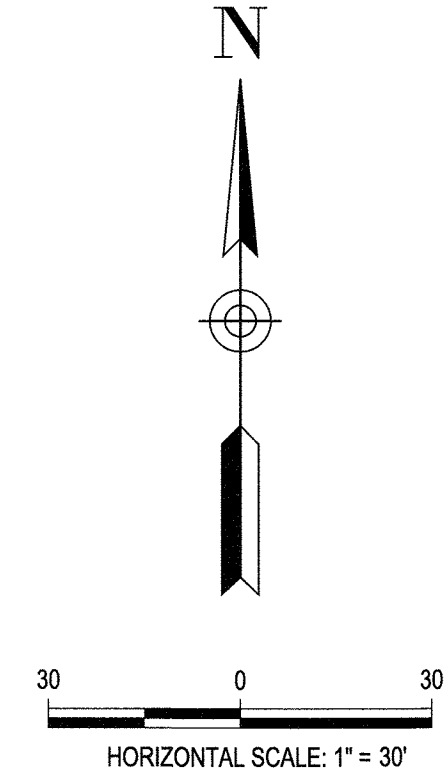
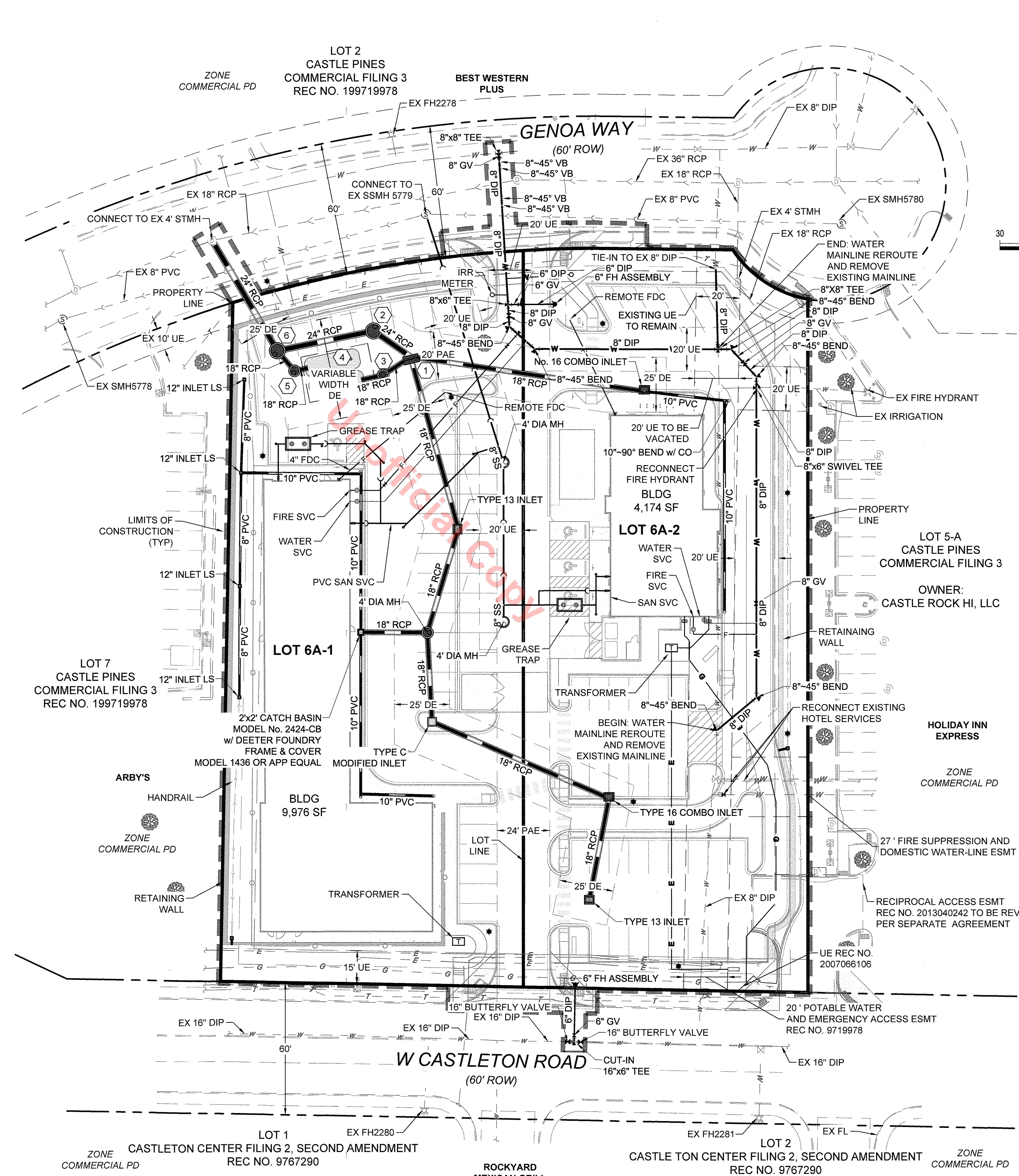
<b>PROPOSED</b>	<b>EXISTING</b>
—E—E—	—E—E—
—X—X—	—X—X—
—FO—FO—	—FO—FO—
—G—G—	—G—G—
—IRR—IRR—	—IRR—IRR—
—P—P—	—P—P—
—R—R—	—R—R—
—T—T—	—T—T—
—W—W—	—W—W—

**SYMBOLS LEGEND**

	CLEANOUT		DOOR
	ELECTRIC METER		FIRE HYDRANT
	GAS METER		GATE VALVE
	LIGHT POLE		ROOF DRAIN
	SANITARY MANHOLE		INT SAFETY TRIANGLE
	STORM INLET		STORM MANHOLE
	STREET SIGN		TRANSFORMER
	UTILITY POLE		

**HATCHING LEGEND**

	ADA RAMP
	CONCRETE PAVING
	CONCRETE SIDEWALK
	CROSSWALK
	PAVEMENT STRIPING
	SIDEWALK CHASE
	TRUNCATED DOMES
	LIMITS OF CONSTRUCTION



- UTILITY NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
  2. THE MINIMUM SEPARATION BETWEEN WATER, SANITARY SEWER AND STORM SEWER LINES IS 10-FT.
  3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
  4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK TANK 5 YELLOW PRESSURE ZONE.
  5. BUILDINGS WILL HAVE INTERNAL METERS.

**ABBREVIATIONS:**

AE	ACCESS EASEMENT
CO	CLEANOUT
CONC	CONCRETE
DE	DRAINAGE EASEMENT
DI	DUCTILE IRON
EL	ELEVATION
ELEC	ELECTRIC
EM	ELECTRIC METER
ESMT	EASEMENT
EX	EXISTING
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
FO	FIBER OPTIC
FT	FEET
GV	GATE VALVE
INV	INVERT
MH	MANHOLE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
ROW	RIGHT-OF-WAY
SS	SANITARY SEWER
SVC	SERVICE
ST	STORM
TELE	TELEPHONE / COMMUNICATIONS
TYP	TYPICAL
UE	UTILITY EASEMENT
WM	WATER METER

- 1 MODIFIED TYPE 16 INLET
- 2 6" MH
- 3 WQCV INLET CONTROL STRUCTURE: BAYSAYER BARRACUDA
- 4 STORMTECH WQCV SUBSURFACE CHAMBER TREATMENT SYSTEM BY ADS
- 5 WQCV OUTLET CONTROL STRUCTURE
- 6 6" MH

