

SITE DEVELOPMENT PLAN GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. FLOOD ZONE: THE SUBJECT PROPERTY SHOWN HEREON DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAIN PER FIRM MAP NO.08035CD106F, DATED SEPTEMBER 30, 2005
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. THE PURPOSE/USE OF ALL TRACTS AND THE DEDICATION OF ALL TRACTS (TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE).
10. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
11. THE ZONING RECORDATION INFORMATION, INCLUDING DATE AND RECEPTION NUMBER OR "THIS SITE IS ZONED MAIN PLACE PLANNED DEVELOPMENT."
12. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
13. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
14. THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.
15. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.

- FIRE NOTES**
1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
 2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
 3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
 4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
 5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
 6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
 7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
 8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE WATER RIGHTS DEDICATION AGREEMENT

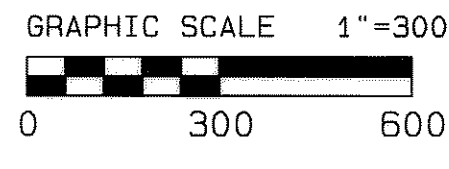
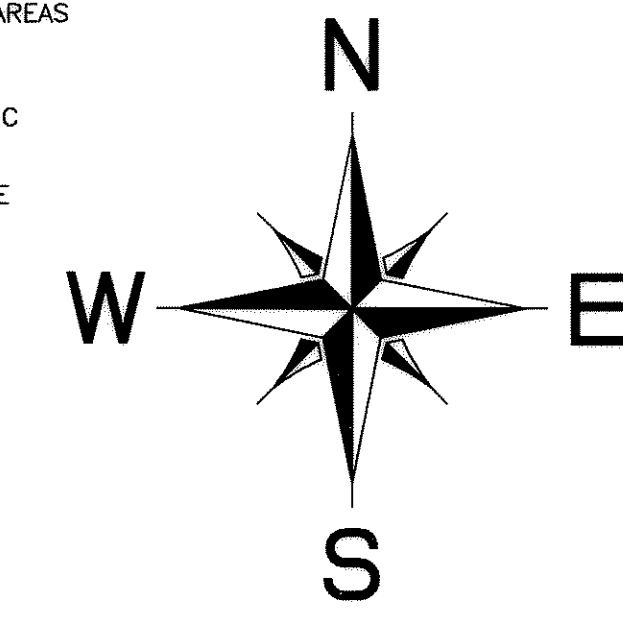
- WATER RIGHTS DEDICATION AGREEMENT**
- THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MAIN PLACE ANNEXATION AND DEVELOPMENT AGREEMENT, RECORDED ON THE 26TH OF APRIL, 2001 IN BOOK 2020 AT PAGE 2082 UNDER RECEPTION NO. 2001036019 AND ACCORDINGLY 3.34 SFE ARE DEBITED FROM THE WATER BANK, ONE 1" TAP FOR DOMESTIC USE, AND ONE 1" TAP FOR IRRIGATION.

SUMMARY TABLE

LOT AREA	5.52 AC (240,348 SF)
PHASE I AREA	2.54 AC (110,642 SF)
BUILDING GROUND COVERAGE-PHASE I	4,863 SF
GROSS FLOOR AREA - PHASE I	9,526 SF
GROSS LEASABLE FLOOR AREA-PHASE I	8,141 SF
MAX. GROSS LEASABLE FLOOR AREA-PHASE II	19,459 SF
PARKING	35,478 SF
STREET COVERAGE	16,127 SF
SIDEWALK/DISPLAY/OTHER	4,622 SF
LANDSCAPE REQUIRED	11,097 SF
LANDSCAPE PROVIDED	21,641 SF
MAXIMUM GROSS FLOOR AREA RATIO	0.25 FAR
SINGLE FAMILY EQUIVALENT - PHASE I	3.34

PARKING REQUIRED

4.0 SPACES/1000 SF GROSS LEASABLE OFFICE SPACE	(27,600/1000)*4.0=111
TOTAL PARKING REQUIRED	111 SPACES*
PARKING PROVIDED	83 SPACES (INCLUDING 4 H/C)



