

LOT 1, CASTLE PINES COMMERCIAL FILING NO. 10A, FINAL PD SITE PLAN AMENDMENT NO. 1 TOWN OF CASTLE ROCK, CO

SHEET INDEX		
NO.	DESCRIPTION	RECEPTION
1	C-10 COVER SHEET	
	C-20 SITE PLAN	RECEPTION #2007009420
	C-30 UTILITY PLAN	RECEPTION #2007009420
	C-40 GRADING PLAN	RECEPTION #2007009420
	C-41 STORM DRAIN PLAN	RECEPTION #2007009420
2	L-1 PLANT LIST, NOTES AND DETAILS	
3	L-2 LANDSCAPE PLAN	
	A-2.0 EXTERIOR ELEVATIONS	RECEPTION #2007009420
	A-2.1 ENLARGED EXTERIOR ELEVATIONS	RECEPTION #2007009420
	SL-1 SITE LIGHTING NOTES, SCHEDULES AND DETAILS	RECEPTION #2007009420
	SL-2 SITE PHOTOMETRIC PLAN - MAINTAINED LEVELS	RECEPTION #2007009420
	SL-3 SITE PHOTOMETRIC PLAN - INITIAL LIGHT LEVEL	RECEPTION #2007009420
	SL-4 FIXTURE CUT SHEETS	RECEPTION #2007009420

REVISIONS	
DATE	DESCRIPTION

SITE DATA	
PROJECT DESCRIPTION CONSTRUCT A LOWE'S HOME IMPROVEMENT WAREHOUSE WITH A 138,684 S.F. MAIN BUILDING, A 31,709 S.F. GARDEN CENTER AND ASSOCIATED PARKING, ACCESS, WATER, SEWER AND STORM DRAIN IMPROVEMENTS.	
ZONING EXISTING: COMMUNITY COMMERCIAL (C-1) PROPOSED: COMMUNITY COMMERCIAL	SITE COVERAGE TOTAL BUILDING ENVELOPE 170,393 S.F. PARCEL AREA 563,666 SF COVERAGE = 30.25% LANDSCAPE AREA = 72,775 SF IRRIGATED AREA = 72,775 SF
OWNER/DEVELOPER LOWE'S H.I.W., INC. 1530 FARADAY AVENUE, SUITE 140 CARLSBAD, CALIFORNIA 92008 PH: (760) 804-5309 FAX: (760) 602-1018	PARKING REQUIRED BUILDING SIZE: 138,684 S.F. X1/250 = 552 STANDARD STALLS: 552 SPACES ACCESSIBLE STALLS: 12 SPACES TOTAL: 567 SPACES
LOCATION LOWE'S OF CASTLE ROCK CITY OF CASTLE ROCK, CO	PARKING PROVIDED CONTRACTOR STALLS: 24 SPACES STANDARD STALLS: 562 SPACES HANDICAPPED STALLS: 12 SPACES TOTAL: 598 SPACES
SITE AREA 554,993 SF = 12.54 ACRES PROPOSED BUILDING LOWE'S CLASSIFICATION: 117K DEEP MAIN BUILDING 138,684 S.F. GARDEN CENTER 31,709 S.F. VESTIBULE STORE: YES TOTAL 170,393 S.F.	BUILDING HEIGHT 50'-00" MAX AT ENTRY

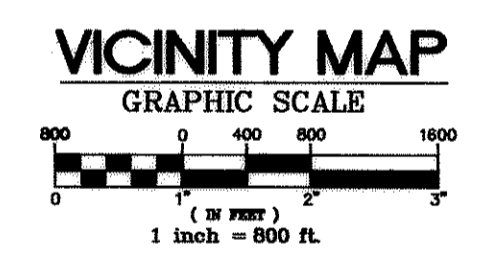
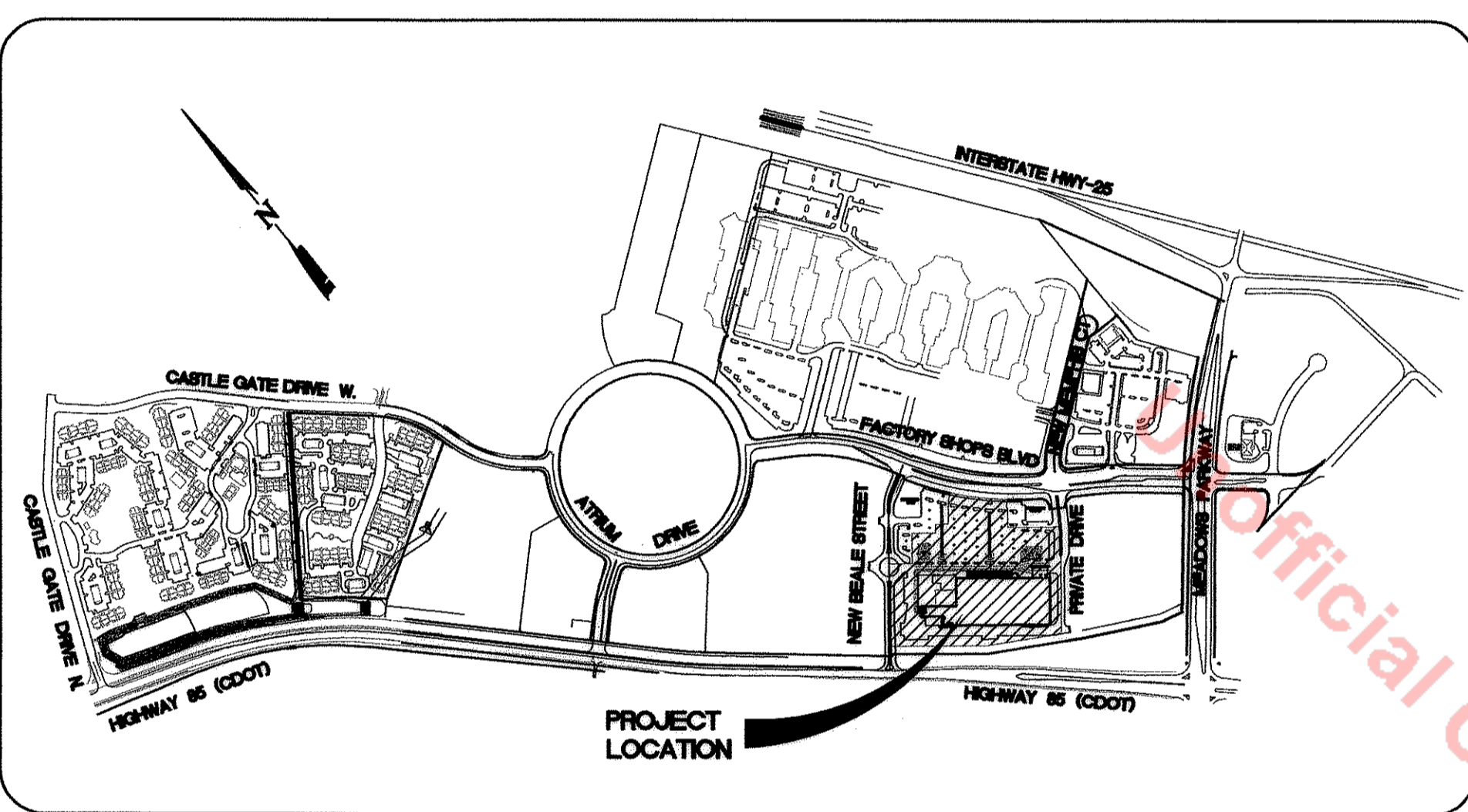
WATER RIGHTS DEDICATION CERTIFICATE
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE CASTLE PINES COMMERCIAL WATER RIGHTS DEDICATION AGREEMENT RECORDED JULY 14, 1995 IN BOOK 1274 AT PAGE 2057 UNDER RECEPTION NO. 9531414 OF THE DOUGLAS COUNTY, COLORADO RECORDS.