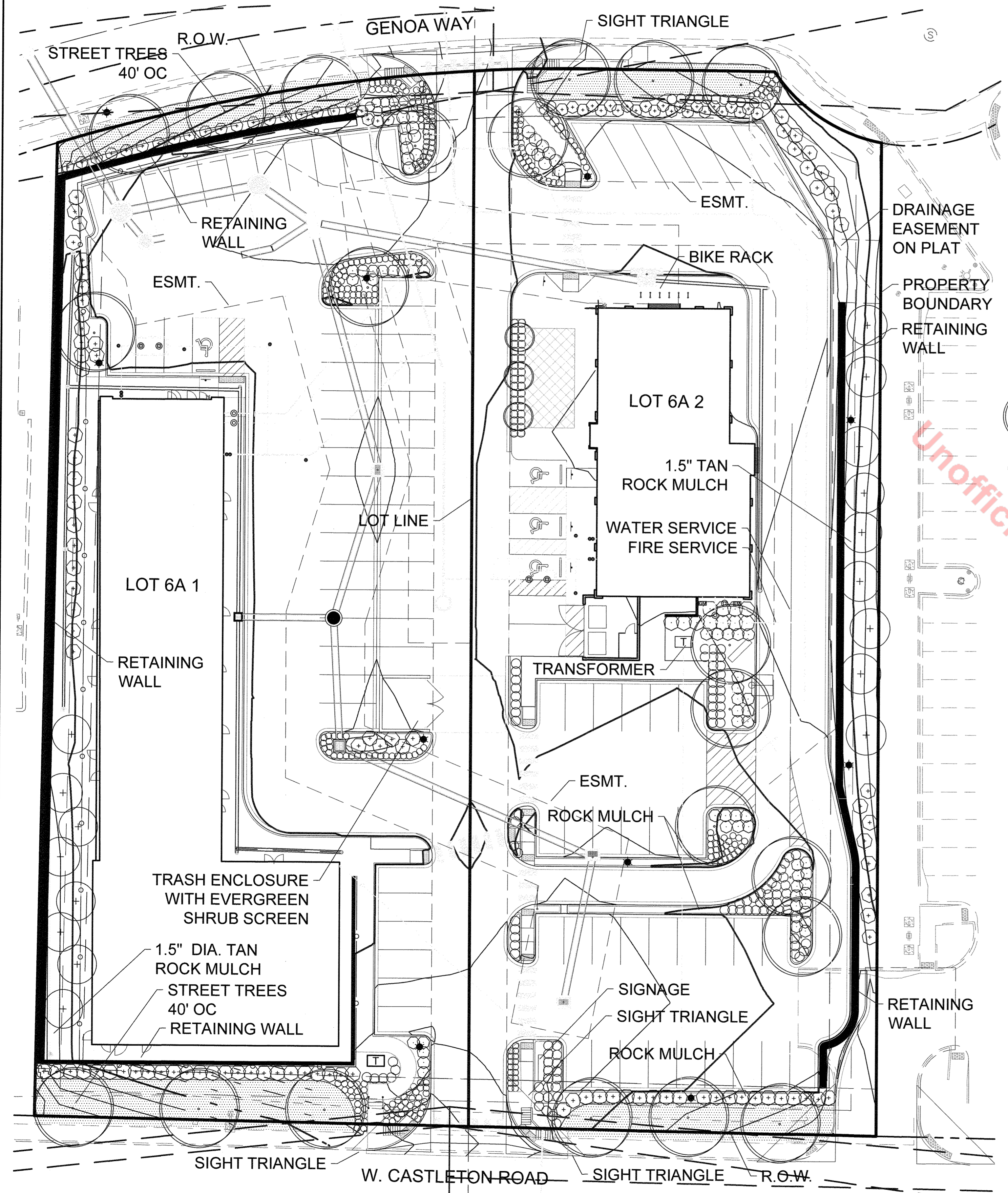
**OVERALL UTILITY PLAN**

SHEET NUMBER:  
**4 OF 10**

01/31/18

# LOTS 6A-1 AND 6A-2, CASTLE PINES COMMERCIAL FILING NO. 3, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



### TOWN OF CASTLE ROCK NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

### SITE DATA

ALL AREAS OF LANDSCAPE WILL RECEIVE DRIP IRRIGATION, 1 EMITTER PER GRASS, 2 EMITTERS PER SHRUB AND 4 EMITTERS PER TREES IRRIGATION TO BE UNDERGROUND AUTOMATIC SYSTEM, WATERING TIMES/DAYS TO CONFORM WITH TOWN OF CASTLE ROCK GUIDELINES

### IRRIGATION

TURF AREAS TO RECEIVE POP-UP IRRIGATION, SHRUBS AND TREES IN BEDS TO RECEIVE DRIP IRRIGATION. ALL AREAS OF LANDSCAPE WILL RECEIVE DRIP IRRIGATION, 1 EMITTER PER GRASS, 2 EMITTERS PER SHRUB AND 4 EMITTERS PER TREES IRRIGATION TO BE UNDERGROUND AUTOMATIC SYSTEM, WATERING TIMES/DAYS TO CONFORM WITH TOWN OF CASTLE ROCK GUIDELINES

### HYDROZONES LEGEND

ALL LANDSCAPE SHOWN ON THE CONCEPTUAL LANDSCAPE PLAN IS CONSIDERED LOW HYDROZONE EXCEPT FOR THE TURF AREAS WHICH ARE CONSIDERED MODERATE.



### SUGGESTED PLANT SCHEDULE / LEGEND

QUAN.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION	HYDROZONE
<b>DECIDUOUS CANOPY TREE</b>						
XX	IHL	IMPERIAL HONEY LOCUST	Gleditsia triacanthos var. inermis 'Imperial'	2" CAL.	B&B	3
XX	ABM	AUTUMN BLAZE MAPLE	Acer freemanii 'Autumn Blaze'	2" CAL.	B&B	3
XX	BUR	BUR OAK	Quercus robur	2" CAL.	B&B	2
XX	RED	REDMOND LINDEN OAK	Tilia americana 'Redmond'	2" CAL.	B&B	3
<b>ORNAMENTAL TREE</b>						
XX	CHP	CHANTICLEER PEAR	Pyrus calleryana 'Chanticleer'	1.5" CAL.	B&B	3
<b>EVERGREEN TREES</b>						
XX	AUS	AUSTRIAN PINE	Pinus nigra	6" HT.	CONTAINER	1
XX	BOS	BOSNIAN PINE	Pinus heldreichii (leucodermis)	6" HT.	CONTAINER	1
<b>EVERGREEN SHRUBS</b>						
XX	AMJ	ARMSTRONG JUNIPER	Juniperus chinensis 'armstrong'	5 GAL.	CONTAINER	1
XX	BUJ	COLOGREEN JUNIPER	Juniperus scopulorum 'Cologreen'	10 GAL.	CONTAINER	1
XX	SPJ	SPARTAN JUNIPER	Juniperus chinensis 'Spartan'	10 GAL.	CONTAINER	1
<b>DECIDUOUS SHRUBS</b>						
XX	MKL	MISS KIM LLAC	Syringa patula 'Miss Kim'	5 GAL.	CONTAINER	2
XX	PSP	PRAIRIE SNOW POTENTILLA	Potentilla fruticosa davurica 'Prairie Snow'	5 GAL.	CONTAINER	2
XX	MOH	MOHICAN VIBURNUM	Viburnum lantana 'Mohican'	5 GAL.	CONTAINER	2
XX	ROS	WOODS ROSE	Rosa woodsi	5 GAL.	CONTAINER	2
XX	SNO	SNOWBERRY	Symphoricarpos albus	5 GAL.	CONTAINER	2
<b>CLUMP / ORNAMENTAL GRASS</b>						
XX	MLM	MORNING LIGHT MISCANTHUS	Miscanthus sinensis 'Morning Light'	1 GAL.	CONTAINER	2
XX	BAG	BLUE AVENA GRASS	Helictotrichon sempervirens	1 GAL.	CONTAINER	2

Irrig. Zone	Plant Name (Common)	App. rate Inches / month	Zone V.L.,Mod,H,W	% of total area	IA Irrigated area in sf	LWUR Landscape water use	TA Total area of all irrigated landscape zones	CLWUR LWUR x IA/TA
1	Nature's Prairie Turf	3	Low water use	40%	2,321 sf	3	5,945 sf	1.17
2	Shrubs / Beds	2	Low water use	60%	3,824 sf	2	5,945 sf	1.22
<b>TOTAL OF THE CLWUR</b>								<b>2.4</b>

Irrig. Zone	Plant Name (Common)	App. rate Inches / month	Zone V.L.,Mod,H,W	% of total area	IA Irrigated area in sf	LWUR Landscape water use	TA Total area of all irrigated landscape zones	CLWUR LWUR x IA/TA
1	Nature's Prairie Turf	3	Low water use	12%	1,564 sf	3	5,089 sf	0.58
2	Shrubs / Beds	2	Low water use	82%	6,525 sf	2	5,089 sf	1.61
<b>TOTAL OF THE CLWUR</b>								<b>2.2</b>

### COMMERCIAL LANDSCAPE SITE INVENTORY - LOT 6A 1 CLWUR Total = 2.4 (LWU rating Low Water Use)

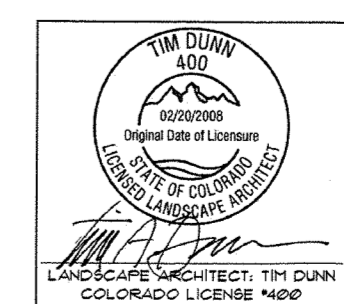
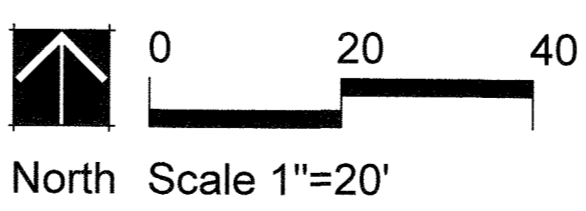
Gross Site Area	Landscape Area (Area in Sq. Ft.)	Turfgrass List Species (Area in Sq. Ft.)	Nonliving Ornamentals (Area in Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep. Amounts in cu. yds. per 1000 sq. ft.	Separate Irrigation Service Connections
43,722 Sf	Required 4,372 sf Provided 5,945 sf	2,321 Sf	3,624 Sf	9	11	4,372 / 1000 sf x 2 = 8	16	96	21 cu. yd. Yes

Parking Lot (Area in Sq. Ft.)	Required Area in SF	Required Trees 1,875 sf / 1000 x 2 = 4	Proposed Trees	Required Shrubs 1,875 sf / 1000 x 4 = 8	Proposed Shrubs	STREET TREES	Lineal feet	Required Trees	Proposed Trees
18,748 Sf	1,875 Sf required 1,844 Sf provided	4	3	8	31	Genoa Way	113 Lf	3	3
						W. Castleton Road	77 Lf	2	3

### COMMERCIAL LANDSCAPE SITE INVENTORY - LOT 6A 2 CLWUR = Total 2.2 (LWU rating Low Water Use)

Gross Site Area	Landscape Area (Area in Sq. Ft.)	Turfgrass List Species (Area in Sq. Ft.)	Nonliving Ornamentals (Area in Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep. Amounts in cu. yds. per 1000 sq. ft.	Separate Irrigation Service Connections
43,070 Sf	Required 4,307 sf Provided 8,089 sf	1,564 Sf	6,525 Sf	8	21	4,307 / 1000 sf x 2 = 8	42	118	45 cu. yd. Yes