SITE DEVELOPMENT PLAN

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

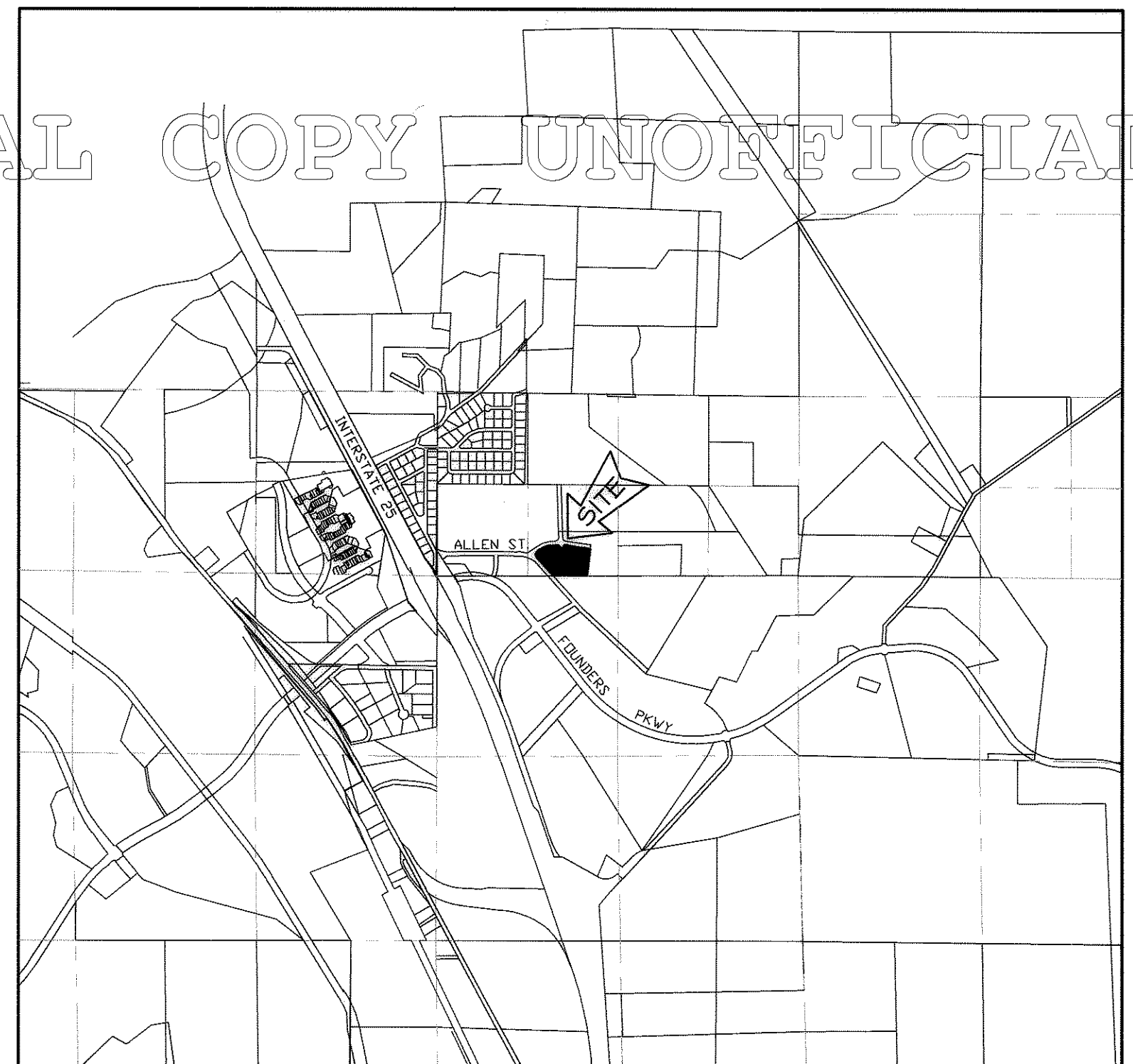
OWNER
 MAIN PLACE LAND COMPANY, LLC
 3300 SOUTH NEWPORT STREET
 DENVER, CO 80234

PREPARED FOR:
 HUDICK EXCAVATING INC.
 1700 NORTH PARK STREET
 CASTLE ROCK, CO 80104
 CONTACT: DAN HUDICK
 PHONE NO. 303-791-7869

SURVEYOR/ENGINEER
 DAVID E. ARCHER & ASSOCIATES
 105 WILCOX STREET
 CASTLE ROCK, CO 80104
 CONTACT: KEVIN ARCHER
 PHONE NO. 303-688-4642

ARCHITECT
 WUNDERLICHDESIGN
 P.O BOX 3226
 CENTENNIAL, CO 80161
 CONTACT: WILLIAM WUNDERLICH
 PHONE NO. 303-521-7692

PLANNER
 PCS GROUP INC
 301 KALAMATH ST. #102
 DENVER, CO. 80265
 CONTACT: JOHN PRESTWICH
 PHONE NO. 303-653-9772



VICINITY MAP
 1"=2000'

PROJECT BENCHMARK:
 THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBM3.005015 ELEVATION 6197.57 AND IS ON NAVD88 DATUM.

CONTACTS:
 TOWN OF CASTLE ROCK UTILITIES DEPT.
 PHONE: (720)733-6000

DEVELOPMENT SERVICES
 PHONE: (720)733-2200

GAS:
 BLACK HILLS ENERGY
 PHONE: (800) 890-5554

ELECTRIC:
 IREA
 PHONE: 303-688-3100

TELEPHONE:
 CENTURY LINK COMMUNICATIONS
 PHONE: 720-578-5142

SHEET INDEX

SHEET NO.	DESCRIPTION
1 OF 13	COVER SHEET
2 OF 13	PHASING PLAN
3 OF 13	SITE PLAN
4 OF 13	GENERAL GRADING PLAN
5 OF 13	GENERAL UTILITIES PLAN
6 OF 13	CONCEPTUAL LANDSCAPE PLAN
7 OF 13	BUILDING ELEVATIONS
8 OF 13	BUILDING ELEVATIONS
9 OF 13	BUILDING ELEVATIONS
10 OF 13	BUILDING ELEVATIONS
11 OF 13	CONCEPTUAL LIGHTING PLAN
12 OF 13	LIGHTING SPECIFICATIONS
13 OF 13	LIGHTING SPECIFICATIONS