DEVELOPMENT TEAM DEVELOPER/OWNER
CONTACT: JACK MANDEL LOWE'S H.I.W., INC.
1530 FARADAY AVE., SUITE 140
CARLSBAD, CA 92008
(760) 804-5300

LANDSCAPE ARCHITECT ARCHITECT
CONTACT: GREG GAUTHIER GROUND LOGIC DENVER, CO 80210 (303) 733-8333
CONTACT: JACK SWANSON KDRA SCOTTSDALE, AZ (480) 941-1440

CIVIL ENGINEER GEOTECHNICAL ENGINEER
CONTACT: MATT LOSER/CLARO PEREZ EN ENGINEERING, INC. 245 E. WARM SPRINGS RD. SUITE 100 LAS VEGAS, NV 89119 (702) 866-6604
CONTACT: SAMANTHA SHERWOOD KLEINFELDER, INC. 671 CORPORATE CIRCLE, SUITE C GOLDEN, CO 80401 (303) 237-6601

SURVEYOR MASTER DEVELOPER
TST INC. OF DENVER 9222 TEDDY LANE LONG TREE, CO 80124 (303) 792-8551 JOHN P. COTTEN P.E. MICHAEL C. CROGGER, P.L.S.
DEV-VC LTD. 900W. CASTLETON ROAD SUITE 125 CASTLE ROCK, CO 80109 (303)688-6300 MATHEW BUSTER



ORIGIN BENCHMARK
U.S.C. AND G.S. BENCHMARK A 355
ELEVATION = 6,047.50
3 1/2" BRASS CAP AT NORTH END OF A CONCRETE HEADWALL, EAST SIDE OF DENVER AND RIO GRANDE WESTERN RAILROAD TRACKS, APPROXIMATELY 3.1 MILES NORTH OF CASTLE ROCK STATION.

BASIS OF COORDINATES
NW CORNER SECTION 27, T.7.S., R.67.W. OF THE 6TH P.M.
2" ALUMINUM CAP MARKED: PLS 22564
NORTHING: 194,705.234 EASTING: 207,889.987
NORTH QUARTER CORNER SECTION 27
2" ALUMINUM CAP MARKED: PLS 22564
NORTHING: 194,666.738 EASTING: 210,558.719

PROJECT BENCHMARK
ALUMINUM MONUMENT WITH CAP MARKED PLS # 14166, AT THE EAST QUARTER CORNER OF SECTION 27, T.7.S., R.67.W. OF THE 6TH P.M. ELEVATION=6171.46 (NGVD 29)

FIRE DEPARTMENT NOTES
SURFACE ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAVE BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT.
WHEN FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.

LEGAL DESCRIPTION
LOT 1, CASTLE PINES COMMERCIAL FILING NO. 10A, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSE OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
2. PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL, REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN. FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SCRUB MUST REPLACE A SCRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX(6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. ACCORDING TO THE LATEST FIRE MAP NUMBER 0803560167F AND 0803560168F, DATED SEPTEMBER 30, 2005, THE DETENTION POND ON-SITE IS ZONE A AND THE REMAINING AREA IS ZONE X-A. A LOWR WAS APPROVED BY FEMA ON JULY 31, 2002 TO REMOVE THE DETENTION POND AND CONTAIN IT IN A CULVERT. A LOWR WILL BE SUBMITTED AND APPROVED PRIOR TO ISSUANCE OF A PUBLIC WORKS PERMIT.
4. ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CO'S. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
6. APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
7. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS AS SHOWN ON THIS PLAN.

