

# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

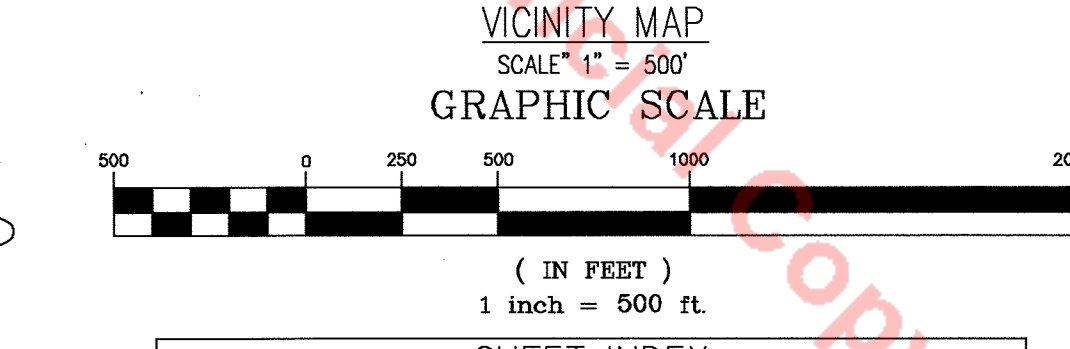
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

**SITE DEVELOPMENT PLAN GENERAL NOTES**

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THIS PROPERTY IS LOCATED WITHIN UNSHADED ZONE X AS PER FEMA FIRM PANEL NO. 189 OF 495 DATED MARCH 16, 2018.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOORS ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THIS SITE IS ZONED PUB. VILLAGES AT CASTLE ROCK, DATED 8/11/1981, REC# 272708.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- PER THE TIA, ROW DEDICATION TO CDDT AND OFF-SITE IMPROVEMENTS TO FOUNDERS PARKWAY TO INCLUDE A NORTHBOUND RIGHT TURN LANE APPROACHING THE INTERSECTION OF FOUNDERS PARKWAY AT ALPHA DR. ARE NECESSARY TO MITIGATE THE TRAFFIC IMPACTS OF THIS DEVELOPMENT. THESE OFF-SITE IMPROVEMENTS ARE THE RESPONSIBILITY OF THE DEVELOPER AND WILL BE FURTHER DETAILED WITHIN THE CORRESPONDING PLAT AND SIA.

**FIRE NOTES**

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- NO PARKING FIRE LANE SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANE FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.



| SHEET NUMBER | SHEET TITLE                |
|--------------|----------------------------|
| 1            | COVER SHEET                |
| 2            | OVERALL SITE PLAN          |
| 3            | SITE PLAN                  |
| 4            | SITE PLAN                  |
| 5            | SITE PLAN                  |
| 6            | SITE PLAN                  |
| 7            | GRADING PLAN               |
| 8            | GRADING PLAN               |
| 9            | GRADING PLAN               |
| 10           | GRADING PLAN               |
| 11           | UTILITY PLAN               |
| 12           | UTILITY PLAN               |
| 13           | UTILITY PLAN               |
| 14           | UTILITY PLAN               |
| 15           | PHOTO-SIMULATIONS PLAN     |
| 16           | LANDSCAPE COVER SHEET      |
| 17           | LANDSCAPE PLAN             |
| 18           | LANDSCAPE PLAN             |
| 19           | LANDSCAPE PLAN             |
| 20           | LANDSCAPE PLAN             |
| 21           | LANDSCAPE PLAN             |
| 22           | LANDSCAPE PLAN             |
| 23           | LANDSCAPE PLAN             |
| 24           | SHADE STRUCTURE ELEVATION  |
| 25           | BUILDING TYPE I ELEVATIONS |
| 26           | BUILDING TYPE I ELEVATIONS |
| 27           | CLUBHOUSE ELEVATIONS       |
| 28           | AUXILIARY BUILDINGS        |
| 29           | GENERAL LIGHTING PLAN      |

| LAND USE                  | AREA (AC) | AREA (SF) | PERCENTAGE |
|---------------------------|-----------|-----------|------------|
| OPEN SPACE/LANDSCAPING    | 9.36      | 407,527   | 35.3%      |
| PRIVATE                   | 7.80      | 339,768   | 29.5%      |
| HARDSCAPE/STREETS/PARKING | 3.65      | 159,145   | 13.8%      |
| BUILDING COVERAGE         | 2.92      | 127,035   | 11.0%      |
| STORMWATER FOND           | 2.75      | 120,008   | 10.4%      |
| TOTAL                     | 26.48     | 1,153,483 | 100.0%     |

| Zoning                              | The Villages at Castle Rock Planned Development (PD)     |                                      |
|-------------------------------------|--|--------------------------------------|
| Use Area                            | Multi-Family (MF)  |                                      |
| Total Dwelling Units                | 238  |                                      |
| 1-bedroom units                     | 102  |                                      |
| 2-bedroom units                     | 92   |                                      |
| 3-bedroom units                     | 44   |                                      |
|                                     | PD Requirement   | Provided (this SDP)                  |
| Permitted Uses                      | As per Section II C of the Village at Castle Rock PD     | Multi-family                         |
|                                     | Zoning Regulations, includes multi-family                | Multi-family                         |
| Private Open Space                  | 20%  | 35.3%                                |
| Maximum Dwelling Units per use area | 20 DU/Acre   | 238 Units / 26.48 Ac.=9.0 DU per Ac. |
| Maximum Building Height             | 50-foot  | 40.6-foot                            |
| Minimum Front Setback*              | 15-foot  | 15-foot                              |
| Minimum Rear Setback*               | 25-foot  | 25.8-foot                            |
| Minimum Side Setback*               | 15-foot  | 80.6-foot                            |
| Minimum Side to Street Setback*     | 15-foot  | 110.8-foot                           |
| Minimum Distance Between Buildings  | 15-foot  | 16.9-foot                            |
| Minimum Parking                     | Total spaces required = 485 spaces                       |                                      |
|                                     | One bedroom unit required 1.5 spaces;                    | 102 x 1.5 = 153 spaces               |
|                                     | Two and three bedroom unit requires 2 spaces;            | 92 x 2 = 184 spaces                  |
|                                     | Plus 1 space per four dwelling units for visitor parking | 44 x 1 = 44 spaces                   |
|                                     |  | 238/4 x 1 = 60 spaces                |
|                                     | Garage spaces provided = 169                             |                                      |
|                                     | Driveway spaces provided = 68                            |                                      |
|                                     | Surface parking provided = 268                           |                                      |
|                                     | Total spaces provided = 505                              |                                      |
| Minimum ADA Parking                 | 2% of total spaces to be ADA                             |                                      |
|                                     | ADA spaces required = 11                                 | ADA spaces provided = 20             |
|                                     |  | Total lot spaces = 505               |

\* Per section VI of the PD zoning regulations this standard to be determined at time of site development plan

**CURRENT OWNER**  
 POPLAR INVESTMENTS INC.  
 C/O PARK LAND COMPANY  
 9800 MT. PYRAMID CT #340  
 ENGLEWOOD, CO 80112

**APPLICANT**  
 THE GARRETT COMPANIES, LLC  
 1051 GREENWOOD SPRINGS BOULEVARD, SUITE 101  
 GREENWOOD, IN 46143  
 TEL: 317-886-7923  
 ATTN: JOSH DESMOND

**DEVELOPER**  
 THE GARRETT COMPANIES, LLC  
 1051 GREENWOOD SPRINGS BOULEVARD, SUITE 101  
 GREENWOOD, IN 46143  
 TEL: 317-886-7923  
 ATTN: JOSH DESMOND

**ARCHITECT**  
 HUMPHREYS & PARTNERS ARCHITECTS, L.P.  
 5339 ALPHA ROAD, SUITE 300  
 DALLAS, TX 75240  
 TEL: 972-701-9636  
 ATTN: DON DAVIS

**ENGINEERING**  
 BOWMAN CONSULTING GROUP, LTD  
 1526 COLE BOULEVARD, SUITE 100  
 LAKEWOOD, CO 80401  
 TEL: 303-801-2900  
 ATTN: ZANE ROSS

**LANDSCAPE ARCHITECT**  
 HUMPHREYS & PARTNERS LANDSCAPE ARCHITECTURE, LLC  
 5339 ALPHA ROAD, SUITE 300  
 DALLAS, TX 75240  
 TEL: 972-701-9636  
 ATTN: DANIEL ERLANDSON

**SURVEYOR**  
 BOWMAN CONSULTING GROUP, LTD  
 1526 COLE BOULEVARD, SUITE 100  
 LAKEWOOD, CO 80401  
 TEL: 303-801-2900  
 ATTN: BRIAN SOCIA

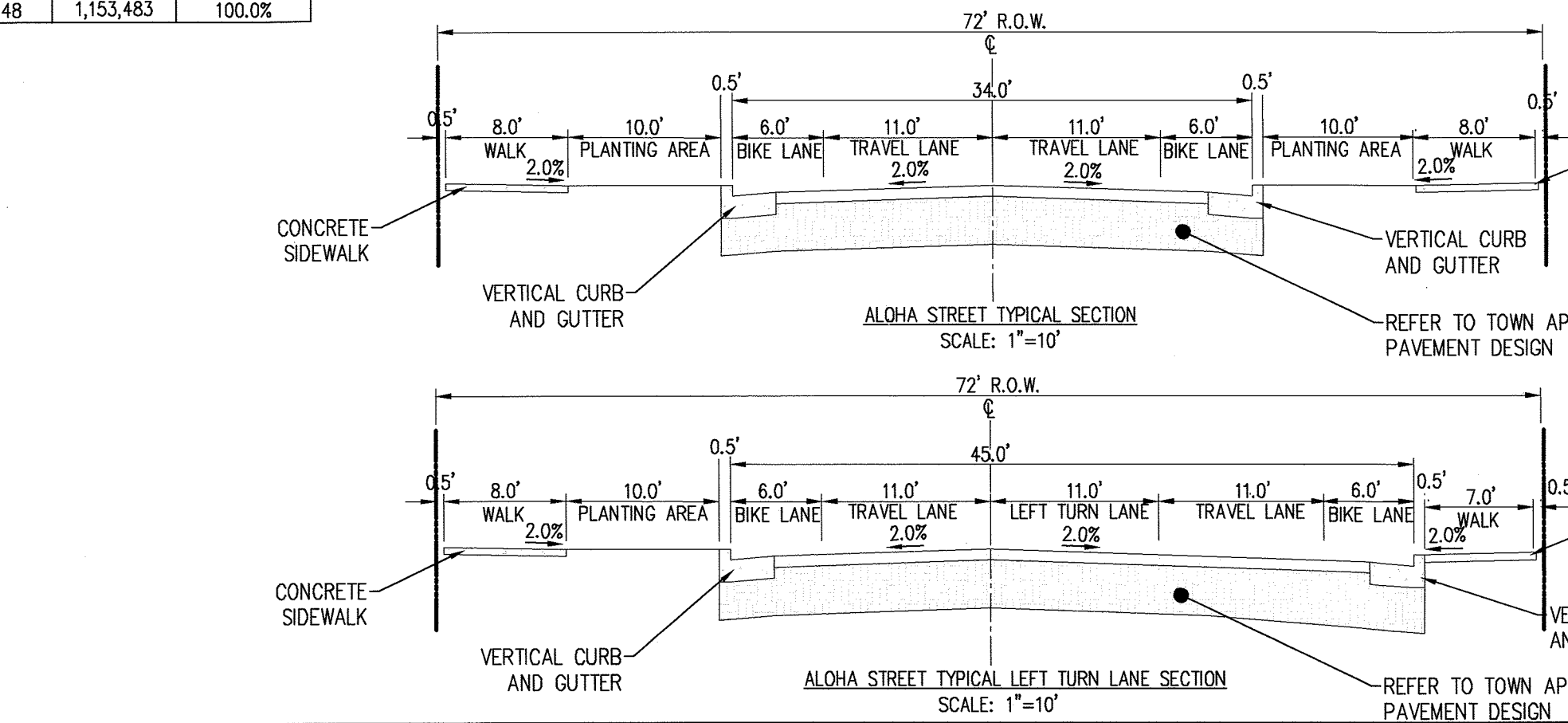
**LEGAL DESCRIPTION**  
 OUTLOT A, CASTLE OAKS, FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO  
 EXCEPTING THEREFROM THOSE PORTIONS DESCRIBED IN WARRANTY DEED RECORDED DECEMBER 30, 1983 IN BOOK 503 AT PAGE 42; AND WARRANTY DEED RECORDED SEPTEMBER 12, 1991 IN BOOK 993 AT PAGE 666; AND SPECIAL WARRANTY DEED RECORDED JUNE 23, 1999 IN BOOK 1724 AT PAGE 950; AND SPECIAL WARRANTY DEED RECORDED MARCH 19, 2009 UNDER RECEPTION NO. 2009018736; AND SPECIAL WARRANTY DEED RECORDED JULY 28, 2011 UNDER RECEPTION NO. 2011045479; AND SPECIAL WARRANTY DEED RECORDED MAY 31, 2016 UNDER RECEPTION NO. 2016034026; AND EXCEPT THAT PORTION LYING WITHIN THE PLAT OF MILLER BOULEVARD, FILING NO. 1 RECORDED MARCH 27, 1986 UNDER RECEPTION NO. 8603132; AND EXCEPT THAT PORTION LYING WITHIN THE PLAT OF FOUNDERS MARKETPLACE FILING NO. 1 RECORDED AUGUST 5, 2004 UNDER RECEPTION NO. 2004081805.

**PLANNING COMMISSION RECOMMENDATION**  
 THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 5th DAY OF May, 2020.  
 Janelle Cart 5/14/20  
 CHAIR  
 ATTEST: Janelle Cart 5/14/20  
 DIRECTOR OF DEVELOPMENT SERVICES  
 TOWN COUNCIL APPROVAL  
 THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 2nd DAY OF June, 2020.  
 J.C. Day 7-7-2020  
 MAYOR  
 ATTEST: J.C. Day 7-7-2020  
 TOWN CLERK

**PLANNING COMMISSION RECOMMENDATION**  
 THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 5th DAY OF June, 2020.  
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 J.C. Day 7-7-2020  
 MAYOR  
 ATTEST: J.C. Day 7-7-2020  
 TOWN CLERK

**BENCHMARK:**  
 5 REBAR - NO CAP ON NORTHERN PROPERTY LINE. ELEVATION=6490.44  
 V.D88. ESTABLISHED USING VRS NETWORK.

**BASIS OF BEARING:**  
 BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER CORNER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, WHICH WAS ASSUMED TO BEAR NORTH 01°18'43" WEST AND IS MONUMENTED AS SHOWN HEREON.



**SURVEYOR'S CERTIFICATE**  
 I, \_\_\_\_\_, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION PRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_



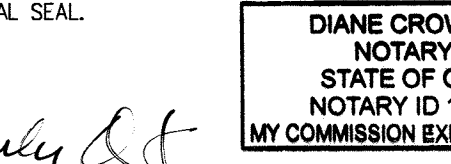
**CIVIL ENGINEER'S STATEMENT**  
 I, \_\_\_\_\_, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



**OWNERSHIP CERTIFICATION**  
 THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND THE STATE OF COLORADO DESCRIBED HEREIN.  
 Janelle Cart, J.P.  
 POPLAR INVESTMENTS, INC., A COLORADO CORPORATION  
 SIGNED THIS 6th DAY OF June, 2020.

**NOTARY BLOCK**  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 6th DAY OF June, 2020 by Janelle Cart, J.P. AS Vice President of POPLAR INVESTMENTS INC.  
 WITNESS MY HAND AND OFFICIAL SEAL.

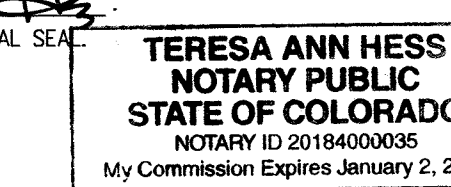


**DIANE CROWLEY ORTIZ**  
 NOTARY PUBLIC  
 STATE OF COLORADO  
 NOTARY ID 19994011256  
 MY COMMISSION EXPIRES APRIL 28, 2022

**TITLE CERTIFICATION**  
 I, \_\_\_\_\_, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantees Company, a TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

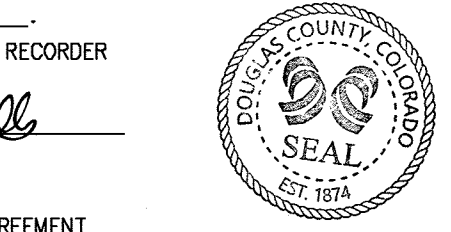
**Author, Charles Gerhart**  
 AUTHORIZED REPRESENTATIVE  
**Land Title Guarantees Company**  
 TITLE COMPANY  
 SIGNED THIS 5th DAY OF June, 2020.

**NOTARY BLOCK**  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 5th DAY OF June, 2020 by Charles Gerhart, AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantees Company.  
 WITNESS MY HAND AND OFFICIAL SEAL.



**TERESA ANN HESS**  
 NOTARY PUBLIC  
 STATE OF COLORADO  
 NOTARY ID 2018400035  
 My Commission Expires January 2, 2022

**NOTARY PUBLIC**  
 MY COMMISSION EXPIRES: \_\_\_\_\_  
 DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE  
 THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 4:13 PM ON THE 8th DAY OF July, 2020, AT RECEPTION NO. 2020059741.  
 DOUGLAS COUNTY CLERK AND RECORDER



BY: **Mike Madsen**  
 DEPUTY

**WATER RIGHTS DEDICATION AGREEMENT**  
 THE SUBDIVISION IMPROVEMENT AGREEMENT WILL ESTABLISH A WATER BANK FOR WATER RIGHTS CREDITS AND DEBITS. ACCORDINGLY, \_\_\_\_\_ SEE WILL BE DEBITED FROM THE PROJECT'S WATER BANK AT THE TIME OF PLAT AND SUBDIVISION IMPROVEMENT AGREEMENT.

SITE DEVELOPMENT PLAN  
 MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
 TOWN OF CASTLE ROCK PROJECT NO. SDP19-0029

**Bowman CONSULTING**  
 1526 Cole Boulevard, Suite 100  
 Lakewood, CO 80401  
 Phone: (303) 801-2900  
 www.bowmanconsulting.com

| REVISION       | DATE     | DESCRIPTION |
|----------------|----------|-------------|
| 1ST SUBMISSION | 10/31/19 |             |
| 2ND SUBMISSION | 01/24/20 |             |
| 3RD SUBMISSION | 03/13/20 |             |
| 4TH SUBMISSION | 04/03/20 |             |
| 5TH SUBMISSION |          |             |

COLORADO

COVER SHEET  
 SITE DEVELOPMENT PLAN  
 MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
 CALIBER AT TERRAIN  
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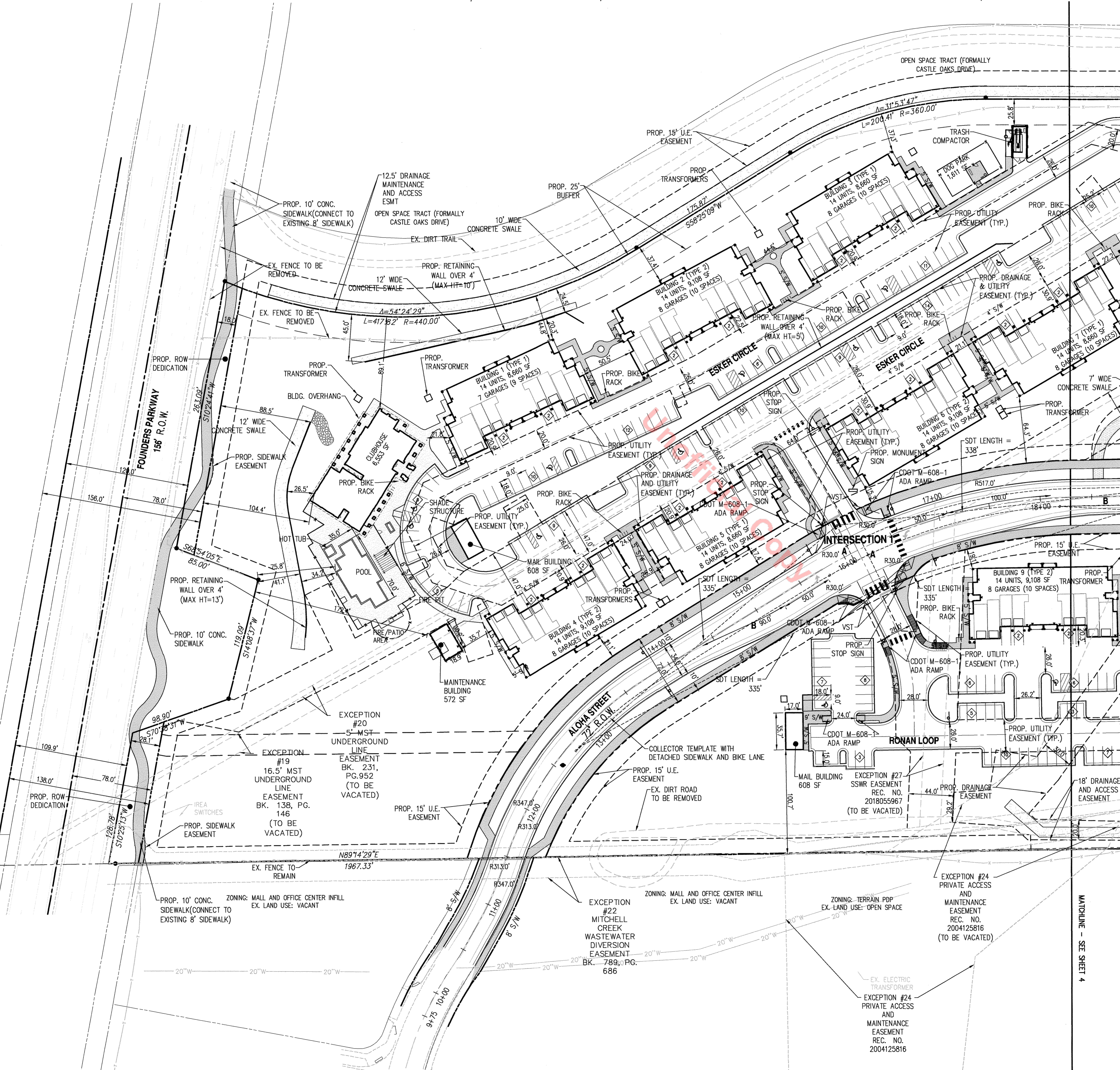
SEAL

| DESIGN  | DRAWN                    | CHKD |
|---------|--------------------------|------|
| RSD     | BKM                      | RSD  |
| Scale   | H: 1" = 500'<br>V: _____ |      |
| Job No. | 020399-01-002            |      |
| DATE    | 10/31/2019               |      |
| SHEET   |                          |      |
| 1 OF 29 |                          |      |



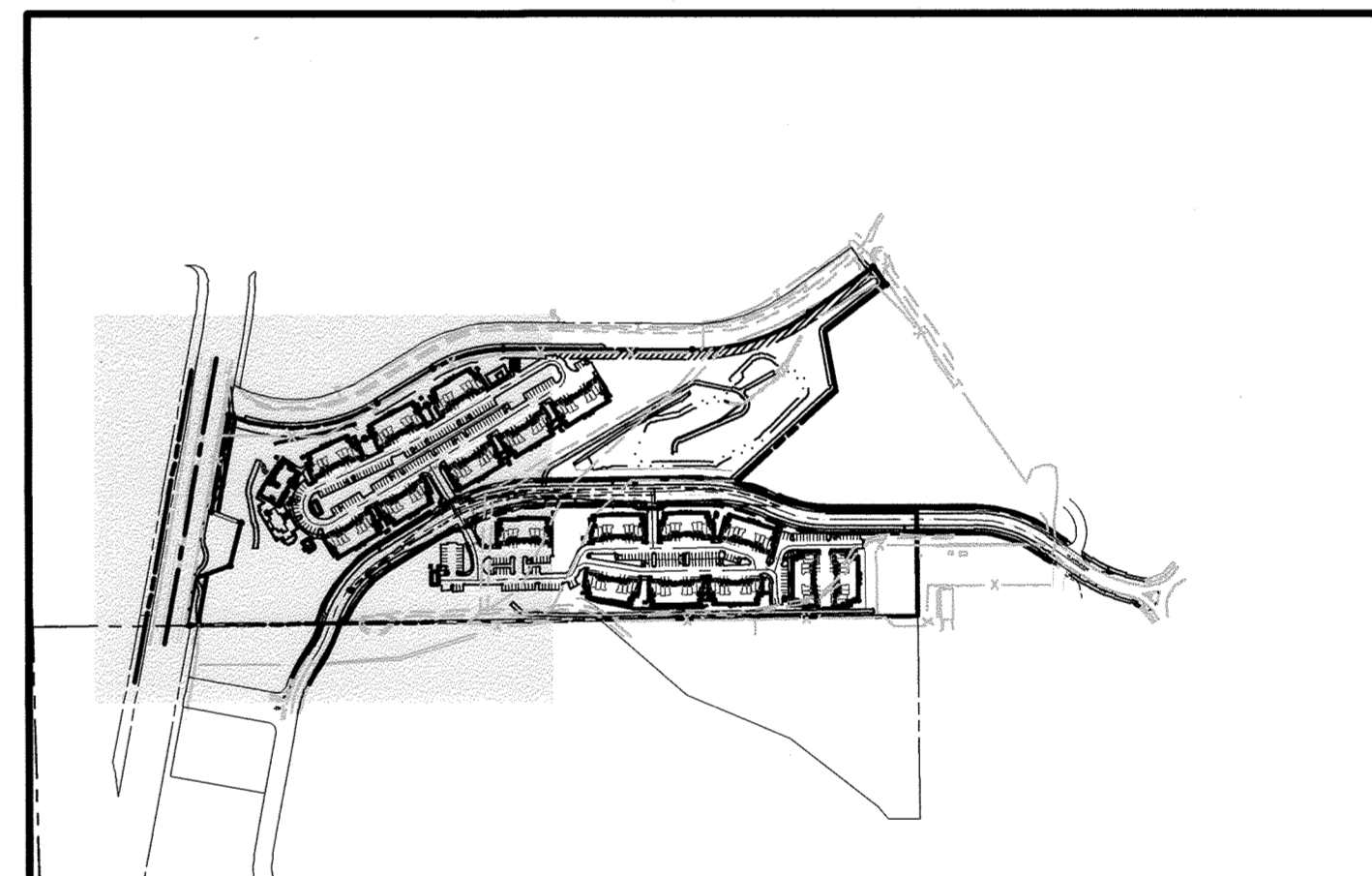
# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



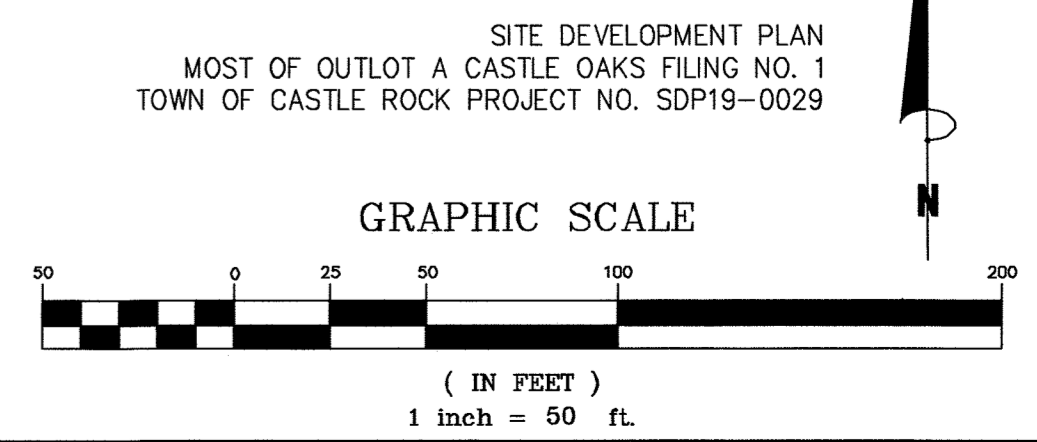
|                              | Intersection 1 |              | Intersection 2 |              |
|------------------------------|----------------|--------------|----------------|--------------|
|                              | Looking East   | Looking West | Looking East   | Looking West |
| Traveling North              |                |              |                |              |
| A Distance (ft)              | 40             | 23           | 40             | 23           |
| B Distance (ft)              | 363            | 339          | 343            | 335          |
| Lane Width (ft)              | 11             | 11           | 11             | 11           |
| Sight Distance Provided (ft) | 335            | 335          | 335            | 336          |
| Sight Distance Required (ft) | 335            | 335          | 335            | 335          |
| Traveling South              |                |              |                |              |
| A Distance (ft)              | 22             | 40           | -              | -            |
| B Distance (ft)              | 315            | 329          | -              | -            |
| Lane Width (ft)              | 11             | 11           | -              | -            |
| Sight Distance Provided (ft) | 338            | 335          | -              | -            |
| Sight Distance Required (ft) | 335            | 335          | -              | -            |

NOTE: ALL STANDARD PARKING SPACES ARE 9' X 18'



| EXISTING | DESCRIPTION              | PROPOSED |
|----------|--------------------------|----------|
|          | PROPERTY LINE            |          |
|          | RIGHT OF WAY             |          |
|          | CENTERLINE               |          |
|          | FENCE LINE               |          |
|          | EASEMENT                 |          |
|          | EDGE OF PAVEMENT         |          |
|          | VERTICAL CURB AND GUTTER |          |
|          | SIGN(S)                  |          |
|          | PARKING COUNT INDICATOR  |          |
|          | SIDEWALK/TRAIL           |          |
|          | CONCRETE SWALE           |          |

VST = VISION SAFETY TRIANGLE, 25' x 25'  
SDT = SIGHT DISTANCE TRIANGLE



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| REVISION       | DATE     | DESCRIPTION |
|----------------|----------|-------------|
| 1ST SUBMISSION | 10/31/19 |             |
| 2ND SUBMISSION | 01/24/20 |             |
| 3RD SUBMISSION | 03/13/20 |             |
| 4TH SUBMISSION | 04/03/20 |             |
| 5TH SUBMISSION |          |             |

SITE PLAN  
 SITE DEVELOPMENT PLAN  
 MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
 CALIBER AT TERRAIN  
 TOWN OF CASTLE ROCK, COLORADO

|        |       |      |
|--------|-------|------|
| DESIGN | DRAWN | CHKD |
| RSD    | BKM   | RSD  |

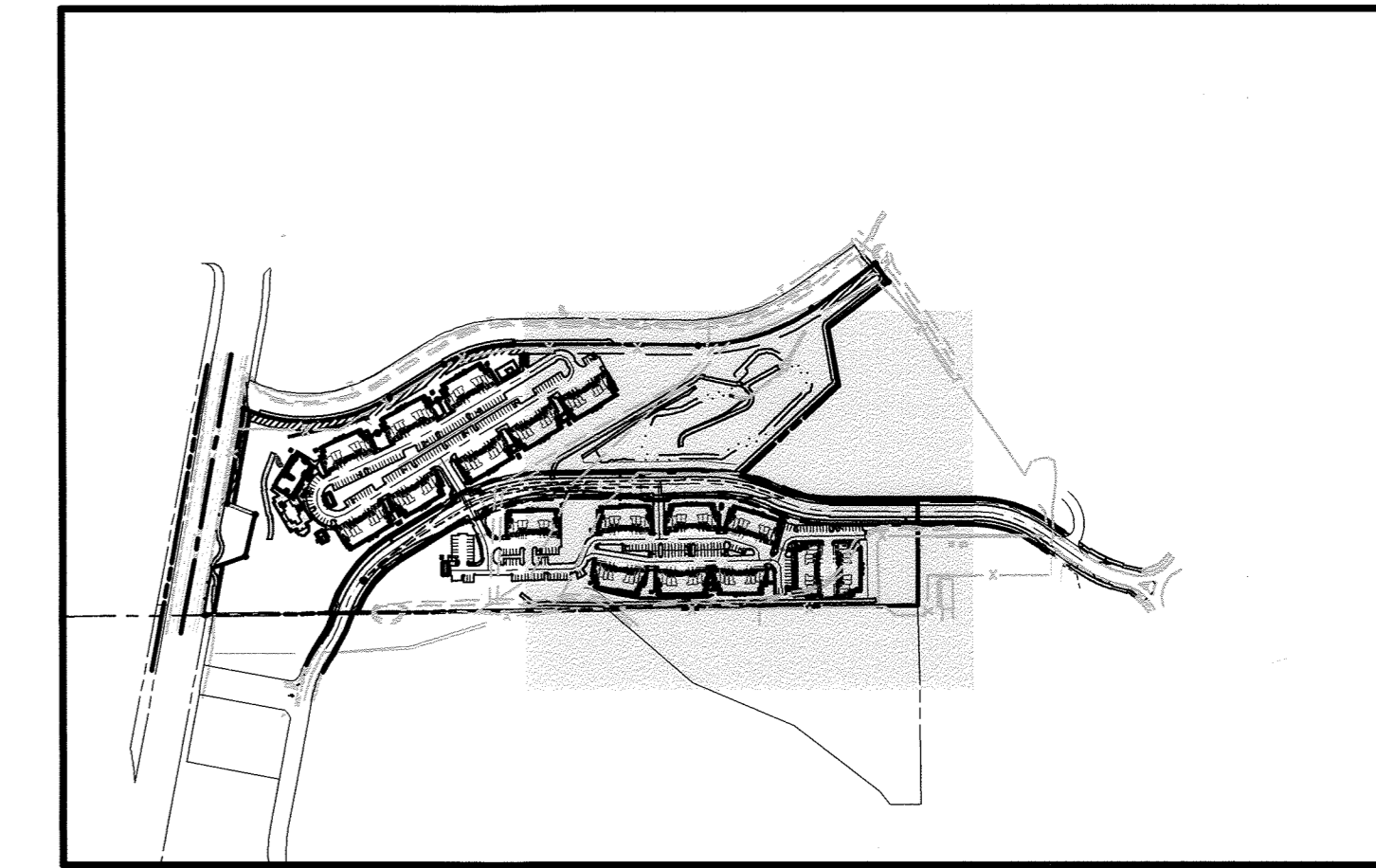
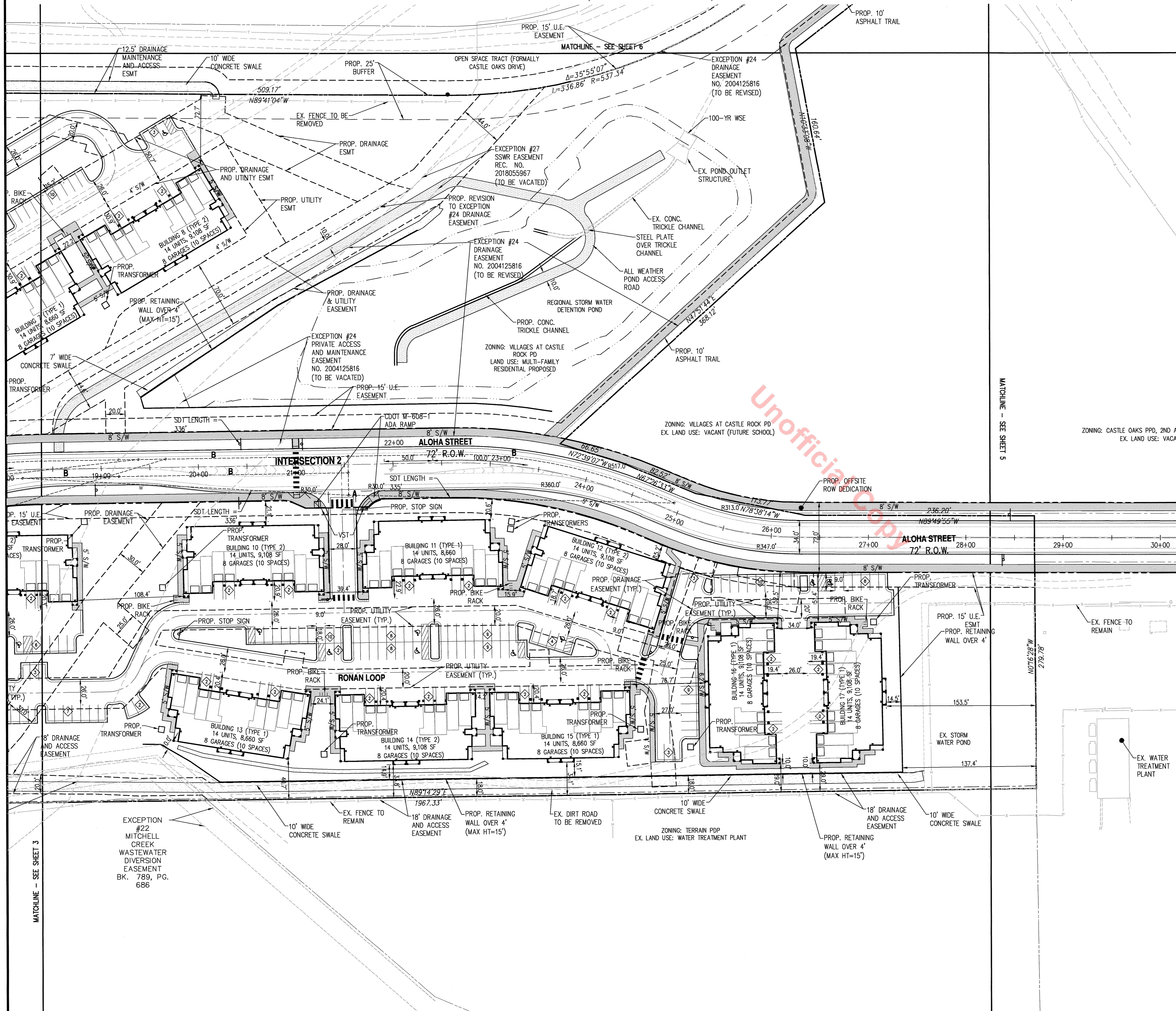
SCALE: H: 1" = 50'  
V: 1" = 50'