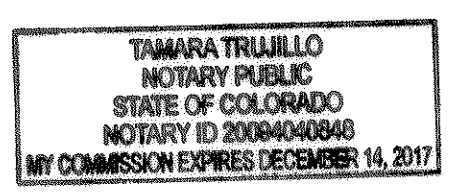
LEGAL DESCRIPTION
 LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO.

BASIS OF BEARINGS
 BEARINGS ARE BASED ON THE CONSIDERATION THAT THE WEST LINE OF LOT 7 BEARS S00°21'20"W BETWEEN THE RECOVERED MONUMENTS IDENTIFIED HEREON.

OWNERSHIP CERTIFICATE
 THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

MAIN PLACE LAND COMPANY, LLC, PRINCIPAL BY ELIZABETH PRATO MANAGER/ SOLE MEMBER
 BY Jennifer E. Shaler AS ATTORNEY-IN-FACT.
 SIGNED THIS 14 DAY OF February, 2014

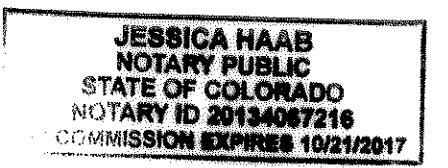
NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 14 DAY OF February, 2014 BY Jennifer E. Shaler
 WITNESS MY HAND AND OFFICIAL SEAL.
Tamara Trujillo
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 12-14-2017



TITLE CERTIFICATION
 I, Brenda Becker, AN AUTHORIZED REPRESENTATIVE OF Lot 7 Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
Brenda Becker
 AUTHORIZED REPRESENTATIVE

LAND TITLE GUARANTEE COMPANY
 SIGNED THIS 17th DAY OF February, 2014

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 17th DAY OF February, 2014 BY Brenda Becker AS AUTHORIZED REPRESENTATIVE OF Lot 7 Title Guarantee Company
 WITNESS MY HAND AND OFFICIAL SEAL.
Jessica Haab
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 10/21/17



DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
 THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 1:30 pm ON THE 20th DAY OF February, 2014 AT RECEPTION NO. 2014008422

DOUGLAS COUNTY CLERK AND RECORDER
 BY: Angela Washburn DEPUTY

PLANNING COMMISSION RECOMMENDATION
 THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 14th DAY OF DECEMBER, 2013
Michael J. Franze 2-19-2014
 CHAIR DATE
[Signature] 2/19/14
 DIRECTOR OF DEVELOPMENT SERVICES DATE

TOWN COUNCIL APPROVAL
 THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 17th DAY OF JANUARY, 2014
Paul Donohue 2-18-14
 MAYOR DATE

ATTEST: Sally Mew 2-18-14
 TOWN CLERK DATE

SURVEYOR'S CERTIFICATE
 I, DEE ALLEN BIRD, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.
Dee Allen Bird 2-14-2014
 DEE ALLEN BIRD DATE



CIVIL ENGINEER'S STATEMENT
 I, KEVIN E. ARCHER, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
Kevin E. Archer 2-14-14
 KEVIN E. ARCHER DATE



LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP13-0018

REVISIONS

08-30-13	
10-18-13	
11-12-13	

DAVID E. ARCHER & ASSOCIATES, INC.
 LAND DEVELOPMENT CONSULTING SURVEYING & ENGINEERING
 PHONE (303) 688-4642
 105 WILCOX ST. CASTLE ROCK, COLORADO 80104

SITE DEVELOPMENT PLAN
 LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1, IN SEC. 28, T7S, R67W, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO.

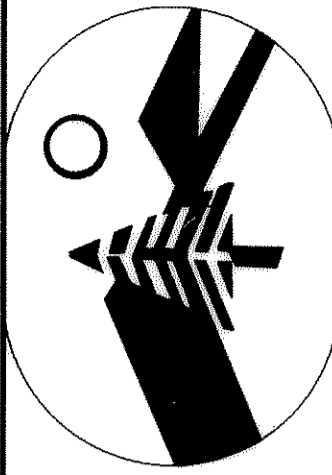
SCALE: 1"=20'	DATE: 11-27-13
DATE: 11-27-13	DATE: 11-27-13
DATE: 11-27-13	DATE: 11-27-13

HUDICK EXCAVATING INC.
 SHEET NO. 1 OF 13
 JOB NUMBER: 13-0174

SITE DEVELOPMENT PLAN

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT, SURVEYING & ENGINEERING
PHONE (303) 688-4642
105 WILCOX ST. CASTLE ROCK, COLORADO 80104

LOT 2A, COOPER-HOOK MAIN PLACE 1, 2ND AM.

