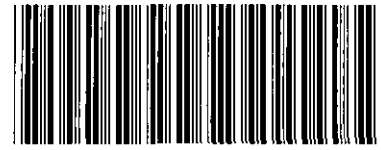


OFFICIAL RECORDS
DOUGLAS COUNTY CO
JACK ARROWSMITH
CLERK & RECORDER
RECORDING FEE: \$121.00
13 PGS



2007071955
09/07/2007 03:29 PM

2007071955 13 PGS

PLAT IDENTIFICATION SHEET

Safeway Stores 45, Inc.

Grantor (owner)

Grantor (owner)

Centre on Plum Creek 3, Lot 1 Final PD Site Plan

Grantee (name of plat or condo)

Grantee (name of plat or condo)

Subdivision Info: Centre on Plum Creek Filing: 3 Lot: 1

Condo Info: Phase _____ Bldg _____ Unit _____

11

8

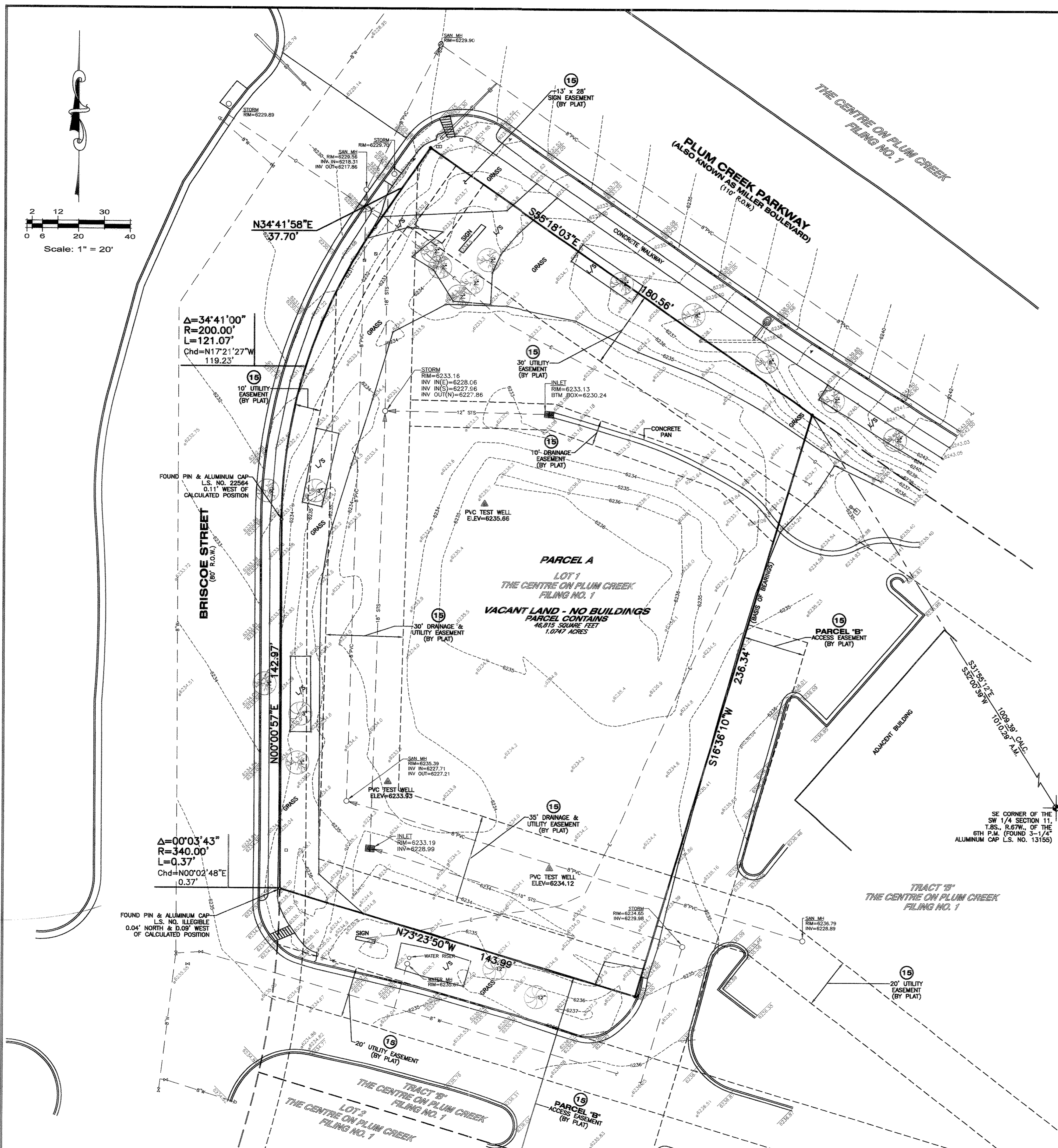
67

Section

Township

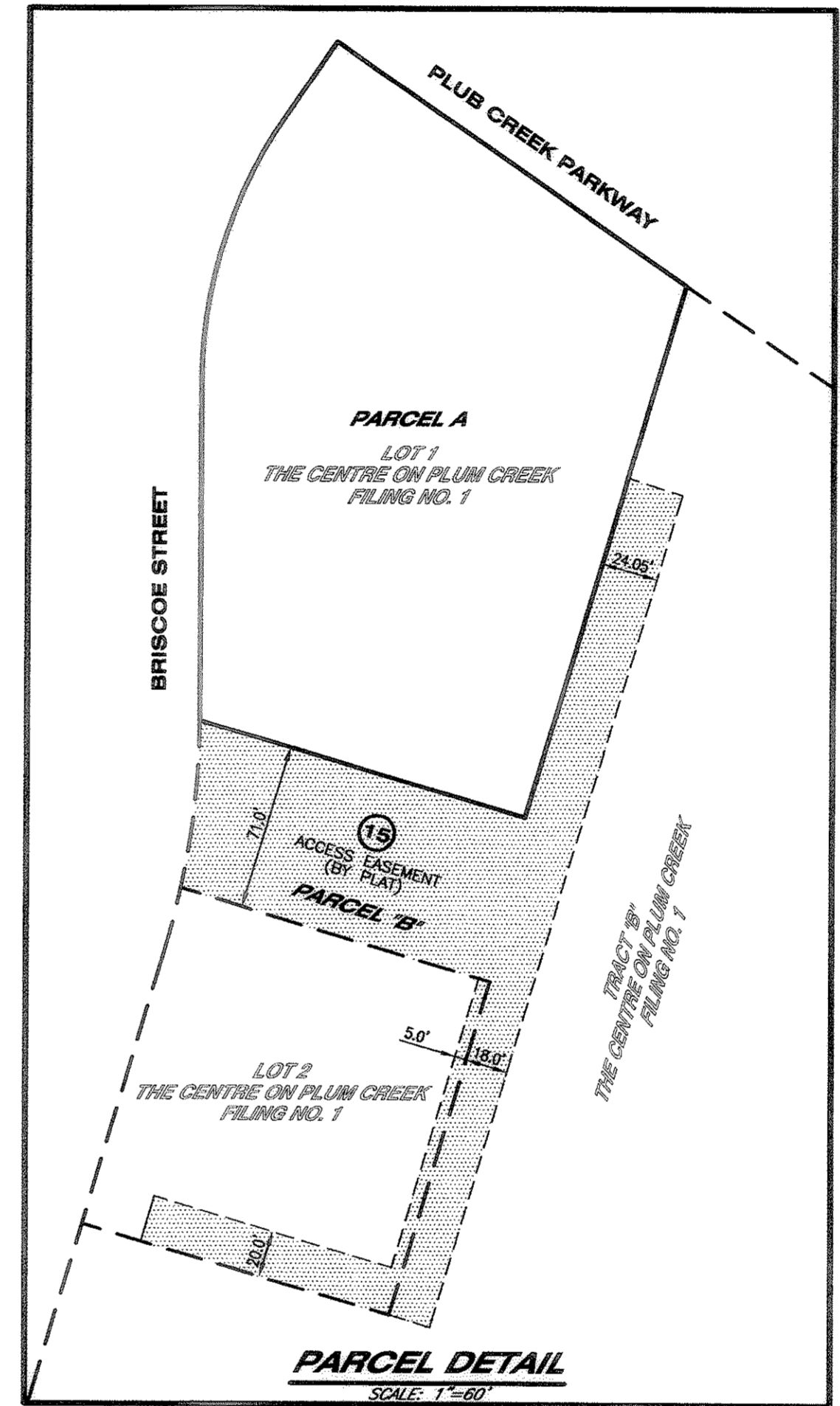
Range

Cross Reference numbers: (reception #s or book and page)



LEGEND

—E—	ELECTRICAL LINE	○	TRAFFIC LIGHT
—C—	GAS LINE	□	TELEPHONE PEDESTAL
—SS—	SANITARY SEWER LINE	○	WATER METER
—STS—	STORM SEWER LINE	○	WATER VALVE
—W—	WATER LINE	○	SPOT ELEVATION
---	CONTOUR LINE	○	TOP OF CURB ELEVATION
—	CABLE TELEVISION PEDESTAL	○	FLOW LINE ELEVATION
—	STORM DRAIN	○	DECIDUOUS TREE
○	LIGHT POLE	○	DIAMETER OF TRUNK
○	MANHOLE	○	EVERGREEN TREE
○	POWER POLE	○	DIAMETER OF TRUNK
○	SIGN	○	FOUND PIN & ALUMINUM
○	STREET LIGHT	○	CAP L.S. NO. 22564
□	TRAFFIC BOX		



LEGAL DESCRIPTION:

PARCEL A:
LOT 1, THE CENTRE ON PLUM CREEK FILING NO. 3, COUNTY OF DOUGLAS, STATE OF COLORADO.

PARCEL B:
AN EASEMENT FOR ACCESS PURPOSES AS SHOWN ON THE PLAT OF THE CENTRE ON PLUM CREEK FILING NO. 3, COUNTY OF DOUGLAS, STATE OF COLORADO.

CERTIFICATION:

I, BRETT L. MILLER, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY TO SAFAWAY, INC., AND CHICAGO TITLE OF COLORADO, INC.:

THAT THE SURVEY OF THE PROPERTY DESCRIBED HEREIN IS BASED ON A FIELD SURVEY MADE ON APRIL 21, 2000, BY ME OR DIRECTLY UNDER MY SUPERVISION IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM AND NSPS LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA, NSPS AND ACSM IN 1989 AND INCLUDES ITEMS 3, 4, 5, 6, 8, 10, 11, AND 16 OF TABLE "A" THEREOF PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNLESS OTHERWISE SPECIFIED, THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY THERE ARE NO DISCREPANCIES BETWEEN THE BOUNDARY LINES OF THE PROPERTY AS SHOWN ON THE SURVEY AND AS DESCRIBED IN THE LEGAL DESCRIPTION, (1) CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY, (2) EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO DISCREPANCIES BETWEEN THE BOUNDARY LINES OF THE PROPERTY AS SHOWN ON THE SURVEY, THE BOUNDARY LINES OF THE PROPERTY ARE CONTIGUOUS WITH THE BOUNDARY LINE OF ALL ADJACENT PARCELS, ROADS, HIGHWAYS, STREETS OR ALLEYS, AND (3) THE SURVEY ACCURATELY SETS FORTH THE LOCATION, IF ANY, OF ALL FLOOD ZONE DESIGNATIONS ON THE PROPERTY.

BRETT L. MILLER
PROFESSIONAL L.S. NO. 27609
DATE OF SURVEY: APRIL 21, 2000

- NOTES**
- THIS SURVEY WAS REVISED BASED UPON TITLE COMMITMENT #1190765 PREPARED BY CHICAGO TITLE INSURANCE COMPANY, BEARING AN EFFECTIVE DATE OF APRIL 14, 2000 AT 7:30 A.M. AND DOES NOT CONSTITUTE A TITLE SEARCH BY THIS SURVEYOR FOR ANY EASEMENTS, EXCEPTIONS AND/OR OWNERSHIPS OF RECORD.
 - THE PLAT OF THE CENTRE ON PLUM CREEK FILINGS NO. 3 WAS RECORDED SEPTEMBER 11, 1992 AS RECEPTION NO. 9233131, DOUGLAS COUNTY, COLORADO RECORDS.
 - THE BEARINGS SHOWN HEREON ARE BASED UPON THE ASSUMPTION THAT THE EASTERLY LINE OF SAID LOT 1 BEARS S16°36'10"W AS REFERENCED BY SAID PLAT OF THE CENTRE ON PLUM CREEK FILING NO. 3 AND BOUNDED BY THE FOUND MONUMENTS SHOWN HEREON.
 - NO ADJACENT PROPERTY OWNER INFORMATION WAS PROVIDED FOR THIS SURVEY.
 - ACCORDING TO THE TOWN OF CASTLE ROCK ZONING DEPARTMENT, THE SUBJECT PROPERTY IS ZONED IB (INTEGRATED BUSINESS).
 - SETBACKS FOR SAID B-1 WILL BE SET BY THE SITE PLAN REVIEW PROCESS.
MAXIMUM BUILDING HEIGHT = 50 FEET.
MAXIMUM GROUND COVERAGE = 40%.
 - THE LOCATIONS OF THE UNDERGROUND UTILITY LINES SHOWN HEREON ARE BASED UPON MARKINGS BY A UTILITY LOCATING SERVICE, THE AS BUILT SURVEY OF TRACT "B" OF A REPLAY OF THE CENTRE ON PLUM CREEK FILING NO. 2, PREPARED BY TARANTO, STANTON AND TAGGE AND SURFACE EVIDENCE AT THE TIME OF THIS SURVEY AND ARE TO BE CONSIDERED AS APPROXIMATE LOCATIONS ONLY.
 - BY GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE X DEFINED AS (IN THIS CASE); "AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN" AND IS NOT LOCATED IN A FEDERALLY DESIGNATED SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FIRM COMMUNITY PANEL NO. 080505 0301 C, LAST REVISED SEPTEMBER 30, 1987.
 - BENCHMARK: DOUGLAS COUNTY GIS CONTROL POINT # 3020015 DESCRIBED AS DOUGLAS COUNTY STANDARD MONUMENT +/- 400 FEET EAST OF THE CENTERLINE OF THE DENVER & RIO GRAND RAILROAD APPROX. 500' SOUTH OF PLUM CREEK PARKWAY. PUBLISHED ELEVATION = 6225.21 FEET.
 - A NOTE ON SAID PLAT OF THE CENTRE ON PLUM CREEK FILING NO. 3 PROHIBITS DIRECT ACCESS FROM LOT 1 TO BRISCOE STREET.

- NOTES CORRESPONDING TO SCHEDULE B - SECTION 2 OF TITLE COMMITMENT:**
- THE RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT OR REMOVE THE SAME SHOULD THE SAME BE FOUND TO EXIST OR INTERSECT THE PREMISES THEREBY GRANTED AND RIGHTS OF WAY FOR DITCHES AND CANALS AS RESERVED IN UNITED STATES PATENT RECORDED FEBRUARY 1, 1875 IN BOOK 6 AT PAGE 380, AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN, THIS ITEM MAY AFFECT THE SUBJECT PROPERTY. THE DOCUMENT PROVIDED IS ILLEGIBLE.
 - COVENANTS, CONDITIONS AND RESTRICTIONS, WHICH DO NOT INCLUDE A FOREFEITURE OR REVERTER CLAUSE, AND ANY AND ALL SUPPLEMENTS, AMENDMENTS, AND ANNEXATIONS THERETO, SET FORTH IN THE INSTRUMENT(S) RECORDED APRIL 8, 1983 IN BOOK 471 AT PAGE 376. THIS ITEM AFFECTS THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN PLOTTABLE ITEMS AND IS NOT SHOWN HEREON.
 - TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE SITE PLAN MAP FOR CENTRE ON PLUM CREEK NO. 2, TRACT B RECORDED MAY 15, 1986 AT RECEPTION NO. 8607301 AS MAP C-127 AND SEPTEMBER 11, 1992 AT RECEPTION NO. 9233130 AS MAP C-236. THIS ITEM AFFECTS THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN PLOTTABLE ITEMS AND IS NOT SHOWN HEREON.
 - AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES GRANTED TO THE INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION BY THE INSTRUMENT RECORDED AUGUST 13, 1986 IN BOOK 658 AT PAGE 814. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY. HOWEVER, IT IS BLANKET IN NATURE AND NOT SHOWN HEREON.
 - TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE ORDINANCE NO. 83-28 RELATED TO THE MILLER RANCH BUSINESS TECH PARK PUD RECORDED OCTOBER 1, 1986 IN BOOK 669 AT PAGE 340. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN PLOTTABLE ITEMS AND IS NOT SHOWN HEREON.
 - AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES GRANTED TO THE INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION BY THE INSTRUMENT RECORDED APRIL 1, 1987 IN BOOK 710 AT PAGE 76. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY.
 - SUBJECT TO THE GENERAL NOTES NUMBERED 4, 5 AND 8, AS SHOWN ON THE RECORDED PLAT OF THE CENTRE ON PLUM CREEK FILING NO. 3. THIS ITEM AFFECTS THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN PLOTTABLE ITEMS AND IS NOT SHOWN HEREON.
 - EASEMENTS FOR VARIOUS PURPOSES OVER VARIOUS PORTIONS OF THE LAND AS SUBSTANTIALLY SET FORTH ON THE PLAT THE CENTRE ON PLUM CREEK FILING NO. 3. THIS ITEM AFFECTS THE SUBJECT PROPERTY. THOSE EASEMENTS AFFECTING THE SUBJECT PROPERTY ARE PLOTTED HEREON.
 - AN EASEMENT FOR UNSTATED PURPOSES, AS RESERVED IN THE DEED RECORDED JUNE 13, 1984 IN BOOK 524 AT PAGE 886. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY.
 - TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE RIGHT OF WAY EASEMENT RECORDED OCTOBER 21, 1985 IN BOOK 602 AT PAGE 328. THIS ITEM AFFECTS THE SUBJECT PROPERTY. HOWEVER, IT IS BLANKET IN NATURE AND NOT PLOTTED HEREON.
 - ALL NOTES SHOWN ON THE PLAT OF THE CENTRE ON PLUM CREEK FILING NO. 2. THIS ITEM AFFECTS THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN PLOTTABLE ITEMS AND IS NOT SHOWN HEREON.

NOTICE:

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN *THREE YEARS* AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN *THREE YEARS* FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO(2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, OF THE COLORADO REVISED STATUTE.