JOB No. 020399-01-002  
DATE: 10/31/2019  
SHEET  
3 OF 29

# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1

## CALIBER AT TERRAIN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

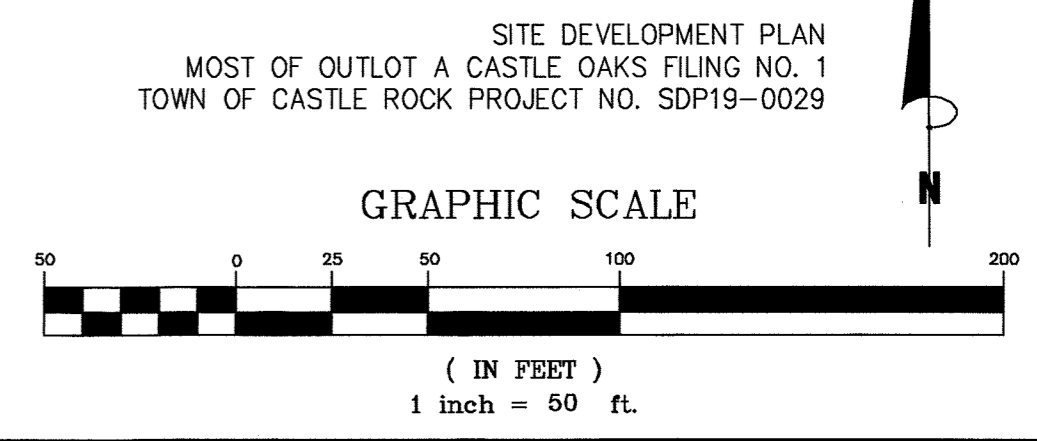


**KEY MAP**  
SCALE: 1" = 500'

|                              | Sight Distance Triangle Summary Table |              |                |              |
|------------------------------|---------------------------------------|--------------|----------------|--------------|
|                              | Intersection 1                        |              | Intersection 2 |              |
|                              | Looking East                          | Looking West | Looking East   | Looking West |
| Traveling North              |                                       |              |                |              |
| A Distance (ft)              | 40                                    | 23           | 40             | 23           |
| B Distance (ft)              | 363                                   | 339          | 343            | 335          |
| Lane Width (ft)              | 11                                    | 11           | 11             | 11           |
| Sight Distance Provided (ft) | 335                                   | 335          | 335            | 336          |
| Sight Distance Required (ft) | 335                                   | 335          | 335            | 335          |
| Traveling South              |                                       |              |                |              |
| A Distance (ft)              | 22                                    | 40           | -              | -            |
| B Distance (ft)              | 315                                   | 329          | -              | -            |
| Lane Width (ft)              | 11                                    | 11           | -              | -            |
| Sight Distance Provided (ft) | 338                                   | 335          | -              | -            |
| Sight Distance Required (ft) | 335                                   | 335          | -              | -            |

| EXISTING | LEGEND DESCRIPTION       | PROPOSED |
|----------|--------------------------|----------|
| ---      | PROPERTY LINE            | ---      |
| ---      | RIGHT OF WAY             | ---      |
| ---      | CENTERLINE               | ---      |
| ---      | FENCE LINE               | ---      |
| ---      | EASEMENT                 | ---      |
| ---      | EDGE OF PAVEMENT         | ---      |
| ---      | VERTICAL CURB AND GUTTER | ---      |
| ---      | SIGN(S)                  | ---      |
| ---      | PARKING COUNT INDICATOR  | ---      |
| ---      | SIDEWALK/TRAIL           | ---      |
| ---      | CONCRETE SWALE           | ---      |

VST = VISION SAFETY TRIANGLE, 25' x 25'  
SDT = SIGHT DISTANCE TRIANGLE



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| REVISION | DATE     | DESCRIPTION    |
|----------|----------|----------------|
| 1        | 10/31/19 | DATE           |
| 2        | 01/24/20 | 2ND SUBMISSION |
| 3        | 03/13/20 | 3RD SUBMISSION |
| 4        | 04/03/20 | 4TH SUBMISSION |
| 5        |          | 5TH SUBMISSION |

SITE PLAN

SITE DEVELOPMENT PLAN

MOST OF OUTLOT A CASTLE OAKS FILING NO. 1

CALIBER AT TERRAIN

TOWN OF CASTLE ROCK

COLORADO

| DESIGN | DRAWN | CHKD |
|--------|-------|------|
| RSD    | BKM   | RSD  |

SCALE: H: 1" = 50'  
V: 1" = 50'

JOB No. 020399-01-002

DATE: 10/31/2019

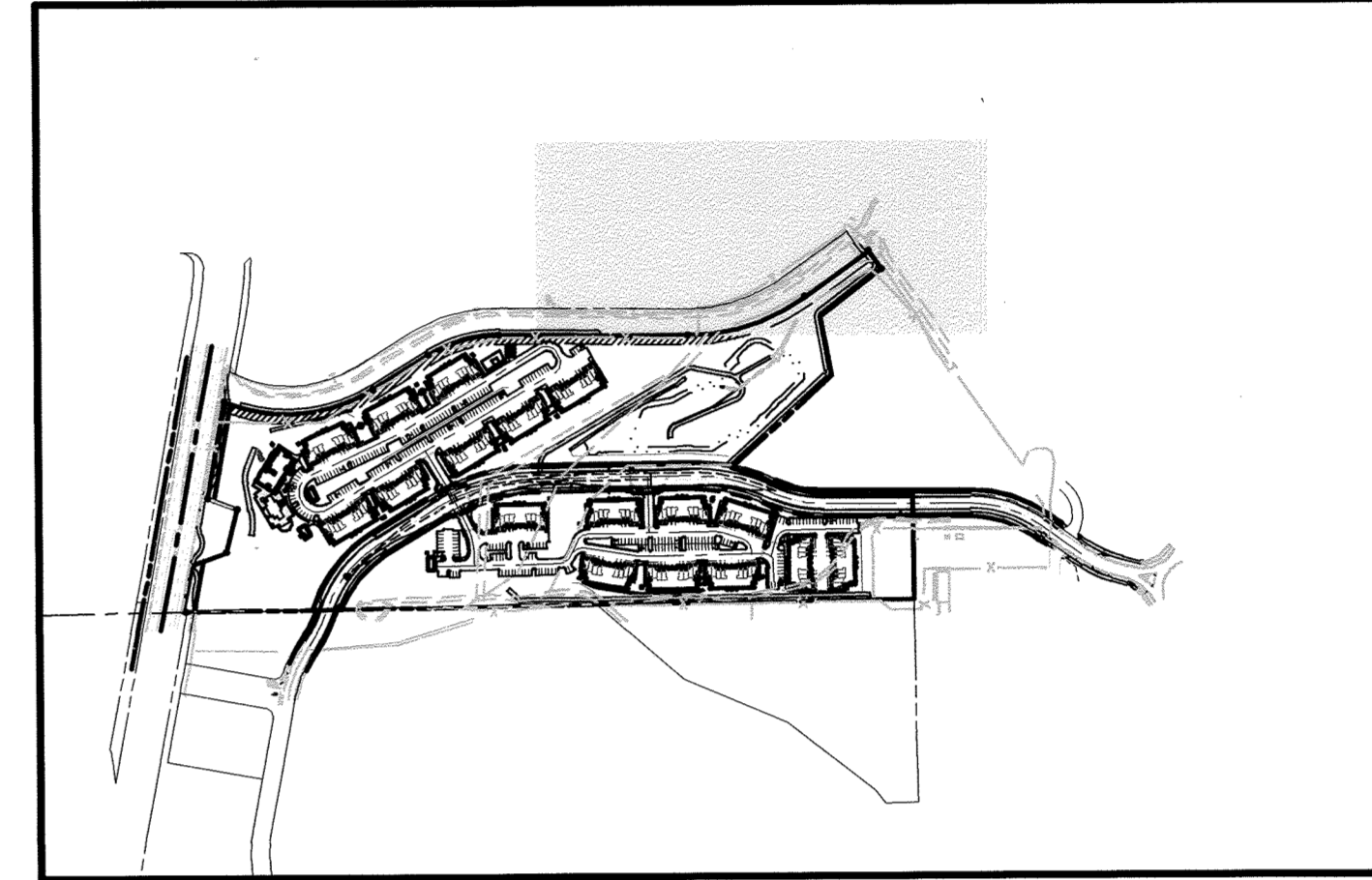
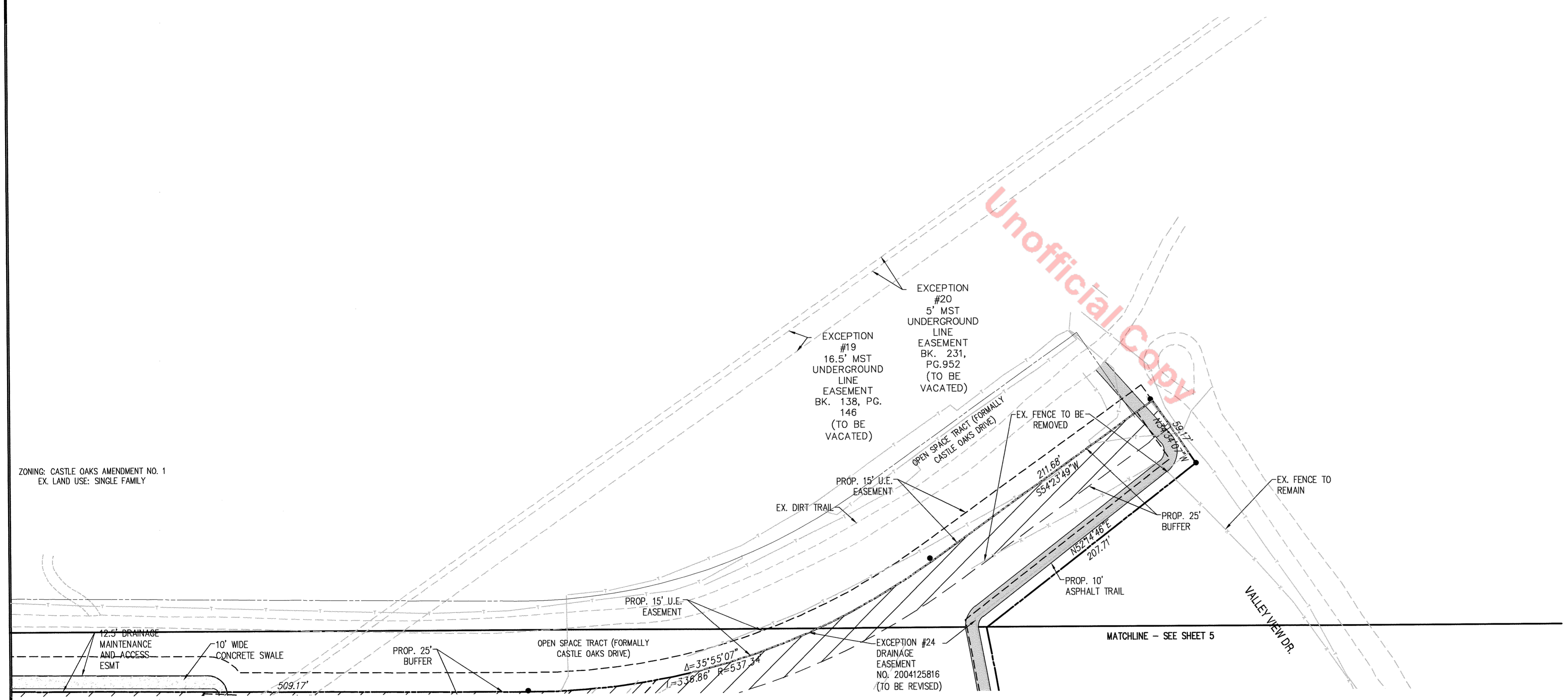
SHEET

4 OF 29



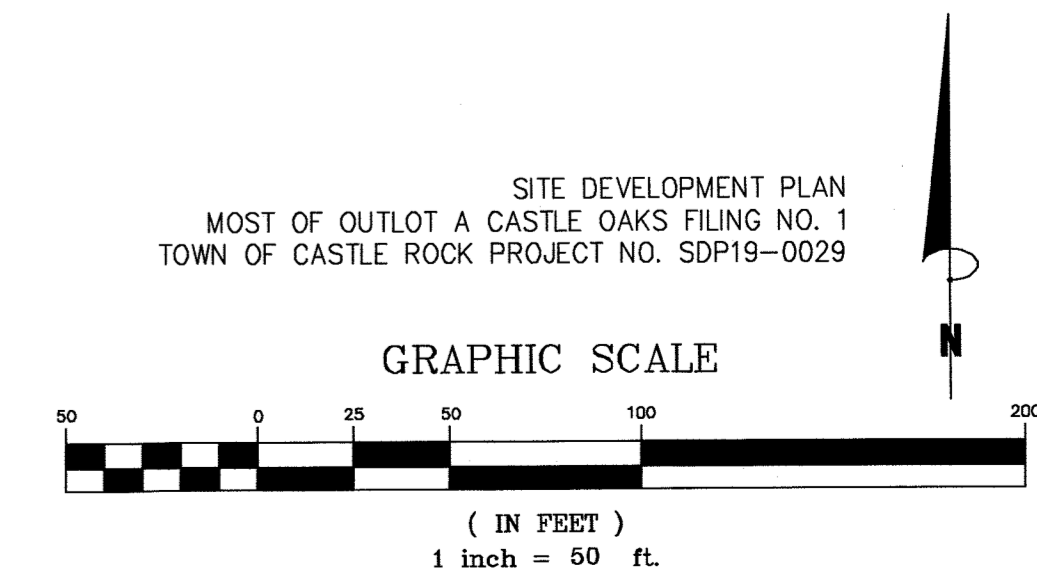
# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



| EXISTING | LEGEND DESCRIPTION       | PROPOSED |
|----------|--------------------------|----------|
| ---      | PROPERTY LINE            | ---      |
| ----     | RIGHT OF WAY             | ----     |
| ----     | CENTERLINE               | ----     |
| ----     | FENCE LINE               | ----     |
| ----     | EASEMENT                 | ----     |
| ----     | EDGE OF PAVEMENT         | ----     |
| ----     | VERTICAL CURB AND GUTTER | ----     |
| ----     | SIGN(S)                  | ----     |
| ----     | PARKING COUNT INDICATOR  | ----     |
| ----     | SIDEWALK/TRAIL           | ----     |
| ----     | CONCRETE SWALE           | ----     |

VST = VISION SAFETY TRIANGLE  
SDT = SIGHT DISTANCE TRIANGLE



| REVISION | DESCRIPTION    | DATE     |
|----------|----------------|----------|
| ---      | 2ND SUBMISSION | 10/31/19 |
| ---      | 3RD SUBMISSION | 01/24/20 |
| ---      | 4TH SUBMISSION | 03/13/20 |
| ---      | 5TH SUBMISSION | 04/03/20 |

**SITE PLAN**  
SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
CALIBER AT TERRAIN  
TOWN OF CASTLE ROCK  
COLORADO

|                                   |              |             |
|-----------------------------------|--------------|-------------|
| DESIGN<br>RSD                     | DRAWN<br>BKM | CHKD<br>RSD |
| SCALE: H: 1" = 50'<br>V: 1" = 50' |              |             |
| JOB No. 020399-01-002             |              |             |
| DATE: 10/31/2019                  |              |             |
| SHEET<br><b>6 OF 29</b>           |              |             |

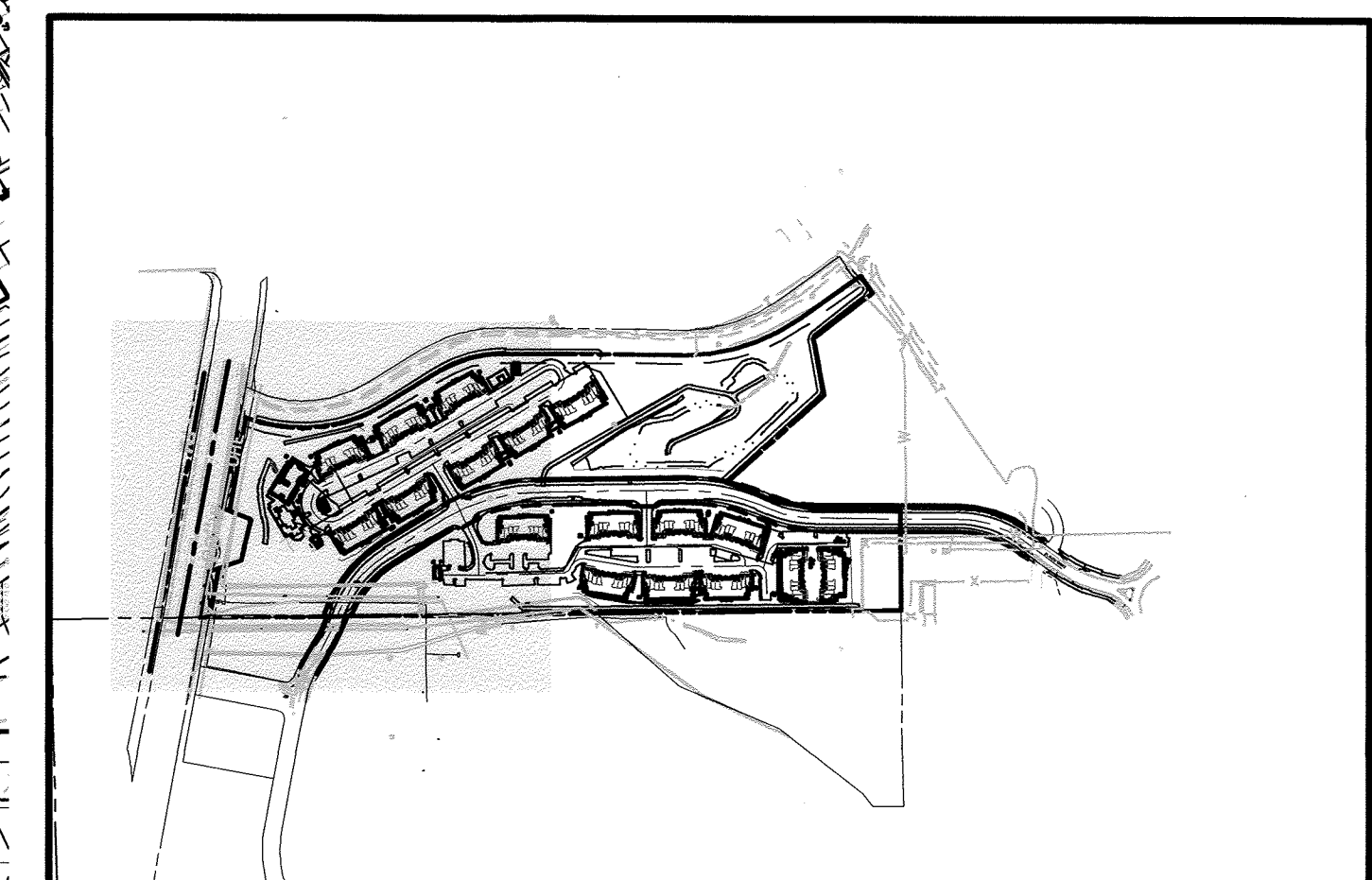
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# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

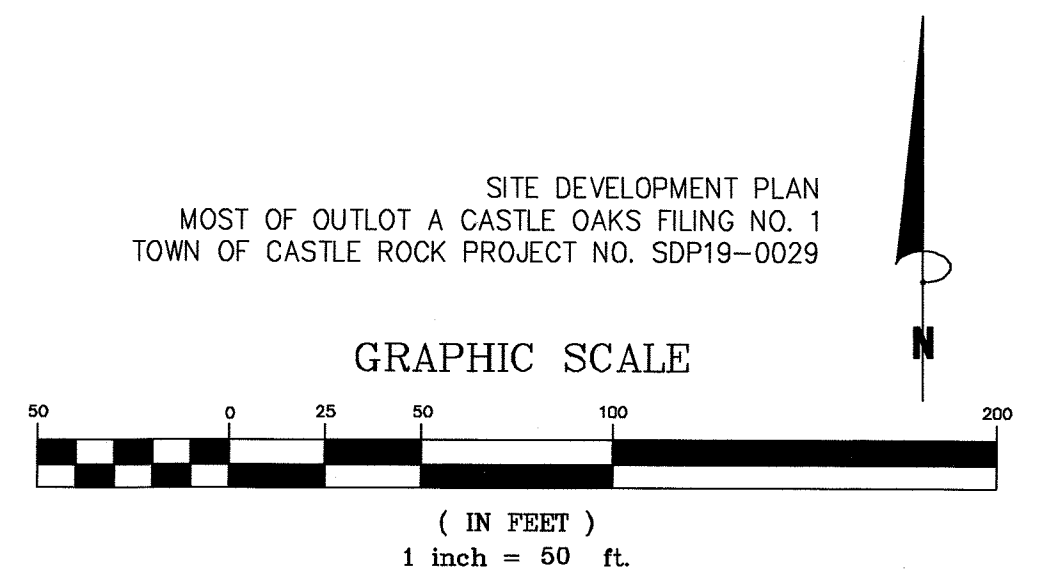
MATCHLINE - SEE SHEET 10



**KEY MAP**  
SCALE: 1" = 500'

NOTE: EXISTING SANITARY SEWER RUNNING THROUGH THE SITE WILL REMAIN AT THEIR CURRENT ELEVATIONS AND INVERTS BUT WILL BE REPLACED WITH SDR 26 PVC AND NEW MANHOLES.

| EXISTING | DESCRIPTION                    | PROPOSED |
|----------|--------------------------------|----------|
| ---      | PROPERTY LINE                  | ---      |
| ---      | RIGHT OF WAY                   | ---      |
| ---      | CENTERLINE                     | ---      |
| ---      | FENCE LINE                     | ---      |
| ---      | EASEMENT                       | ---      |
| ---      | EDGE OF PAVEMENT               | ---      |
| ---      | VERTICAL CURB AND GUTTER       | ---      |
| ---      | SIGN(S)                        | ---      |
| ---      | PARKING COUNT INDICATOR        | ---      |
| ---      | MAJOR CONTOUR                  | ---      |
| ---      | MINOR CONTOUR                  | ---      |
| ---      | STORM SEWER PIPE               | ---      |
| ---      | STORM SEWER MANHOLE            | ---      |
| ---      | STORM SEWER INLET              | ---      |
| ---      | STORM SEWER FLARED END SECTION | ---      |
| ---      | STORM SEWER HEADWALL           | ---      |
| ---      | WATER LINE                     | ---      |
| ---      | SANITARY LINE                  | ---      |
| ---      | SANITARY MANHOLE               | ---      |



| REVISION | DATE     | DESCRIPTION    |
|----------|----------|----------------|
| ---      | 10/31/19 | 2ND SUBMISSION |
| ---      | 01/24/20 | 3RD SUBMISSION |
| ---      | 03/13/20 | 4TH SUBMISSION |
| ---      | 04/03/20 | 5TH SUBMISSION |

**GRADING PLAN**  
SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
CALIBER AT TERRAIN

|                       |       |      |
|-----------------------|-------|------|
| DESIGN                | DRAWN | CHKD |
| RSD                   | BKM   | RSD  |
| SCALE: H: 1" = 50'    |       |      |
| V: 1" = 50'           |       |      |
| JOB No. 020399-01-002 |       |      |
| DATE: 10/31/2019      |       |      |
| SHEET                 |       |      |
| <b>7 OF 29</b>        |       |      |

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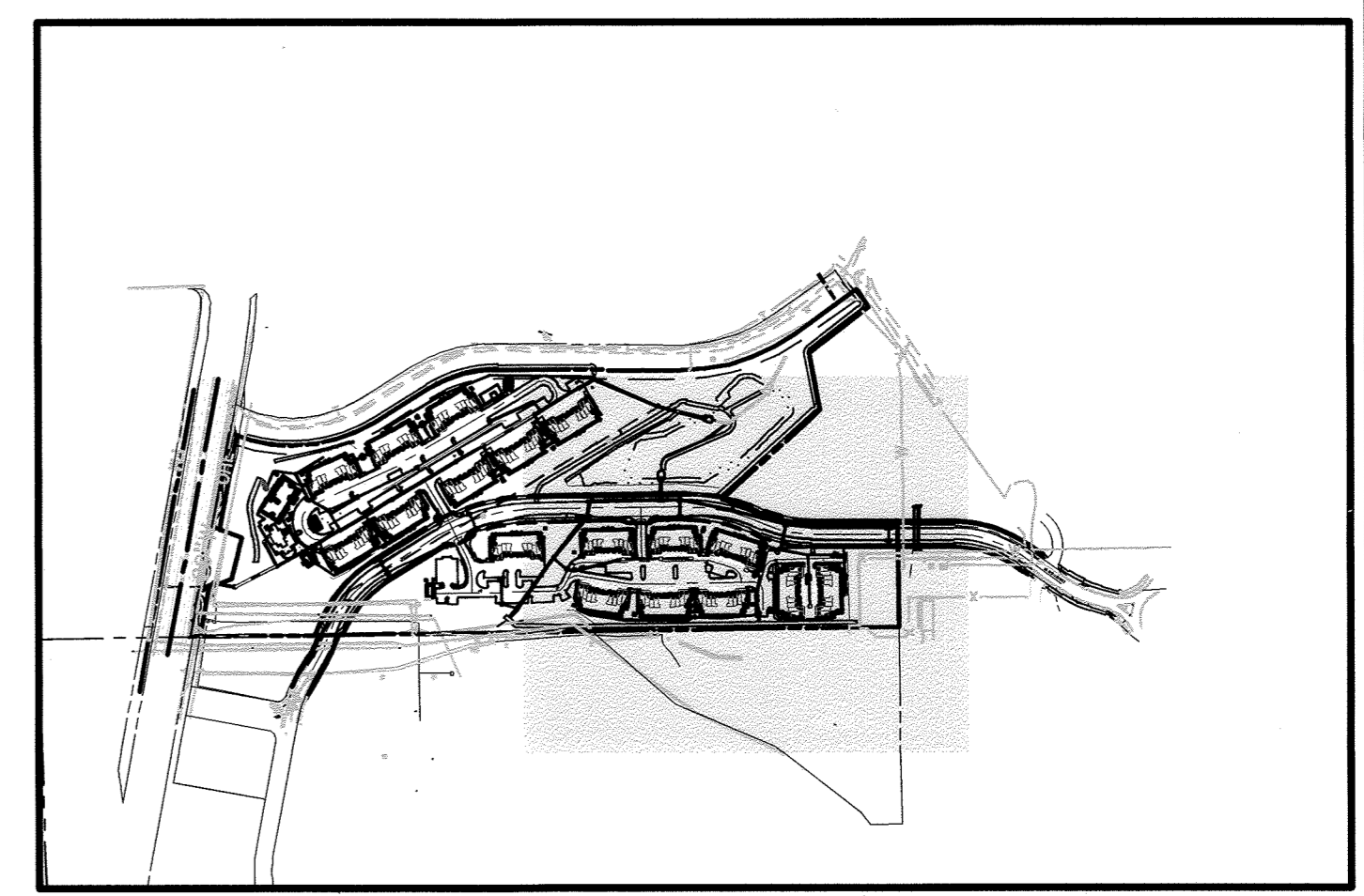
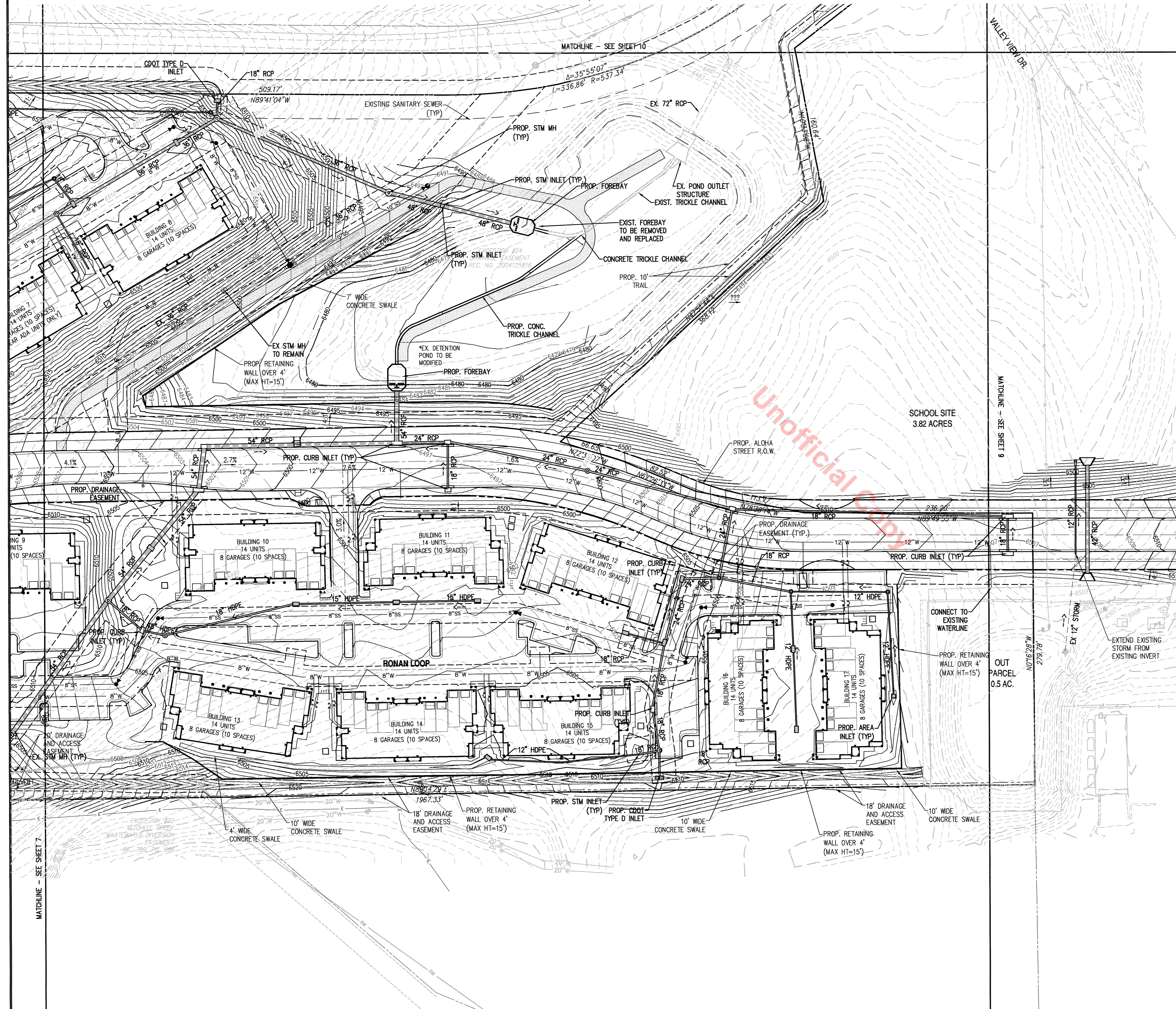
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COLORADO