LEGEND AND ABBREVIATIONS

<p>1 DETAIL DRAWING NUMBER</p> <p>1/ DRAWING NUMBER FOR DETAIL DRAWN ON SAME SHEET</p> <p>1/7 DRAWING NUMBER FOR DETAIL WITH REFERENCE TO IT'S SHEET</p> <p>(60.51) EXIST. ELEVATION TC 60.51 PROPOSED ELEVATION (2356.1) EXIST. SPOT ELEVATION X</p> <p>----- PROPERTY LINE ----- EASEMENT LINE ----- FUTURE LINE ----- STREET CENTERLINE ----- CONCRETE CURB & OUTER ----- EXISTING IMPROVEMENTS ----- EXISTING GROUND CONTOURS ----- FINISH GROUND CONTOUR LINE ----- DRAINAGE FLOW LINE ----- RETAINING WALL ----- EXISTING RETAINING WALL ----- EX. FIRE HYDRANT W/6" GATE VALVE ----- (24"W) EX. WATER LINE ----- (8"S) EX. SEWER LINE ----- (4"G) EX. GAS LINE ----- (12"SD) EX. STORM DRAIN ----- GATE VALVE ----- SEWER MANHOLE ----- SEWER CLEAN OUT ----- 6"W WATER LINE ----- 8"S SEWER LINE ----- 4"G GAS LINE ----- SD STORM DRAIN ----- EX. CABLE ----- EX. FIBER OPTIC ----- EX. ELECTRIC ----- ADA ROUTE ----- SAWTOOTH LINE ----- 1-1/4" PVC CONDUIT (STREET LIGHTS) ----- P.P. NO. 3 1/2 CONCRETE PULL BOX W/METAL COVER ----- SEWER LATERAL ----- FIRE HYDRANT ASSEMBLY AND GATE VALVE ----- PROPOSED PARKING COUNT ----- PROPOSED LANDSCAPE ISLAND ----- COMBINATION CURB-INLET ----- EXISTING LIGHT ----- PROPOSED LIGHT ----- J400FG ----- J400G ----- HEAVY DUTY ASPHALT PAVEMENT ----- HEAVY DUTY CONCRETE</p>	<p>ABBREVIATIONS</p> <p>AC = ACRE AC = ASPHALTIC CONCRETE BCR = BEGN CURB RETURN BVC = BEGN VERTICAL CURVE BW = BACK OF WALK CF = CURB FACE TCR = TOWN OF CASTLE ROCK COIG = CLEANOUT TO GRADE CY = CUBIC YARDS DS = DOWN SPOUT EA = EACH EDR = END OF CURB RETURN EOL = ENERGY GRADE LINE EP = EDGE OF PAVEMENT EX = EXISTING EVC = END VERTICAL CURVE F.A.S.T. = FREEWAY AND ARTERIAL SYSTEM OF TRANSPORTATION FG = FINISHED GRADE FL = FLOW LINE FF = FINISH FLOOR FS = FINISH SURFACE FUT = FUTURE G = GAS GB = GRADE BREAK HB = HYDRAULIC GRADE LINE HP = HIGH POINT INV = INVERT ELEVATION LF = LINEAR FEET MTCN = MATCH NG = NATURAL GRADE PC = POINT OF CURVATURE PCC = PORTLAND CEMENT CONCRETE PVC = POLYVINYL CHLORIDE PV = POINT OF VERTICAL INTERSECTION PT = POINT OF TANGENCY R/W = RIGHT-OF-WAY S = SEWER SD = STORM DRAIN SDMH = STORM DRAIN MH SF = SQUARE FEET SL = STREET LIGHT SSMH = SEWER MANHOLE STA = STATION SVRZ = SIGHT VISIBILITY RESTRICTION ZONE SW = SIDEWALK TC = TOP BACK OF CURB TF = TOP OF FOOTING TP = TOP OF PAVEMENT TS = TOP OF SLAB TW = TOP OF WALL TYP = TYPICAL UDACS = UNIFORM DESIGN AND CONSTRUCTION STANDARDS USDOCA = UNIFORM STANDARD DRAWING CLARK COUNTY AREA W = WATER</p> <p>1 CONSTRUCTION NOTE 3 CONSTRUCTION NOTE 2 CONSTRUCTION NOTE STOP SIGN STREET SIGN AREA-INLET CURB-INLET LIGHT DESIGNATION FLAT GLASS 400 WATT</p>
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THE PURPOSE OF THIS PD MINOR IS TO AMEND THE LANDSCAPE & IRRIGATION PLANS

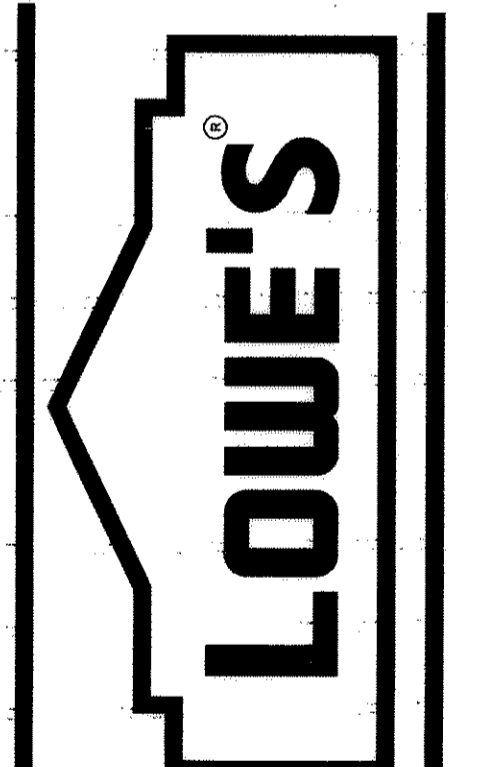
OWNERSHIP CERTIFICATE
THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 1, CASTLE PINES COMMERCIAL FILING 10A, IN THE TOWN OF CASTLE ROCK
M. J. ...
LOWE'S H.I.W., INC., A WASHINGTON CORPORATION
SIGNED THIS 21st DAY OF August, 20 09
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 21 DAY OF August, 20 09
Diana L. Farace
DIANA L. FARACE
NOTARY PUBLIC San Diego County California
MY COMMISSION EXPIRES 2-22-10
Commission No. 1640568