Probable Centerline of 20' Ingress/Egress Easement Description of Easement is Somewhat Ambiguous Book 210 @ 458 & Book 216 @ 310 (#11, Schedule B-2)

Probable Centerline of 30' non-exclusive Description of Easement is Somewhat Ambiguous. Book 495 @ 586 (#16, Schedule B-2)

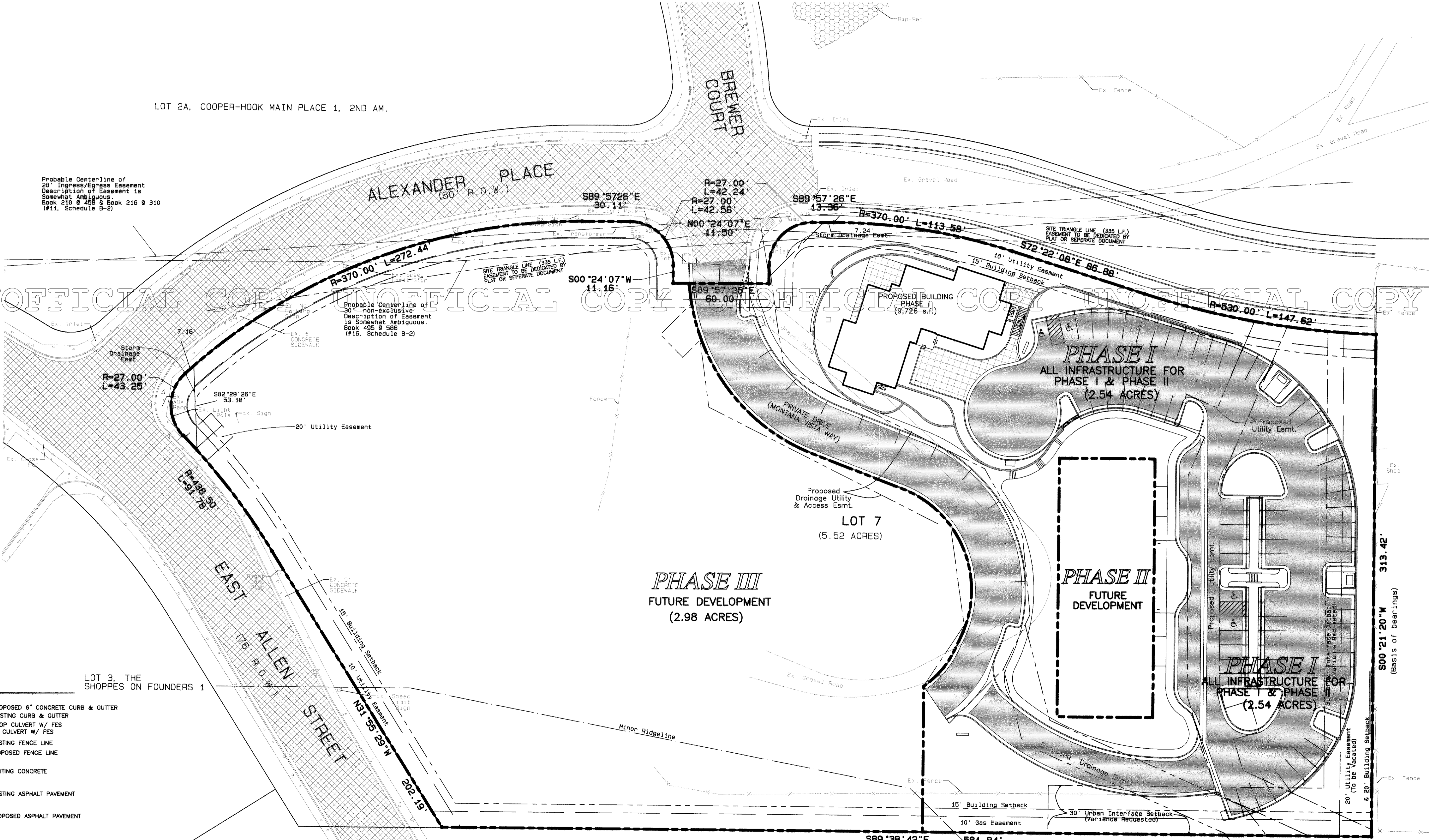
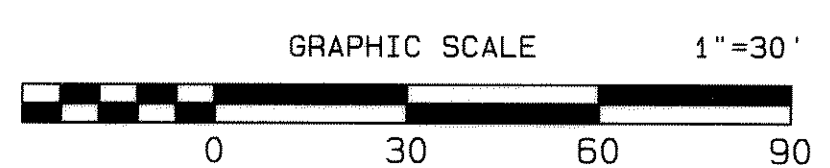
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- LEGEND**
- PROPOSED 6" CONCRETE CURB & GUTTER
 - EXISTING CURB & GUTTER
 - PROP CULVERT W/ FES
 - EX CULVERT W/ FES
 - EXISTING FENCE LINE
 - PROPOSED FENCE LINE
 - EXISTING CONCRETE
 - EXISTING ASPHALT PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - EXISTING RIP-RAP
 - PROP FENCE LINE
 - EXISTING WALL LINE
 - PROPOSED WALL LINE
 - PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - BUILDING SETBACK
 - PHASE LINE
 - PROPOSED LIGHT POLE
 - EXISTING LIGHT POLE
 - PROP FIRE HYDRANT
 - EXISTING FIRE HYDRANT
 - PROPOSED HANDICAP PARKING