TOWN OF CASTLE ROCK

# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

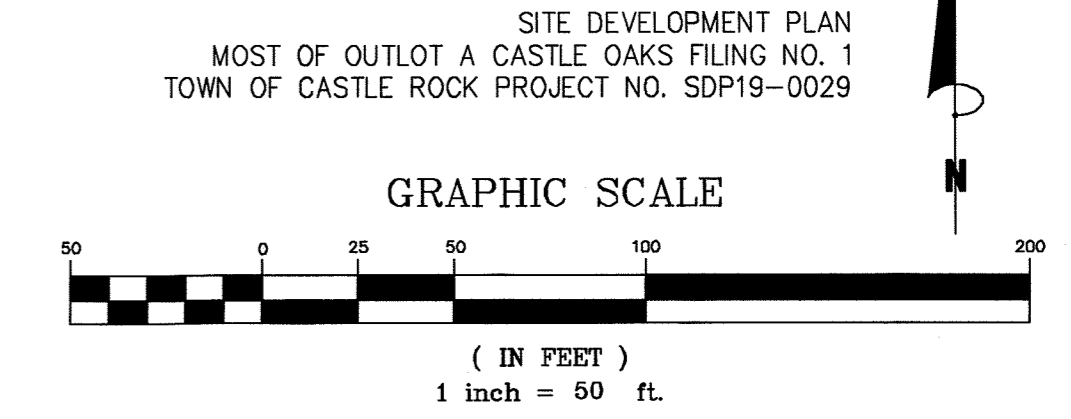
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**KEY MAP**  
SCALE: 1" = 500'

NOTE: EXISTING SANITARY SEWER RUNNING THROUGH THE SITE WILL REMAIN AT THEIR CURRENT ELEVATIONS AND INVERTS BUT WILL BE REPLACED WITH SDR 26 PVC AND NEW MANHOLES.

| EXISTING | DESCRIPTION                    | PROPOSED |
|----------|--------------------------------|----------|
| ---      | PROPERTY LINE                  | ---      |
| ---      | RIGHT OF WAY                   | ---      |
| ---      | CENTERLINE                     | ---      |
| ---      | FENCE LINE                     | ---      |
| ---      | EASEMENT                       | ---      |
| ---      | EDGE OF PAVEMENT               | ---      |
| ---      | VERTICAL CURB AND GUTTER       | ---      |
| ---      | SIGN(S)                        | ---      |
| ---      | PARKING COUNT INDICATOR        | ---      |
| ---      | MAJOR CONTOUR                  | ---      |
| ---      | MINOR CONTOUR                  | ---      |
| ---      | STORM SEWER PIPE               | ---      |
| ---      | STORM SEWER MANHOLE            | ---      |
| ---      | STORM SEWER INLET              | ---      |
| ---      | STORM SEWER FLARED END SECTION | ---      |
| ---      | STORM SEWER HEADWALL           | ---      |
| ---      | WATER LINE                     | ---      |
| ---      | SANITARY LINE                  | ---      |
| ---      | SANITARY MANHOLE               | ---      |



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| REVISION | DATE     | DESCRIPTION    |
|----------|----------|----------------|
| ---      | 10/31/19 | 2ND SUBMISSION |
| ---      | 01/24/20 | 3RD SUBMISSION |
| ---      | 03/13/20 | 4TH SUBMISSION |
| ---      | 04/03/20 | 5TH SUBMISSION |

**GRADING PLAN**  
SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
CALIBER AT TERRAIN

TOWN OF CASTLE ROCK  
COLORADO

| DESIGN | DRAWN | CHKD |
|--------|-------|------|
| RSD    | BKM   | RSD  |

SCALE: H: 1" = 50'  
V: 1" = 10'

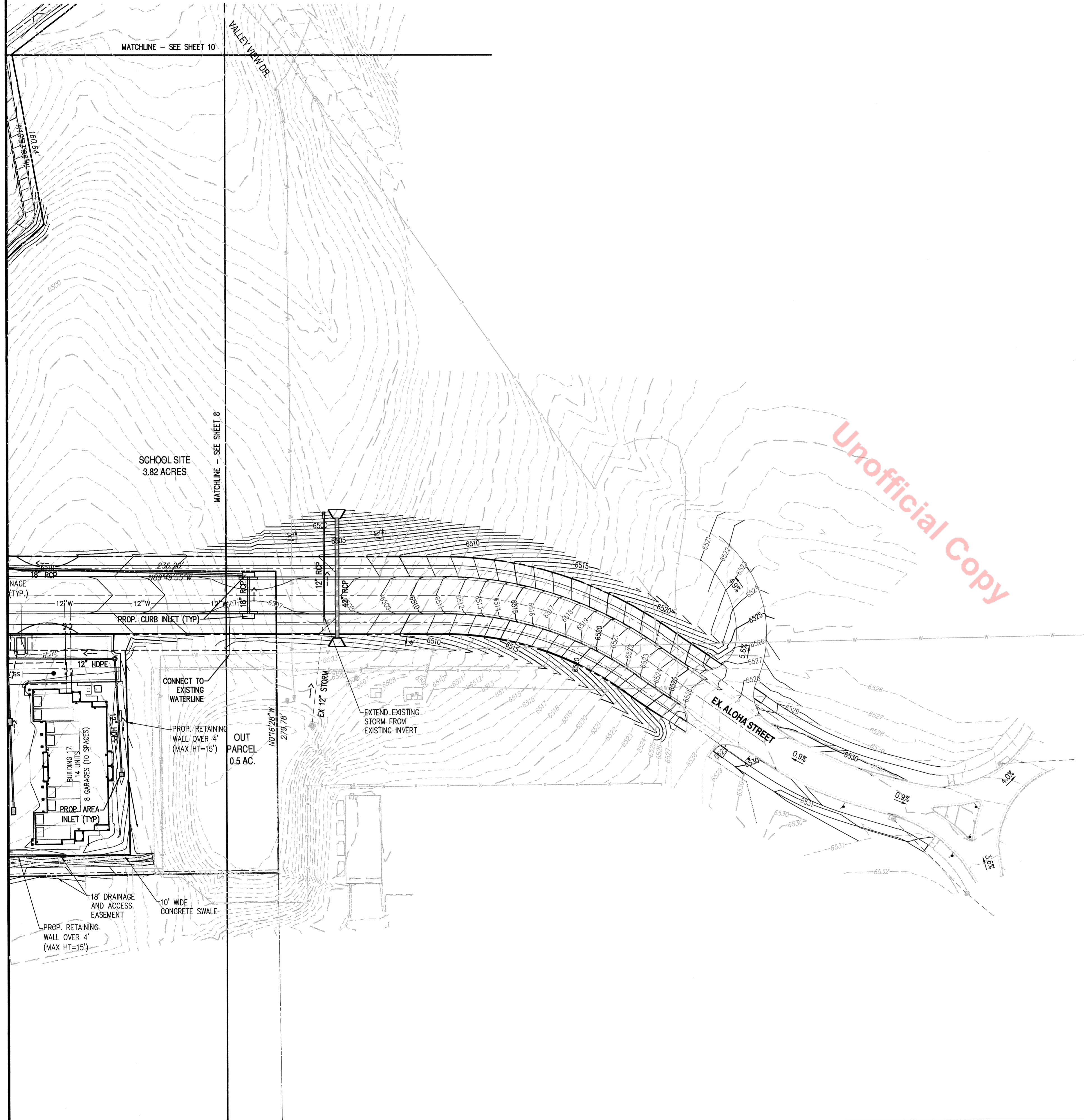
JOB No. 020399-01-002

DATE: 10/31/2019

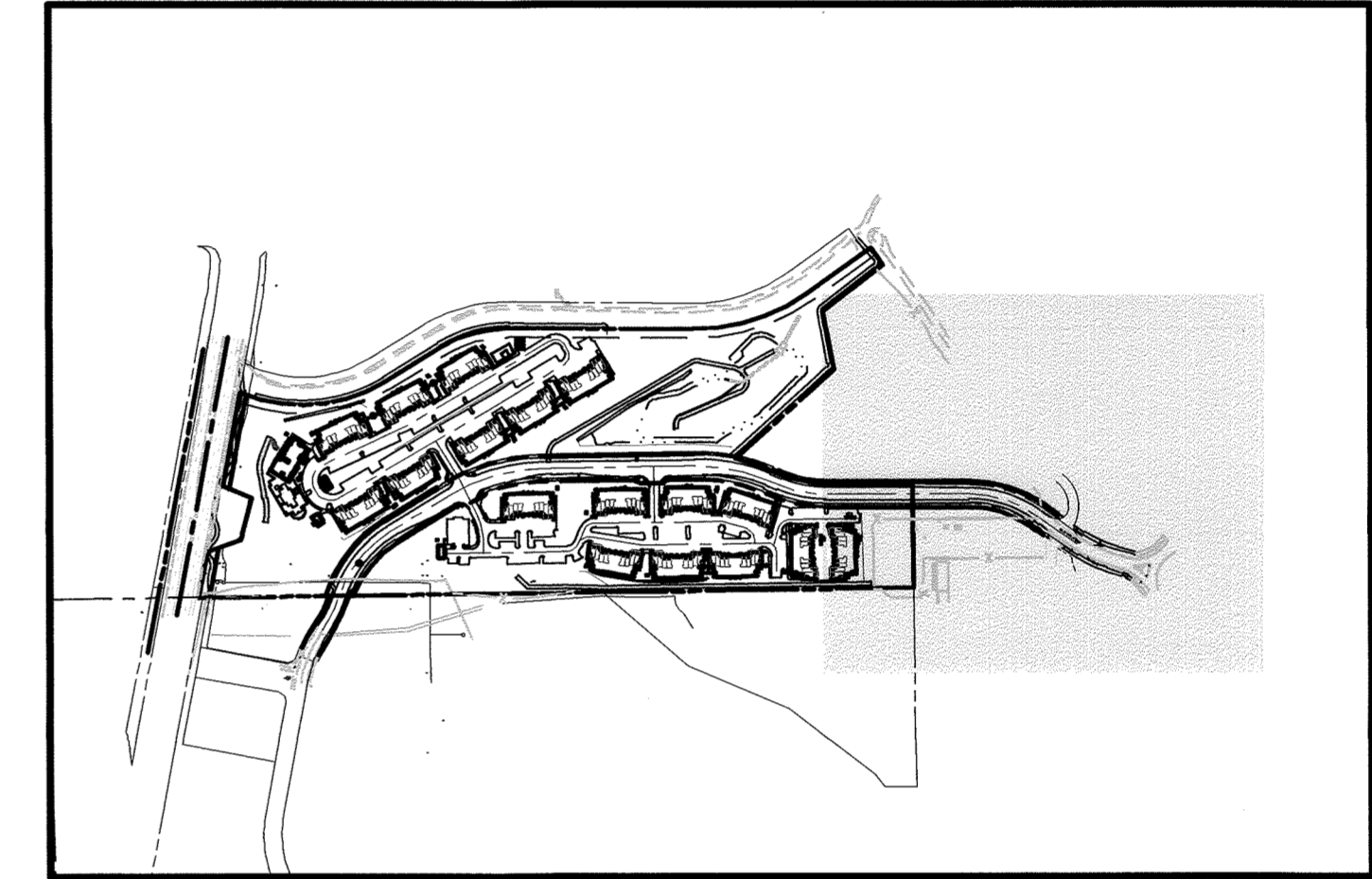
SHEET  
**8 OF 29**

# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



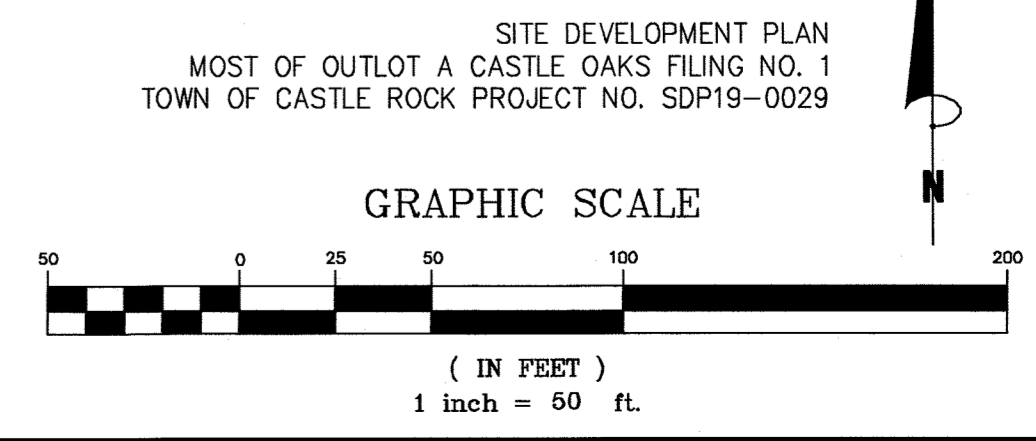
Unofficial Copy



**KEY MAP**  
SCALE: 1" = 500'

NOTE: EXISTING SANITARY SEWER RUNNING THROUGH THE SITE WILL REMAIN AT THEIR CURRENT ELEVATIONS AND INVERTS BUT WILL BE REPLACED WITH SDR 26 PVC AND NEW MANHOLES.

| EXISTING | DESCRIPTION                    | PROPOSED |
|----------|--------------------------------|----------|
| ---      | PROPERTY LINE                  | ---      |
| ---      | RIGHT OF WAY                   | ---      |
| ---      | CENTERLINE                     | ---      |
| ---      | FENCE LINE                     | ---      |
| ---      | EASEMENT                       | ---      |
| ---      | EDGE OF PAVEMENT               | ---      |
| ---      | VERTICAL CURB AND GUTTER       | ---      |
| ---      | SIGN(S)                        | ---      |
| ---      | PARKING COUNT INDICATOR        | ---      |
| ---      | MAJOR CONTOUR                  | ---      |
| ---      | MINOR CONTOUR                  | ---      |
| ---      | STORM SEWER PIPE               | ---      |
| ---      | STORM SEWER MANHOLE            | ---      |
| ---      | STORM SEWER INLET              | ---      |
| ---      | STORM SEWER FLARED END SECTION | ---      |
| ---      | STORM SEWER HEADWALL           | ---      |
| ---      | WATER LINE                     | ---      |
| ---      | SANITARY LINE                  | ---      |
| ---      | SANITARY MANHOLE               | ---      |



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| REVISION | DATE     | DESCRIPTION    |
|----------|----------|----------------|
| ---      | 10/31/19 | ---            |
| ---      | 01/24/20 | 2ND SUBMISSION |
| ---      | 03/13/20 | 3RD SUBMISSION |
| ---      | 04/03/20 | 4TH SUBMISSION |
| ---      | ---      | 5TH SUBMISSION |

GRADING PLAN

SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
CALIBER AT TERRAIN

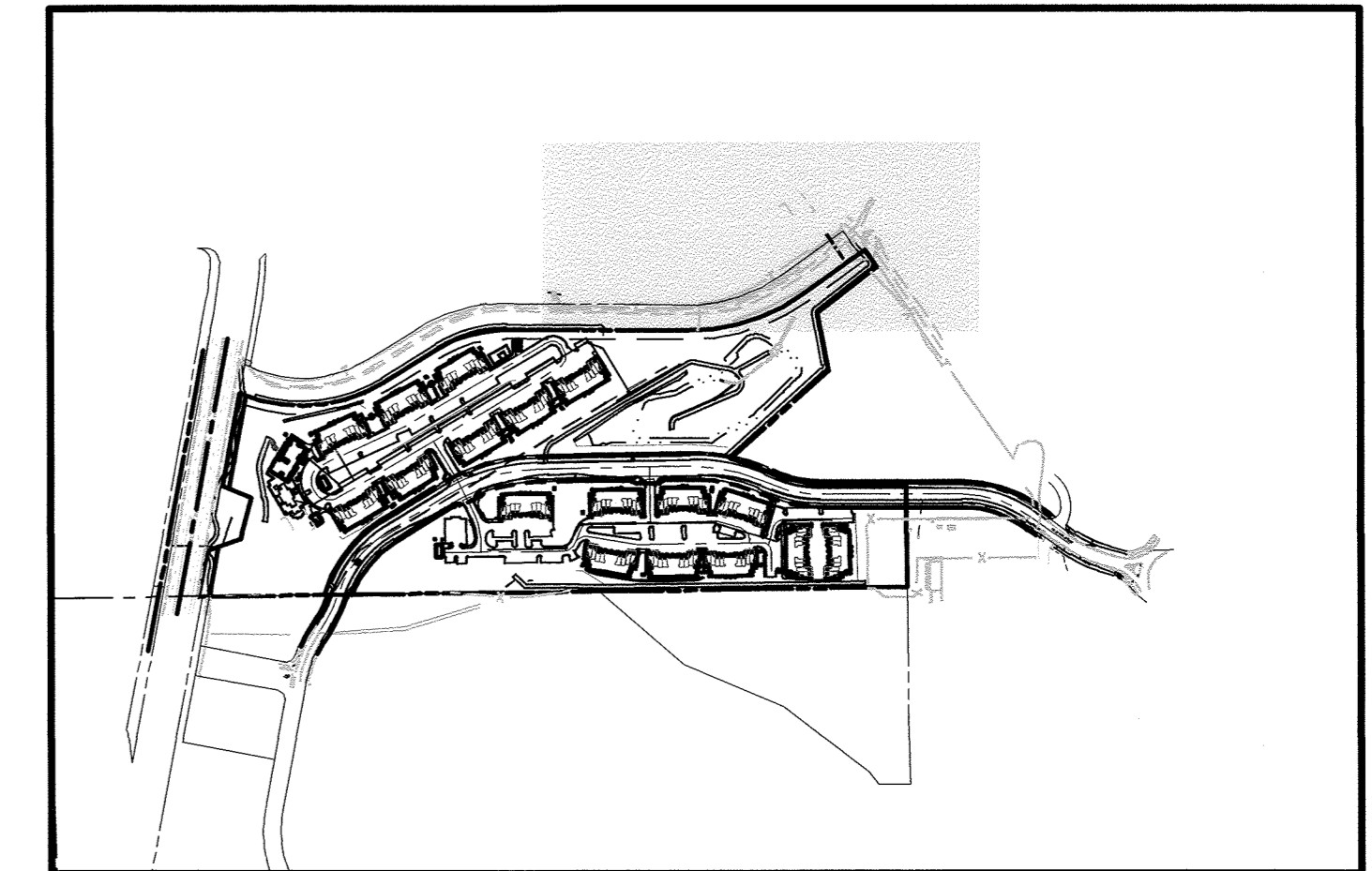
TOWN OF CASTLE ROCK

COLORADO

|                             |              |             |
|-----------------------------|--------------|-------------|
| DESIGN<br>RSD               | DRAWN<br>BKM | CHKD<br>RSD |
| SCALE H: 1" = 50'<br>V: --- |              |             |
| JOB No. 020399-01-002       |              |             |
| DATE : 10/31/2019           |              |             |
| SHEET                       |              |             |
| 9 OF 29                     |              |             |

# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

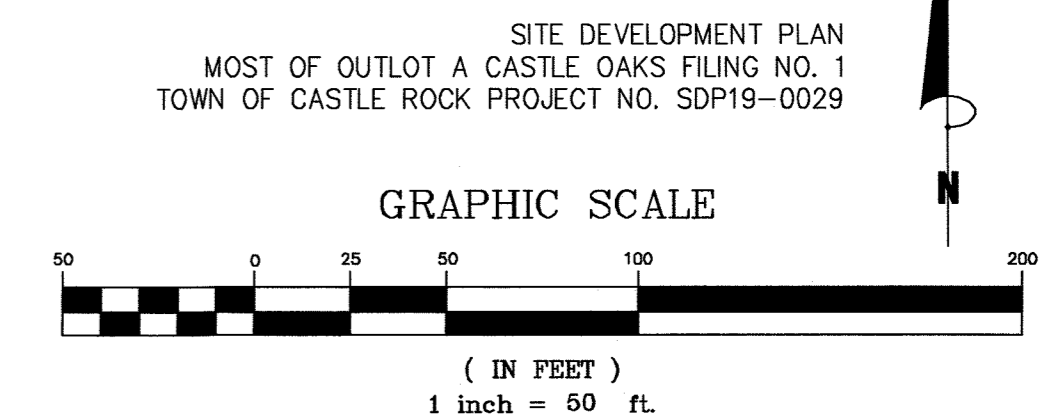
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**KEY MAP**  
SCALE: 1" = 500'

NOTE: EXISTING SANITARY SEWER RUNNING THROUGH THE SITE WILL REMAIN AT THEIR CURRENT ELEVATIONS AND INVERTS BUT WILL BE REPLACED WITH SDR 26 PVC AND NEW MANHOLES.

| EXISTING | DESCRIPTION                    | PROPOSED |
|----------|--------------------------------|----------|
| ---      | PROPERTY LINE                  | ---      |
| ---      | RIGHT OF WAY                   | ---      |
| ---      | CENTERLINE                     | ---      |
| ---      | FENCE LINE                     | ---      |
| ---      | EASEMENT                       | ---      |
| ---      | EDGE OF PAVEMENT               | ---      |
| ---      | VERTICAL CURB AND GUTTER       | ---      |
| ---      | SIGN(S)                        | ---      |
| ---      | PARKING COUNT INDICATOR        | ---      |
| ---      | MAJOR CONTOUR                  | ---      |
| ---      | MINOR CONTOUR                  | ---      |
| ---      | STORM SEWER PIPE               | ---      |
| ---      | STORM SEWER MANHOLE            | ---      |
| ---      | STORM SEWER INLET              | ---      |
| ---      | STORM SEWER FLARED END SECTION | ---      |
| ---      | STORM SEWER HEADWALL           | ---      |
| ---      | WATER LINE                     | ---      |
| ---      | SANITARY LINE                  | ---      |
| ---      | SANITARY MANHOLE               | ---      |



SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
TOWN OF CASTLE ROCK PROJECT NO. SDP19-0029

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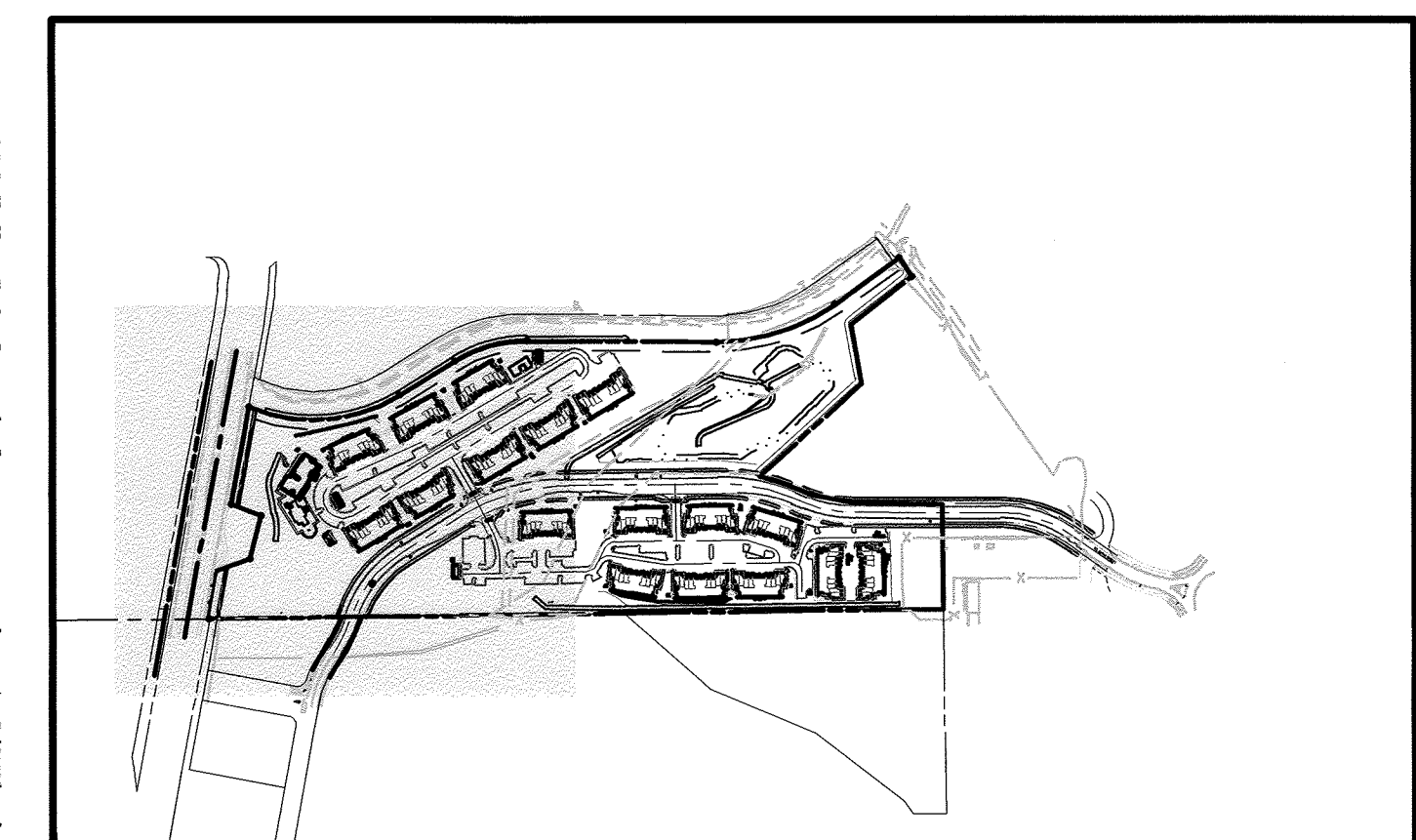
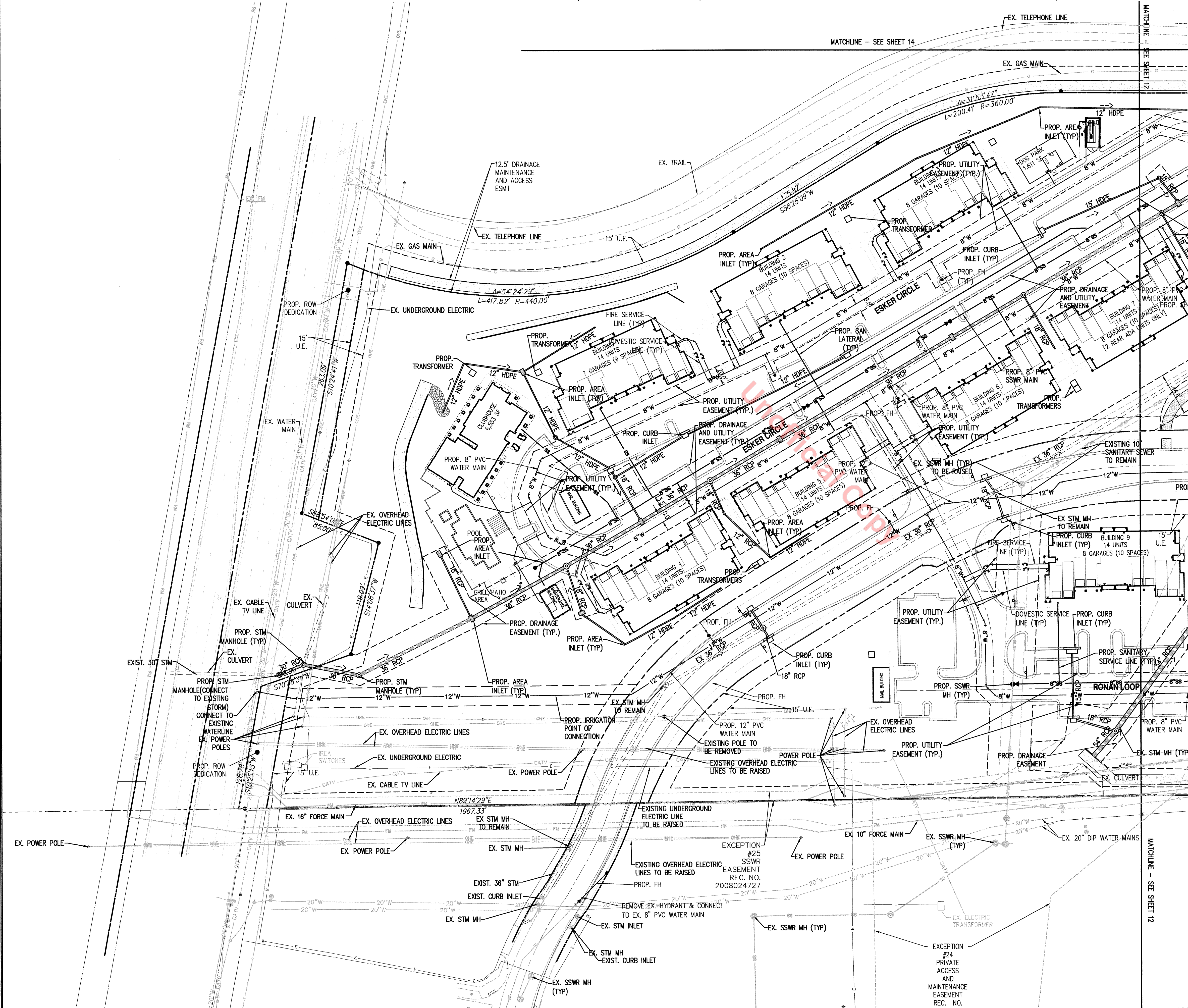
| REVISION       | DESCRIPTION | DATE     |
|----------------|-------------|----------|
| 2ND SUBMISSION |             | 10/31/19 |
| 3RD SUBMISSION |             | 01/24/20 |
| 4TH SUBMISSION |             | 03/13/20 |
| 5TH SUBMISSION |             | 04/03/20 |

**GRADING PLAN**  
SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
CALIBER AT TERRAIN

|                                     |              |             |
|-------------------------------------|--------------|-------------|
| DESIGN<br>RSD                       | DRAWN<br>BKM | CHKD<br>RSD |
| SCALE<br>H: 1" = 50'<br>V: 1" = 10' |              |             |
| JOB No. 020399-01-002               |              |             |
| DATE : 10/31/2019                   |              |             |
| SHEET                               |              |             |
| 10 OF 29                            |              |             |

# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

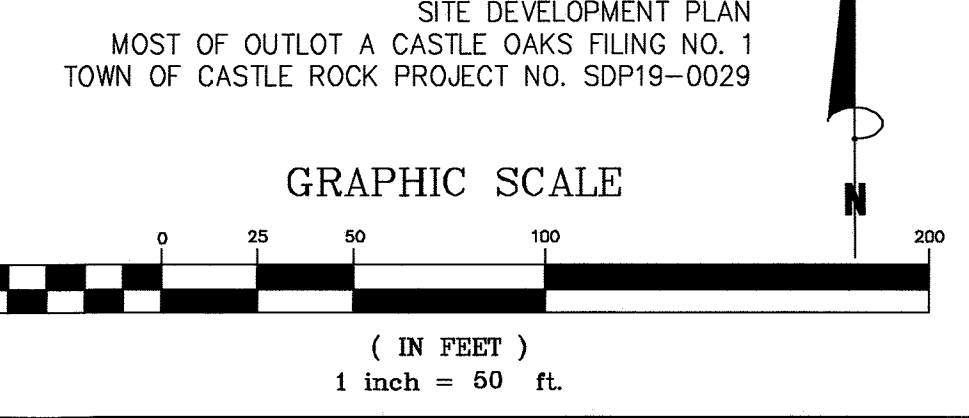
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**KEY MAP**  
SCALE: 1" = 500'

| EXISTING | DESCRIPTION                    | PROP. |
|----------|--------------------------------|-------|
|          | PROPERTY LINE                  |       |
|          | RIGHT OF WAY                   |       |
|          | CENTERLINE                     |       |
|          | FENCE LINE                     |       |
|          | EASEMENT                       |       |
|          | EDGE OF PAVEMENT               |       |
|          | VERTICAL CURB AND GUTTER       |       |
|          | WATER LINE                     |       |
|          | WATER METER                    |       |
|          | WATER VALVE                    |       |
|          | FIRE HYDRANT                   |       |
|          | SANITARY LINE                  |       |
|          | SANITARY MANHOLE               |       |
|          | STORM SEWER PIPE               |       |
|          | STORM SEWER MANHOLE            |       |
|          | STORM SEWER INLET              |       |
|          | STORM SEWER FLARED END SECTION |       |
|          | STORM SEWER HEADWALL           |       |
|          | OVERHEAD UTILITY               |       |
|          | UNDERGROUND ELECTRIC           |       |
|          | OVERHEAD ELECTRIC              |       |
|          | UTILITY POLE                   |       |
|          | STREET LIGHT                   |       |
|          | CABLE TV SERVICE               |       |
|          | TELECOM SERVICE                |       |
|          | FIBER OPTIC SERVICE            |       |
|          | NATURAL GAS SERVICE            |       |
|          | FORCE MAIN                     |       |

- UTILITY NOTES**
1. ALL PROP. EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
  2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER, AND STORM SEWERS IS 10 FEET.
  3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
  4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK RED WATER PRESSURE ZONE.
  5. VARIANCE FOR SANITARY SEWER DEPTH GRANTED VIA TC20-0025.



