

PLAT IDENTIFICATION SHEET

RECEPTION # :

DC99046777

DATE: 5-25-99

TIME: 12:54

FEE: \$ 60⁰⁰ (6 Pages)

GRANTOR: CNL APF Partners, LP
(OWNER/SIGNER)

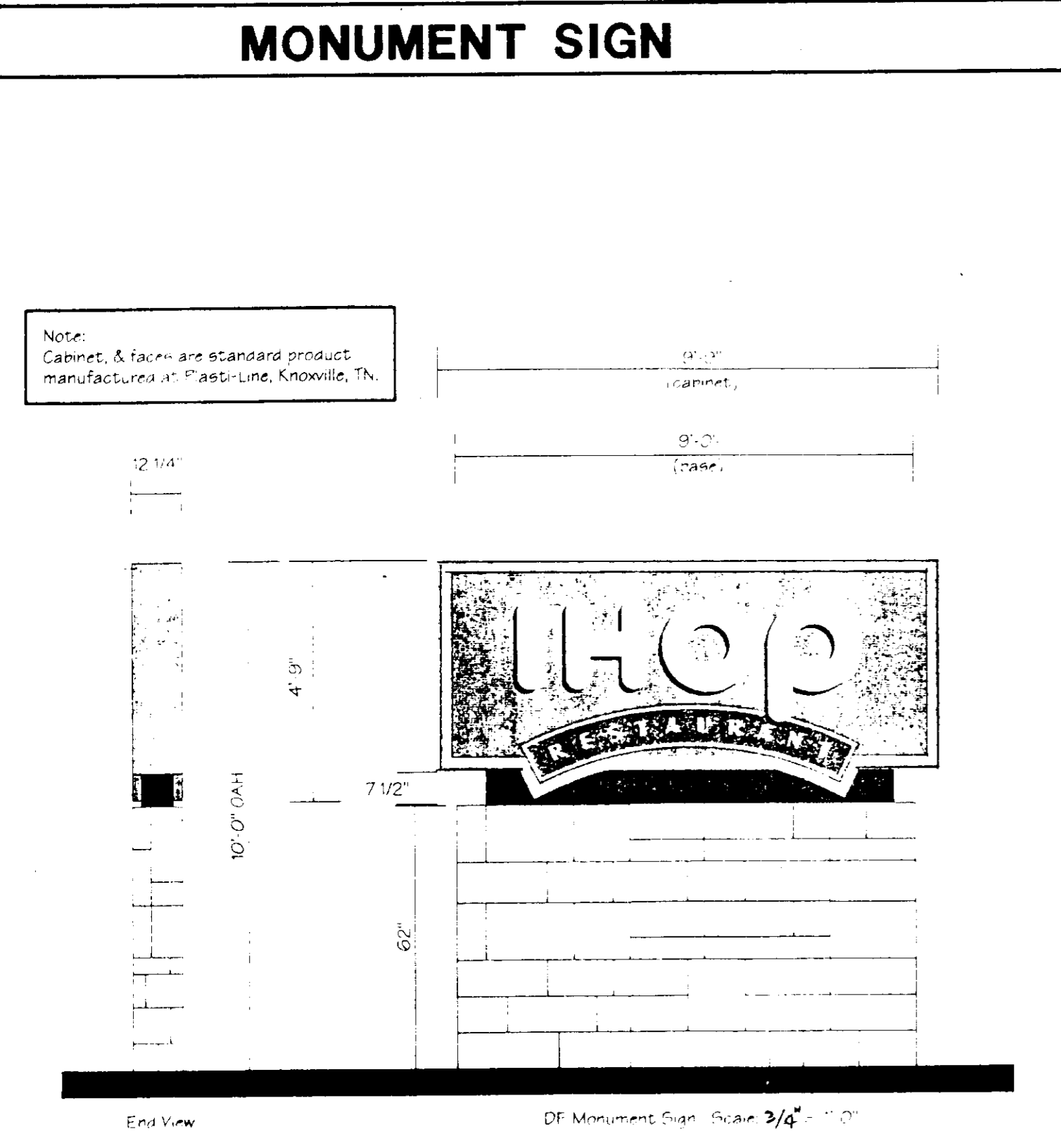
