

OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$91.00
10 PGS

2005073493
08/05/2005 03:30 PM



PLAT IDENTIFICATION SHEET

✓ Open Bible Church of the Rock, Inc.

GRANTOR(owner)

✓ Church of the Rock 1, Lot 1 Final PD Site Plan

GRANTEE(name of plat)

✓ Church of the Rock

Subdivision/Condo Name

1

Filing

Phase

Lot

Building

Block

Unit

✓ 32 7 67

OLD LEGAL(Section)

(Township)

(Range)

Cross reference#s (reception#s Book - Page)

CHURCH OF THE ROCK, FILING NO. 1, LOT 1

FINAL PD SITE PLAN A PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, STATE OF COLORADO

LEGAL DESCRIPTION:

Lot 1, Church of the Rock, Filing No. 1

OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE CHURCH OF THE ROCK PD IN THE TOWN OF CASTLE ROCK.

J.R. Polhemus
OPEN-BIBLE CHURCH OF THE ROCK, INC., A COLORADO NONPROFIT CORPORATION

SIGNED THIS 2nd DAY OF June, 2005

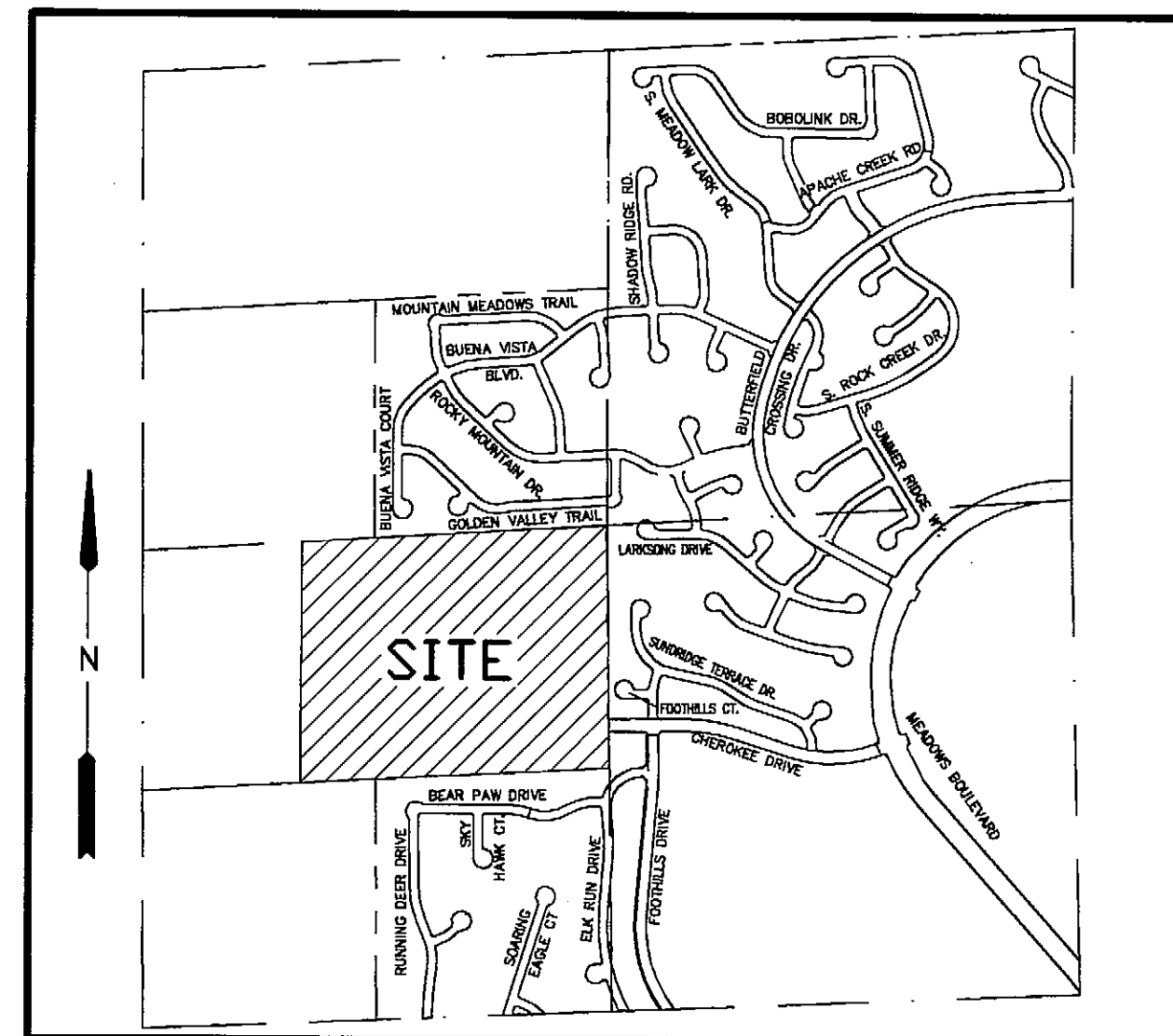
SUBSCRIBED AND SWORN TO BEFORE ME THIS 2nd DAY OF
June, 2005, BY J.R. Polhemus AS
SENIOR PASTOR OF

OPEN BIBLE CHURCH OF THE ROCK, INC., A COLORADO NONPROFIT CORPORATION

Susan I. Rasmussen
WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: My Commission Expires 02/25/2008



VICINITY MAP

GRAPHIC SCALE

1000 500 0 1000 2000

SCALE: 1 inch = 1000 ft

SHEET INDEX

1. COVER SHEET
2. SITE PLAN
3. GRADING PLAN
4. UTILITIES PLAN
5. OVERALL LANDSCAPE PLAN
6. ENLARGED LANDSCAPE PLAN
7. EXTERIOR ELEVATIONS
8. PHOTOMETRIC PLAN
9. PHOTOMETRIC DATA SHEET

SUMMARY TABLE:		
MAXIMUM GROSS FLOOR AREA		
PHASE I	54,020 SQ. FT.	
PHASE II	20,980 SQ. FT.	
TOTAL		75,000 SQ.FT.
BUILDING SETBACK		250 FEET
BUILDING HEIGHT (MAXIMUM)		35 FEET
PARKING REQUIRED - INITIAL (760 SEATS)		254 SPACES
PARKING REQUIRED - FINAL (1200 SEATS) *		400 SPACES
PARKING PROVIDED - INITIAL		310 SPACES
PARKING PROVIDED -FINAL		466 SPACES
TOTAL SITE UTILIZATION BREAKDOWN		
BUILDING COVERAGE	75,000 SQ.FT.	
PARKING/DRIVES	206,343 SQ.FT.	
OPEN SPACE/LANDSCAPE	2,045,414 SQ.FT.	
DISTURBED LAND		
BUILDING/PARKING/ROAD	281,343 SQ.FT.	
DETENTION	118,928 SQ.FT.	
BALL FIELDS	151,000 SQ.FT.	
GRADING	610,915 SQ.FT.	
TOTAL		1,162,186 SQ.FT.
UNDISTURBED LAND	1,164,571 SQ.FT.	
LANDSCAPE AREA	93,000 SQ.FT.	
TOTAL		2,326,757 SQ.FT.

* NOTE: WHEN SANCTUARY IS EXPANDED, ADDITIONAL SPACES MUST BE PROVIDED AS SHOWN ON PLANS.

NOTES:

1. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures and detention basins located on this property unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 15% fee.

2. Pursuant to the Landscape Regulations of the Town of Castle Rock Municipal Code, the Owner of the property, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Final PD Site Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowners Association, if applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Replacement for dead or diseased plant material shall be the same type of plant material as set forth in the approved Final PD Site Plan; for example, a tree must replace a tree, a scrub must replace a scrub, ground cover must replace ground cover, etc. Upon written notice by the Town, the Owner will have six (6) months to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.

3. The Federal Emergency Management Agency (FEMA) flood insurance rate map indicates that this site has two flood plain areas: The 6400 Tributary West Fork and the 6400 Tributary East Fork. (Map No. 080050 0170 C, dated September 30, 1987)

4. Any street signs, striping and street lights are conceptual only and subject to Town review with the CDs. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.

5. The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy" as amended from time to time, for this project.

6. Approval of the Final PD Site Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from town regulations and standards are subject to the appropriate procedures for approval.

7. No solid object exceeding 30" in height above the flowline elevation of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, trees, landscape plantings, cut slopes and berms, shall be placed in Sight Distance Easements as shown on this Plan.

OWNERS:

OPEN BIBLE CHURCH OF THE ROCK, INC.
1638 NORTH PARK STREET
CASTLE ROCK, COLORADO 80104
(303) 688-0777
CONTACT: J.R. POLHEMUS

ENGINEER:

JOHNSTON ENGINEERING ASSOCIATES, INC.
7550 W. YALE AVE. SUITE B-200
DENVER, COLORADO 80227
(303) 969-9001
CONTACT: ALEXANDER I. BROWN

PREPARED BY:

JOHNSTON ENGINEERING ASSOCIATES, INC.

DEVELOPER:

CHURCH OF THE ROCK
1638 NORTH PARK STREET
CASTLE ROCK, COLORADO 80104
(303) 688-0777
CONTACT: J.R. POLHEMUS

SURVEYOR:

JOHNSTON ENGINEERING ASSOCIATES, INC.
7550 W. YALE AVE. SUITE B-200
DENVER, COLORADO 80227
(303) 969-9001
CONTACT: GARY HARVEY

DATE: OCTOBER 14, 2004

REVISED: (1) JANUARY 11, 2005

REVISED: (2) APRIL 12, 2005

REVISED: (3) MAY 3, 2005

REVISED: (4) JUNE 1, 2005

SURVEYOR'S CERTIFICATE:

I, GARY L. HARVEY, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE CHURCH OF THE ROCK, FILING 1, LOT 1 WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.