LOT 3, THE SHOPPES ON FOUNDERS 1

LOT 2



NOTE: PARKING FOR PHASES I AND II IS APPROVED FOR GENERAL OFFICE USE ONLY. ANY OTHER OFFICE USE, INCLUDING MEDICAL OFFICES, MUST COMPLY WITH PARKING REQUIREMENTS FOR THOSE USES.

REVISIONS 11-12-13

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
IN SEC. 26, T7S, R67W, TOWN OF CASTLE ROCK
DOUGLAS COUNTY, COLORADO.

PHASING PLAN

CONTACT: HUDICK EXCAVATING INC.
PHONE: 303-688-9500

SCALE	1"=30'
DATE	11-27-13
DR'N	DMH (CRD) KEA
AP'VD	KEA
JOB NUMBER	13-0174
Sheet	2 of 13

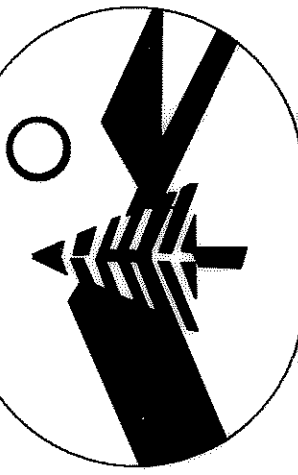
LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP13-0018

SITE DEVELOPMENT PLAN

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LOT 2A, COOPER-HOOK MAIN PLACE 1, 2ND AM.



DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT ENGINEERING
SURVEYING ENGINEERING
PHONE: (303) 688-4642
105 WILCOX ST., CASTLE ROCK, COLORADO 80104