Parking Lot (Area in Sq. Ft.)	Required Area in SF	Required Trees 1,869 sf / 1000 x 2 = 4	Proposed Trees	Required Shrubs 1,869 sf / 1000 x 4 = 8	Proposed Shrubs	STREET TREES	Lineal feet	Required Trees	Proposed Trees
18,665 Sf	1,869 Sf required 2,712 Sf provided	4	6	8	39	Genoa Way	125 Lf	3	3
						W. Castleton Road	125 Lf	3	3



Landscape Plans prepared by:  
Tim Dunn Design Landscape Architecture  
Tim Dunn A.S.L.A. R.L.A.  
720-350-2411 tadunn1958@gmail.com  
www.timdunnlandscapearchitect.com

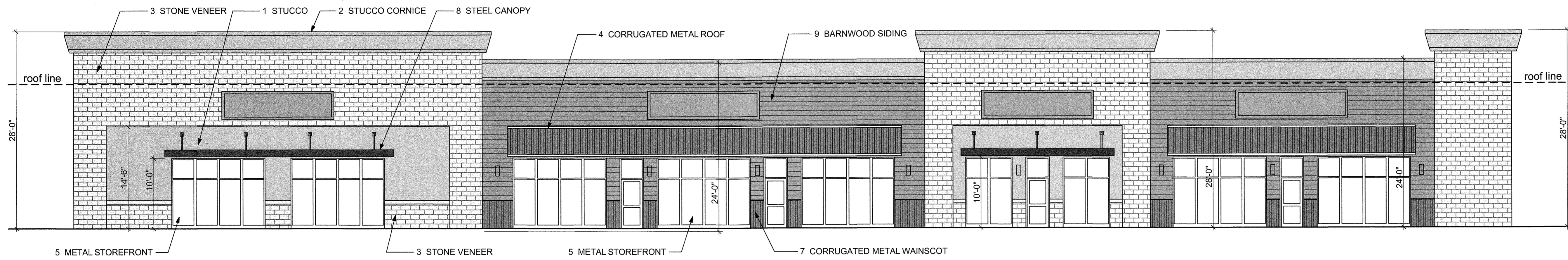
### CONCEPTUAL LANDSCAPE PLAN

SHEET NUMBER:  
**5 OF 10**

# LOT 6-A, CASTLE PINES COMMERCIAL FILING NO. 3, 1ST AMENDMENT

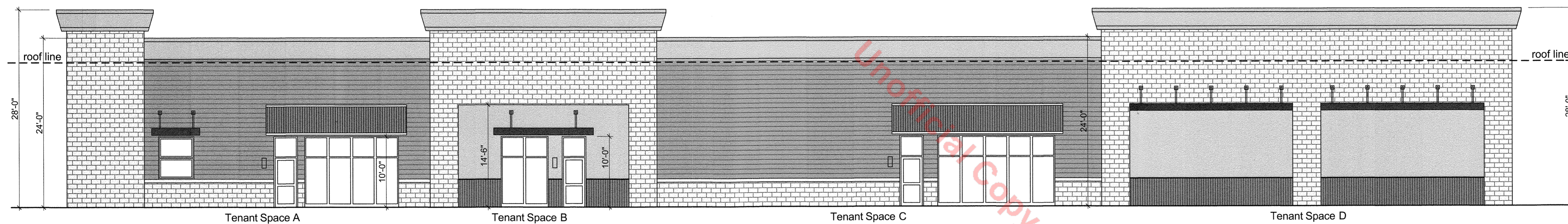
## SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

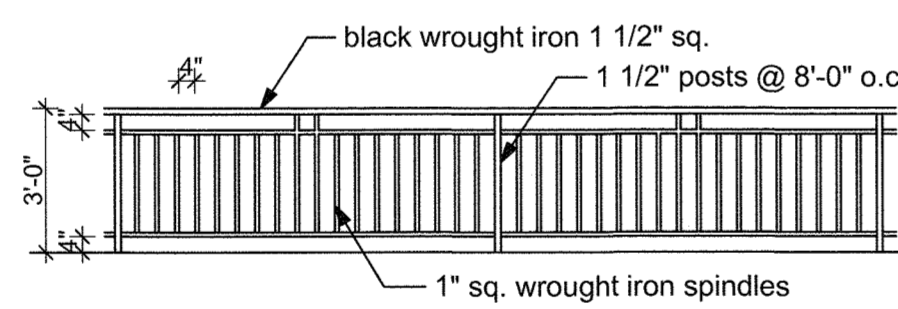


**EAST ELEVATION**  
1/8" = 1'-0"

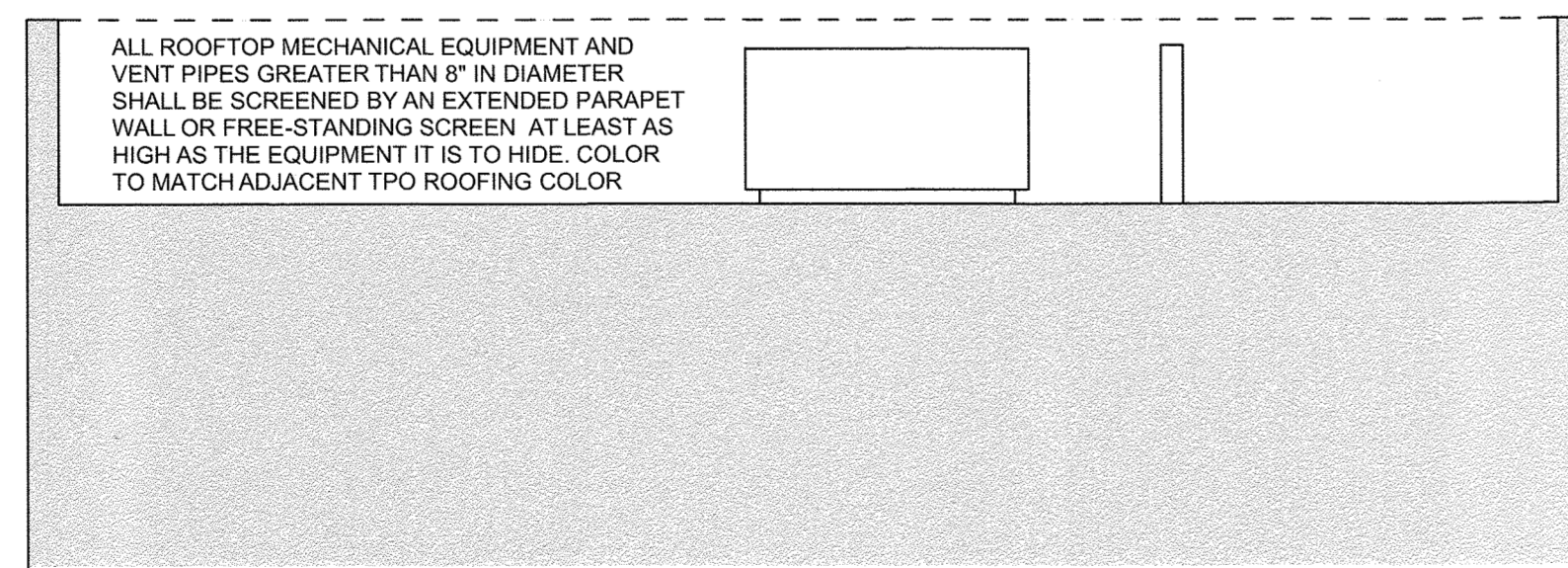
**BUILDING SIGNAGE:**  
SIGN LOCATIONS, DIMENSIONS AND DESIGNS SHALL BE ADDRESSED IN A SEPARATE SUBMITTAL AND CONFORM TO ALL PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS.)  
NOTE: NO MONUMENT TO BE USED