ALTA / ACSM LAND TITLE SURVEY

LOT 1, THE CENTRE ON PLUM CREEK FILING NO. 3
SITUATE IN THE SW 1/4 OF SECTION 11, T.8S., R.67W., OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

-BRISCOE STREET & PLUM CREEK PARKWAY-

Prepared For: **Galloway, Romero & Associates**
Design: Engineering Planning
3500 10th Parkway
Greenwood Village, Colorado 80111
Tel. (303) 770-8888
Fax. (303) 770-3838

SAFAWAY, INC.
6900 SOUTH YOSEMITE
ENGLEWOOD, COLORADO 80112

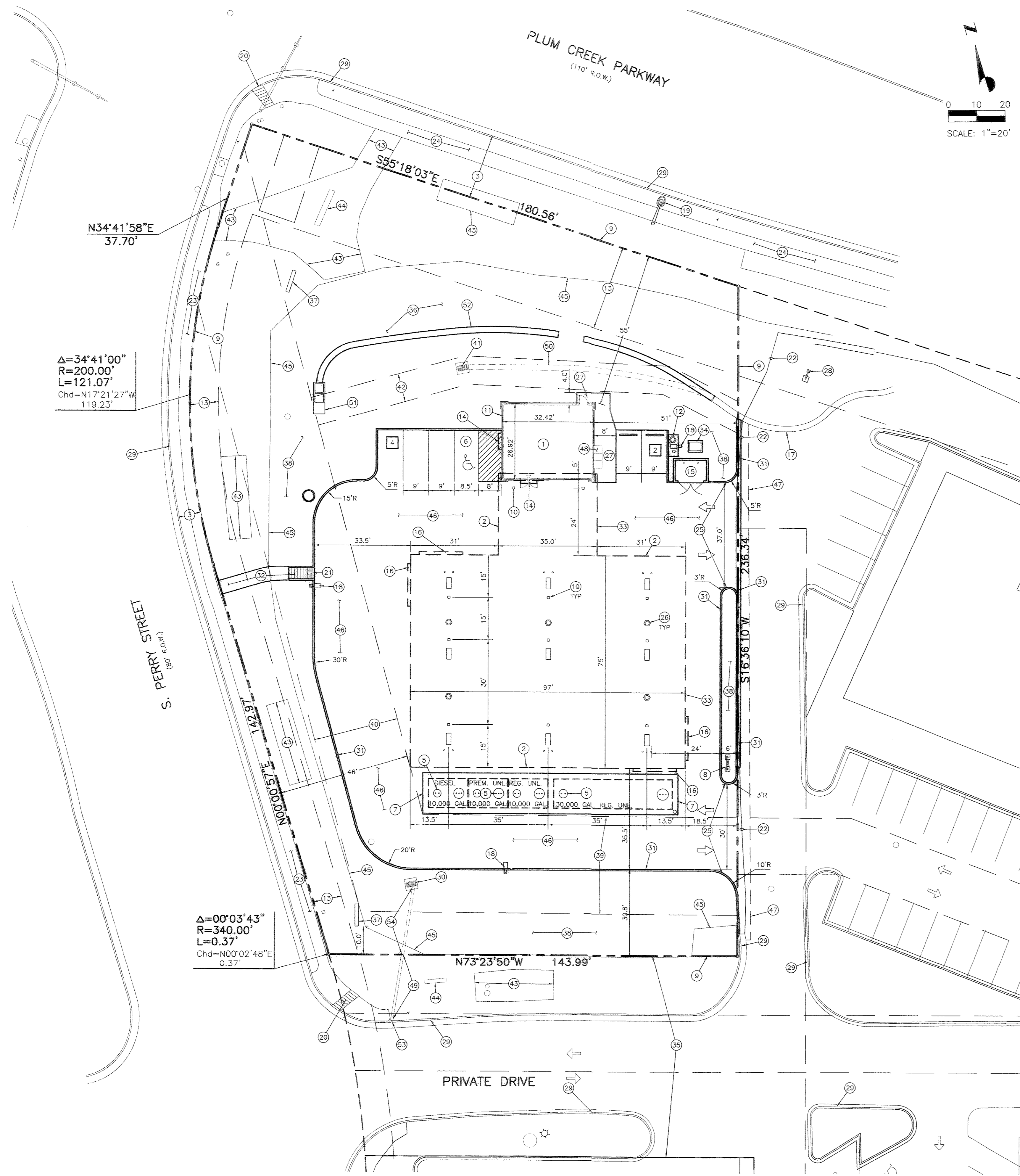
ENGINEERING SERVICE COMPANY
ENGINEERS - SURVEYORS
Creative Solutions Since 1954
1300 South Polkman Street, Suite 126, Aurora, Colorado 80012
Office (303) 337-1399 Fax (303) 337-7481

Designed By: **DES** Field Book No.: Date: **04/24/2000**
Drawn By: **DLB** Survey No.: Scale:
Checked By: **DES/UDP** Drawn No.: **00084-GR** Horiz. 1"=20' Vert. N/A
Sheet No.: **1 OF 1**

FINAL PD SITE PLAN

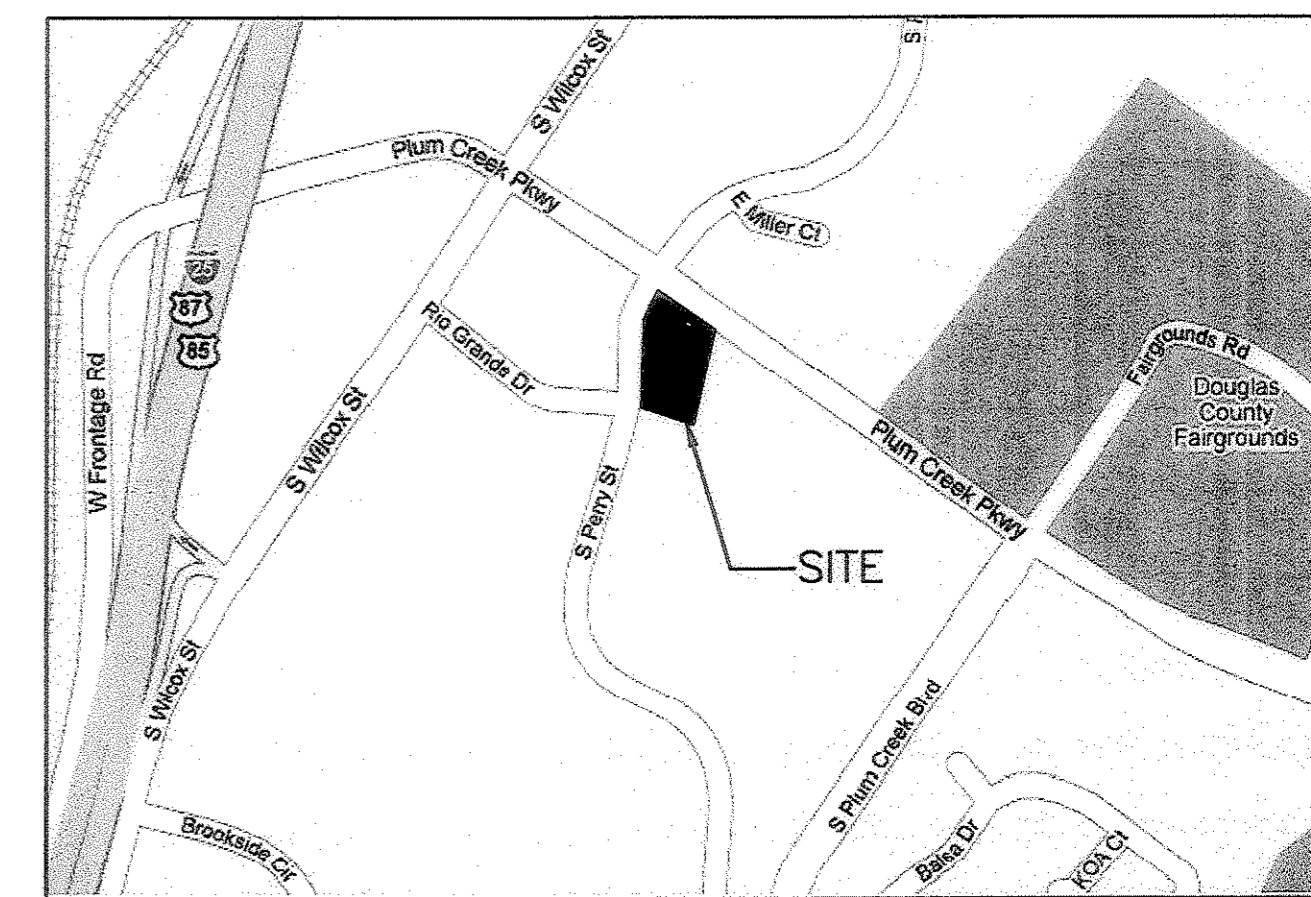
LOT 1, THE CENTRE ON PLUM CREEK FILING NO. 3

LOCATED IN THE SW 1/4 OF SECTION 11, T. 8 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SCHEDULE:

- 1 PROPOSED 26'-11" X 32'-5" KIOSK
- 2 PROPOSED 75'-0" X 97'-0" CANOPY W/35'-0" X 34'-0" EXTENSION TO KIOSK (8,465 SF)
- 3 EXISTING RIGHT-OF-WAY
- 4 PROPOSED UNDERGROUND FUEL STORAGE TANKS (1 ~ 20,000 GAL REGULAR UNLEADED AND 1 ~ 20,000 GAL 2 COMPARTMENT PREMIUM UNLEADED/DIESEL)
- 5 PROPOSED STORAGE TANK FILL PIPE (TYP. 3)
- 6 PROPOSED VAN ACCESSIBLE PARKING SPACE
- 7 PROPOSED 8" THICK REINFORCED CONCRETE SLAB OVER STORAGE TANKS
- 8 PROPOSED TANK VENT RISERS
- 9 PROPERTY LINE
- 10 PROPOSED CANOPY COLUMN (TYP. 11)
- 11 PROPOSED BUILDING ENVELOPE
- 12 PROPOSED AIR STATION WITH TRASH RECEPTACLE ON 18" THICK CONCRETE PAD
- 13 EXISTING UTILITY EASEMENT
- 14 PROPOSED INTERNALLY ILLUMINATED WALL SIGN, 5'-9" X 3'-4" (TYP. 2)
- 15 PROPOSED TRASH ENCLOSURE
- 16 PROPOSED INTERNALLY ILLUMINATED WALL SIGN, 15'-4" X 2'-8" (TYP. 4)
- 17 EXISTING 2' WIDE CONCRETE PAN TO REMAIN
- 18 PROPOSED AREA LIGHT (TYP. 3)
- 19 EXISTING STREET LIGHT
- 20 EXISTING HANDICAP RAMP TO REMAIN
- 21 PROPOSED HANDICAP RAMP
- 22 EDGE OF EXISTING ASPHALT
- 23 EXISTING 4' SIDEWALK TO REMAIN
- 24 EXISTING 5' SIDEWALK TO REMAIN
- 25 PROPOSED ACCESS DRIVES
- 26 PROPOSED TRASH RECEPTACLE (TYP. 6)
- 27 PROPOSED 4" THICK CONCRETE SIDEWALK AT BUILDING, WIDTH AS NOTED
- 28 EXISTING SITE LIGHT TO REMAIN
- 29 EXISTING CURB AND GUTTER TO REMAIN
- 30 EXISTING AREA INLET TO REMAIN (TYP. 2)
- 31 PROPOSED MONOLITHIC CURB AND GUTTER
- 32 PROPOSED 5' WIDE SIDEWALK TO COMPLETE PEDESTRIAN CONNECTION OUT TO S. PERRY STREET
- 33 PROPOSED CANOPY ENVELOPE
- 34 PROPOSED PAD MOUNTED TRANSFORMER
- 35 EXISTING ACCESS EASEMENT TO REMAIN
- 36 PROPOSED DETENTION POND
- 37 PROPOSED INTERNALLY ILLUMINATED GROUND SIGN, 4'-0" X 8'-0", 5'-0" HIGH (TYP. 2)
- 38 PROPOSED LANDSCAPE AREA
- 39 EXISTING 35' DRAINAGE & UTILITY EASEMENT
- 40 EXISTING 30' DRAINAGE & UTILITY EASEMENT
- 41 EXISTING INLET TO BE REMOVED
- 42 EXISTING 10' DRAINAGE & UTILITY EASEMENT
- 43 EXISTING LANDSCAPE BED
- 44 EXISTING SHOPPING CENTER MONUMENT SIGN
- 45 EDGE OF EXISTING IRRIGATED TURF
- 46 PROPOSED CONCRETE PAVING
- 47 PROPOSED 2' SAWCUT LINE
- 48 PROPOSED LOCATION OF 3' X 7.9' AREA ELECTRICAL BOX ON CONCRETE PAVING
- 49 EXISTING METAL CROSS-PAN TO REMAIN FROM CURB OPENING TO PROPERTY LINE
- 50 EXISTING PAN TO BE REMOVED
- 51 PROPOSED WATER QUALITY OUTLET STRUCTURE
- 52 PROPOSED CONCRETE 2' WIDE CONCRETE PAN
- 53 EXISTING CURB OPENING TO REMAIN
- 54 EXISTING METAL PAN TO BE CUT AT PROPERTY LINE AND REPLACED WITH A COBBLE DRY STREAM BED

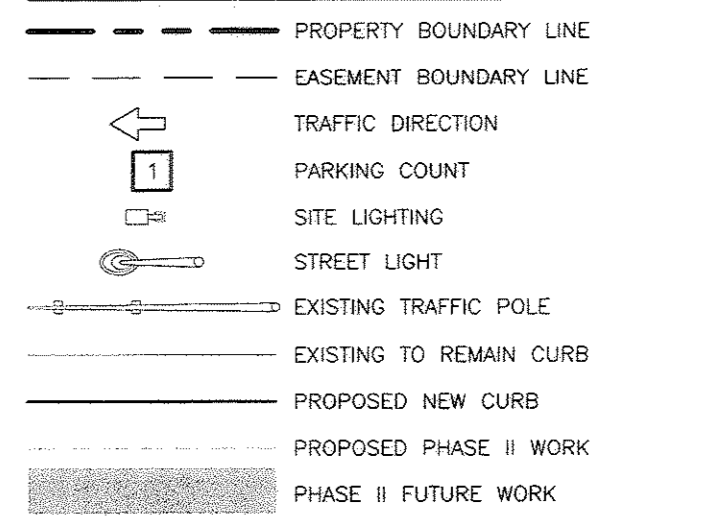


VICINITY MAP
NOT TO SCALE

STATISTICAL INFORMATION

ZONING:	1B
USE:	KIOSK, WITH FUEL SALES
PROJECT AREA*:	46,815 S.F. / 1.0747 ACRES
BUILDING HEIGHT:	KIOSK 15'-5" CANOPY 19'-10"
NUMBER OF STORIES:	1
GROUND COVERAGE:	% OF SITE AREA
OPEN SPACE	24,602 SF / 52.6%
BUILDING	873 SF / 1.9%
KIOSK	21,340 SF / 45.5%
PAVING	

SITE LEGEND

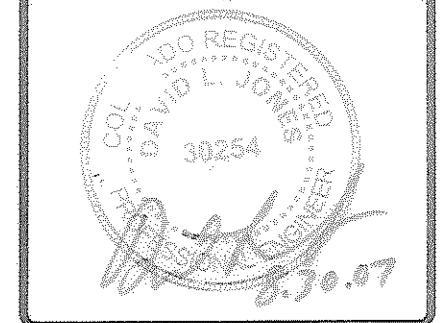


DEVELOPMENT DATA

LAND AREA WITHIN PROPERTY LINES	46,815 S.F.	1.0747 ACRES
NUMBER OF BUILDINGS	1	
TOTAL KIOSK FOOTPRINT AREA	873 S.F. / 1.9%	
HARDSURFACE AREA (EXCLUSIVE OF BUILDINGS)	21,340 S.F. / 45.5%	
AREA DEVOTED TO LANDSCAPING WITHIN SITE	24,602 S.F. / 52.6%	
ZONING CLASSIFICATION	1B (INTERGRATED BUSINESS)	
PROPOSED USES	KIOSK & GASOLINE SERVICE STATION	
NUMBER OF STORIES	1	
PARKING SPACES REQUIRED	23	
PARKING SPACES PROVIDED	24	

PARKING CALCULATIONS

REQUIRED PARKING = 1 SPACE PER EMPLOYEE	1
2 SPACES PER PUMP ISLAND	18
4 SPACES/1,000 SQUARE FOOT OF GFA	4
TOTAL	23
PROVIDED PARKING = REGULAR SPACES	5
PUMP ISLAND SPACES	18
HANDICAP SPACES	1
TOTAL	24



NO	DATE	REVISIONS	PER TOWN COMMENTS
1	6/15/07		

Galloway
 Planning, Architecture, Engineering
 5350 DTC Parkway
 Greenwood Village, CO 80111
 303.770.8854
 www.galloway-us.com

PROJECT NO.:	SA11.1
DRAWN BY:	CEF
CHECKED BY:	JLF
DATE:	NOVEMBER, 2006
FILE NAME:	SA11.1_P_02-Site

SAFEMART FUELING
 S. PERRY STREET &
 PLUM CREEK PKWY
 CASTLE ROCK, COLORADO
 STORE # 1877

SHEET TITLE
SITE PLAN

FPD 06-008

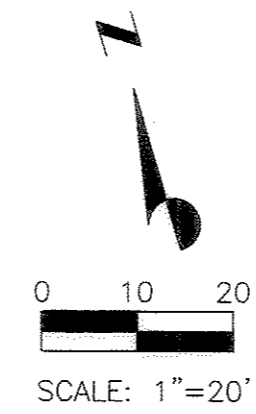
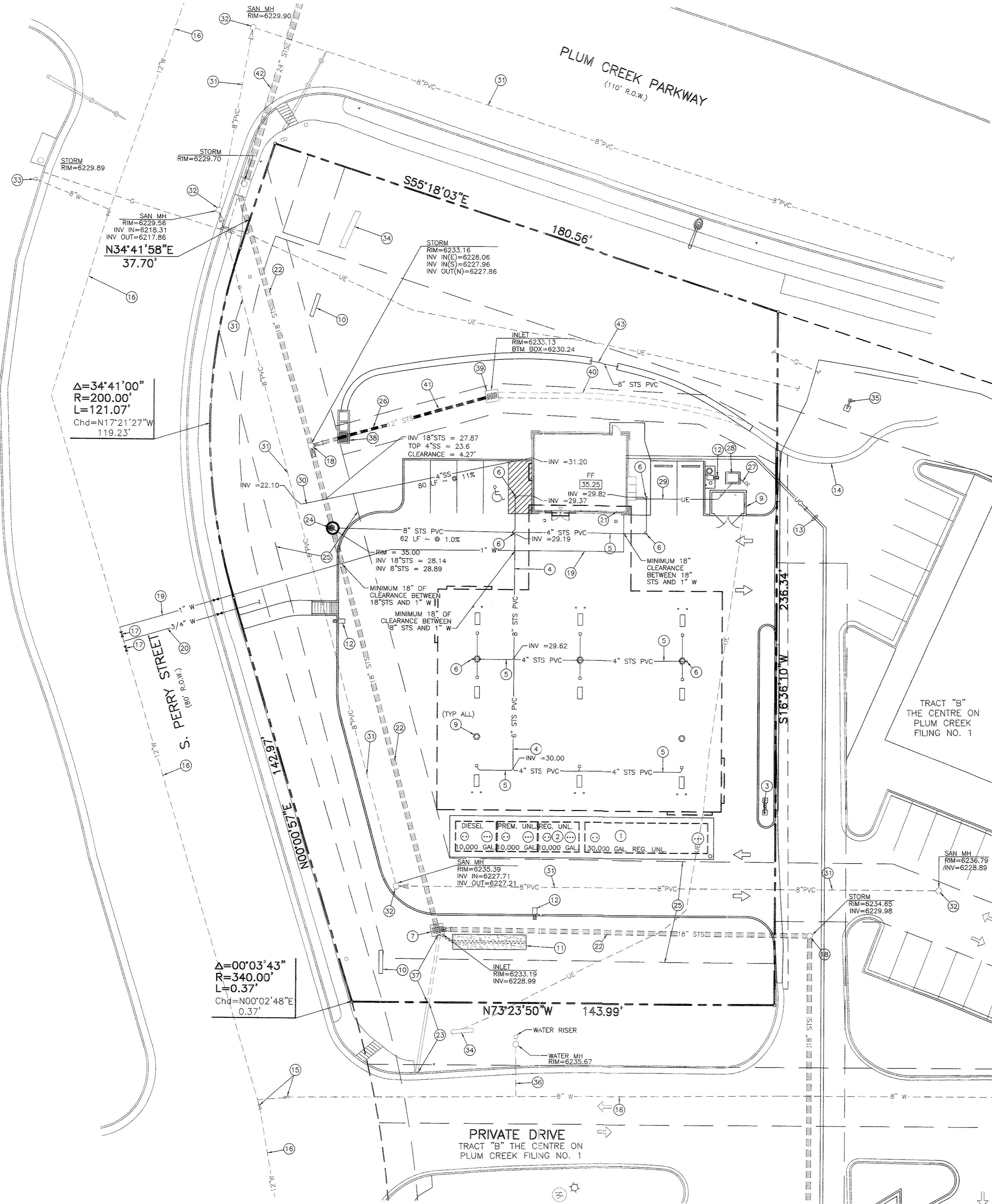
PHASE:

