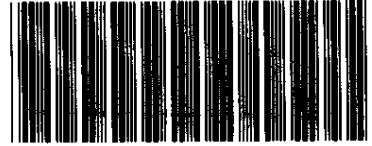


PLAT IDENTIFICATION SHEET

✓ **Batterberry Land Group, LLC**

Grantor (owner)



2007023671 12 PGS

Grantor (owner)

Castle Pines Commercial 12, Lot 1 Final PD Site Plan

Grantee (name of plat or condo)

OFFICIAL RECORDS
DOUGLAS COUNTY CO
JACK ARROWSMITH
CLERK & RECORDER
RECORDING FEE: \$111.00
200302267 12 PGS

Grantee (name of plat or condo)

2007023671
03/22/2007 04:21 PM

Subdivision Info: Castle Pines Commercial Filing: 12 Lot: 1

Condo Info: Phase _____ Bldg _____ Unit _____

Section

Township

Range

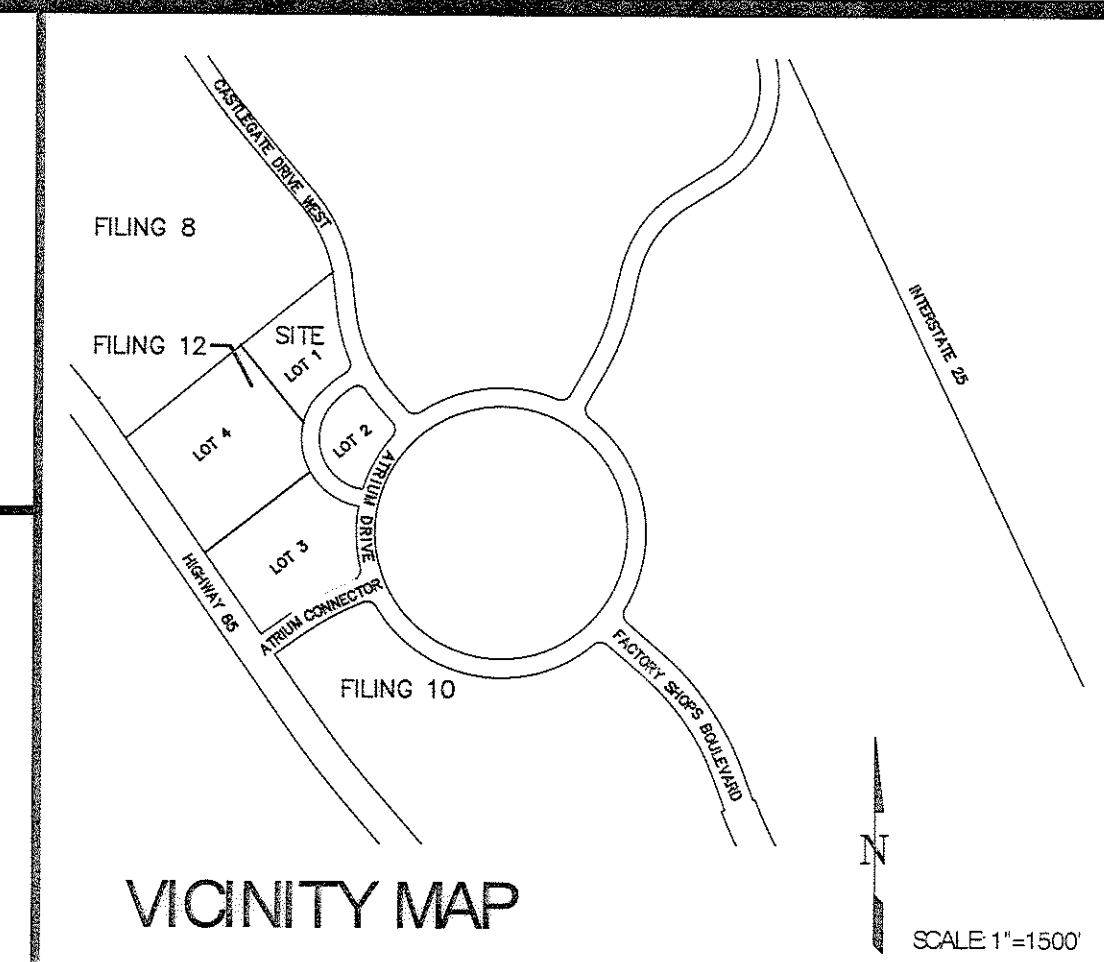
Cross Reference numbers: (reception #s or book and page)

✓ 2006078938

TITLE: LOT 1, CASTLE PINES COMMERCIAL FILING 12

Primrose School, Castle Rock, CO. Final PD Site Plan, Use By Special Review

January 16, 2007



NAMES AND ADDRESSES

Batterberry Land Group, LLC.
Shawn Batterberry, Developer
(303) 507-9007
990 Diamond Ridge Circle
Castle Rock, CO 80108

Daniel J. Horvat Architect, LLC. Architect/Planner
(303) 523-3030
4042 S. Quebec St.
Denver, CO. 80237

LDC, Inc.
Jim Byers, Landscape Architect/Planner
(719) 528-6133
2850 Serendipity Circle West
Colorado Springs, CO. 80917

Kiowa Engineering Corporation
Neil Kempcke, Civil Engineer
1604 S. 21st Street
Colorado Springs, CO. 80904

ME Engineers
Rob S., Electrical Engineer
(720) 898-3158

SIGNATURE BLOCKS

SURVEYOR'S CERTIFICATE

I, MICHAEL C. CREGGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY LOT 1, CASTLE PINES COMMERCIAL FILING 12 WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

Michael C. Cregger
REGISTERED LAND SURVEYOR



OWNERSHIP CERTIFICATE

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 1, CASTLE PINES COMMERCIAL FILING 12 IN THE TOWN OF CASTLE ROCK.

Shawn Batterberry, Manager
BATTERBERRY LAND GROUP, LLC.

SIGNED THIS 5th DAY OF February, 2007

NOTARY BLOCK

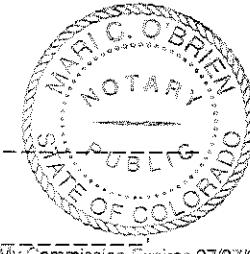
SUBSCRIBED AND SWORN TO BEFORE ME THIS 5th DAY OF February, 2007,
BY Shawn Batterberry as Manager of Batterberry Land Group, LLC

WITNESS MY HAND AND OFFICIAL SEAL.

Malcolm Brien

NOTARY PUBLIC

MY COMMISSION EXPIRES 07-07-2010



LIENHOLDER SUBORDINATION CERTIFICATION

THE UNDERSIGNED ARE ALL THE MORTGAGES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS 5885 New Abbey Lane, AKA, HOT IN THE TOWN OF CASTLE ROCK.

CASTLE PINES COMMERCIAL FILING 12 9-12-2006
AT RECEPTION NO. 2006078938, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LEIN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

Horizon Banks, N.A. (MORTGAGEE)

BY Joseph Miller, SVP (TITLE)

STATE OF Colorado

COUNTY OF Denver

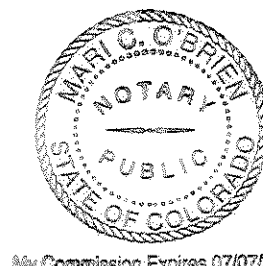
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 5th DAY OF February, 2007,
BY Jimmy L. Miller, Jr., AS Senior Vice President OF Horizon Banks, N.A.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: 07-07-2010

Malcolm Brien

NOTARY PUBLIC



TITLE CERTIFICATION

I, Darren W. Howe, AN AUTHORIZED REPRESENTATIVE OF Fidelity National Title, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE

SIGNED THIS 9th DAY OF February, 2007

Darren W. Howe
AUTHORIZED REPRESENTATIVE

Fidelity National Title Insurance
TITLE INSURANCE COMPANY

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 9th DAY OF February, 2007,
BY Darren W. Howe, Vice President of Fidelity National Title Insurance

Alisa M. Engler
WITNESS MY HAND AND OFFICIAL SEAL.

Alisa M. Engler
NOTARY PUBLIC

MY COMMISSION EXPIRES 2/14/2009



SUMMARY TABLE

ZONE: CO

LOT AREA: 88,882.40 S.F., (2.04 AC.)

PROPOSED USE: DAYCARE FACILITY

NO. OF BUILDINGS: 1

MAXIMUM GROSS FLOOR AREA:

1 BUILDING @ 10,475 S.F.

TOTAL FLOOR AREA: 10,475 S.F.

SITE UTILIZATION:

BUILDING COVERAGE= 11.78% 10,475 S.F.

TOTAL IMPERVIOUS COVERAGE=39%

34,873 S.F.(DRIVEWAYS, PARKING, SIDEWALKS, BUILDINGS)

PERVIOUS COVERAGE= 61%

53,989.40 S.F.(LANDSCAPE AREAS, OPEN SPACE, NON-DISTURBED AREA)

12,965 S.F. (DRIP IRRIGATED LANDSCAPE)

TOTAL DISTURBED AREA= 86% (77,164.4 S.F.)

TOTAL NON-DISTURBED AREA= 14% (11,698 S.F.)

MAXIMUM GRADE: 3:1

MAXIMUM BUILDING HEIGHT: 50' ALLOWED - PROVIDED 30'

PARKING REQUIRED FOR DAY CARE CENTER

1 SPACE PER EMPLOYEE@20 EMPLOYEES = 20 SPACES

1 SPACE PER 6 CHILDREN@196 CHILDREN = 32 SPACES

1 SPACE PER FACILITY-OWNED VEHICLE@2 VEHICLES = 2 SPACES

TOTAL PARKING SPACES REQUIRED: 54 SPACES

TOTAL PARKING PROVIDED: 46 SPACES

REDUCTION OF REQUIRED PARKING SPACES APPROVED

BY THE DIRECTOR OF DEVELOPMENT SERVICES

HANDICAPPED PARKING REQUIRED: 1 VAN ACCESSIBLE

PERY AMERICANS WITH DISABILITIES ACT STANDARDS

HANDICAPPED PARKING PROVIDED: 2 SPACES

TOWN CERTIFICATION

THE FINAL PD SITE PLAN FOR LOT 1, CASTLE PINES COMMERCIAL FILING 12 WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, CO. THE 14 DAY OF February, 2007

Christina
DIRECTOR OF DEVELOPMENT SERVICES

2/14/07
DATE

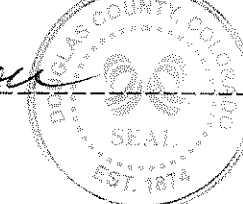
DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 421 ON THE 22nd DAY OF March, 2007. AT RECEPTION NO. 20070223611

DOUGLAS COUNTY CLERK AND RECORDER

BY: Tulayna

DEPUTY



NOTES

1. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 15% fee.

2. Pursuant to Section 17.62.080 of the Town of Castle Rock Municipal Code, the Owner of the property, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Final PD Site Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowners Association, if applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Replacement for dead or diseased plant material shall be the same type of plant material as set forth in the approved Final PD Site Plan; for example, a tree must replace a tree, a shrub must replace a shrub, ground cover must replace ground cover, etc. Upon written notice by the Town, the Owner will have six (6) months to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Restriction regulations, water conservation regulations and landscape regulations and principles regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.

3. Any street signs, striping and street lights are conceptual only and subject to Town review with the CDs. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.

4. The Developer shall conform to the Town of Castle Rock 'Water Use Management Program Implementation Policy', as amended from time to time, for this project.

5. Approval of the Final PD Site Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.

6. No solid object exceeding thirty (30) inches in height above the flowline elevation of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms, shall be placed in a Sight Distance Easement as shown on this Final PD Site Plan. Trees with a diameter no greater than twelve (12) inches and a branching height no less than eight (8) feet will be allowed in a Sight Distance Easement as long as it can be demonstrated that these trees will not negatively impact the vehicular sight distance at the intersection.

7. No large trees or shrubs are allowed in utility or drainage easements.

8. The floodplain on site is contained within the pipe on site. FEMA/FIRM MAP # 08035C0167F

9. The benchmark elevation and plans are based on the NAD83 datum, as described by #4 rebar located at the northeast corner of Lot 1 with an elevation of 6774.21

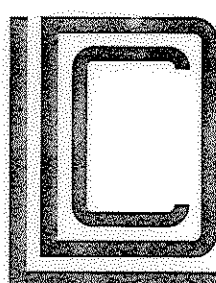
Water Rights Dedication Certificate: The provision of municipal water to this subdivision is subject to the terms and conditions of the Castle Pines Commercial Water Dedication Agreement, Recorded July 14, 1996 in Book 1274 at page 2057 at Reception No. 9531415 of the Douglas County, Colorado records, and accordingly 5 SFE are debited from the water bank.

LEGAL DESCRIPTION

LOT 1, CASTLE PINES COMMERCIAL FILING 12
TOWN OF CASTLE ROCK
COUNTY OF DOUGLAS, STATE OF COLORADO

SHEET INDEX

Sheet No.	Title
1	Cover Sheet
2	Final PD Site Plan
3	Grading Plan Sheet
4	Utility Plan
5	Landscape Plan
6	Landscape Details
7	Irrigation Plan
8	Irrigation Details
9	Building Elevations
10	Building Elevations
11	Photometric Lighting Plan



Land Development Consultants, Inc.

2850 Serendipity Circle West, Colorado Springs, CO 80917
(719) 528-6133 Fax (719) 528-6848

LOT1 CASTLE PINES COMMERCIAL FILING 12

FINAL PD SITE PLAN, USE BY SPECIAL REVIEW

CASTLE ROCK PROJECT NUMBER: 05-123 (FPDSP)
05-124 (UBSR)

SHEET 1 OF 11

LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN AND USE BY SPECIAL REVIEW

Notes:

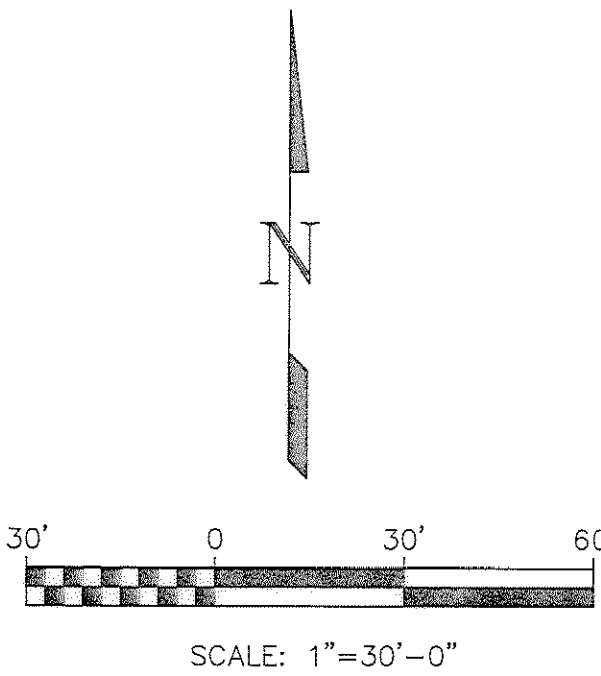
SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND SERVICEABLE PRIOR TO AND DURING ALL CONSTRUCTION.

FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAVE BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT.

FIRE LANE SIGNS ARE TO BE INSTALLED PER FIRE DEPARTMENT REQUIREMENTS, AND ALL STREETS ARE TO BE POSTED AS FIRE LANES.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- PLATTED EASEMENT LINE
- PROPOSED FENCE
- PROPOSED RETAINING WALL
- PROPOSED CENTERLINE OF SWALE
- EXISTING STORM PIPE
- PROPOSED STORM INLET AND PIPE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED CURB & GUTTER (BY OTHERS)
- PROPOSED SIDEWALK
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- PROPOSED WATER LINE (BY OTHERS)
- FUTURE WATER LINE (BY OTHERS)
- PROPOSED FIRE HYDRANT (BY OTHERS)
- PROPOSED GATE VALVE (BY OTHERS)
- PROPOSED WASTEWATER LINE (BY OTHERS)
- PROPOSED WATER SERVICE LINE
- PROPOSED WASTEWATER SERVICE LINE AND CLEANOUT



FINAL PD SITE PLAN

REVISIONS

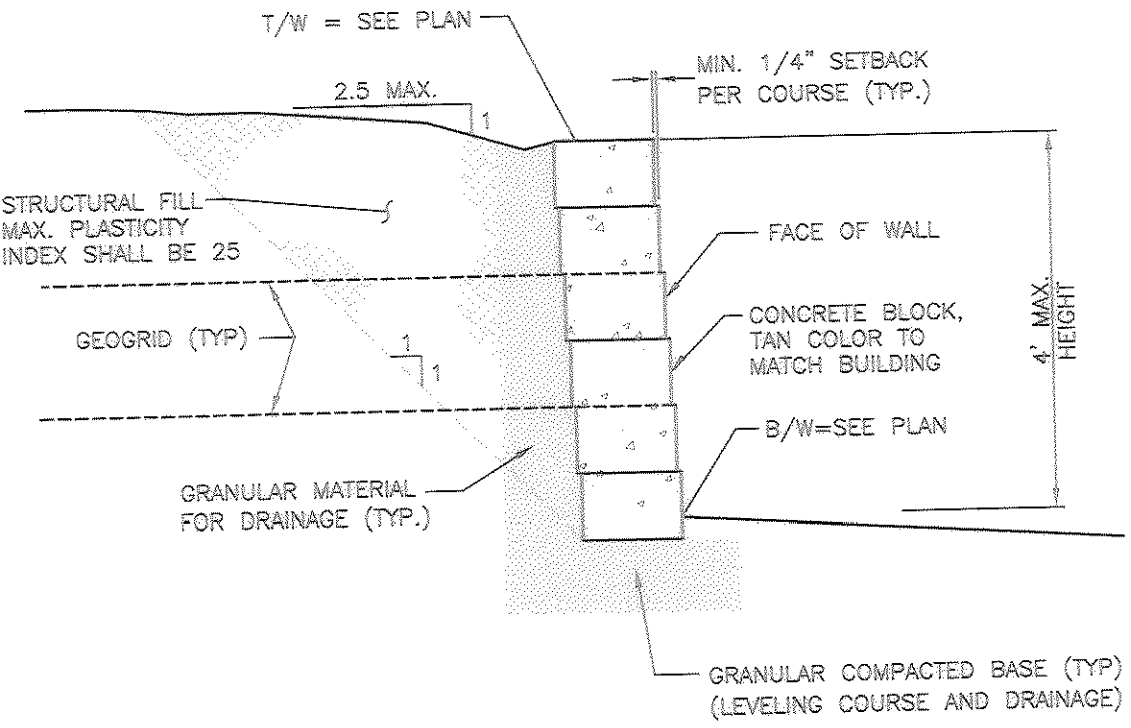
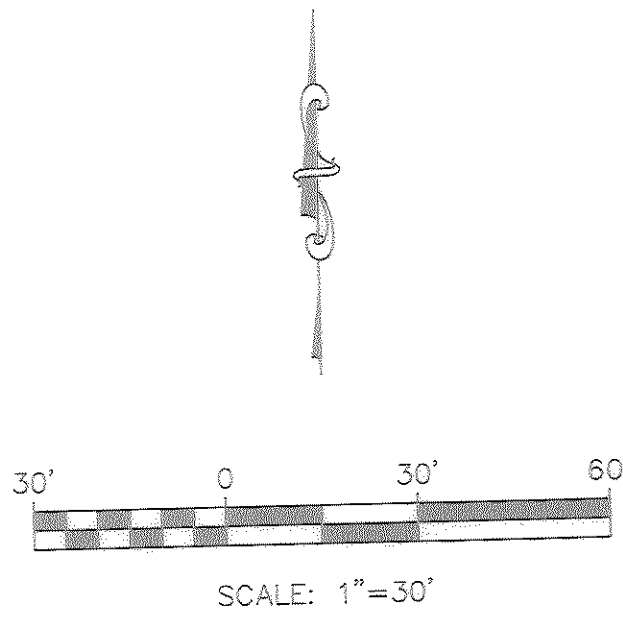
NO.	DESCRIPTION	BY	DATE
1	TOWN COMMENTS		10-24-05
2	TOWN COMMENTS		07-2006
3	TOWN COMMENTS		9-14-06
			12-05-06

LOT1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN, USE BY SPECIAL REVIEW

PROJECT NO. 04088
Drawn By: JCH
Date: 06-24-05
Checked By: JFB
Sheet: 2 of 11



LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN and USE BY SPECIAL REVIEW



NOTES:
1. SHOP DRAWINGS DEPICTING THE DESIGN OF BLOCK WALL SHALL BE SUBMITTED TO ENGINEER PRIOR TO CONSTRUCTION. DESIGN SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF A PROPERLY REGISTERED PROFESSIONAL ENGINEER WITH THE STATE OF COLORADO. FINAL CONSTRUCTION DRAWINGS SHALL BEAR HIS/HER SEAL AND SIGNATURE.
2. ALL RETAINING WALLS (OR ADDITION OF MULTIPLE TIERED WALLS) THAT EXCEED FOUR FEET IN HEIGHT WILL REQUIRE A BUILDING PERMIT PRIOR TO OBTAINING A PUBLIC WORKS PERMIT.

TYPICAL MODULAR BLOCK
RETAINING WALL DETAIL
NO SCALE

LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- - - PROPOSED FENCE
- - - PROPOSED RETAINING WALL
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- - - PROPOSED CENTERLINE OF SWALE
- - - FLOW DIRECTION AND SLOPE
- - - EXISTING STORM PIPE
- - - PROPOSED STORM INLET AND PIPE
- - - EXISTING CURB & GUTTER
- - - PROPOSED CURB & GUTTER
- - - PROPOSED CURB & GUTTER (BY OTHERS)
- - - PROPOSED SIDEWALK

- NOTES:
- IF THE EXISTING 84" REGIONAL STORM DRAIN SHOULD BECOME PLUGGED WITHIN LOT 1, THE OVERFLOW PATH WOULD BEGIN AT THE EXISTING MANHOLE LOCATED AT THE SOUTHEAST CORNER OF THE PROPOSED PRIMROSE SCHOOL PARKING LOT. FLOW WOULD THEN BE DIRECTED NORTH, THROUGH THE PROPOSED PARKING LOT, INTO THE PROPOSED WATER QUALITY BASIN. IF GRASS-LINED SWALE AND CONVEYED INTO THE PROPOSED WATER QUALITY BASIN. IF CAPACITY OF THE WATER QUALITY BASIN IS EXCEEDED FLOW WOULD DISCHARGE OVER THE PROPOSED EMERGENCY SPILLWAY AND ULTIMATELY INTO THE EXISTING REGIONAL DETENTION POND LOCATED PARTIALLY ON ADJACENT LOT 4.
 - IF THE EXISTING 84" REGIONAL STORM DRAIN SHOULD BECOME PLUGGED UPSTREAM OF LOT 1, OVERFLOW WOULD END UP IN ATRIUM LANE (PRIVATE), ATRIUM DRIVE, AND ATRIUM WAY (SEE CASTLE PINES COMMERCIAL FILING 12 "FINAL DRAINAGE REPORT").
 - OVERFLOW AS A RESULT OF THE EXISTING 84" REGIONAL STORM DRAIN BECOMING PLUGGED WILL NOT ENTER THE PROPOSED PRIMROSE SCHOOL BUILDING.

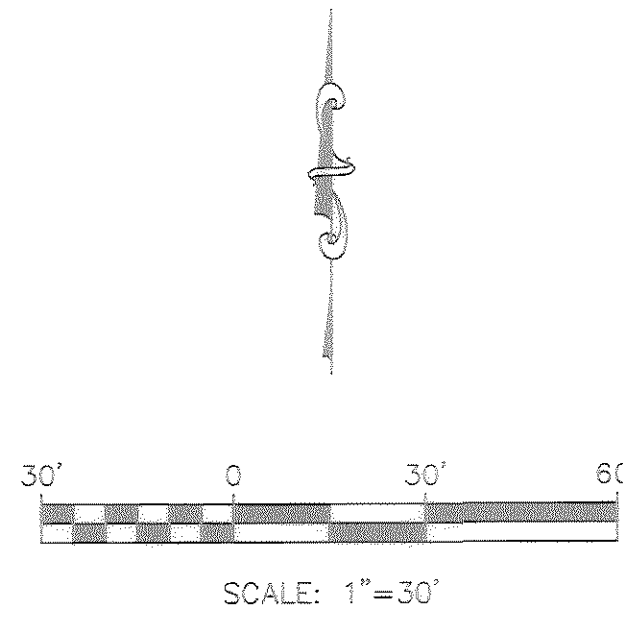
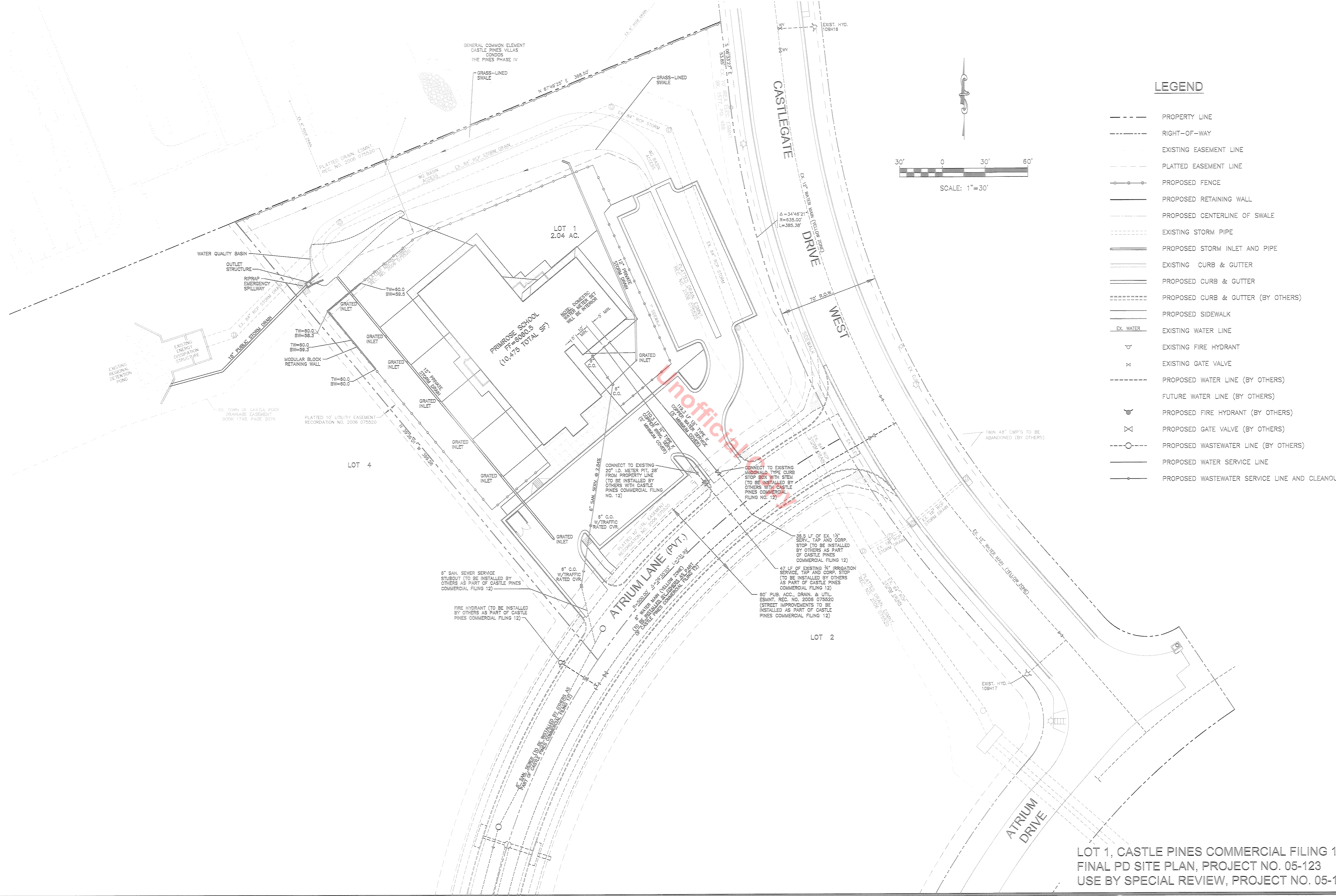
LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN, PROJECT NO. 05-123
USE BY SPECIAL REVIEW, PROJECT NO. 05-124