**Bowman**  
CONSULTING

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Lakewood, CO 80401  
Phone: (303) 801-9800  
www.bowmanconsulting.com

| REVISION       | DATE     | DESCRIPTION |
|----------------|----------|-------------|
| 2ND SUBMISSION | 10/31/19 |             |
| 3RD SUBMISSION | 07/24/20 |             |
| 4TH SUBMISSION | 03/13/20 |             |
| 5TH SUBMISSION | 04/03/20 |             |

**UTILITY PLAN**

SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
CALIBER AT TERRAIN

TOWN OF CASTLE ROCK

COLORADO

| DESIGN | DRAWN | CHKD |
|--------|-------|------|
| RSD    | BKM   | RSD  |

SCALE: H: 1" = 30'  
V: 1" = 10'

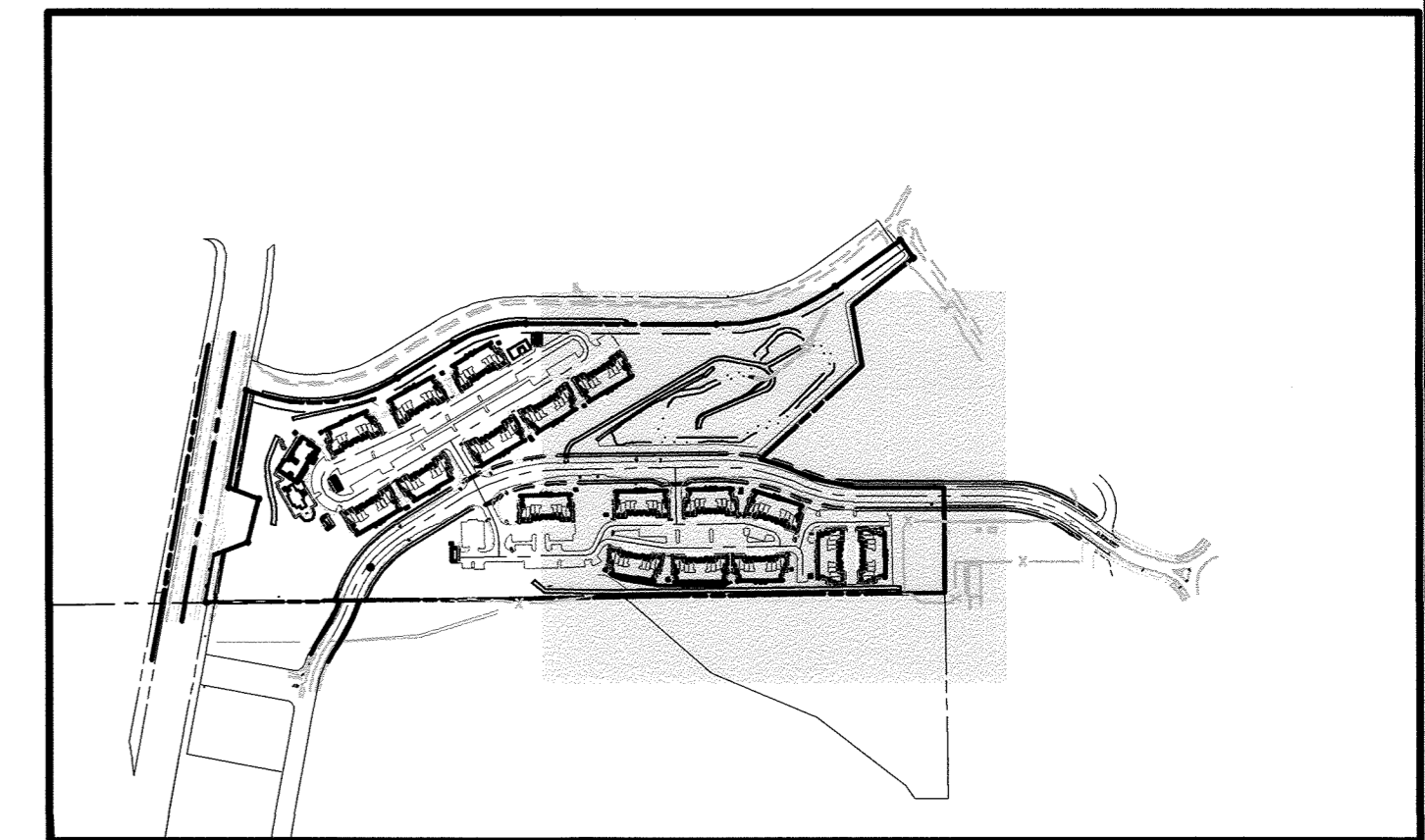
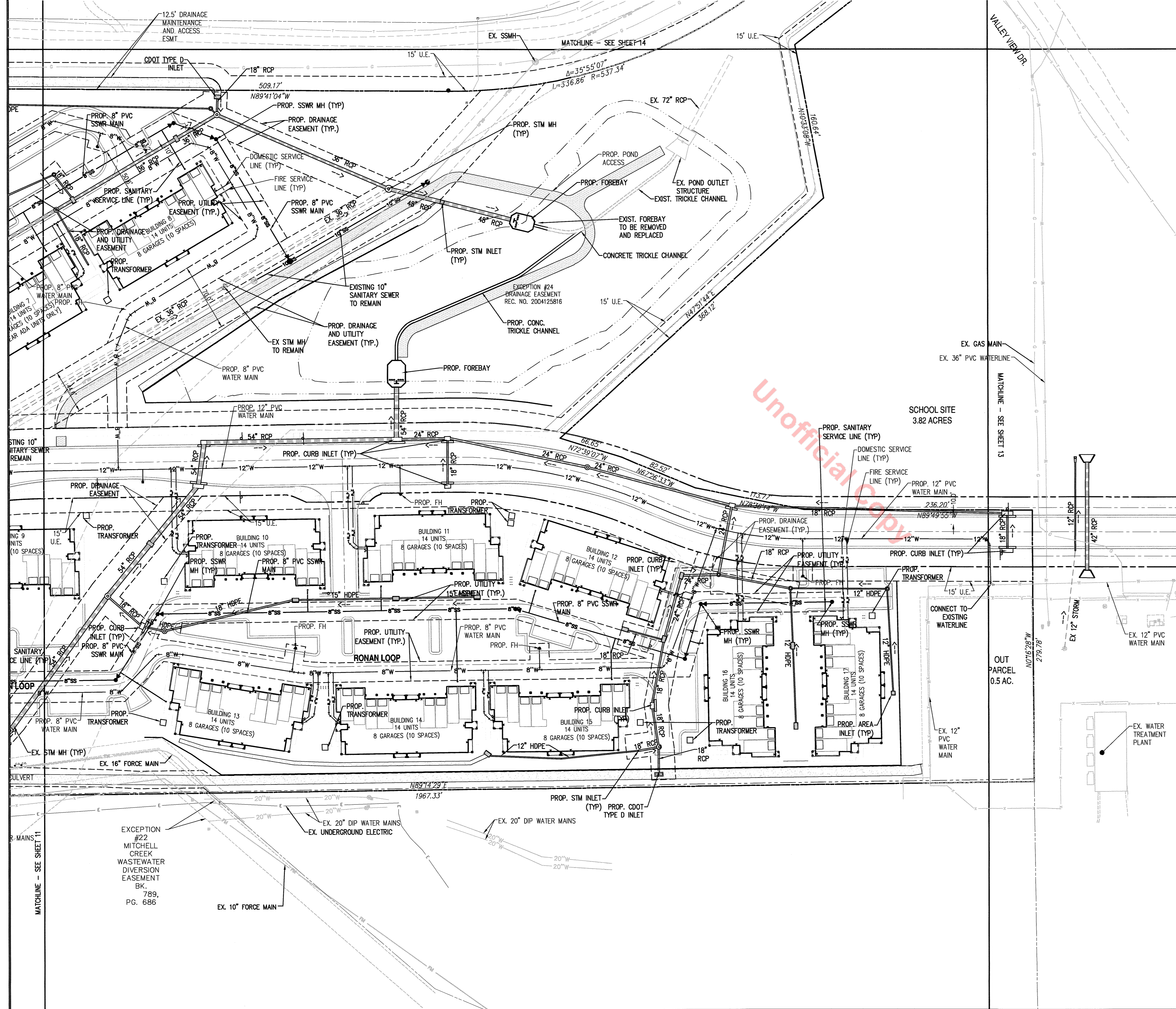
JOB No. 020399-01-002

DATE: 10/31/2019

SHEET  
**11 OF 29**

# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

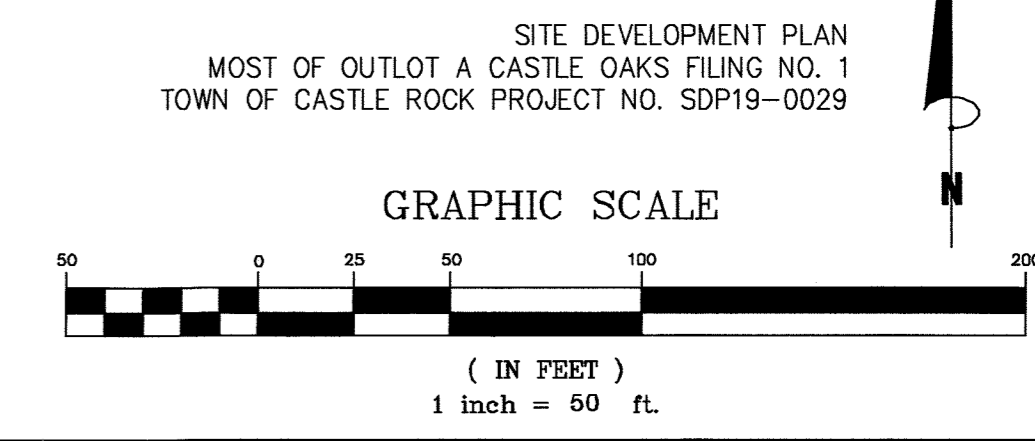
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**KEY MAP**  
SCALE: 1" = 500'

| EXISTING | DESCRIPTION                    | PROP. |
|----------|--------------------------------|-------|
|          | PROPERTY LINE                  |       |
|          | RIGHT OF WAY CENTERLINE        |       |
|          | FENCE LINE                     |       |
|          | EASEMENT                       |       |
|          | EDGE OF PAVEMENT               |       |
|          | VERTICAL CURB AND GUTTER       |       |
|          | WATER LINE                     |       |
|          | WATER METER                    |       |
|          | FIRE HYDRANT                   |       |
|          | SANITARY LINE                  |       |
|          | SANITARY MANHOLE               |       |
|          | STORM SEWER PIPE               |       |
|          | STORM SEWER MANHOLE            |       |
|          | STORM SEWER INLET              |       |
|          | STORM SEWER FLARED END SECTION |       |
|          | STORM SEWER HEADWALL           |       |
|          | OVERHEAD UTILITY               |       |
|          | UNDERGROUND ELECTRIC           |       |
|          | OVERHEAD ELECTRIC              |       |
|          | UTILITY POLE                   |       |
|          | STREET LIGHT                   |       |
|          | CABLE TV SERVICE               |       |
|          | TELECOM SERVICE                |       |
|          | FIBER OPTIC SERVICE            |       |
|          | NATURAL GAS SERVICE            |       |
|          | FORCE MAIN                     |       |

- UTILITY NOTES**
1. ALL PROP. EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
  2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER, AND STORM SEWER LINES IS 10 FEET.
  3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
  4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK RED WATER PRESSURE ZONE.
  5. VARIANCE FOR SANITARY SEWER DEPTH GRANTED VIA TC20-0025.



SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
TOWN OF CASTLE ROCK PROJECT NO. SDP19-0029

**Bowman**  
CONSULTING

1526 Cole Boulevard, Suite 100  
Lakewood, CO 80401  
Phone: (303) 801-2900  
www.bowmanconsulting.com

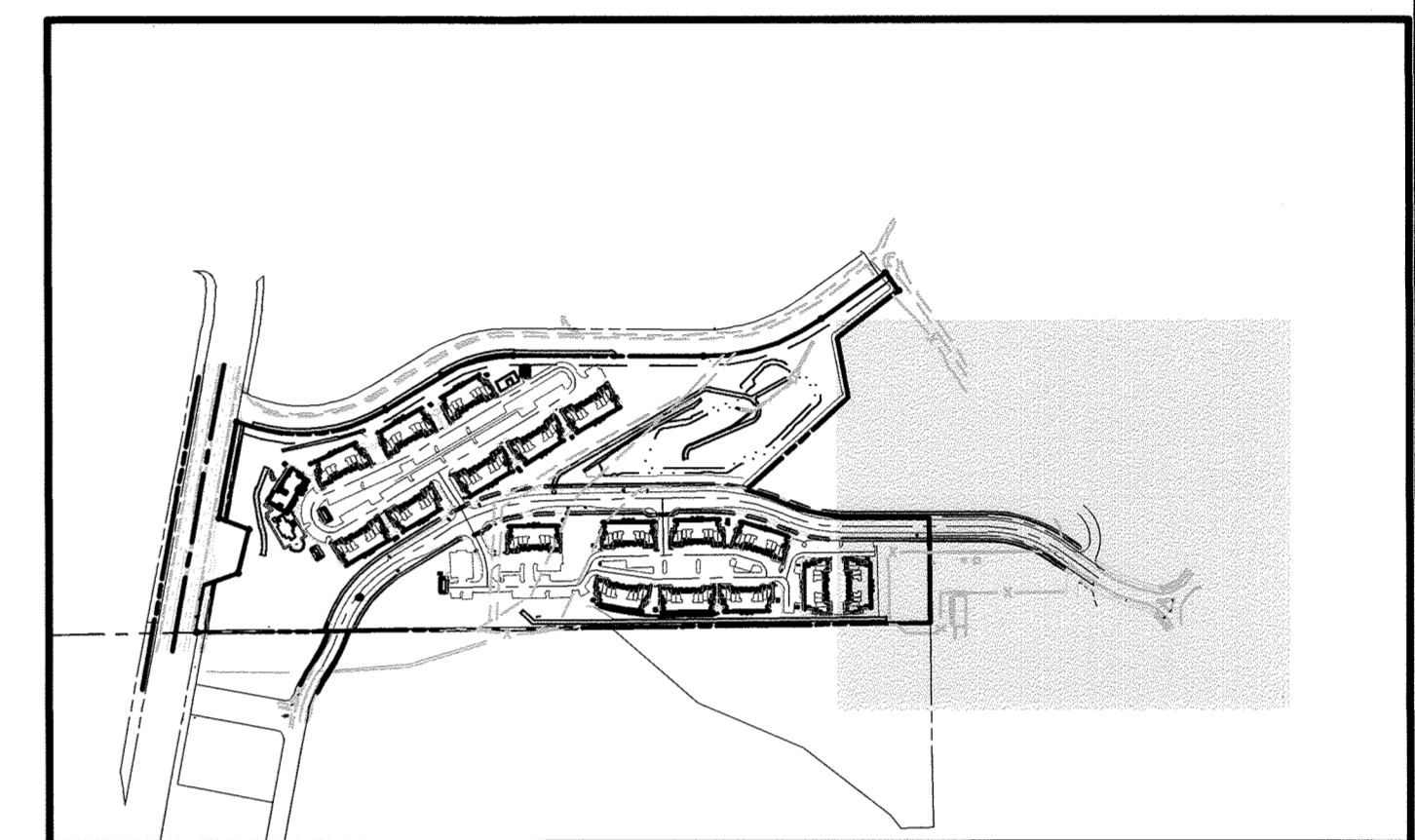
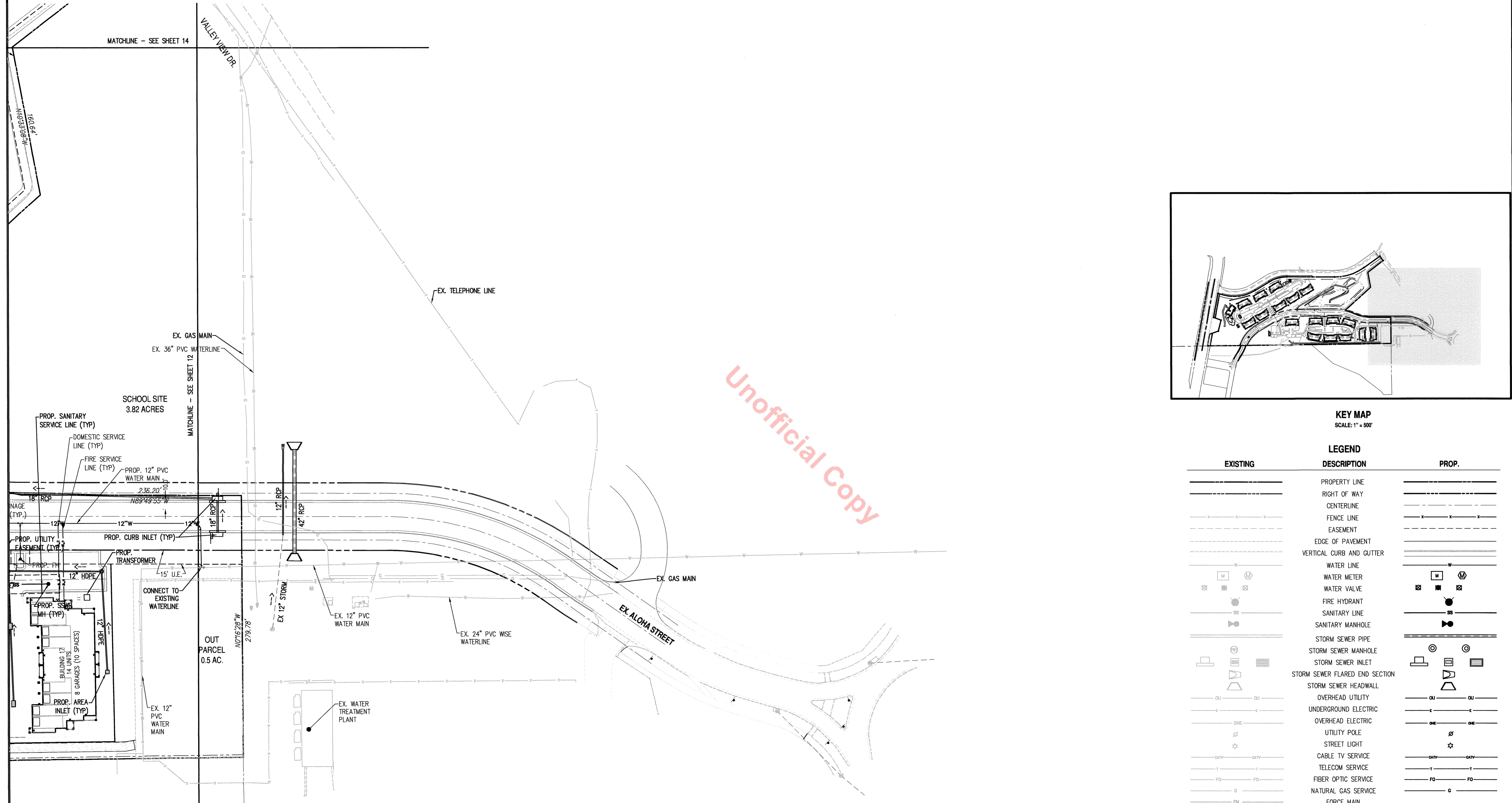
| REVISION       | DATE     | DESCRIPTION |
|----------------|----------|-------------|
| 2ND SUBMISSION | 10/31/19 |             |
| 3RD SUBMISSION | 01/24/20 |             |
| 4TH SUBMISSION | 03/13/20 |             |
| 5TH SUBMISSION | 04/03/20 |             |

**UTILITY PLAN**  
SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
CALIBER AT TERRAIN  
TOWN OF CASTLE ROCK

|                       |           |          |
|-----------------------|-----------|----------|
| DESIGN RSD            | DRAWN BKM | CHKD RSD |
| SCALE: H: 1" = 50'    |           |          |
| SCALE: V: 2"          |           |          |
| JOB No. 020399-01-002 |           |          |
| DATE: 10/31/2019      |           |          |
| SHEET                 |           |          |
| 12 OF 29              |           |          |

# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

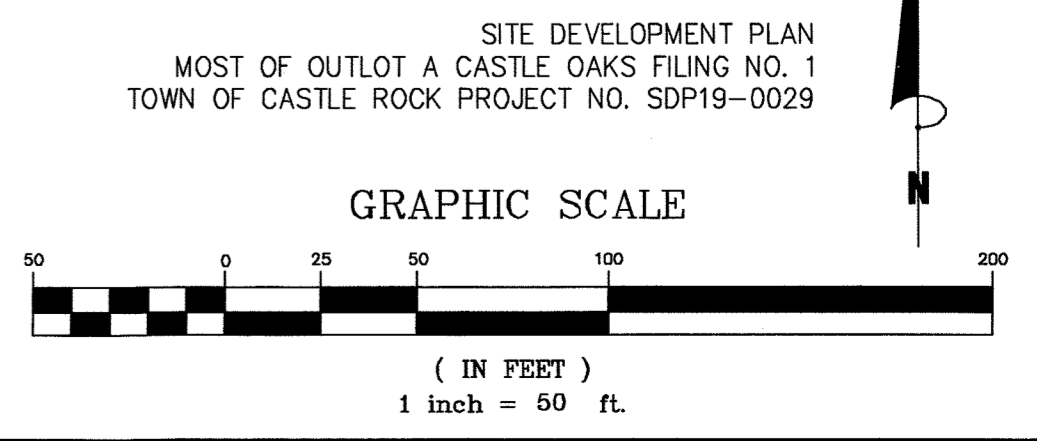
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**KEY MAP**  
SCALE: 1" = 500'

| EXISTING | LEGEND                         | PROP. |
|----------|--------------------------------|-------|
| ---      | PROPERTY LINE                  | ---   |
| ---      | RIGHT OF WAY                   | ---   |
| ---      | CENTERLINE                     | ---   |
| ---      | FENCE LINE                     | ---   |
| ---      | EASEMENT                       | ---   |
| ---      | EDGE OF PAVEMENT               | ---   |
| ---      | VERTICAL CURB AND GUTTER       | ---   |
| ---      | WATER LINE                     | ---   |
| ---      | WATER METER                    | ---   |
| ---      | WATER VALVE                    | ---   |
| ---      | FIRE HYDRANT                   | ---   |
| ---      | SANITARY LINE                  | ---   |
| ---      | SANITARY MANHOLE               | ---   |
| ---      | STORM SEWER PIPE               | ---   |
| ---      | STORM SEWER MANHOLE            | ---   |
| ---      | STORM SEWER INLET              | ---   |
| ---      | STORM SEWER FLARED END SECTION | ---   |
| ---      | STORM SEWER HEADWALL           | ---   |
| ---      | OVERHEAD UTILITY               | ---   |
| ---      | UNDERGROUND ELECTRIC           | ---   |
| ---      | OVERHEAD ELECTRIC              | ---   |
| ---      | UTILITY POLE                   | ---   |
| ---      | STREET LIGHT                   | ---   |
| ---      | CABLE TV SERVICE               | ---   |
| ---      | TELECOM SERVICE                | ---   |
| ---      | FIBER OPTIC SERVICE            | ---   |
| ---      | NATURAL GAS SERVICE            | ---   |
| ---      | FORCE MAIN                     | ---   |

- UTILITY NOTES**
1. ALL PROP. EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
  2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER, AND STORM SEWER LINES IS 10 FEET.
  3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
  4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK RED WATER PRESSURE ZONE.
  5. VARIANCE FOR SANITARY SEWER DEPTH GRANTED VIA TCV20-0025.



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Phone: (303) 801-2900  
www.bowmanconsulting.com

| REVISION       | DATE     | DESCRIPTION |
|----------------|----------|-------------|
| ---            | 10/31/19 | ---         |
| 2ND SUBMISSION | 07/24/20 | ---         |
| 3RD SUBMISSION | 03/13/20 | ---         |
| 4TH SUBMISSION | 04/03/20 | ---         |
| 5TH SUBMISSION | ---      | ---         |

**UTILITY PLAN**

SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
CALIBER AT TERRAIN

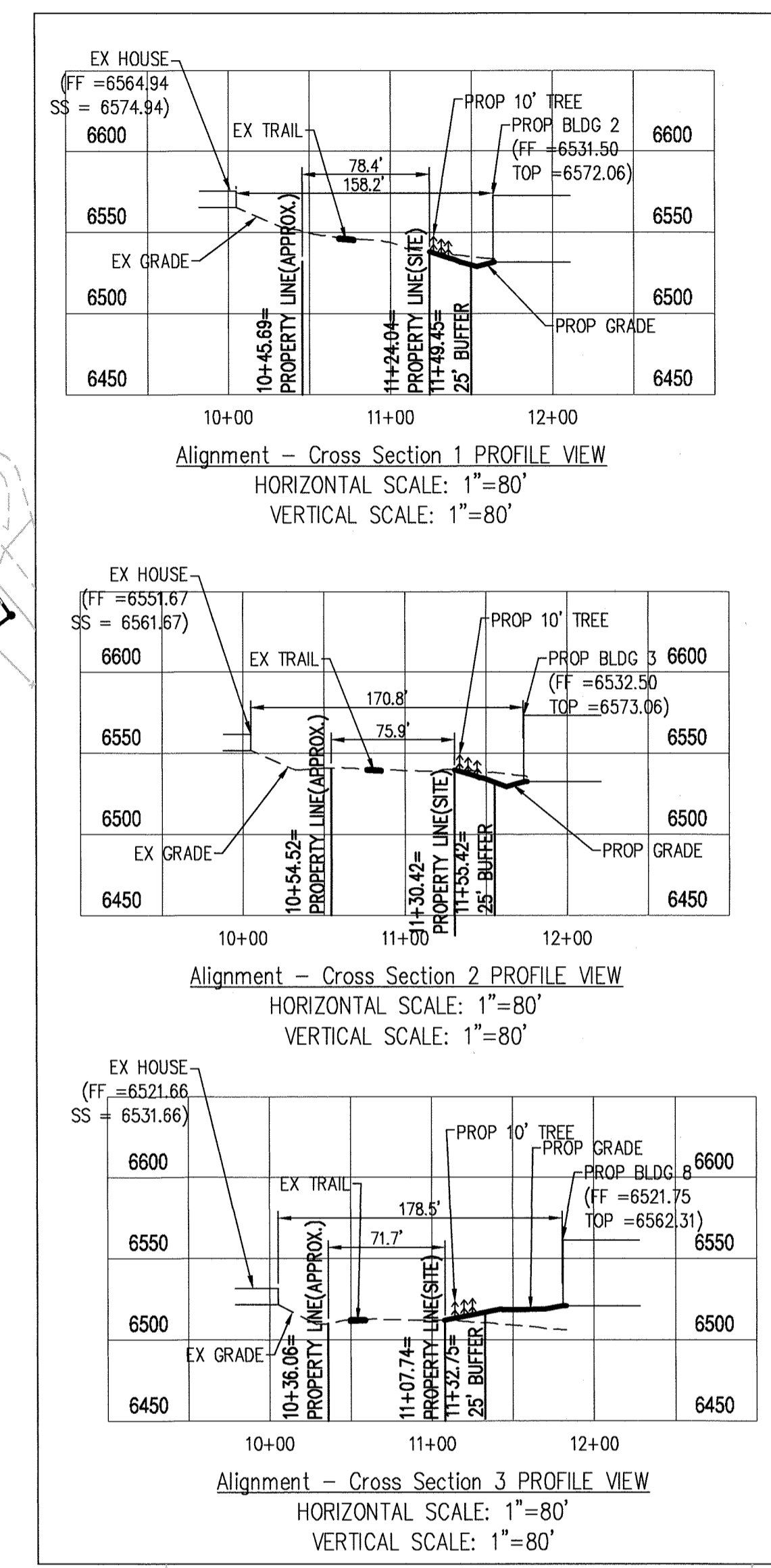
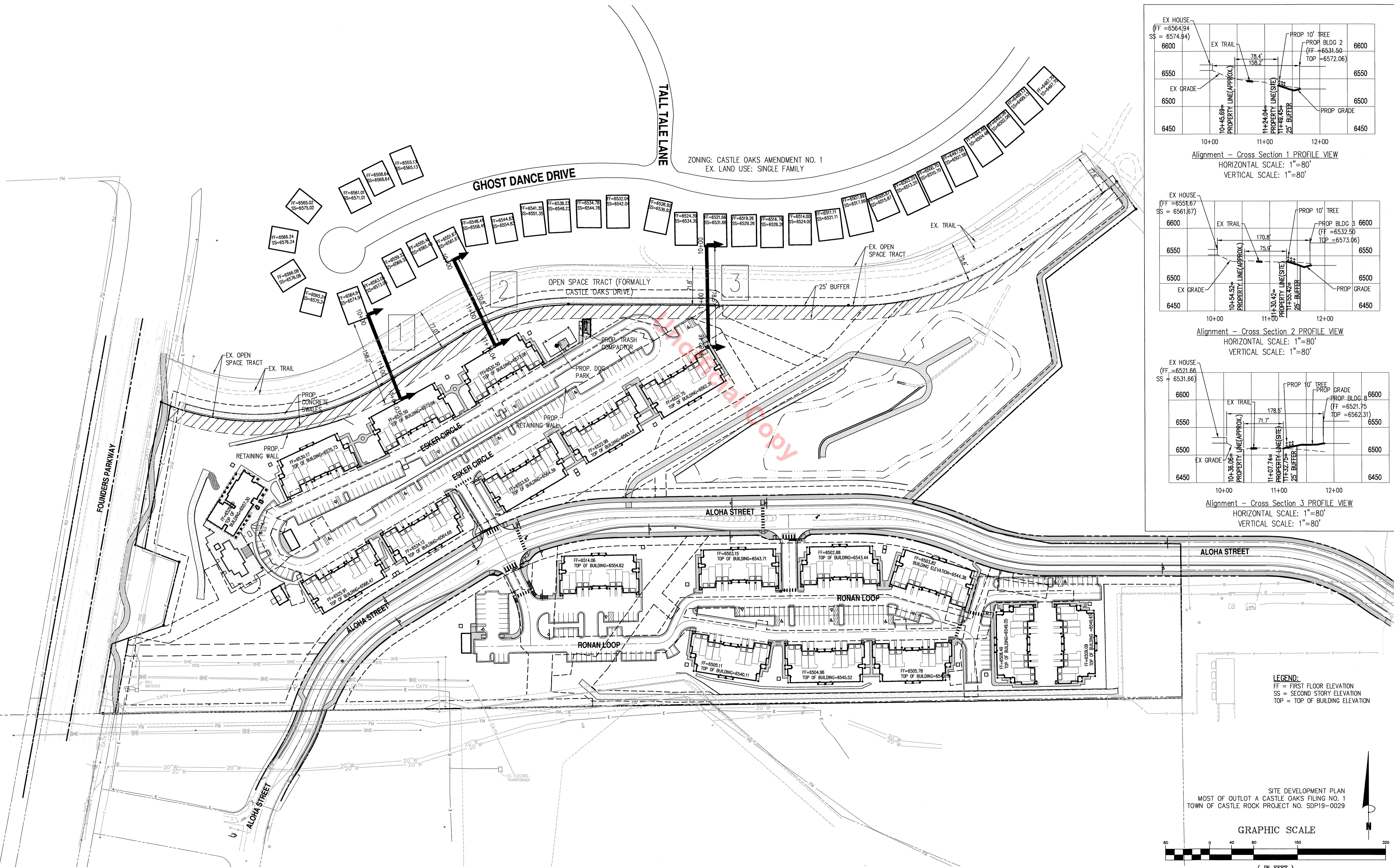
TOWN OF CASTLE ROCK  
COLORADO

|                              |       |      |
|------------------------------|-------|------|
| DESIGN                       | DRAWN | CHKD |
| RSD                          | BKM   | RSD  |
| SCALE: H: 1" = 50'<br>V: --- |       |      |
| JOB No. 020399-01-002        |       |      |
| DATE: 10/31/2019             |       |      |
| SHEET                        |       |      |
| <b>13 OF 29</b>              |       |      |

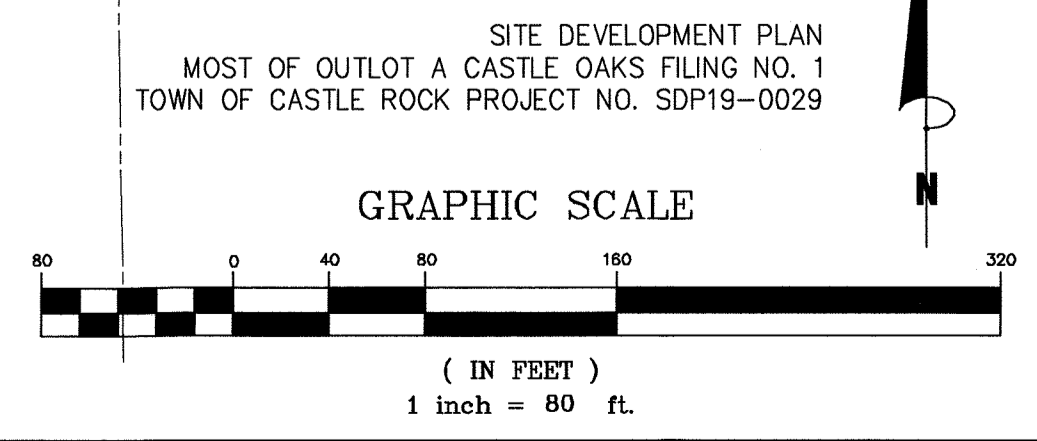


# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**LEGEND:**  
FF = FIRST FLOOR ELEVATION  
SS = SECOND STORY ELEVATION  
TOP = TOP OF BUILDING ELEVATION



SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
TOWN OF CASTLE ROCK PROJECT NO. SDP19-0029

**Bowman**  
CONSULTING

1526 Cole Boulevard, Suite 100  
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| REVISION | DATE     | DESCRIPTION    |
|----------|----------|----------------|
| 1        | 10/31/19 | 1ST SUBMISSION |
| 2        | 01/24/20 | 2ND SUBMISSION |
| 3        | 03/13/20 | 3RD SUBMISSION |
| 4        | 04/03/20 | 4TH SUBMISSION |
| 5        |          | 5TH SUBMISSION |

PHOTO-SIMULATIONS PLAN

SITE DEVELOPMENT PLAN

MOST OF OUTLOT A CASTLE OAKS FILING NO. 1

CALIBER AT TERRAIN

COLORADO

TOWN OF CASTLE ROCK

DESIGN RSD

SCALE: H: 1"=80'  
V:

JOB No. 020399-01-002

DATE: 10/31/2019

SHEET

**15 OF 29**

DRAWN BKM

CHKD RSD

**AVG. MATURE SIZE**  
**AVG. INSTALL SIZE**

**TREE TYPE**      **ESTIMATED QUANTITIES**

EVERGREEN TREE      61

DECIDUOUS TREE      207

ORNAMENTAL TREE      215

IREA APPROVED ORNAMENTAL TREE MAX. HEIGHT OF 15'      15

IREA APPROVED EVERGREEN TREE MAX. HEIGHT OF 15'      44

**SHRUB HYDROZONE TYPE**      **ESTIMATED QUANTITIES**

① VERY LOW      643

② LOW      477

③ MODERATE      185

**SURFACE MATERIALS**

FOOTHILLS MIX - 15% CRESTED WHEATGRASS, 15% ANNUAL RYE GRASS, 15% SODAR STREAMBANK WHEATGRASS, 10% SLENDER WHEATGRASS, 10% CANADA BLUEGRASS, 10% HARD FESCUE, 10% PUBESCENT WHEATGRASS, 5% SHERMAN BIG BLUEGRASS, 5% BLUE GRAMMA, AND 5% SWITCHGRASS

HARDWOOD MULCH INSTALLED AT A MIN. DEPTH OF 4".