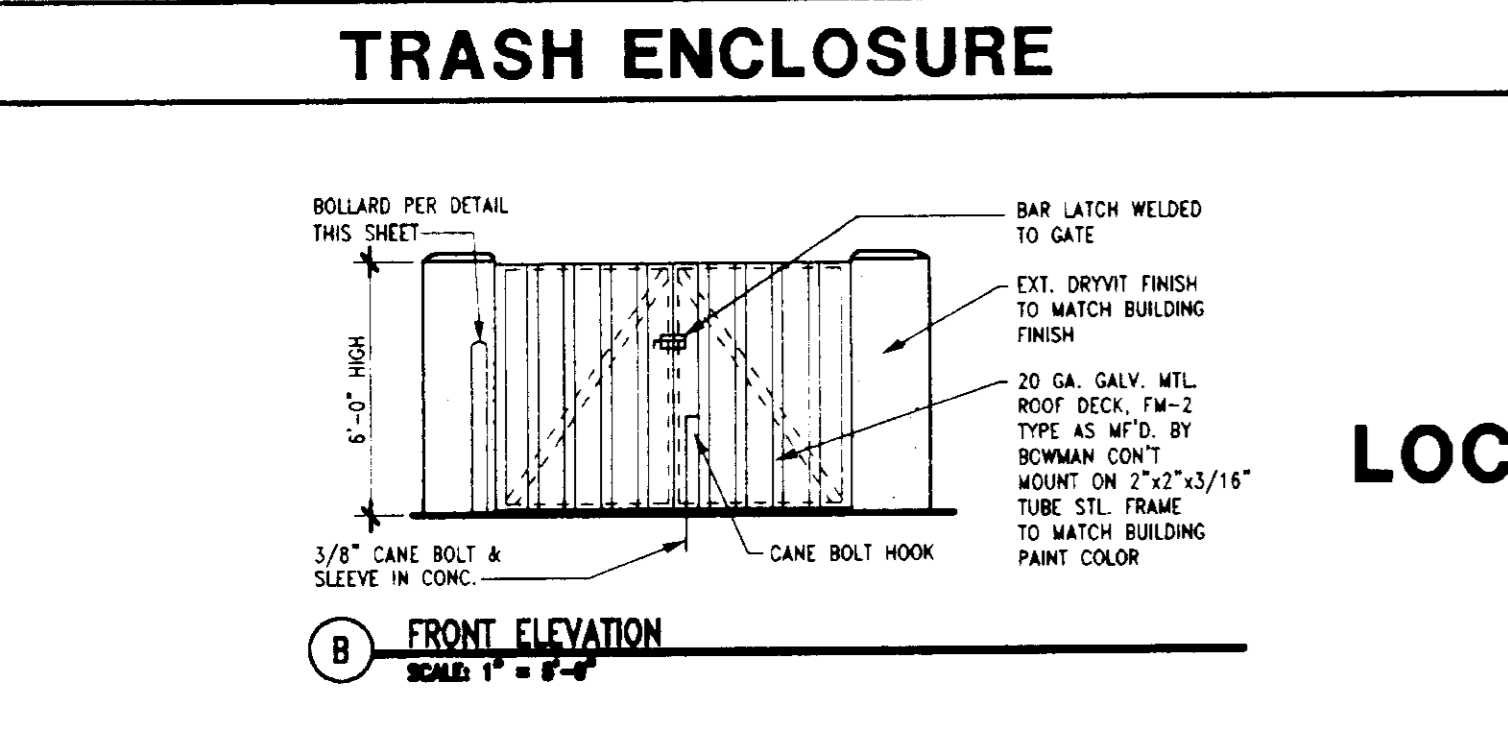
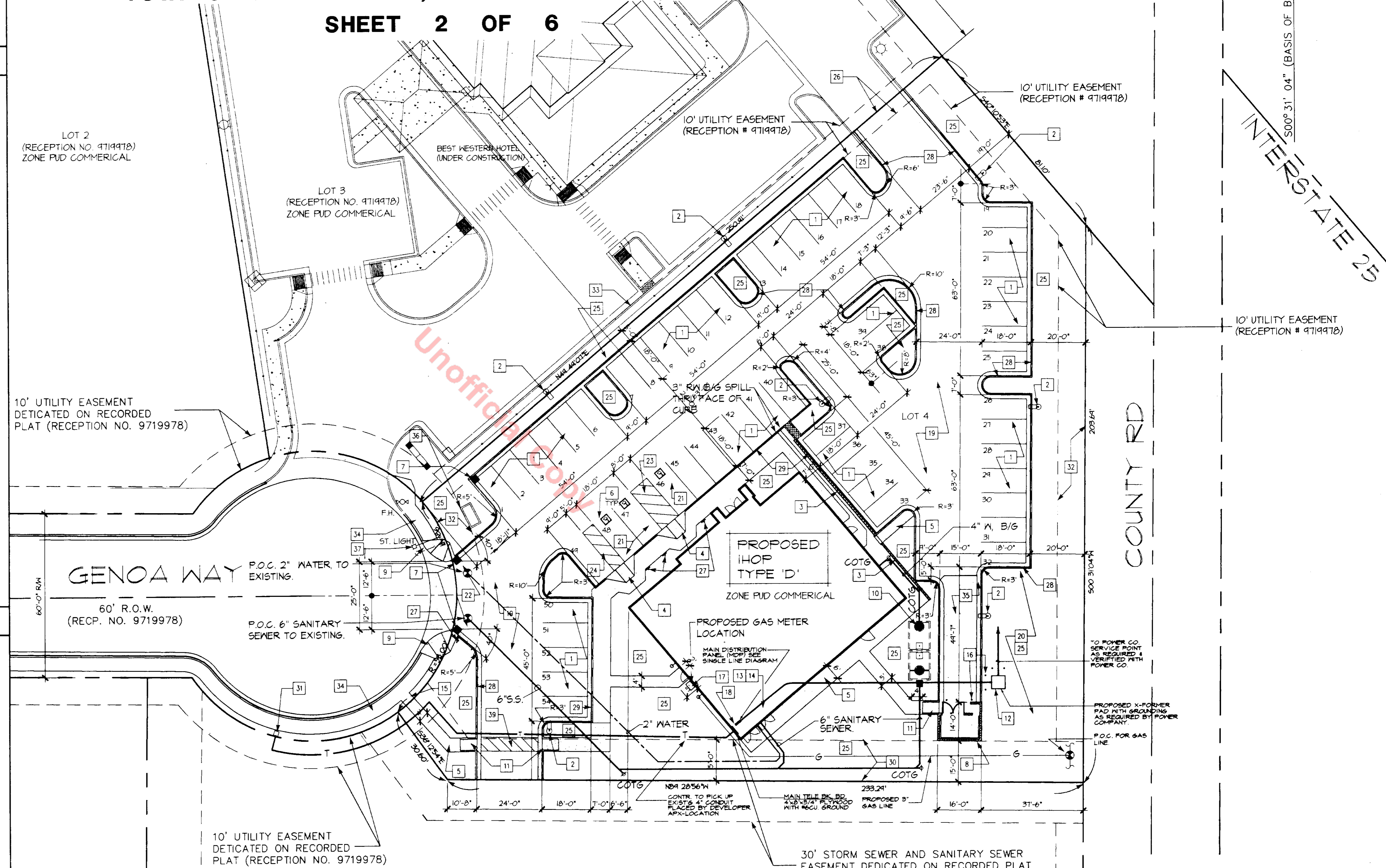
GRANTEE: Castle Pines Commercial #3
(SUBDIVISION NAME OR NAME OF PLAT)
Lots 344
Final PD Site Plan