SHEET NO.
23 of 11

08/29/2007 6:04:41 P.M. J:\Projects\2006\06-04-07\SA11.1_P_02-SITE.DWG
 DRAWING BY: SA11.1_P_02-SITE.DWG

FINAL PD SITE PLAN

LOT 1, THE CENTRE ON PLUM CREEK FILING NO. 3 LOCATED IN THE SW 1/4 OF SECTION 11, T. 8 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



UTILITY LEGEND

- MANHOLE
- ⊕ VALVE
- W — EXISTING WATER LINE
- W — PROPOSED WATER LINE
- SS — EXISTING SANITARY SEWER
- SS — PROPOSED SANITARY SEWER
- STS — EXISTING STORM SEWER
- STS — PROPOSED STORM SEWER
- G — EXISTING GAS LINE
- G — PROPOSED GAS LINE
- UE — EXISTING UNDERGROUND ELECTRICAL
- UE — PROPOSED UNDERGROUND ELECTRICAL
- OE — EXISTING OVERHEAD ELECTRICAL
- OE — PROPOSED OVERHEAD ELECTRICAL
- UT — EXISTING UNDERGROUND TELEPHONE
- UT — PROPOSED UNDERGROUND TELEPHONE
- T — EXISTING OVERHEAD TELEPHONE
- UC — UNDERGROUND CONDUITS
- ⊕ PROPOSED FIRE HYDRANT

SCHEDULE:

- 1 PROPOSED 20,000 GALLON DOUBLE WALL STEEL/FRP COMPOSITE UNDERGROUND STORAGE TANK (REGULAR UNLEADED)
- 2 PROPOSED 30,000 GALLON 2-COMPARTMENT DOUBLE WALL STEEL/FRP COMPOSITE UNDERGROUND STORAGE TANK (15,000 GALLON PREMIUM UNLEADED AND 15,000 GALLON DIESEL)
- 3 PROPOSED TANK VENT RISER, 12' ABOVE FINISHED GRADE
- 4 PROPOSED 8" STORM SEWER
- 5 PROPOSED 4" STORM SEWER
- 6 PROPOSED 4" CLEANOUT (TYP ALL)
- 7 EXISTING TYPE 13 AREA STORM SEWER INLET TO REMAIN (TYP 2)
- 8 PROPOSED SAND OIL INTERCEPTOR
- 9 TRASH ENCLOSURE
- 10 PROPOSED MONUMENT SIGN (TYP 2)
- 11 PROPOSED POROUS LANDSCAPE WATER QUALITY
- 12 PROPOSED SITE LIGHT (TYP 3)
- 13 PROPOSED (2) - 4" AND (1) 2" PVC UNDERGROUND CONDUITS FROM KIOSK TO MAIN GROCERY STORE FOR PHONE SERVICES AND COMMUNICATION, 18" MINIMUM BURY. (SEE NOTES THIS SHEET)
- 14 EXISTING 2' WIDE CONCRETE PAN TO REMAIN
- 15 EXISTING WATER VALVE TO REMAIN
- 16 EXISTING 8" WATER MAIN TO REMAIN
- 17 PROPOSED WATER VALVE
- 18 EXISTING STORM SEWER MANHOLE TO REMAIN
- 19 PROPOSED 1" TYPE K CU. WATER SERVICE LINE
- 20 PROPOSED 3/4" TYPE K CU. IRRIGATION TAP AND LINE
- 21 PROPOSED 1" TYPE K CU. METER LOCATED INSIDE KIOSK IN MECHANICAL ROOM.
- 22 EXISTING 18" STORM SEWER TO REMAIN
- 23 EXISTING METAL CROSS PAN TO REMAIN FROM CURB OPENING TO PROPERTY LINE
- 24 PROPOSED STORM SEWER MANHOLE
- 25 EXISTING UTILITY EASEMENT DEDICATED BY PLAT. WIDTH VARIES
- 26 EXISTING 12" STORM SEWER LINE TO REMAIN
- 27 PROPOSED UNDERGROUND ELECTRIC SERVICE LINE FROM MAIN TO TRANSFORMER (EXACT LOCATION OF SERVICE TO BE CONFIRMED WITH ELECTRICAL PROVIDER PRIOR TO CONSTRUCTION)
- 28 PROPOSED ELECTRICAL PAD AND TRANSFORMER
- 29 PROPOSED UNDERGROUND ELECTRICAL SERVICE FROM TRANSFORMER TO CT CAN, METER AND DISCONNECTS LOCATED OUTSIDE OF KIOSK
- 30 PROPOSED 4" SANITARY SEWER
- 31 EXISTING 8" SANITARY SEWER MAIN TO REMAIN
- 32 EXISTING SANITARY SEWER MANHOLE TO REMAIN
- 33 EXISTING FIRE HYDRANT TO REMAIN
- 34 EXISTING SHOPPING CENTER MONUMENT SIGN TO REMAIN
- 35 EXISTING SITE LIGHT TO REMAIN
- 36 EXISTING WATER LINE IRRIGATION TAP METER TO REMAIN
- 37 EXISTING METAL CROSS PAN TO BE REMOVED AND REPLACED WITH COBBLE DRY STREAM BED FROM PROPERTY LINE TO INLET
- 38 PROPOSED DETENTION/WATER QUALITY OUTLET STRUCTURE. MICROPOOL CONTAINED WITHIN STRUCTURE
- 39 EXISTING CONCRETE PAN TO BE REMOVED
- 40 PROPOSED 2' WIDE CONCRETE TRICKLE PAN
- 41 EXISTING 12" STORM SEWER TO BE REMOVED
- 42 EXISTING 24" STORM SEWER TO REMAIN
- 43 PROPOSED 8" STS TO DRAIN FOREBAY OF DETENTION/WATER QUALITY POND

NOTES:

1. GENERAL CONTRACTOR SHALL STUB UP (2)-4" AND (1)-2" CONDUITS INSIDE SAFEWAY STORE BUILDING
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH SAFEWAY REPRESENTATIVE IN THE FIELD TO COMPLETE CONNECTIONS INSIDE MAIN STORE BUILDING.
3. USE OF 90° BEND IN 4" PVC COMMUNICATION CONDUITS IS NOT ALLOWED WITHOUT PRIOR APPROVAL FROM THE OWNERS REPRESENTATIVE.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

BENCHMARK

DOUGLAS COUNTY GIS CONTROL POINT #3020015 DESCRIBED AS DOUGLAS COUNTY STANDARD MONUMENT +/- 400 FEET EAST OF THE CENTERLINE OF THE DENVER & RIO GRAND RAILROAD APPROX. 500' SOUTH OF PLUM CREEK PARKWAY. PUBLISHED ELEVATION = 6255.21 FEET. ALL ELEVATIONS ARE BASED ON THE NAVD 88 DATUM.

**CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987**
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER UTILITIES



NO	DATE	REVISIONS

Galloway
Planning, Architecture, Engineering
5595 DTC Parkway
Greenwood Village, CO 80111
303.770.8884
www.gallowayus.com

PROJECT NO.	SA11.1
DRAWN BY:	CEF
CHECKED BY:	JLF
DATE:	NOVEMBER, 2006
FILE NAME:	SA11.1_P_04-UHJ

SAFEWAY FUELING
S. PERRY STREET &
PLUM CREEK PKWY
CASTLE ROCK, COLORADO
STORE # 1877

SHEET TITLE
**UTILITY
PLAN**
FPD 06-008

PHASE:

SHEET NO.
45 of 11

FINAL PD SITE PLAN

LOT 1, THE CENTRE ON PLUM CREEK FILING NO. 3

LOCATED IN THE SW 1/4 OF SECTION 11, T. 8 S., R. 67 W., 6th P.M.,

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
☐	RAIN BIRD 1806-SAM-PRS 8" RADIUS TURF SPRAY 6" POPUP WITH CHECK VALVE AND PRESSURE REGULATOR	5	30
☐	RAIN BIRD 1806-SAM-PRS 10" RADIUS TURF SPRAY 6" POPUP WITH CHECK VALVE AND PRESSURE REGULATOR	21	30
☐	RAIN BIRD 1806-SAM-PRS 12" RADIUS TURF SPRAY 6" POPUP WITH CHECK VALVE AND PRESSURE REGULATOR	5	30
☐	RAIN BIRD 1806-SAM-PRS ADJUSTABLE ARC TURF SPRAY 6" POPUP WITH CHECK VALVE AND PRESSURE REGULATOR	8	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
○	RAIN BIRD 3504-PC-SAM TURF ROTOR, 4" POPUP, ADJUSTABLE AND FULL CIRCLE, WITH CHECK VALVE	5	45	0.8	17'
○	RAIN BIRD 3504-PC-SAM TURF ROTOR, 4" POPUP, ADJUSTABLE AND FULL CIRCLE, WITH CHECK VALVE	6	45	1.1	21'
○	RAIN BIRD 3504-PC-SAM TURF ROTOR, 4" POPUP, ADJUSTABLE AND FULL CIRCLE, WITH CHECK VALVE	19	45	1.9	27'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
☐	RAIN BIRD KCZ-100-B-COM DRIP 1" RAIN BIRD PEBS VALVE, QUICK CHECK FILTER, AND 40 PSI PRESSURE REGULATOR KIT.	4
☐	RAIN BIRD PESB-PRS-D ELECTRIC REMOTE CONTROL SCRUBBER VALVE, WITH PRESSURE REGULATOR	7
☐	RAIN BIRD ESP-16M IRRIGATION CONTROLLER, 16 STATIONS, PLASTIC WALL MOUNT CABINET.	1
☐	RAIN BIRD RSD-BEX RAIN SENSOR, WITH BRACKET, WIRELESS.	1
☐	FEBCO 825V 3/4" REDUCED PRESSURE BACKFLOW PREVENTER WITH HOT-BOX HB2 FIBERGLASS FLIP-TOP ENCLOSURE	1
☐	POINT OF CONNECTION 3/4"	1

DRIP IRRIGATION POLYETHYLENE	244 LF
IRRIGATION LATERAL LINE: PVC SCHEDULE 40	881 LF
IRRIGATION MAINLINE 1-1/2", SCHEDULE 40 PVC	927 LF
PIPE SLEEVE: PVC SCHEDULE 40 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.	108 LF

ZONE DESIGNATION	Valve Callout	Valve Number	Valve GPM	Valve Size
#1	#1			1"
#2	#2			1"

CALCULATED ANNUAL IRRIGATION WATER USE

AREA IN TURF APPLIED	AREA IN NATIVE	GALLONS APPLIED	ESTABLISHMENT WATERING	AREA IN PLANT BEDS	GALLONS APPLIED
14,182.0	247,380.8	0.0	0.0	9,020.0	84,291.9
TOTAL ANNUAL GALLONS					331,683

SEASONAL WATER USE AND PEAK FLOW PROJECTIONS

AREA IN NATIVE & SHRUBS SQUARE FEET	IRRIGATED ACRES	MONTH	APPLICATION RATE		MONTHLY WATER USAGE (GALLONS)	ESTABLISHMENT WATERING (GALLONS)		
			IN/MONTH	IN/MONTH				
14,182	0.21	APRIL	0.9	1.1	5,056	6,069.0		
		MAY	1.8	2.2	10,115	12,138.0		
		JUNE	2.8	3.4	15,734	18,881.4		
		JULY	3.6	4.3	20,220	24,276.1		
		AUGUST	3.1	3.7	17,420	20,904.4		
		SEPTEMBER	1.9	2.3	10,677	12,812.4		
		OCTOBER	0.9	1.1	5,056	6,069.0		
		ANNUAL SUB-TOTAL			15.0	18.0	84,292	101,150

AREA IN NATIVE & SHRUBS SQUARE FEET	IRRIGATED ACRES	MONTH	APPLICATION RATE		MONTHLY WATER USAGE (GALLONS)	ESTABLISHMENT WATERING (GALLONS)		
			IN/MONTH	IN/MONTH				
14,182	0.53	APRIL	0.9	1.1	7,952	9,542.2		
		MAY	1.8	2.2	15,904	19,084.4		
		JUNE	2.8	3.4	24,736	29,696.9		
		JULY	3.6	4.3	31,807	38,168.9		
		AUGUST	3.1	3.7	27,390	32,867.6		
		SEPTEMBER	1.9	2.3	16,787	20,144.7		
		OCTOBER	0.9	1.1	7,952	9,542.2		
		ANNUAL SUB-TOTAL			15.0	18.0	132,531	159,037

SITE TOTALS	IRRIGATED ACRES	ESTABLISHMENT WATERING TOTALS	TOTAL WATER USE (GAL)
0.53	23,202	296,167	216,823
1,400	24,602	578,160	260,167
	EXISTING TURF*	18.0	18.0

* ALL EXISTING TURF AREAS ARE TO BE IRRIGATED BY OTHERS.

CONTROLLER CHART A

ZONE NO.	PLANT TYPE	ZONE TYPE	PRECIP RATE IN/H	ZONE FLOW GPM	PEAK INCHES PER WEEK	WEEKLY RUN TIME HOURS	DAILY RUN TIME MIN	WATER USAGE GALLONS PER WEEK	DESIGN OPERATING PRESSURE PSI
A-1	TURF	SPRAY	2.01	10.1	1.0	0.50	0.25	301	30
A-2	TURF	SPRAY	1.74	11.1	1.0	0.57	0.29	383	30
A-3	TURF	SPRAY	1.74	11.7	1.0	0.57	0.29	403	30
A-4	TURF	SPRAY	1.91	5.9	1.0	0.52	0.26	185	30
A-5	TURF	ROTOR	0.51	3.9	1.0	1.98	0.98	459	45
A-6	TURF	ROTOR	0.51	7.7	1.0	1.98	0.98	906	45
A-7	TURF	ROTOR	0.51	13.0	1.0	1.98	0.98	1529	45
A-8	TURF	ROTOR	0.49	13.5	1.0	2.04	1.02	1653	45
A-9	TURF	ROTOR	0.49	8.8	0.4	0.82	0.41	431	30
A-10	SHRUBS	DRIP	0.32	9.4	0.4	1.25	0.63	705	30
A-11	SHRUBS	DRIP	0.32	6.0	0.4	1.25	0.63	447	30
A-12	SHRUBS	DRIP	0.32	8.26	0.4	1.25	0.63	620	30
A-13	SHRUBS	DRIP	0.32	7.90	0.4	1.25	0.63	593	30
A-14	OPEN	N/A				0	0.00	0	0
A-15	OPEN	N/A				0	0.00	0	0
A-16	OPEN	N/A				0	0.00	0	0

PROJECTED PEAK SEASON WATER USE PER WEEK (GALLONS)	8,615
PEAK SEASON HOURS PER WEEK	15.91
Number Days per Week (Every 3rd day)	2
Starts per Day	1

NOTES:

- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION EVERY THIRD NIGHT, FIVE HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 11PM AND 4AM.
- THE MAINLINE VELOCITIES SHALL NOT EXCEED 5-6 FEET PER SECOND.
- THE IRRIGATION SYSTEM IS DESIGNED TO ACHIEVE HEAD-TO-HEAD COVERAGE WITHIN THE EXISTING IRRIGATION BOUNDARIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY INSTALL THE SYSTEM IN THE FIELD ACCORDING TO THE EXISTING SITE LAYOUT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT THE EXISTING IRRIGATION TO DETERMINE WHETHER IT WILL BE ABLE TO RUN CONCURRENT WITH THE PROPOSED IRRIGATION SYSTEM. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE ADDITIONAL LAYOUT WITH THE LANDSCAPE ARCHITECT.
- A RAIN BIRD RSD-BEX RAIN SENSOR WILL BE INCLUDED IN THE SYSTEM.

SYSTEM DESCRIPTION

SYSTEM DESCRIPTION: THE SYSTEM CONSISTS OF CONVENTIONAL DRIP, TRADITIONAL TURF ROTORS AND POP-UP SPRAYS. THE CONVENTIONAL DRIP IS INTENDED TO IRRIGATE ALL PLANT MATERIAL WITHIN THE PLANTING BEDS. THE TURF ROTORS ARE TO IRRIGATE THE LARGER TURF AREAS. THE POP-UP SPRAYS ARE TO IRRIGATE THOSE SMALLER TURF AREAS. THE SYSTEM HAS BEEN DESIGNED TO ACHIEVE HEAD-TO-HEAD COVERAGE IN THE FIELD. THE PROPOSED IRRIGATION SYSTEM IS DESIGNED TO OPERATE WITH 1" SCHEDULE 40 PVC MAINLINE. THE SYSTEM IS TO RUN ALL ZONES BETWEEN THE HOURS OF 11PM-4AM. THE SYSTEM CONTROLLER PROGRAM MUST BE SET TO IRRIGATE EVERY THIRD DAY, ACCORDING TO TOWN OF CASTLE ROCK WATER CONSERVATION REGULATIONS.

SYSTEM REQUIREMENTS: THE TOWN OF CASTLE ROCK PROVIDES A MINIMUM OF 43PSI. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY STATIC AND WORKING PRESSURES AVAILABLE FOR THE IRRIGATION SYSTEM. PRESSURES SHALL BE A MINIMUM OF 30 PSI AND A MAXIMUM OF 80 PSI. SHOULD THE AVAILABLE PRESSURE FALL OUTSIDE THE ACCEPTABLE RANGE THE CONTRACTOR SHALL BE RESPONSIBLE FOR INCREASING OR REDUCING THE WORKING PRESSURES INTO THE ACCEPTABLE RANGE. THE SITE THEORETICAL AVAILABLE PRESSURE IS 120PSI. THE SYSTEM HAS BEEN DESIGNED TO RUN AT 65PSI.