TITLE CERTIFICATION
John F. Ellis AN AUTHORIZED REPRESENTATIVE OF Security Title, a TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
SIGNED THIS 24th DAY OF August, 20 09
John F. Ellis
AUTHORIZED REPRESENTATIVE
Security Title Guaranty Company
TITLE INSURANCE COMPANY
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 26th DAY OF August, 20 09
BY *John F. Ellis*
WITNESS MY HAND AND OFFICIAL SEAL.
Kathy Craig
NOTARY PUBLIC
MY COMMISSION EXPIRES 4-20-11
My Commission Expires 04/20/11

TOWN CERTIFICATION
THE FINAL PD SITE PLAN AMENDMENT FOR LOT 1, CASTLE PINES COMMERCIAL FILING 10A WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO, ON THE 19th DAY OF September, 2009
John A. ...
9/16/09
DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
THIS FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT TIME 2:55 PM ON THE 13th DAY OF OCTOBER, 2009 AT RECEPTION NO. 2009078702
BY: *Tulayna ...* DEPUTY
DEPUTY

LOWE'S H.I.W., INC.
1530 FARADAY AVE., SUITE 140
CARLSBAD, CA 92008
760.804.5300 (V) 760.918.9112 (F)

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COVER SHEET
LOT 1, CASTLE PINES COMMERCIAL FILING NO. 10A FINAL PD SITE PLAN AMENDMENT NO. 1
PROJECT No. 09-000
DRAWN BY: MFM
CHECKED BY: CF

ORIGINAL ISSUE DATE: 08/10/05
PERMIT SET ISSUE DATE:
CONSTRUCTION SET ISSUE DATE:
DRAWING NUMBER:
C-10
SHEET 1 OF 3

LOT 1, CASTLE PINES COMMERCIAL FILING NO. 10A FINAL PD SITE PLAN - AMENDMENT NO. 1 TOWN OF CASTLE ROCK, CO LANDSCAPE NOTES