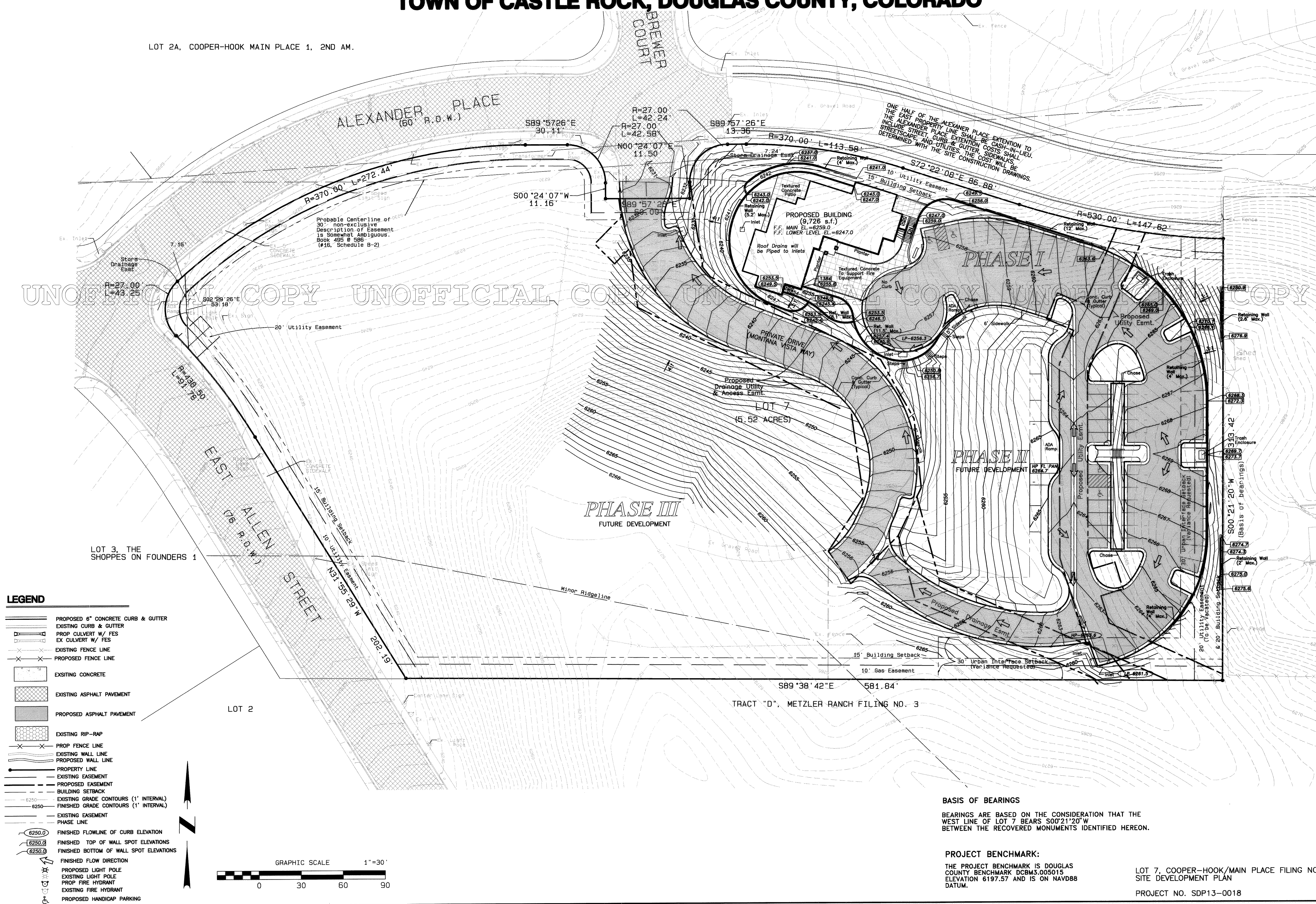
REVISIONS	DATE
10-18-13	
11-12-13	

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
IN SEC. 26, 17S., R67W., TOWN OF CASTLE ROCK
DOUGLAS COUNTY, COLORADO.

GENERAL GRADING PLAN

CONTACT: HUDICK EXCAVATING INC.
PHONE: 303-688-9500

SCALE	1"=30'
DATE	11-27-13
DRN.	DMH
CRD.	KEA
AP'VD.	KEA
JOB NUMBER	13-0174
Sheet	4 of 13

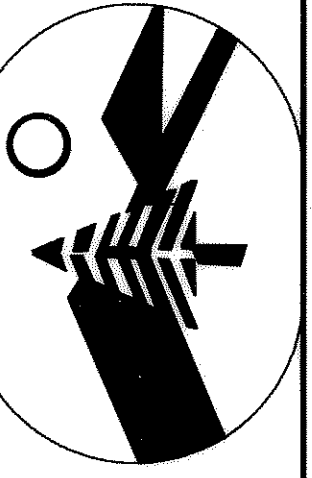


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SITE DEVELOPMENT PLAN

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT, SURVEYING & ENGINEERING
PHONE (303) 688-4642
105 MILCOX ST. CASTLE ROCK, COLORADO 80104

LOT 2A, COOPER-HOOK MAIN PLACE 1, 2ND AM.

Probable Centerline of 20' Ingress/Egress Easement Description of Easement is Somewhat Ambiguous. Book 210 @ 458 & Book 216 @ 310 (#11, Schedule B-2)

Probable Centerline of 30' non-exclusive Description of Easement is Somewhat Ambiguous. Book 495 @ 586 (#16, Schedule B-2)

ONE HALF OF THE ALEXANDER PLACE EXTENSION TO THE EAST PROPERTY LINE SHALL BE CASH-IN-LIEU. INCLUDE STREET, CURB & GUTTER, SIDEWALKS, STREETSCAPE, AND UTILITIES. THE COST WILL BE DETERMINED WITH THE SITE CONSTRUCTION DRAWINGS.

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LEGEND

- PROPOSED 6" CONCRETE CURB & GUTTER
- EXISTING CURB & GUTTER
- PROP CULVERT W/ FES
- EX CULVERT W/ FES
- EXISTING FENCE LINE
- PROPOSED FENCE LINE
- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT
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- PROPOSED WALL LINE
- PROPERTY LINE
- EXISTING EASEMENT
- BUILDING SETBACK
- PROPOSED EASEMENT
- PHASE LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EX WATER LINE
- PROP WATER LINE
- EX SEWER LINE W/ MH
- PROP SEWER LINE W/ MH
- PROP LIGHT POLE
- EX LIGHT POLE
- PROP FIRE HYDRANT
- EX FIRE HYDRANT
- PROP HANDICAP PARKING
- EX HANDICAP PARKING
- PROP LOW TAILWATER BASIN
- EX LOW TAILWATER BASIN
- PROP FLARE END SECTION
- EX FLARE END SECTION
- EXISTING WATER VALVE
- PROPOSED WATER VALVE

LOT 3, THE SHOPPES ON FOUNDERS 1

LOT 2

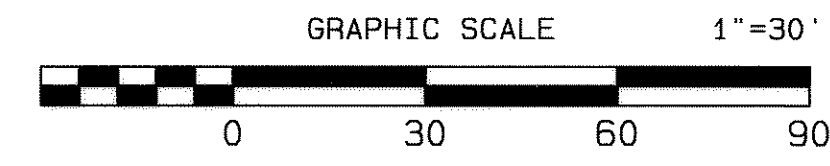
TRACT "D", METZLER RANCH FILING NO. 3

PHASE I

PHASE II

PHASE III

LOT 7 (5.52 ACRES)



UTILITY NOTES

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK METZLER NORTH BLUE PRESSURE ZONE WATER PRESSURE ZONE.

PROJECT BENCHMARK:

THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBM3.005015 ELEVATION 6197.57 AND IS ON NAVD88 DATUM.