LEGAL: 27, 7, 67
(SECTION-TOWNSHIP-RANGE)

CASTLE PINES COMMERCIAL FILING 3, LOT 4 FINAL PD SITE PLAN

LOCATED IN SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SHEET 2 OF 6



ALL SIGNAGE UNDER SEPARATE PERMIT AND APPROVAL PROCESS.

- SITE PLAN NOTES**
- 1 PARKING STALLS w/ 4" WHITE STRIPING.
 - 2 POLE LIGHT.
 - 3 SITE WALL. SEE GRADING PLAN.
 - 4 NEW CONCRETE CURB RAMP.
 - 5 NEW CONCRETE SIDEWALK.
 - 6 NEW PAINTED SYMBOL OF ACCESSIBILITY.
 - 7 CATCH BASIN. SEE GRADING PLAN.
 - 8 NEW CMU TRASH ENCLOSURE CONSTRUCTION TO COMPLY WITH IHOP STDS.
 - 9 NEW CURB RAMP. SEE CIVIL DRAWING.
 - 10 GREASE INTERCEPTOR w/ MANHOLE COVERS EXPOSED.
 - 11 DELIVERY RAMP.
 - 12 PROPOSED ELECTRICAL TRANSFORMER LOCATION.
 - 13 NEW IRRIGATION STUB.
 - 14 NEW 2" WATER METER IN WEATHER PROOF ENCLOSURE.
 - 15 NEW 4 FOOT WIDE PUBLIC SIDEWALK.
 - 16 PROTECTIVE BOLLARDS.
 - 17 NEW ABOVE GROUND GAS METER SEE ALSO PLUMBING SHEETS.
 - 18 NEW MAIN SWITCHBOARD IN BUILDING SEE ALSO ELECTRICAL SHEETS.
 - 19 NEW AC PAVING.
 - 20 AREA TO BE USED FOR ON-SITE SNOW STORAGE.
 - 21 NEW ACCESSIBLE PARKING STALL TYPICAL OF (2).
 - 22 NEW DRIVEWAY. SEE GRADING PLAN.
 - 23 STRIPE PARKING STALLS TO ACCOMMODATE 8'-0" WIDE ACCESS AISLE.
 - 24 STRIPE PARKING STALLS TO ACCOMMODATE 5'-0" WIDE ACCESS AISLE.
 - 25 LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS.
 - 26 5' UTILITY EASEMENT.
 - 27 ACCESSIBLE PARKING SIGN.
 - 28 NEW PLANTER CURB.
 - 29 NEW CURB AND SIDEWALK.
 - 30 15' STORM DRAINAGE AND SANITARY SEWER EASEMENT. SEE SURVEY.
 - 31 EXISTING TELEPHONE RISER.
 - 32 10' UTILITY EASEMENT.
 - 33 EXISTING CURB WORK TO REMAIN.
 - 34 EXISTING PUBLIC SIDEWALK TO REMAIN.
 - 35 REINFORCED CONCRETE PAD.
 - 36 MONUMENT SIGN. SEE DETAIL ABOVE.
 - 37 RELOCATE EXISTING STREET LIGHT PER CIVIL DRAWINGS.
 - 38 SIDEWALK UNDERDRAIN. SEE CIVIL DRAWINGS.
 - 39 5'-0" WIDE STRIPPED CROSSWALK.
- ACCESSIBLE 48" CLEAR PATH OF TRAVEL FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE.
NOTE: ALL UTILITIES TO BE RUN UNDERGROUND.
NOTE: ALL ROOFTOP EQUIPMENT CONCEALED BY PARAPET.

LOT 6 (RECEPTION NO. 9719978) ZONE PUD COMMERCIAL

10' UTILITY EASEMENT DEDICATED ON RECORDED PLAT (RECEPTION NO. 9719978)