SURFACE SELECT BOULDERS



DESIGNED BY: DANIEL ERLANDSON - 877  
 DRAWN BY: DANIEL R. ERLANDSON  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 04/14/2020

ISSUE FOR PRICING/BIDDING:  
 ISSUE DATE

ISSUE FOR PERMIT APPLICATION:  
 ISSUE DATE

ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

**REVISION SCHEDULE**

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |

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**CALIBER AT TERRAIN**  
 CASTLE ROCK, COLORADO  
 PROJECT # 19-111

**GENERAL CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES**

1. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3. AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
9. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
10. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUTS SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENT AS SHOWN ON THE PLAN.
11. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
12. AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS
13. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
14. DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITH FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
15. SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

**LANDSCAPE PLAN**

**SITE PLAN**



**MULTI-FAMILY OVERALL LANDSCAPE SITE INVENTORY TABLE:**

| GROSS SITE AREA | LANDSCAPE AREA REQUIRED / PROVIDED | TURFGRASS SPECIES / AREA | NONLIVING ORNAMENTAL AREA | NO. OF TREES REQUIRED       | OVERALL NO. OF TREES PROVIDED      | NO. OF SHRUBS REQUIRED | NO. OF SHRUBS PROVIDED | SOIL PREP. AMOUNTS     | SEP. IRRIGATION SERVICE CONN. |
|-----------------|------------------------------------|--------------------------|---------------------------|-----------------------------|------------------------------------|------------------------|------------------------|------------------------|-------------------------------|
| 1,153,483 SF    | 230,697 SF / 449,125 SF            | 585,465 SF               | 32,125 SF                 | 462                         | 463                                | 923                    | 989                    | 4 CUB. YD / 1000 SF    | YES                           |
| PARKING LOT     | PARKING LOT LANDSCAPE AREA         | NO. OF PARKING SPACES    | NONLIVING ORNAMENTAL AREA | NO. OF INT. LANDSC. ISLANDS | MIN. WIDTH OF INT. LANDSC. ISLANDS | NO. OF TREES REQUIRED  | NO. OF TREES PROVIDED  | NO. OF SHRUBS REQUIRED | NO. OF SHRUBS PROVIDED        |
| 163,160 SF      | 16,316 SF / 23,475 SF              | 268                      | 8,100 SF                  | 6 / 23,475 SF               | 8'-0"                              | 33                     | 36                     | 65                     | 71                            |

**STREETSCAPE ONLY REQUIREMENT TABLE (INSTALLED BY DEVELOPER) - (ST = STREET TREE)**

| STREET                        | LINEAR FEET | NO. OF TREES REQ'D (1 TREE/ 40 L.F.) | NO. OF LARGE CANOPY TREES PROVIDED (75%) | NO. OF OTHER TREES PROVIDED | STREET TREES TOTAL OF TREES PROVIDED | NO. OF SHRUBS REQUIRED (4 SHRUB/ 1 REQ'D TREE) | NO. OF SHRUBS PROVIDED |
|-------------------------------|-------------|--------------------------------------|--|-----------------------------|--------------------------------------|--|------------------------|
| FOUNDER PARKWAY               | 392 LF      | 10                                   | 0*                                       | 10                          | 10                                   | 40   | 40                     |
| ALOHA STREET (N) LABEL: (NST) | 1,150 LF    | 29                                   | 23                                       | 6                           | 29                                   | 116  | 116                    |
| ALOHA STREET (S) LABEL: (SST) | 1,580 LF    | 40                                   | 40                                       | 0                           | 40                                   | 160  | 160                    |

\*- Variance for required large canopy trees due to IREA overhead lines per TCV20-0020



**hpla studio**

**HUMPHREYS & PARTNERS LANDSCAPE ARCHITECTURE, L.L.C.**  
 5339 ALPHA ROAD SUITE 300  
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 GARRETT COMPANIES  
 1051 GREENWOOD SPRINGS BLVD  
 SUITE 100, Greenwood Indiana 46143  
 T: (317) 886-7923

SHEET TITLE  
**LANDSCAPE COVER SHEET**

SHEET NUMBER  
**16 OF 29**

SCALE: AS INDICATED

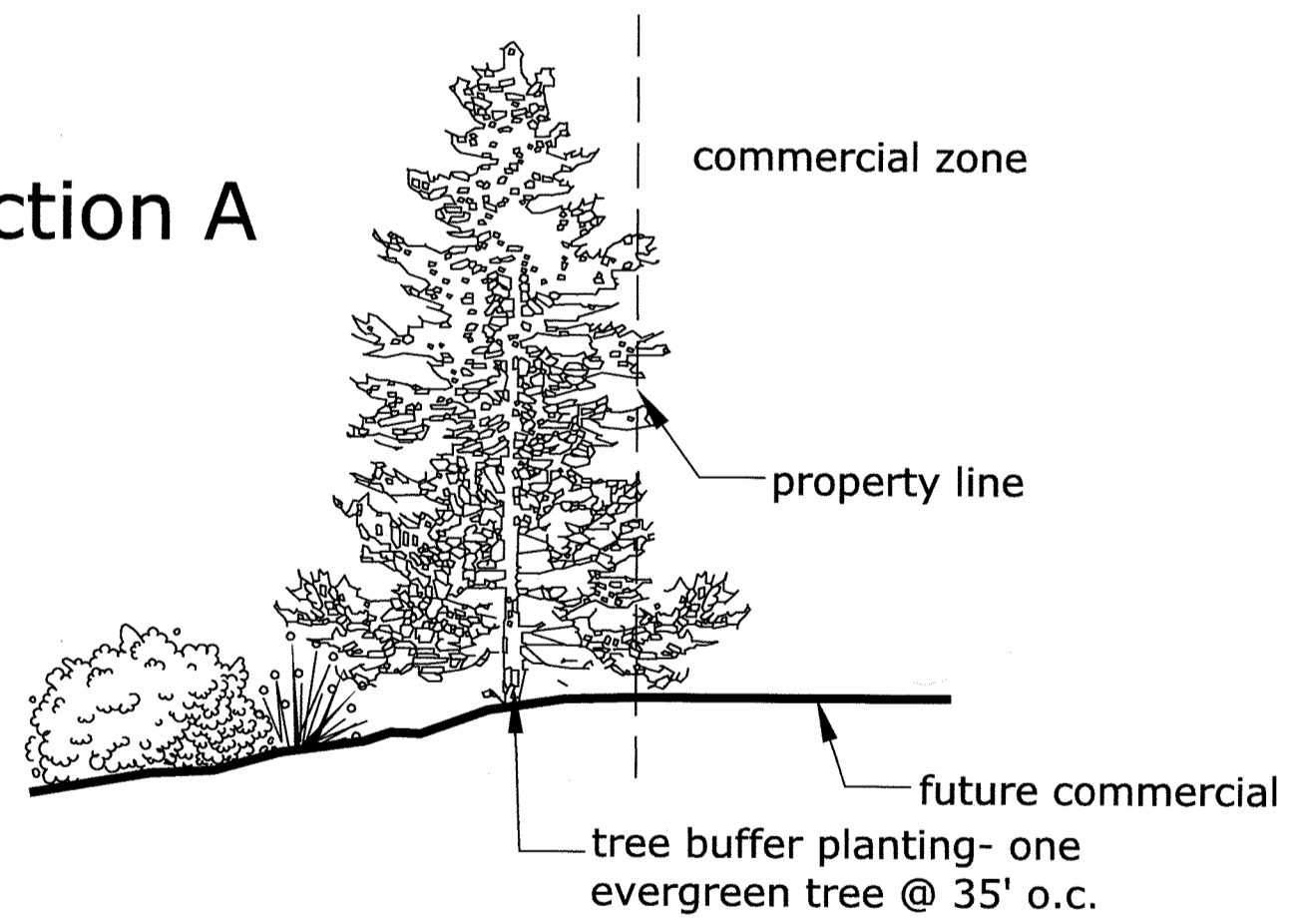
SDP SET - 2020-APRIL-14

| AVG. MATURE SIZE<br>AVG. INSTALL SIZE | TREE TYPE   | ESTIMATED QUANTITIES |
|---------------------------------------|---|----------------------|
|                                       | EVERGREEN TREE                                      | 61                   |
|                                       | DECIDUOUS TREE                                      | 207                  |
|                                       | ORNAMENTAL TREE                                     | 215                  |
|                                       | IREA APPROVED ORNAMENTAL TREE<br>MAX. HEIGHT OF 15' | 15                   |
|                                       | IREA APPROVED EVERGREEN TREE<br>MAX. HEIGHT OF 15'  | 44                   |
| SHRUB HYDROZONE TYPE                  | ESTIMATED QUANTITIES                                |                      |
|                                       | VERY LOW  | 643                  |
|                                       | LOW   | 477                  |
|                                       | MODERATE  | 185                  |

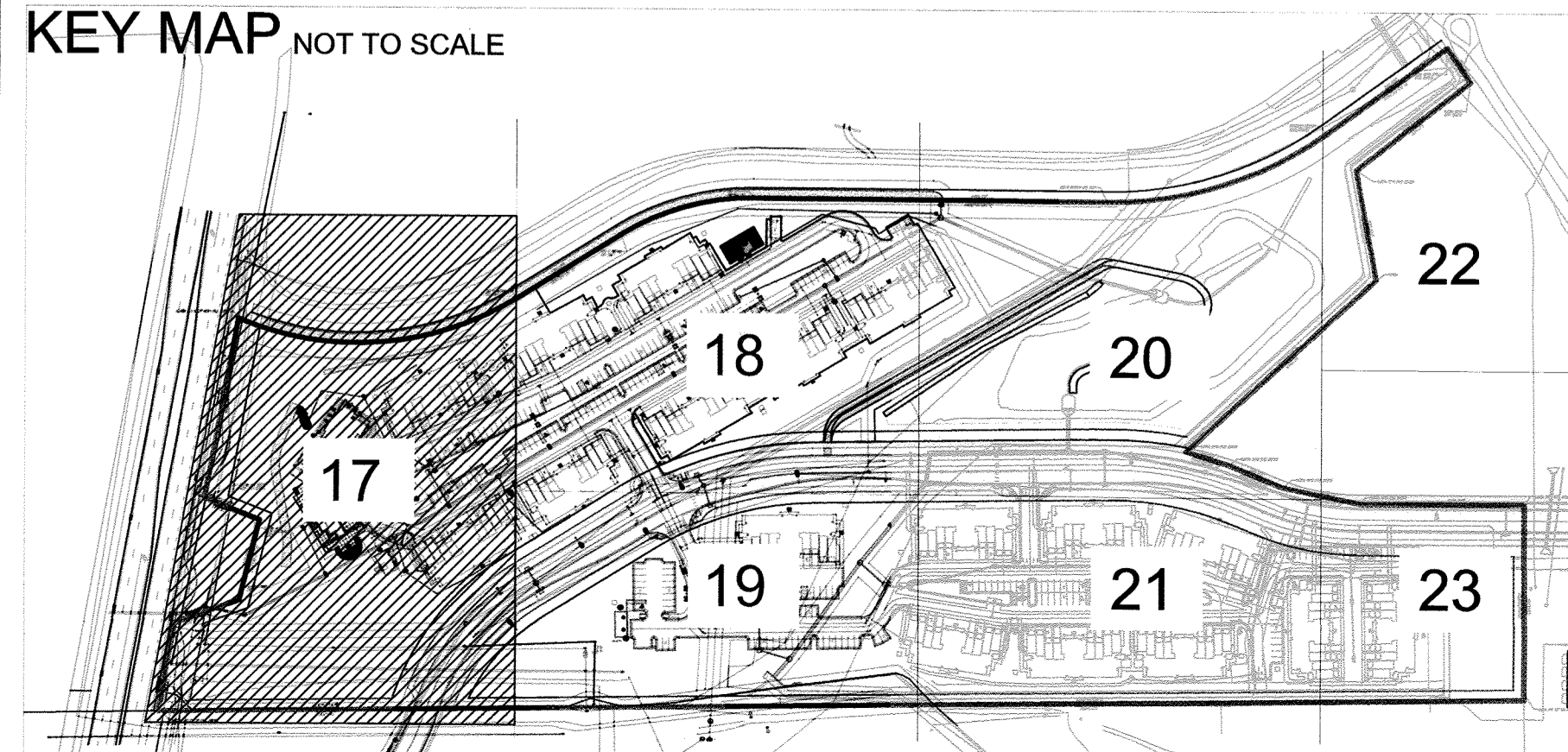
  

| SURFACE MATERIALS |   |
|-------------------|---|
|                   | FOOTHILLS MIX -<br>15% CRESTED WHEATGRASS, 15% ANNUAL RYE GRASS, 15% SODAR STREAMBANK WHEATGRASS, 10% SLENDER WHEATGRASS, 10% CANADA BLUEGRASS, 10% HARD FESCUE, 10% PUBESCENT WHEATGRASS, 5% SHERMAN BIG BLUEGRASS, 5% BLUE GRAMMA, AND 5% SWITCHGRASS |
|                   | HARDWOOD MULCH INSTALLED AT A MIN. DEPTH OF 4".   |
|                   | SURFACE SELECT BOULDERS   |

**cross section A**

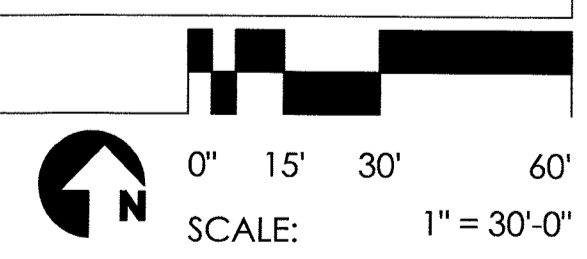


**KEY MAP** NOT TO SCALE



**LANDSCAPE PLAN**

**SITE PLAN**



DESIGNED BY: DANIEL ERLANDSON - 877  
 DRAWN BY: DANIEL R. ERLANDSON  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 04/14/2020

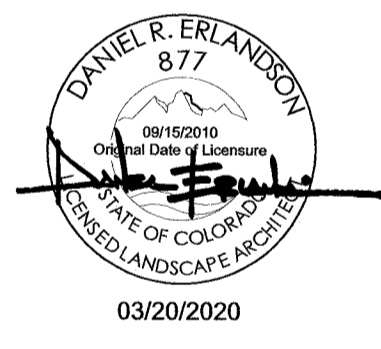
ISSUE FOR PRICING/BIDDING:  
 ISSUE DATE  
 ISSUE FOR PERMIT APPLICATION:  
 ISSUE DATE  
 ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

| REVISION SCHEDULE |      |             |
|-------------------|------|-------------|
| NO.               | DATE | DESCRIPTION |
|                   |      |             |
|                   |      |             |
|                   |      |             |

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**CALIBER AT TERRAIN**  
 CASTLE ROCK, COLORADO  
 PROJECT # 19-111



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**CLIENT GARRETT COMPANIES**  
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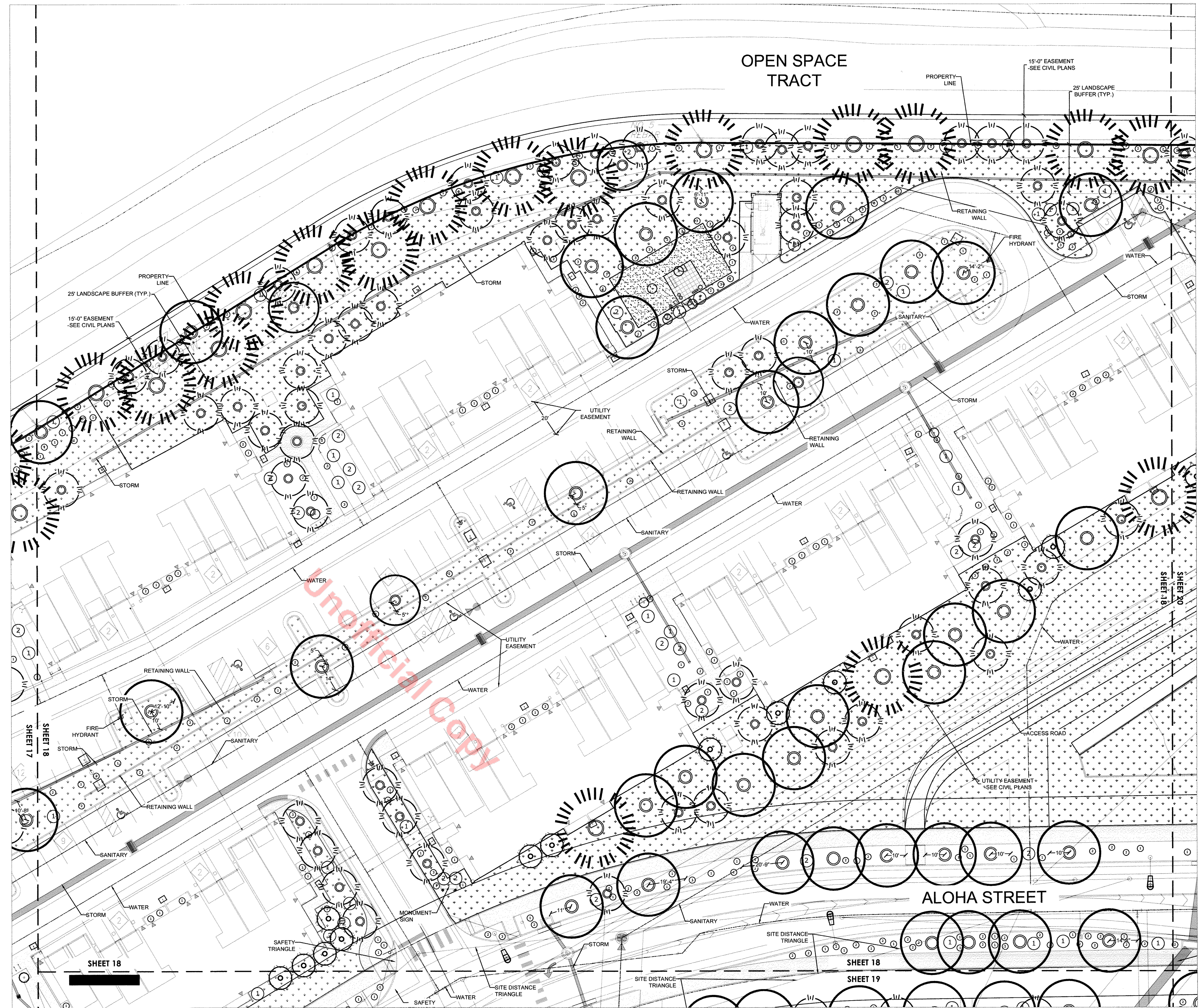
SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**17 OF 29**

SCALE: AS INDICATED

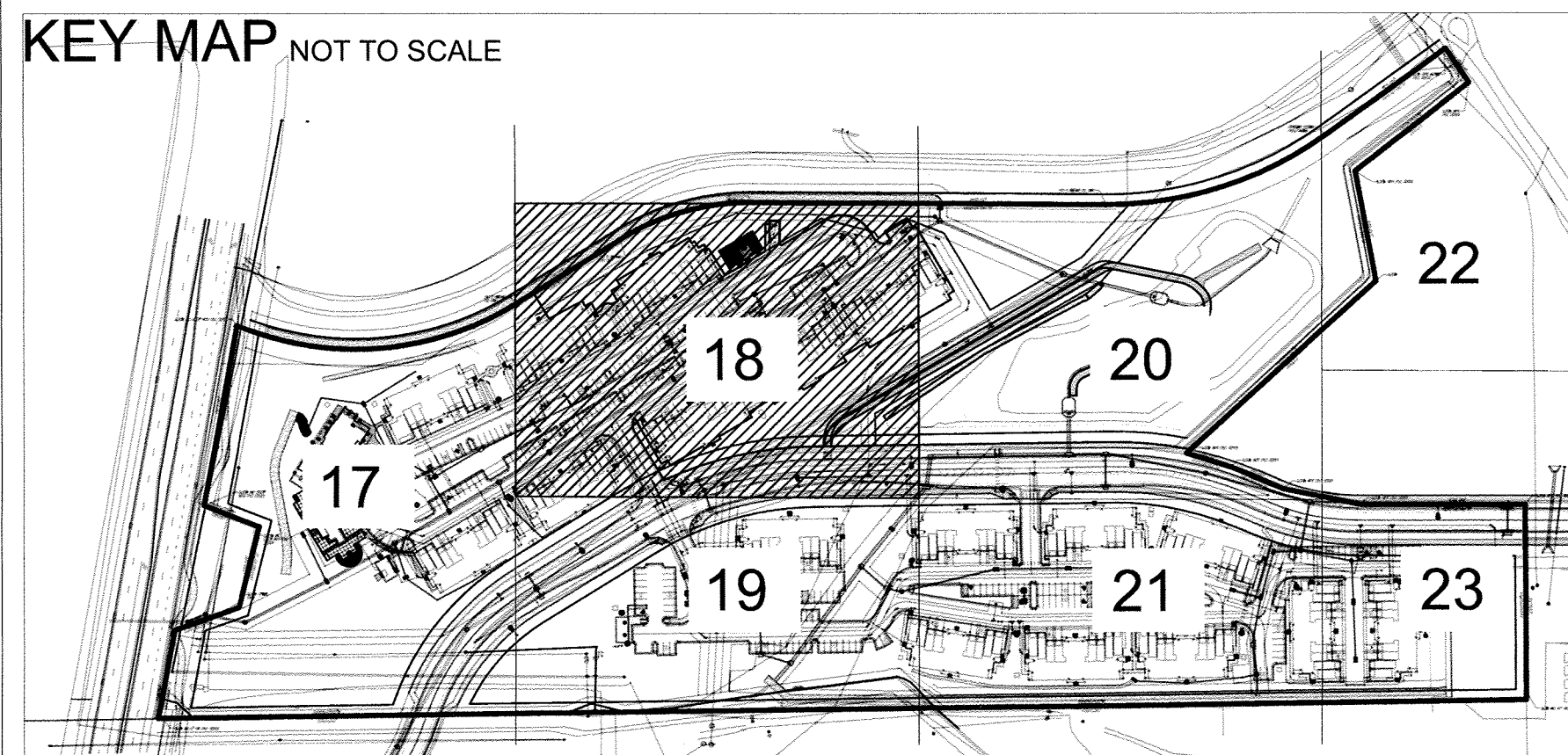
SDP SET - 2020-APRIL-14

| AVG. MATURE SIZE<br>AVG. INSTALL SIZE | TREE TYPE  | ESTIMATED<br>QUANTITIES |
|---------------------------------------|--|-------------------------|
|                                       | EVERGREEN TREE   | 61                      |
|                                       | DECIDUOUS TREE   | 207                     |
|                                       | ORNAMENTAL TREE  | 215                     |
|                                       | IREA APPROVED<br>ORNAMENTAL TREE<br>MAX. HEIGHT OF 15'   | 15                      |
|                                       | IREA APPROVED<br>EVERGREEN TREE<br>MAX. HEIGHT OF 15'  | 44                      |
| SHRUB HYDROZONE<br>TYPE               |  | ESTIMATED<br>QUANTITIES |
| ①                                     | VERY LOW   | 643                     |
| ②                                     | LOW  | 477                     |
| ③                                     | MODERATE   | 185                     |
| SURFACE MATERIALS                     |  |                         |
|                                       | FOOTHILLS MIX -<br>15% CRESTED WHEATGRASS, 15%<br>ANNUAL RYE GRASS, 15% SODAR<br>STREAMBANK WHEATGRASS, 10%<br>SLENDER WHEATGRASS, 10% CANADA<br>BLUEGRASS, 10% HARD FESCUE, 10%<br>PUBESCENT WHEATGRASS, 5% SHERMAN<br>BIG BLUEGRASS, 5% BLUE GRAMMA, AND<br>5% SWITCHGRASS |                         |
|                                       | HARDWOOD MULCH INSTALLED AT<br>A MIN. DEPTH OF 4".   |                         |
|                                       | SURFACE SELECT BOULDERS  |                         |



LANDSCAPE PLAN

SITE PLAN



DESIGNED BY: DANIEL ERLANDSON - 877  
 DRAWN BY: DANIEL R. ERLANDSON  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 04/14/2020

ISSUE FOR PRICING/BIDDING:  
 ISSUE DATE

ISSUE FOR PERMIT APPLICATION:  
 ISSUE DATE

ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

| REVISION SCHEDULE |      |             |
|-------------------|------|-------------|
| NO.               | DATE | DESCRIPTION |
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**CALIBER  
 AT TERRAIN**

CASTLE ROCK, COLORADO

PROJECT # 19-111



03/20/2020

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 GARRETT COMPANIES  
 1051 GREENWOOD SPRINGS BLVD  
 SUITE 100, Greenwood Indiana 46143  
 T: (317) 886-7923

SHEET TITLE  
 LANDSCAPE PLAN

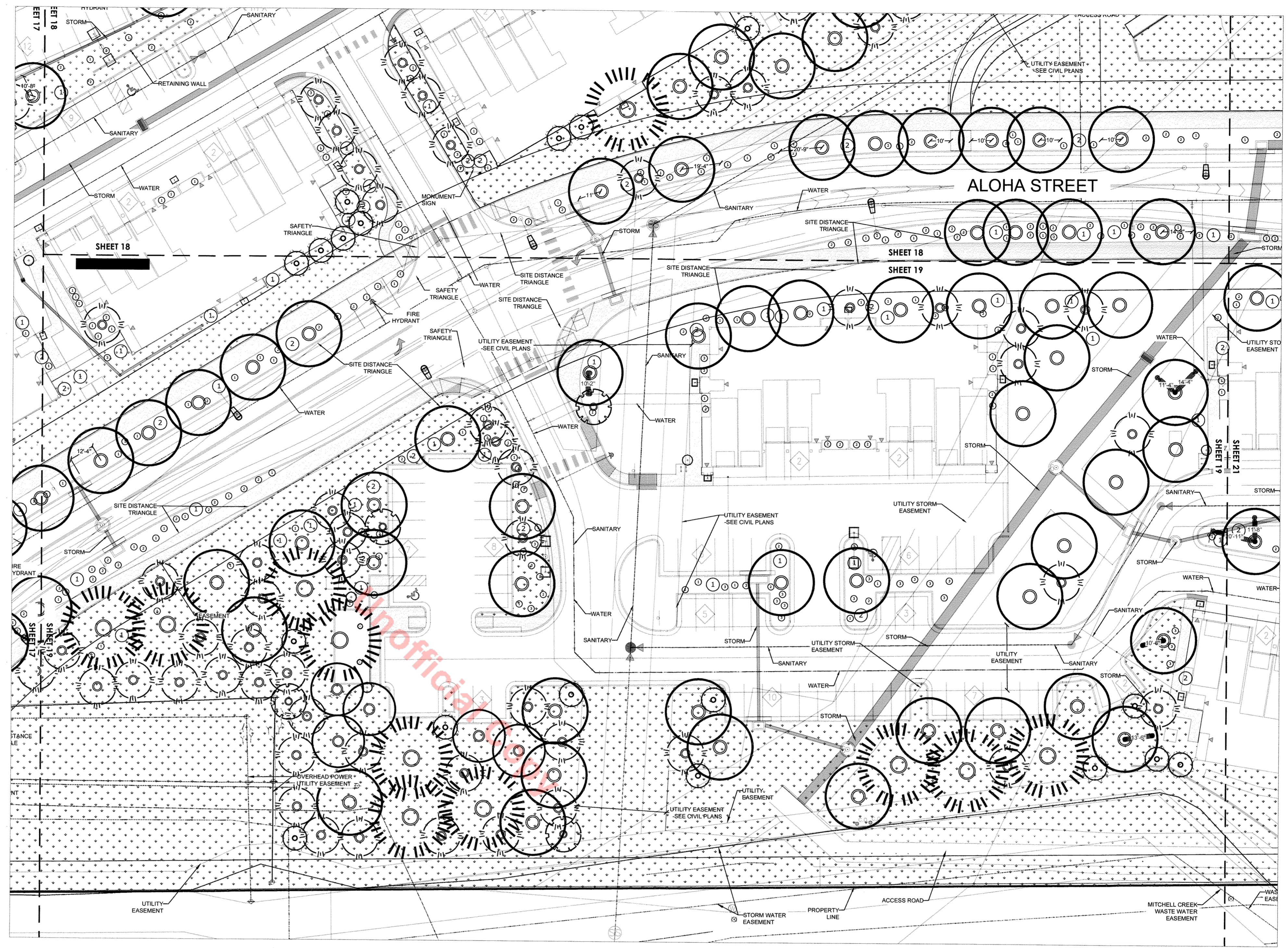
SHEET NUMBER  
 18 OF 29

SCALE: AS INDICATED

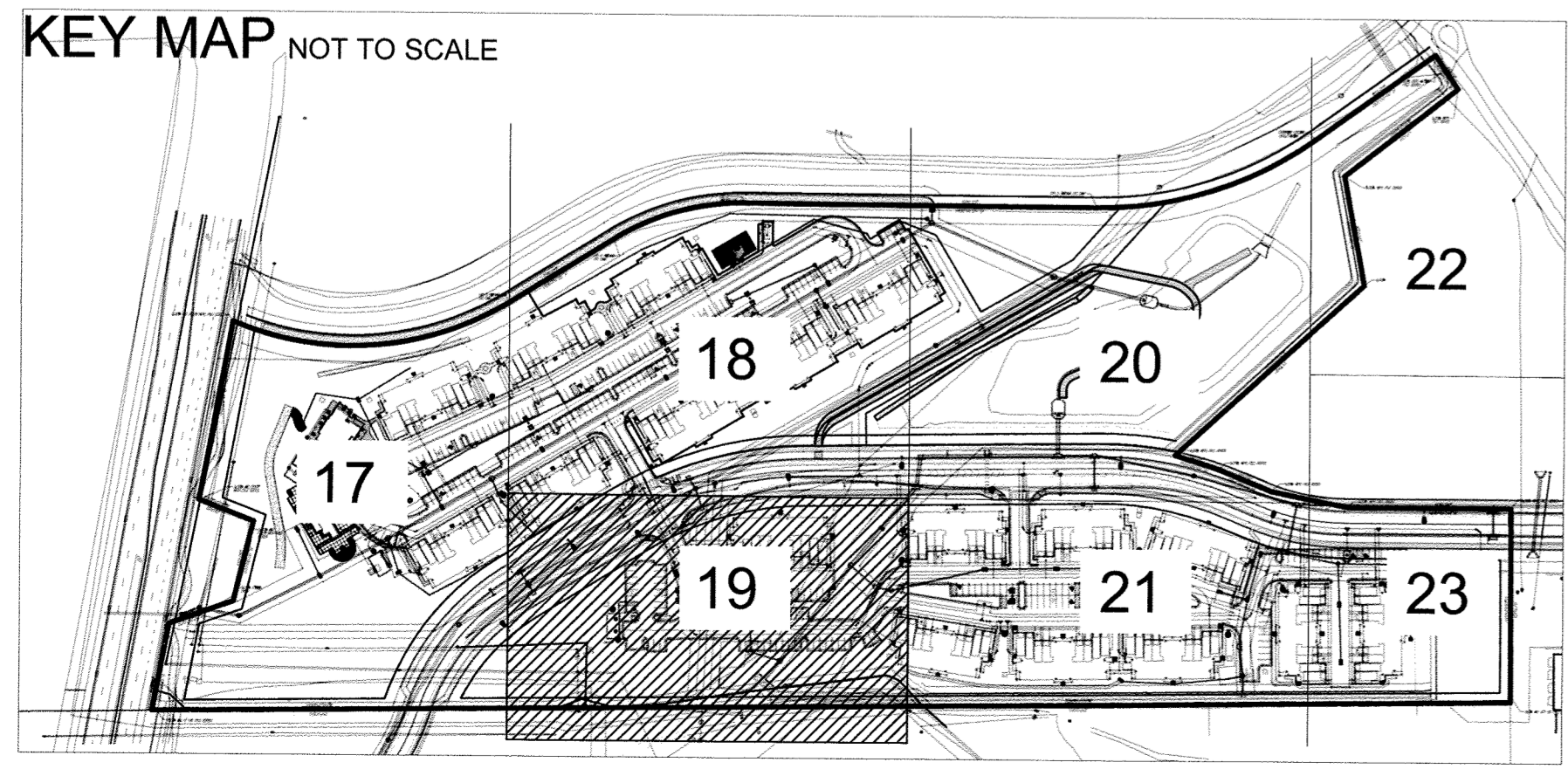
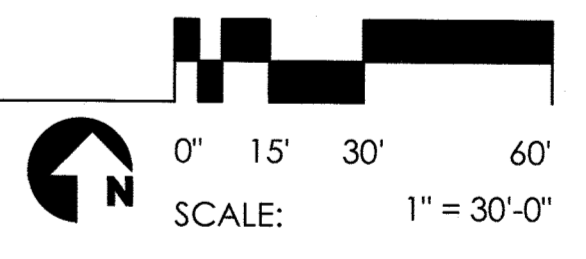


SDP SET - 2020-APRIL-14

| AVG. MATURE SIZE<br>AVG. INSTALL SIZE | TREE TYPE   | ESTIMATED QUANTITIES |
|---------------------------------------|---|----------------------|
|                                       | EVERGREEN TREE  | 61                   |
|                                       | DECIDUOUS TREE  | 207                  |
|                                       | ORNAMENTAL TREE   | 215                  |
|                                       | IREA APPROVED ORNAMENTAL TREE<br>MAX. HEIGHT OF 15'   | 15                   |
|                                       | IREA APPROVED EVERGREEN TREE<br>MAX. HEIGHT OF 15'  | 44                   |
|                                       | SHRUB HYDROZONE TYPE  | ESTIMATED QUANTITIES |
|                                       | VERY LOW  | 643                  |
|                                       | LOW   | 477                  |
|                                       | MODERATE  | 185                  |
| <b>SURFACE MATERIALS</b>              |   |                      |
|                                       | FOOTHILLS MIX -<br>15% CRESTED WHEATGRASS, 15% ANNUAL RYE GRASS, 15% SODAR STREAMBANK WHEATGRASS, 10% SLENDER WHEATGRASS, 10% CANADA BLUEGRASS, 10% HARD FESCUE, 10% PUBESCENT WHEATGRASS, 5% SHERMAN BIG BLUEGRASS, 5% BLUE GRAMMA, AND 5% SWITCHGRASS |                      |
|                                       | HARDWOOD MULCH INSTALLED AT A MIN. DEPTH OF 4".   |                      |
|                                       | SURFACE SELECT BOULDERS   |                      |



LANDSCAPE PLAN  
SITE PLAN



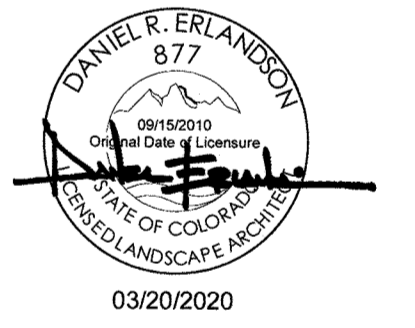
DESIGNED BY: DANIEL ERLANDSON - 877  
 DRAWN BY: DANIEL R. ERLANDSON  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 04/14/2020

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 CASTLE ROCK, COLORADO  
 PROJECT # 19-111