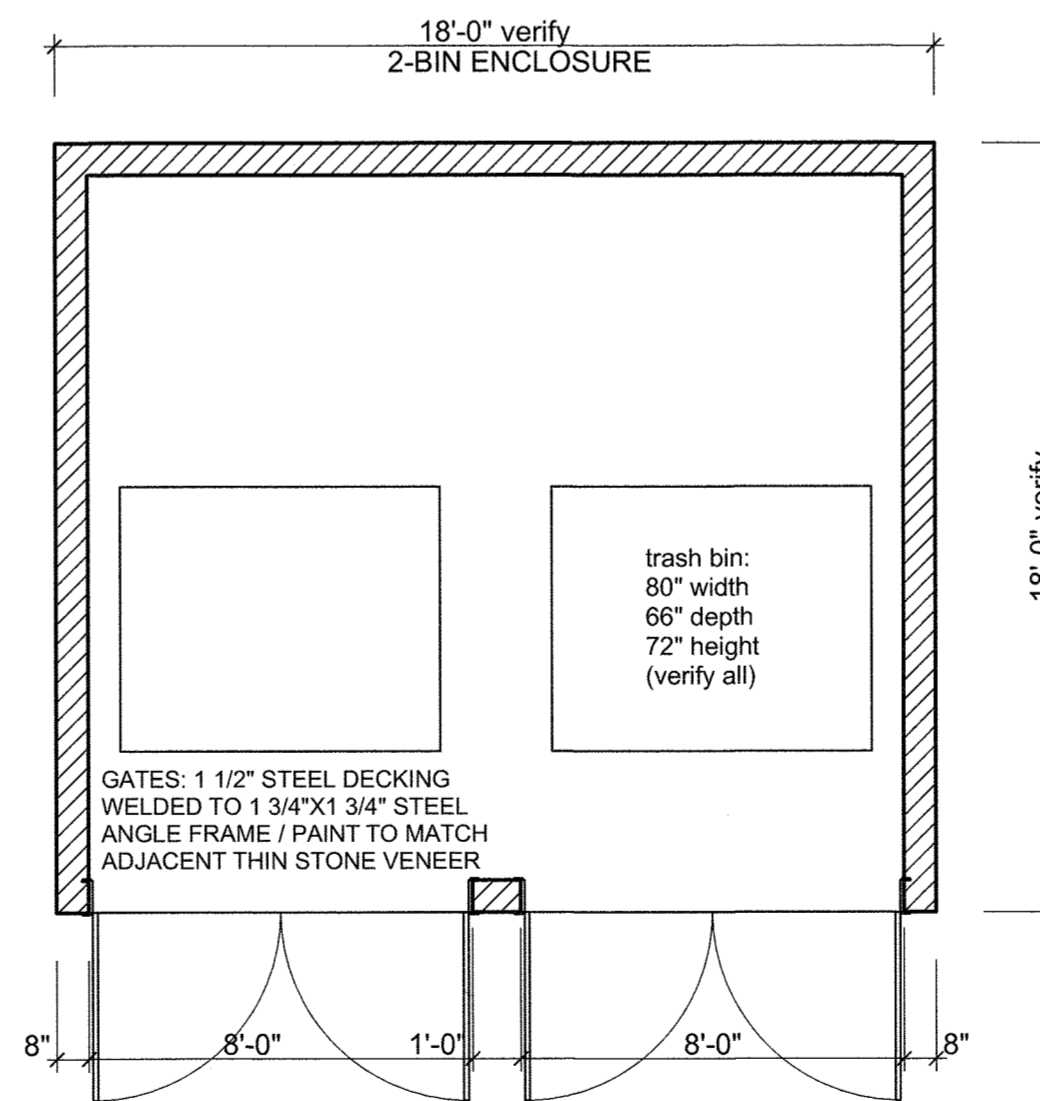
**WEST ELEVATION**  
1/8" = 1'-0"



**RAILING DETAIL**  
1/4" = 1'-0"

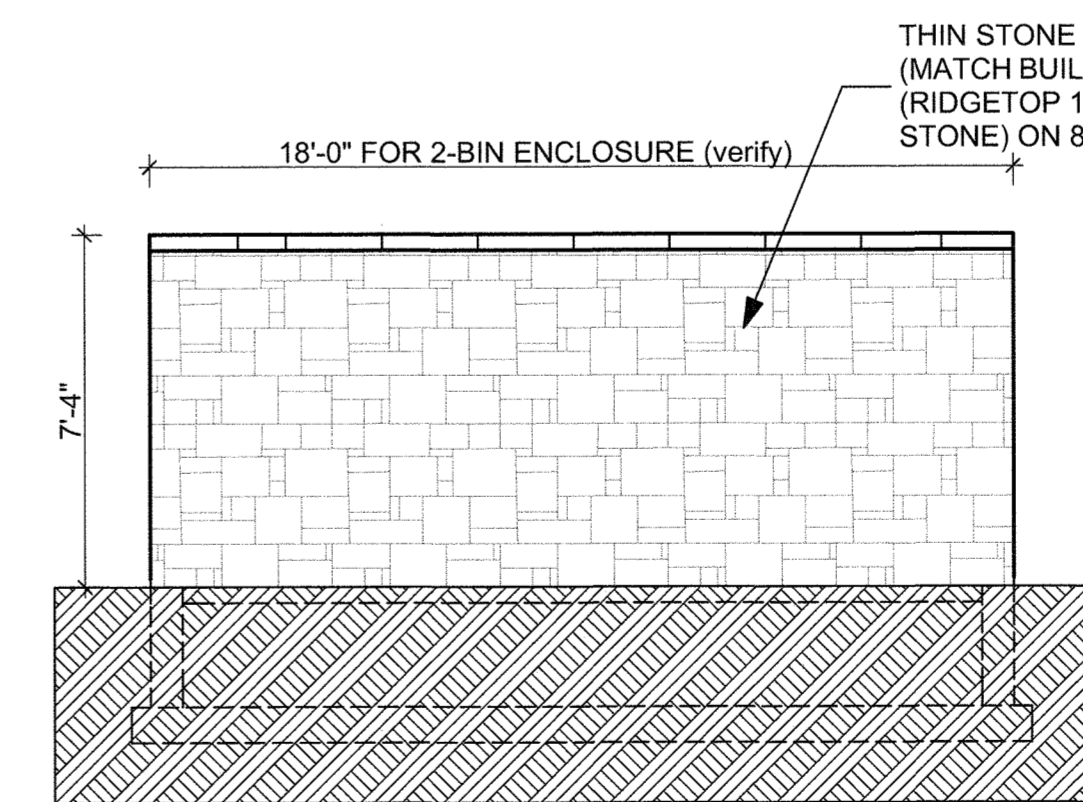


**ROOFTOP MECHANICAL SCREENING**  
1/4" = 1'-0"

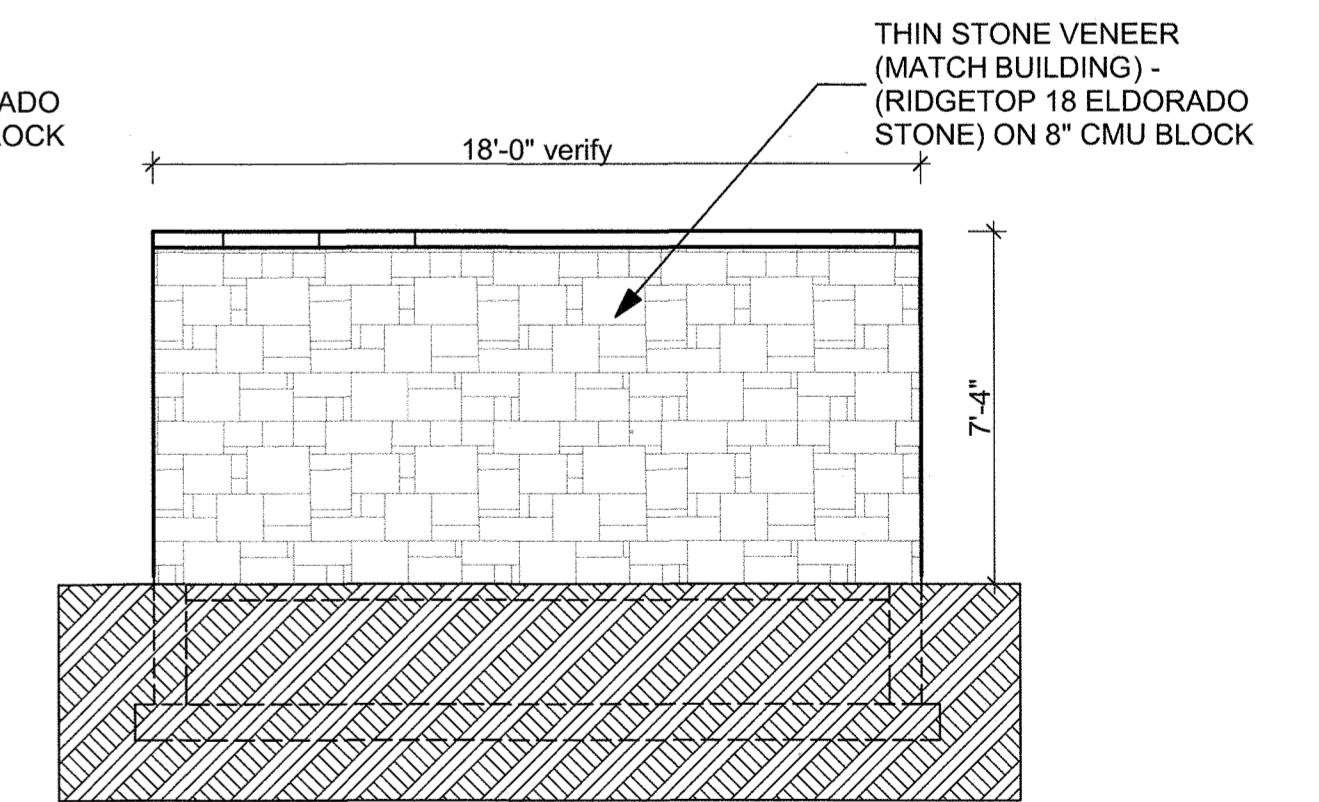


**PLAN - TWO-BIN TRASH ENCLOSURE**  
1/4" = 1'-0"

NOTE: VERIFY DIMENSIONS VS. SIZE OF TRASH BINS TO BE USED



**BACK ELEVATION**  
1/4" = 1'-0"



**SIDE ELEVATION**  
1/4" = 1'-0"

**EXTERIOR FINISH MATERIALS**

- 1 CEMENTITIOUS STUCCO (FIELD): SENERGY "BIRCH"
- 2 STUCCO (TRIM / CORNICE): SENERGY "ASH BROWN"
- 3 THIN STONE VENEER: RIDGETOP 18, ELDORADO STONE  
COLOR: MONOCHROMATIC CREAM/BEIGE  
CAP STONE/TRIM - CHAMPAGNE
- 4 AWNING ROOFS: CORRUGATED METAL COLOR: RUST
- 5 METAL STOREFRONT WINDOWS: DARK BRONZE
- 6 FLAT ROOF: TPO SYSTEM - OFF WHITE
- 7 WAINSCOT: CORRUGATED METAL COLOR: RUST
- 8 STEEL CANOPY SUNSCREENS: DARK BRONZE
- 9 BARNWOOD SELECT SIDING - "COEUR D'ALENE"
- 10 DOWNSPOUTS: PAINT TO MATCH ADJACENT FIELD
- 11 HVAC SCREEN (IF NEEDED): PAINT TO MATCH TPO ROOF
- 12 METAL UTILITY DOORS: PAINT TO MATCH STONE
- 13 FLASHING/GUTTERS - PAINT TO MATCH ADJACENT
- 14 SIGNAGE TBD IN SEPARATE SUBMITTAL