Kiowa Engineering Corporation
1604 South 21st Street
Colorado Springs, Colorado
80904-4208
(719) 630-7342

LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN and USE BY SPECIAL REVIEW
GRADING PLAN
CASTLE ROCK, COLORADO

Project No.:	05053
Date:	June 21, 2005
Design:	NRK
Drawn:	NRK
Check:	AWMc
Revisions:	
10/26/05	Town Comments
02/06/06	Town Comments
07/05/06	Town Comments
09/05/06	Town Comments
12/06/06	Town Comments
01/16/07	Town Comments
SHEET	
3	
OF 11 SHEETS	

LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN and USE BY SPECIAL REVIEW



LEGEND

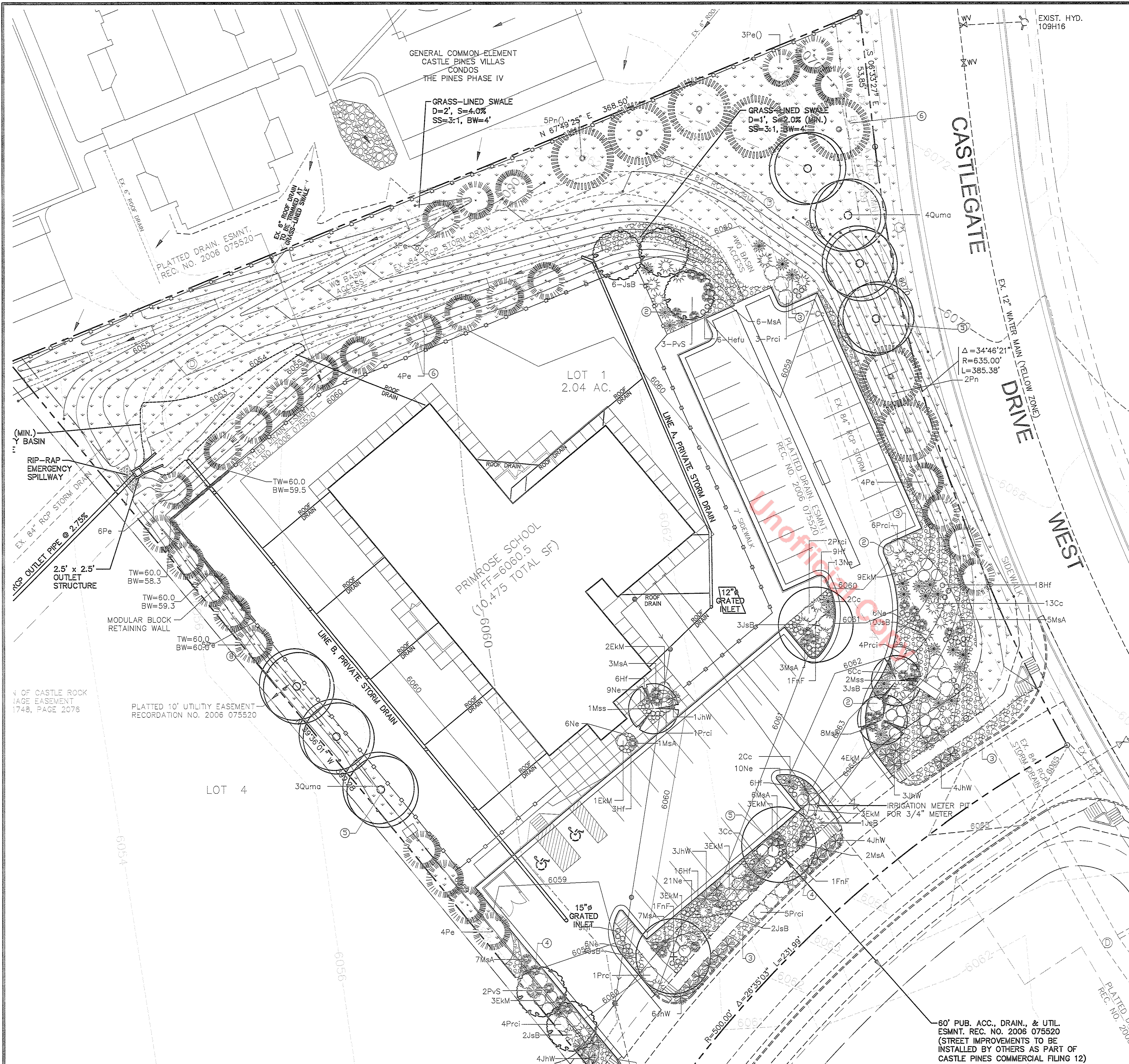
- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EXISTING EASEMENT LINE
- - - PLATTED EASEMENT LINE
- - - PROPOSED FENCE
- - - PROPOSED RETAINING WALL
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- - - PROPOSED CURB & GUTTER
- - - PROPOSED CURB & GUTTER (BY OTHERS)
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- - - EX. WATER
- - - EXISTING FIRE HYDRANT
- - - EXISTING GATE VALVE
- - - PROPOSED WATER LINE (BY OTHERS)
- - - FUTURE WATER LINE (BY OTHERS)
- - - PROPOSED FIRE HYDRANT (BY OTHERS)
- - - PROPOSED GATE VALVE (BY OTHERS)
- - - PROPOSED WASTEWATER LINE (BY OTHERS)
- - - PROPOSED WATER SERVICE LINE
- - - PROPOSED WASTEWATER SERVICE LINE AND CLEANOUT

LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN and USE BY SPECIAL REVIEW
UTILITY PLAN
CASTLE ROCK, COLORADO

Kiowa Engineering Corporation
1604 South 21st Street
Colorado Springs, Colorado
80904 - 4208
[719] 630-7342

Project No.:	05053
Date:	June 21, 2005
Design:	NRK
Drawn:	NRK
Check:	AWMc
Revisions:	
10/26/05	Town Comments
02/06/06	Town Comments
07/05/06	Town Comments
09/15/06	Town Comments
12/06/06	Town Comments
01/16/07	Town Comments

LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN, PROJECT NO. 05-123
USE BY SPECIAL REVIEW, PROJECT NO. 05-124



- GENERAL LANDSCAPE NOTES:**
1. PLANT QUANTITY AND SUBSTITUTION: IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT TABLE AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLANTING PLAN SHALL GOVERN. THE MINIMUM ACCEPTABLE SIZES OF PLANTS MEASURED BEFORE PRUNING WITH BRANCHES IN NORMAL POSITION SHALL CONFORM TO THE PLANTING SIZES AS SPECIFIED IN THE PLANTING TABLE. ANY SUBSTITUTION OF PLANT SIZE OR SPECIES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND TOWN OF CASTLE ROCK IN WRITING FOR APPROVAL PRIOR TO INSTALLATION.
 2. ACCEPTABLE PLANT MATERIAL: ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET BY THE "COLORADO NURSERY ASSOCIATION" AND THE "AMERICAN STANDARD OF NURSERY STOCK". ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES, HEALTHY, FREE OF DISEASE, INSECT PESTS, MECHANICAL INJURIES, AND HAVE ADEQUATE ROOT SYSTEMS. BRANCHED PLANTS SHALL BE FULLY BRANCHED IN PROPORTION TO WIDTH AND HEIGHT AND HAVE A RELATIVELY STRAIGHT TRUNK WITH A CENTRAL LEADER. ALL TREES, SHRUBS, AND GROUND COVERS SHALL BE INSTALLED PER PLANTING DETAILS. ALL PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
 3. SOIL AMENDMENTS: ALL PLANTING AREAS AND TURF AREAS SHALL BE AMENDED AS FOLLOWS:
 - 3 CUBIC YARDS PER 1000 S.F. OF WELL-COMPOSTED AGED MANURE OR PREMIUM COMPOST.
 - ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 4" - 6" PRIOR TO PLANTING AND GRADED WITHIN 1/4" OF A FOOT AND ROCK AND DEBRIS FREE.
 - A COMPLETE SOILS ANALYSIS SHALL BE PROVIDED AT TIME OF LANDSCAPE CONSTRUCTION AFTER FINAL GRADING.
 - TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
 4. SEEDED TURF: ALL SEEDED OR HYDROMULCHED AREAS SHALL DEMONSTRATE 95% GERMINATION PRIOR TO FINAL ACCEPTANCE.
 5. IRRIGATION: ALL TREES, SHRUBS, AND GROUND COVERS SHALL BE IRRIGATED BY AN AUTOMATIC DRIP IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR SHUTOFF DEVICE. ALL NATIVE TURF AREAS TO BE IRRIGATED BY HAND THROUGHOUT ESTABLISHMENT PERIOD. IRRIGATION SYSTEM MUST BE EQUIPPED WITH BACK FLOW PREVENTION ASSEMBLY APPROVED BY THE TOWN OF CASTLE ROCK.
 6. ORGANIC MULCH: ALL PLANTING AREAS FOR TREES, SHRUBS, GROUND COVERS AND ORNAMENTAL GRASSES SHALL BE MULCHED WITH A (4") DEPTH, A 3/8" DIAMETER OF 3" DEPTH WOOD MULCH SHALL BE PROVIDED AT BASE OF ALL TREES IN TURF AREAS. MULCH SHALL BE FIBROUS IN NATURE, NOT CHIPPED OR IN CHUNKS, AND WATERED IN AFTER INSTALLATION. NO FILTER FABRIC IS TO BE USED UNDER WOOD MULCH.
 7. INORGANIC MULCH: THE TYPE OF INORGANIC MULCH AS SPECIFIED WITHIN THE KEYED NOTES ON THE LANDSCAPE PLAN SHALL BE APPLIED AT A STANDARD DEPTH OF 3" - 4" OVER GEO-TEXTILE FILTER FABRIC. FILTER FABRIC SHALL BE M.N. 4 OZ. WOVEN NEEDLE PUNCHED POLYPROPYLENE (DEWITT OR EQUIVALENT). OVERLAP ENDS 3", TURN DOWN EDGES 6".
 8. STEEL EDGE: ALL EDGER SHALL BE 3/16" X 4" RYERSON OR PRO STEEL EDGER WITH 16" STAKES AT 30" O.C. COLOR SHALL BE GREEN.
 9. INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TREENOH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO LANDSCAPE INSTALLATION. SOILS AMENDMENT INSPECTION IS REQUIRED BY TOWN OF CASTLE ROCK AND SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
 10. ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 11. NO TREES, LARGE SHRUBS OR PERMANENT STRUCTURES ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS.
 12. LANDSCAPE AND IRRIGATION CONTRACTOR SHALL BE REQUIRED TO BE REGISTERED TO CONSTRUCT LANDSCAPES BY THE TOWN OF CASTLE ROCK.
 13. LANDSCAPE CONTRACTOR SHALL CONDUCT A SOILS ANALYSIS AND PROVIDE REPORT TO THE LANDSCAPE ARCHITECT AND REVIEWING AGENCY PRIOR TO PLANTING.

SUMMARY TABLE		
	SQUARE FOOTAGE	PERCENTAGE
TOTAL LOT AREA	88,862 S.F.	100% OF SITE
BUILDING COVERAGE	10,109 S.F.	11% OF SITE
IMPERVIOUS COVERAGE	34,873 S.F.	39% OF SITE
TOTAL DISTURBED AREA	77,164.4 S.F.	86% OF SITE
TOTAL LANDSCAPE AREA	53,989 S.F.	60% OF SITE
IRRIGATED TURF	0 S.F.	0% OF LANDSCAPE
TOTAL IRRIGATED LANDSCAPE (100% DRIP)	12,985 S.F.	24% OF LANDSCAPE
LIVING GROUND COVER	32,455 S.F.	83.3% OF LANDSCAPE
NON-LIVING GROUND COVER	1,180 S.F.	1% OF LANDSCAPE
WOOD MULCH	5,395 S.F.	9% OF LANDSCAPE
ROCK	2,211 S.F.	4% OF LANDSCAPE
TOTAL NON-DISTURBED AREA	11,698 S.F.	14% OF SITE
TREES 2/11,000 SF	REQUIRED 54	PROVIDED 54
SHRUBS 4/11,000 SF	REQUIRED 216	PROVIDED 219

- KEYED NOTES:**
- ① STEEL EDGE TYPICAL REF: DETAIL A/6-9
 - ② CASCADE WOOD MULCH REF: DETAIL TYPICAL OF ALL PLANTING BEDS F/6-9
 - ③ 2"-4" ARKANSAS TAN RIVER ROCK
 - ④ TYPICAL SHRUB PLANTING REF: DETAIL B/6-9
 - ⑤ TYPICAL DECIDUOUS TREE PLANTING REF: DETAIL D/6-9
 - ⑥ TYPICAL EVERGREEN TREE PLANTING REF: DETAIL C/6-9
 - ⑦ TYPICAL PERENNIAL PLANTING REF: G/6-9
 - ⑧ 4' SEGMENT BLOCK WALL RETAINING WALL.