NOTE: THE SITE PERIMETER IS CURRENTLY BEING IRRIGATED BY AN EXISTING SYSTEM. THIS IRRIGATION PLAN HAS BEEN DESIGNED TO RUN SEPARATELY OF THE EXISTING IRRIGATION SYSTEM. IT SHOULD BE NOTED THAT CERTAIN AREAS WITHIN THE EXISTING IRRIGATION WILL BE DISTURBED BECAUSE OF PROPOSED LANDSCAPING. THIS APPLIES TO THE AREA ON THE EAST SIDE OF THE PROPERTY, BORDERING SOUTH PERRY STREET. A NEW IRRIGATION LAYOUT HAS BEEN PROPOSED FOR THIS AREA, AS NOTED ON THE PLAN. WITH THE PROPOSED IRRIGATION SYSTEM IT IS UNCLEAR, WITHOUT FURTHER INSPECTION, IF THE PROPOSED LAYOUT CAN RUN SEPARATELY FROM THE EXISTING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT A FURTHER INVESTIGATION OF THE SYSTEM TO CONFIRM THAT THE PROPOSED LAYOUT WILL BE SATISFACTORY.

PRODUCT/MATERIALS INFORMATION: CONTRACTORS UNFAMILIAR WITH THE LOW VOLUME IRRIGATION SYSTEM INSTALLATION AND CONSTRUCTION METHODS ARE ENCOURAGED TO CONTACT:

BRETT RAMSEY, RAIN BIRD CORPORATION
(720)219-0113, E-mail: bramsey@rainbird.com

CRITICAL ANALYSIS

Generated: 8/30/2007

P.O.C. NUMBER: 01
Water Source Information:

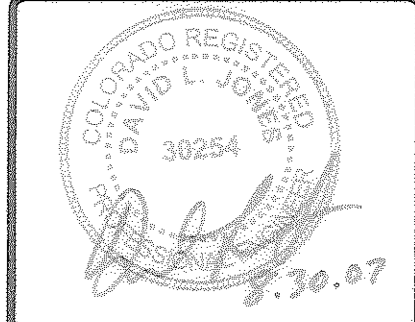
FLOW AVAILABLE
Point of Connection Size: 3/4"
Flow Available: 12.5 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 85 psi
Elevation Change: 10 ft
Service Line Size: 3/4"
Length of Service Line: 20 ft
Pressure Available: 77 psi

DESIGN ANALYSIS

Critical Station Flow: 22.29 gpm
Flow Available at POC: 12.5 gpm
Residual Flow Available: -9.79 gpm

Critical Station: A7
Pressure Req. at Critical Station: 52.57 psi
Loss for Fittings: 0.25 psi
Loss for Main Line: 2.54 psi
Loss for Valve to POC Elevation: 1.3 psi
Loss for Backflow: 12.47 psi
Critical Station Pressure at POC: 69.13 psi
Pressure Available: 77 psi
Residual Pressure Available: 7.87 psi



NO	DATE	REVISIONS

Galloway
Planning, Architecture, Engineering
5500 DRC Way
Castle Rock, CO 80111
303.770.8884
303.770.3636
www.gallowayus.com

PROJECT NO.	SA11.1
DRAWN BY:	CWG
CHECKED BY:	TEK
DATE:	NOVEMBER, 2006
FILE NAME:	SA11.1_P_Irr_IR1.1

SAFEWAY FUELING
S. PERRY STREET &
PLUM CREEK PKWY
CASTLE ROCK, COLORADO
STORE # 1877

SHEET TITLE
IRRIGATION PLAN

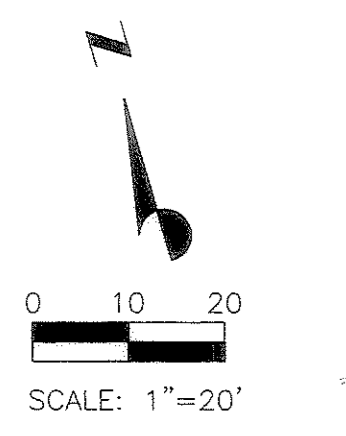
FPD 06-008

PHASE:

SHEET NO.

7 of 11

TOWN OF CASTLE ROCK REGISTRATION INFORMATION:
CERTIFIED LANDSCAPE ARCHITECT TOM E. KUPCHO
TOWN OF CASTLE ROCK REGISTRATION NUMBER #4198