20' POTABLE WATER AND EMERGENCY ACCESS EASEMENT DEDICATED WITH THIS FILING

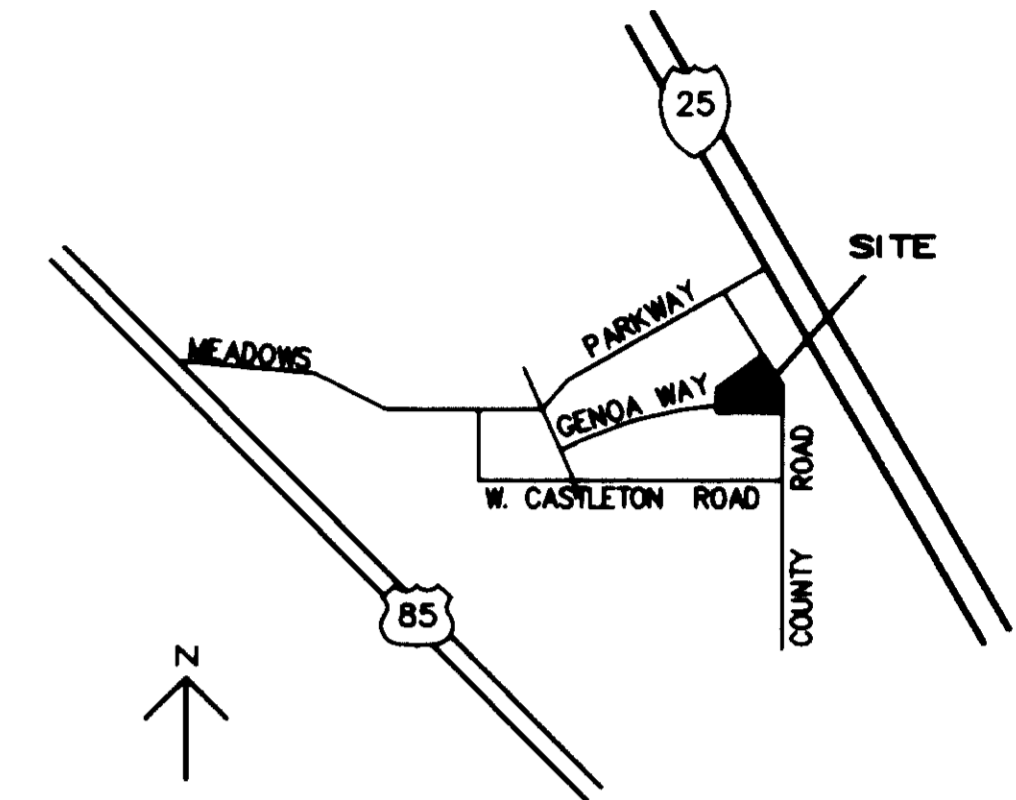
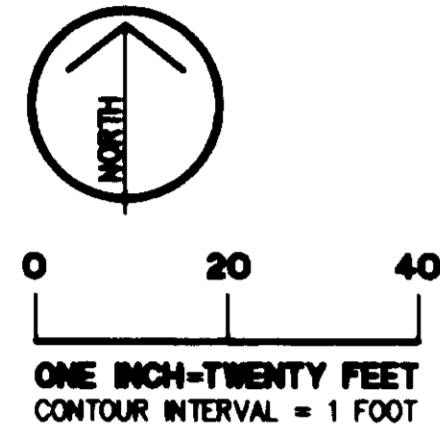


PARKING PROVIDED = 54

BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 27 AS SHOWN ON FINAL PLAT OF CASTLE PINES COMMERCIAL FILING 3, OFFICIAL RECORDS, BEING S 00° 31' 04" W.

CASTLE PINES COMMERCIAL FILING 3, LOT 4
FINAL PD SITE PLAN
OCTOBER 1998

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 LOCATED IN SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 SHEET 3 OF 6 (GRADING)



VICINITY MAP
 T. OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 N.T.S.

LEGAL DESCRIPTION -

LOT 4, CASTLE PINES COMMERCIAL FILING 3, ACCORDING TO THE RECORDED PLAT THEREOF, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO, CONTAINING 1.07 ACRES, MORE OR LESS.

BENCHMARK -

U.S.C. & G.S. A 355 1954 BRASS DISK 3.1 MILES NORTHWEST ALONG THE DENVER AND RIO GRANDE WESTERN RAILROAD FROM THE STATION AT CASTLE ROCK, 2 1/4 RAILS SOUTHEAST OF SEMAPHORE 29.4, 6 FEET NORTHEAST OF THE NORTHEAST RAIL, SET IN THE TOP OF THE NORTHWEST END OF THE NORTHEAST HEADWALL OF A CONCRETE CULVERT. ELEVATION = 6047.50 FEET.