PLANT SCHEDULE

TREES						
Code Name	Common Name	Scientific Name	Width	Planting Size	Qty.	Supplemental Irrigation/Year
Mss	Spring Snow Crabapple	Malus 'Spring Snow'	15.00	2" Cal.	3	6"-10"
Fnf	Fallgold Ash	Fraxinus nigra 'Fallgold'	30.00	3" Cal.	3	6"-10"
PvS	Canada Red Chokecherry	Prunus virginiana 'Shubert'	15.00	2"-Cal	5	4"-6"
Quma	Bur oak	Quercus macrocarpa	35.00	3"-Cal	7	4"-6"
Pe	Pinon pine	Pinus edulis	12.00	8"	29	0"-2"
Pn	Austrian pine	Pinus nigra	25.00	8"	7	6"-10"

SHRUB						
Code Name	Common Name	Scientific Name	Width	Planting Size	Qty.	Supplemental Irrigation/Year
JhW	Blue Rug Juniper	Juniperus horizontalis 'Wilton'	6.00	5-Gal	27	0"-2"
EkM	Manhattan Euonymus	Euonymus kiautschovicus 'Manhattan'	5.00	5-Gal	31	4"-6"
Cc	Blue Mist Spirea	Coryopteris x clandonensis	5.00	5-Gal	33	0"-2"
Prci	Cistena Plum	Prunus cistena	8.00	5-Gal	28	6"-10"
JsB	Buffalo Juniper	Juniperus sobina 'Buffalo'	6.00	5-Gal	36	0"-2"

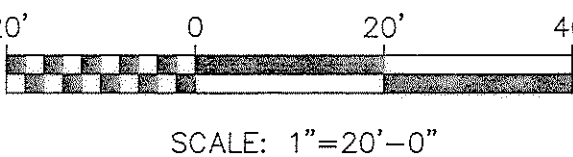
ORNAMENTAL GRASS						
Code Name	Common Name	Scientific Name	Width	Planting Size	Qty.	Supplemental Irrigation/Year
MsA	Adagio Silver Grass	Miscanthus sinensis 'Adagio'	4.00	1-Gal	54	2"-4"

PERENNIAL						
Code Name	Common Name	Scientific Name	Width	Planting Size	Qty.	Supplemental Irrigation/Year
Ne	Catmint	Nepeta spp.	1.60	1-Gal	84	0"-2"
Hf	Orange daylily	Hemerocallis fulva	2.00	1-Gal	87	2"-4"

SEED- (COLORADO NATIVE MIX W/ALL PERENNIAL WILDFLOWER MIX)
AS SUPPLIED BY ARKANSAS VALLEY SEED SOLUTIONS OR APPROVED EQUAL

20% WESTERN WHEATGRASS	15 LBS. PER ACRE OF EACH MIX
20% SLENDER WHEATGRASS	TOTAL OF 30 LBS. PER ACRE
15% BLUE GRAMA	
15% BUFFALOGRASS	
15% THICKSPIKE WHEATGRASS	
10% SHERMAN BIG BLUEGRASS	
5% BLUE WILDRYE	

THIS PLAN WAS PREPARED BY
JAMES F. BYERS, ASLA, RLA
TOWN OF CASTLE ROCK
LANDSCAPE DESIGN PROFESSIONAL
CERTIFICATE NO. 401



REVISIONS			
NO.	DESCRIPTION	BY	DATE
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2	TOWN COMMENTS		07-2006
3	TOWN COMMENTS		9-14-06
4			12-06-06

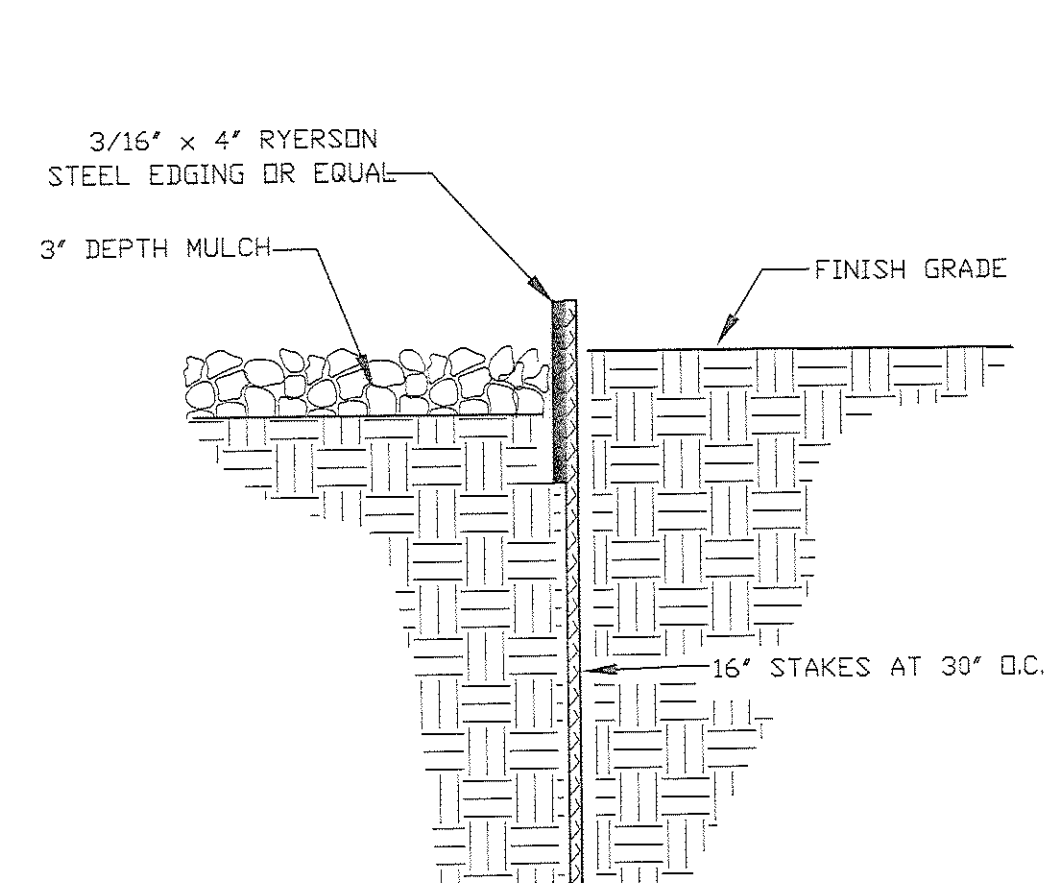
FINAL LANDSCAPE PLAN

**LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN, USE BY SPECIAL REVIEW**

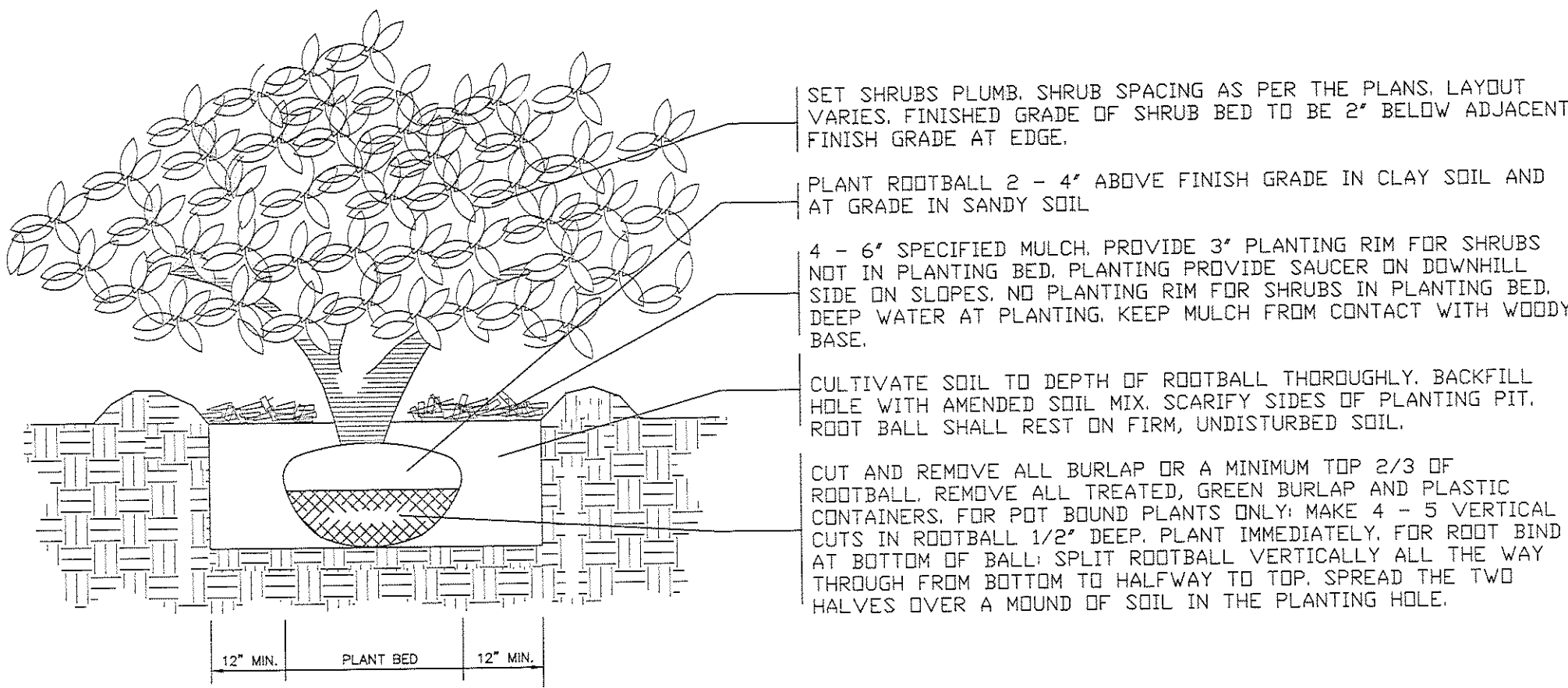
PROJECT NO.	04088	Drawn By: JCH	Date: 06-24-05
		Checked By: JFB	Sheet: 5 of 11

LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN AND USE BY SPECIAL REVIEW

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.

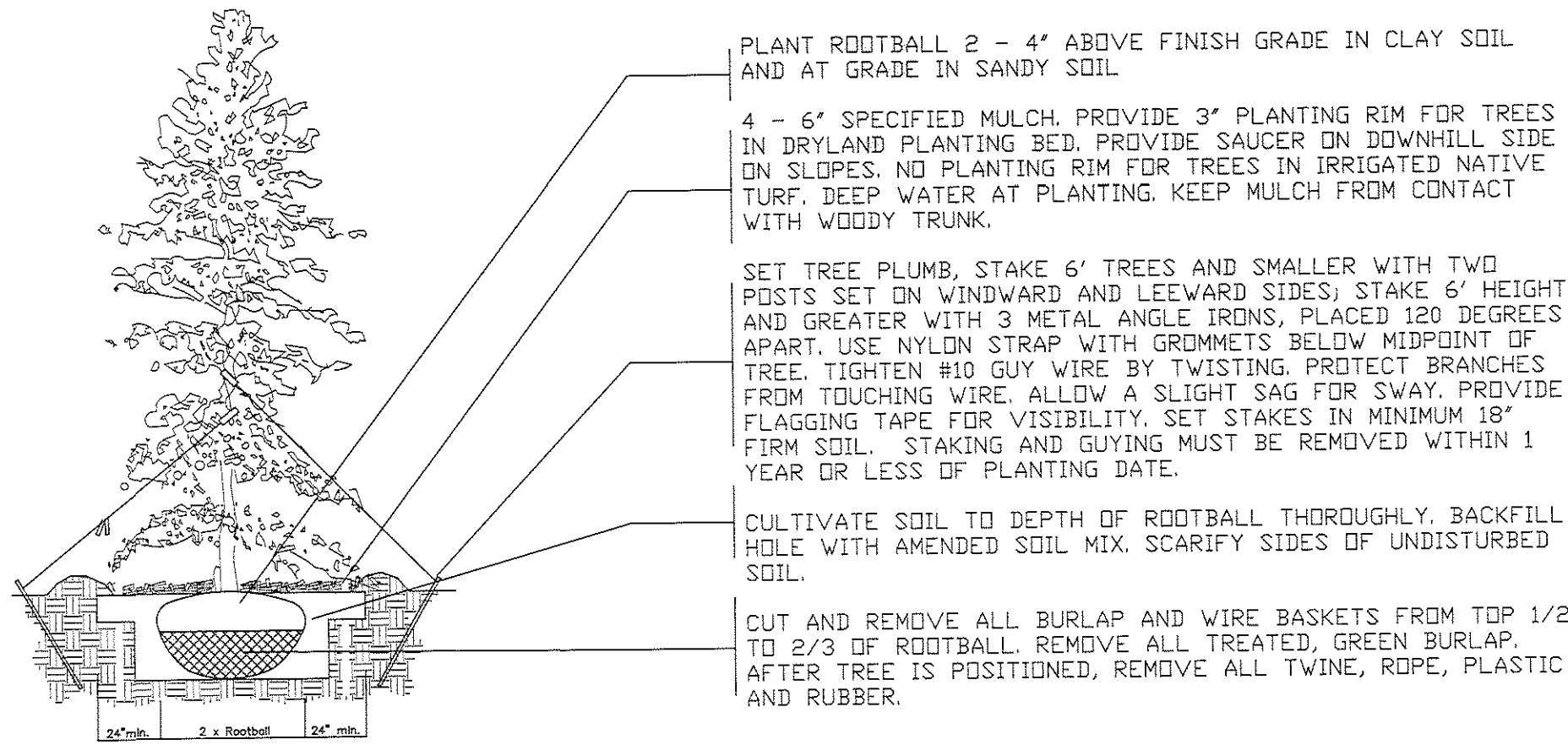


A STEEL EDGE DETAIL
6-9 ldc/details/stlgedgedetail.dwg N.T.S.