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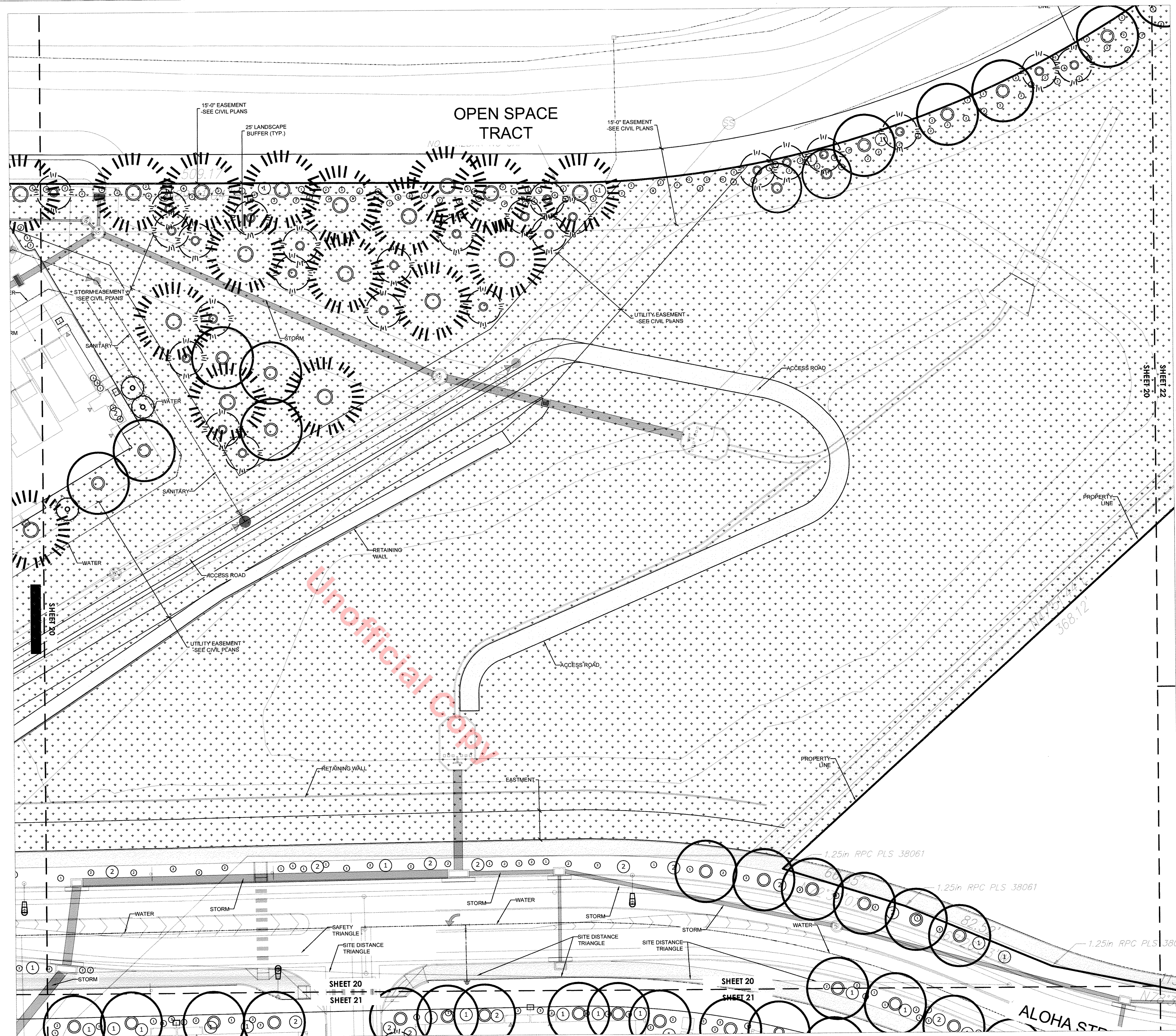
SHEET TITLE  
 LANDSCAPE PLAN

SHEET NUMBER  
 19 OF 29

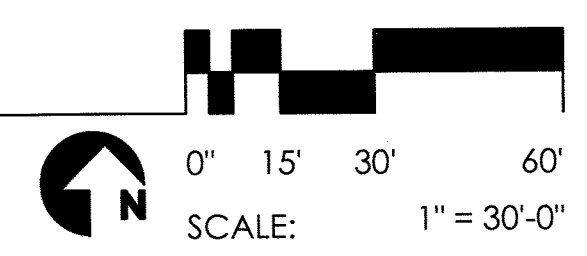
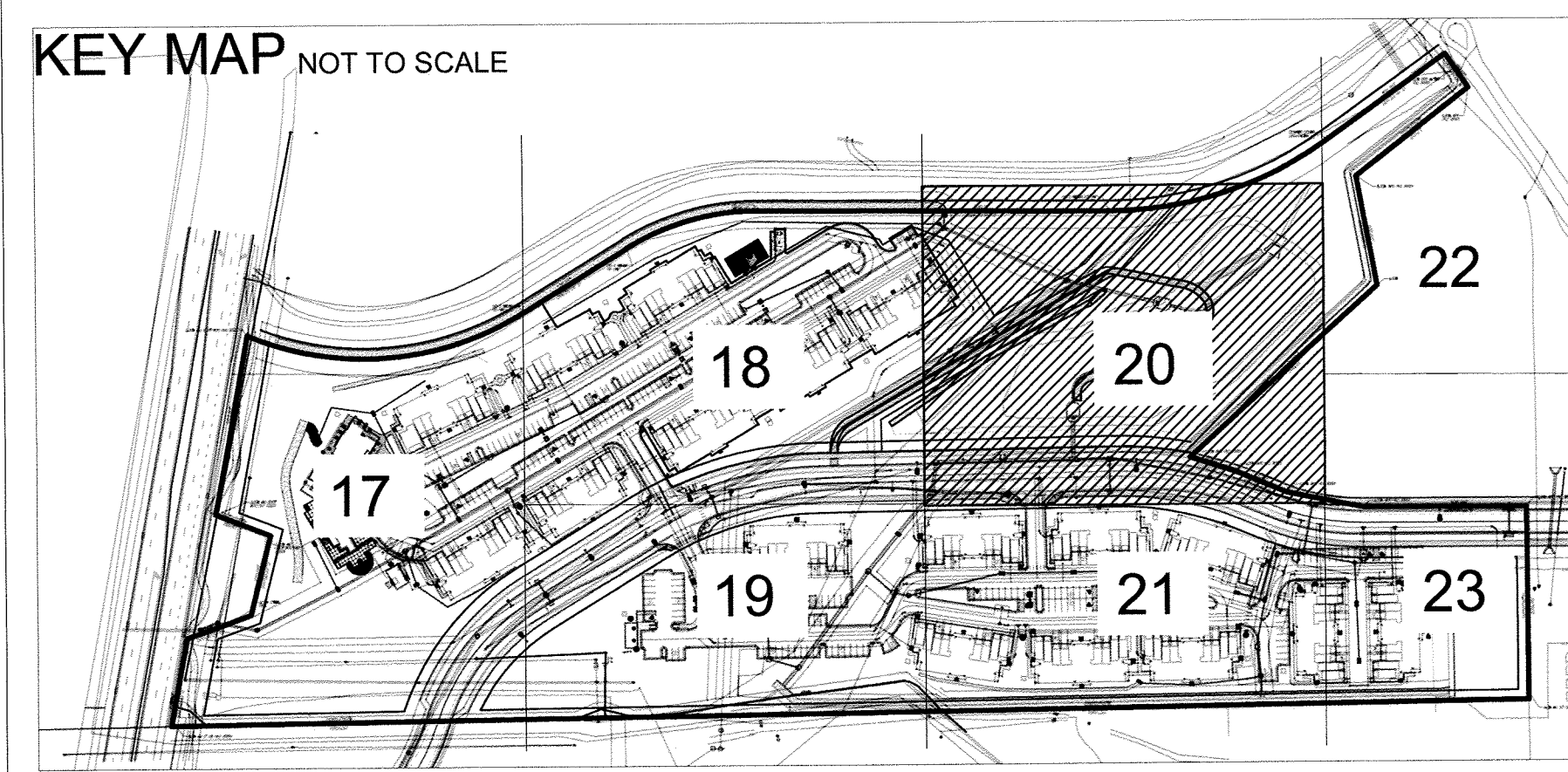
SCALE: AS INDICATED

SDP SET - 2020-APRIL-14

| AVG. MATURE SIZE<br>AVG. INSTALL SIZE | TREE TYPE   | ESTIMATED QUANTITIES |
|---------------------------------------|---|----------------------|
|                                       | EVERGREEN TREE  | 61                   |
|                                       | DECIDUOUS TREE  | 207                  |
|                                       | ORNAMENTAL TREE   | 215                  |
|                                       | IREA APPROVED ORNAMENTAL TREE<br>MAX. HEIGHT OF 15'   | 15                   |
|                                       | IREA APPROVED EVERGREEN TREE<br>MAX. HEIGHT OF 15'  | 44                   |
| SHRUB HYDROZONE TYPE                  | ESTIMATED QUANTITIES  |                      |
|                                       | VERY LOW  | 643                  |
|                                       | LOW   | 477                  |
|                                       | MODERATE  | 185                  |
| SURFACE MATERIALS                     |   |                      |
|                                       | FOOTHILLS MIX -<br>15% CRESTED WHEATGRASS, 15% ANNUAL RYE GRASS, 15% SODAR STREAMBANK WHEATGRASS, 10% SLENDER WHEATGRASS, 10% CANADA BLUEGRASS, 10% HARD FESCUE, 10% PUBESCENT WHEATGRASS, 5% SHERMAN BIG BLUEGRASS, 5% BLUE GRAMMA, AND 5% SWITCHGRASS |                      |
|                                       | HARDWOOD MULCH INSTALLED AT A MIN. DEPTH OF 4".   |                      |
|                                       | SURFACE SELECT BOULDERS   |                      |



LANDSCAPE PLAN  
SITE PLAN



DESIGNED BY: DANIEL ERLANDSON - 877  
 DRAWN BY: DANIEL R. ERLANDSON  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 04/14/2020

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 PROJECT # 19-111



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SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**20 OF 29**

SCALE: AS INDICATED

SDP SET - 2020-APRIL-14

| AVG. MATURE SIZE<br>AVG. INSTALL SIZE | TREE TYPE   | ESTIMATED QUANTITIES |
|---------------------------------------|---|----------------------|
|                                       | EVERGREEN TREE                                      | 61                   |
|                                       | DECIDUOUS TREE                                      | 207                  |
|                                       | ORNAMENTAL TREE                                     | 215                  |
|                                       | IREA APPROVED ORNAMENTAL TREE<br>MAX. HEIGHT OF 15' | 15                   |
|                                       | IREA APPROVED EVERGREEN TREE<br>MAX. HEIGHT OF 15'  | 44                   |

| SHRUB HYDROZONE TYPE | ESTIMATED QUANTITIES |
|----------------------|----------------------|
| ① VERY LOW           | 643                  |
| ② LOW                | 477                  |
| ③ MODERATE           | 185                  |

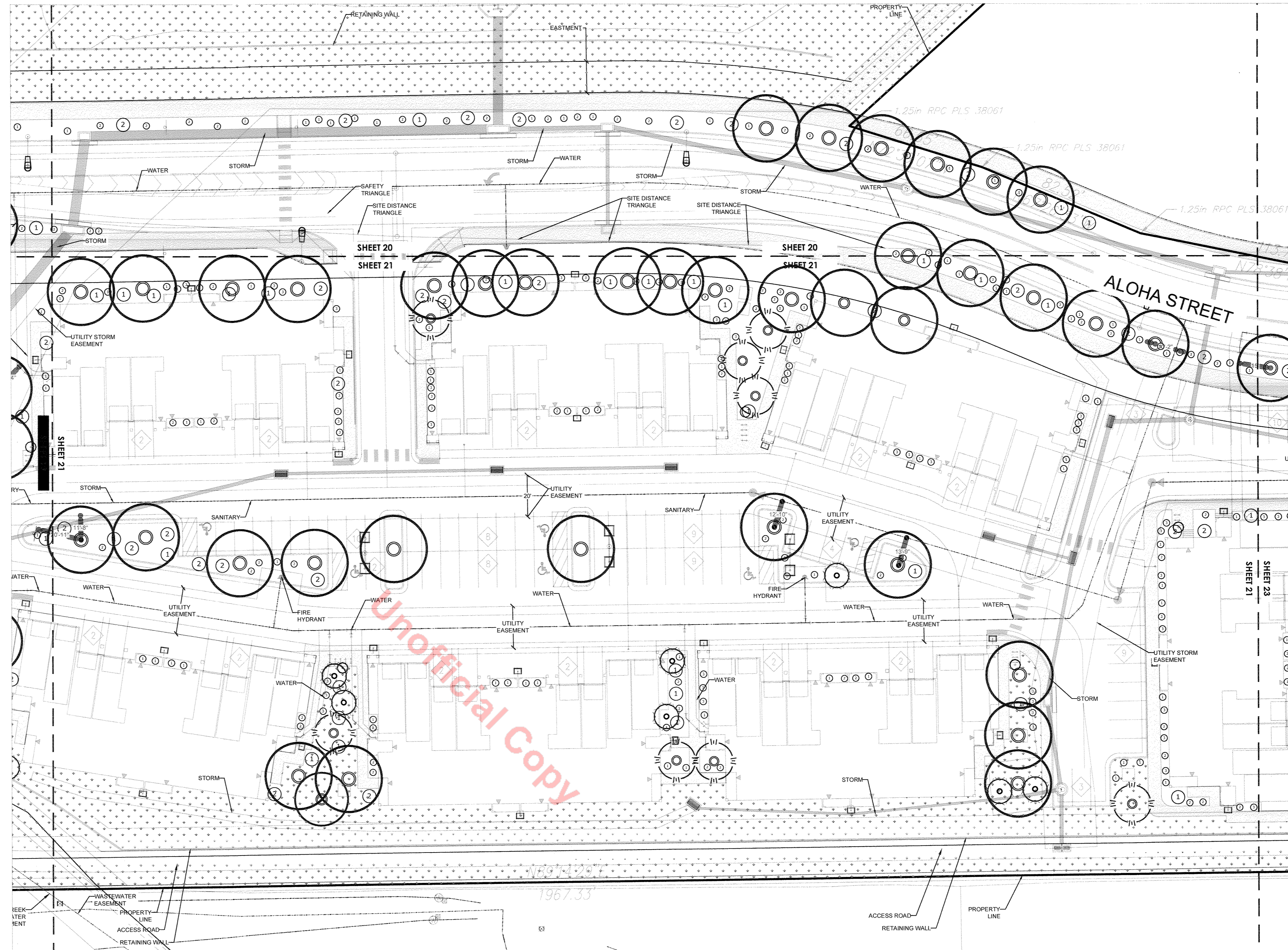
  

**SURFACE MATERIALS**

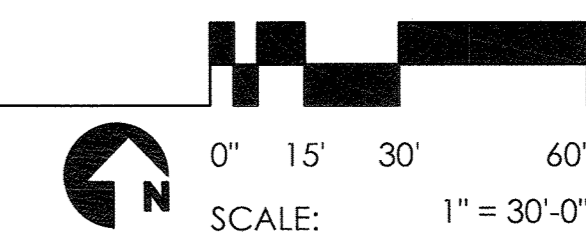
FOOTHILLS MIX -  
15% CRESTED WHEATGRASS, 15% ANNUAL RYE GRASS, 15% SODAR STREAMBANK WHEATGRASS, 10% SLENDER WHEATGRASS, 10% CANADA BLUEGRASS, 10% HARD FESCUE, 10% PUBESCENT WHEATGRASS, 5% SHERMAN BIG BLUEGRASS, 5% BLUE GRAMMA, AND 5% SWITCHGRASS

HARDWOOD MULCH INSTALLED AT A MIN. DEPTH OF 4".

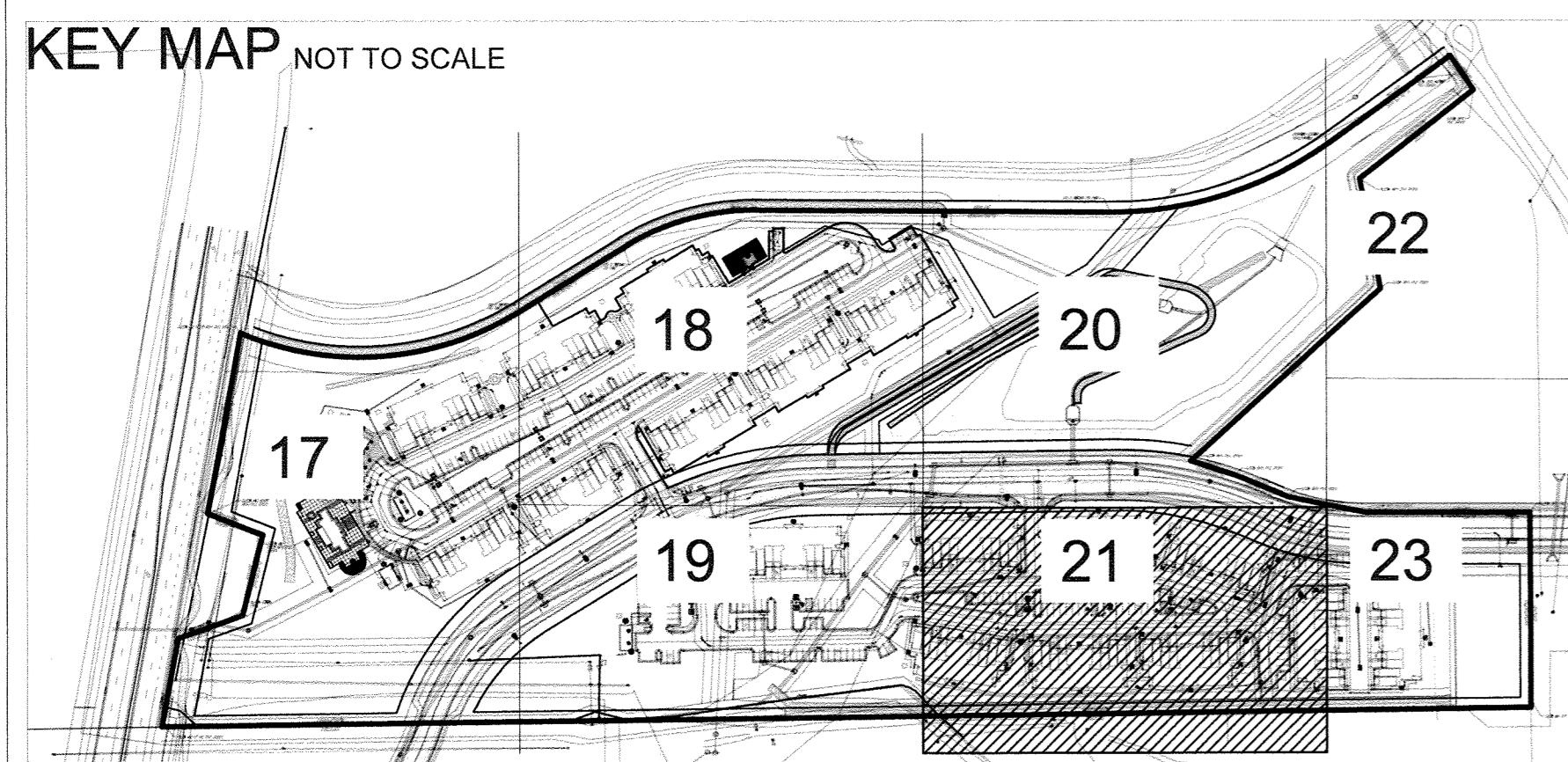
SURFACE SELECT BOULDERS



LANDSCAPE PLAN  
SITE PLAN



KEY MAP NOT TO SCALE



DESIGNED BY: DANIEL ERLANDSON - 877  
 DRAWN BY: DANIEL R. ERLANDSON  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 04/14/2020

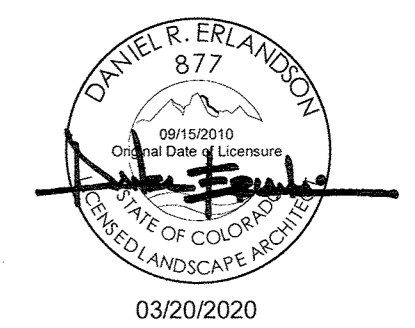
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SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**21 OF 29**

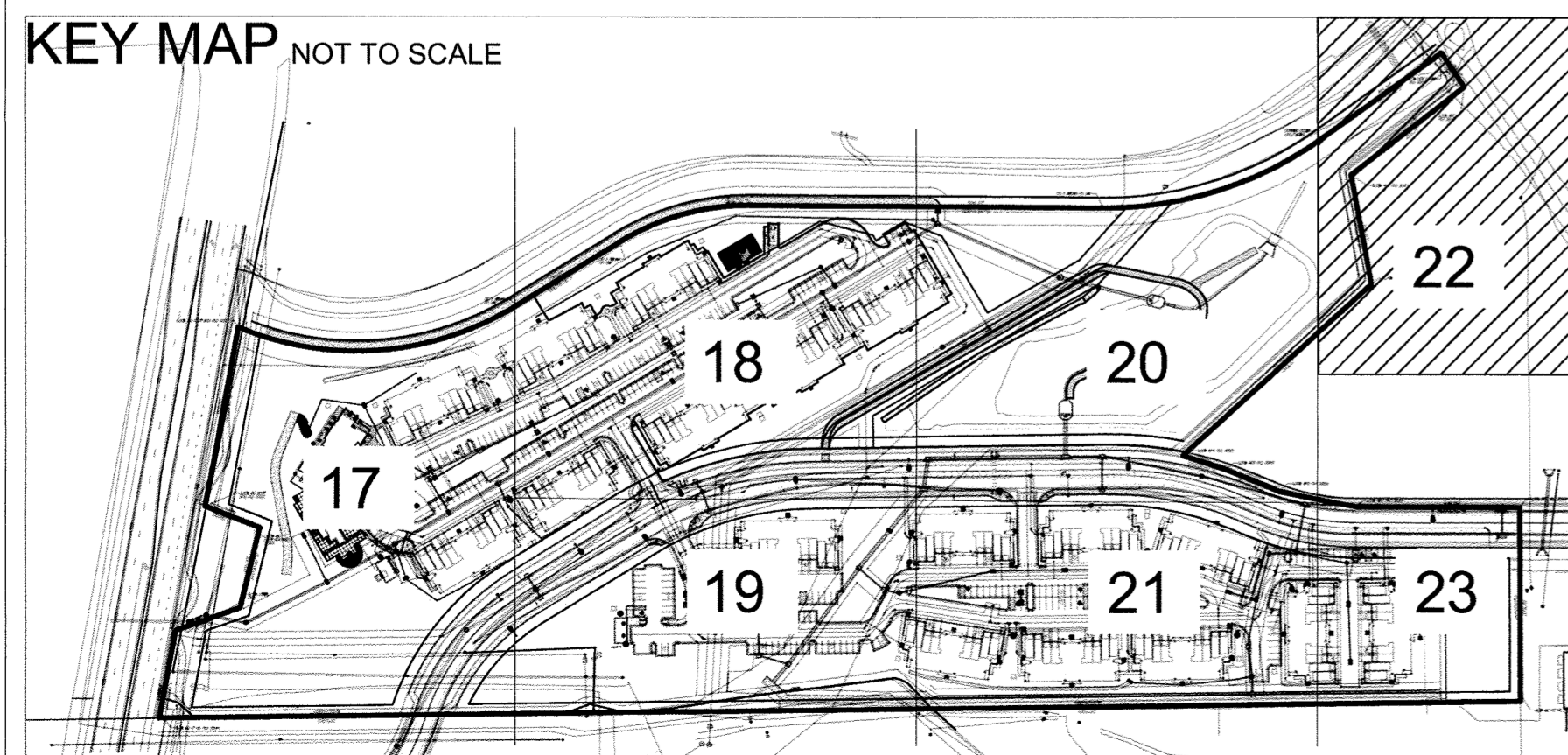
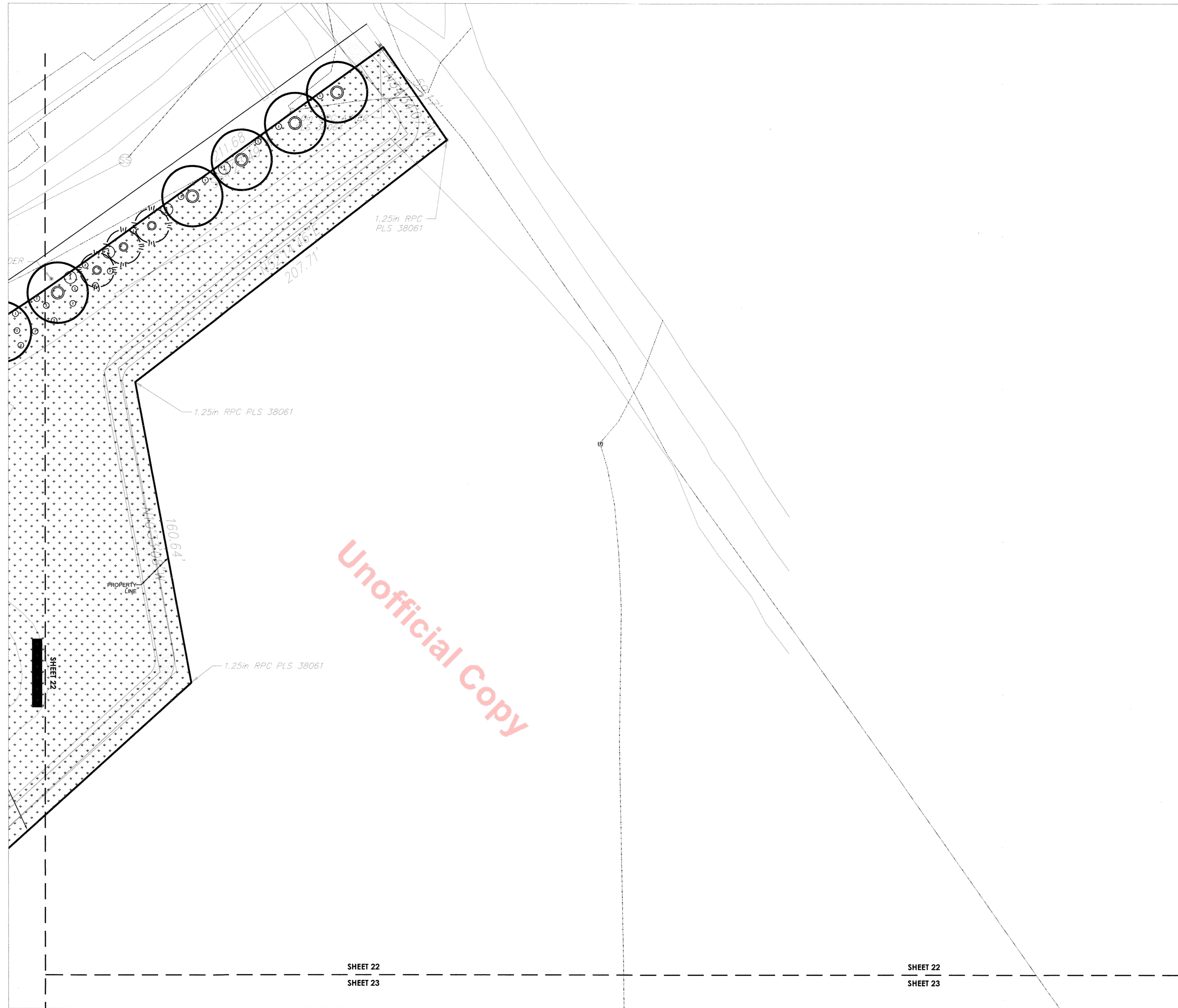
SCALE: AS INDICATED

SDP SET - 2020-APRIL-14

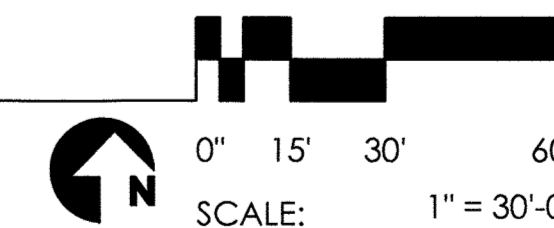
| AVG. MATURE SIZE<br>AVG. INSTALL SIZE | TREE TYPE   | ESTIMATED QUANTITIES |
|---------------------------------------|---|----------------------|
|                                       | EVERGREEN TREE                                      | 61                   |
|                                       | DECIDUOUS TREE                                      | 207                  |
|                                       | ORNAMENTAL TREE                                     | 215                  |
|                                       | IREA APPROVED ORNAMENTAL TREE<br>MAX. HEIGHT OF 15' | 15                   |
|                                       | IREA APPROVED EVERGREEN TREE<br>MAX. HEIGHT OF 15'  | 44                   |
| SHRUB HYDROZONE TYPE                  | ESTIMATED QUANTITIES                                |                      |
|                                       | VERY LOW  | 643                  |
|                                       | LOW   | 477                  |
|                                       | MODERATE  | 185                  |

| SURFACE MATERIALS |   |
|-------------------|---|
|                   | FOOTHILLS MIX -<br>15% CRESTED WHEATGRASS, 15% ANNUAL RYE GRASS, 15% SODAR STREAMBANK WHEATGRASS, 10% SLENDER WHEATGRASS, 10% CANADA BLUEGRASS, 10% HARD FESCUE, 10% PUBESCENT WHEATGRASS, 5% SHERMAN BIG BLUEGRASS, 5% BLUE GRAMMA, AND 5% SWITCHGRASS |
|                   | HARDWOOD MULCH INSTALLED AT A MIN. DEPTH OF 4".   |
|                   | SURFACE SELECT BOULDERS   |



LANDSCAPE PLAN  
SITE PLAN



DESIGNED BY: DANIEL ERLANDSON - 877  
 DRAWN BY: DANIEL R. ERLANDSON  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 04/14/2020

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 PROJECT # 19-111



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SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**22 OF 29**

SCALE: AS INDICATED

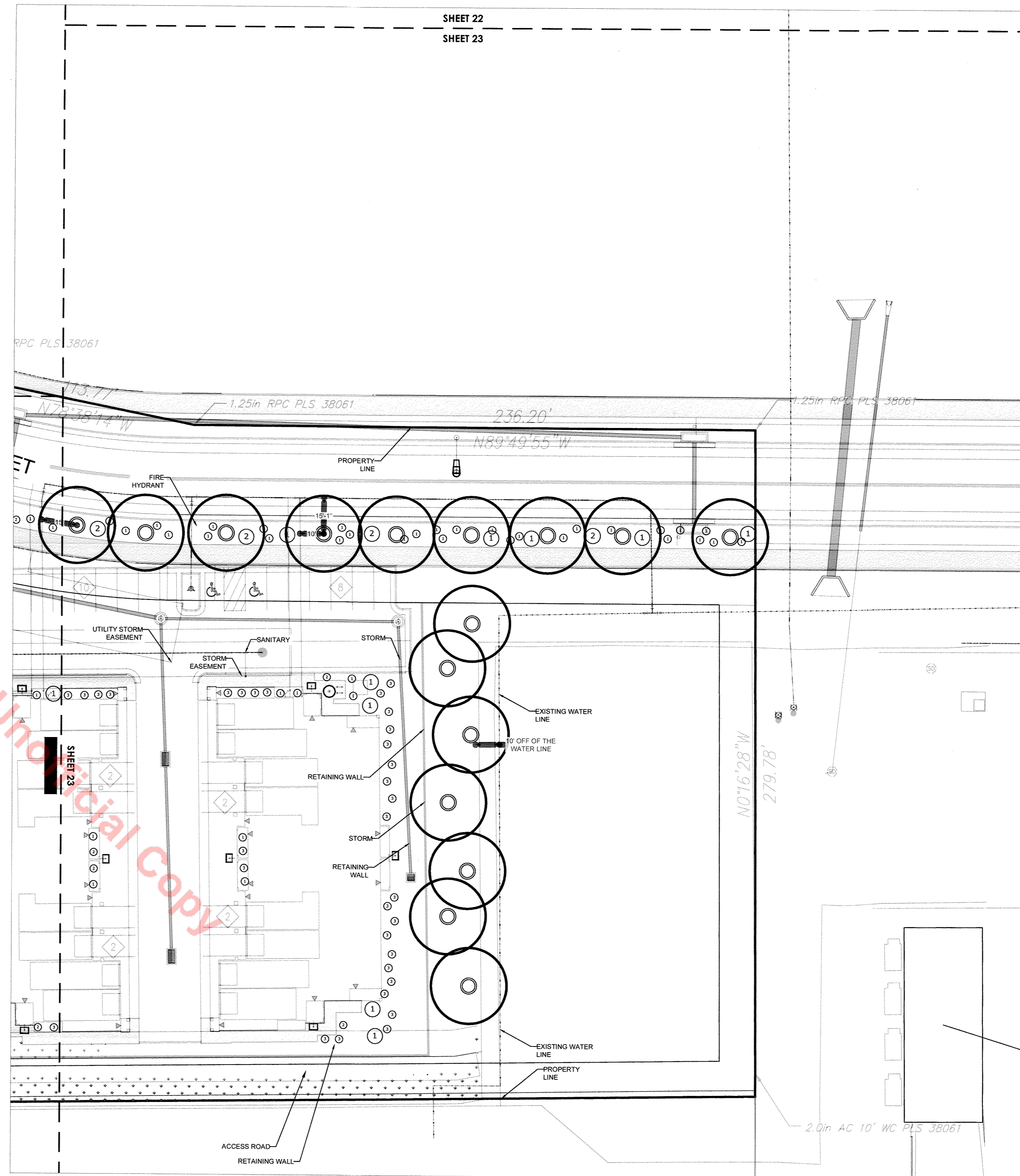
SDP SET - 2020-APRIL-14

| AVG. MATURE SIZE<br>AVG. INSTALL SIZE | TREE TYPE   | ESTIMATED QUANTITIES |
|---------------------------------------|---|----------------------|
|                                       | EVERGREEN TREE                                      | 61                   |
|                                       | DECIDUOUS TREE                                      | 207                  |
|                                       | ORNAMENTAL TREE                                     | 215                  |
|                                       | IREA APPROVED ORNAMENTAL TREE<br>MAX. HEIGHT OF 15' | 15                   |
|                                       | IREA APPROVED EVERGREEN TREE<br>MAX. HEIGHT OF 15'  | 44                   |