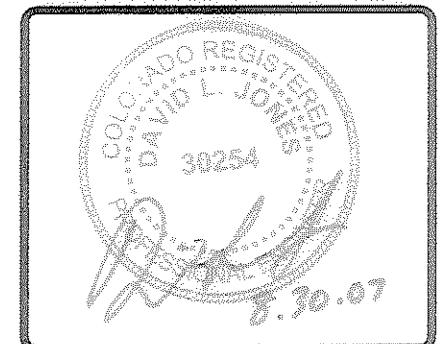


FINAL PD SITE PLAN

LOT 1, THE CENTRE ON PLUM CREEK FILING NO. 3

LOCATED IN THE SW 1/4 OF SECTION 11, T. 8 S., R. 67 W., 6th P.M.,

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



NO	DATE	REVISIONS

Galloway
Planning, Architecture, Engineering

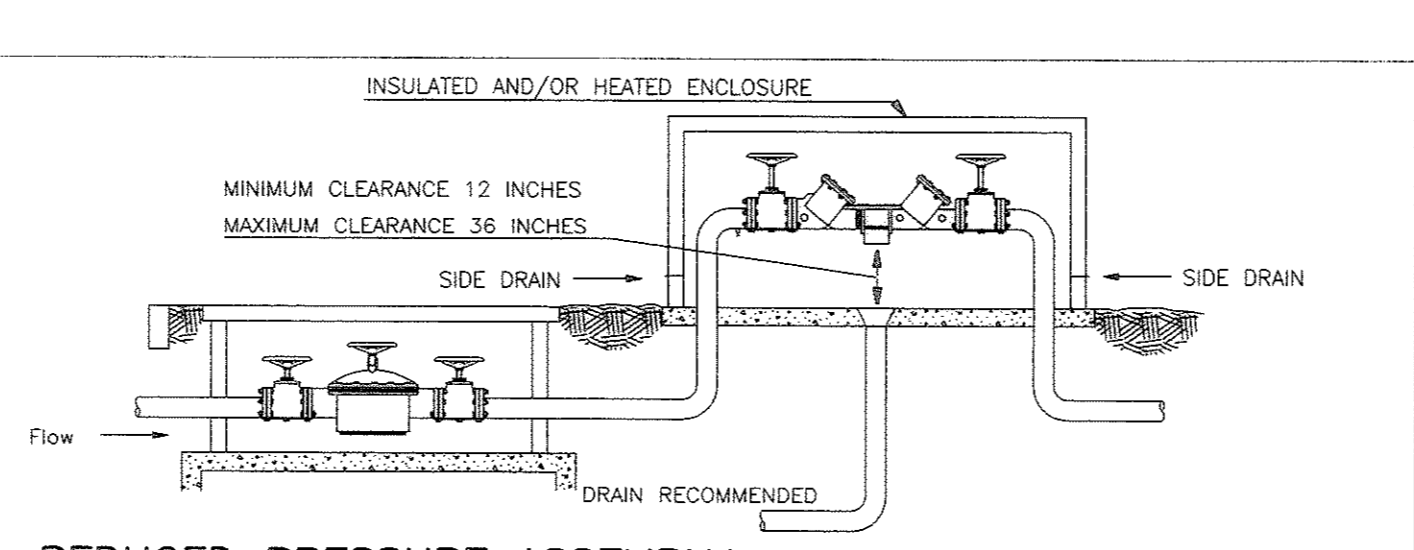
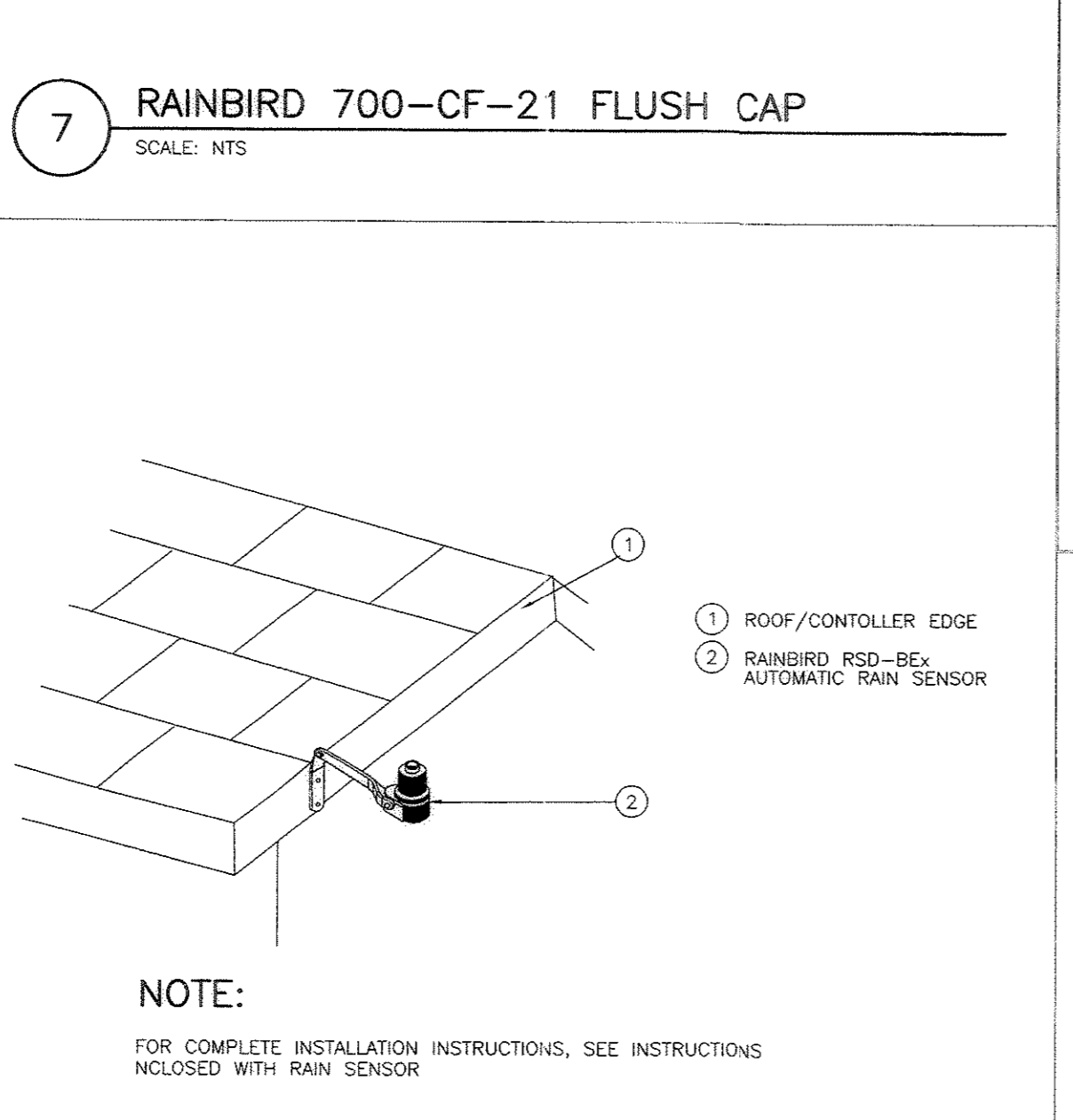
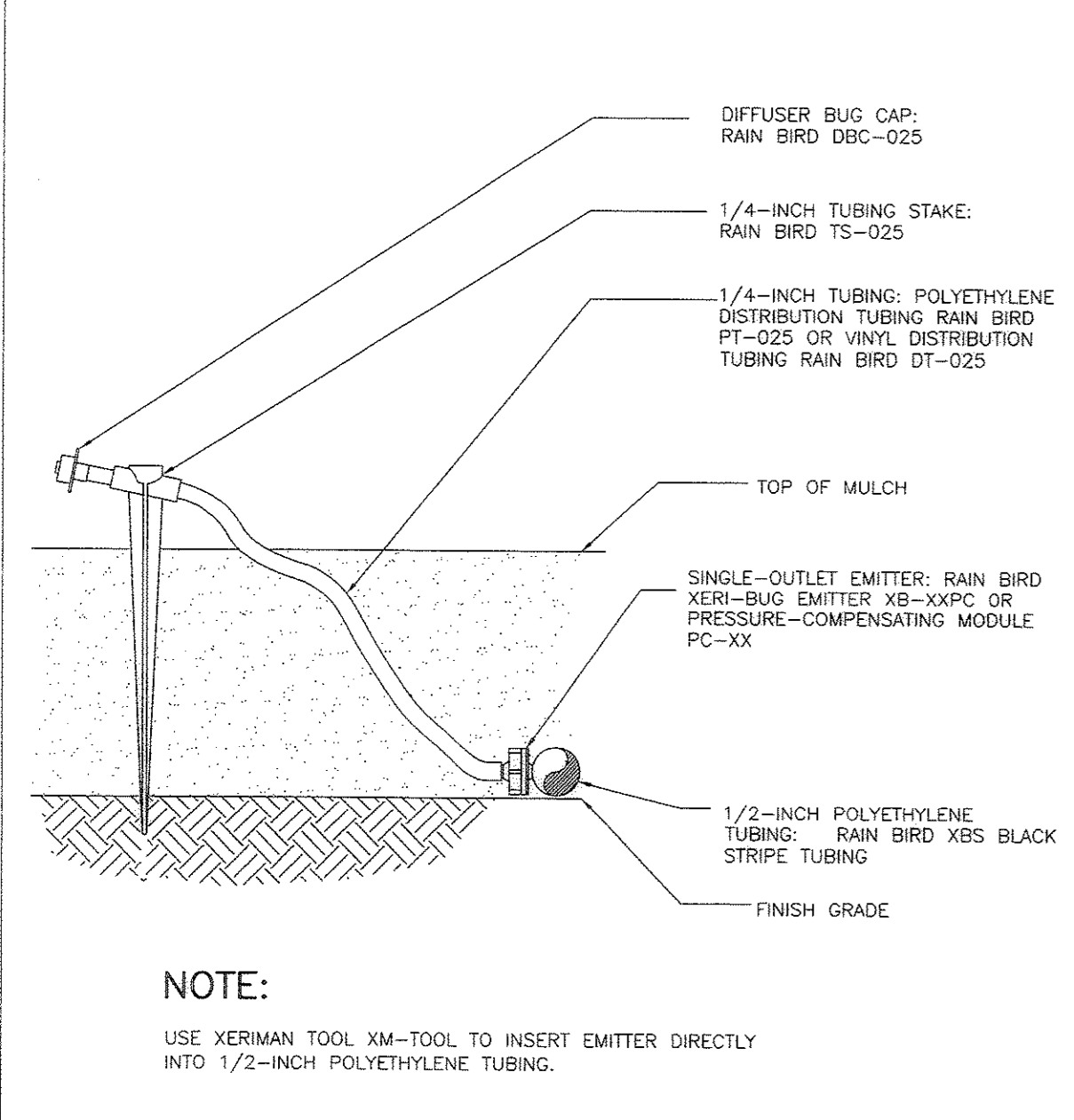
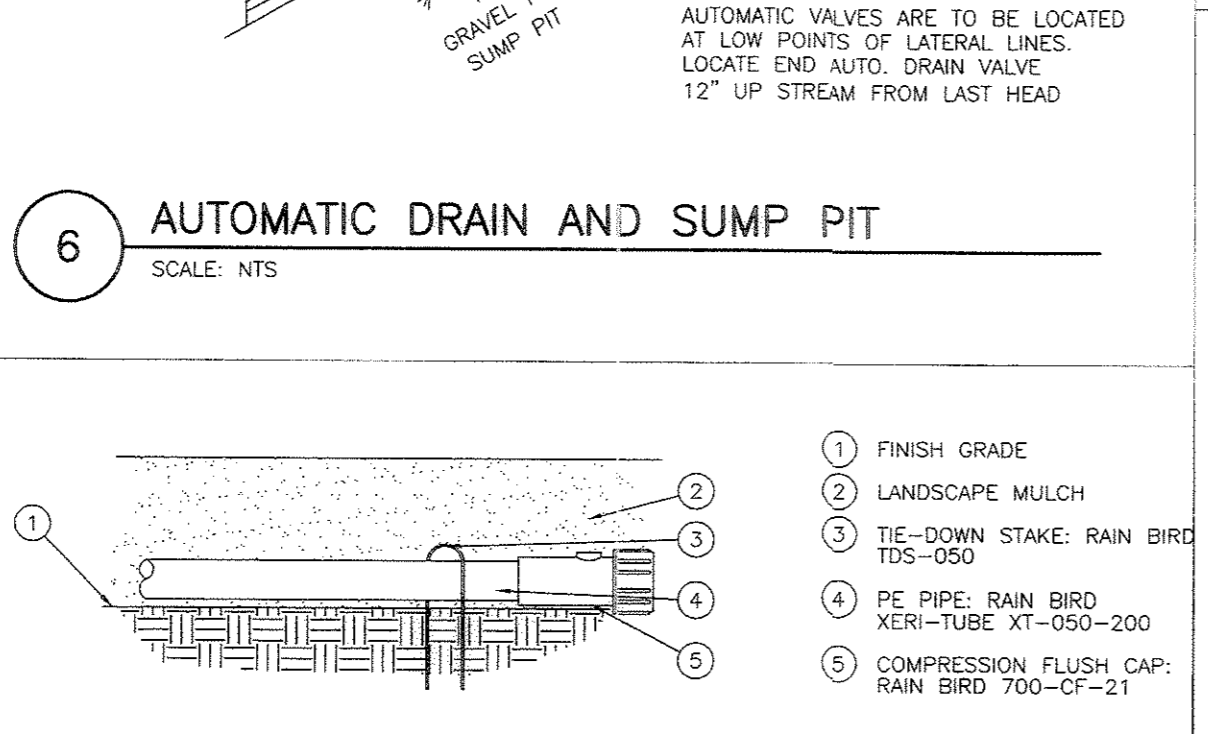
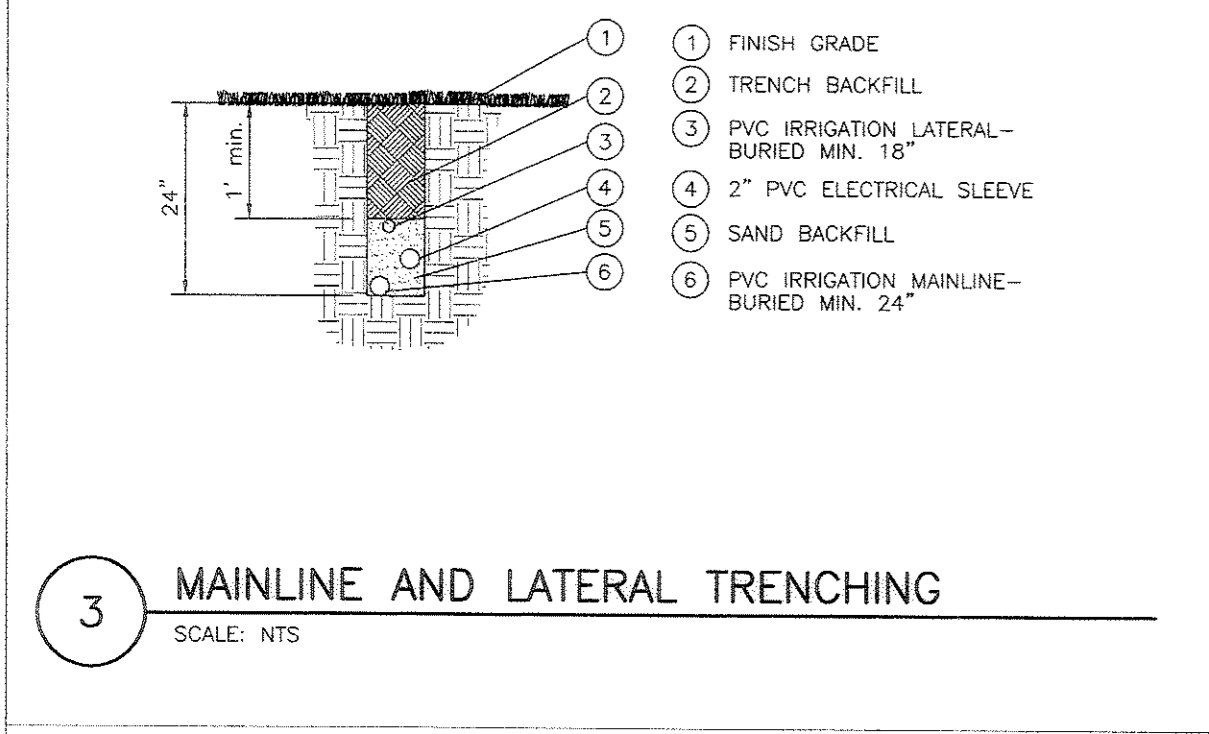
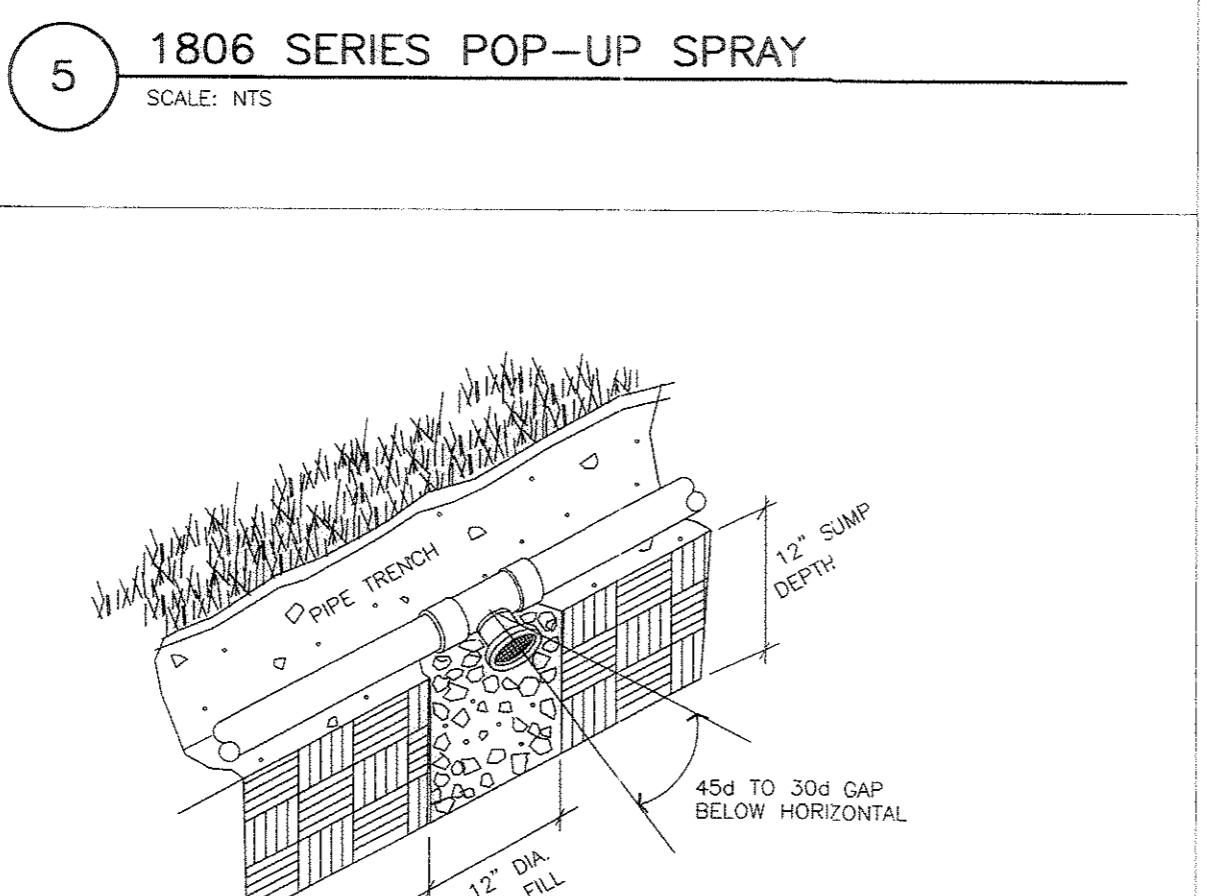
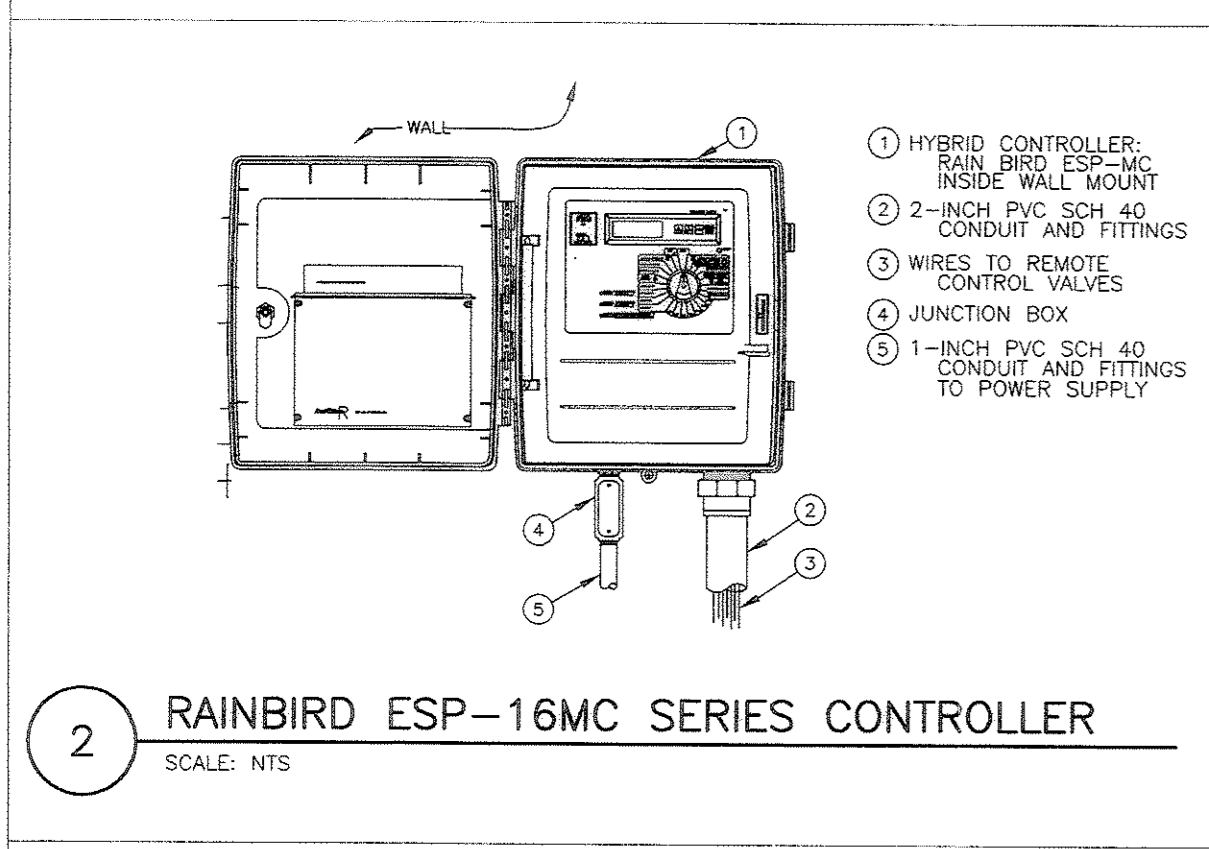
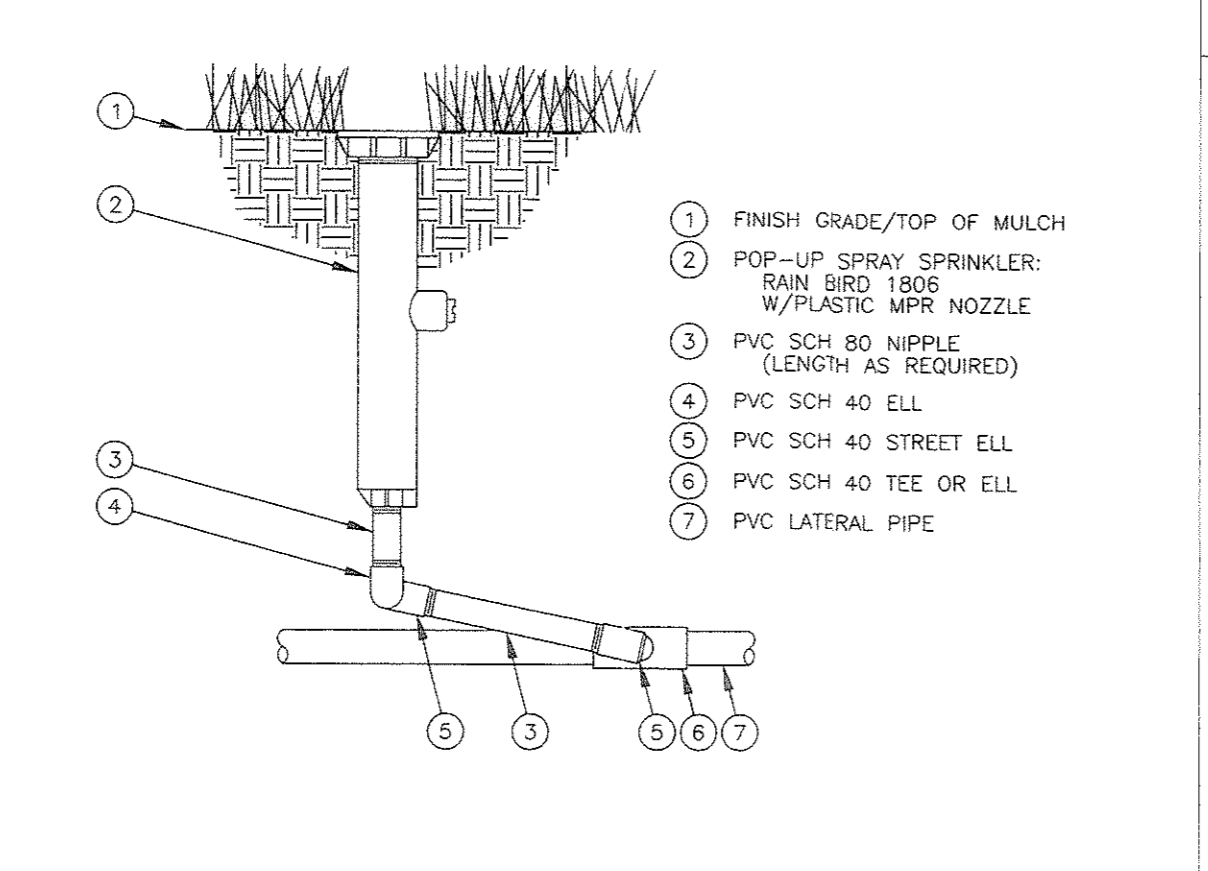
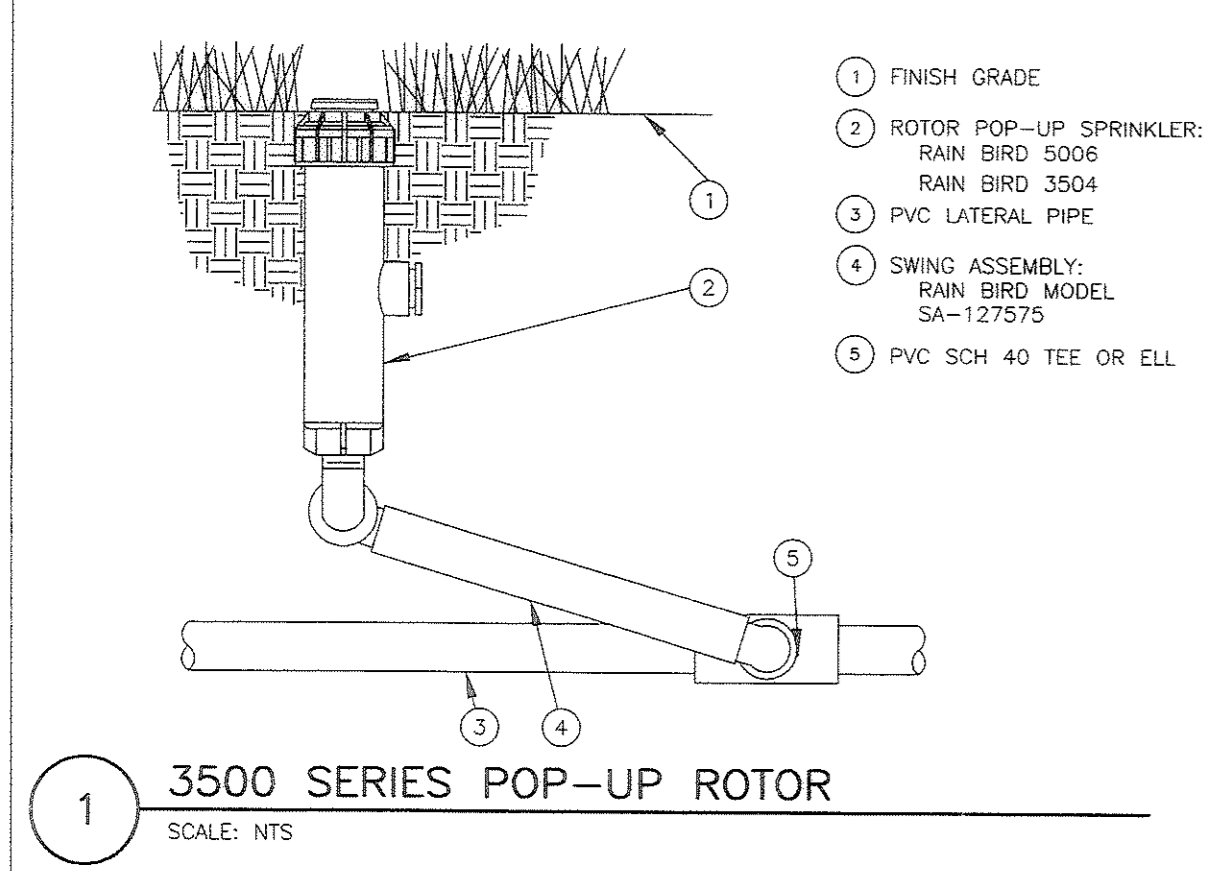
5350 DTC Parkway
Greenwood Village, CO 80111
303.771.8656
www.gallowayus.com

PROJECT NO.	SA11.1
DRAWN BY:	CWG
CHECKED BY:	TEK
DATE:	NOVEMBER, 2006
FILE NAME:	SA11.1_P_lrr_irs.1

SAFeway FUELING & STORE # 1877
S. PERRY STREET & PLUM CREEK PKWY
CASTLE ROCK, COLORADO

SHEET TITLE
IRRIGATION DETAILS & NOTES
FPD 06-008

PHASE:
SHEET NO.
89 of 11



1. THE REDUCED PRESSURE ASSEMBLY MUST NOT BE INSTALLED IN A PLACE WHERE IT MAY BE SUBMERGED UNDER WATER.

A. THERE SHALL BE NO PIT OR VAULT INSTALLATIONS UNLESS THERE IS A DRAIN TWICE THE DIAMETER OF THE ASSEMBLY TO DAYLIGHT. THIS COULD BE A HILLSIDE VAULT WHERE ONE SIDE IS OPEN FOR DRAINAGE BUT WOULD ALLOW PROTECTION FROM FREEZING.

B. THE "RP" SHALL NOT BE INSTALLED IN A VERTICAL POSITION UNLESS THERE IS SPECIFIC APPROVAL FROM THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH AND THE TOWN OF CASTLE ROCK FOR THE PARTICULAR MAKE AND MODEL OF DEVICE. AS OF THIS WRITING THERE IS NO SUCH APPROVAL. SOME MANUFACTURERS INSTALLATION INSTRUCTION INDICATE A VERTICAL POSITION IS ALLOWED. THESE SHOULD NOT BE FOLLOWED UNLESS THE ABOVE APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT.

2. BASEMENT INSTALLATION, ALTHOUGH A FORM OF PIT, ARE ALLOWED IF THE FOLLOWING CONDITIONS ARE MET.

A. A DRAIN LARGE ENOUGH TO ALLOW THE MAXIMUM FLOW OF WATER THE SIZE OF "RP" IS CAPABLE OF DISCHARGING UNDER TWICE (2X) THE NORMAL STATIC WATER PRESSURE FOR THE SYSTEM TO DAYLIGHT.

B. SOME TYPE OF HIGH WATER ALARM SYSTEM INSTALLED TO NOTIFY PERSONNEL OF A PROBLEM OCCURRING IN THE AREA, AND/OR

C. NO ELECTRICAL COMPONENTS IN THE SAME GENERAL AREA OF THE ASSEMBLY.

3. ONLY FACTORY SUPPLIED FUNNELS SHALL BE USED TO REMOVE THE PERIODIC DISCHARGE FROM THE ASSEMBLY AND THE PIPING SYSTEM MUST HAVE ADEQUATE AIR GAP AT THE TERMINATION OF THE RUN.

4. FREEZING WEATHER AND OTHER CLIMATIC CONDITIONS MUST BE TAKEN INTO CONSIDERATION WHEN INSTALLING ANY BACK FLOW PREVENTER OUTSIDE OF A PROTECTIVE ENCLOSURE.

5. PLACES OF BUSINESS THAT CANNOT BE WITH A CONTINUOUS SUPPLY OF WATER MUST INSTALL A DUAL INSTALLATION THAT IS TWO "RP" ASSEMBLIES IN PARALLEL, ON THE MAIN SERVICE LINE.

6. REDUCED PRESSURE BACK FLOW PREVENTERS INSTALLED ON DEAD END LINES WILL TAKE SOME SPECIAL CARE. FIRE LINES ARE AN EXAMPLE OF THIS TYPE OF INSTALLATION. WHEN THE MAIN LINE PRESSURE FLUCTUATES, THERE WILL BE A DISCHARGE FROM THE "RP" RELIEF UNIT TO STABILIZE THE ZONE PRESSURE, AND IF FLOW ALARMS ARE INSTALLED THEY MAY BE ACTIVATED. THERE ARE TWO WAYS TO REDUCE THIS PROBLEM LISTED BELOW:

A. A SOFT SEATED SINGLE CHECK VALVE INSTALLED UPSTREAM OR AHEAD OF THE "RP" UNIT WILL STOP OR REDUCE THIS PROBLEM WITHOUT AFFECTING THE OPERATION OF THE ASSEMBLY.