BUILDER -

CNL RESTAURANT SERVICES, INC.
 980 9TH STREET, 16TH FLOOR
 SACRAMENTO, CALIFORNIA 95814
 PHONE 916 / 726-6367

ENGINEER -

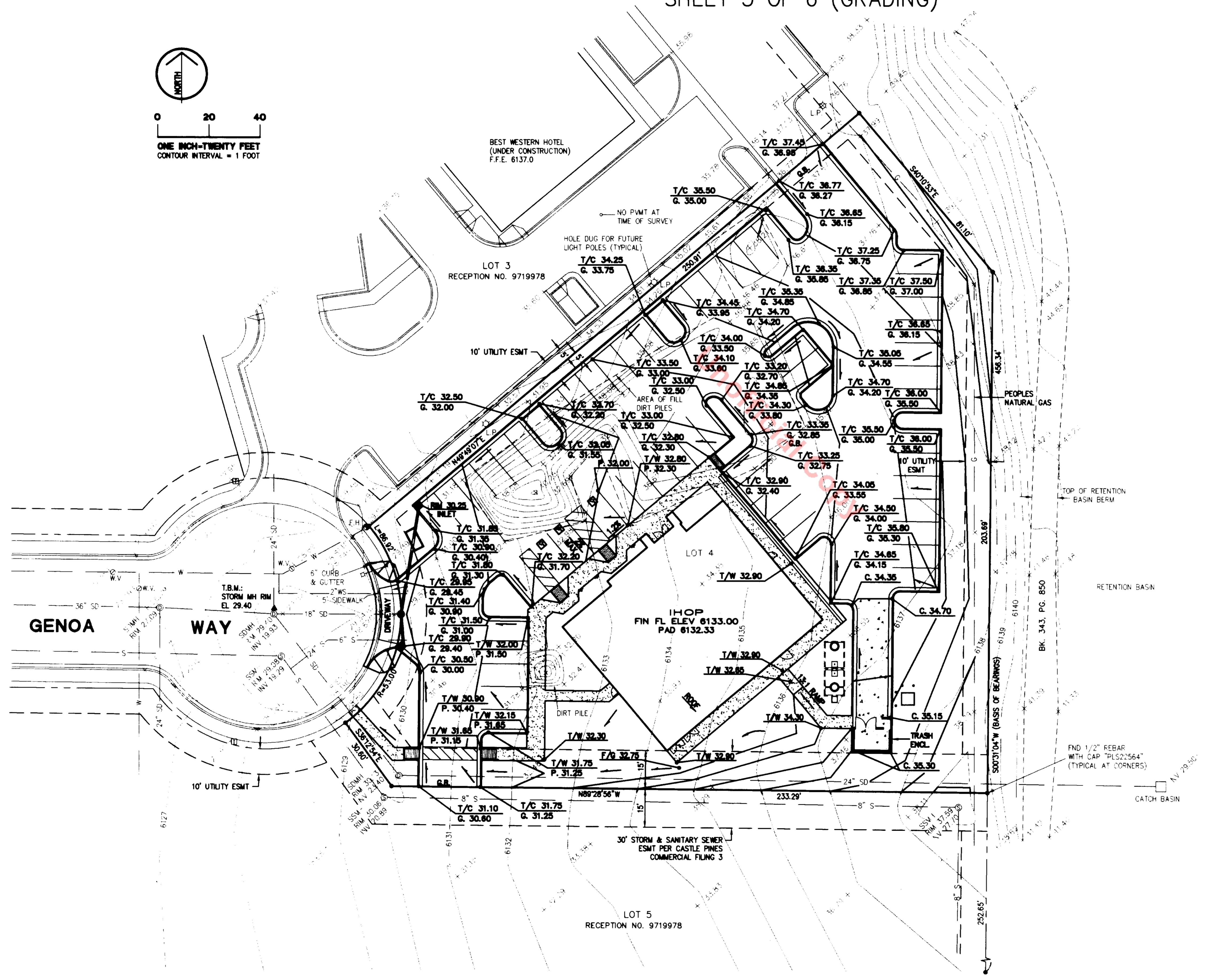
SOUTHGATE ASSOCIATES, LTD.
 4385 N. 75TH STREET, SUITE 100
 SCOTTSDALE, ARIZONA 85251
 PHONE 602 / 970-6862

LEGEND -

BOTT.	BOTTOM	x 00.00	NATURAL GROUND
B/C	BACK OF CURB	- O.H. -	OVERHEAD SERVICE
B/W	BACK OF WALK	- P. -	PAVEMENT
C.	CONCRETE	- P.P. -	POWER POLE
CO.	CONTROL JOINT	- P.U.E. -	PUBLIC UTILITY EASEMENT
C.O.	CLEANOUT	- R/W -	RIGHT-OF-WAY
DRAINAGE	DRAINAGE ARROW	- S -	SEWER LINE
ELECTRIC	ELECTRIC METER BOX	- S/W -	STORM SEWER LINE
E/P	EDGE OF PAVEMENT	- SD -	STORM DRAIN LINE
F.F.	FINISH FLOOR	- S/W -	SIDEWALK
F.G.	FINISH GRADE	- S -	STREET LIGHT
F.H.	FIRE HYDRANT	- T -	TELEPHONE RISER
F.L.	FLOW LINE	- T/B -	TELEPHONE LINE
G.V.	GAS VALVE	- T/C -	TOP OF BERM
G.	GAS LINE	- T/W -	TOP OF CURB
G.B.	GRADE BREAK	- T.O.W. -	TOP OF WALK
G.	GUTTER	- T.S. -	TOP OF WALL
GUY	GUY WIRE	- T.S. -	TRAFFIC SIGNAL
H.W.	HIGH WATER LEVEL	- U.G. -	UNDERGROUND SERVICE
IRR	IRRIGATION LINE	- V.G. -	VALLEY GUTTER
M.H.	MANHOLE	- W -	WATER LINE
(M)	MEASURED DISTANCE	- W.M. -	WATER METER
(R)	RECORD DISTANCE	- W.V. -	WATER VALVE
DO	EXIST. CONTOUR	- T.S.B. -	TRAFFIC SIGNAL BOX
○	TREE		

FLOOD ZONE DESIGNATION -

PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, ACCORDING TO FIRM 0800500186C AS PUBLISHED BY FEMA AND DATED SEPTEMBER 30, 1987. THIS IS NOT A SPECIAL FLOOD HAZARD AREA.