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE CONSIDERATION THAT THE WEST LINE OF LOT 7 BEARS S00°21'20"W BETWEEN THE RECOVERED MONUMENTS IDENTIFIED HEREON.

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP13-0018

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
IN SEC. 26, T2S, R67W, TOWN OF CASTLE ROCK
DOUGLAS COUNTY, COLORADO.
GENERAL UTILITIES PLAN
CONTACT: HUDICK EXCAVATING INC.
PHONE: 303-688-9500

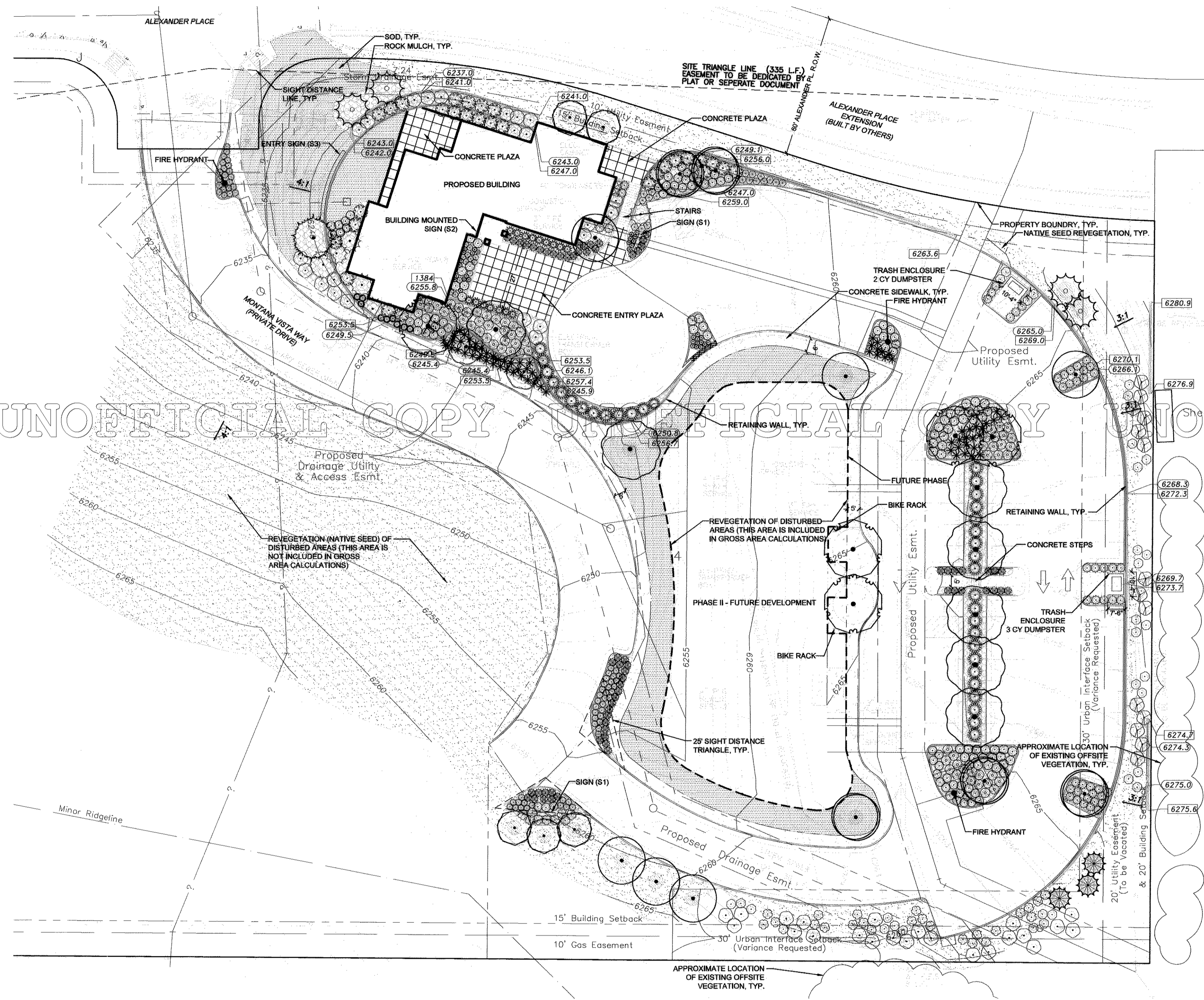
REVISIONS
10-18-13
11-12-13

SCALE 1"=30'
DATE 11-27-13
DRN: DMH CKD: KEA
APP'D: KEA
JOB NUMBER 13-0174
Sheet 5 of 13

SITE DEVELOPMENT PLAN

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



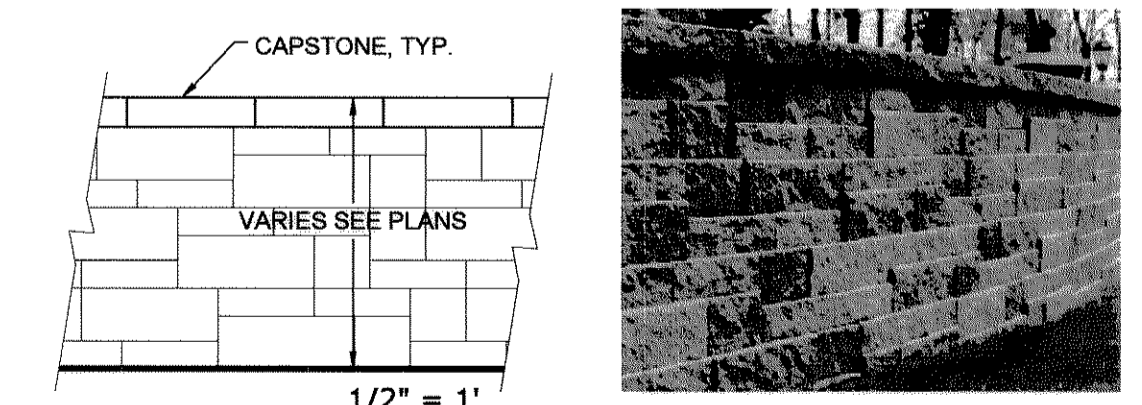
1 LANDSCAPE PLANTING PLAN - PHASE 1
Scale: 1" = 30'

LANDSCAPE CALCULATIONS FOR THE TOWN OF CASTLE ROCK									
GROSS SITE AREA	LANDSCAPE AREA IN SF	TURFGRASS LIST SPECIES IN SF	NONLIVING MATERIAL IN SF	NO. OF TREES REQUIRED	NO. OF TREES PROVIDED	NO. OF SHRUBS REQUIRED	NO. OF SHRUBS PROVIDED	SOIL PREP AMOUNT (IN CU. YDS.)	SEPARATE IRRIGATION SERVICE CONNECTIONS
2.54 ACRES OR 110,791 SF	REQUIRED: 11,079.1 PROVIDED: 21,841 SF	8,268 SF FESCUE TURF GRASS MIX	8,245 SF OF 3/4" - 1 1/2" RIVER ROCK & 769 SF OF WOOD FIBER MULCH	2 LARGE TREES, FOR EACH 1000 SF 11,079.1 / 1000 = 11.08 11.08 * 2 = 23 TREES	23	4 SHRUBS, FOR EACH 1000 SF 11,079.1 / 1000 = 11.08 11.08 * 4 = 45	597	4 CY PER 1000 SF 21,841 / 1000 = 21.84 21.84 * 4 = 86.57 CY	YES
PARKING LOT IN SF	PARKING LOT LANDSCAPE AREA IN SF	NO. OF PARKING SPACES	NONLIVING MATERIAL IN SF	NO. OF TREES REQUIRED	NO. OF TREES PROVIDED	NO. OF SHRUBS REQUIRED	NO. OF SHRUBS PROVIDED	NO. OF INTERIOR LANDSCAPE ISLANDS	MINIMUM WIDTH OF INTERIOR LANDSCAPED ISLANDS