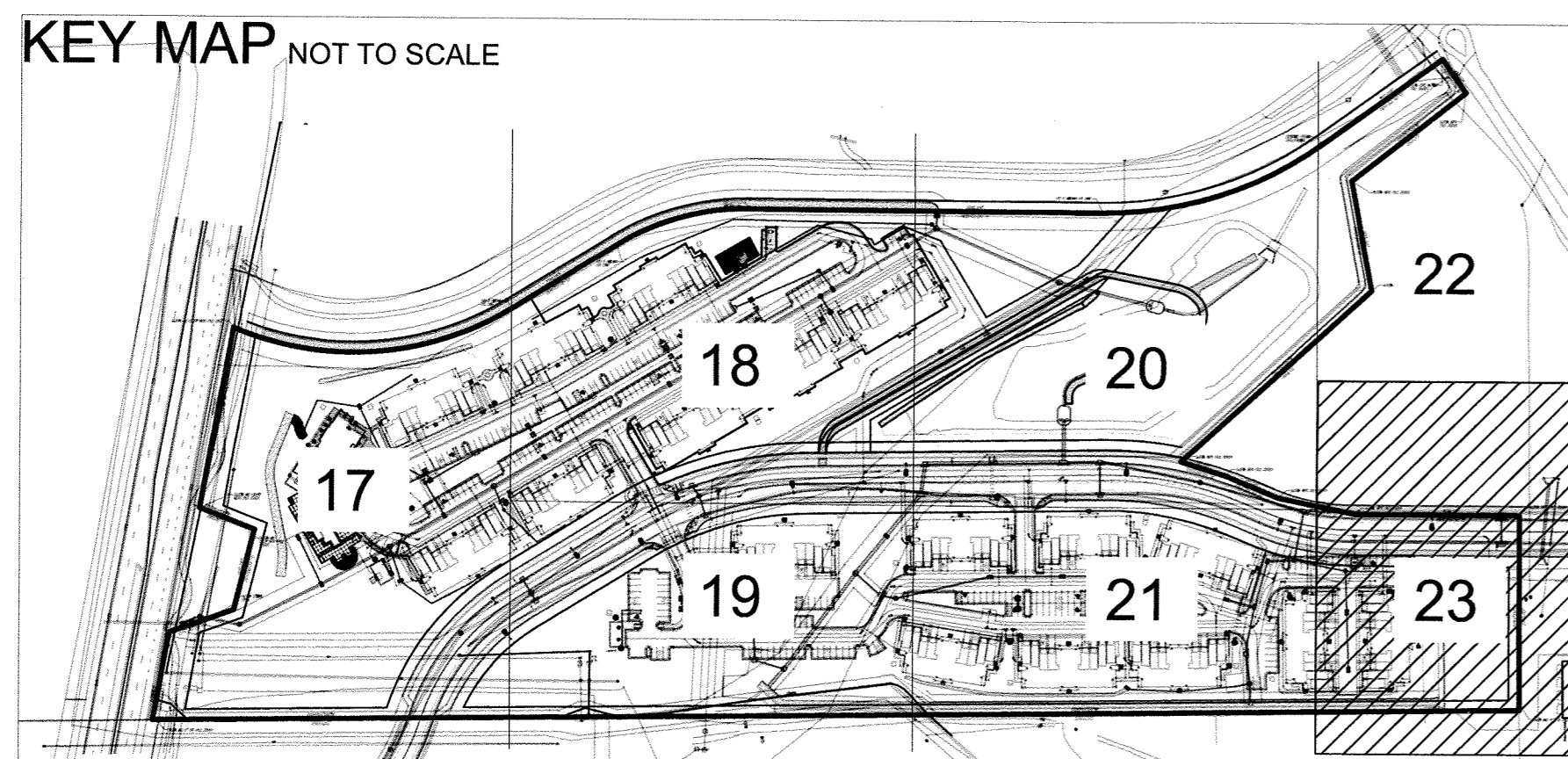
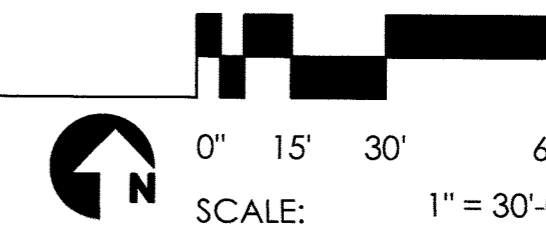
| SHRUB HYDROZONE TYPE | ESTIMATED QUANTITIES |
|----------------------|----------------------|
| ① VERY LOW           | 643                  |
| ② LOW                | 477                  |
| ③ MODERATE           | 185                  |

- SURFACE MATERIALS**
- Foothills Mix - 15% Crested Wheatgrass, 15% Annual Rye Grass, 15% Sodas Streambank Wheatgrass, 10% Slender Wheatgrass, 10% Canada Bluegrass, 10% Hard Fescue, 10% Pubescent Wheatgrass, 5% Sherman Big Bluegrass, 5% Blue Gramma, and 5% Switchgrass
  - HARDWOOD MULCH INSTALLED AT A MIN. DEPTH OF 4".
  - SURFACE SELECT BOULDERS



LANDSCAPE PLAN

SITE PLAN



DESIGNED BY: DANIEL ERLANDSON - 877  
 DRAWN BY: DANIEL R. ERLANDSON  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 04/14/2020

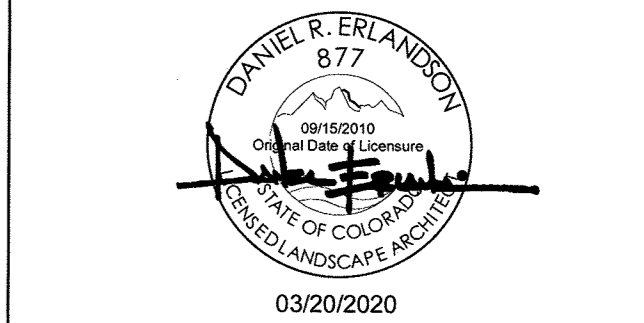
ISSUE FOR PRICING/BIDDING:  
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 PROJECT # 19-111



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SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**23 OF 29**

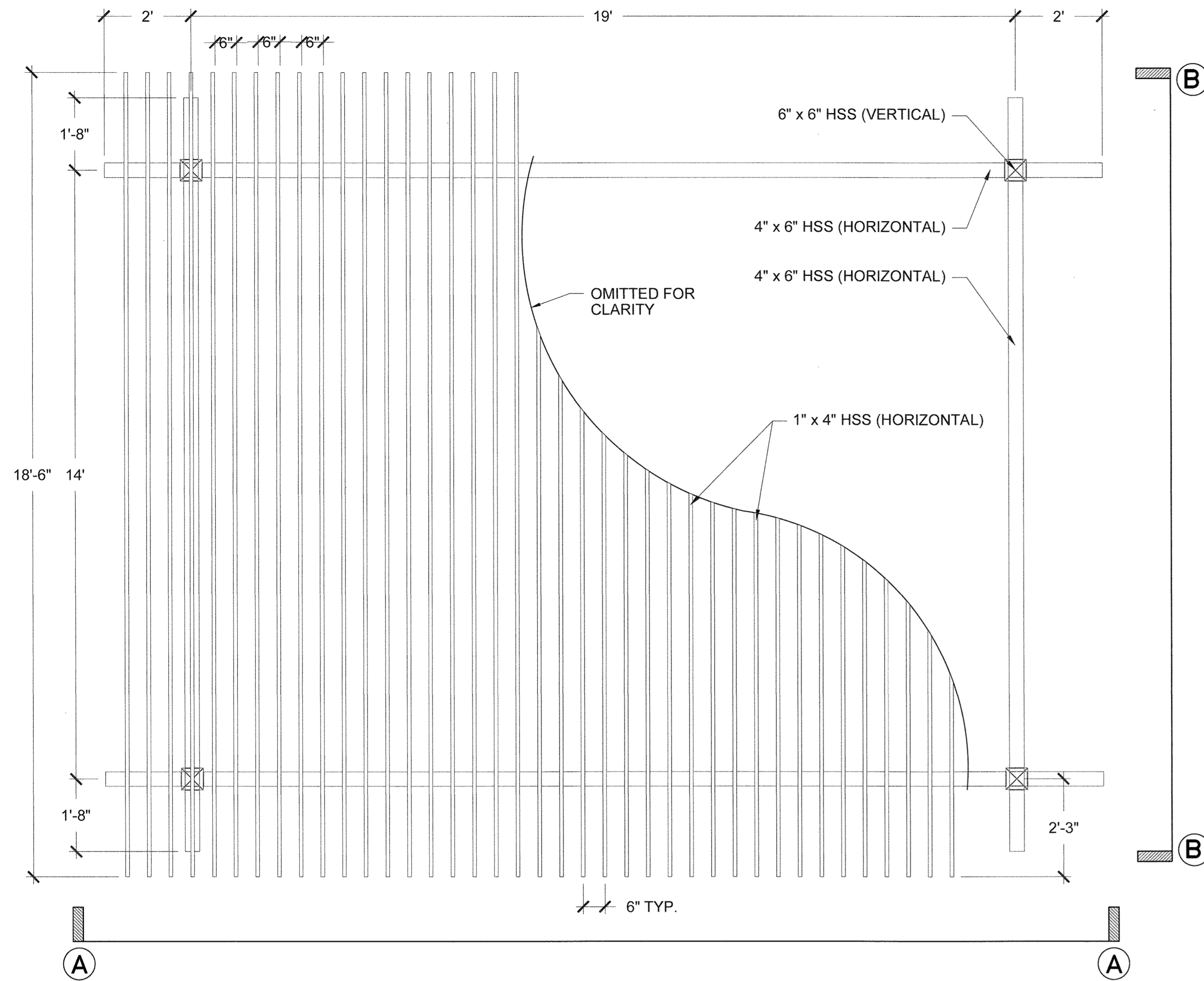
SCALE: AS INDICATED

SDP SET - 2020-APRIL-14

# SHADE STRUCTURE

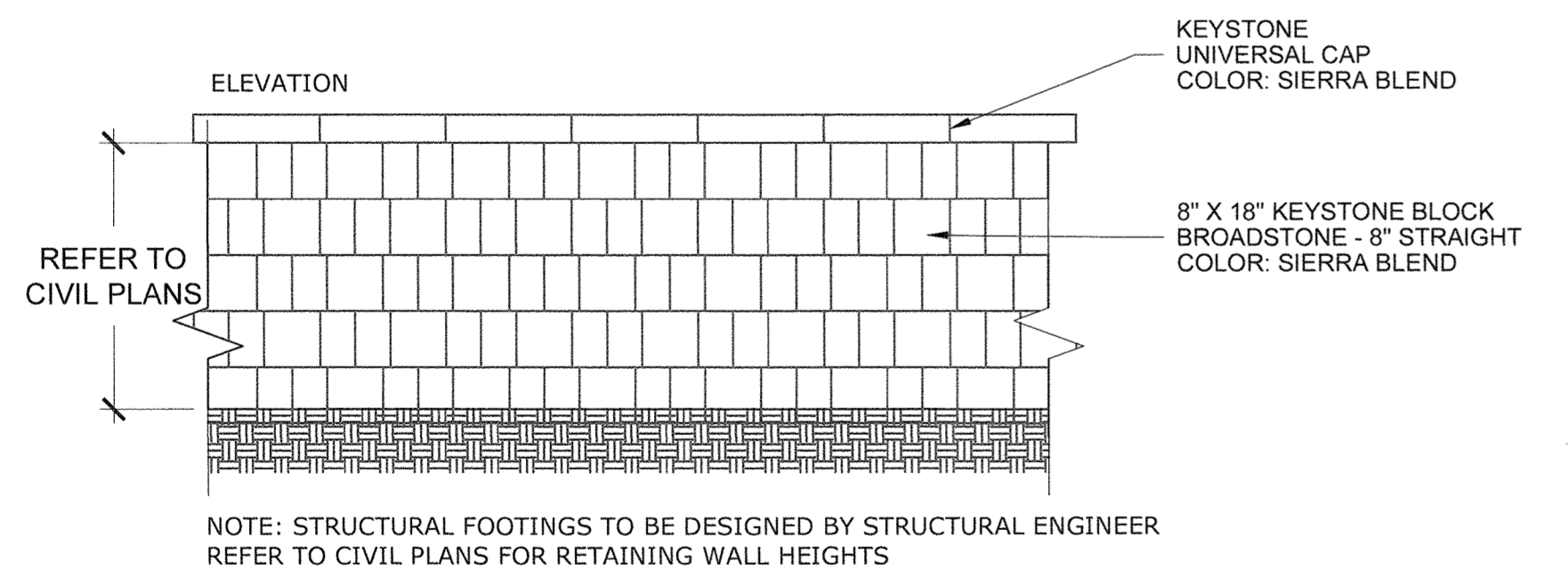
SCALE: 1/2" = 1'-0"

## PLAN VIEW



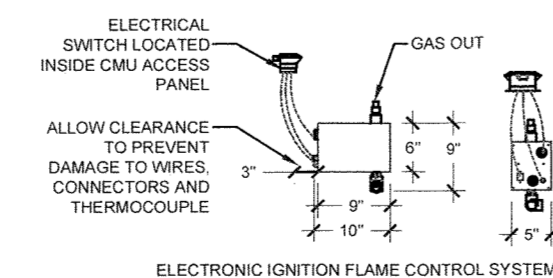
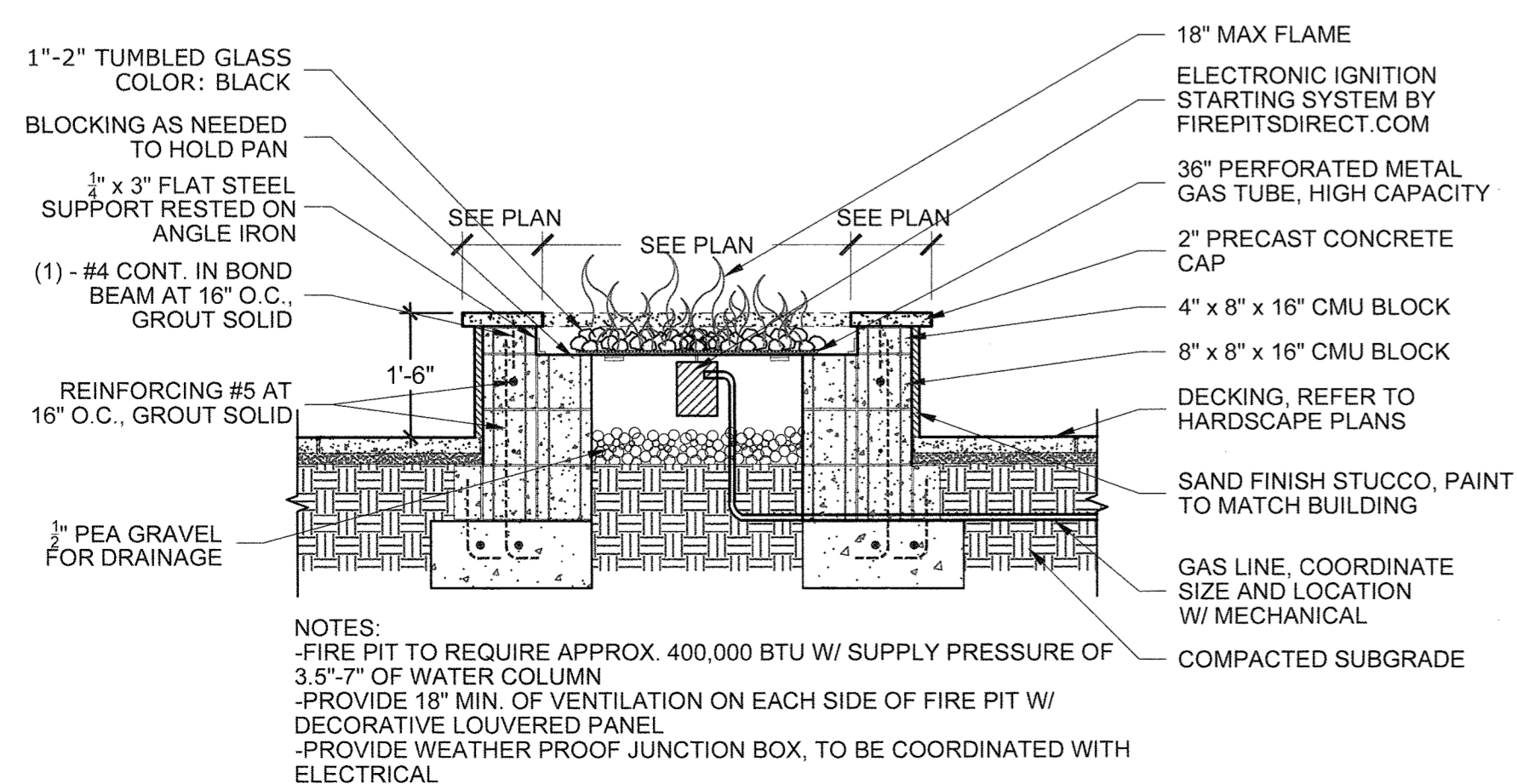
## RETAINING WALL ELEVATION

SCALE: 1/2" = 1'-0"

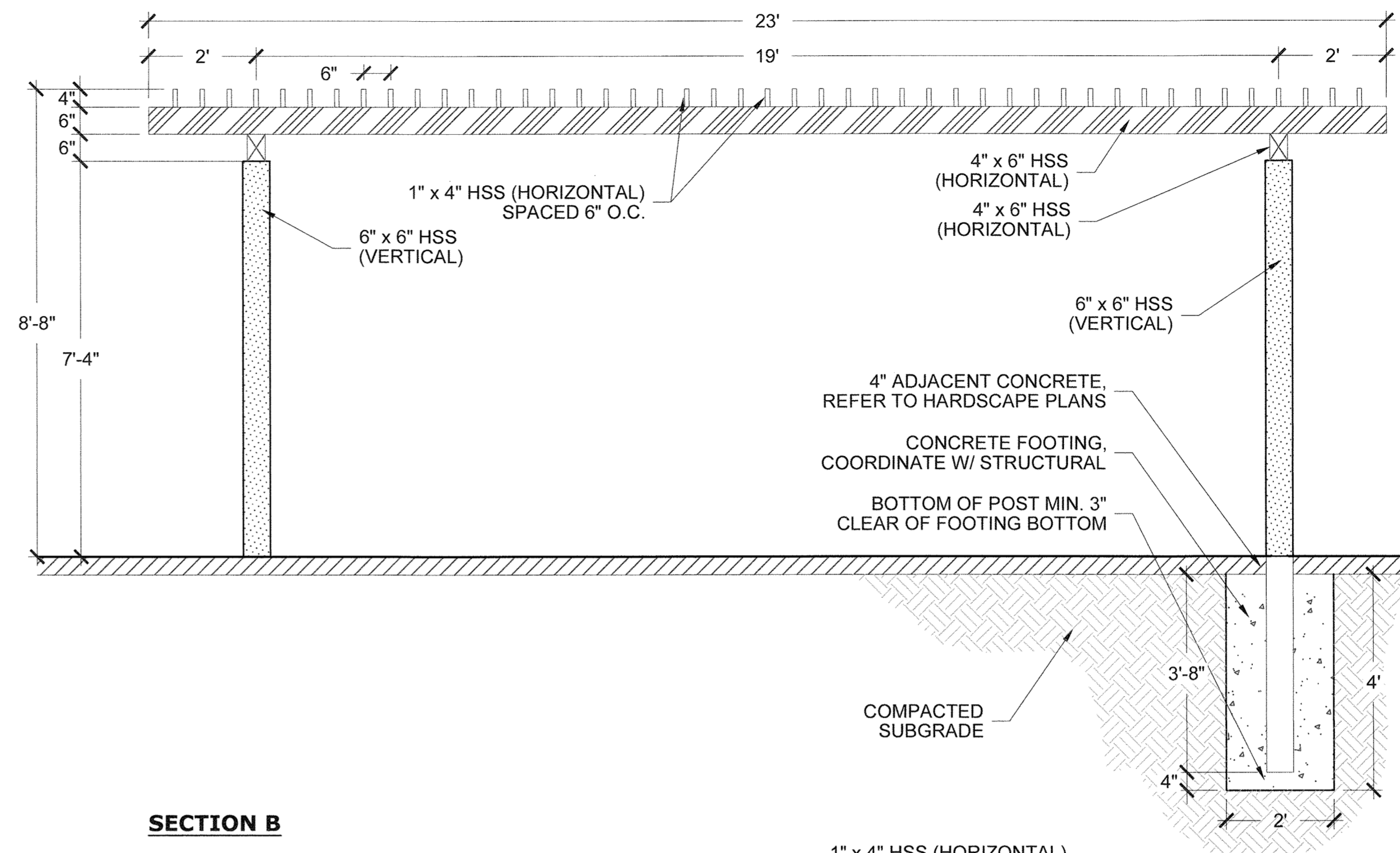


## FIRE TROUGH

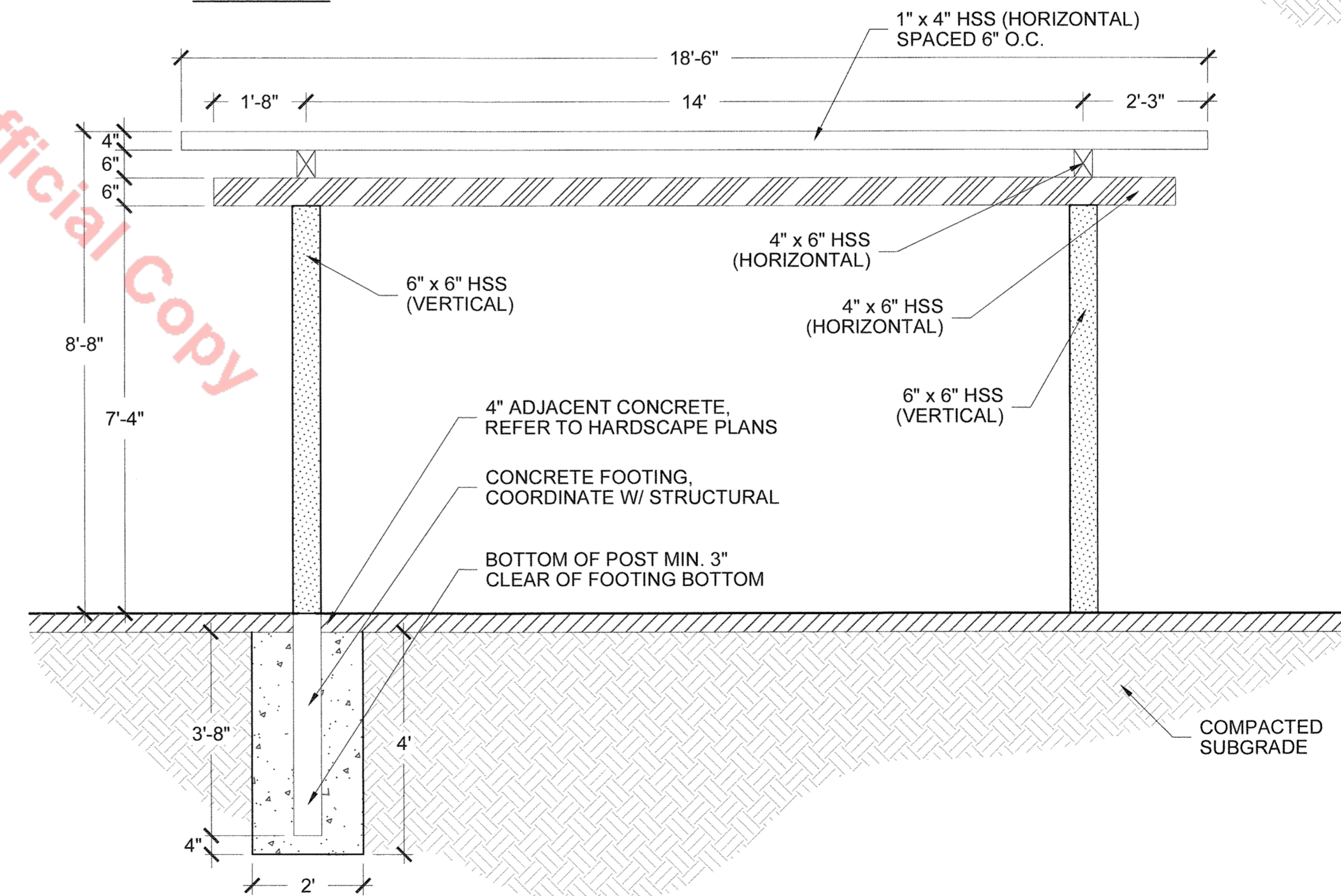
SCALE: 1/2" = 1'-0"



## SECTION A



## SECTION B



DESIGNED BY: DANIEL ERLANDSON - 877  
 DRAWN BY: DANIEL R. ERLANDSON  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 04/14/2020

ISSUE FOR PRICING/BIDDING:  
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|-------------------|------|-------------|
| NO.               | DATE | DESCRIPTION |
|                   |      |             |
|                   |      |             |
|                   |      |             |

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**CALIBER AT TERRAIN**  
 CASTLE ROCK, COLORADO  
 PROJECT # 19-111



**hpla studio**

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 GARRETT COMPANIES  
 1051 GREENWOOD SPRINGS BLVD  
 SUITE 100, Greenwood Indiana 46143  
 T: (317) 886-7923

SHEET TITLE  
**SHADE STRUCTURE ELEVATION**

SHEET NUMBER  
**24 OF 29**

SCALE: AS INDICATED

SDP SET - 2020-APRIL-14



# BUILDING TYPE II ELEVATIONS MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



FRONT ELEVATION



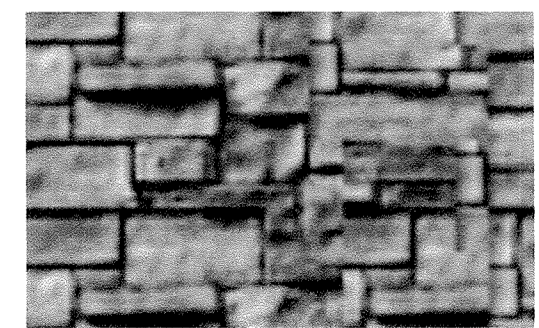
LEFT ELEVATION



RIGHT ELEVATION

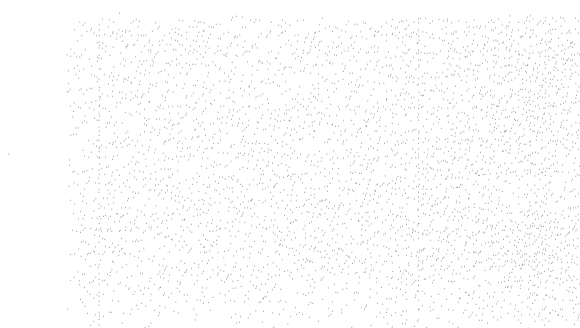


REAR ELEVATION



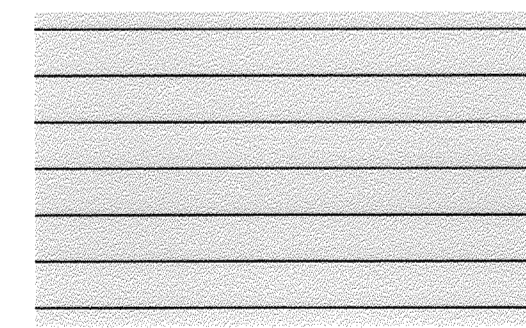
1 STONE VENEER

NEVILSTONE-HACKETT  
VIANELLI OR EQUIVALENT  
TAN COLOR



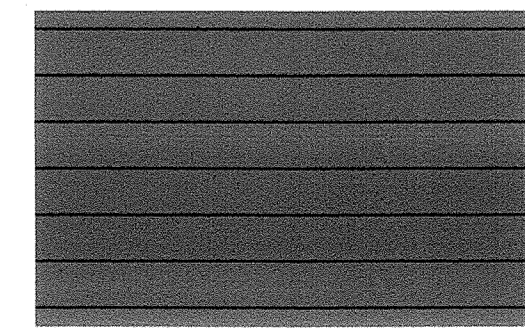
2 TRIM

WOOD TRIM  
PAINT COLOR:  
SW 7636 ORIGAMI WHITE



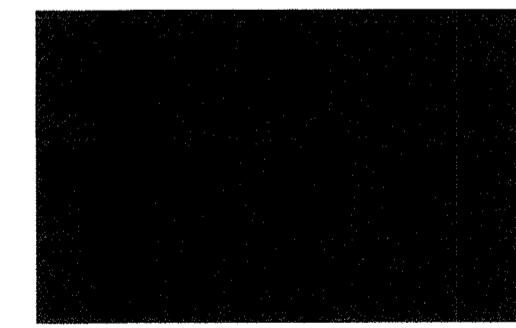
3 LAP SIDING COLOR-1

PAINT COLOR:  
SW 6162 ANCIENT MARBLE



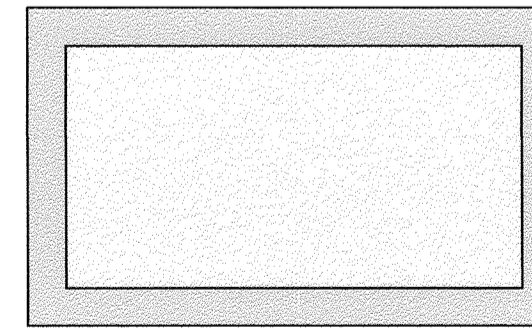
4 LAP SIDING COLOR-2

PAINT COLOR:  
SW 2851 SAGE GREEN LIGHT



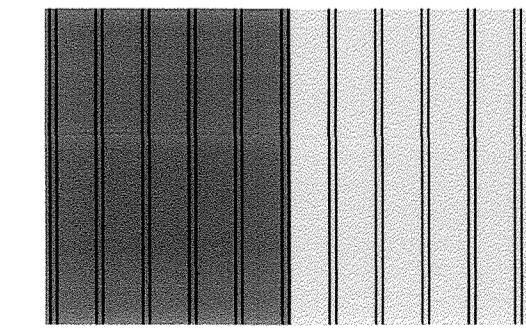
5 DOORS - SHUTTERS

WOOD  
PAINT COLOR:  
SW 6076 TURKISH COFFEE



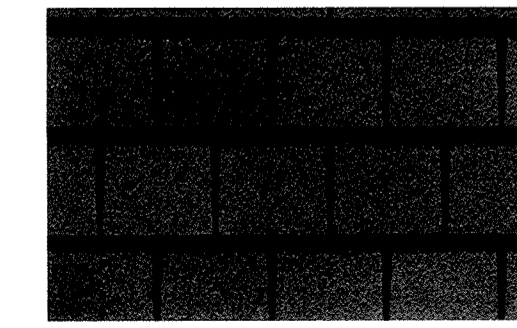
6 CEMENTITIOUS PANEL

PAINT COLOR:  
SW 7636 ORIGAMI WHITE &  
SW 6162 ANCIENT MARBLE



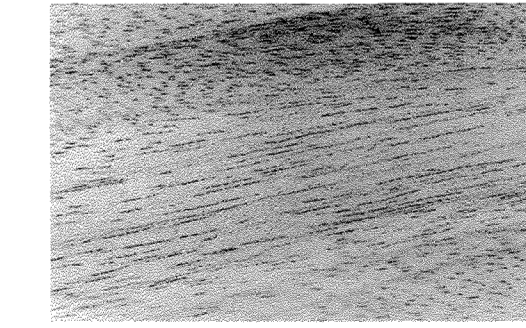
7 BOARD & BATTEN

PAINT COLOR:  
SW 2851 SAGE GREEN LIGHT  
SW 6162 ANCIENT MARBLE



8 COMPOSITION SHINGLES

GAF-SLATELINE ANTIQUE  
SLATE OR EQUIVALENT



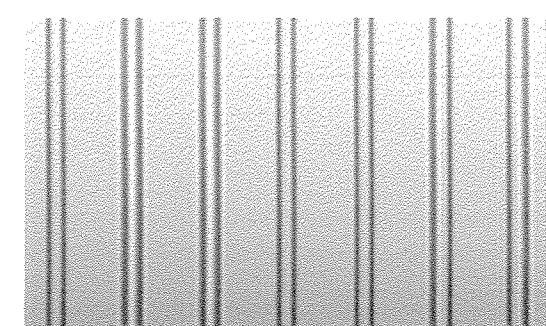
9 TRELLIS - BRACKETS

RAW CEDAR  
PAINT COLOR:  
SW 7636 ORIGAMI WHITE



10 RAILING

METAL RAILING  
PAINT COLOR:  
BLACK



11 METAL ROOF  
McELROY METAL  
SLATE GRAY  
OR EQUIVALENT

Unofficial Copy

| REVISIONS | DESCRIPTION    | DATE     |
|-----------|----------------|----------|
| ---       | 2ND SUBMISSION | 10/23/19 |

BUILDING TYPE II ELEVATIONS  
 SITE DEVELOPMENT PLAN  
 MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
 CALIBER AT TERRAIN  
 TOWN OF CASTLE ROCK  
 COLORADO

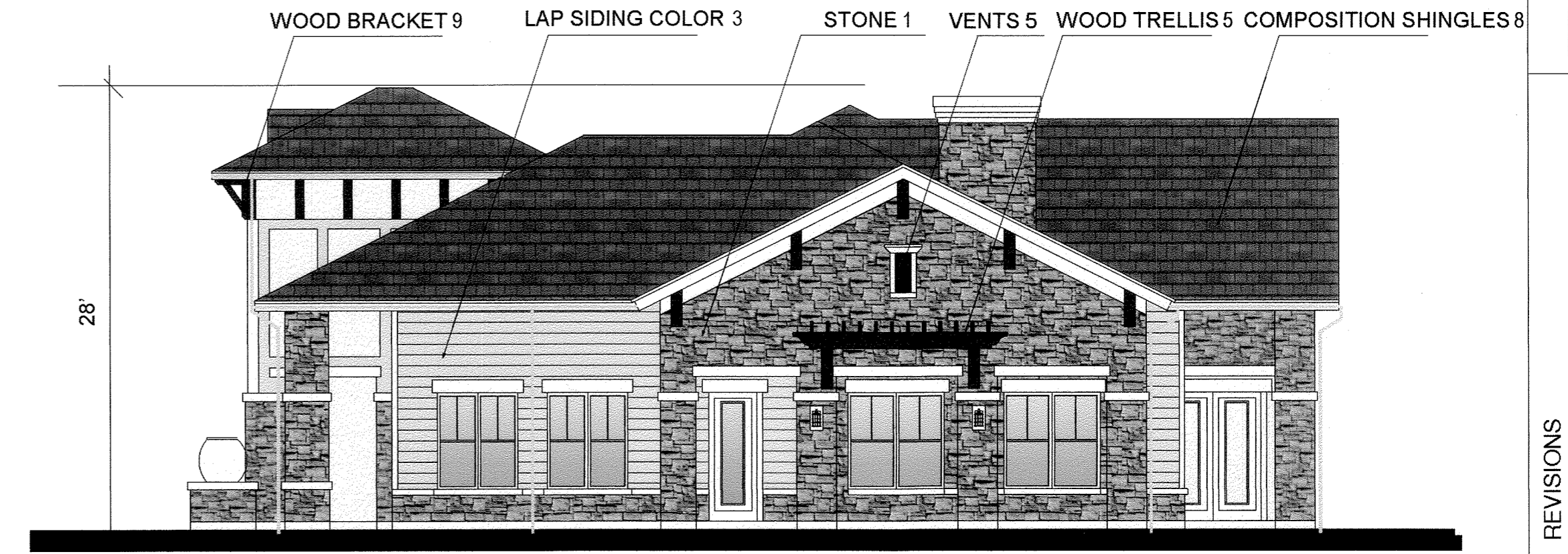
|                       |              |             |
|-----------------------|--------------|-------------|
| SEAL                  |              |             |
| DESIGN<br>RSD         | DRAWN<br>DPM | CHKD<br>RSD |
| SCALE<br>H:<br>V:     |              |             |
| JOB No. 020399-01-002 |              |             |
| DATE : 10/23/2019     |              |             |
| SHEET                 |              |             |
| 26 OF 29              |              |             |