TITLE CERTIFICATION:

Brenda Becker AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantors A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE

SIGNED THIS 2nd DAY OF June, 2005

Brenda Becker
AUTHORIZED REPRESENTATIVE

Land Title Guarantors Company
TITLE INSURANCE COMPANY

SUBSCRIBED AND SWORN TO BEFORE ME THIS 2nd DAY OF
June, 2005, BY Brenda Becker AS

Title Officer OF

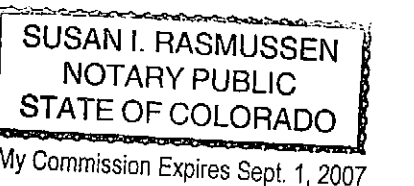
Land Title Guarantors Company

Susan I. Rasmussen

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: 9-1-07



TOWN CERTIFICATION:

THE CHURCH OF THE ROCK PLANNED DEVELOPMENT WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO ON THE 17 DAY OF June, 2005

Chris
DIRECTOR OF DEVELOPMENT SERVICES

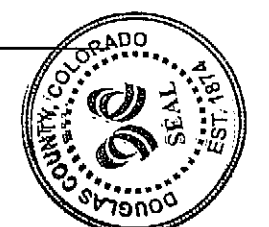
6.17.05
DATE

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:

THIS PRELIMINARY PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:30 PM ON THE 5th DAY OF August, 2005
AT RECEPTION NO. 2005 073493

DOUGLAS COUNTY CLERK AND RECORDER

BY: Tulay
DEPUTY



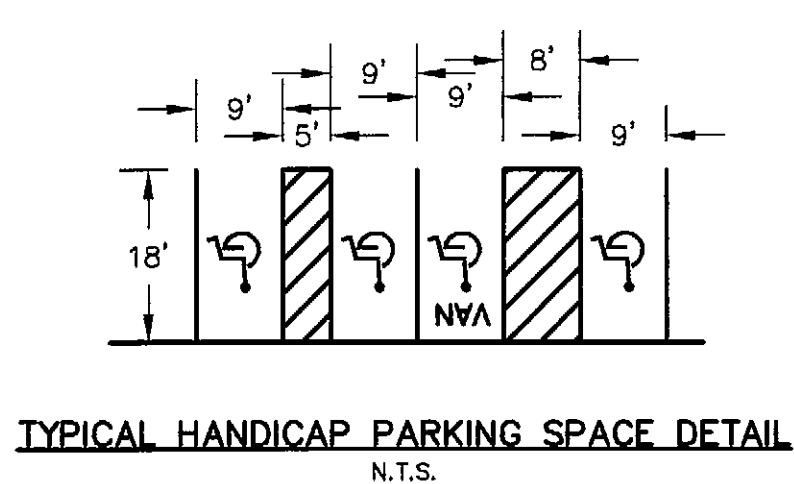
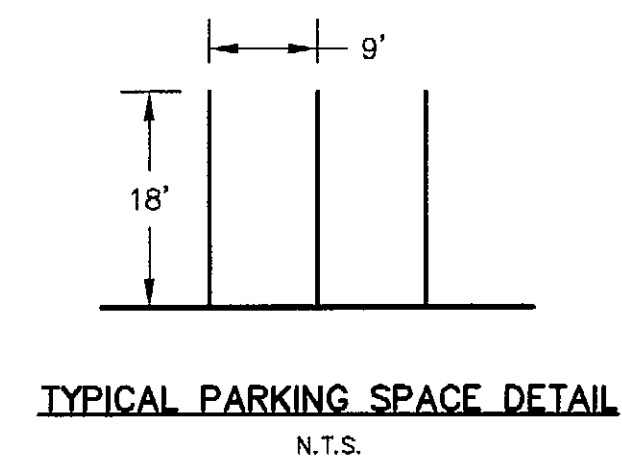
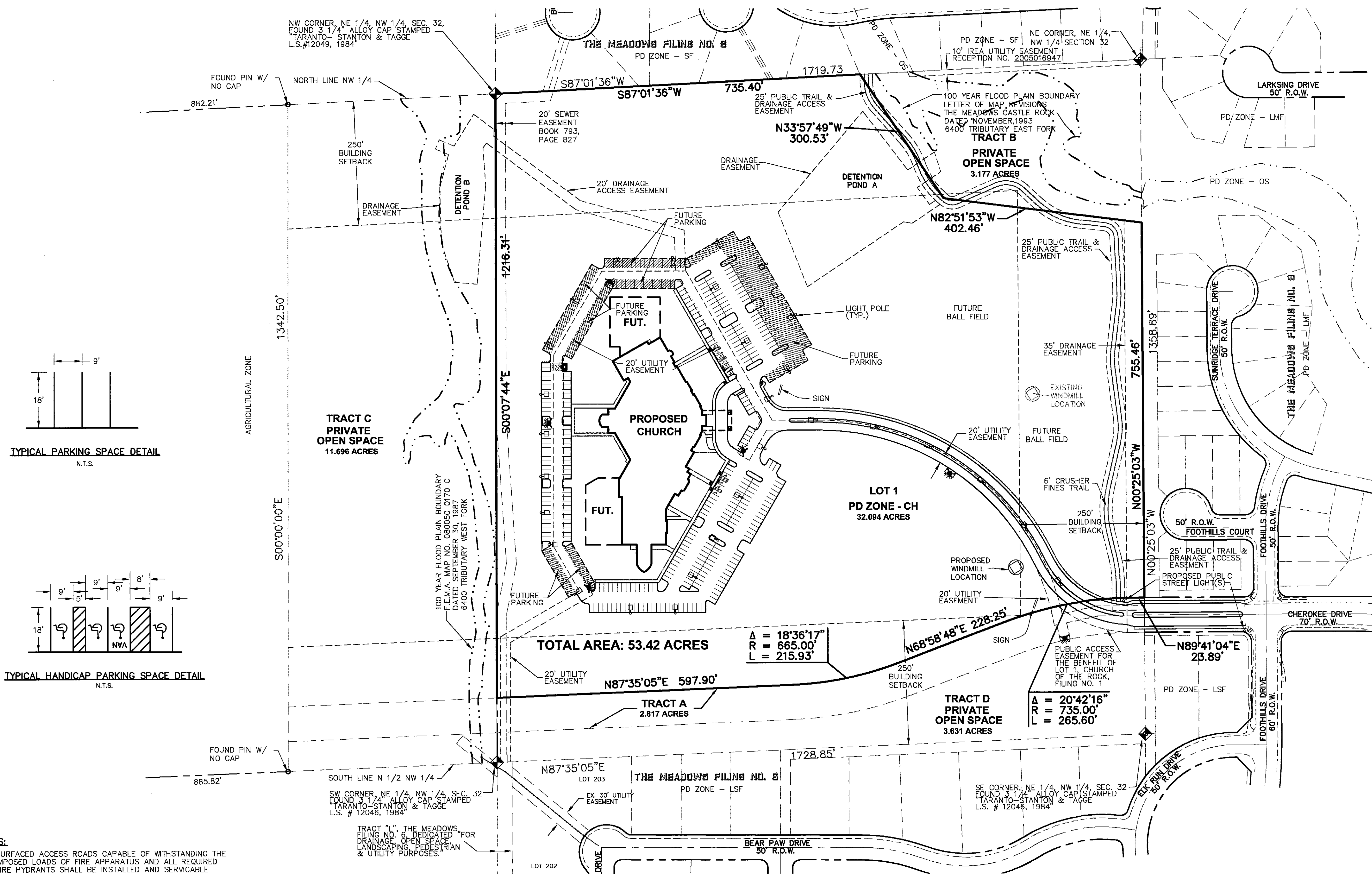
CHURCH OF THE ROCK, FILING NO. 1, LOT 1
FINAL PD COVER SHEET
SHEET 1 OF 9

JOHNSTON ENGINEERING ASSOCIATES, INC.
CIVIL ENGINEERS AND LAND SURVEYORS
7550 WEST YALE AVENUE SUITE B-200 DENVER, COLORADO 80227
(303) 969-9001 (TELE) (303) 969-9016 (FAX)

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CHURCH OF THE ROCK, FILING NO. 1, LOT 1

FINAL PD SITE PLAN
A PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 32,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
DOUGLAS COUNTY, STATE OF COLORADO
SITE PLAN

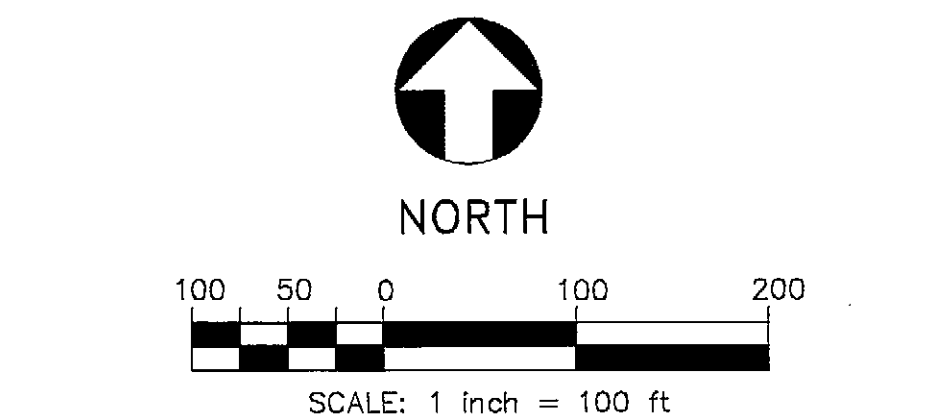


LEGEND

	LIGHT POLE
	FIRE HYDRANT
	SECTION CORNER
	EXISTING
	NEW
	PROPERTY LINE
	RIGHT-OF-WAY
	CURB & GUTTER
	SIDEWALK
	FLOOD PLAIN

- NOTES:**
1. SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND SERVICABLE PRIOR TO AND DURING ALL CONSTRUCTION.
 2. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAVE BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT.
 3. COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.

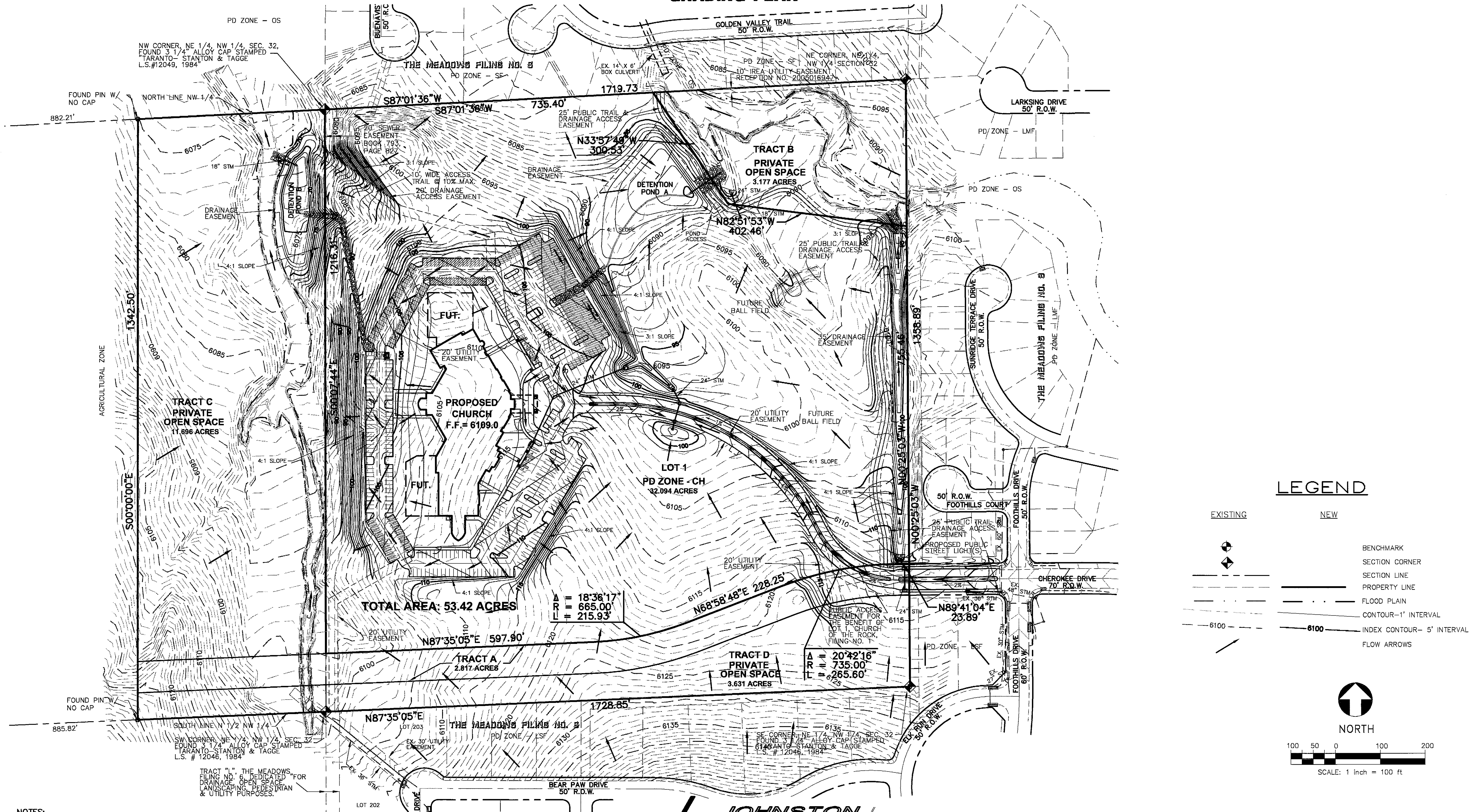
JOHNSTON ENGINEERING ASSOCIATES INC.
CIVIL ENGINEERS AND LAND SURVEYORS
7550 WEST YALE AVENUE SUITE B-200 DENVER, COLORADO 80227
(303) 969-9001 (TELE) (303) 969-9016 (FAX)



CHURCH OF THE ROCK, FILING NO. 1, LOT 1

FINAL PD SITE PLAN

**A PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 32,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
DOUGLAS COUNTY, STATE OF COLORADO
GRADING PLAN**



NOTES:

MAXIMUM CROSS SLOPE OF 4.0% AND MAXIMUM LONGITUDINAL SLOPE OF 10.0% IN UTILITY AND DRAINAGE EASEMENTS FOR VEHICULAR ACCESS FOR MAINTENANCE AND REPAIR, PER PWR, SEC. II, CHAP. 14.3.13.