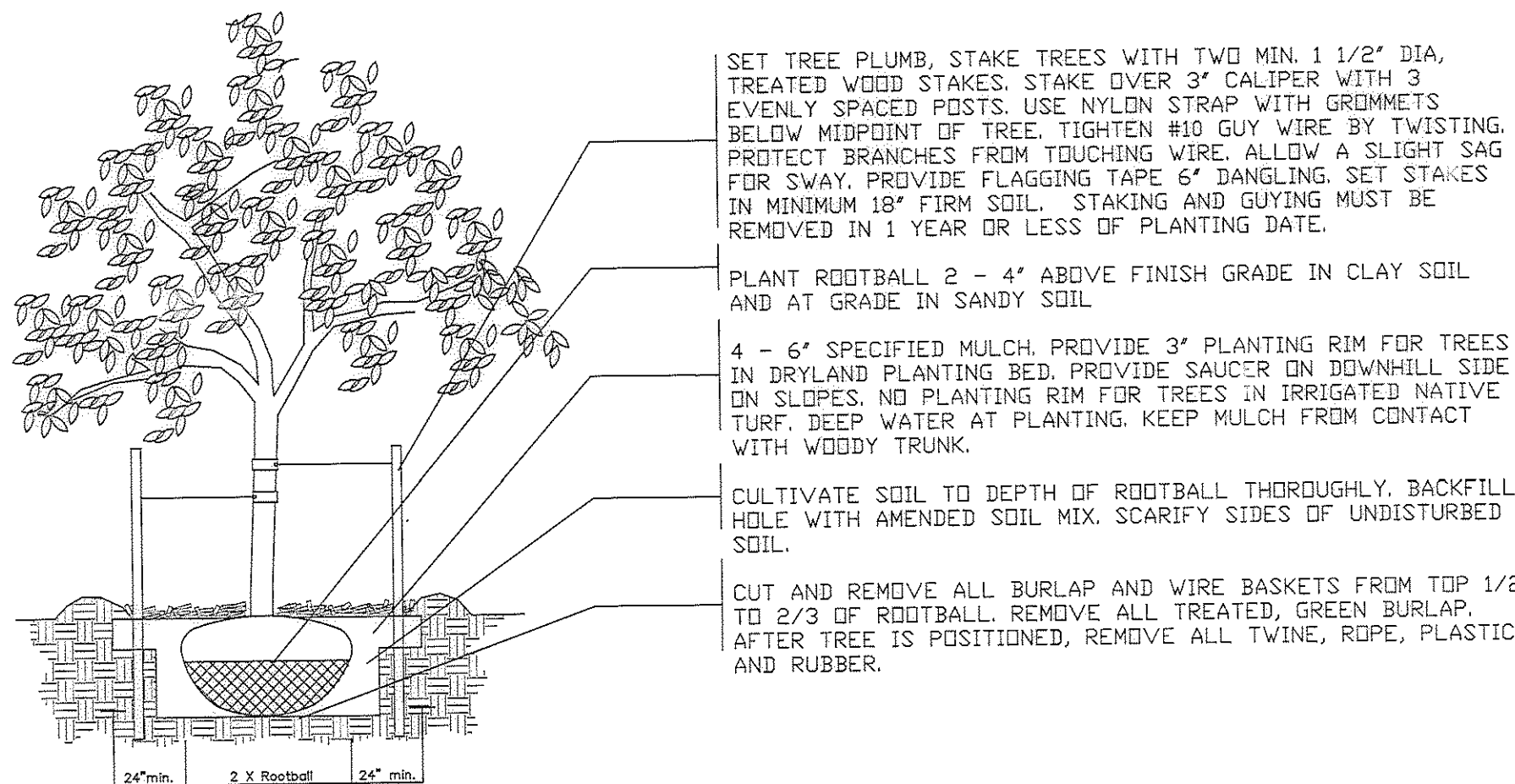
B SHRUB PLANTING DETAIL
6-9 ldc/details/dshrubdetail.dwg N.T.S.

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - DOUBLE LEADER TREE WILL NOT BE ACCEPTED.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.

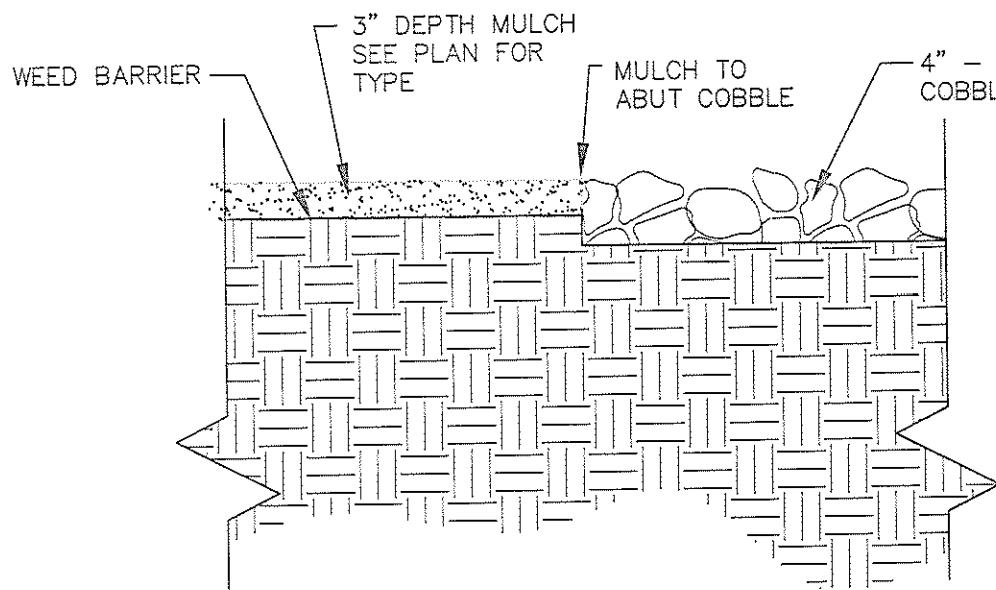


C EVERGREEN TREE PLANTING DETAIL
6-9 ldc/details/etreedetail.dwg N.T.S.

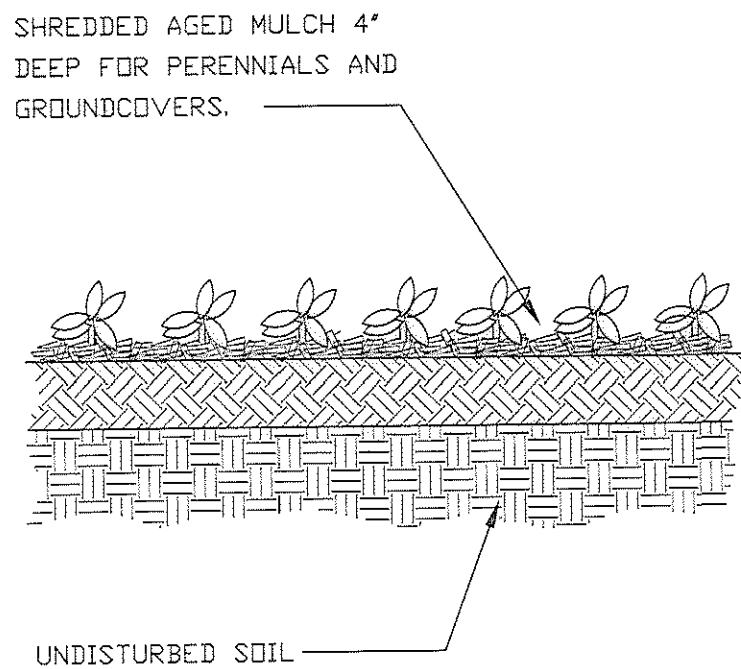
- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.
 - STAKING POST SHALL BE 1 1/2\"/>



D DECIDUOUS TREE PLANTING DETAIL
6-9 ldc/details/dtreetdetail.dwg N.T.S.

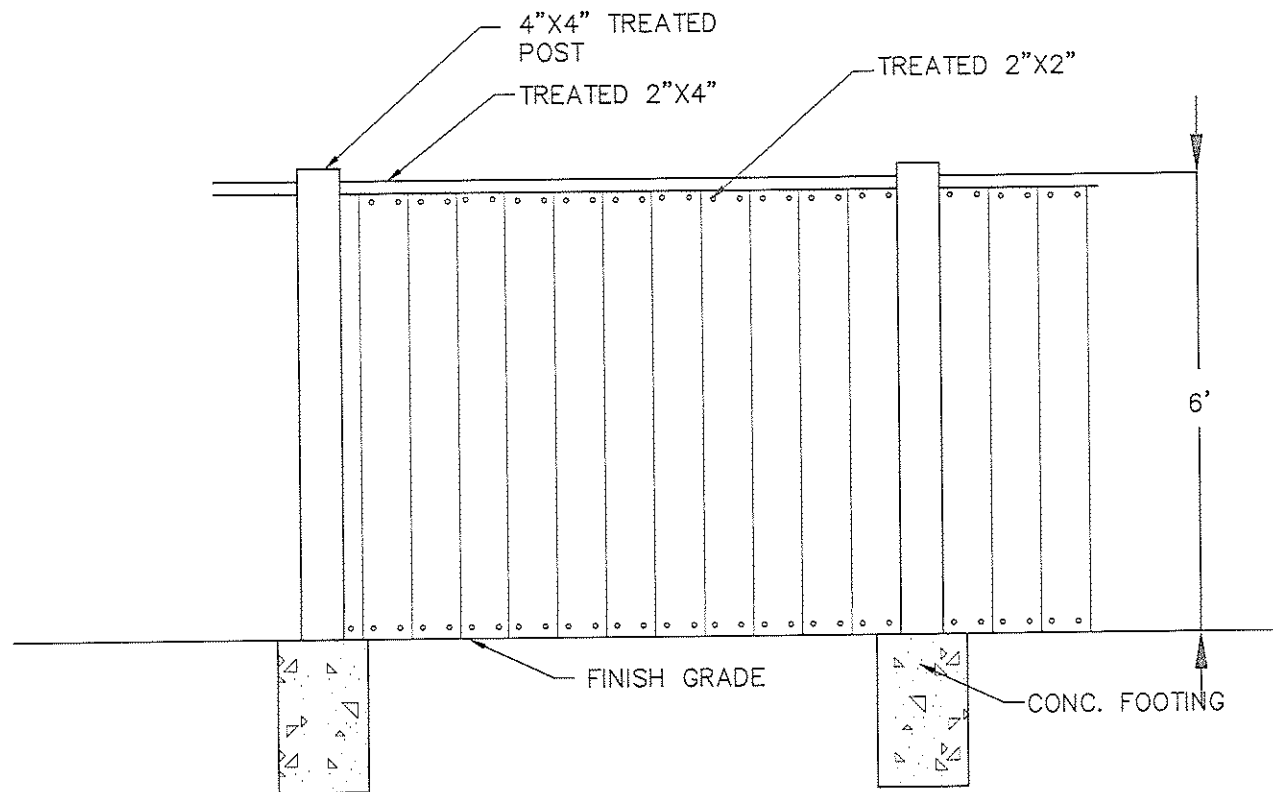


E COBBLE @ MULCH
6-9 ldc/details/cobblemulch.dwg N.T.S.



F PERENNIAL OR GROUND COVER PLANTING DETAIL
6-9 F:\dc\details\perennialdetail.dwg N.T.S.

- PLANT GROUND COVER AND PERENNIALS LEVEL AT GRADE.
- SOIL TO BE WELL CULTIVATED TO A MINIMUM DEPTH OF 6\"/>
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
- IN CLAY SOIL, WORK IN TOPSOIL AND ORGANIC COMPOST. SEE SPECS FOR RATIO AND QUANTITY.
- IN SAND, WORK IN TOPSOIL, ORGANIC COMPOST AND AGED MANURE. SEE SPECS FOR RATIO AND QUANTITY.



G CEDAR WOOD FENCE
6-9 ldc/details\FENCE-WOOD.dwg N.T.S.

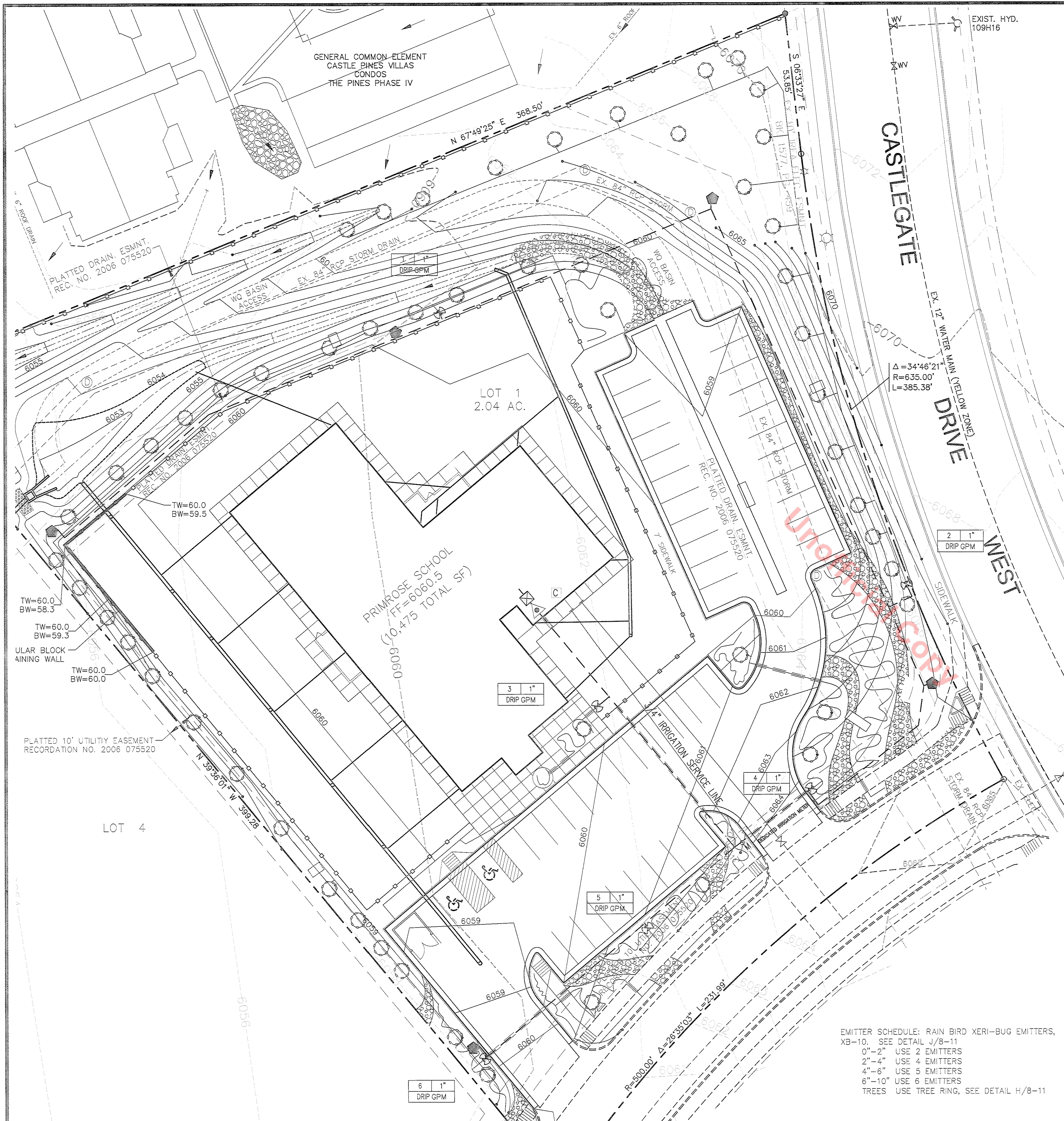
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REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	TOWN COMMENTS		10-24-06
2	TOWN COMMENTS		07-2008
3	TOWN COMMENTS		9-14-08

LANDSCAPE DETAILS

LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN, USE BY SPECIAL REVIEW

PROJECT NO. 04088
Drawn By: JCH
Checked By: JFB
Date: 06-24-05
Sheet: 6 of 11



IRRIGATION LEGEND

PROPOSED POINT OF CONNECTION (1" LINE)

SLEEVE PIPING FOR LATERALS AND IRRIGATION MAIN LINE, CLASS 200 SDR-21, SOLVENT WELD PVC. SLEEVE SHALL BE TWO SIZES LARGER THAN PIPE TO BE SLEEVE DEPTH FOR LATERALS SHALL BE 18" SLEEVE DEPTH FOR IRRIGATION MAIN LINE SHALL BE 28".