ALL ROOFTOP MECHANICAL EQUIPMENT AND VENT PIPES GREATER THAN 8" IN DIAMETER SHALL BE SCREENED BY AN EXTENDED PARAPET WALL OR FREE-STANDING SCREEN AT LEAST AS HIGH AS THE EQUIPMENT IT IS TO HIDE. COLOR TO MATCH ADJACENT TPO ROOFING COLOR

trash bin:  
80" width  
66" depth  
72" height  
(verify all)

GATES: 1 1/2" STEEL DECKING WELDED TO 1 3/4"x1 3/4" STEEL ANGLE FRAME / PAINT TO MATCH ADJACENT THIN STONE VENEER

THIN STONE VENEER (MATCH BUILDING) - (RIDGETOP 18 ELDORADO STONE) ON 8" CMU BLOCK

THIN STONE VENEER (MATCH BUILDING) - (RIDGETOP 18 ELDORADO STONE) ON 8" CMU BLOCK

CONCEPTUAL ELEVATIONS / ENCLOSURES

SHEET NUMBER

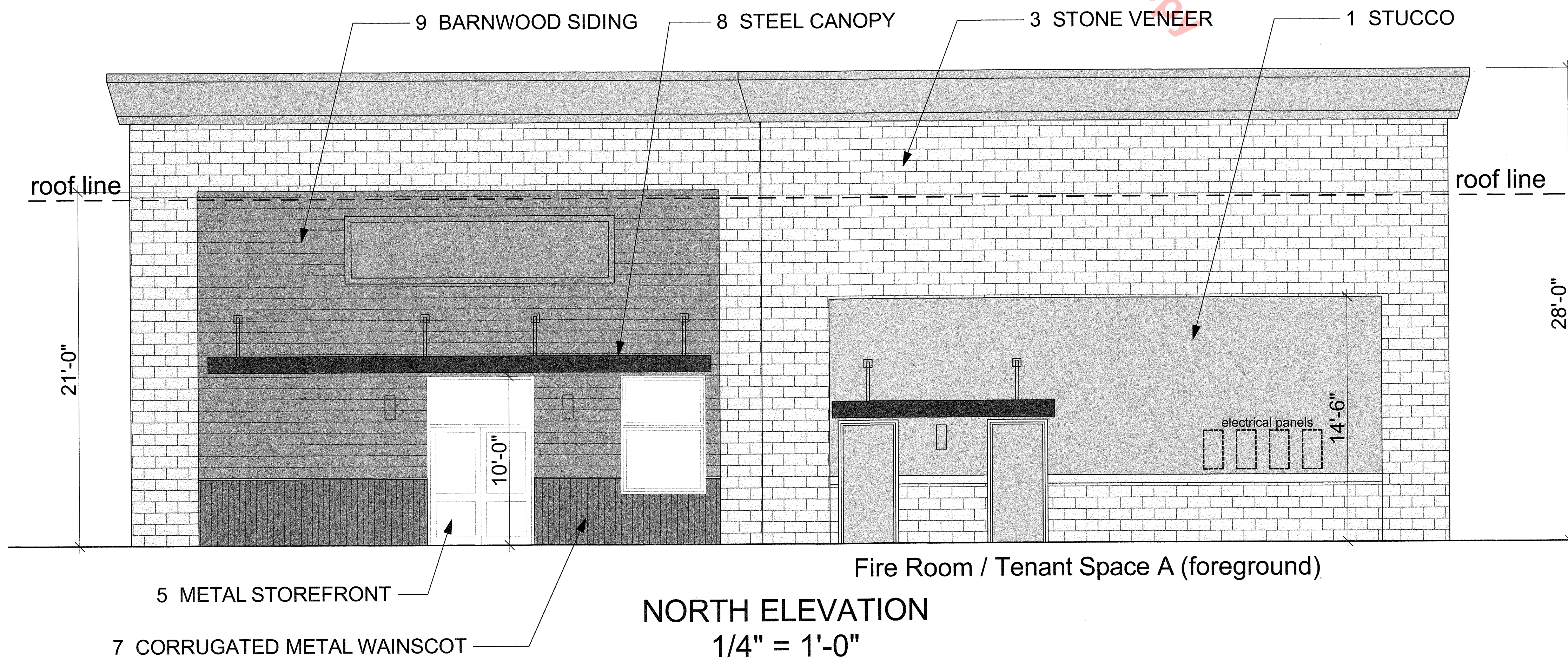
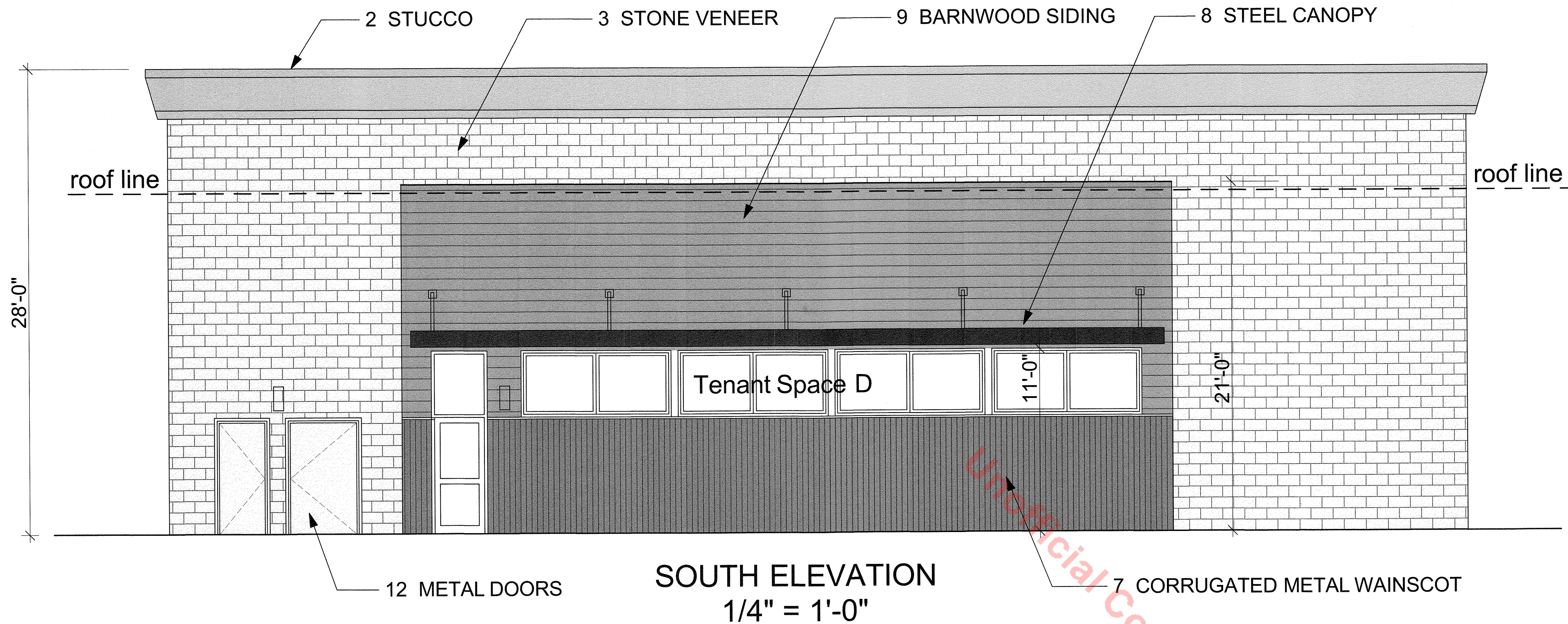
6