**JOHNSTON
ENGINEERING
ASSOCIATES** INC.

CIVIL ENGINEERS AND LAND SURVEYORS

7550 WEST YALE AVENUE SUITE B-200 DENVER, COLORADO 80227
(303) 969-9001 (TELE) (303) 969-9016 (FAX)

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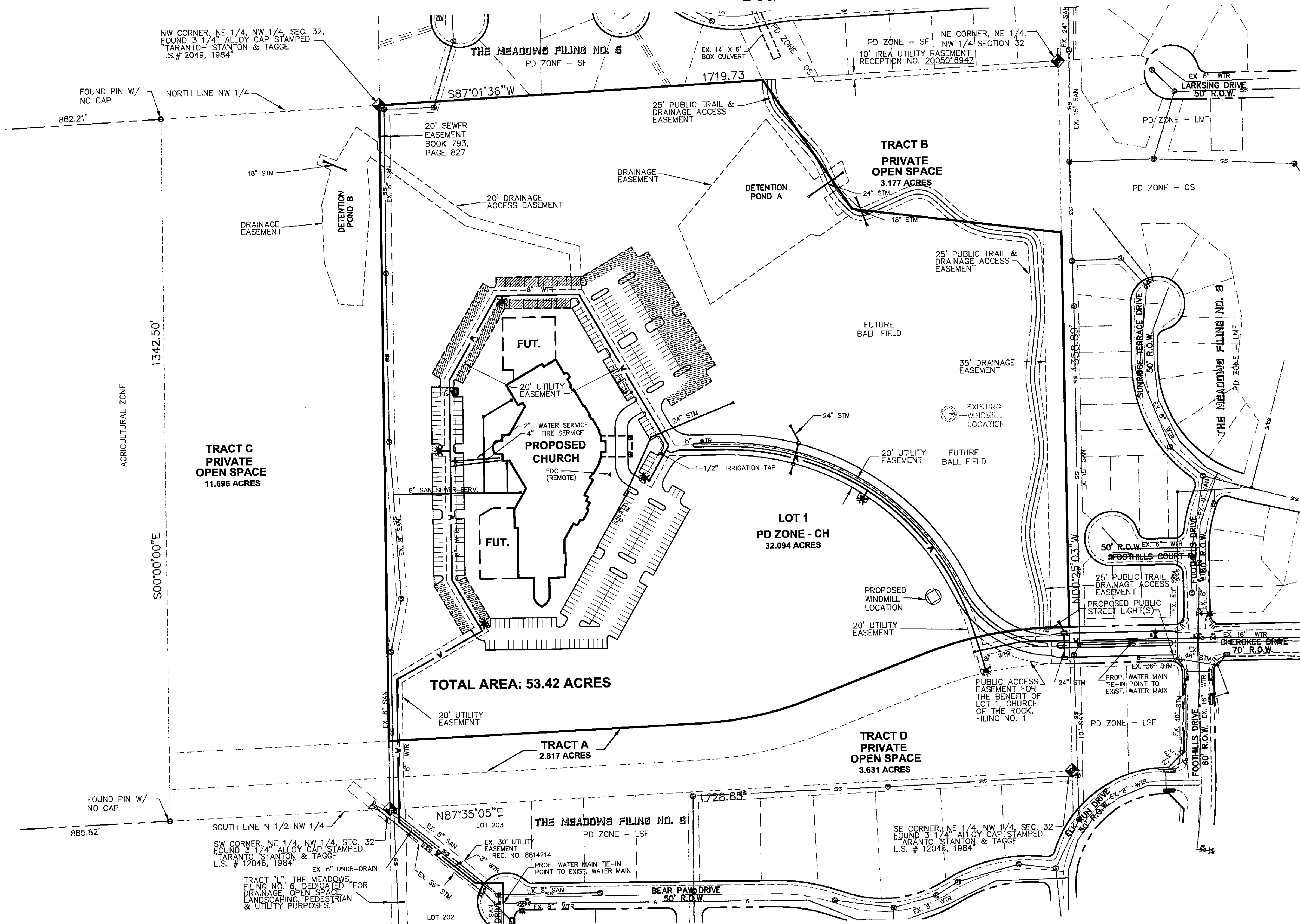
CHURCH OF THE ROCK, FILING NO. 1, LOT 1
FINAL PD GRADING PLAN
SHEET 3 OF 9

CHURCH OF THE ROCK, FILING NO. 1, LOT 1

FINAL PD SITE PLAN

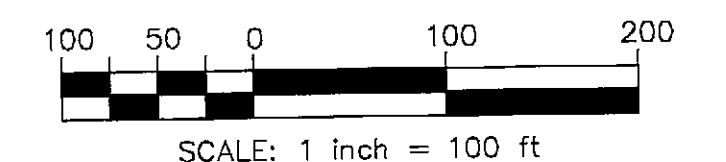
A PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN DOUGLAS COUNTY, STATE OF COLORADO

UTILITIES PLAN



LEGEND

EXISTING	NEW
☆	☆ LIGHT POLE
⊗	⊗ FIRE HYDRANT
⊕	⊕ WATER VALVE
⊙	⊙ WATER MANHOLE
⊗	⊗ WATER METER
⊙	⊙ STORM SEWER MANHOLE
⊙	⊙ SANITARY SEWER MANHOLE
⊙	⊙ CLEANOUT
⊙	⊙ CURB INLET
⊙	⊙ CATCH BASIN/AREA INLET
— W —	— W — WATER LINE
— SS —	— SS — SANITARY SEWER LINE
— STS —	— STS — STORM SEWER LINE
— — —	— — — PROPERTY LINE
— — —	— — — RIGHT-OF-WAY LINE
— — —	— — — CURB & GUTTER



NOTES:

MAXIMUM CROSS SLOPE OF 4.0% AND MAXIMUM LONGITUDINAL SLOPE OF 10.0% IN UTILITY AND DRAINAGE EASEMENTS FOR VEHICULAR ACCESS FOR MAINTENANCE AND REPAIR, PER PWR, SEC. II, CHAP. 14.3.13.

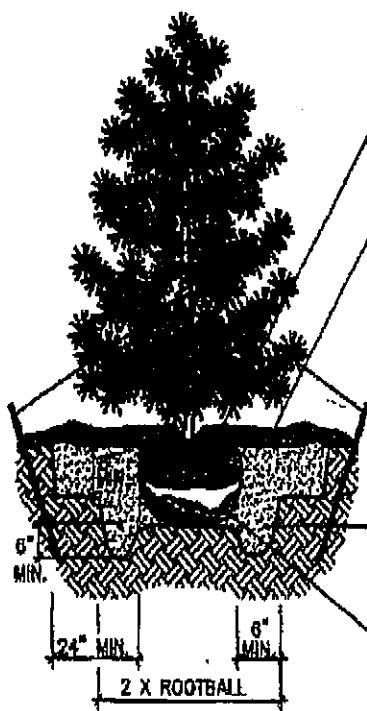
JOHNSTON ENGINEERING ASSOCIATES INC.
CIVIL ENGINEERS AND LAND SURVEYORS
7550 WEST YALE AVENUE SUITE 8-200 DENVER, COLORADO 80227
(303) 969-9001 (TELE) (303) 969-9016 (FAX)

CHURCH OF THE ROCK, FILING NO. 1, LOT 1
FINAL PD UTILITIES PLAN
SHEET 4 OF 9

CHURCH OF THE ROCK, FILING NO. 1, LOT 1

FINAL PD SITE PLAN
A PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 32,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
DOUGLAS COUNTY, STATE OF COLORADO
OVERALL LANDSCAPE PLAN

- Notes:
- Do not remove or cut leader.
 - Prune only dead or broken branches immediately prior to planting.
 - Remove any double leader, unless otherwise directed by Owner's representative.
 - Keep plants moist and shaded until planting.
 - Avoid full planting if possible.



PLANT ROOTBALL 2-4" ABOVE FINISH GRADE IN LAY SOIL AND AT GRADE IN SANDY SOIL.

4-6" SPECIFIED MULCH. PROVIDE 3" PLANTING RIM FOR TREES IN DRYLAND PLANTING BED. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR TREES IN IRRIGATED NATIVE TURF. DEEP WATER AT PLANTING. KEEP MULCH FROM CONTACT WITH WOODY TRUNK.

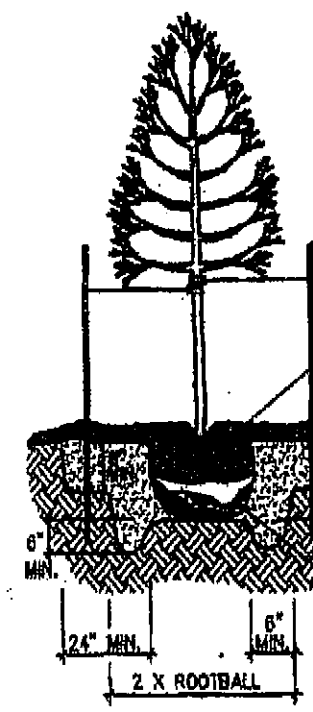
SET TREE PLUMS, STAKE 6" TREES AND SMALLER WITH TWO POSTS SET ON WINDWARD AND LEeward SIDES. STAKE 6" HEIGHT AND GREATER WITH 3 METAL ANGLE IRONS. PLACED 120 DEGREES APART. USE NYLON STRAP WITH CROWMETS BELOW MIDPOINT OF TREE. TIGHTEN WITH GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE FOR VISIBILITY. SET STAKES IN MINIMUM 18" FIRM SOIL.

CULTIVATE SOIL TO DEPTH OF ROOTBALL THOROUGHLY. BACKFILL HOLE WITH AMENDED SOIL MIX. SCARIFY SIDES OF PLANTING PIT. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.

CUT AND REMOVE ALL BURLAP AND WIRE BASKETS FROM TOP 1/4 TO 3/4 OF ROOTBALL. REMOVE ALL TREATED, GREEN BURLAP. AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC AND RUBBER.