IRRIGATION METER 3/4". INSTALLED PER TOWN OF CASTLE ROCK STANDARDS. SEE DETAIL A/8-11

IRRIGATION CONTROLLER HUNTER PRO C SERIES 9 STATION. SEE DETAIL E/8-11 (WALL MOUNT)

BACKFLOW PREVENTER ASSEMBLY, FEBCO 825-Y-BV-1" REDUCED PRESSURE BACKFLOW PREVENTER. TO BE APPROVED AND INSTALLED ACCORDING TO TOWN OF CASTLE ROCK STANDARD INSTALLATION DETAIL. SEE DETAIL B/8-11

IRRIGATION MAINLINE 1" SCH. 40 BELL END, SOLVENT WELD PVC, SIZE 1"Ø18" DEPTH OF BURY.

VALVE ASSEMBLY TAG

1 3/4" 30 GPM

VALVE NUMBER
VALVE SIZE
FLOW RATE/GALLONS PER MINUTE

DRIP VALVE ASSEMBLY, RAIN BIRD XC2-100-B-COM.....SEE DETAIL C/8-11.

1" QUICK COUPLING VALVE: RAIN BIRD MODEL 5RC, SEE DETAIL D/8-11

DRIP LINE TUBING .700" O.D. HEAVY WALL REF: G/8-11

TUBING END CAP/CLOSURE .700" DIA. (FLUSH CAP)

LATERAL PIPING, POLYETHYLENE TUBING, 18" DEPTH OF BURY.

RAINBIRD LD-09-24 TREE DRIP RING .5GPH/FT REF. DETAIL H/8-11

NOTES:

1. CONTRACTOR TO CONNECT 1" MAINLINE PIPE TO 1" COPPER STUB-OUT, ON OUTSIDE OF BUILDING.

2. PLUMBING CONTRACTOR TO INSTALL MAINLINE STUB-OUT AND BACK FLOW PREVENTER.

3. CONTRACTORS TO COORDINATE THE CONNECTION TO THE MAINLINE STUB, EXTEND COPPER PIPE TO IRRIGATION MAINLINE DEPTH 18" BELOW FINISH GRADE.

4. INSTALLER TO REFERENCE TOWN OF CASTLE ROCK DETAILS FOR INSTALLATION OF METER, METER PIT AND BACKFLOW PREVENTER

5. ALL VALVE BOXES SHALL BE SUPPORTED BY CONCRETE BLOCK (MIN. 4 PER BOX). INSTALL BLOCKS IN A MANNER THAT WILL PREVENT CONTACT WITH PIPING, WIRES , AND VALVE.

6. IRRIGATION CONTROL WIRE SHALL BE COMMON TRENCH WITH MAINLINE AND SHALL HAVE SEPARATE SLEEVE WERE CROSSING ALL HARD CONSTRUCTION.

7. CONTRACTOR SHALL TAPE CLOSED ALL SLEEVE PIPE OPENINGS TO PREVENT DEBRIS FROM ENTERING SLEEVES.

8. CONTRACTOR SHALL EXTEND 120-VOLT A.C. FROM EXISTING POWER TO PROPOSED CONTROLLER LOCATION. ALL ELECTRICAL WORK SHALL BE PER CODE AND N.E.C. STANDARDS.

9. INSTALL IRRIGATION CONTROLLER INSIDE WATER CLOSET/MECHANICAL ROOM. EXTEND ALL CONTROL WIRING FROM IRRIGATION CONTROLLER TO EXTERIOR OF BUILDING IN CONDUIT. COORDINATE INSTALLATION OF CONDUIT AND WALL PENETRATION WITH OWNERS REPRESENTATIVE.

10. THIS SYSTEM IS DESIGNED AT 30 PSI STATIC WATER PRESSURE AND 10 GPM. THE CONTRACTOR SHALL VERIFY THE ACTUAL STATIC WATER PRESSURE PRIOR TO CONSTRUCTION AND INFORM THE LANDSCAPE ARCHITECT OF RESULTS IF MODIFICATIONS MUST BE MADE PRIOR TO CONSTRUCTION.

11. DRAWINGS ARE DIAGRAMMATIC, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY ONLY. CONTRACTOR SHALL AVOID CONFLICTS WITH PLANT MATERIALS AND ARCHITECTURAL FEATURES ALL PIPING AND WIRING SHALL BE INSTALLED IN PLANTING AREA OR IN SLEEVES. NO PIPING UNDER TREES OR SHRUBS WILL BE ACCEPTED.

12. MINIMUM PIPE SIZE SHALL BE 3/4", IF A SECTION OF UN-SIZED PIPE IS LOCATED BETWEEN TWO IDENTICALLY SIZED SECTIONS THE UNSIZED PIPE SHALL BE THE SAME SIZE AS THE TWO SIZED SECTIONS.

13. CONTRACTOR SHALL INSTALL SPECIFIED RAIN SENSOR PER MANUFACTURER'S SPECIFICATION. THE RAIN SENSOR SHALL BE INSTALLED ON THE BUILDING FASCIA OR OTHER ACCEPTABLE BUILDING SURFACE.

14. ALL IRRIGATION SYSTEMS MUST HAVE BACKFLOW PREVENTION ASSEMBLIES APPROVED BY THE TOWN OF CASTLE ROCK (PWR, SECTION II, CHAPTER 14.3.17.7;PWR, SECTION II, APPENDIX II-A-DETAIL W-4A; DETAIL W-4B; AND DETAILS WU-4 & W-5)

15. TOTAL IRRIGATED AREA IS 12,985 SQUARE FEET

APPLICATION RATE PER IRRIGATION ZONE

VALVE NO.	SPRING			SUMMER			FALL			TURF TYPE
	DAYS (MONTH)	TIME (MINS.)	INCHES PER/MON	DAYS (MONTH)	TIME (MINS.)	INCHES PER/MON	DAYS (MONTH)	TIME (MINS.)	INCHES PER/MON	
1	8	60	--	8	105	--	8	60	--	DRIP
2	8	60	--	8	105	--	8	60	--	DRIP
3	8	60	--	8	105	--	8	60	--	DRIP
4	8	60	--	8	105	--	8	60	--	DRIP
5	8	60	--	8	105	--	8	60	--	DRIP
6	8	60	--	8	105	--	8	60	--	DRIP

NOTE: THIS SCHEDULE IS A RECOMMENDATION. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANT SURVIVAL DURING THE ESTABLISHMENT PERIOD.
WATERING SCHEDULE SHALL BE EVERY THIRD DAY, OPERATED BETWEEN THE HOURS OF 11PM AND 4AM.

THIS PLAN WAS PREPARED BY
JAMES F. BYERS, ASLA
LDC, INC.
TOWN OF CASTLE ROCK
LANDSCAPE DESIGN
PROFESSIONAL CERTIFICATE
NO. 401

Land Development Consultants, Inc.

Planning • Surveying • Landscape Architecture

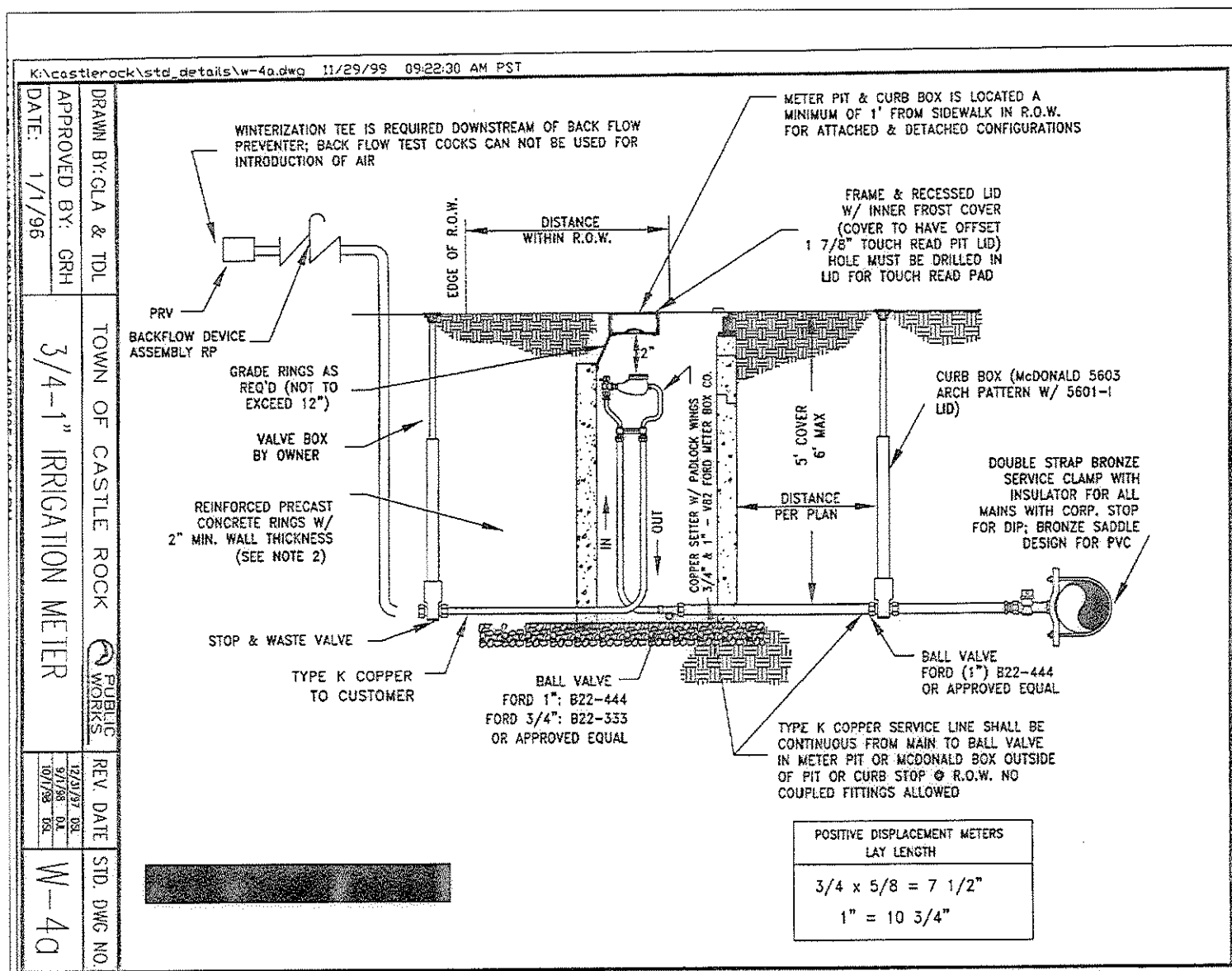
www.ldcinc.com • TEL: (719) 526-6133 • FAX: (719) 526-6668

REVISIONS			
NO.	DESCRIPTION	BY	DATE
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2	TOWN COMMENTS		07-2006
3	TOWN COMMENTS		9-14-06
			12-06-06

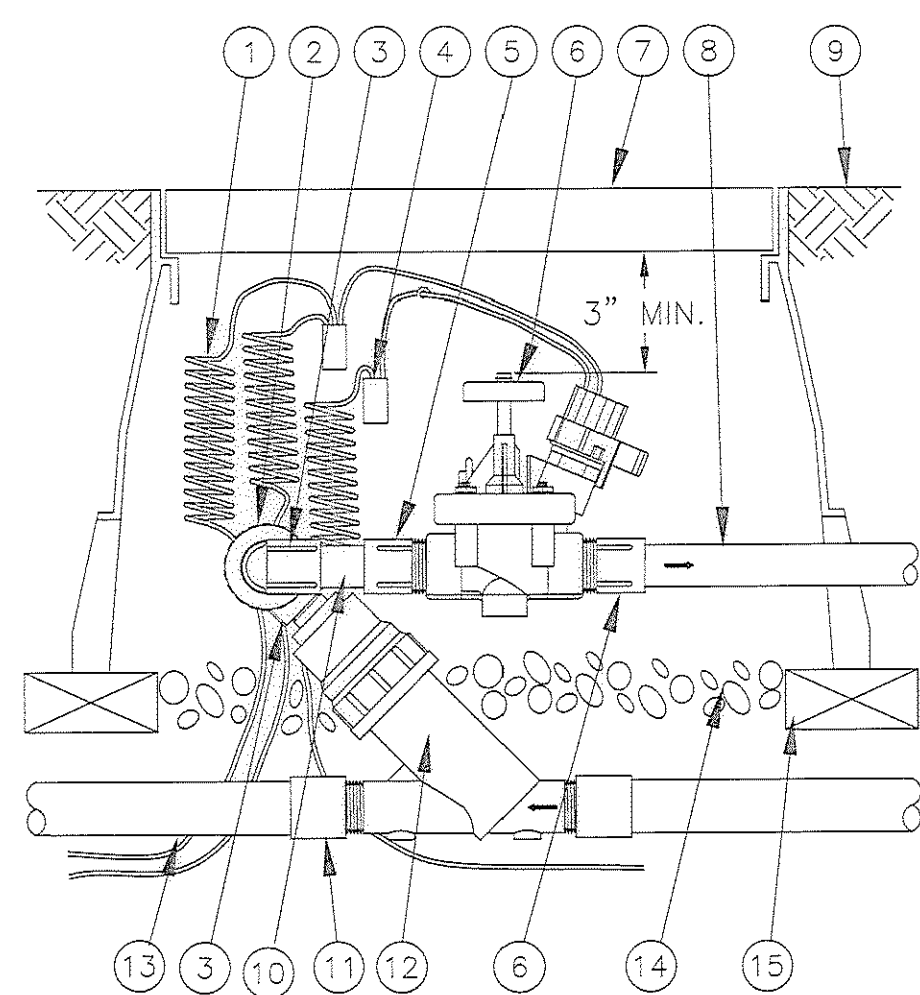
IRRIGATION PLAN

LOT 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN, USE BY SPECIAL REVIEW