01/31/18

# LOT 6-A, CASTLE PINES COMMERCIAL FILING NO. 3, 1ST AMENDMENT

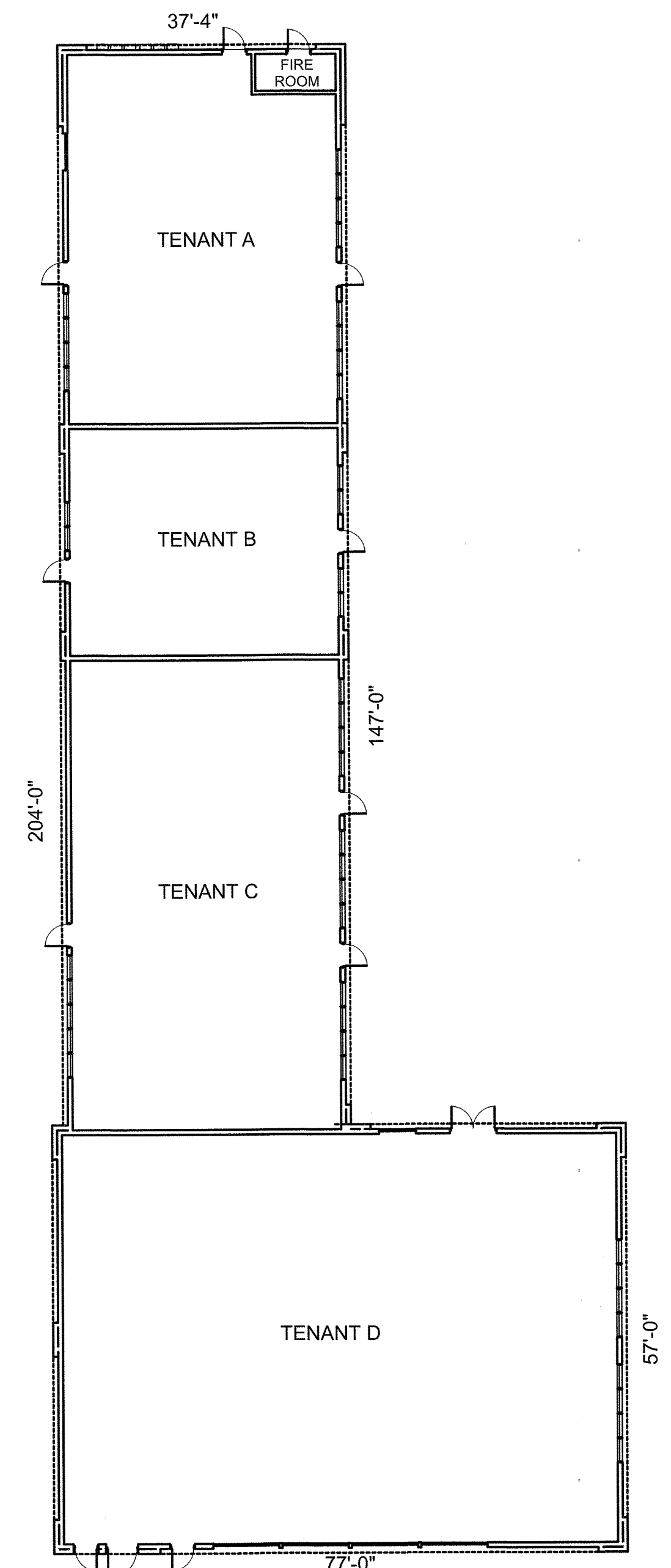
## SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



### EXTERIOR FINISH MATERIALS

- 1 CEMENTITIOUS STUCCO (FIELD): SENERGY "BIRCH"
- 2 STUCCO (TRIM / CORNICE): SENERGY "ASH BROWN"
- 3 THIN STONE VENEER: RIDGETOP 18, ELDORADO STONE  
COLOR: MONOCHROMATIC CREAM/BEIGE  
CAP STONE/TRIM - CHAMPAGNE
- 4 AWNING ROOFS: CORRUGATED METAL COLOR: RUST
- 5 METAL STOREFRONT WINDOWS: DARK BRONZE
- 6 FLAT ROOF: TPO SYSTEM - OFF WHITE
- 7 WAINSCOT: CORRUGATED METAL COLOR: RUST
- 8 STEEL CANOPY SUNSCREENS: DARK BRONZE
- 9 BARNWOOD SELECT SIDING - "COEUR D'ALENE"
- 10 DOWNSPOUTS: PAINT TO MATCH ADJACENT FIELD
- 11 HVAC SCREEN (IF NEEDED): PAINT TO MATCH TPO ROOF
- 12 METAL UTILITY DOORS: PAINT TO MATCH STONE
- 13 FLASHING/GUTTERS - PAINT TO MATCH ADJACENT
- 14 SIGNAGE TBD IN SEPARATE SUBMITTAL



CONCEPTUAL  
ELEVATIONS  
SHEET NUMBER

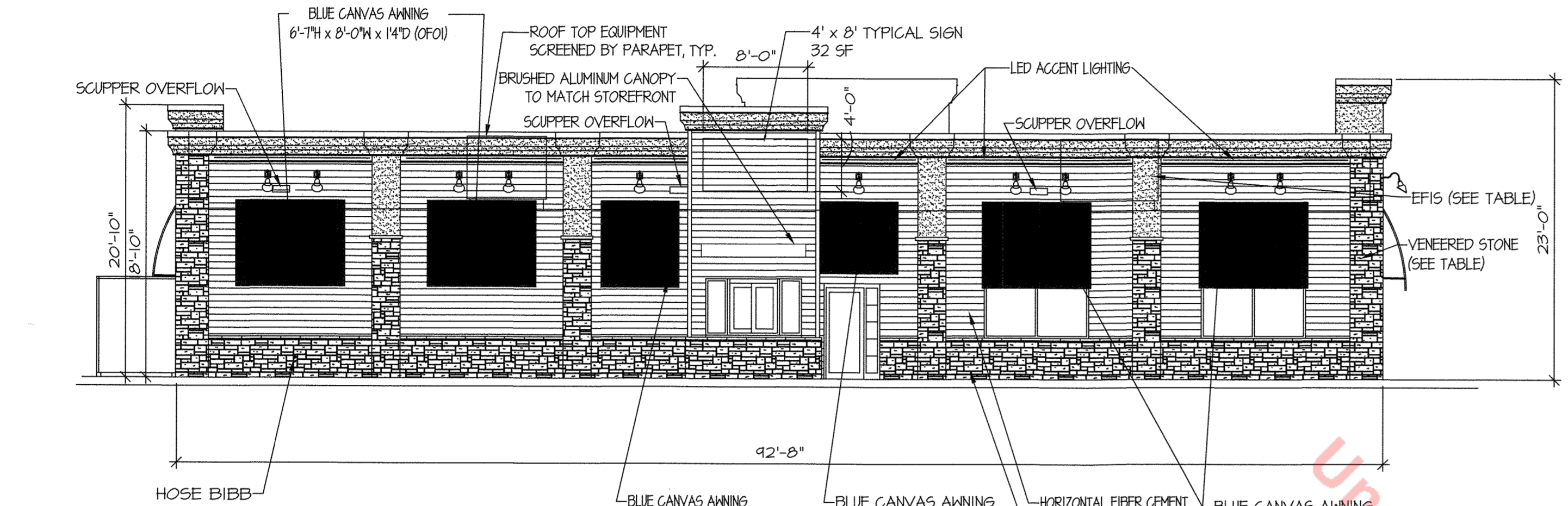
**7**

01/31/18

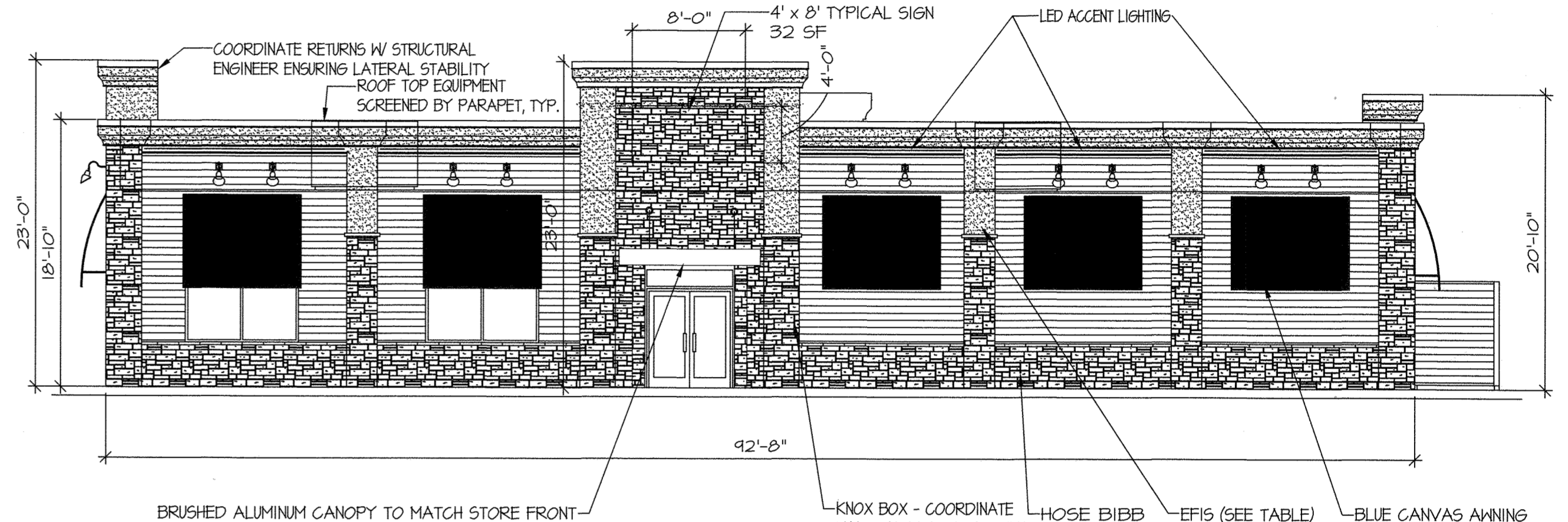
# LOTS 6A-1 AND 6A-2, CASTLE PINES COMMERCIAL FILING NO. 3, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