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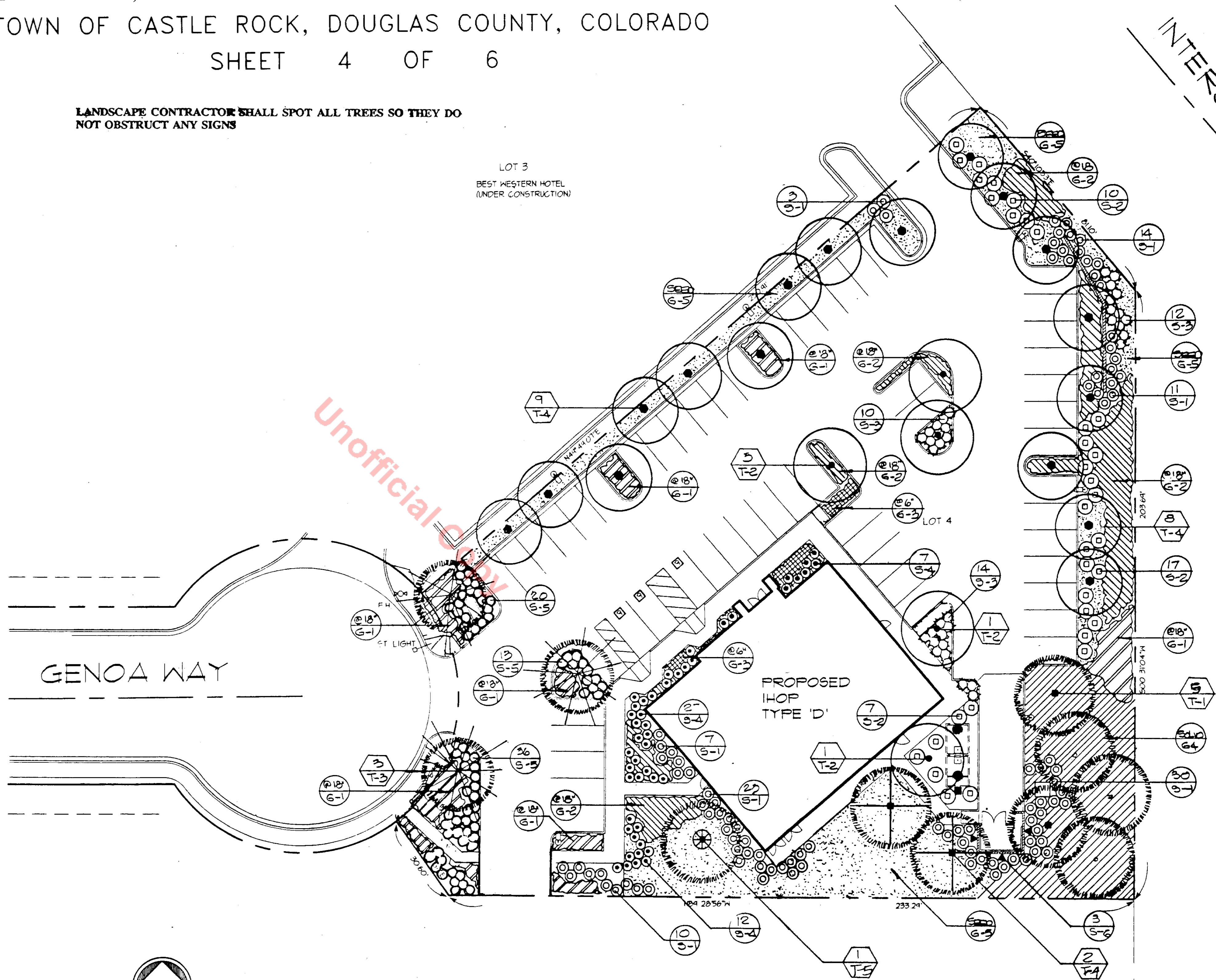
SHEET 4 OF 6

LANDSCAPE CONTRACTOR SHALL SPOT ALL TREES SO THEY DO NOT OBSTRUCT ANY SIGNS

LOT 3
BEST WESTERN HOTEL
(UNDER CONSTRUCTION)

INTERSTATE 25

COUNTY RD



PLANT LIST

TREES

- T-1 7'-0" TALL PINUS NIGRA / Austrian Pine
- T-2 2' CAL PRUNUS CERASIFERA / Purple leaf Plum
- T-3 8'-0" TALL PINUS CEMBROIDES EDULIS / Pinyon Pine
- T-4 2' CAL TILIA EUCHLORA "REDMOND" / Redmond Linden
- T-5 7'-0" TALL PICEA PUNGENS / Colorado Blue Spruce

SHRUBS

- S-1 5 GAL SYRINGA CHINENSIS / Chinese Lilac
- S-2 5 GAL JUNIPER CHINENSIS PFITZER COMPACTA / Compact Pfitzer Juniper
- S-3 1 GAL JUNIPERUS SQUAMAJATA "BLUE STAR" / Squamata Blue Star Juniper
- S-4 5 GAL POTENTILLA FRUTICOSA "YELLOW" / Yellow Cinquefoil
- S-5 5 GAL FALLUCIA PARADOXA / Apache Plume
- S-6 1 GAL HYDRANGEA ANOMALA PETIOLARIS / Climbing Hydrangea

GROUND COVER

- G-1 1 GAL HEMEROCALLIS "ORANGE" / Orange Daylilies @ 18" O.C.
- G-2 CERASTIUM TOMENTOSUM / Snow and summer @ 18" O.C.
- G-3 ANNUAL COLOE (in season) @ 6" O.C. FROM SIX PACK
- G-4 8-10" RIVER ROCK SET IN SAND (tight joints) HAND PLACED AND DUSTED WITH CEMENT
- G-5 BOUTELOUS CURTIPINDULA "VAUGHN" / Sideoats grama (3¢ per 1000 sq. ft.) PRE-GERMINATE WEEDS PRIOR TO SEWING SEED

NOTES

ALL PLANTED AREAS SHALL BE GROUND COVERED WITH POTENTILLA VERVA / CINQUOIFOL @ 8" O.C. FROM FLATS UNLESS OTHER WISE DESIGNATED

TOPDRESS ALL PLANTER AREAS WITH A 3" LAYER OF SMALL PINE BARK OR PINE NEEDLES EXCEPT GRASS AREAS

ALL TREES PLANTED WITHIN 5'-0" OF ANY CURBS, A.C. PAVING, HARDSCAPES, WALLS AND OR STRUCTURES SHALL BE PLANTED WITH AN APPROVED "DEEP ROOT INC." ROOT BARRIER PER MANUFACTURERS SPECIFICATIONS

ALL TREES PLANTED IN GRASS AREAS SHALL BE PROTECTED WITH AN "DEEP ROOT INC." ARBOR GUARD PER MANUFACTURERS SPECIFICATIONS



LANDSCAPE PLAN

1" = 20'