B. A PRESSURE REGULATING VALVE PLACED UPSTREAM OR AHEAD OF THE "RP" ASSEMBLY AND SET AT A PRESSURE AT OR LESS THAN THE LOWEST PRESSURE DROP THAT OCCURS.

C. EITHER OF THESE OPTIONS WILL CREATE ADDITIONAL FLOW LOSS FOR THE FIRE SYSTEM AND MUST BE CONSIDERED BEFORE ACTUAL INSTALLATION IS DONE.

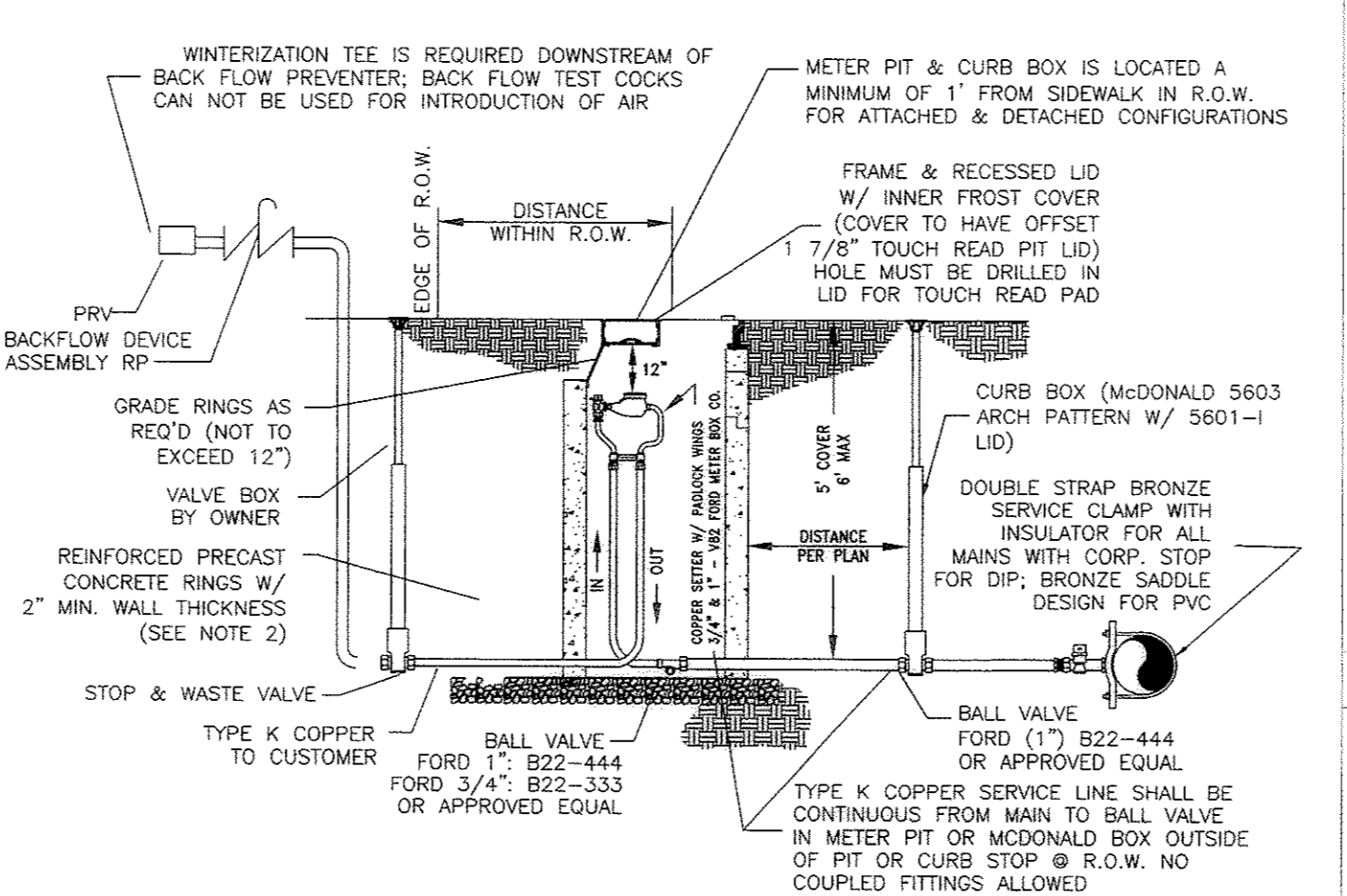
D. THIS SAME METHOD MAY BE USED ON INSTALLATIONS WHERE GREAT MAIN LINE FLUCTUATION BECOMES A NUISANCE ON ASSEMBLIES INSTALLED IN BUILDINGS.

7. ALL ASSEMBLIES INSTALLED WITHIN A CONFIRMED AREA SHOULD MAINTAIN THE MINIMUM SPACING LISTED BELOW.

A. WHEN THE TEST COCKS ARE FACING THE WALL THERE SHOULD BE A MINIMUM OF 24 INCHES (24") FROM THE ASSEMBLY AND THE WALL.

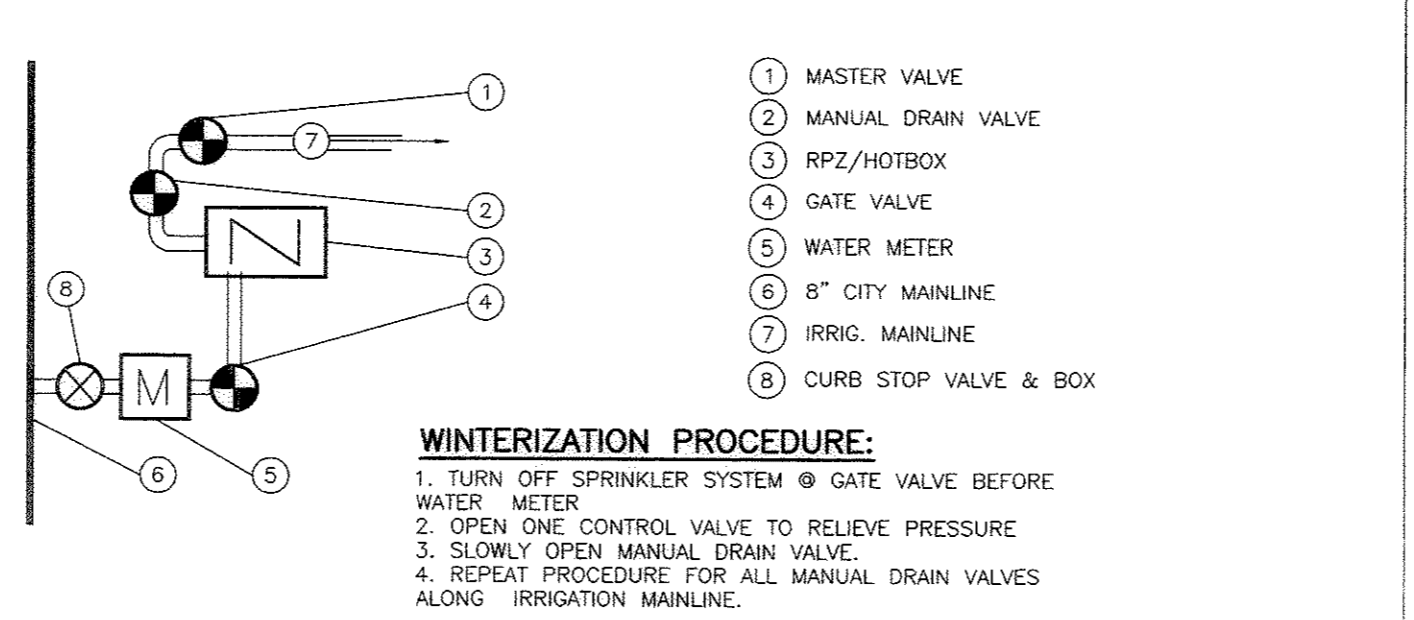
B. WHEN THE TEST COCKS ARE FACING AWAY FROM THE WALL THERE SHOULD BE A MINIMUM OF TWELVE INCHES (12") FROM THE NEAREST WALL.

C. ADJACENT AND OPPOSING WALLS MUST ALLOW ENOUGH ROOM FOR TESTING AND MAINTENANCE. THIS IS GENERALLY LEFT TO THE DISCRETION OF THE LOCAL AUTHORITY BUT SHOULD BE NO LESS THAN THREE FEET (3') OF AIR SPACE IN FRONT OF, AND ABOVE, THE ASSEMBLY. NOTE: CONTACT THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT FOR THEIR REGULATIONS AND REQUIREMENTS FOR VARIANCES FROM THE STANDARD.



NOTE:
METER SUPPLIED & INSTALLED BY THE TOWN.

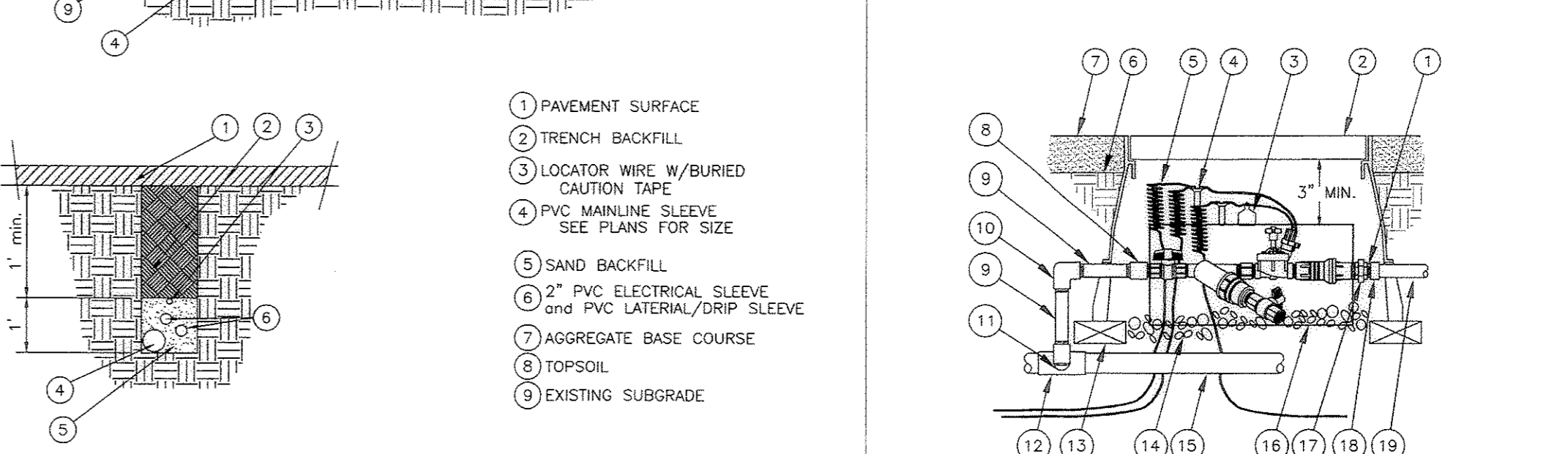
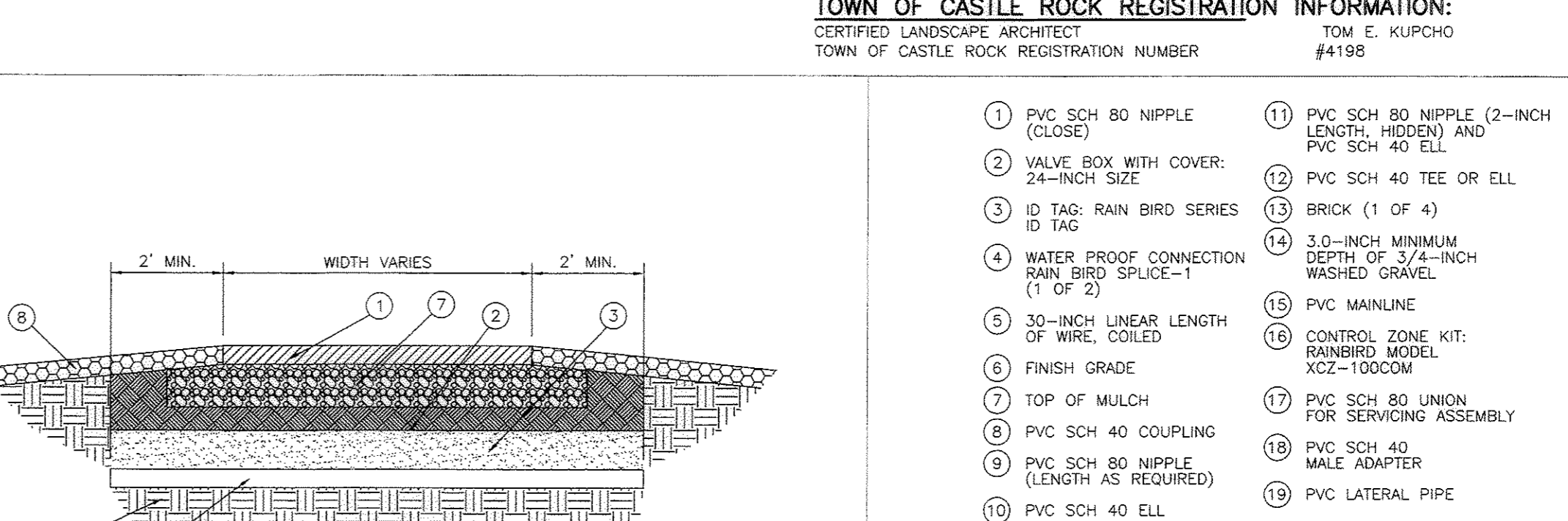
POSITIVE DISPLACEMENT METERS
LAY LENGTH:
 $3/4 \times 5/8 = 7 \frac{1}{2}"$
 $1" = 10 \frac{3}{4}"$



WINTERIZATION PROCEDURE:
1. TURN OFF SPRINKLER SYSTEM @ GATE VALVE BEFORE WATER METER
2. OPEN ONE CONTROL VALVE TO RELIEVE PRESSURE
3. SLOWLY OPEN MANUAL DRAIN VALVE
4. REPEAT PROCEDURE FOR ALL MANUAL DRAIN VALVES ALONG IRRIGATION MAINLINE.

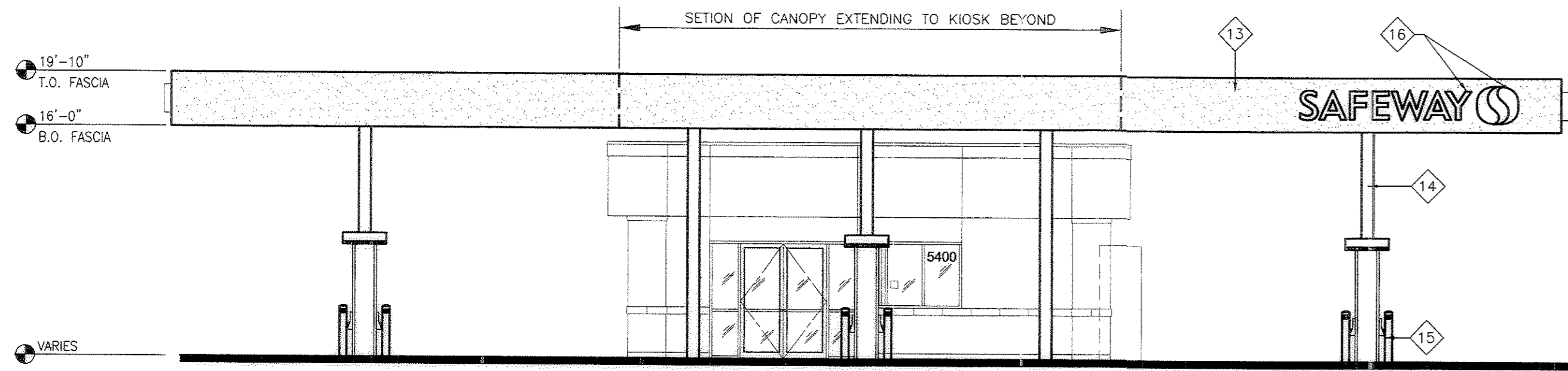
GENERAL IRRIGATION NOTES:

- IRRIGATION PLAN IS A SCHEMATIC DRAWING REPRESENTING DESIRED WATER COVERAGE. CONTACT THE OFFICE OF THE LANDSCAPE ARCHITECT IF UNFORESEEN CIRCUMSTANCES REQUIRE ADJUSTMENTS FROM PLAN AS SHOWN.
- IRRIGATION CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF ANY WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING APPROPRIATE UTILITY OWNERS. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND/OR PAYING ALL FEES ASSOCIATED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WITH LOCAL AUTHORITIES.
- IRRIGATION SYSTEM IS TO CONSIST OF SEPARATE DRIP EMITTER ZONES, POP-UP SPRAY HEAD, AND ROTOR HEAD ZONES, EACH WITH SEPARATE VALVES AND STATIONS ON THE CONTROLLER AS SPECIFIED.
- IRRIGATION CONTROLLER IS TO BE A RAINBIRD WALL MOUNTED HYBRID SOLID STATE TYPE CONTROLLER. CONTROLLER MUST HAVE DUAL PROGRAMMING, DRIP STATIONS, AND BE CAPABLE OF MULTIPLE VALVES PER STATION. IRRIGATION CONTROLLER IS TO BE LOCATED AS INDICATED ON PLANS OR AS DIRECTED BY PROJECT MANAGER. IT SHALL BE THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SIZE OF IRRIGATION MAINLINE AND RPZ.
- EACH ZONE OF THE IRRIGATION SYSTEM IS DESIGNED WITH A MAXIMUM OF 30 GALLONS PER MINUTE AND A WORKING PRESSURE OF 25 PSI AT THE HEAD. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SITE STATIC PRESSURE AND VOLUME OF SITE WATER SUPPLY. IRRIGATION CONTRACTOR SHALL SUBMIT PRESSURE LOSS CALCULATIONS FROM THE SITE WATER SUPPLY (POINT OF CONNECTION TO THE FURTHEST HEAD OF THE LARGEST ZONE AND THE FURTHEST HEAD FROM THE SITE WATER SUPPLY ENSURING THE OWNER AN OPERABLE SYSTEM PRIOR TO COMMENCEMENT OF ANY WORK. THE IRRIGATION SYSTEM WAS DESIGNED WITH A SEPARATE TAP AND METER FROM THE DOMESTIC SERVICE LINE. IF TAP SIZE CHANGES, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- IRRIGATION BLOW-OUT VALVE, ISOLATION GLOBE VALVE, RAIN/FREEZE SENSOR, RPZ ENCLOSURE AND MANUAL DRAIN VALVES ARE TO BE LOCATED IN AREA SHOWN ON PLAN AND/OR AS NOTED IN THE DETAILS. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE ABOVE ITEMS.
- RAIN/FREEZE SENSOR SHALL BE LOCATED NEAR IRRIGATION CONTROLLER AS INDICATED ON PLANS. WIRE SO RAIN/FREEZE SENSOR INTERRUPTS VALVE COMMON WIRE BUT LEAVES CLOCK ACTIVATED.
- MANUAL DRAIN VALVES ARE TO BE LOCATED AT THE ENDS AND LOW POINTS OF THE IRRIGATION MAINLINE. PLACE MANUAL DRAIN VALVES IN A LOCKABLE VALVE BOX FOR EASY ACCESS. PLACE ONE CUBIC FOOT OF GRAVEL BELOW VALVE.
- AUTOMATIC DRAIN VALVES ARE TO BE LOCATED AT ALL LOW POINTS OF IRRIGATION LATERAL LINES. WHERE LOW POINT IS AT THE END OF THE LINE, LOCATE VALVE A MINIMUM OF 12" FROM END SPRINKLER HEAD. PLACE VALVES ON TOP OF ONE CUBIC FOOT OF GRAVEL.
- IRRIGATION RPZ SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SIZE OF RPZ AFTER VERIFYING SITE WATER SUPPLY.
- SEE CIVIL DRAWINGS FOR IRRIGATION POINT OF CONNECTION (TAP) AND WATER SUPPLY. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ABOVE ITEMS AND COORDINATING THE EXACT SIZE WITH IRRIGATION CONTRACTOR.
- ADJUST ALL IRRIGATION EQUIPMENT SO SIDEWALKS, PAVING AND BUILDINGS REMAIN FREE OF OVER SPRAY.
- PROVIDE PVC SLEEVES, AS NOTED ON PLANS, FOR IRRIGATION PIPES AND WIRING THAT CROSSES UNDER ALL PAVING. WIRING AND LATERAL LINES SHALL BE INSTALLED IN A SEPARATE SLEEVE WHERE IT CROSSES UNDER ALL PAVING.
- IRRIGATION CONTRACTOR SHALL PROVIDE FOUR (4) ADDITIONAL IRRIGATION CONTROL WIRES ALONG MAINLINE FOR FUTURE EXPANSION. STUB ADDITIONAL CONTROL WIRES INTO BACK OF IRRIGATION CONTROLLER.
- DRIP IRRIGATION SHALL BE CONSTRUCTED USING PRESSURE COMPENSATING POLYLINE AND EMITTERS AS NOTED ON PLANS.
- USE THE FOLLOWING GUIDELINES WHEN INSTALLING DRIP EMITTERS:
 - 17.A. 1 DRIP EMITTER XB-20PC (20GPH) PER 1 GALLON AND SMALLER
 - 17.B. 2 DRIP EMITTERS XB-20PC (20GPH) PER 5 GALLON AND SMALLER
 - 17.C. 3 DRIP EMITTERS XB-20PC (20GPH) PER 15 GALLON AND SMALLER
 - 17.D. 4 DRIP EMITTERS PC-07 (7GPH) PER 1" TO 2-1/2" CALIPER TREE.
- WHEN INSTALLING IRRIGATION PIPE ALONG CURBS OR IN ISLANDS, PLACE PIPE AS CLOSE TO CURB AS POSSIBLE TO ALLOW FOR PLANTING TREES, SHRUBS, AND GROUND COVERS TO AVOID CLIPPING WITH PIPE LOCATION.
- AFTER COMPLETION OF INSTALLATION OF IRRIGATION SYSTEM, IRRIGATION CONTRACTOR SHALL PROVIDE THE FOLLOWING:
 - 19.A. ACCURATE AND COMPLETE "AS BUILT" PLANS OF IRRIGATION SYSTEM INCLUDING 8-1/2" x 11" ZONE MAP TO BE PLACED INSIDE CONTROLLER BOX.
 - 19.B. ONE HOUR OF TRAINING TO OWNER ON IRRIGATION SYSTEM, CONTROLLER, AND FUNCTION.
 - 19.C. TEN PERCENT (10%) EXTRA OF EACH TYPE OF HEAD AND EMITTER INSTALLED.
- WHEN FEASIBLE CLUSTER VALVES IN GROUPS, MINIMUM 2 VALVES PER VALVE BOX.
- QUANTITIES ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY NUMBER AND LINEAL FEET OF HEADS, VALVES, PIPE AND SLEEVING AS SHOWN ON PLANS.
- PLEASE VERIFY LOCATIONS OF THE BACKFLOW PREVENTER WITH LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- NO OVER HEAD IRRIGATION SHALL BE USED IN THE R.O.W.
- THERE ARE NO SPRAY HEADS LOCATED IN ANY AREAS 10' OR LESS IN WIDTH.
- THIS DRIP IRRIGATION SYSTEM IS HYDRO-ZONED. THE WATER NEEDS OF LIKE PLANTS SHOULD BE ON THE SAME ZONES TO MEET LIKE WATERING NEEDS.
- THE TOWN OF CASTLE ROCK PROVIDES A MINIMUM OF 43PSI.

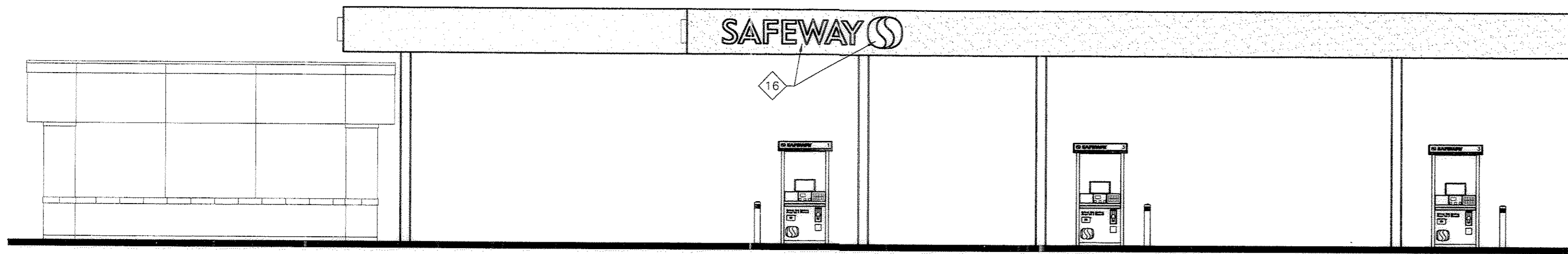


FINAL PD SITE PLAN

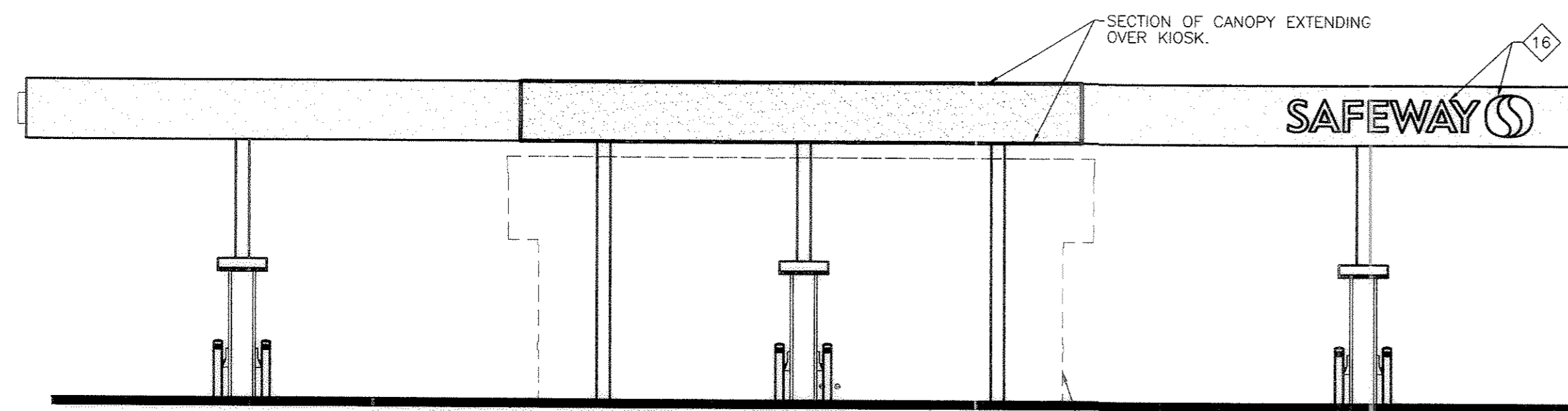
LOT 1, THE CENTRE ON PLUM CREEK FILING NO. 3
 LOCATED IN THE SW 1/4 OF SECTION 11, T. 8 S., R. 67 W., 6th P.M.,
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



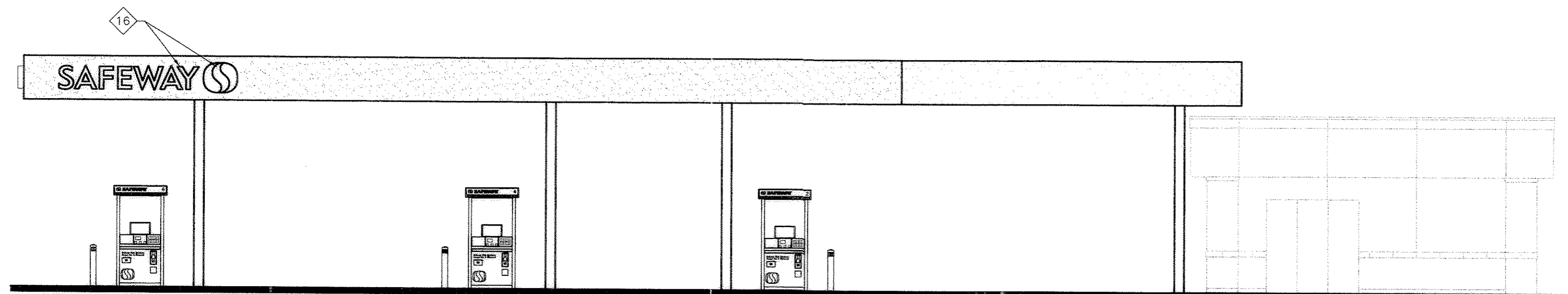
1 SOUTH CANOPY AND KIOSK ELEVATION
 SCALE: 1/8" = 1'-0"



2 WEST CANOPY AND KIOSK ELEVATION
 SCALE: 1/8" = 1'-0"

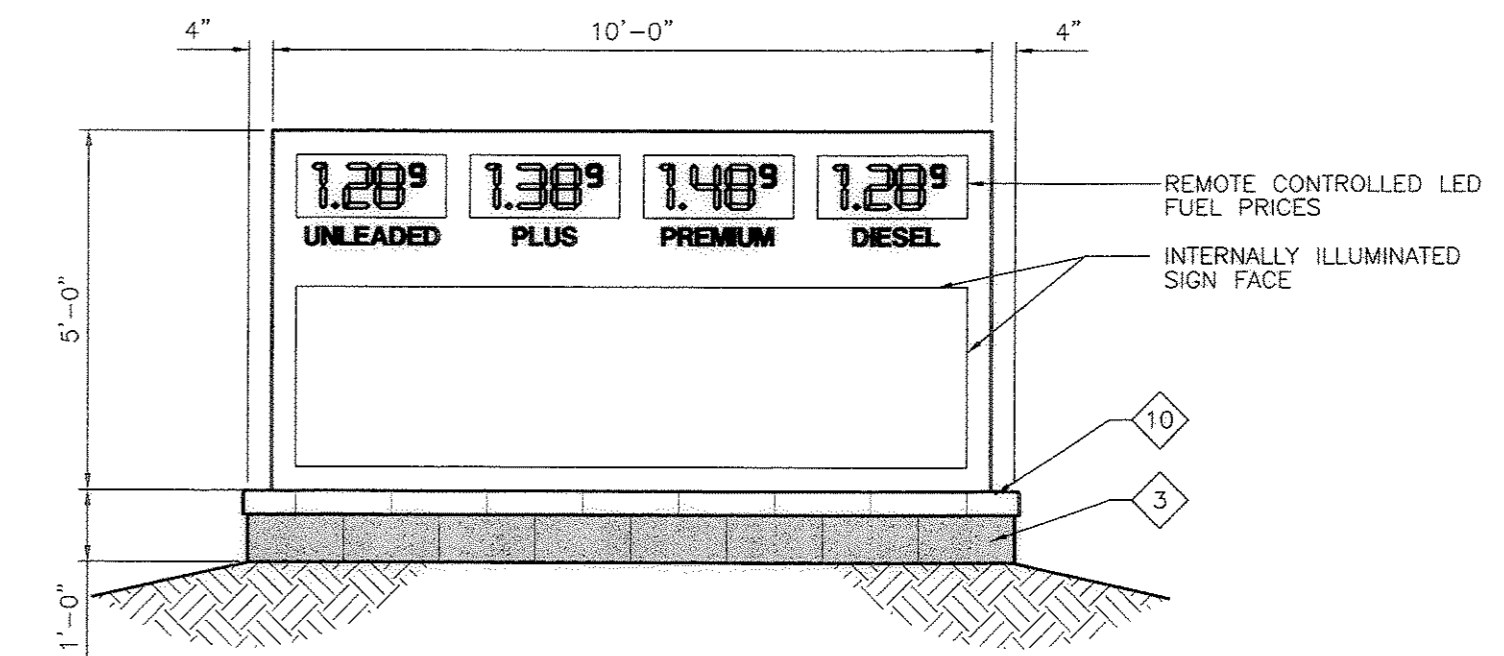


3 NORTH CANOPY KIOSK ELEVATION
 SCALE: 1/8" = 1'-0"

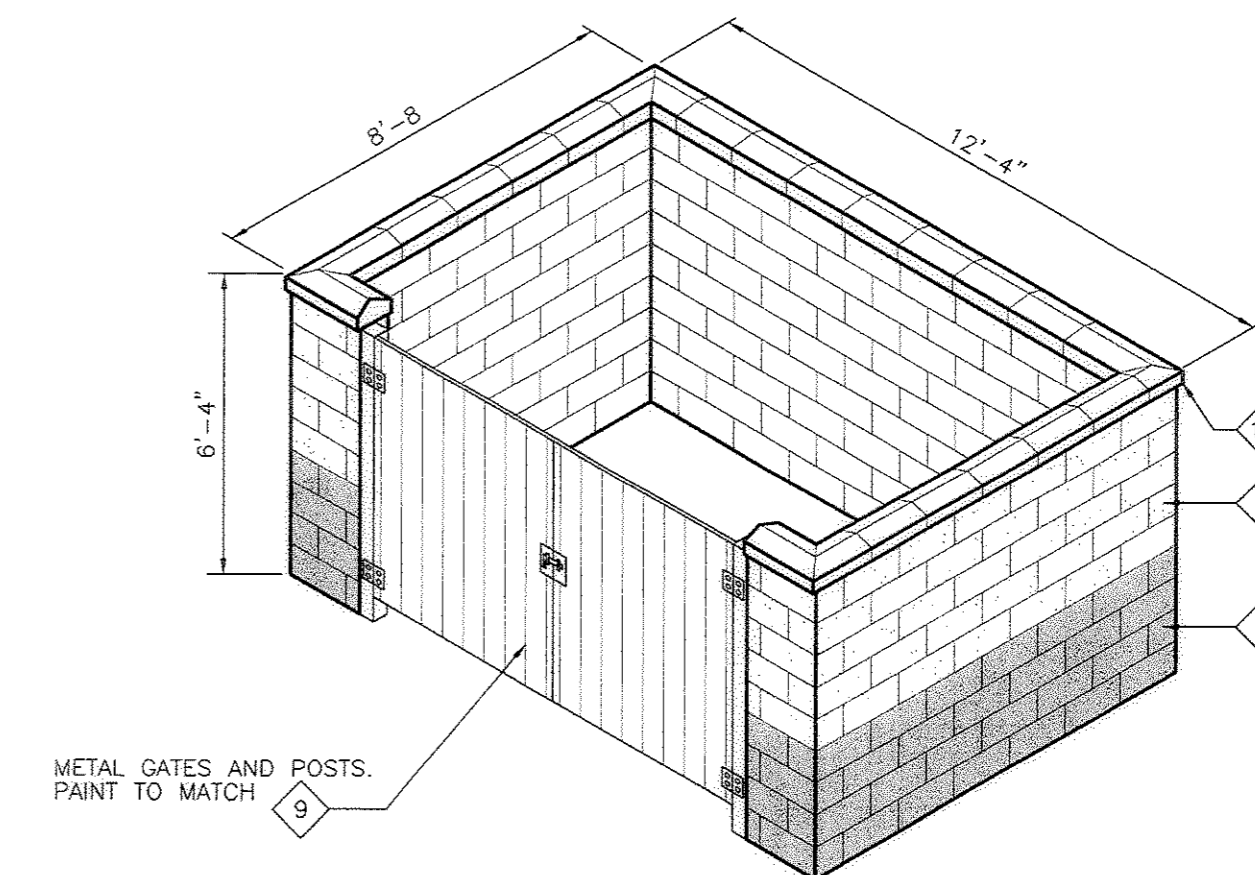


4 EAST CANOPY KIOSK ELEVATION
 SCALE: 1/8" = 1'-0"

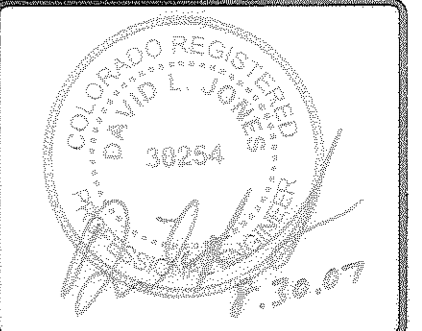
MATERIALS LEGEND	
1	EIFS OFF-WHITE FIELD COLOR TO MATCH SAFEWAY GROCERY STORE
2	SPLIT FACE CMU FIELD, STAIN/SEAL TO MATCH SAFEWAY GROCERY STORE OFF-WHITE FIELD COLOR
3	GROUND FACE CMU TO MATCH SAFEWAY GROCERY STORE WAINSCOT
4	CLEAR ANODIZED ALUMINUM STOREFRONT TO MATCH SAFEWAY GROCERY STORE
5	METAL CAP FLASHING, PAINT TO MATCH CREAM COLOR EIFS OF SAFEWAY GROCERY STORE
6	STEEL BOLLARD WITH RED SHEATHING
7	SURFACE MOUNTED WALL SIGN
8	EIFS CREAM ACCENT COLOR TO MATCH SAFEWAY GROCERY STORE
9	HOLLOW METAL DOOR, PAINT TO MATCH 3
10	GRAY PRECAST CONCRETE SILL CAP
11	NOT USED
12	SPLIT FACE CMU ACCENT, STAIN/SEAL TO MATCH CREAM ACCENT COLOR OF SAFEWAY GROCERY STORE
13	ACM CANOPY FASCIA WITH STUC-O-FLEX FINISH COLOR TO MATCH OFF-WHITE FIELD COLOR OF SAFEWAY GROCERY STORE
14	METAL CANOPY COLUMN, PAINT TO MATCH CREAM COLOR OF SAFEWAY GROCERY STORE
15	6" DIA. STEEL PIPE BOLLARD, PAINT SAFEWAY WHITE
16	INTERNALLY ILLUMINATED SIGNAGE - TYPICAL CANOPY (4) - 31.6 SQ. FT. EACH