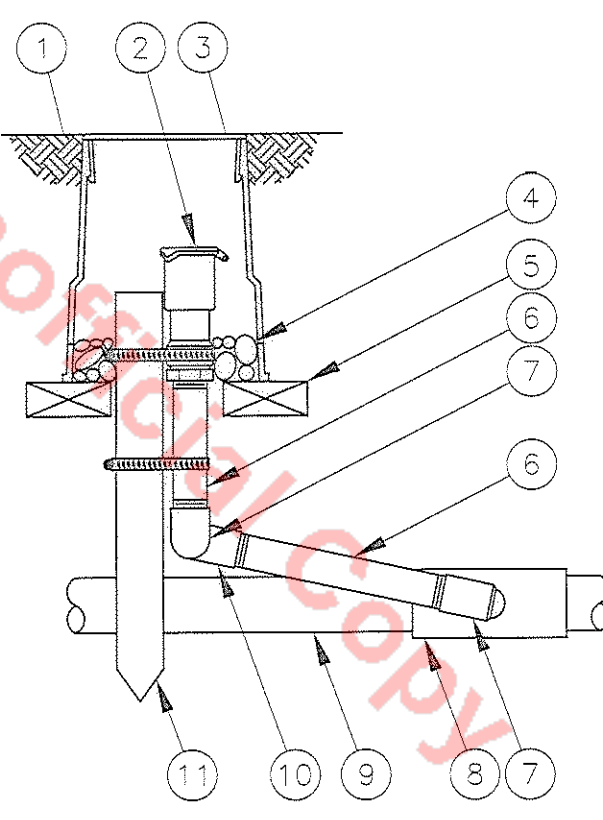
PROJECT NO.	04088	Drawn By: JFB	Date: 12-02-05
		Checked By: JFB	Sheet: 7 of 11



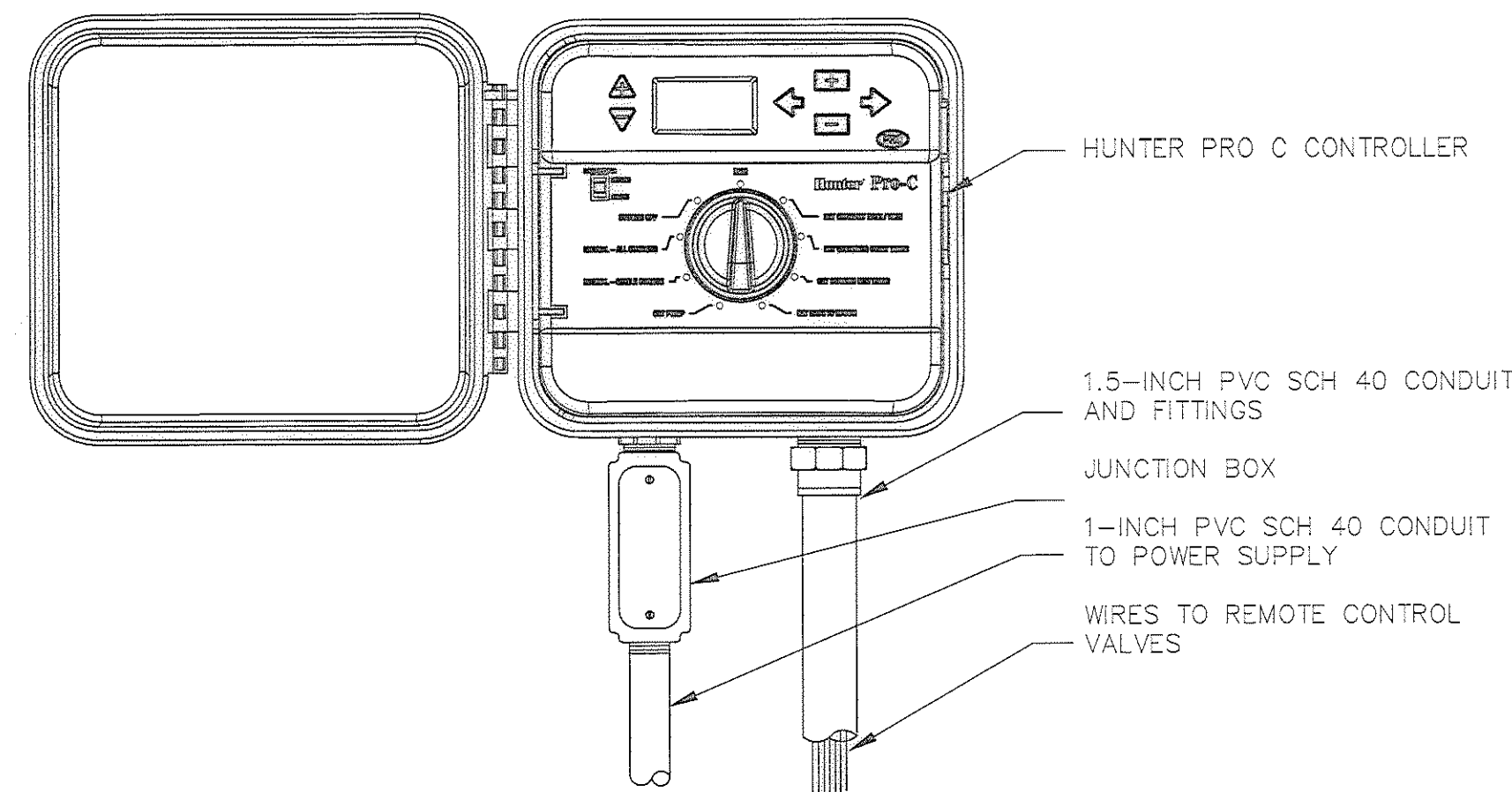
A WATER METER ASSEMBLY
8-11 ldc\details\WMETER.dwg N.T.S.



B R.P. BACKFLOW PREVENTER
8-11 ldc\details\bp.dwg N.T.S.

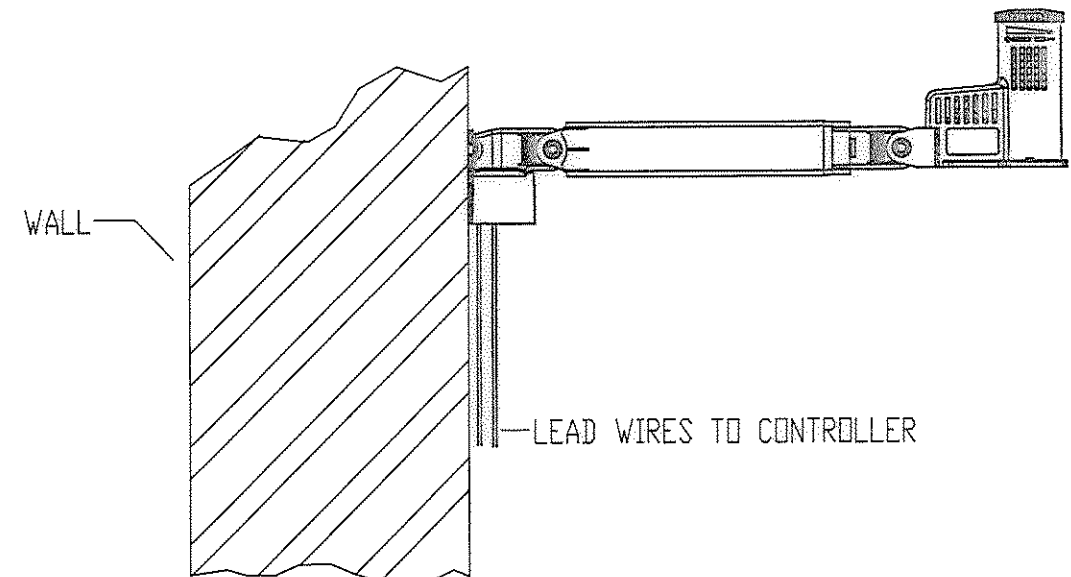


D QUICK COUPLER VALVE ASSEMBLY
8-11 N.T.S.

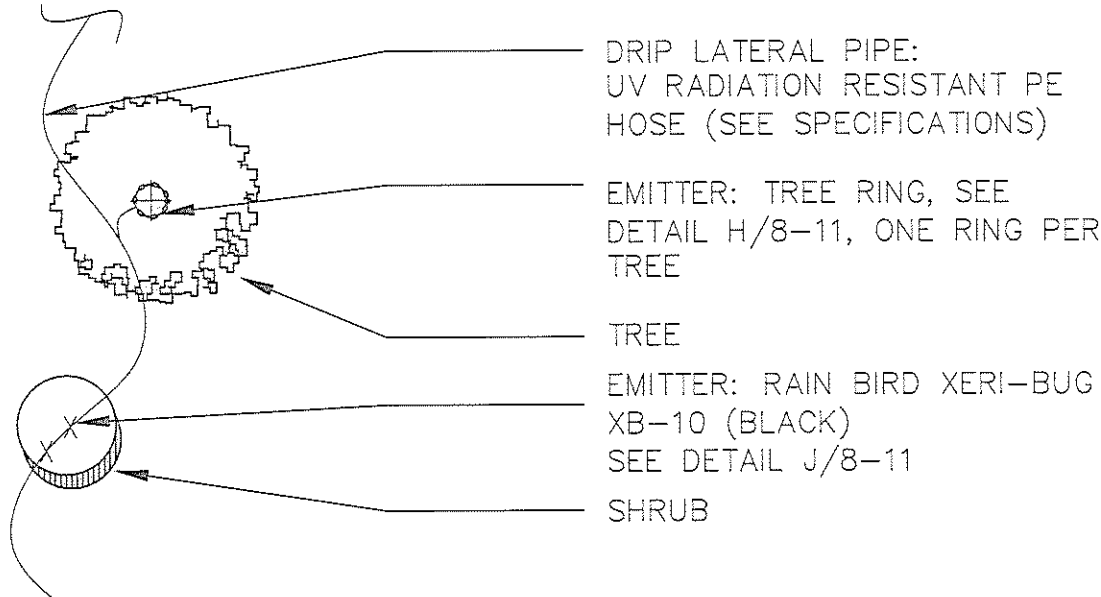


E PRO C CONTROLLER
8-11 ldc\details\HUNTER PRO C.dwg N.T.S.

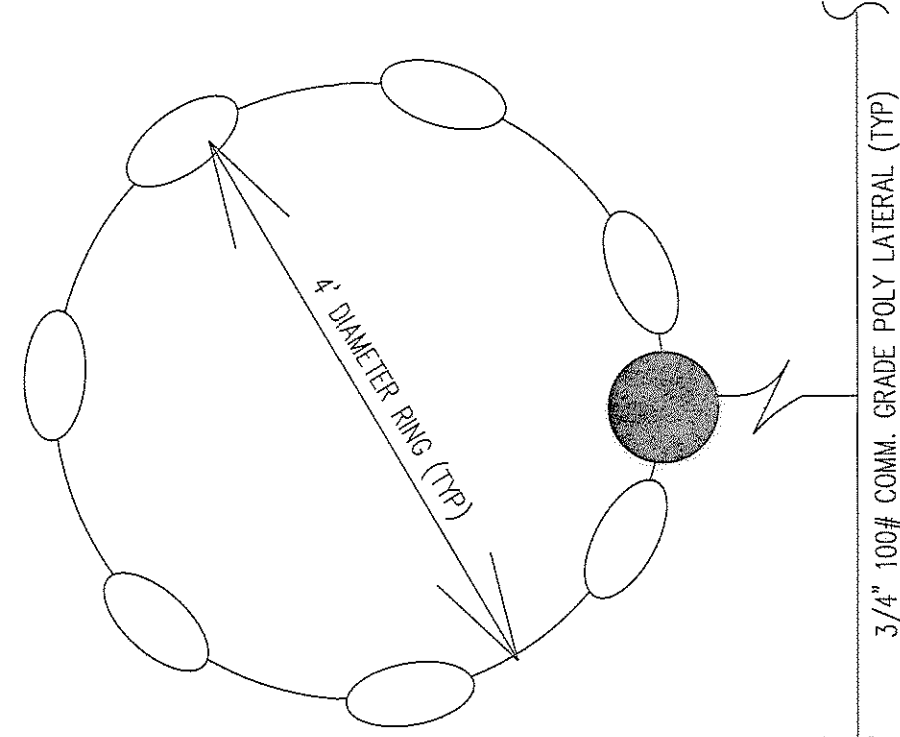
C AUTOMATIC DRIP VALVE AND FILTER ASSEMBLY
8-11 ldc\details\advf2.dwg



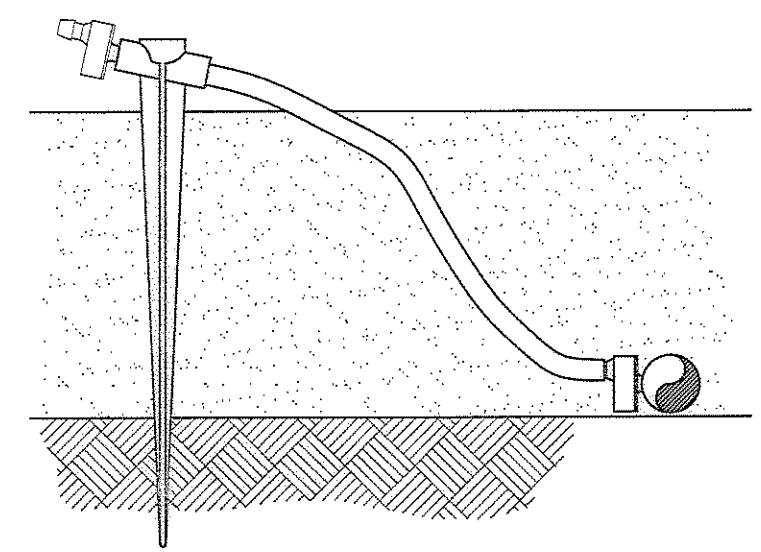
F RAIN SENSOR
8-11 ldc\details\rain.dwg N.T.S.



G TYPICAL DRIP EMITTER PLACEMENT
8-11 ldc\details\dep.dwg N.T.S.



H TREE RING (TYP.)
8-11 ldc\treering N.T.S.



J DRIP EMMITER (TYP.)
8-11 ldc\details\de N.T.S.