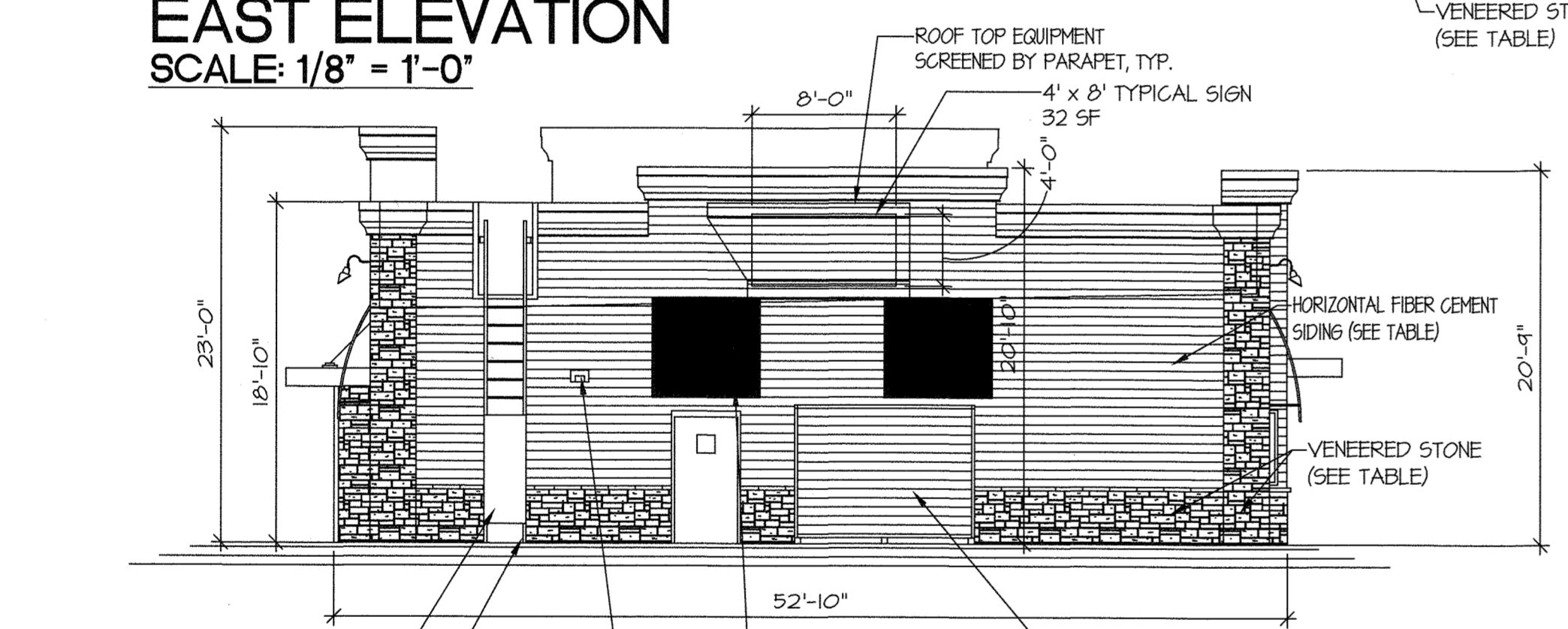
EXTERIOR MATERIALS	
<i>General Notes:</i>	
1.	TOP OF PARAPET TO BE CLAD WITH UNA-CLAD STEEL REGAL BLUE OR PAC CLAD STEEL MEDIUM BRONZE FOR ALL OPTIONS
2.	DO NOT DRYSTACK CULTURED STONE
STONE:	
•	ENVIRONMENTAL STONEWORKS: TUSCAN LEDGE - MANZANITA
•	SILL & ACCESSORIES: ENVIRONMENTAL STONEWORKS, MARSH
PLASTER & CORNICES:	
•	EIFS: PAREX, FINE SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7525 TREE BRANCH
MAIN FIELD MATERIAL:	
•	FIBER CEMENT BOARD SIDING: JAMES HARDIE, HARDEPLANK, LAP SIDING, COLOR: KHAKI BROWN