EVERGREEN TREE PLANTING DETAIL
SCALE: NO SCALE

- Notes:
- Do not remove or cut leader.
 - Prune only dead or broken branches and weak or narrow crowns.
 - Do not remove lower foliage and sprouts for at least two growing seasons.
 - Keep plants moist and shaded until planting.
 - Do not fertilize for at least one growing season.
 - Wrap trunks on exposed sites or species with thin bark. Use electrical tape, not twine. Wrap October 15 and remove by March 31.



SET TREE PLUMS, STAKE UP TO 3" CALIPER TREES WITH TWO POSTS ON THE LEeward AND WINDWARD SIDES. STAKE TREES OVER 3" CALIPER WITH 3 EVENLY SPACED POSTS. USE NYLON STRAP WITH CROWMETS BELOW MIDPOINT OF TREE. TIGHTEN WITH GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE WITH MINIMUM 4" DANGLING. SET STAKES IN MINIMUM 18" FIRM SOIL.

PLANT ROOTBALL 2-4" ABOVE FINISH GRADE IN CLAY SOIL AND AT GRADE IN SANDY SOIL.

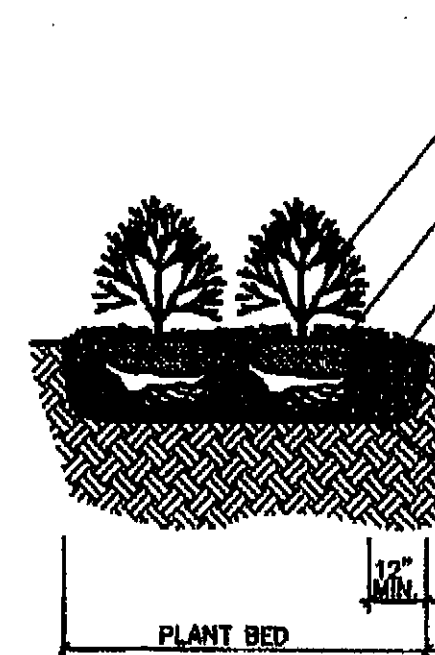
4-6" SPECIFIED MULCH. PROVIDE 3" PLANTING RIM FOR TREES IN DRYLAND PLANTING BED. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR TREES IN IRRIGATED NATIVE TURF. DEEP WATER AT PLANTING. KEEP MULCH FROM CONTACT WITH WOODY TRUNK.

CULTIVATE SOIL TO DEPTH OF ROOTBALL THOROUGHLY. BACKFILL HOLE WITH AMENDED SOIL MIX. SCARIFY SIDES OF PLANTING PIT. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.

CUT AND REMOVE ALL BURLAP AND WIRE BASKETS FROM TOP 1/4 TO 3/4 OF ROOTBALL. REMOVE ALL TREATED, GREEN BURLAP. AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC AND RUBBER.

DECIDUOUS TREE PLANTING DETAIL
SCALE: NO SCALE

- Notes:
- Prune only dead or broken branches.
 - Keep plants moist and shaded until planting.
 - Do not fertilize for at least one growing season.



SET SHRUBS PLUMS. SHRUB SPACING AS PER THE PLANT LAYOUT VARIES. FINISHED GRADE OF SHRUB BED TO BE 2" BELOW ADJACENT FINISH GRADE AT EDGE.

PLANT ROOTBALL 2-4" ABOVE FINISH GRADE IN CLAY SOIL AND AT GRADE IN SANDY SOIL.

4-6" SPECIFIED MULCH. PROVIDE 3" PLANTING RIM FOR SHRUBS NOT IN PLANTING BED. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR SHRUBS IN PLANTING BED. DEEP WATER AT PLANTING. KEEP MULCH FROM CONTACT WITH WOODY BASE.

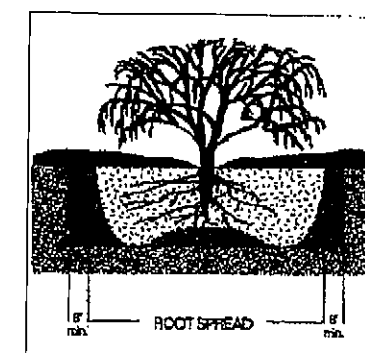
CULTIVATE SOIL TO DEPTH OF ROOTBALL THOROUGHLY. BACKFILL HOLE WITH AMENDED SOIL MIX. SCARIFY SIDES OF PLANTING PIT. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.

CUT AND REMOVE ALL BURLAP OR A MINIMUM TOP 2/3 OF ROOTBALL. REMOVE ALL TREATED, GREEN BURLAP AND PLASTIC CONTAINERS. FOR POT BOUND PLANTS ONLY, MAKE 4-5 VERTICAL RUTS IN ROOTBALL 1/2 DEEP. PLANT IMMEDIATELY FOR ROOT BIND AT BOTTOM OF BALL. SLIT ROOTBALL VERTICALLY ALL THE WAY THROUGH FROM BOTTOM TO HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN THE PLANTING HOLE.

SHRUB PLANTING DETAIL
SCALE: NO SCALE

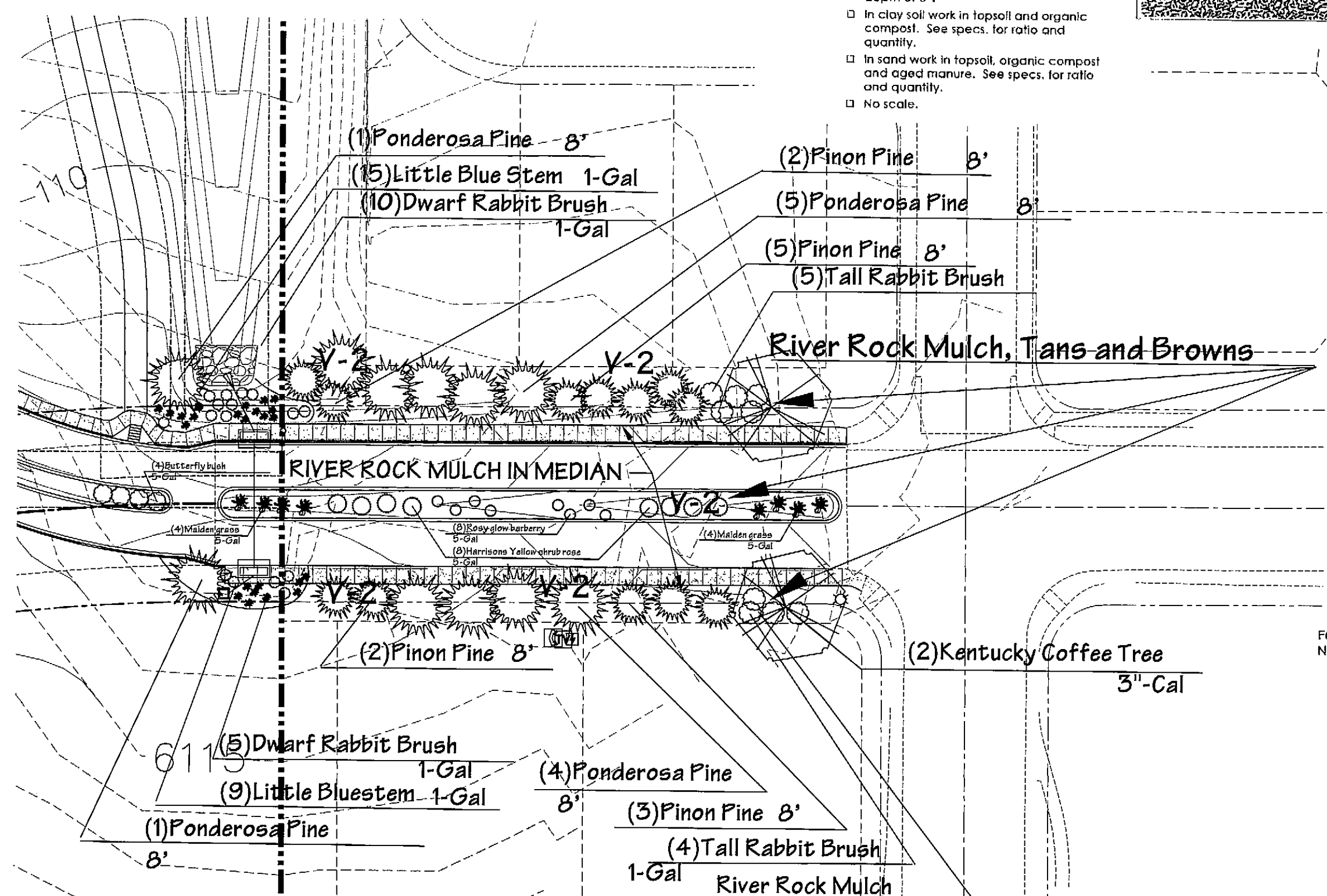
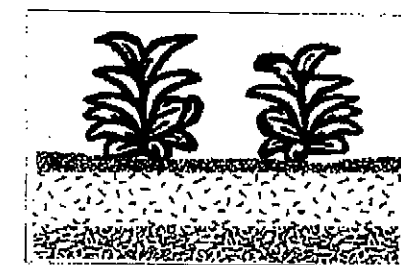
Bareroot Deciduous Shrub Planting Detail

- Plant only in early spring when plants are dormant.
- Protect roots from wind and sun before planting. Keep plants shaded in if not planted immediately.
- Soak any dry roots for 2 hours prior to planting. Water completely after planting.
- Mound soil and spread roots in a natural position over cone.
- Set plant perpendicular and spread roots evenly.
- Prune only damaged or dead wood.
- Set plants so that crown is minimum 2" above surrounding grade.
- Add 4" approved mulch (shredded wood or landscape mulchings). Avoid contact with woody base.
- Work soil around roots.
- Lightly tamp backfill.