PLANT MATERIAL LIST

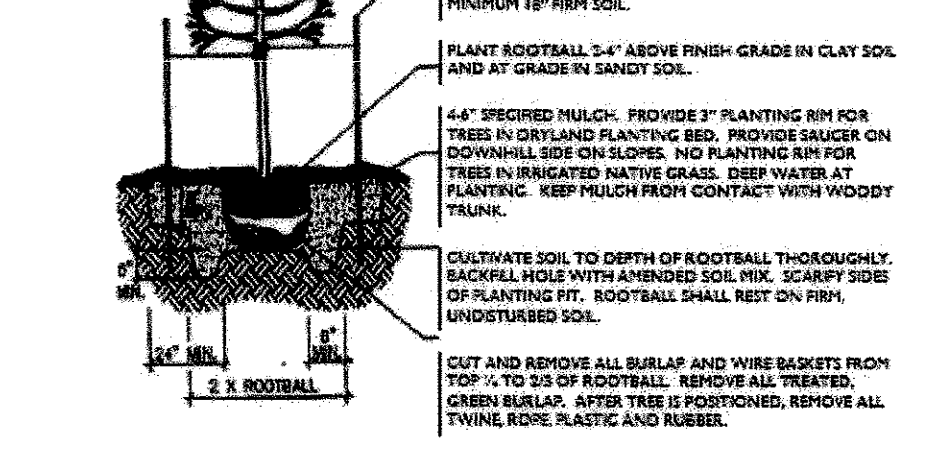
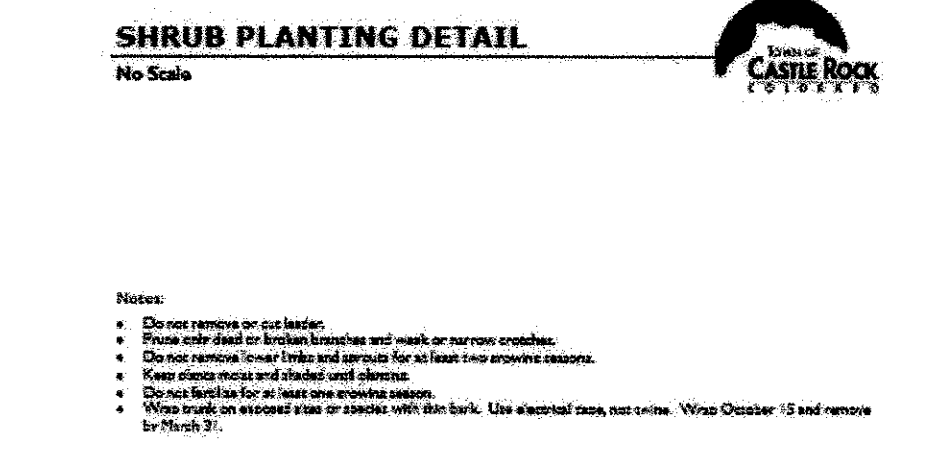
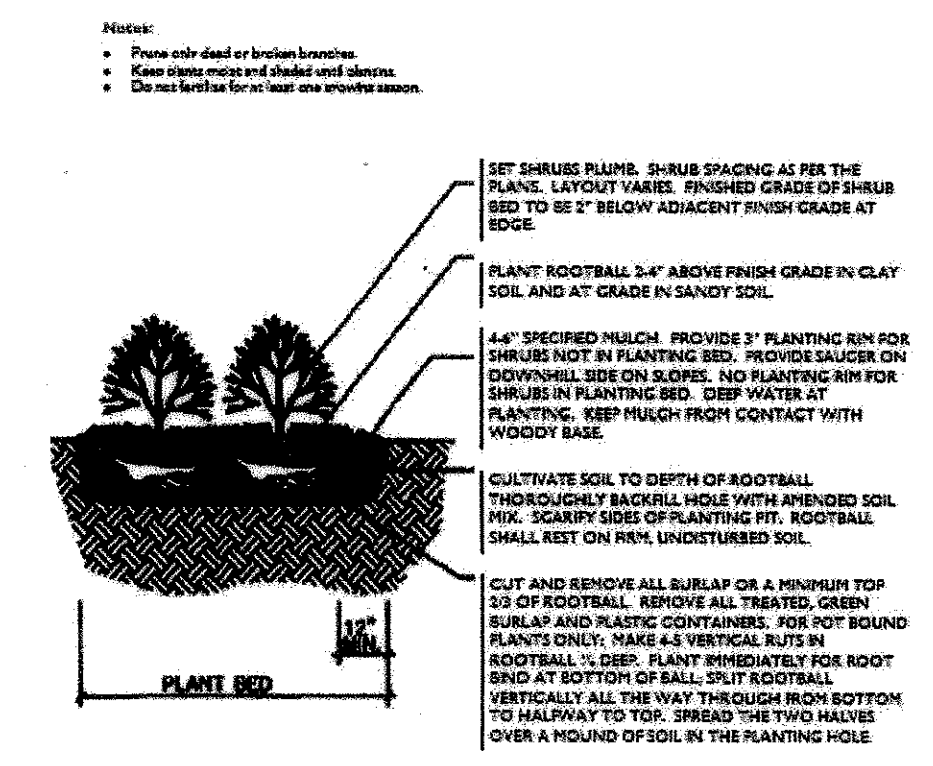
QUANTITY	COMMON/ SYMBOL	BOTANICAL NAME	SIZE	COMMENTS	WATER REQUIREMENT DEFINITION
EVERGREEN TREES					
28	CS	Colorado Spruce	6' Ht. min.	Specimen Quality, B&B, staked	Moderate Water Zone
7	PP	Ponderosa Pine	6' Ht. min.	Specimen Quality, B&B, staked	Low Water Zone
18	AU	Austrian Pine	6' Ht. Min.	Specimen Quality, B&B, staked	Moderate Water Zone
DECIDUOUS SHADE TREES					
10	HB	Hackberry	2" Cal.	Specimen Quality, B&B, staked	Low Water Zone
54	KC	Kentucky Coffeetree	2" Cal.	Specimen Quality, B&B, staked	Low Water Zone
16	HL	Skyline Honeylocust	3" Cal.	Specimen Quality, B&B, staked	Low Water Zone
25	EO	Columnar English Oak	2" Cal.	Specimen Quality, B&B, staked	Moderate Water Zone
27	AB	Autumn Blaze Maple	2-3" Cal.	Specimen Quality, B&B, staked	Moderate Water Zone
ORNAMENTAL TREES					
9	AM	Ginnala Maple	6' Ht. Multi	Specimen Quality, B&B, staked	Low Water Zone
9	GO	Gambel Oak	6' Ht. Multi	Specimen Quality, B&B, staked	Low Water Zone
19	TC	Thornless Cocksaur Hawthorn	1.5" Cal.	Specimen Quality, B&B, staked	Low Water Zone
15	CP	Chanticleer Pear	1.5" Cal.	Specimen Quality, B&B, staked	Moderate Water Zone
DECIDUOUS SHRUBS					
57	AP	Abbotswood Potentilla	5 gal.	Container, 5 canes min. 18"-24" ht.	Moderate Water Zone
187	LP	Little Princess Spirea	5 gal.	Container, 5 canes min. 18"-24" ht.	Moderate Water Zone
93	RS	Russian Sage	5 gal.	Container, 5 canes min. 18"-24" ht.	Low Water Zone
83	SS	Staghorn Sumac	5 gal.	Container, 5 canes min. 18"-24" ht.	Low Water Zone
75	SB	Scotch Lena Broom	5 gal.	Container, 5 canes min. 18"-24" ht.	Low Water Zone
62	PC	Peking Cotoneaster	5 gal.	Container, 5 canes min. 18"-24" ht.	Moderate Water Zone
111	DL	Dwarf Korean Lilac	5 gal.	Container, 5 canes min. 18"-24" ht.	Low Water Zone
31	RC	Red Chokeberry	5 gal.	Container, 5 canes min. 18"-24" ht.	Low Water Zone
EVERGREEN SHRUBS					
198	BJ	Buffalo Juniper	5 gal.	Container 18"-24" spread	Low Water Zone
35	SG	Sea Green Juniper	5 gal.	Container 18"-24" spread	Low Water Zone
317	WJ	Blue Rug Juniper	5 gal.	Container 18"-24" spread	Low Water Zone
GRASSES					
175	FR	Feather Reed Grass	1 gal.	Container	Low Water Zone
84	BA	Blue Avena Grass	1 gal.	Container	Low Water Zone
PERENNIALS					
130	SD	Shasta Daisy	1 gal.	Container	Moderate Water Zone

GROUND COVER & MULCHES

	1-1/2" DIAMETER FRACTURED GRANITE ROCK MULCH - INSTALL 18" WIDE BAND BEHIND CURBS IN THE PARKING LOT AND INTERIOR PARKING LOT ISLANDS		NON-IRRIGATED TEMPORARY NATIVE SEED MIXTURE
	SHRUB BEDS - 4" DEPTH OF 1/2" FIBER WOOD MULCH OVER FILTER FABRIC		PERENNIALS / GRASSES - 3" DEPTH OF FIBER WOOD MULCH WITHOUT FILTER FABRIC
	IRRIGATED BLUE GRAMMA GRASS - 1-1/2 PLS# per 1,000 s.f.		