# CLUBHOUSE ELEVATIONS MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



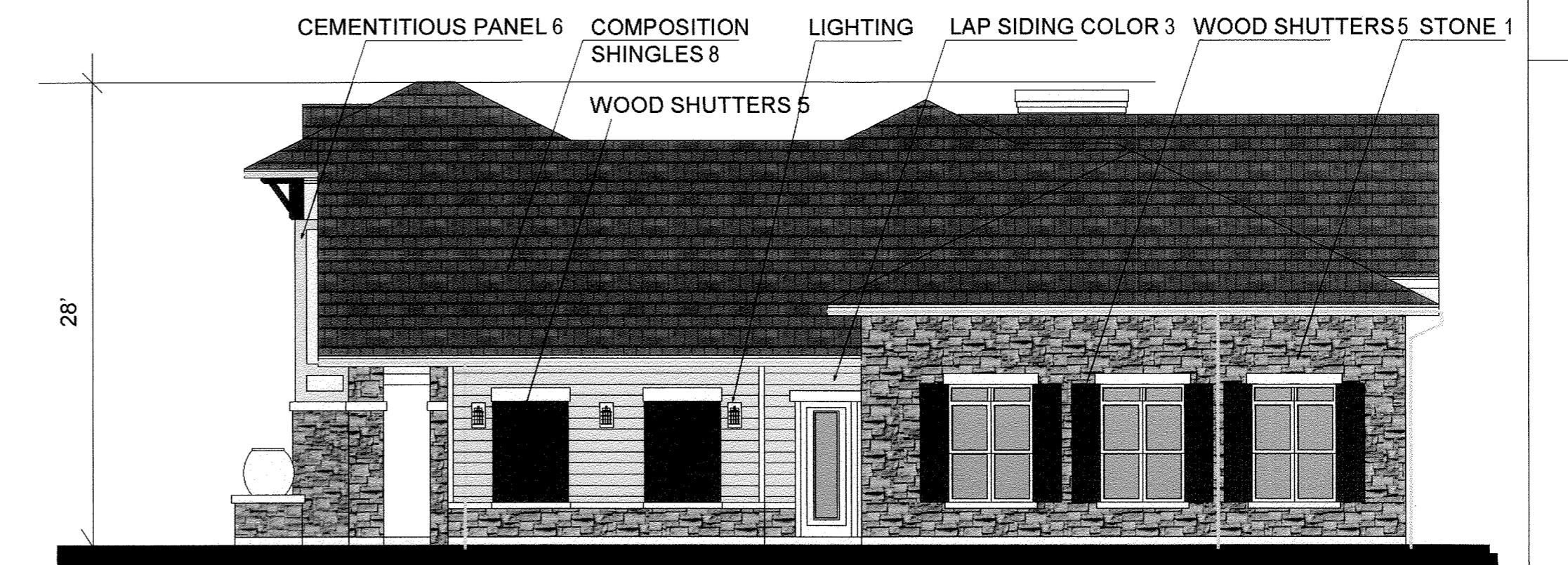
FRONT ELEVATION



LEFT ELEVATION

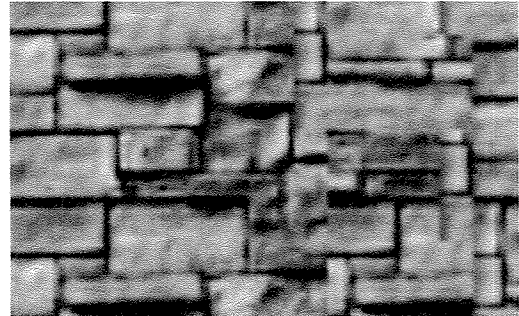
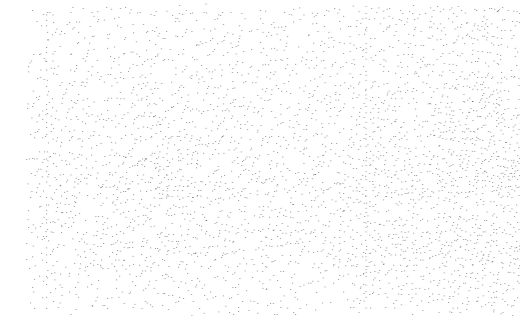
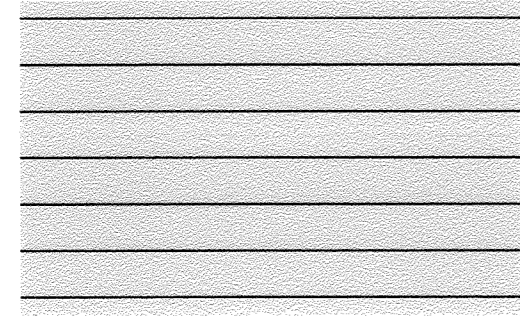


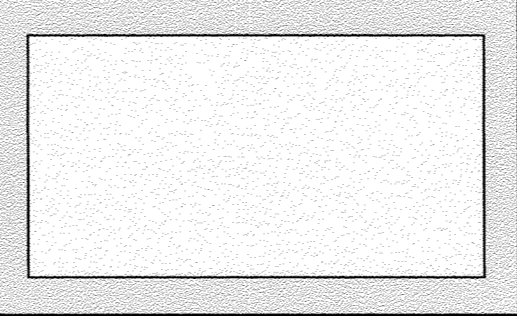
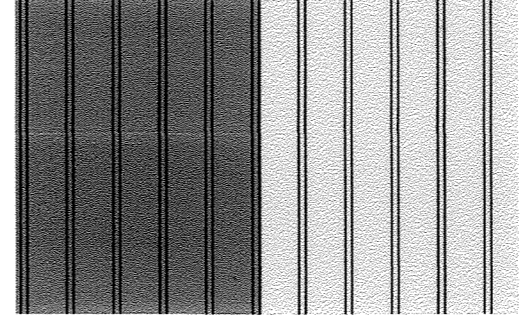


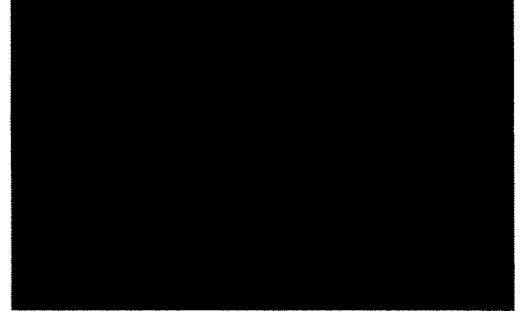


REAR ELEVATION



RIGHT ELEVATION

Unofficial Copy

|  |   |   |  |   |   |   |   |   |   |
|--|---|---|--|---|---|---|---|---|---|
|  |  |  |  |  |  |  |  |  |  |
| 1 STONE VENEER   | 2 TRIM  | 3 LAP SIDING COLOR-1  | 4 LAP SIDING COLOR-2   | 5 DOORS - SHUTTERS  | 6 CEMENTITIOUS PANEL  | 7 BOARD & BATTEN  | 8 COMPOSITION SHINGLES  | 9 TRELLIS - BRACKETS  | 10 RAILING  |
| NEVILSTONE-HACKETT<br>VIANELLI OR EQUIVALENT<br>TAN COLOR                          | WOOD TRIM<br>PAINT COLOR:<br>SW 7636 ORIGAMI WHITE                                  | PAINT COLOR:<br>SW 6162 ANCIENT MARBLE  | PAINT COLOR:<br>SW 2851 SAGE GREEN LIGHT   | WOOD<br>PAINT COLOR:<br>SW 6076 TURKISH COFFEE  | PAINT COLOR:<br>SW 7636 ORIGAMI WHITE &<br>SW 6162 ANCIENT MARBLE                     | PAINT COLOR:<br>SW 2851 SAGE GREEN LIGHT<br>SW 6162 ANCIENT MARBLE                    | GAF-SLATELINE ANTIQUE<br>SLATE OR EQUIVALENT  | RAW CEDAR<br>PAINT COLOR:<br>SW 7636 ORIGAMI WHITE                                    | METAL RAILING<br>PAINT COLOR:<br>BLACK  |

Bowman

CONSULTING

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Lakewood, CO 80401  
Phone: (303) 601-2900  
www.bowmanconsulting.com

| REVISION | DATE     | DESCRIPTION |
|----------|----------|-------------|
|          | 10/23/19 |             |
|          |          |             |
|          |          |             |
|          |          |             |
|          |          |             |

CLUBHOUSE ELEVATIONS

SITE DEVELOPMENT PLAN

MOST OF OUTLOT A CASTLE OAKS FILING NO. 1

CALIBER AT TERRAIN

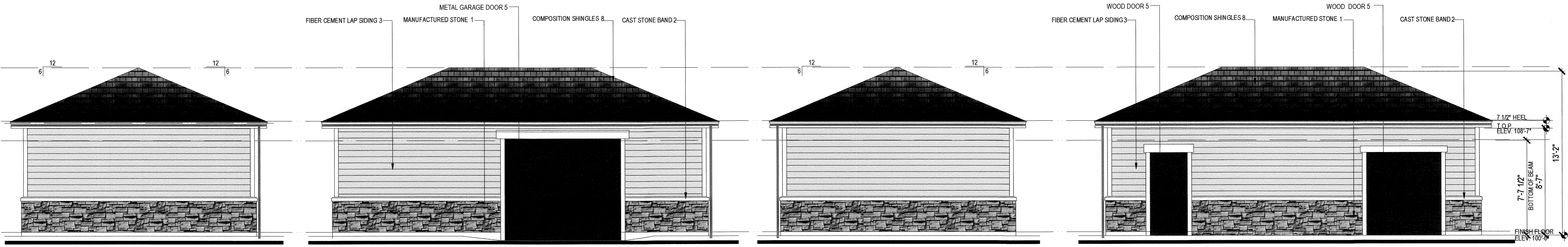
TOWN OF CASTLE ROCK

COLORADO

|                       |              |             |
|-----------------------|--------------|-------------|
| DESIGN<br>RSD         | DRAWN<br>DPM | CHKD<br>RSD |
| SCALE<br>H:<br>V:     |              |             |
| JOB No. 020399-01-002 |              |             |
| DATE : 10/23/2019     |              |             |
| SHEET                 |              |             |
| 27 OF 29              |              |             |

# AUXILIARY BUILDINGS MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**MAINTENANCE BUILDING - RIGHT ELEVATION**

**MAINTENANCE BUILDING - BACK ELEVATION**

**MAINTENANCE BUILDING - LEFT ELEVATION**

**MAINTENANCE BUILDING - FRONT ELEVATION**

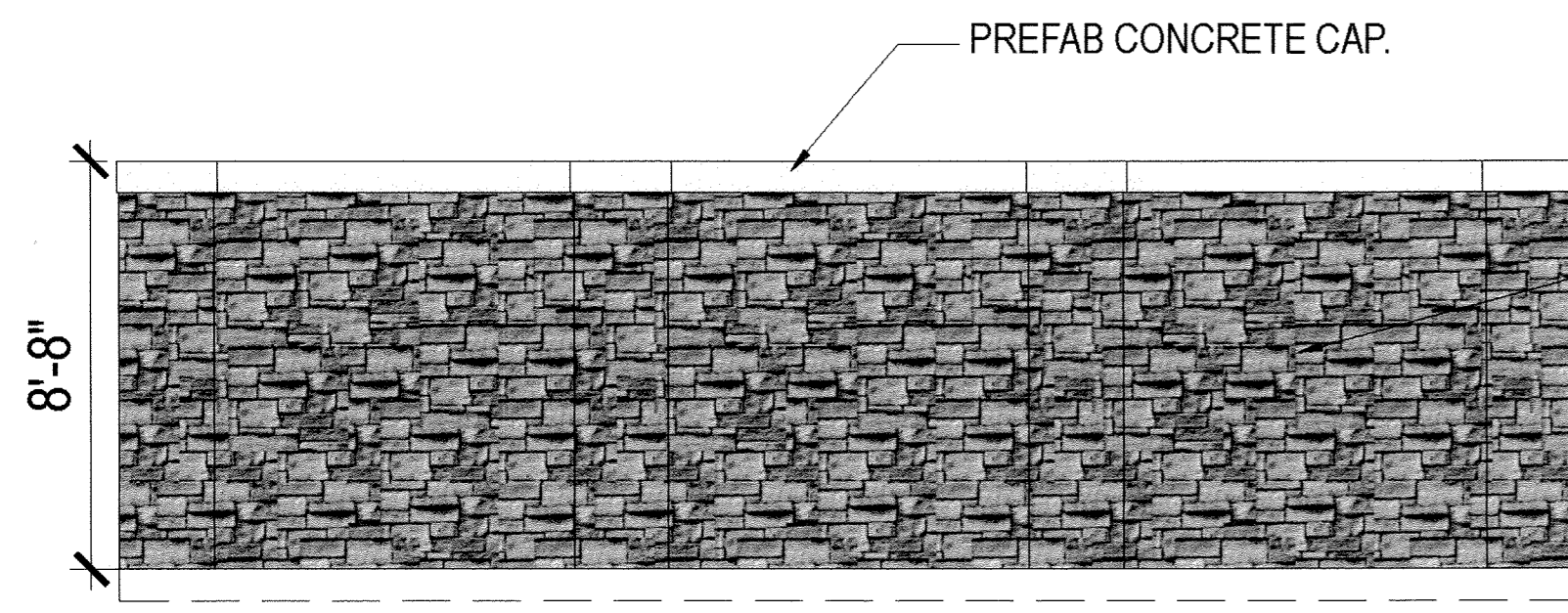


**MAIL KIOSK - SIDE ELEVATION**

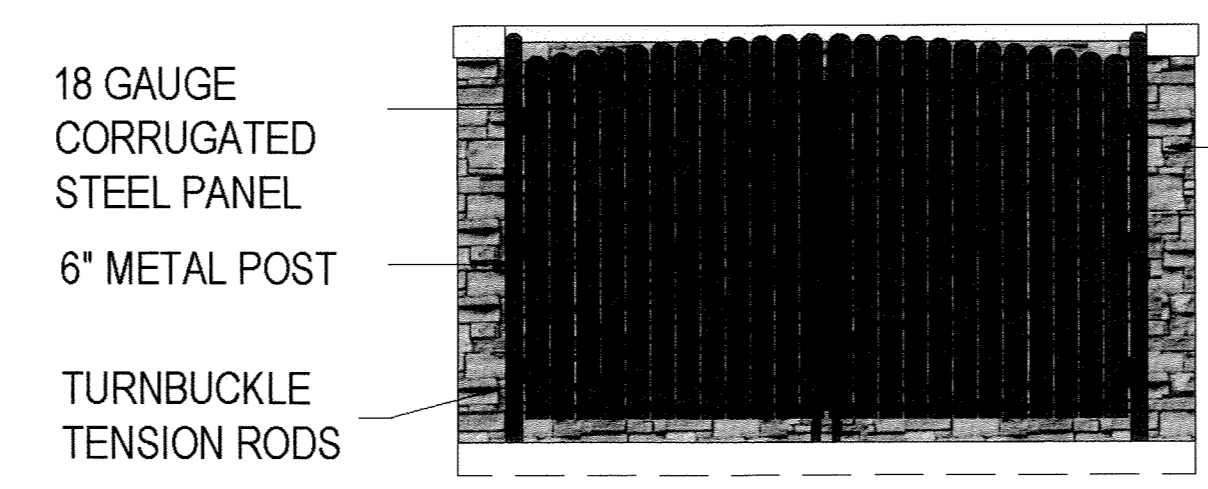
**MAIL KIOSK - FRONT ELEVATION**

**MAIL KIOSK - SIDE ELEVATION**

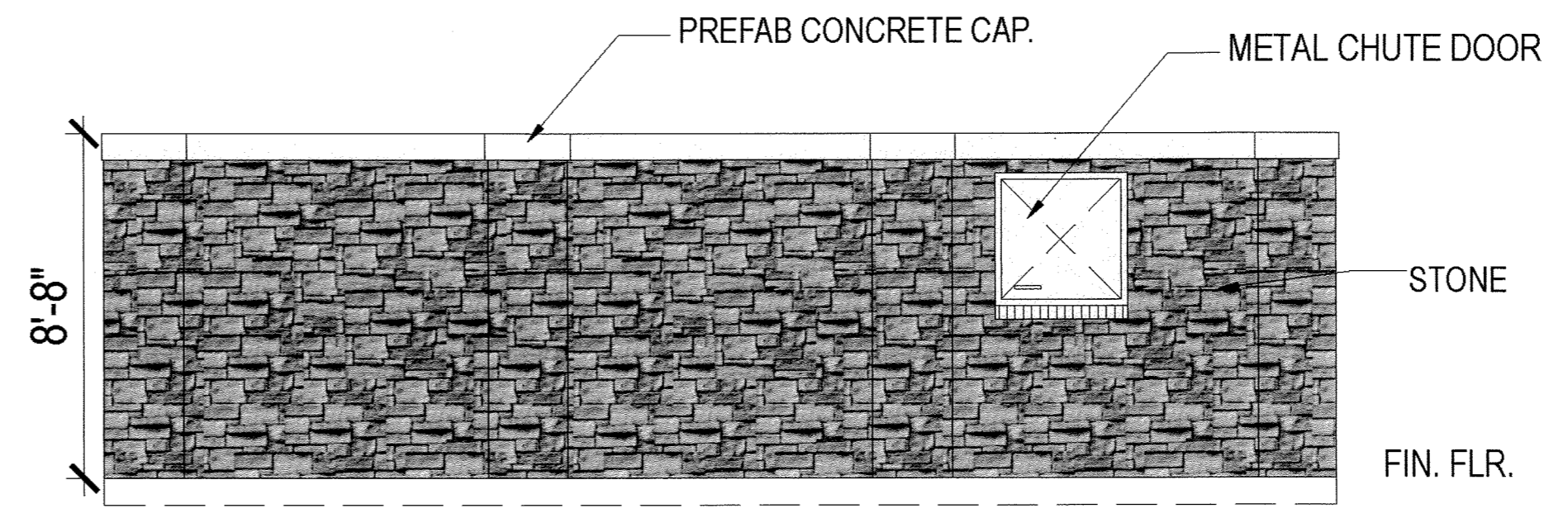
**MAIL KIOSK - REAR ELEVATION**



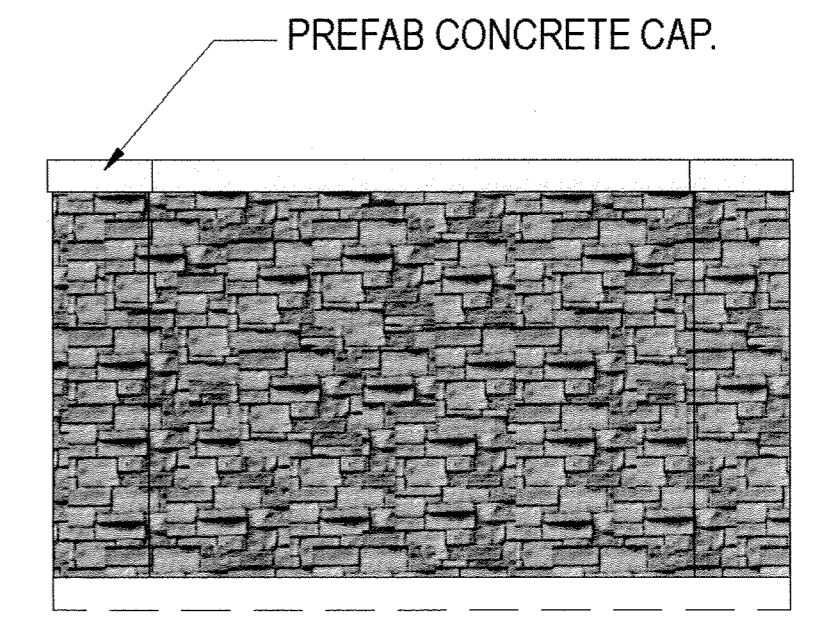
**TRASH COMPACTOR ENCLOSURE  
LEFT ELEVATION**



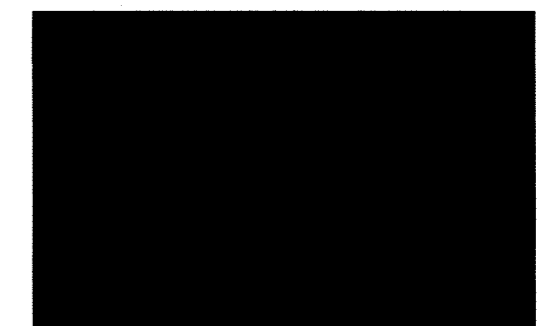
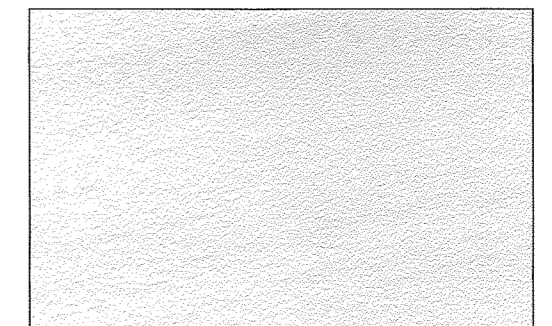
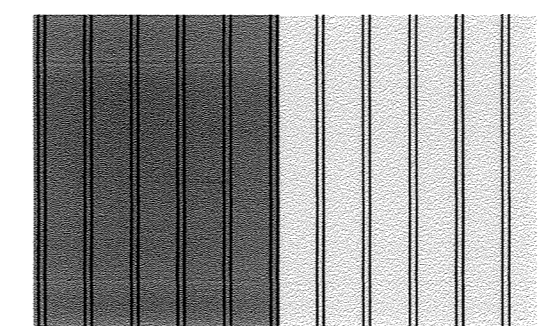
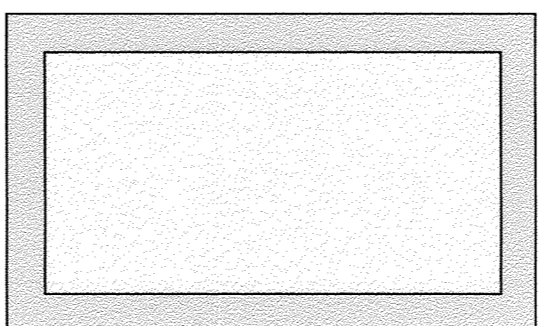
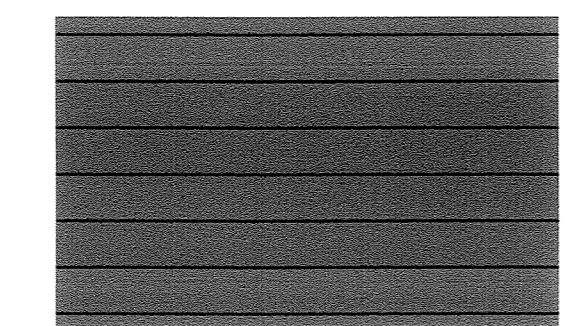
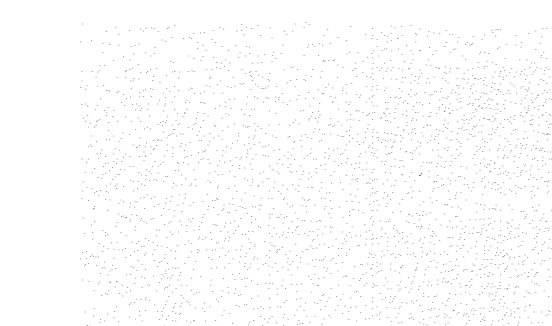
**TRASH COMPACTOR ENCLOSURE  
FRONT ELEVATION**



**TRASH COMPACTOR ENCLOSURE  
RIGHT ELEVATION**



**TRASH COMPACTOR ENCLOSURE  
RIGHT ELEVATION**



- |   |  |  |  |  |   |  |   |  |  |
|---|--|--|--|--|---|--|---|--|--|
| 1 STONE VENEER  | 2 TRIM   | 3 LAP SIDING COLOR-1                   | 4 LAP SIDING COLOR-2                     | 5 DOORS - SHUTTERS                             | 6 CEMENTITIOUS PANEL  | 7 BOARD & BATTEN   | 8 COMPOSITION SHINGLES                      | 9 TRELLIS - BRACKETS                               | 10 RAILING                             |
| NEVILSTONE-HACKETT<br>VIANELLI OR EQUIVALENT<br>TAN COLOR | WOOD TRIM<br>PAINT COLOR:<br>SW 7636 ORIGAMI WHITE | PAINT COLOR:<br>SW 6162 ANCIENT MARBLE | PAINT COLOR:<br>SW 2851 SAGE GREEN LIGHT | WOOD<br>PAINT COLOR:<br>SW 6076 TURKISH COFFEE | PAINT COLOR:<br>SW 7636 ORIGAMI WHITE &<br>SW 6162 ANCIENT MARBLE | PAINT COLOR:<br>SW 2851 SAGE GREEN LIGHT<br>SW 6162 ANCIENT MARBLE | GAF-SLATLINE ANTIQUE<br>SLATE OR EQUIVALENT | RAW CEDAR<br>PAINT COLOR:<br>SW 7636 ORIGAMI WHITE | METAL RAILING<br>PAINT COLOR:<br>BLACK |

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 www.bowmanconsulting.com

| REVISIONS      | DATE     | DESCRIPTION | BY | CHKD | APP'D |
|----------------|----------|-------------|----|------|-------|
| 2ND SUBMISSION | 10/23/19 |             |    |      |       |

AUXILIARY BUILDINGS

SITE DEVELOPMENT PLAN  
CALIBER AT TERRAIN  
MOST OF SITE DEVELOPMENT PLAN FILING NO. 1  
CALIBER AT TERRAIN

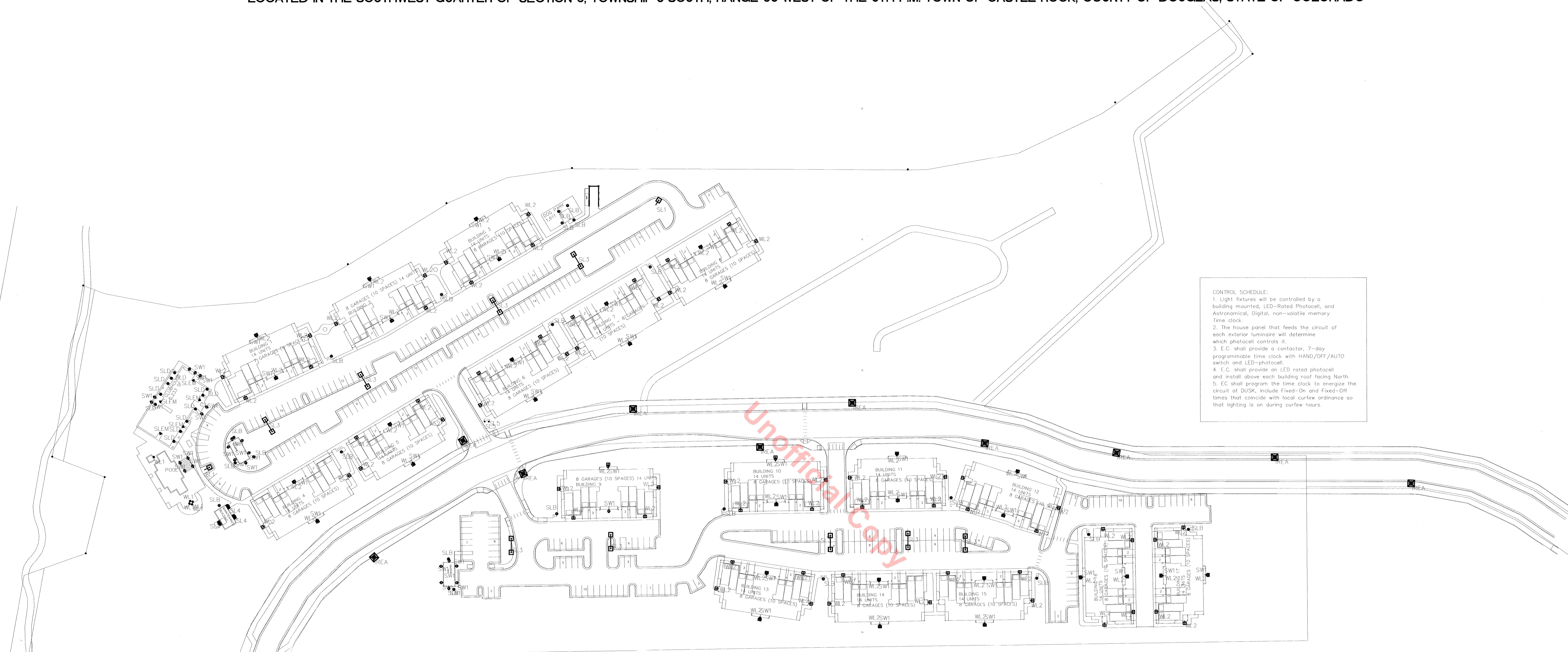
TOWN OF CASTLE ROCK

COLORADO

|                       |              |             |                     |
|-----------------------|--------------|-------------|---------------------|
| DESIGN<br>RSD         | DRAWN<br>DPM | CHKD<br>RSD | SCALE<br>1" = 1'-0" |
| JOB No. 020399-01-002 |              |             |                     |
| DATE: 10/23/19        |              |             |                     |
| SHEET                 |              |             |                     |
| 28 OF 29              |              |             |                     |

# SITE DEVELOPMENT PLAN MOST OF OUTLOT A CASTLE OAKS FILING NO.1 CALIBER AT TERRAIN

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**CONTROL SCHEDULE:**

1. Light fixtures will be controlled by a building mounted, LED-Rated Photocell, and Astronomical, Digital, non-volatile memory Time clock.
2. The house panel that feeds the circuit of each exterior luminaire will determine which photocell controls it.
3. E.C. shall provide a contactor, 7-day programmable time clock with HAND/OFF/AUTO switch and LED-photocell.
4. E.C. shall provide an LED rated photocell and install above each building roof facing North.
5. E.C. shall program the time clock to energize the circuit at DUSK, include Fixed-On and Fixed-Off times that coincide with local curfew ordinance so that lighting is on during curfew hours.

04/01/2020 CALIBER at TERRAIN SDP4/CD2 LED Luminaire Schedule by INSOLUTION jim.rago@insolutionproducts.com

| Symbol   | Qty | Label | Description                                  | Lum. Watts | Height    | LIGHT SOURCE |
|----------|-----|-------|--|------------|-----------|--------------|
| [Symbol] | 2   | SL1   | 100W, T3, 4K, SINGLE @ 25FT, POLE MTD        | 100        | 25FT AFG  | LED          |
| [Symbol] | 9   | SL3   | 100W, T5, 4K, TWIN @ 25FT, POLE MTD          | 100        | 25FT AFG  | LED          |
| [Symbol] | 3   | SL4   | 15W, 4K, Wall Trl, MAINT. BLDG.              | 15         | 8FT AFG   | LED          |
| [Symbol] | 2   | SL5   | 20W, 5K, Wide Flood, w/Visor, Grnd Mt., SIGN | 20         | 1FT AFG   | LED          |
| [Symbol] | 22  | SLB   | 25W, 4K, Dome Top Balland                    | 25         | 3.5FT AFG | LED          |
| [Symbol] | 11  | SLD   | 13W, 6IN, Recessed, Downlight, CLUBHOUSE     | 13         | 9FT AFG   | LED          |
| [Symbol] | 5   | SLEM  | Exterior Egress Norm. OHL, OVER DOORS        | 15         | 8FT AFG   | LED          |
| [Symbol] | 57  | SW1   | 8W, LED, Wall Lantern                        | 9          | 8FT AFG   | LED          |
| [Symbol] | 5   | WL1   | Recessed Wall, Painted Metal Hood            | 5          | 1.5FT AFG | LED          |
| [Symbol] | 96  | WL2   | 35W, 4K, Full Cut-Off, BLDG MTD              | 35         | 15FT AFG  | LED          |
| [Symbol] | 10  | IREA  | 56W, 4K, Post Top Lantern                    | 56         | 14 FT AFG | LED          |

Evolve LED Post Top  
Town & Country (EPT)

**WALL MOUNTED WALL PAK**

**LED WALL FLOOD**

**BOULDER BOWL - Concrete Balland**

**DBEL Decorative Outdoor LED Emergency Unit**

**P6829 & P6832**

**AA - AREA LIGHT**

SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
TOWN OF CASTLE ROCK PROJECT NO. SDP19-0029

| REVISION       | DATE     | DESCRIPTION |
|----------------|----------|-------------|
| 2ND SUBMISSION | 10/31/19 |             |
| 3RD SUBMISSION | 01/24/20 |             |
| 4TH SUBMISSION | 04/01/20 |             |

GENERAL LIGHTING PLAN  
SITE DEVELOPMENT PLAN  
MOST OF OUTLOT A CASTLE OAKS FILING NO. 1  
CALIBER AT TERRAIN

TOWN OF CASTLE ROCK  
COLORADO

|          |                   |      |
|----------|-------------------|------|
| DESIGN   | DRAWN             | CHKD |
| JRR      | TRR               | JRR  |
| SCALE    | H: 1" = 75'<br>V: |      |
| JOB No.  | 020399-01-002     |      |
| DATE :   | 4/1/2020          |      |
| SHEET    |                   |      |
| 29 OF 29 |                   |      |

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