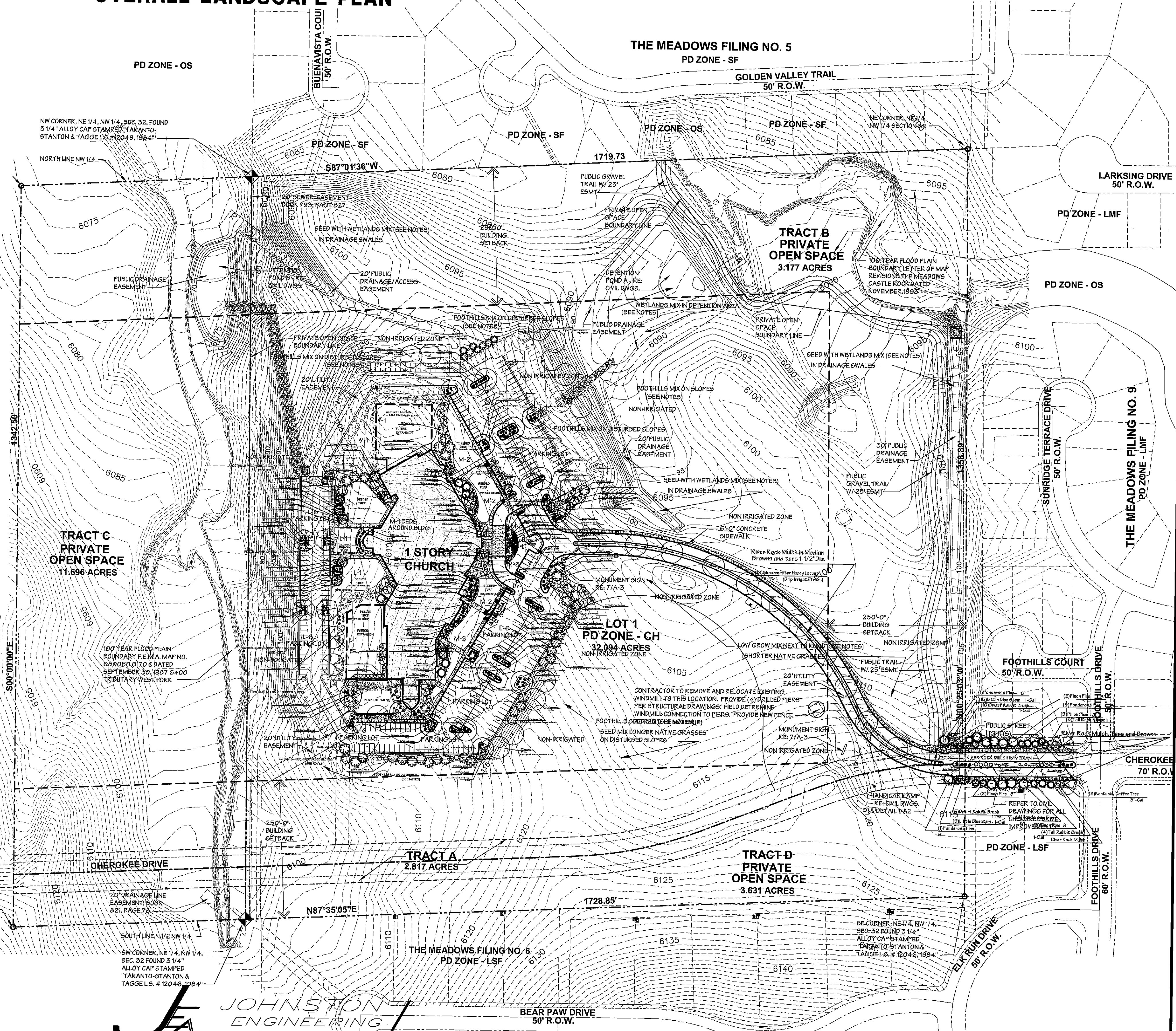


Perennial and Ground Cover Planting Detail

- Shredded, aged mulch 3" deep for perennial, for ground covers.
- Undisturbed soil.
- Keep plants moist and shaded until planting.
- Plant ground cover and perennials level and at grade.
- Soil to be well cultivated to a minimum depth of 4".
- In clay soil work in topsoil and organic compost. See specs. for ratio and quantity.
- In sand work in topsoil, organic compost and aged manure. See specs. for ratio and quantity.
- No scale.



ENLARGED ENTRANCE LANDSCAPE PLAN
SCALE: 1" = 40'-0"



JOHNSTON
ENGINEERING
ASSOCIATES
INC.

CIVIL ENGINEERS AND LAND SURVEYORS
7550 WEST YALE AVENUE SUITE B-200 DENVER, COLORADO 80227
(303) 969-9001 (TELE) (303) 969-9016 (FAX)

OVERALL LANDSCAPE PLAN
SCALE: 1" = 100'-0"

CHURCH OF THE ROCK, FILING NO. 1, LOT 1
FINAL PD OVERALL LANDSCAPE PLAN
SHEET 5 OF 9

CHURCH OF THE ROCK, FILING NO. 1, LOT 1

FINAL PD SITE PLAN

A PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 32,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
DOUGLAS COUNTY, STATE OF COLORADO
ENLARGED LANDSCAPE PLAN

LANDSCAPE REQUIREMENTS/ WATER REQUIREMENTS

	SQ. FOOTAGE	%	LWU RATING	6F X LWU	CLWUR
TOTAL LANDSCAPED AREA					
LIVING GROUND COVER TURF AREAS:					
TURF TYPE TALL FESCUE 90D, ENTRY M-3	31999F	4%	3.0	9,597	
EARTH CARPET NATURES CHOICE LAWN MIX - WEST L-1	25,000SF	26%	2.0	50,000	
EARTH CARPET WEAK AND TEAR SEED MIX - M-2	1,000SF	12%	3.0	33,000	
FOOTHILLS SEED MIX, NORTH OF BLDG. V-1	20,000SF	22%	1.0	20,000	
LIVING GROUND COVER BED AREAS:					
PLANTING BEDS AROUND BLDG. M-1	14,000SF	16%	3.0	42,000	
PLANTING BEDS AROUND PARKING LOT L-2, L-3, L-4, L-5	10,600SF	12%	2.0	21,200	
ENTRY AREA LANDSCAPING ALONG CHEROKEE Y-2	6000SF	7%	1.0	6000	
NON-DISTURBED AREAS					
REQUIRED TREES/SHRUBS	196 TREES/ 372 SHRUBS			191,797/89,759	2.03
PROVIDED TREES/SHRUBS	196 TREES/449 SHRUBS-5-Gal./ 308 1-Gal.				
NON-DISTURBED AREAS	2,026,973 SF OR 46.5 ACRES				

PLANT TABLE

Quantity	Scientific Name	Common Name	Planting Size
11	Celtis Occidentalis	Hackberry	2 1/2"-Gal
27	Gleditsia Tricantosa 'Shademaster'	Shademaster Locust	2"-Cal
2	Gymnocladus Dioica	Kentucky Coffee Tree	2 1/2"-Cal
5	Acer Freemanii 'Autumn Blaze'	Autumn Blaze Maple	2"-Cal
5	Fraxinus Pennsylvanica 'Summit'	Summit Ash	2 1/2"-Cal
6	Syringa reticulata	Japanese tree lilac	8'Clump
11	Fraxinus pennsylvanica 'Marshall Seedless'	Marshall Seedless Ash	2 1/2"-Cal
6	Koeleria paniculata	Golden Rain Tree	8'Clump
7	Crataegus crus-galli	Thornless cockspur hawthorne	6-8'Clump
8	Crataegus Phaeopyrum	Washington Hawthorne	6-8'Clump
10	Acer Glabrum	Acer Glabrum	8'Clump
179 TOTAL TREES			
Quantity	Scientific Name	Common Name	Planting Size
26	Pinus nigra	Austrian pine	8'-
28	Pinus Ponderosa	Ponderosa Pine	8'-
1	Picea pungens	Green spruce	8'-
6	Picea Pungens glauca	Blue Spruce	8'-
20	Pinus edulis	Pinon Pine	8'-
179 TOTAL TREES			

Quantity	Scientific Name	Common Name	Planting Size
6	Fallugia paradoxa	Apache plume	5-Gal
50	Juniperus horizontalis 'Blue Chip'	Blue chip juniper	5-Gal
51	Juniperus sabina 'Buffalo'	Buffalo juniper	5-Gal
12	Juniperus sabina 'Scandia'	Scandia juniper	5-Gal
19	Rosa 'carpet'	Carpet rose	5-Gal
17	Viburnum trilobum compacta	Compact cranberry viburnum	5-Gal
12	Syringa patula 'Miss Kim'	Dwarf lilac	5-Gal
3	Miscanthus sinensis 'Yu Jima'	Dwarf maiden grass	5-Gal
49	Calamagrostis acutiflora 'Karl Forester'	Feather reed grass	5-Gal
11	Ligustrum vicary	Golden vicary	5-Gal
11	Rosa harisonii	Harrison's Yellow shrub rose	5-Gal
42	Spiraea japonica 'Limemound'	Limemound spiraea	5-Gal
7	Miscanthus sinensis 'Oracillimus'	Maiden grass	5-Gal
22	Miscanthus sinensis 'purpurascens'	Purple maiden grass	5-Gal
6	Rosa 'John Franklin'	Red Fragrant Shrub rose	5-Gal
22	Berberis thunbergii 'Dwarf Crimson Fyngy'	Dwarf Crimson Fyngy Barberry	5-Gal
16	Berberis thunbergii 'Rony Glow'	Rony glow barberry	5-Gal
13	Ferovskia atriplicifolia	Russian sage	5-Gal
4	Prunus cistena	Cistena Plum	5-Gal
19	Rosa 'Sea Foam'	Sea Foam Rose	5-Gal
12	Miscanthus sinensis 'Variegatus'	Variegated maiden grass	5-Gal
22	Cotoneaster divaricatus	Spreading cotoneaster	5-Gal
12	Buddleia alternifolia	Butterfly bush	5-Gal
5	Cytisus scoparius	Common broom	5-Gal
8	Syringa vulgaris	Common Lilac	5-Gal
9	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla	5-Gal
77	Eriogonum ramosissimum	Plume Grass	5-Gal

Quantity	Scientific Name	Common Name	Planting Size
8	Geranium sanguineum	Bloody Cranehill geranium	1-Gal
16	Helictotrichon sempervirens	Blue arena grass	1-Gal
41	Delosperma nubigenum	Yellow iceplants	1-Gal
23	Dianthus gratianopolitanus	Pink Dianthus	1-Gal
16	Gaura lindheimeri 'Shikyou Pink'	Pink whirling butterflies	1-Gal
4	Geranium cantabrigiense	Cambridge Cranehill	1-Gal
14	Salvia nemorosa 'May night'	Purple salvia	1-Gal
6	Impatiens cylindrica 'Red Baron'	Japanese blood grass	1-Gal
11	Osteospermum 'Lavender Mist'	Lavender sun daisy	1-Gal
43	Phlox subulata	Creeping phlox	1-Gal
15	Chrysothamnus dwarf	Dwarf Rabbit Brush	1-Gal
6	Hemerocallis sp.	Yellow and Orange Daylily	1-Gal
36	Hemerocallis 'Stella de Oro'	Dw. daylily	1-Gal
15	Dicentra formosa 'Luxuriant'	Fernleaf Bleeding Heart	1-Gal
10	Femistatum aleopoculoides	Fountain Grass	1-Gal
25	Dianthus deltoideus 'Zing Rose'	Zing Rose Dianthus	1-Gal
9	Festuca ovina glauca	Blue fescue	1-Gal
20	Agave reptans 'Burgundy Glow'	Burgundy Agave	1-Gal
14	Viola cornuta	Pansies	1-Gal
11	Sedum Spurium 'Dragons Blood'	Dragons Blood Sedum	1-Gal
9	Lamium 'White Nancy'	White Nancy	1-Gal
10	Mahonia repens	Creeping mahonia	1-Gal
16	Schizachyrium scoparium	Little Bluestem	1-Gal
9	Chrysothamnus sp. tall	Tall Rabbit Brush	1-Gal
588 TOTAL 1-Gal.			