- No more than 25% of the total landscape area shall be comprised of non-living materials. Groundcovers and vines shall be spaced to provide 80% coverage within 2 to 3 years.
- All irrigated turf areas shall be blue gramma grass. Areas shall be ripped and tilled to a minimum depth of 6" inches. 3 cubic yards per 1000 s.f. of specified organic material shall be incorporated into all landscape areas. A professional soils analysis shall be performed that recommends planting suitability prior to specifying soil amendment type. Turf is not to be installed on slopes greater than 3:1.
- All landscape areas (except for temporary seed areas at out lots) shall be irrigated by a fully automatic, underground, commercial grade irrigation system. Turf areas shall be spray and shrub bed areas shall be drip irrigated. Irrigation zones shall be separated by water usage areas as designated on the approved plant list.
- A separate irrigation tap shall be provided for the landscaping. Soil moisture sensors and master control valves shall be utilized to conserve water. A rain sensor shut-off device will also be provided. Backflow preventer to be approved by the Town of Castle Rock.
- Xeriscape landscape principals shall be utilized throughout the site.
- Irrigated seed areas shall be specified with a low grow variety that shall be irrigated and maintained at a maximum height of 6".
- All right-of-way area landscaping and ongoing maintenance is the responsibility of the adjacent property owner per Town of Castle Rock landscape regulation 3.3.4E6.
- Maintain a minimum 3' clearance of all trees and shrubs around fire hydrants.
- A minimum of 2 trees and 4 shrubs are required per 1,000 s.f. of the landscape area.
- All landscape improvements shall be installed by the developer prior to the Certificate of Occupancy of the building.
- Maintenance of all landscape improvements shall be the responsibility of the adjacent property owner per Town of castle Rock landscape regulation 3.3.4E6.
- Existing landscaping over 4" caliper shall be shown on the plans and shall be preserved or transplanted during construction. Credits for existing plant material applies.
- No objects may exceed a height of 30" within the sight triangle.
- A five foot minimum setback shall be maintained to each side of all fire hydrants. Public utility easements shall be completely unobstructed.
- No plant material is allowed in areas less than 4' wide.
- Turf areas are to be a minimum of 10' wide.
- No more than 60% of the total site area can be irrigated turf.
- No trees and shrubs should be planted within 5' of a building.
- All edger is to be Ryerson steel edger (OAE) with plastic protective covering on the exposed edge of the edger.
- No trees, large shrubs, or permanent structures are allowed in existing and proposed utility and drainage easements.

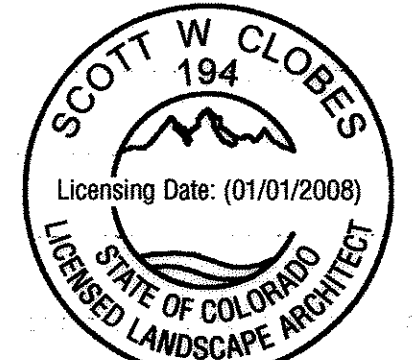
TREE AND SHRUB PLANTING DETAILS



COMMERCIAL LANDSCAPE SITE INVENTORY

Registered Professional: Scott Clobes Project: Lowe's of Castle Rock Registration No: 6110
 Company Name: Ground Logic Address: 2038 Grove St. Boulder, CO 80302
 Phone: (303) 733-8333 E-Mail: sclobes@groundlogic.com

Gross Site Area (SF)	Landscape Area (SF)	Turfgrass Species (SF)	Parking Lot Area (SF)	Non-Living Ornamental (SF)	Parking Spaces	Interior Landscape Islands	Median Width Int Islands	Trees Req'd	Trees Provided	Shrubs Req'd	Shrubs Provided	Soil Prep Amounts (CY per 1,000 SF)	Separate Irrigation Tap
547,549	98,747	17,105 Blue Gramma Grass	241,964	19,058	598	21	6'	197	222	395	1,249	3 CY per 1,000 SF 296 CY Req'd	Yes



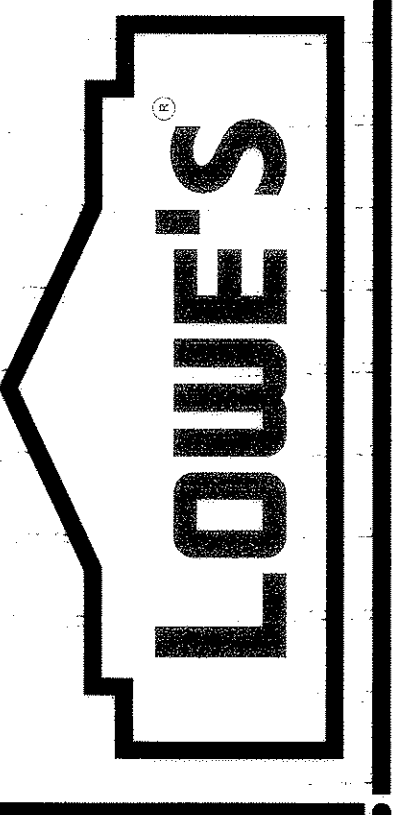
LANDSCAPE ARCHITECT:
GROUND LOGIC INC.
 LANDSCAPE ARCHITECTURE
 IRRIGATION DESIGN
 SITE DESIGN & GIS
 2038 GROVE ST.
 BOULDER, CO 80302
 PH: (303) 733-8333

DATE	DESCRIPTION
1-17-06	2ND CITY SUBMITTAL
5-01-06	BID SET
5-10-06	3RD CITY SUBMITTAL
6-15-06	FINAL PD SUBMITTAL
7-17-06	CITY REVIEW - PD
7-21-06	PLAN CHANGES
8-10-06	MYLAR SET
11-28-06	MYLAR REVISIONS
04-06-09	FIELD AS-BUILT
06-24-09	AMENDMENT NO. 1
07-13-09	AMENDMENT NO. 1

Planning/Civil Engineering/Surveying
 1930 MAIN STREET, SUITE 800, IRVINE, CA 92614
 TEL: (949) 486-0777 FAX: (949) 486-0779
 265 E. MAIN SPRINGS ROAD, SUITE 100, LAS VEGAS, NV 89119
 TEL: (702) 886-6604 FAX: (702) 886-6605