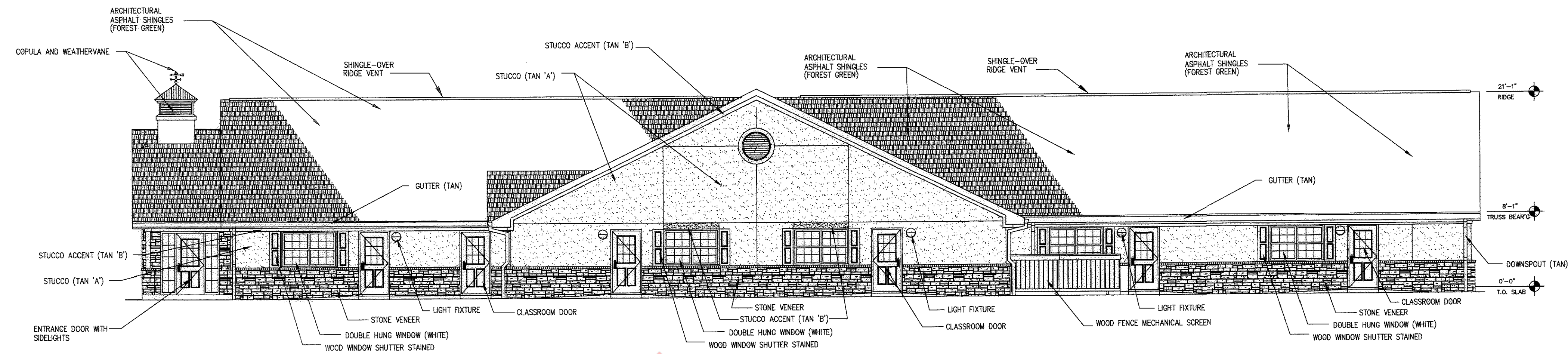
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NO.	DESCRIPTION	BY	DATE
1	TOWN COMMENTS		10-24-05
2	TOWN COMMENTS		07-2006
3	TOWN COMMENTS		9-14-06
			12/06/06

Elevations

Lot 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN and
USE BY SPECIAL REVIEW

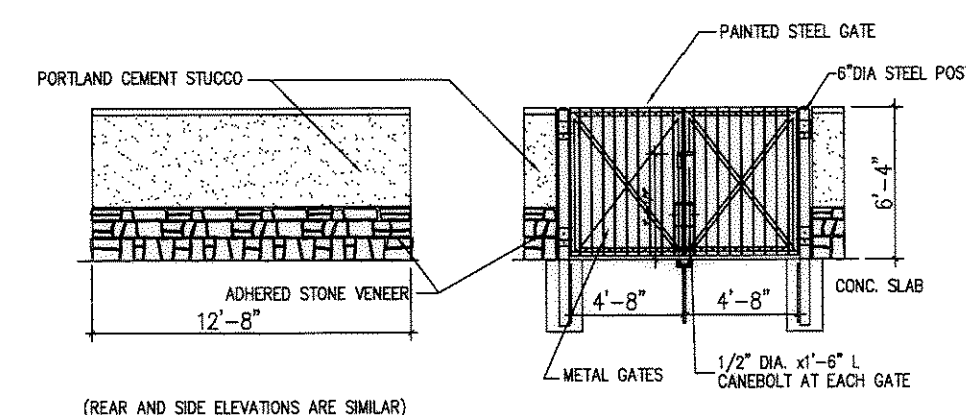
A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 27,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

Sheet 9 of 11



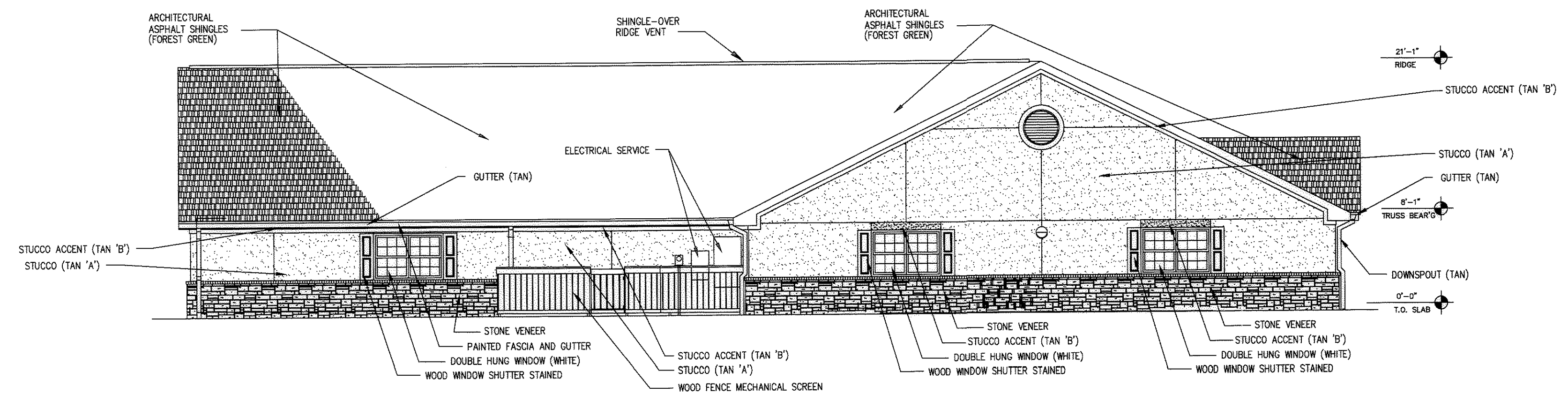
EAST ELEVATION

SCALE 1/4"=1'-0"
0' 4' 12' 24'



TRASH ENCLOSURE ELEVATIONS

SCALE 1/4"=1'-0"
0' 4' 12' 24'

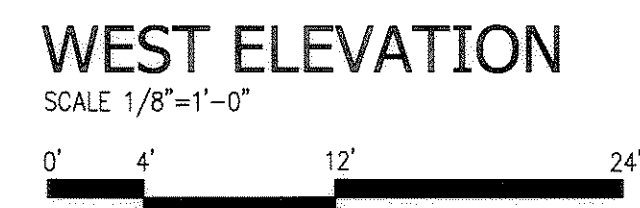


NORTH ELEVATION

SCALE 1/4"=1'-0"
0' 4' 12' 24'

Lot 1, CASTLE PINES COMMERCIAL FILING 12
FINAL PD SITE PLAN and
USE BY SPECIAL REVIEW

Sheet 10 of 11



Site Lighting Study

Lot 1, CASTLE PINES COMMERCIAL FILING 12

FINAL PD SITE PLAN and
USE BY SPECIAL REVIEW

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 27,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

Sheet 11 of 11



SITE LIGHTING STUDY

SCALE: 1" = 30'-0"

LIGHTING FIXTURE LEGEND								
MARK	MANUFACTURER	CATALOG NO.	LUMENS	VOLT	LAMP	#LAMPS	DESCRIPTION	REMARKS
C	SHAPER	694-WP-RB-CFC1-26-120-BK-EM-REMOTE BATTERY	1800	120	26W/DTT	1	EXTERIOR SCENCE FULL CUT-OFF	WALL MTD. - 78" AFF. TO BOTTOM
F	HYDREL	7100MH100/120HFL KM BL/SF GS	5300	120	MH100MED	1	GROUND MOUNTED WITH GLARE SHIELD	SEE SITE & ELEVATION PLANS
N	HYDREL	7100MH175/120HSP KM BL/SF GS	17,500	120	175MHCL	1	GROUND MOUNTED WITH GLARE SHIELD	SEE SITE PLAN AND ELEVATION
P	SPERO	6212 - WM-GN25-SPJ-G8	5800	120	100MH	1	EMBLEM SIGN W/ GOOSENECK	SEE ELEVATION FIELD FINISH TO MATCH EXTERIOR
T1	LITHONIA	(1) KSF1 175M R3 120 SP04 (1) 20'-0" SQUARE POLE	17,500	120	175W MH	1	SINGLE HEAD METAL HALIDE FULL CUT-OFF POLE MOUNT	PROVIDE WITH 20'-0" SQUARE STEEL POLE

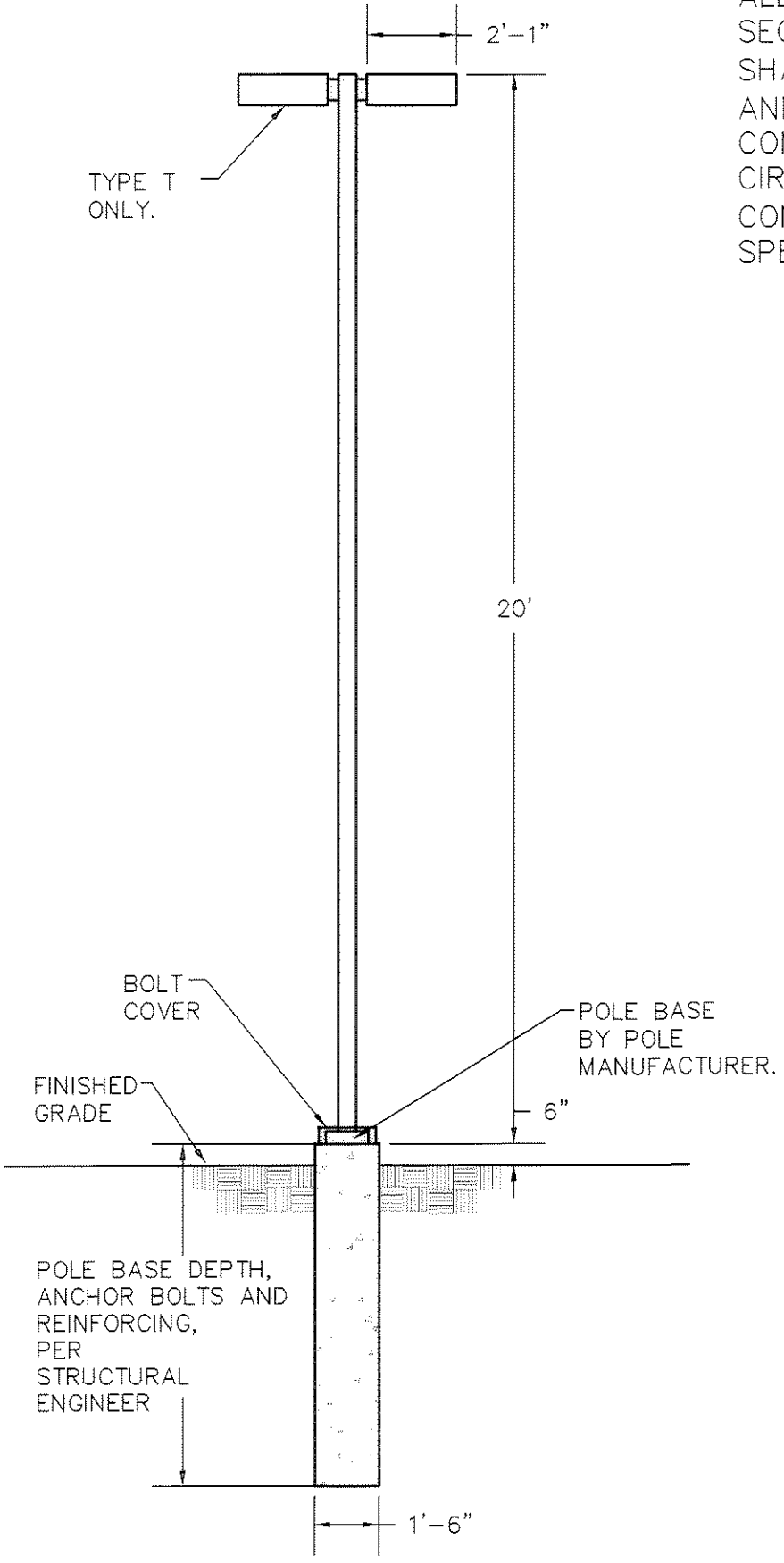
ALL FLUORESCENT FIXTURES SHALL HAVE ENERGY SAVING T8 LAMPS & ELECTRONIC BALLASTS

ALL COMPACT FLUORESCENT FIXTURES SHALL HAVE HPF BALLAST.

LIGHTING CALCULATION									
AREA	WATTAGE	WATTAGE	LLF	AVG.	MAX.	MIN.	AVG./MIN.	MAX./MIN.	
SITE	C = 26WATT CF, T1 = 175W MH	C = 1800, T1 = 12000	1.0	0.15	2.1	0.0	---	---	
PARKING	C = 26WATT CF, T1 = 175W MH	C = 1800, T1 = 12000	1.0	1.17	3.4	0.1	11.70	34.00	

GROUND MOUNTED FLAG POLE LUMINARIES, BUILDING MOUNTED SIGN LUMINARIES, AND GROUND MOUNTED MONUMENT SIGN LUMINARIES

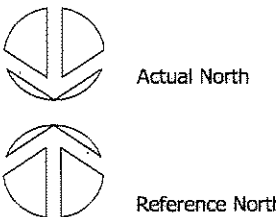
TYPES "F", "N", AND "P" ARE SHOWN ON PLANS BUT WERE NOT INCLUDED IN CALCULATION



ALL LIGHTS ON PROPERTY ADJACENT TO RESIDENTIAL ZONED LAND, EXCEPT THOSE REQUIRED FOR SECURITY AT ENTRANCES, STAIRWAYS AND LOADING DOCKS SHALL BE CIRCUITED SUCH THAT LIGHTING SHALL BE REDUCED BY FIFTY PERCENT (50%) WITHIN ONE (1) HOUR AFTER THE END OF BUSINESS HOURS AND BE OPERATED IN SUCH FIFTY PERCENT (50%) REDUCED MODE UNTIL ONE (1) HOUR PRIOR TO THE COMMENCEMENT OF BUSINESS HOURS. LIGHTING CLOSEST TO THE BUILDING OF STRUCTURES SHALL BE CIRCUITED SEPARATELY FROM LIGHTING ON THE PROPERTY PERIMETER TO ALLOW AFTER HOURS CONTROLS. THE FIXTURES EFFECTIVE ARE INDICATED [1] ON DRAWING AND WILL BE "OFF" DURING SPECIFIED TIME.

TYPE T1 LIGHT
POLE ELEVATION

SCALE: 1/4" = 1'-0"



Scale: 1" = 30'-0"	
Address Lot 1, Castle Pines Commercial Filing 12	
Planning Case Number Town of Castle Rock case # 05-123	
Date December 6, 2006	Sheet Number 11 of 11