LANDSCAPING NOTES

1. ALL PLANT MATERIAL MUST CONFORM TO THE COLORADO NURSERYMEN ASSOCIATION STANDARDS AND ALL STATE AND FEDERAL STANDARDS.
2. THE LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS REQUIRED TO PROTECT BUILDINGS, STRUCTURES, AND EXISTING PLANT MATERIALS.
3. ALL NEW PLANT MATERIALS SHALL BE GUARANTEED FOR 12 MONTHS AFTER INSTALLATION AND REPLACED IN CASES OF DISEASE OR DEATH. LANDSCAPE CONTRACTOR IS NOT REQUIRED TO REPLACE PLANT MATERIAL DUE TO VANDALISM OR UNUSUAL ACTS OF GOD, HETORNADO, FLOODS. PLANT MATERIAL IN THIS CASE WILL BE REPLACED BY OWNER.
4. PLANT MATERIAL SHALL BE PLANTED AND STAKED IF NECESSARY TO PREVENT BEING BLOWN OVER IN THE WIND. IF THIS DOES OCCUR, LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REPLANT OR REPLACE IN CASE OF DAMAGE.
5. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND ADDING THE REQUIRED AMENDMENTS TO THE SOIL PRIOR TO LANDSCAPING. A SOIL ANALYSIS SHALL BE PREPARED BY A SOIL SCIENTIST TO DETERMINE THE APPROPRIATE AMOUNT AND TYPE OF AMENDMENTS TO BE ADDED TO THE SOIL. THIS RECOMMENDATION SHALL SUPERSEDE TYPICAL REQUIREMENTS STATED IN NOTES 9 AND 10.
6. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING WHERE UNDERGROUND UTILITIES ARE AND CAUTIOUSLY WORKING AROUND THEM. ANY COSTS FOR DAMAGES THAT OCCUR DUE TO LANDSCAPING PROCEDURES WILL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY.
7. TOPSOIL MATERIAL BROUGHT TO THE SITE SHALL BE FREE OF HARD CLOTS, STIFF CLAY, HARD PAN, STONES, WEEDS, SOD, DEBRIS, INSECTS, AND ANY TOXIC MATERIAL HARMFUL TO PLANT GROWTH.
8. WHERE NECESSARY, PLANTING BEDS SHALL BE EDGED WITH 14-GAUGE STEEL EDGER, 6" DEEP SECURED BY PINS EVERY 5 FEET. EDGING SHALL BE TOPPED WITH SAFETY CAP.
9. FOR IRRIGATED TURF, GROUND COVER AND SHRUB BEDS: ADD 3 CUBIC YARDS MIN. PER 1000 SQUARE FEET OF ORGANIC MATTER (PARTIALLY DECOMPOSED COMPOST AND AGED (MIN. OF 1 YR.) BARNYARD MANURE (25% OF ORGANIC MATTER) BY VOLUME OF SOIL. SOIL TO BE FILL INTO THE TOP 9 INCHES OF SOIL. ADD 25 PERCENT ORGANIC MATTER, BY VOLUME, TO THE BACKFILL SOIL WHEN PLANTING NEW MATERIAL. WATER WHEN FINISHED TO SETTLE SOIL (DO NOT COMPACT) AND TO BRING SOIL SEE LANDSCAPE DETAILS FOR CASTLE ROCK PLANTING REQUIREMENTS.
10. FOR TREES: EXCAVATE 3 TIMES GREATER THAN THE ROOTBALL DIAMETER AND NO DEEPER THAN ROOTBALL ITSELF. SET ROOTBALL INTO HOLE, 1-2 INCHES ABOVE GRADE, AND BACKFILL THE HOLE WITH SOIL COMBINED WITH 25 PERCENT ORGANIC MATTER BY VOLUME OF SOIL. WATER WHEN FINISHED TO SETTLE SOIL (DO NOT COMPACT) AND TO BRING SOIL INTO BETTER CONTACT WITH THE ROOTS. REMOVE ALL WIRE, BURLAP OR OTHER CONTAMINANT MATERIAL. (SEE PLANTING DETAILS FOR SPECIFIC CASTLE ROCK PLANTING REQUIREMENTS, SEE NOTE 9 FOR AMENDMENTS.)
11. TREES PLANTED IN A TURF AREAS SHALL HAVE A 48" DIAMETER RING OF MULCH AND LANDSCAPE FABRIC AROUND THE BASE OF THE TREE.
12. THE SODDED AREAS INDICATED AT ENTRY SHALL BE TURF TYPE TALL FESCUE.
13. ALL OF THE DISTURBED AREAS AROUND THE BUILDING SHALL BE SEED WITH THE ARKANSAS VALLEY SEED MIX AS NOTED BELOW:
ARKANSAS VALLEY SEED MIX: 15% ANNUAL RYEGRASS, 10% CRESTED WHEATGRASS, 10% THICKSPICE WHEATGRASS, 10% SLENDER WHEATGRASS, 10% CANADA BLUEGRASS, 10% CANADA WILDRYE, 10% HARD FESCUE, DURAK, 10% BIG BLUESTEM, 10% SIDEOTS GRAMA, 5% BLUE GRAMA, DRILLED @ 15-20 LBS PER ACRE
WEST SIDE L-1 ARKANSAS VALLEY EARTH CARPET NATURES CHOICE MIX: 70% PERENNIAL CRESTED WHEATGRASS, 15% HARD FESCUE, 10% PERENNIAL PERENNIAL RYEGRASS, (OR BLUE GRASS) @ 5-15 LBS PER 1000SF
EAST SIDE M-2 ARKANSAS VALLEY CANADA BLUE FESCUE MIX: 25% PERENNIAL CRESTED WHEAT, 25% PERENNIAL RYEGRASS, 20% BLUE FESCUE, 25% CANADA BLUEGRASS, 10% CHEWINGS FESCUE, 20-25 LBS PER ACRE
PREPARE SOIL FOR SEED AREAS AROUND BUILDING BY ROTOTILLING WITH 3 CUBIC YARDS OF ORGANIC MATTER PER 1000SF, (approx. 2" thick) AFTER ROTOTILL ORGANIC MATTER INTO SOIL, SMOOTH OUT SOIL AND DRILL OR HYDROSEED AT RATE FOR MIX. AFTER SEEDING, KEEP SOIL MOIST FOR GERMINATION TO OCCUR WITH FREQUENT WATERING TO SUPPLEMENT NATURAL RAINFALL. AFTER 15% OF SEED HAS GERMINATED, IRRIGATION SHOULD BE DONE LESS OFTEN BUT FOR LONGER PERIODS, TO ENCOURAGE DEEPER ROOT GROWTH. DRYING OUT THE TOPS ONE INCH OF SOIL, BUT MAINTAINING MOISTURE BELOW.
14. DRAINAGE SWALES AND WATER DETENTION AREAS SHALL BE SEED WITH A WETLAND SEED MIX: ARKANSAS VALLEY WETLAND MIX: 50% CANADIAN REED GRASS, 25% MEADOW BROME, 20% GARRISON FORTAL, 5% CLIMAX TIMOTHY BROADCAST @ 15 LBS PER ACRE, DRILLED @ 20-25 LBS PER ACRE
15. MULCHES: THE PLANTING AREAS NEXT TO THE BUILDING AND ALONG ROADWAYS, SHALL HAVE A "MINI NUGGET" CEDAR MULCH, 3" IN DEPTH OVER WATER PERMEABLE FABRIC. PARKING LOT AREAS SHALL HAVE A 1/2"-3" DIAMETER TAN RIVER ROCK MULCH OVER WATER PERMEABLE FABRIC. MEDIAN AREAS SHALL HAVE A LARGE COBBLE MIX 2"-6" DIAMETER (TAN) OVER WATER PERMEABLE FABRIC.
16. NO LANDSCAPING (EXCEPT GRASS, GROUND COVER OR PRIVATE IRRIGATION SYSTEMS), OR PERMANENT STRUCTURES, SHALL BE PLACED IN UTILITY OR DRAINAGE EASEMENTS.

MAINTENANCE NOTES

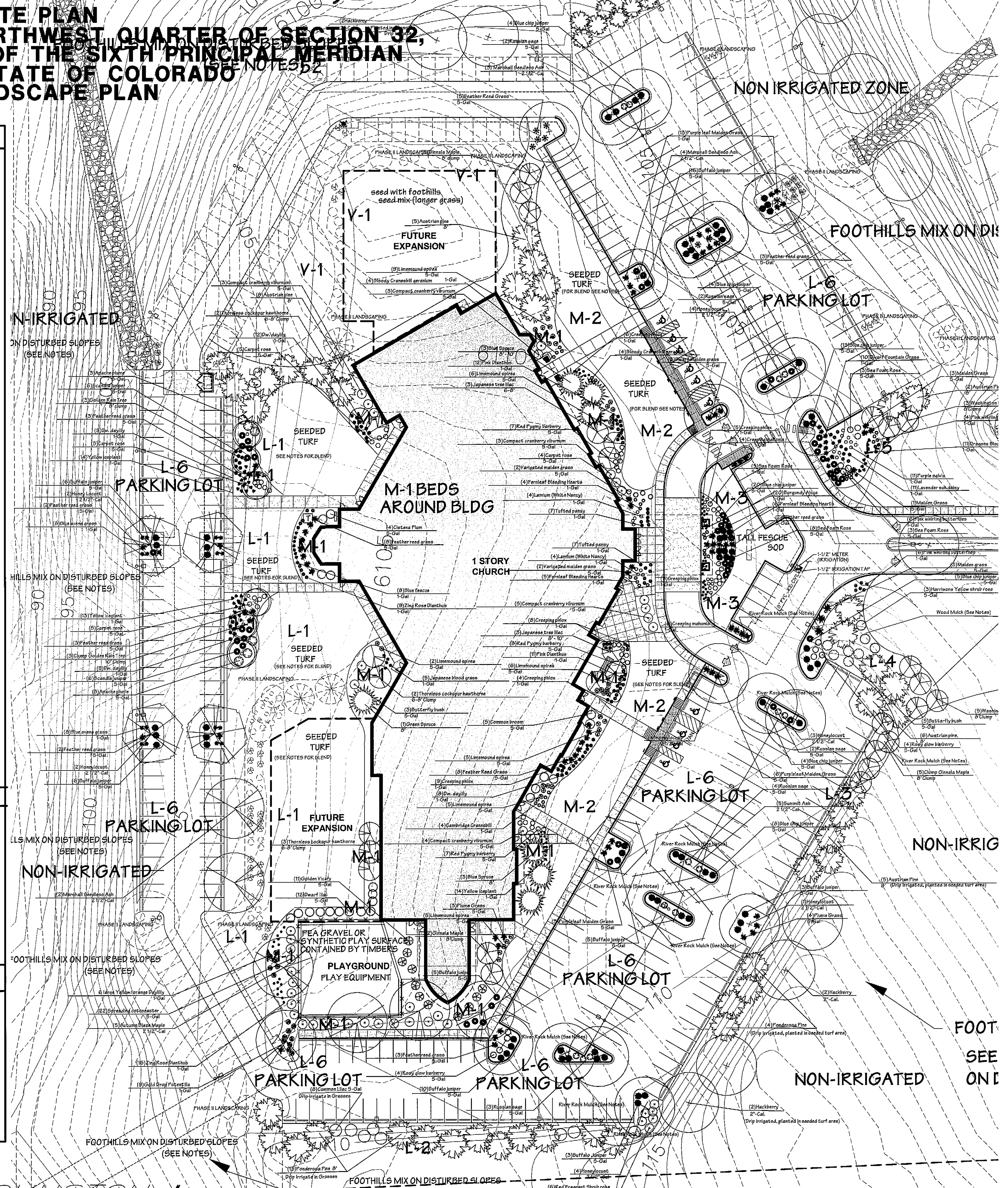
1. ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. FERTILIZATION CULTIVATION AND PRUNING ARE TO BE CARRIED OUT ON A REGULAR BASIS.
2. GROUNDS SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACE PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION. OWNER OR SUCCESSORS IN INTEREST SHALL BE RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS, INCLUDING REPLACING MULCH MATERIALS AS NECESSARY.
3. DEAD OR DYING PLANTS SHALL BE REMOVED AND REPLACED AS QUICKLY AS POSSIBLE, WITH SAME PLANT MATERIAL AS APPROVED ON LANDSCAPE PLAN. (30 DAYS MAX, EXCEPT WHERE SEASONAL CONDITIONS PROHIBIT)
4. ALL PLANTINGS ARE TO BE IRRIGATED AS OFTEN AS NECESSARY TO MAINTAIN HEALTHY GROWING CONDITIONS. DO NOT OVERWATER PLANTS.
5. TREE GUYS AND STAKES THAT ARE USED SHOULD BE ADJUSTED ON A REGULAR BASIS TO MAINTAIN A NEAT APPEARANCE AND TO PREVENT TREE DAMAGE.
6. ALL ORNAMENTAL GRASSES SHALL BE CUT DOWN TO GROUND EVERY APRIL, AFTER WINTER SEASON.