ENGINEERING

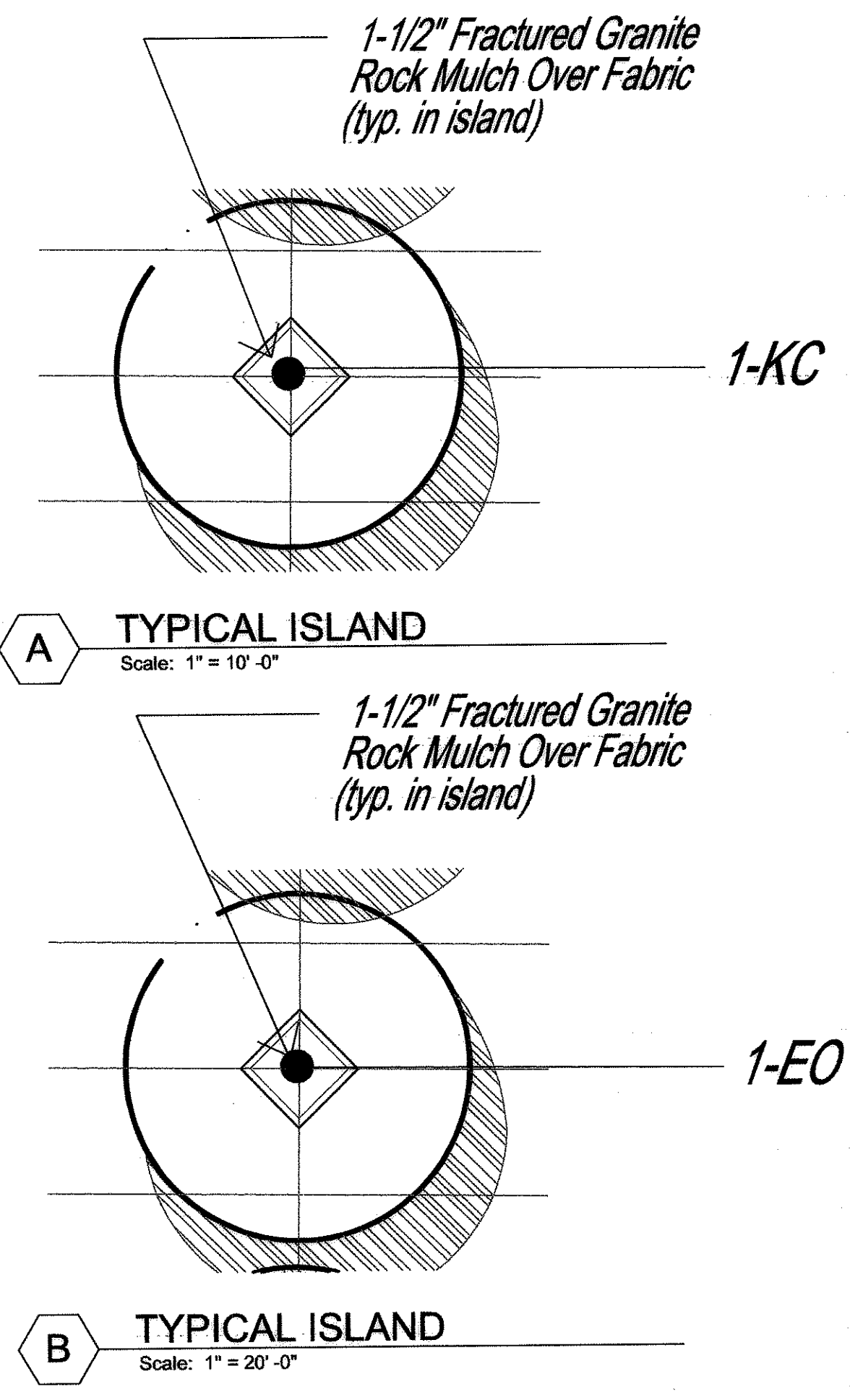
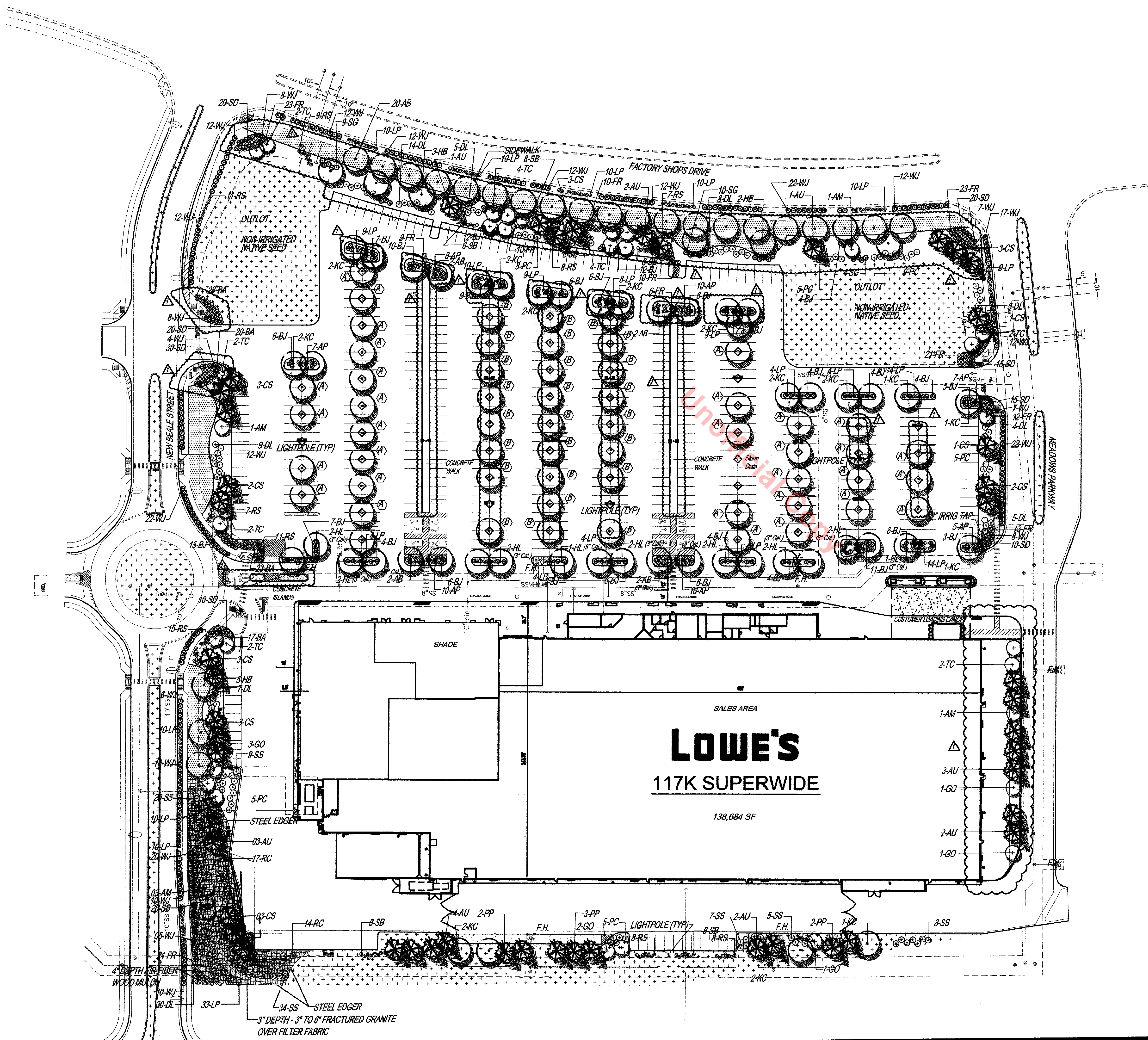
LOWE'S HWY, INC.
 1530 FARADAY AVE., SUITE 140
 CARLSBAD, CA 92008
 760.924.5300 (V) 760.918.9112 (F)