LOT 5

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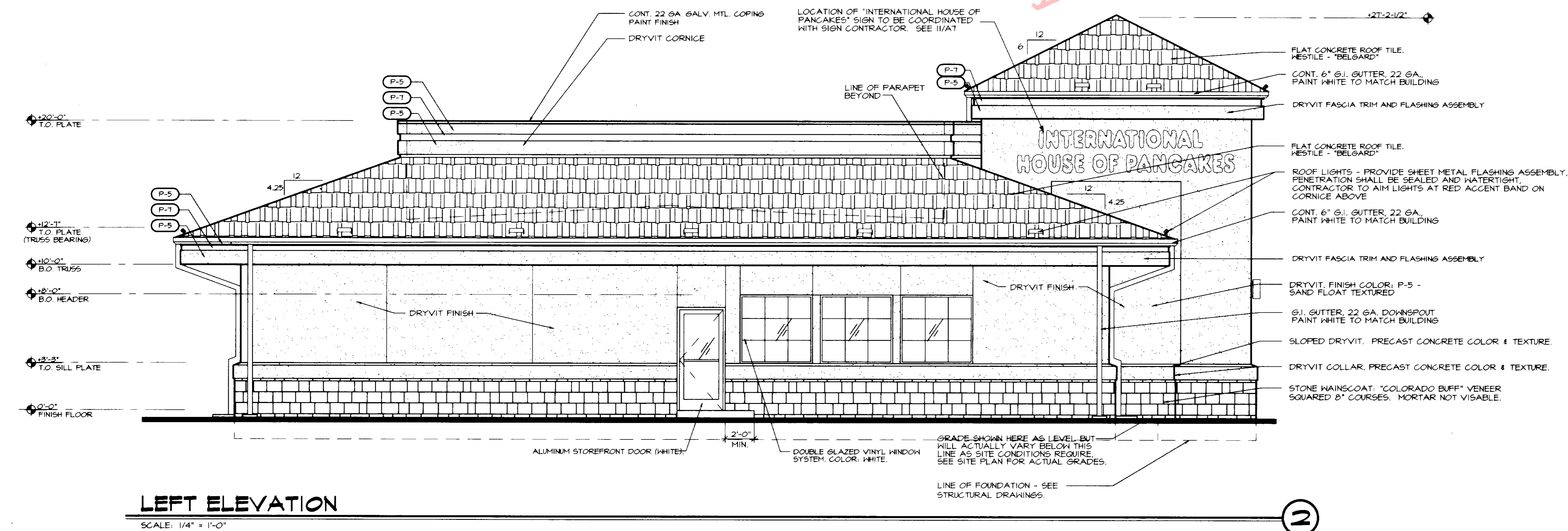
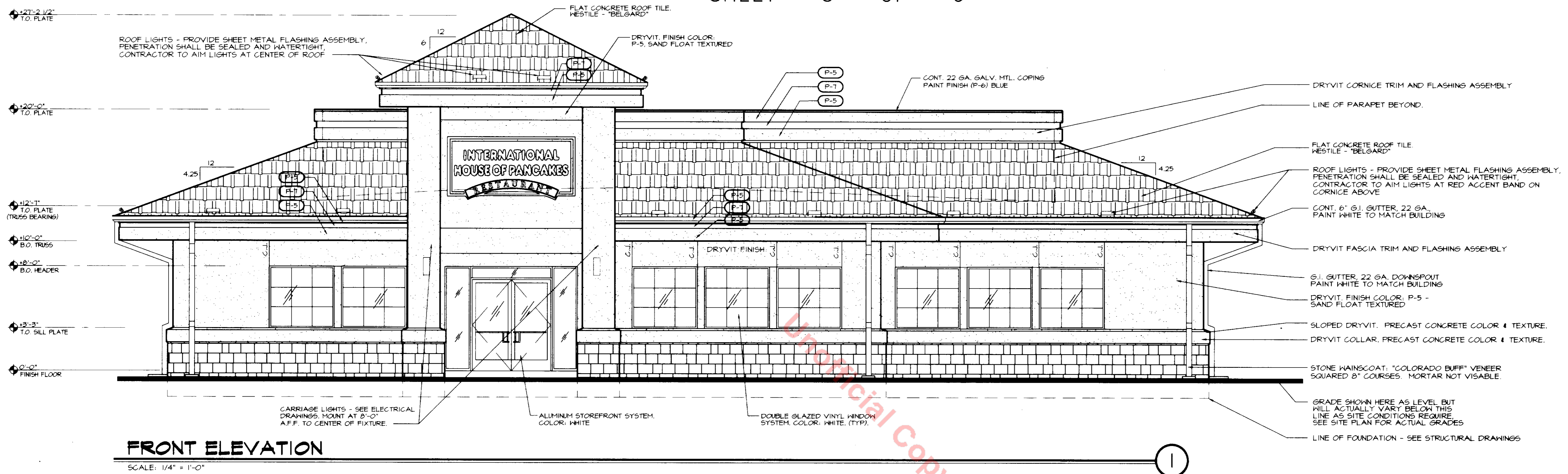
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SHEET 5 OF 6

GENERAL NOTES

1. SEE FINISH SCHEDULE ON THIS SHEET FOR COLORS.
2. CONTROL JOINTS (C.J.): KEENE #15, ZINC.
3. CONTRACTOR TO AIM ROOF LIGHTS AT CENTER BAND ON STUCCO CORNICE ABOVE. VERIFY WITH HOP PROJECT MANAGER FOR CORRECT POSITION JUST PRIOR TO SUBSTANTIAL COMPLETION.
4. ROOF EQUIPMENT WILL BE SCREENED FROM VIEW ON THE SURROUNDING STREETS & FREEWAYS.
5. LOCAL ARCHITECT TO PROVIDE FOR PROPER GAUGE GUTTER, ATTACHMENTS AND DOWNSPOUT LOCATION, TO COMPLY WITH APPLICABLE CODES & ORDINANCES.