IRRIGATION NOTES

1. ALL IRRIGATION SYSTEMS ARE TO BE BELOW GROUND, FULLY AUTOMATED SYSTEMS IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODE REQUIREMENTS. USE OF WATER CONSERVING SYSTEMS SUCH AS DRIPIRIGATION DEVICES MUST BE PERMITTED AND REDUCED PRESSURE VACUUM BREAKERS, BOTH MUST BE INSTALLED AT LEAST 12" ABOVE THE HIGHEST SPRINKLER HEAD. ALL BACKFLOW DEVICES MUST BE APPROVED BY TOWN OF CASTLE ROCK.
2. FLOWER AND GROUND COVER AREAS MAY BE IRRIGATED BY SPRAYHEADS OR MICROJETTS.
3. TREES AND SHRUBS SHALL BE ZONED SEPARATELY FROM TURF AREAS.
4. IRRIGATION SYSTEM MUST NOT SPRAY OR DRIP ONTO HARD SURFACE, NO POP UP SPRAY HEADS IN PARKING LOT.
5. RAIN SENSOR MUST BE ADDED TO IRRIGATION SYSTEM TO SHUT SYSTEM DOWN DURING RAINY PERIODS.
6. BACKFLOW DEVICES MUST BE PERMITTED AND REDUCED PRESSURE VACUUM BREAKERS, BOTH MUST BE INSTALLED AT LEAST 12" ABOVE THE HIGHEST SPRINKLER HEAD. ALL BACKFLOW DEVICES MUST BE APPROVED BY TOWN OF CASTLE ROCK.
7. IRRIGATION CONTROLLERS SHOULD HAVE MULTIPLE PROGRAMMING CAPABILITIES AND AN EMERGENCY POWER SUPPLY.
8. SEED AREAS NEXT TO BUILDING SHALL BE ZONED SEPARATE TO ENABLE NO WATERING WHEN POSSIBLE.
9. SEPARATE IRRIGATION TAP IS REQUIRED FOR LANDSCAPED AREAS OVER 10,000SF. TAPS CAN NOT BE LOOPED BETWEEN METERS.
10. ANY TURF AREA UNDER 10' WIDE CANNOT BE IRRIGATED WITH POP UP SPRAY HEADS.

JOHNSTON ENGINEERING ASSOCIATES INC.
CIVIL ENGINEERS AND LAND SURVEYORS
7550 WEST YALE AVENUE SUITE B-200 DENVER, COLORADO 80227
(303) 969-9001 (TELE) (303) 969-9016 (FAX)

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ENLARGED LANDSCAPE PLAN

SCALE: 1" = 40'-0"

CHURCH OF THE ROCK, FILING NO. 1, LOT 1
FINAL PD ENLARGED LANDSCAPE PLAN
SHEET 6 OF 9

	Planting Size
	8'-
	8'
	8'
	8'
	8'



9. FOR IRRIGATED TURF, GROUND COVER AND SHRUB BEDS: ADD 3 CUBIC YARDS MIN. PER 1000 SQUARE FEET OF ORGANIC MATTER (PARTIALLY DECOMPOSED COMPOST AND AGED (MIN. OF 1 YR.) BARNYARD MANURE (25% OF ORGANIC MATTER) TO THE TOP OF SOIL, ROTO-TILL INTO THE TOP 9 INCHES OF SOIL. ADD 25 PERCENT ORGANIC MATTER, BY VOLUME, TO THE BACKFILL SOIL WHEN PLANTING NEW MATERIAL. WATER WHEN FINISHED TO SETTLE SOIL (DO NOT COMPACT) AND TO BRING SOIL SEE LANDSCAPE DETAILS FOR CASTLEROCK PLANTING REQUIREMENTS.

10. FOR TREES: EXCAVATE 3 TIMES GREATER THAN THE ROOTBALL DIAMETER AND NO DEEPER THAN ROOTBALL ITSELF. SET ROOTBALL INTO HOLE, 1-2 INCHES ABOVE GRADE, AND BACKFILL THE HOLE WITH SOIL COMBINED WITH 25 PERCENT ORGANIC MATTER BY VOLUME OF SOIL. WATER WHEN FINISHED TO SETTLE SOIL (DO NOT COMPACT) AND TO BRING SOIL INTO BETTER CONTACT WITH THE ROOTS. REMOVE ALL WIRE, BURLAP OR OTHER CONTAINMENT MATERIAL. (SEE PLANTING DETAILS FOR SPECIFIC CASTLE ROCK PLANTING REQUIREMENTS, SEE NOTE 5 FOR AMENDMENTS.)

11. TREES PLANTED IN A TURF AREAS SHALL HAVE A 48" DIAMETER RING OF MULCH AND LANDSCAPE FABRIC AROUND THE BASE OF THE TREE.

12. THE SODDED AREAS INDICATED AT ENTRY SHALL BE TURF TYPE TALL FESCUE.

13. ALL OF THE DISTURBED AREAS AROUND THE PARKING LOTS, ALONG ROADWAYS, SHALL BE SEEDDED WITH THE ARKANSAS VALLEY SEED MIX AS NOTED ON PLAN.

ARKANSAS VALLEY Foothills Mix: 15% Annual Ryegrass; 10% Crested Wheatgrass; 10% Thickspike Wheatgrass; 10% Slender Wheatgrass; 10% Canada Bluegrass; 10% Canada Wildrye; 10% Hard Fescue, Durar; 10% Big Bluestem; 10% Sideoats Grama; 5% Blue Grama- Drilled @ 15-20 lbs per acre
ARKANSAS VALLEY Low Grow Mix: 30% Ephraim Crested Wheat; 25% Perennial Ryegrass; 20% Blue Fescue 15% Canada Bluegrass; 10% Chewings Fescue- 20-25lbs per acre

PREPARE SOIL FOR SEEDED AREAS BY ROTOTILLING.
AFTER ROTOTILLING, SMOOTH OUT SOIL AND DRILL OR HYDROSEED AT RATE FOR MIX
USE EROSION CONTROL BLANKET ON SLOPED AREAS.
SEED AT TIME OF YEAR TO UTILIZE NATURAL RAINFALL.

13. ALL OF THE DISTURBED AREAS AROUND THE BUILDING SHALL BE SEEDED WITH THE ARKANSAS VALLEY SEED MIX AS NOTED BELOW:

NORTH SIDE V-1 ARKANSAS VALLEY FOOTHILLS MIX: 15% ANNUAL RYEGRASS; 10% CRESTED WHEATGRASS; 10% THICKSPIKE WHEATGRASS; 10% SLENDER WHEATGRASS; 10% CANADA BLUEGRASS; 10% CANADA WILD RYE; 10% HARD FESCUE, DURAR; 10% BIG BLUESTEM; 10% SIDE OATS GRAMA; 5% BLUE GRAMA- DRILLED @ 15-20 LBS PER ACRE

WEST SIDE L-1 ARKANGAS VALLEY EARTHCARPET NATURES CHOICE MIX: 70% EPHRAIM CRESTED WHEATGRASS;
15% HARD FESCUE; 10% PENGUIN PERENNIAL RYEGRASS; (NO BLUE GRASS) 4-5LBS PER 1000SF

EAST SIDE M-2 ARKANSAS VALLEY CANADA BLUE FESCUE MIX: 25%SR3200BLUE FESCUE, 25%SR5200E CREEPING RED FESCUE, 25%SR1100 HARD FESCUE, 15% FBFBNS CANADA BLUEGRASS, 10%SR5100 CHEWINGS FESCUE, 5LBS/1000SF

25% SR3100 HARD FESCUE, 15% REUBENS CANADA BLUEGRASS, 10% SR3100 CHERNOBYL FESCUE
→ REPLACED BY FRONT RANGE DROUGHT RESISTANT BLEND SOD.

➤ REPLACED BY FROST RANGE DROUGHT RESISTANT BLEND SOJ.
PREPARE SOIL FOR SEEDBED AREAS AROUND BUILDING BY ROTOTILLING WITH 3 CUBIC YARDS OF ORGANIC MATTER PER 1000SF, (approx. 2" thick) AFTER ROTOTILL ORGANIC MATTER INTO SOIL, SMOOTH OUT SOIL AND DRILL OR HYDROSEED AT RATE FOR MIX.
AFTER SEEDING, KEEP SOIL MOIST FOR GERMINATION TO OCCUR WITH FREQUENT WATERING TO SUPPLEMENT NATURAL RAINFALL.
AFTER 75% OF SEED HAS GERMINATED, IRRIGATION SHOULD BE DONE LESS OFTEN BUT FOR LONGER PERIODS,
TO ENCOURAGE DEEPER ROOT GROWTH. DRYING OUT THE TOPS ONE INCH OF SOIL, BUT MAINTAINING MOISTURE BELOW.

14. DRAINAGE SWALES AND WATER DETENTION AREAS SHALL BE SEEDED WITH A WETLAND SEED MIX: ARKANSAS VALLEY WETLAND MIX: 50% CANADIAN REED GRASS; 25% MEADOW BROME; 20% GARRISON FOXTAIL; 5% CLIMAX TIMOTHY BROADCAST @15LBS PER ACRE; DRILLED @ 20-25LBS PER ACRE

15. MULCHES: THE PLANTING AREAS NEXT TO THE BUILDING AND ALONG ROADWAYS, SHALL HAVE A "MINI NUGGET" CEDAR MULCH, 3" IN DEPTH OVER WATER PERMEABLE FABRIC.

PARKING LOT AREAS SHALL HAVE A 1/2"-3" DIAMETER TAN RIVER ROCK MULCH MIX OVER WATER PERMEABLE FABRIC. MEDIAN AREA SHALL HAVE A LARGE COBBLE MIX 2"-6" DIAMETER (TAN) OVER WATER PERMEABLE FABRIC.

16. NO LANDSCAPING (EXCEPT GRASS, GROUNDCOVER OR PRIVATE IRRIGATION SYSTEMS), OR PERMANENT STRUCTURES, SHALL BE PLACED IN UTILITY OR DRAINAGE EASEMENTS.

1. ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. FERTILIZATION CULTIVATION AND PRUNING ARE TO BE CARRIED OUT ON A REGULAR BASIS.

2. GROUNDS SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACE PERIODICALLY TO

Tom
303-790-6764



BITTERSWEET TURF FARMS, INC.

POST OFFICE BOX 175
ROGGEN, COLORADO 80652
Tel (303) 659-5118 • Fax (303) 849-5595

Front Range Drought Resistant Blend

35% Creeping Red Fescue

This fine fescue should clearly be classified as a separate species from the Chewings-type fescue. Creeping red fescue has several characteristics:

- (1) It has abundant, long-spreading rhizomes.
- (2) The creeping red fescue has much less tendency to produce thatch.
- (3) The creeping red fescue is generally more resistant to powdery mildew.