PLANT LIST, NOTES, & DETAILS
 LOT 1, CASTLE PINES COMMERCIAL FILING NO. 10A AMENDMENT NO. 1 TOWN OF CASTLE ROCK, CO
 PROJECT NO. 10A
 DRAWN BY: [Name]
 CHECKED BY: [Name]

ORIGINAL ISSUE DATE: 9-15-06
 PERMIT SET ISSUE DATE:
 CONSTRUCTION SET ISSUE DATE:
 DRAWING NUMBER:
L1
 SHEET 2 OF 3

LOT 1, CASTLE PINES COMMERCIAL FILING NO. 10A FINAL PD SITE PLAN - AMENDMENT NO. 1 TOWN OF CASTLE ROCK, CO



LANDSCAPE WATER COMPOSITE ANALYSIS

Project: Lowe's of Castle Rock

Total Landscape Area = 98,747 s.f.

- Very Low Water Zone = 54,311 s.f.
- Low Water Zone = 27,331 s.f.
- Moderate Water Zone = 17,105 s.f.

1. Landscape Water Use Rating (LWUR)

- a. Very Low Water Zone = 5' / 5.0 = 1.0
- b. Low Water Zone = 10' / 5.0 = 2.0
- c. Moderate Water Zone = 15' / 5.0 = 3.0

2. Composite Landscape Water Use Rating (CLWUR)

- a. Very Low Water Zone = 1.0 * 54,311 / 98,747 = 0.550
- b. Low Water Zone = 2.0 * 27,331 / 98,747 = 0.554
- c. Moderate Water Zone = 3.0 * 17,105 / 98,747 = 0.520

Total CLWUR = 1.624

The landscape design is in compliance with the Town of Castle Rock's requirements since the total CLWUR of 1.624 is less than the allowable CLWUR of 2.5.

LANDSCAPE ARCHITECT:
GROUND LOGIC
LANDSCAPE ARCHITECTURE & CONSULTING
2038 GROVE ST.
BOULDER, CO 80502
PH: (303) 733-8333

CASTLE ROCK REGISTRATION NUMBER : 6110

SCALE : 1" = 50'-0"

SCOTT W CLORES
194
LICENSED LANDSCAPE ARCHITECT
LICENSING DATE: (01/01/2008)

ORIGINAL ISSUE DATE: 9-15-06
PERMIT SET ISSUE DATE:
CONSTRUCTION SET ISSUE DATE:
DRAWING NUMBER:
L2

DATE	DESCRIPTION
1-17-08	2ND CITY SUBMITTAL
5-01-08	BID SET
5-10-08	3RD CITY SUBMITTAL
6-15-08	FINAL PD SUBMITTAL
7-17-08	CITY REVIEW - PD
7-21-08	PLAN CHANGES
8-10-08	MYLAR SET
11-28-08	MYLAR REVISIONS
04-08-09	FIELD AS-BUILT
06-24-09	AMENDMENT NO. 1

Planning Civil Engineering Surveying
1920 MAIN STREET, SUITE 800, IRVINE, CA 92614
TEL: (949) 486-0777 FAX: (949) 486-0779
242 E. WARD SPRINGS ROAD, SUITE 100, LAS VEGAS, NV 89119
TEL: (702) 886-6604 FAX: (702) 886-6605

ENGINEERING

LOWE'S H.W. INC.
1530 FARADAY AVE., SUITE 140
CARLSBAD, CA 92008
760.864.5300 (V) 760.916.9112 (F)

GROUND LOGIC
LANDSCAPE ARCHITECTURE & CONSULTING
2038 GROVE STREET, BOULDER, CO 80502
OFFICE: 303-733-8333 | TEL: 900-665-4434 | info@groundlogic.com

April 07, 2009

LANDSCAPE WATER COMPOSITE ANALYSIS

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- a. Very Low Water Zone = 1.0 * 54,311 / 98,747 = 0.550
- b. Low Water Zone = 2.0 * 27,331 / 98,747 = 0.554
- c. Moderate Water Zone = 3.0 * 17,105 / 98,747 = 0.520

Total CLWUR = 1.624

The landscape design is in compliance with the Town of Castle Rock's requirements since the total CLWUR of 1.624 is less than the allowable CLWUR of 2.5.

LOWE'S

LANDSCAPE PLAN
LOT 1, CASTLE PINES COMMERCIAL FILING NO. 10A
AMENDMENT NO. 1
TOWN OF CASTLE ROCK, CO

DRAWN BY: [] CHECKED BY: []