5 MONUMENT SIGN ELEVATION
 SCALE: 3/8" = 1'-0"



6 TRASH ENCLOSURE ISOMETRIC
 SCALE: N.T.S.



NO.	DATE	REVISIONS

Galloway
 Planning, Architecture, Engineering
 5350 DTC Parkway, Suite 200, Denver, CO 80111
 303.770.3884
 303.770.3859 F
 www.gallowayUS.com

PROJECT NO.	SA11.1
DRAWN BY:	TMR
CHECKED BY:	MDC
DATE:	NOVEMBER, 2006
FILE NAME:	SA11.1_P_08-Cnpy Elev

SAFEWAY FUELING
 S. PERRY STREET &
 PLUM CREEK PKWY
 CASTLE ROCK, COLORADO
 STORE # 1877

SHEET TITLE
 CANOPY ELEVATIONS
 FPD 06-008

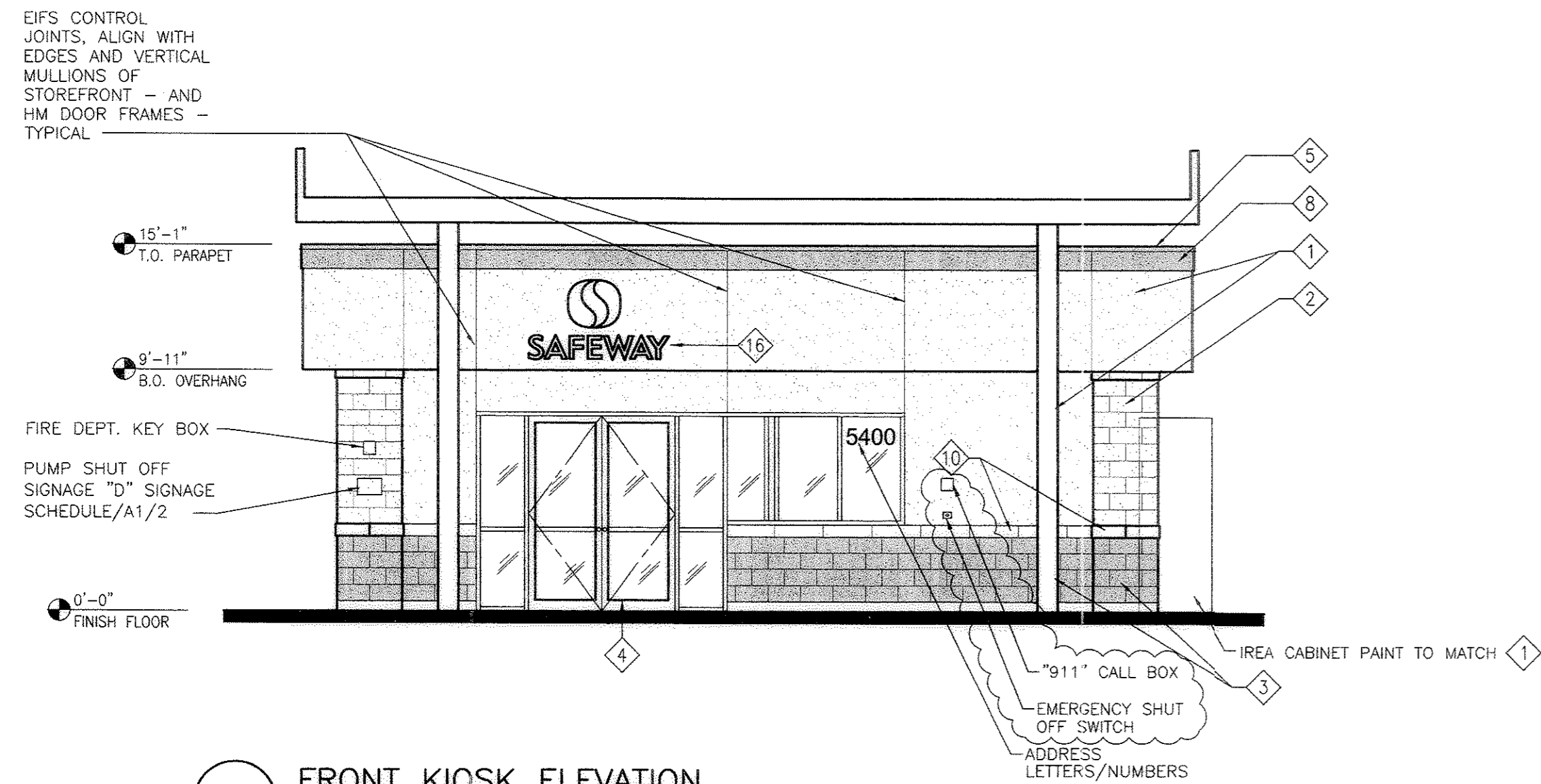
PHASE:

SHEET NO.
 10 of 11

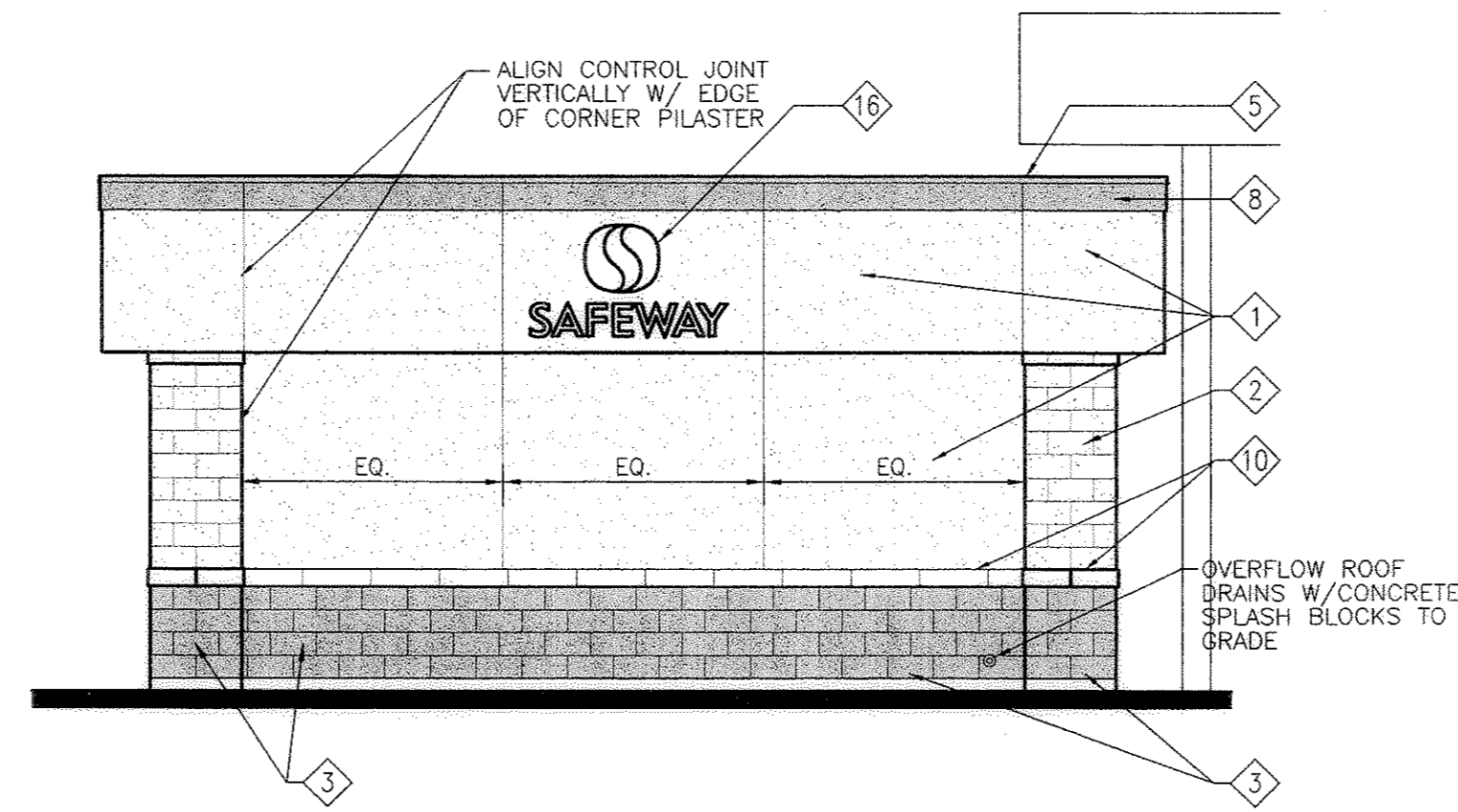
09/28/2007 8:25:05 AM
 DRAWING: R. SAFEMART (SA11.1) - PERRY & PLUM CREEK - CASTLE ROCK (PLANIMETER) (SA11.1)_S1-COPY_ELEVATION

FINAL PD SITE PLAN

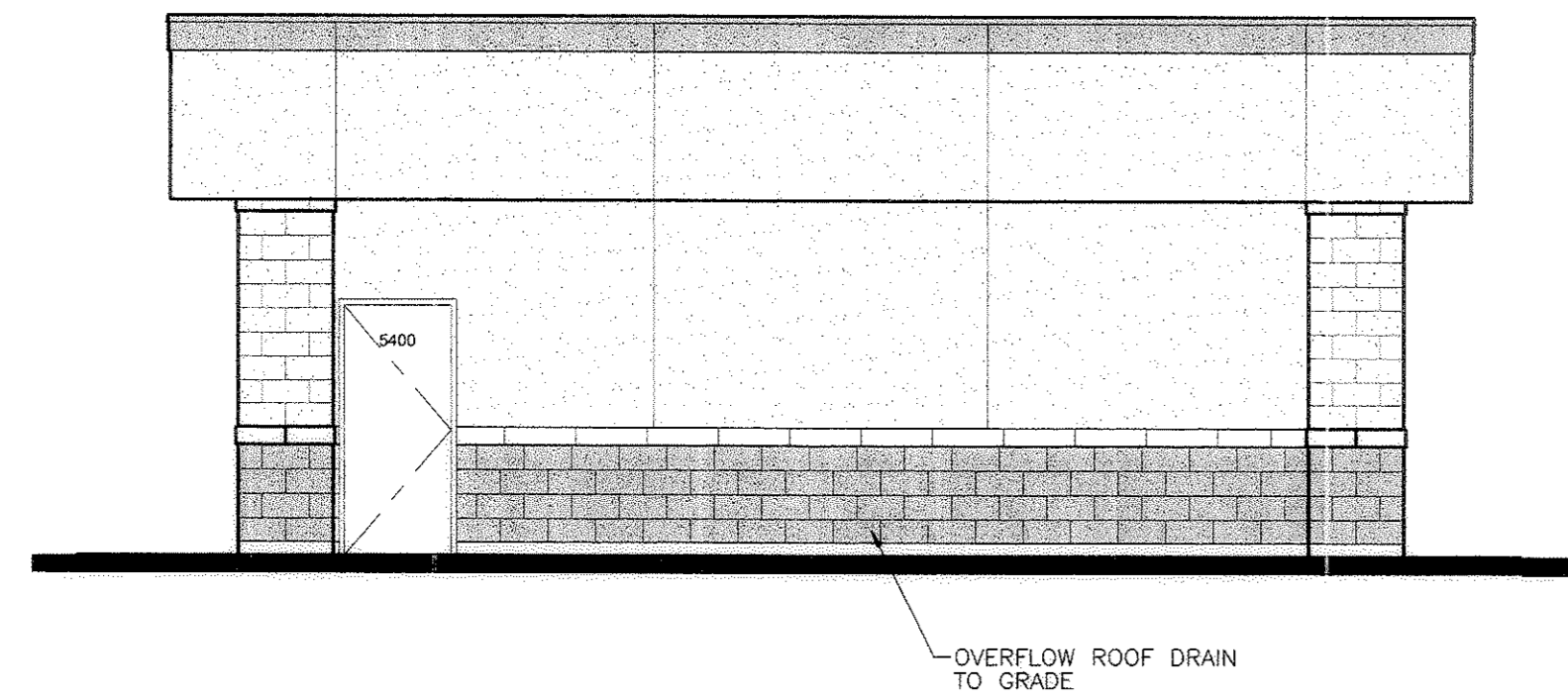
LOT 1, THE CENTRE ON PLUM CREEK FILING NO. 3
 LOCATED IN THE SW 1/4 OF SECTION 11, T. 8 S., R. 67 W., 6th P.M.,
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



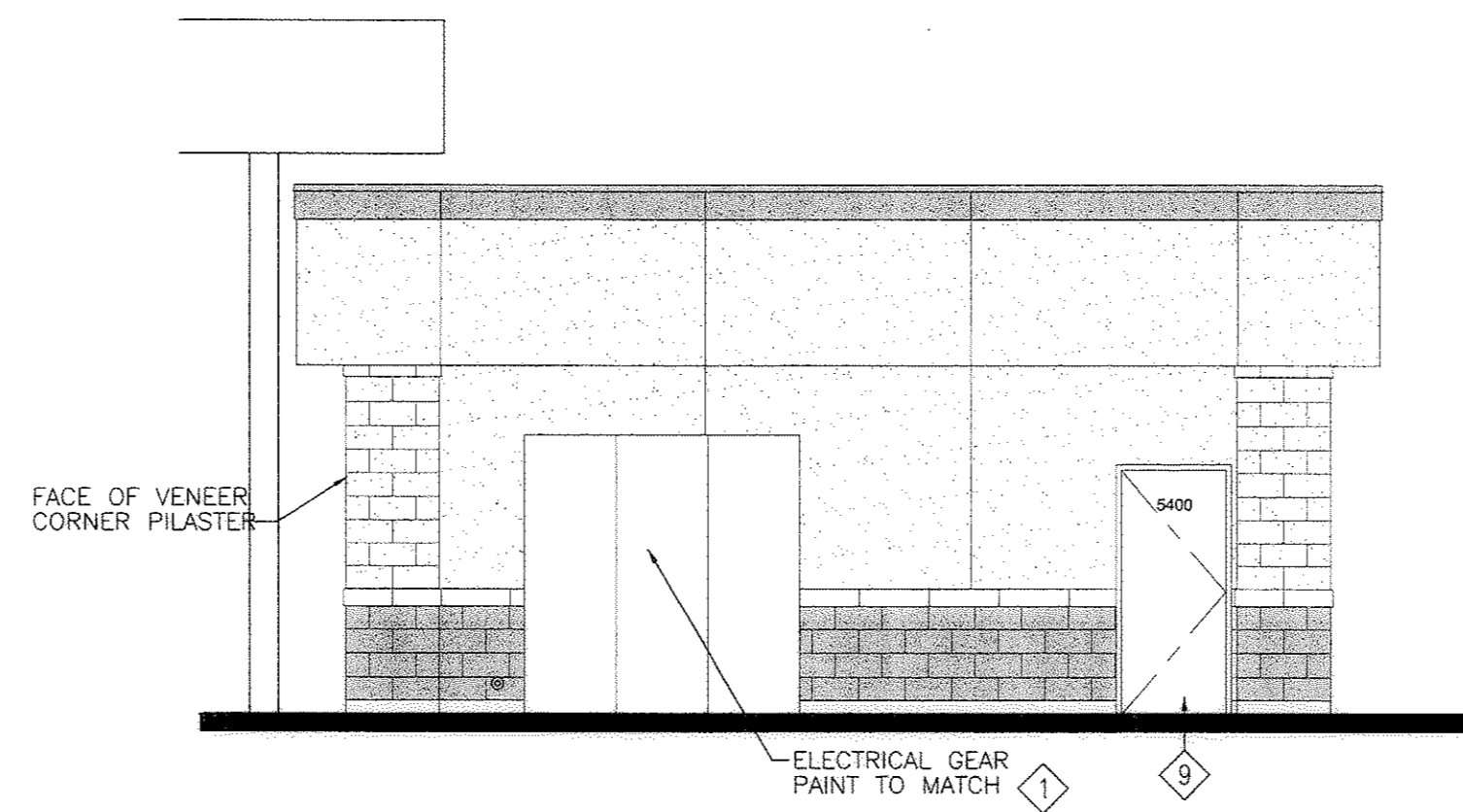
1 FRONT KIOSK ELEVATION
 SCALE: 3/16" = 1'-0"



2 LEFT SIDE KIOSK ELEVATION
 SCALE: 3/16" = 1'-0"



3 REAR KIOSK ELEVATION
 SCALE: 3/16" = 1'-0"



4 RIGHT SIDE KIOSK ELEVATION
 SCALE: 3/16" = 1'-0"

MATERIALS LEGEND	
1	EIFS OFF-WHITE FIELD COLOR TO MATCH SAFEWAY GROCERY STORE
2	SPLIT FACE CMU FIELD, STAIN/SEAL TO MATCH SAFEWAY GROCERY STORE OFF-WHITE FIELD COLOR
3	GROUND FACE CMU TO MATCH SAFEWAY GROCERY STORE WAINSCOT
4	CLEAR ANODIZED ALUMINUM STOREFRONT TO MATCH SAFEWAY GROCERY STORE
5	METAL CAP FLASHING, PAINT TO MATCH CREAM COLOR EIFS OF SAFEWAY GROCERY STORE
6	STEEL BOLLARD WITH RED SHEATHING
7	SURFACE MOUNTED WALL SIGN
8	EIFS CREAM ACCENT COLOR TO MATCH SAFEWAY GROCERY STORE
9	HOLLOW METAL DOOR, PAINT TO MATCH 3
10	GRAY PRECAST CONCRETE SILL CAP
11	NOT USED
12	SPLIT FACE CMU ACCENT, STAIN/SEAL TO MATCH CREAM ACCENT COLOR OF SAFEWAY GROCERY STORE
13	ACM CANOPY FASCIA WITH STUC-O-FLEX FINISH COLOR TO MATCH OFF-WHITE FIELD COLOR OF SAFEWAY GROCERY STORE
14	METAL CANOPY COLUMN, PAINT TO MATCH CREAM COLOR OF SAFEWAY GROCERY STORE
15	6" DIA. STEEL PIPE BOLLARD, PAINT SAFEWAY WHITE
16	INTERNALLY ILLUMINATED SIGNAGE - TYPICAL (2) KIOSK SIGN - 11.0 SQ. FT.



SAFEMARK



NO	DATE



Galloway
 Planning, Architecture & Engineering
 5560 DTC Parkway, Suite 200
 Greenwood Village, CO 80111
 303.770.8884
 303.770.9636
 www.galloway.us.com

PROJECT NO.	SA11.1
DRAWN BY:	TMR
CHECKED BY:	MDC
DATE:	NOVEMBER, 2006
FILE NAME:	SA11.1_P_09_Kiosk Elev.dwg

SAFEMARK FUELING & SERVICE CENTER
 S. PERRY STREET & PLUM CREEK PKWY
 CASTLE ROCK, COLORADO
 STORE # 1877

SHEET TITLE
KIOSK EXTERIOR ELEVATIONS
FPD 06-008
PHASE:
SHEET NO.
11 of 11

08/29/2007 05:24:08 P.M. \\server\projects\11-11-06\11-11-06.dwg