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

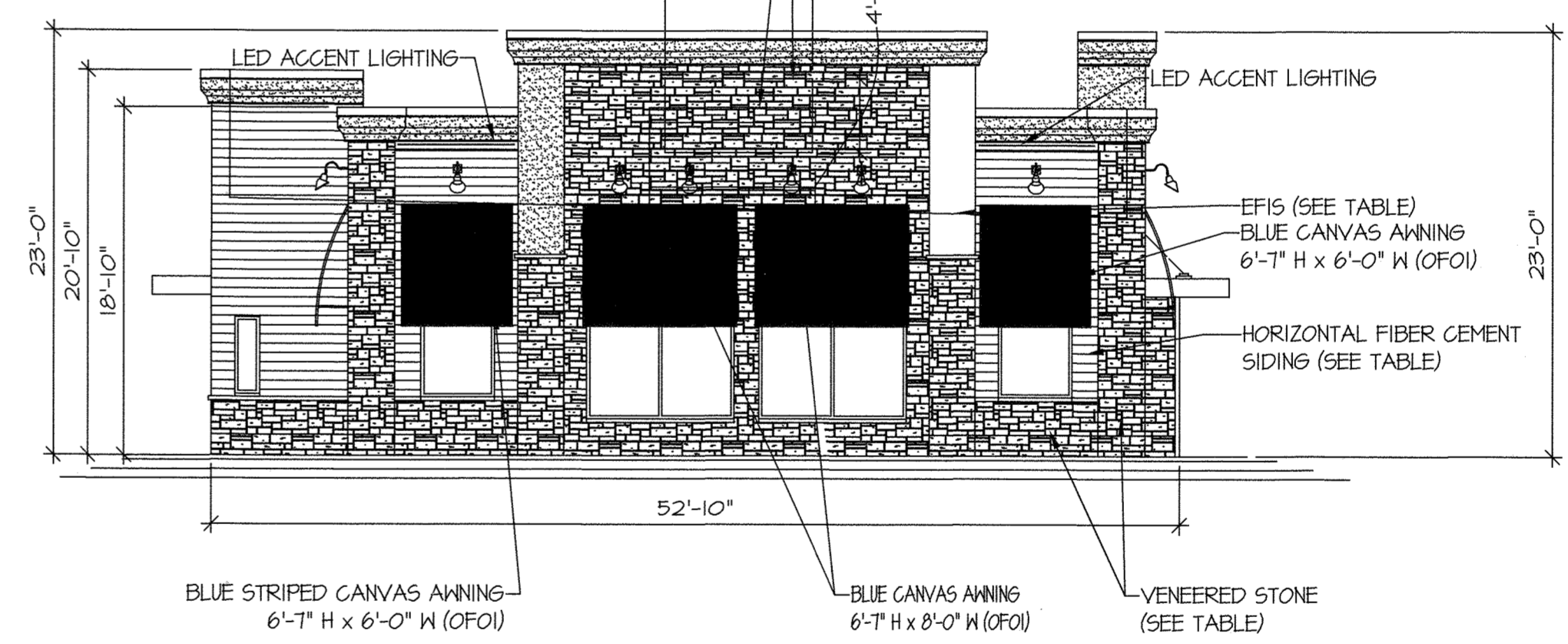


**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

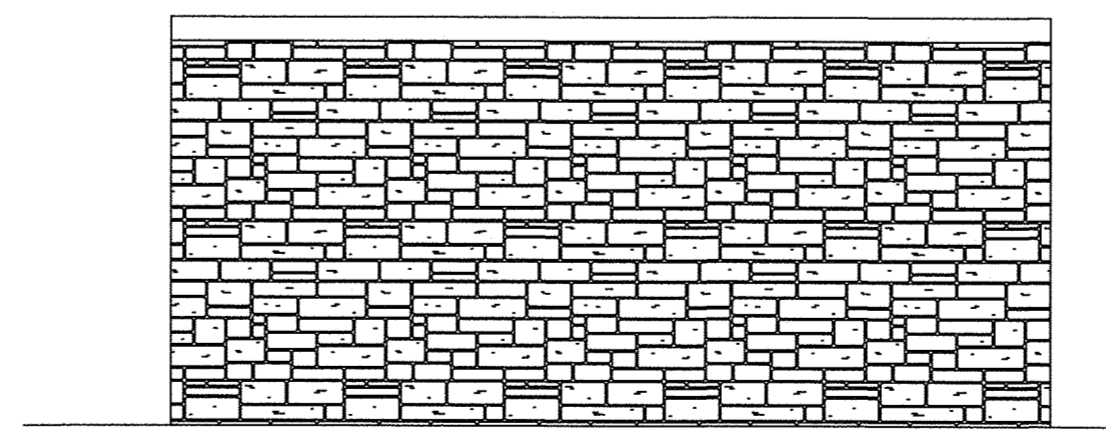


**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

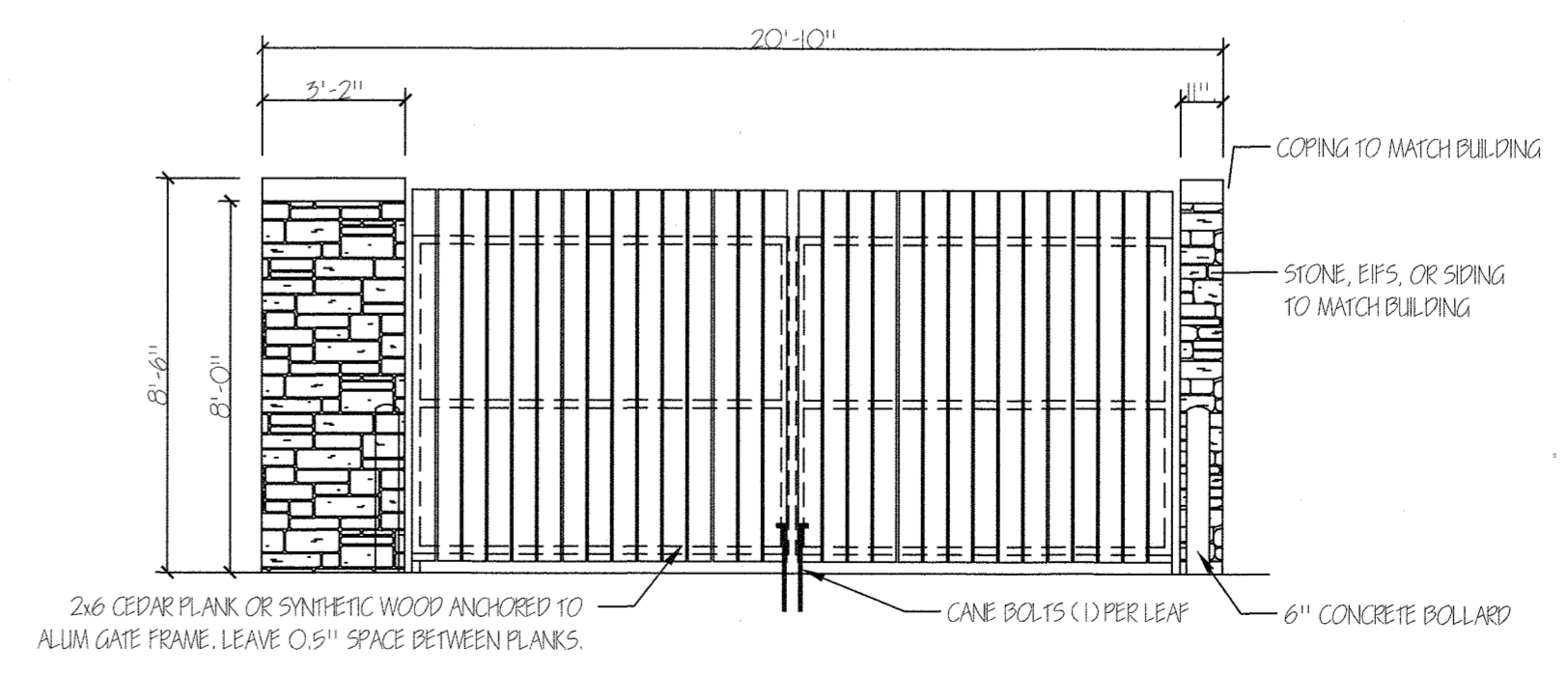
AWNINGS	
<i>QUANTITIES:</i>	
4 -	CANVAS AWNINGS @ 6'-7" H x 8'-0" W x 2'-0" D
2 -	CANVAS AWNINGS @ 6'-7" H x 8'-0" W x 1'-4" D
2 -	CANVAS AWNINGS @ 6'-7" H x 6'-0" W x 2'-0" D
1 -	CANVAS AWNING @ 6'-7" H x 6'-0" W x 1'-4" D
3 -	CANVAS AWNINGS @ 5'-6" H x 6'-0" W x 2'-0" D
17 -	TOTAL
<i>CANVAS AWNING COLOR SPECIFICATIONS:</i>	
SOLID CANVAS AWNING:	
•	SUNBRELLA, ROYAL BLUE, STYLE 4617



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**DUMPSTER ENCLOSURE TYP. ELEVATION**  
SCALE: 1/4" = 1'-0"

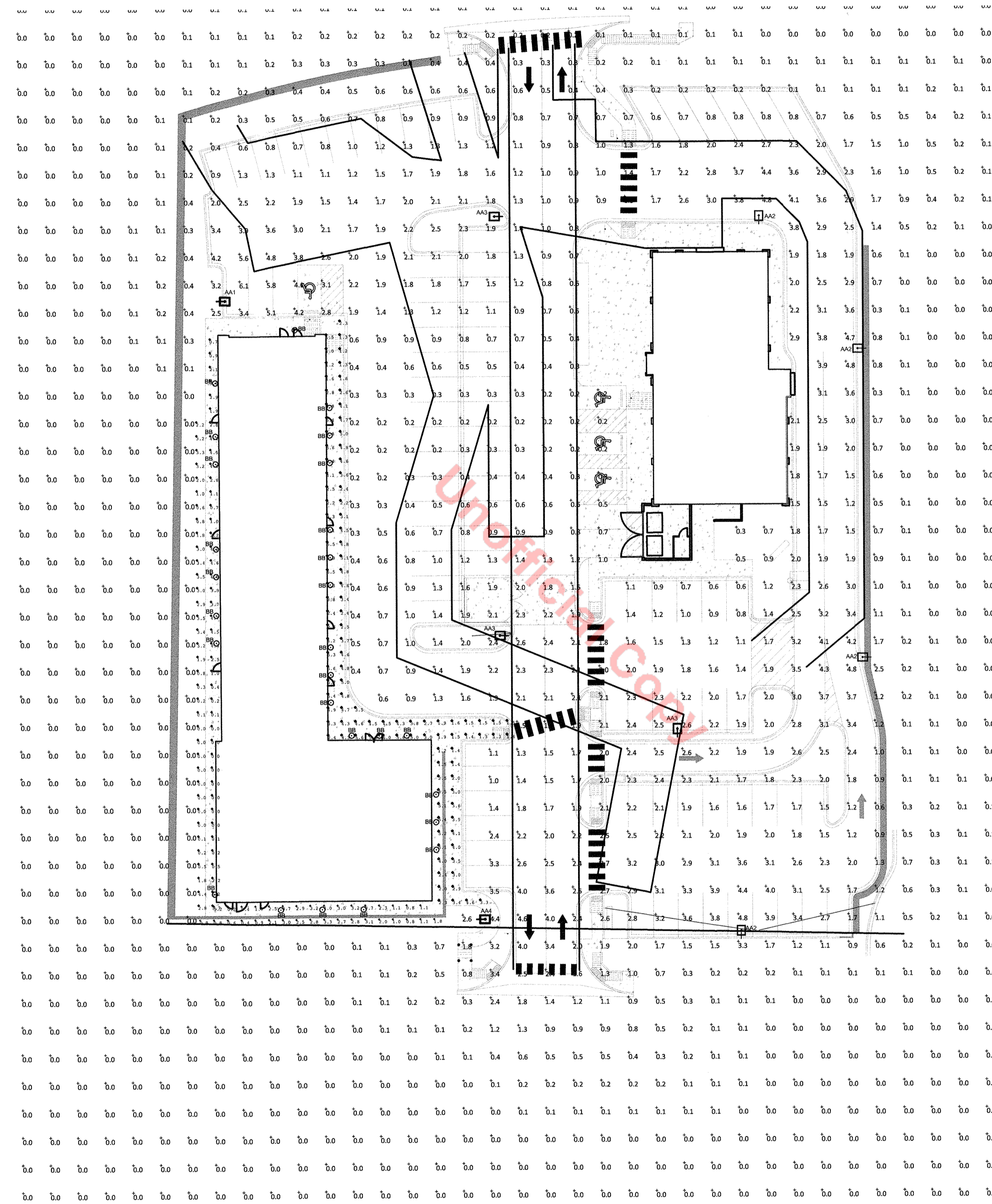


**8 A-1 DUMPSTER ENCLOSURE GATE - TYP. ELEVATION**  
SCALE: 1/4" = 1'-0"

**CULVER'S BUILDING ELEVATIONS**  
SHEET NUMBER:  
**8 OF 10**

# LOT 6-A, CASTLE PINES COMMERCIAL FILING NO. 3, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Category	Units	Avg	Max	Min	Asph/Min	Max/Min
East Sidewalk	FC	0.80	1.3	0.2	3.35	17.50
East Sidewalk_Culverts	FC	1.99	2.3	1.1	1.14	11.50
North Sidewalk	FC	1.20	1.9	0.7	1.71	17.11
North Sidewalk_Culverts	FC	0.23	0.2	0.2	2.88	8.00
Site	FC	0.80	1.4	0.0	N/A	N/A
South Sidewalk	FC	0.23	0.2	0.2	N/A	N/A
South Sidewalk_Culverts	FC	0.80	1.4	0.3	2.87	3.33
West Sidewalk	FC	0.23	0.2	0.2	N/A	N/A
West Sidewalk_Culverts	FC	0.24	0.2	0.1	2.40	4.50
Parking & Drive Right	FC	2.22	4.4	1.0	15.15	30.00
Parking Lot	FC	1.43	1.1	0.3	12.15	30.50

Symbol	Arrangement	Qty	Level	Avg. Width	Air. Lum.	Length	TLR	Orientation
□	FOUR	1	AA1	134	10000	0.800	104	120-DIAGONAL-33-DEG-E-81-000
□	SINGLE	4	AA2	134	10044	0.800	101	120-DIAGONAL-33-DEG-E-81-000
□	SINGLE	1	AA3	138	10060	0.800	106	120-DIAGONAL-33-DEG-E-84-000
□	SINGLE	1	AA4	138	10070	0.800	110	120-DIAGONAL-33-DEG-E-87-000
□	SINGLE	16	SP	6.3	100	0.800	10	100-VERTICAL-0-DEG



SITE PHOTOMETRIC PLAN

1" = 30'

SITE PHOTOMETRIC PLAN PH1

SHEET NUMBER:

9 OF 10

1/31/18