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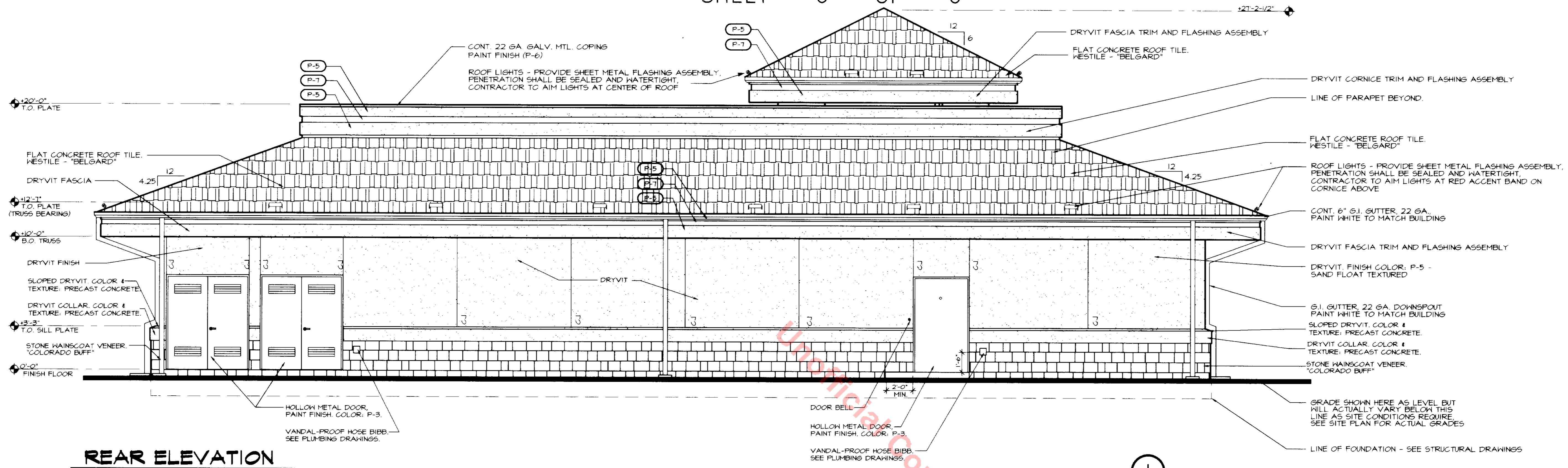
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SHEET 6 OF 6

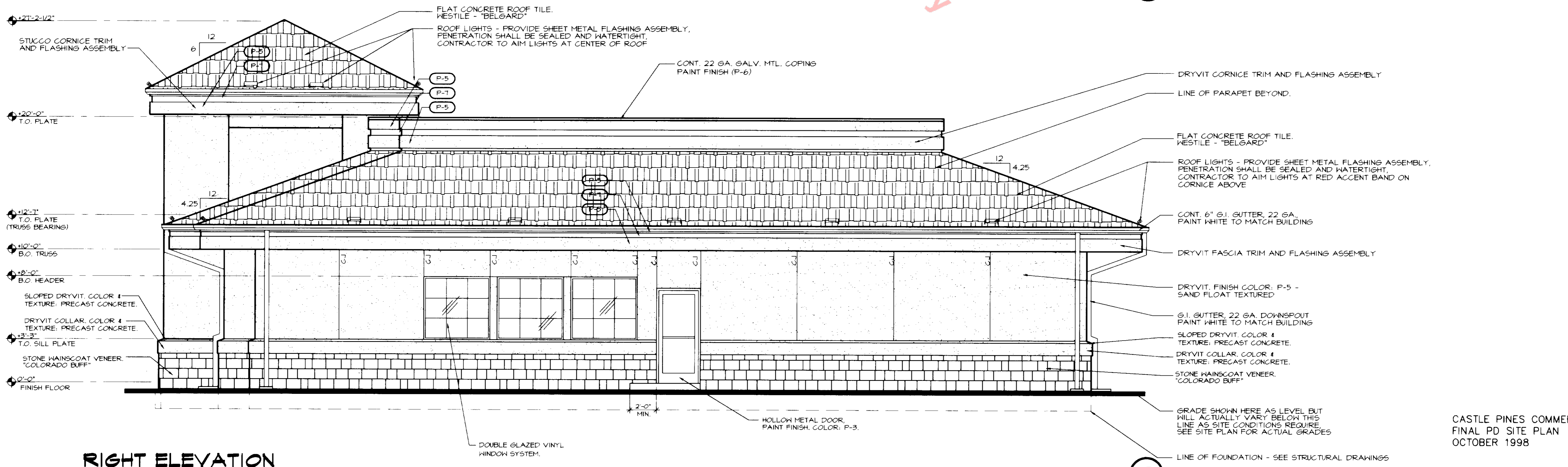
GENERAL NOTES

1. SEE FINISH SCHEDULE ON SHEET A2 FOR COLORS.
2. CONTROL JOINTS (C.J.): KEENE #15, ZINC.
3. CONTRACTOR TO AIM ROOF LIGHTS AT CENTER BAND ON CORNICE ABOVE. VERIFY WITH IHPF PROJECT MANAGER FOR CORRECT POSITION JUST PRIOR TO SUBSTANTIAL COMPLETION.
4. GENERAL CONTRACTOR TO PROVIDE FOR PROPER GAUGE GUTTER, ATTACHMENTS, AND RUN RAIN WATER LEADERS INSIDE WALL CAVITY FROM GUTTER, TO COMPLY WITH APPLICABLE CODES AND ORDINANCES.



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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