25% SR3200 Blue Fescue

This hard fescue is an improved variety bred for outstanding turf quality, disease resistance, and excellent heat and drought tolerance. It has very high levels of endophyte for insect resistance (1).

12.5% SR3100 Hard Fescue

This hard fescue is the newest improvement in hard fescues. Selected for a dwarf growth habit and darker green color, it is a premium grass for low maintenance sites. SR3100 contains very high levels of endophyte for insect resistance. It forms an attractive, dense turf that requires minimal water and fertilization, in both sun and shade. SR3100 is heat and drought tolerant and shows high resistance to many of the most common turf diseases (1).

15% Reubens Canadian Blue

Reubens Canadian Blue is a strong native prairie grass with a dense creeping root system with numerous deep fibrous roots. Reubens Canadian bluegrass has long rhizomes for a loose long lived sod. It grows well on dry, infertile coarse soils.

12.5% SR5100 Chewings Fescue

Chewings Fescue is an extremely attractive, dense, fine-textured turfgrass with very slow growing dwarf characteristics. It produces a bright, dark green color and performs extremely well in shade and low maintenance situations. SR5100 contains high levels of endophyte for improved insect resistance and stress tolerance (1).

Notes: (1) "What's in a Name?" Seed Research of Oregon, Inc.

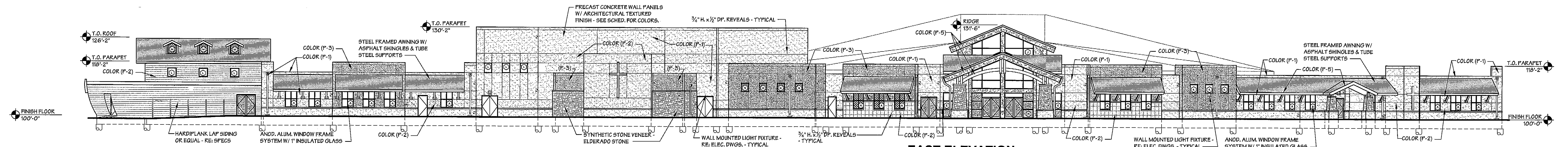
APPROVED

Jeff M. Bodine 6/2/06

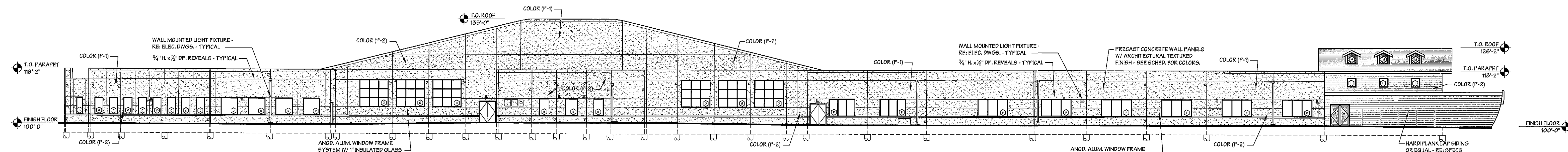
CHURCH OF THE ROCK, FILING NO. 1, LOT 1

FINAL PD SITE PLAN
A PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 32,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
DOUGLAS COUNTY, STATE OF COLORADO
EXTERIOR ELEVATIONS

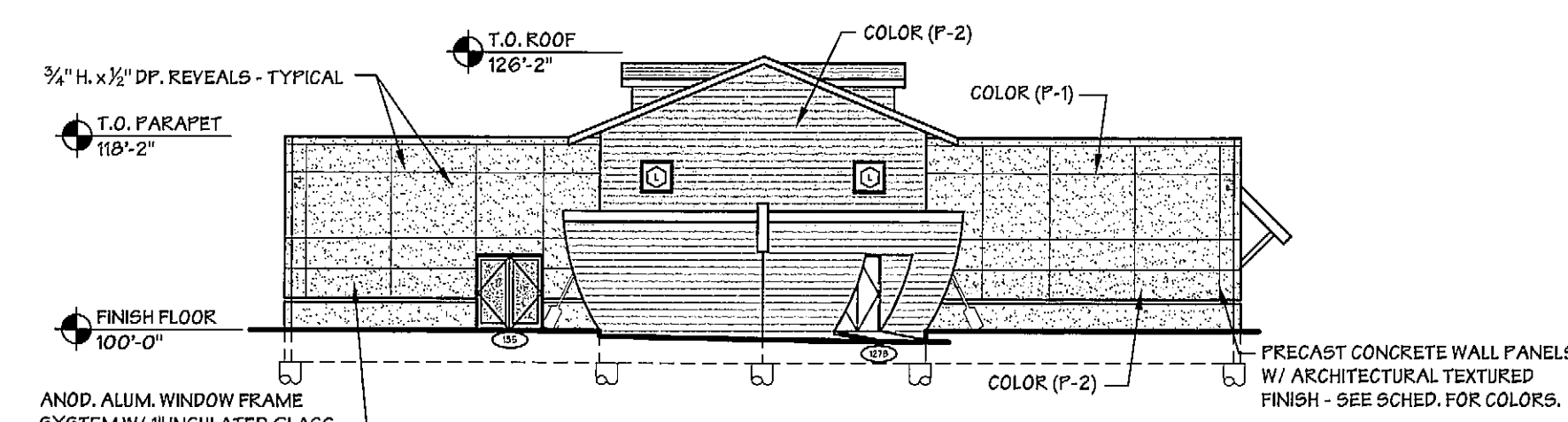
EXTERIOR FINISH SPECS:	
	P-1: ICI 421 ONIONSKIN TAN (GENERAL-LIGHT TAN)
	P-2: ICI 416 SANDY COVE (DARK TAN)
	P-3: ICI 308 PADRE ISLAND (RUST ACCENT)
	P-5: ICI 480 ARROW WOOD (GREY ACCENT: GLUE LAMS/STRUTS/EAVES/TRIM)
	STONE VENEER: ELDERADO STONE - YUKON MOUNTAIN LEDGE WITH RUBBLE
	ASPHALT SHINGLES: TAMKO HERITAGE SERIES - FOREST GREEN



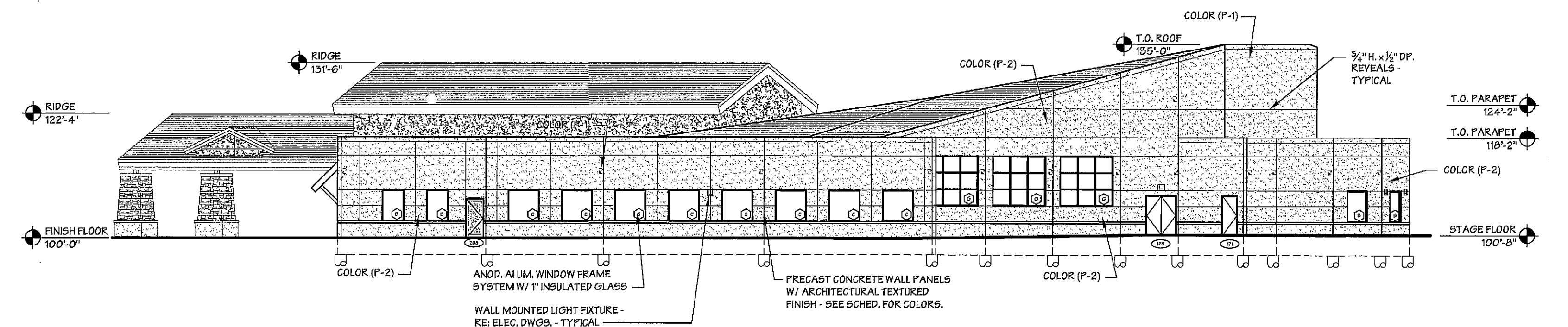
A EAST ELEVATION
SCALE: 1/16" = 1'-0"



B WEST ELEVATION
SCALE: 1/16" = 1'-0"

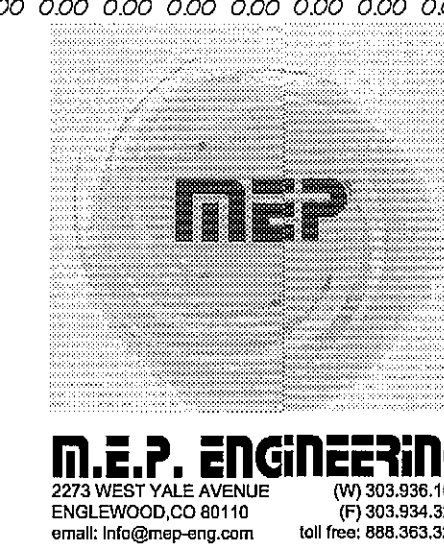
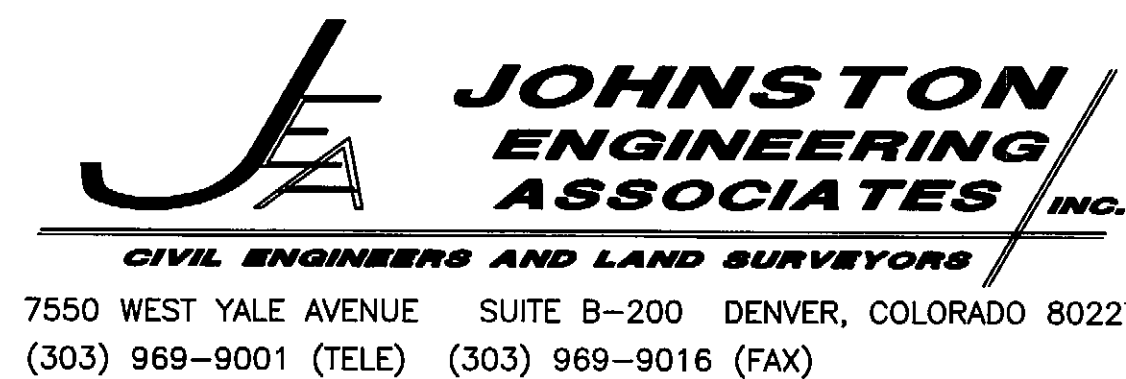


D SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



C NORTH ELEVATION
SCALE: 1/16" = 1'-0"

FINAL PD SITE PLAN
A PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 32,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
DOUGLAS COUNTY, STATE OF COLORADO
PHOTOMETRIC SITE PLAN



A PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 32,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
DOUGLAS COUNTY, STATE OF COLORADO
PHOTOMETRIC DATA SHEET

TYPE 'AA'

TYPE 'S'

 **JOHNSTON
ENGINEERING
ASSOCIATES** *INC.*

CIVIL ENGINEERS AND LAND SURVEYORS

7550 WEST YALE AVENUE SUITE B-200 DENVER, COLORADO 80227
(303) 969-9001 (TELE) (303) 969-9016 (FAX)

25'-0"

6'-0"

GROUND LUG

HANDHOLE COVER

BASE COVER

3/4" MIN. CHAMFER

ANCHOR BOLTS
FURNISHED BY E/C

PVC STUB-OUT
MIN. DEPTH PER N.E.C. OR SPECS

CONCRETE BASE BY EC
WITH 4 #4 REBAR
#4 TIES 12" O.C.

DIRT BETWEEN

#6 BARE CU
COILED GROUND WIRE

24"

POLE BASE DETAIL