35,478 SF	3,560 SF	72 (in lot) 11 (on private street) = 83 total	3,548 SF OF 3/4" - 1 1/2" RIVER ROCK	2 LARGE TREES, FOR EACH 1000 SF 3,548 / 1000 = 3.55 3.55 * 2 = 8 TREES	10	4 SHRUBS, FOR EACH 1000 SF 3,548 / 1000 = 3.55 3.55 * 4 = 15 SHRUBS	188	1	9'

- General Landscape Notes:**
- Square footages are estimated. Final landscape area coverages shall meet or exceed coverages represented in this drawing and shall conform to subsequent submittal requirements.
 - Quantities and locations of plant materials are approximated. Final quantities and locations will be reflected on construction documents.
 - All plants are to be properly hydrozoned per Town of Castle Rock Plant list.
 - Distance of trees to utility lines should be a minimum of 10 feet.
 - Design must accommodate the watering restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
 - Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
 - Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations Section 3 and to correlate with the use type on the property.
 - Planting within 3' of fire hydrants will be 18" or less in height.

- Irrigation Notes:**
- Trees will be irrigated with bubblers unless they are located in irrigated turf areas. Shrub and perennial beds will be irrigated with drip emitters. Turf and irrigated native areas at least 10' wide will be irrigated with overhead spray. Turf and irrigated native areas at less than 10' wide will have sub-surface irrigation.
 - Separate irrigation zones will be provided for plants in different exposure areas.

SIGNAGE SCHEDULE				
LABEL	QUANTITY	TYPE	SIZE	LOCATION
S1	2	FREE STANDING	7'-6" x 8'	SITE ENTRY, BUILDING ENTRIES
S2	1	BUILDING FACE	4' x 2'	BUILDING FACE
S3	1	STONE WALL	10' x 4'	RETAINING WALL



PRECAST RETAINING WALL

Specified Retaining Wall:
Versa-Lok Mosaic: 4 unit system consisting of 1-Standard Unit, 1-Cobble Unit, 2-Accent Unit. Color: Desert Blend.

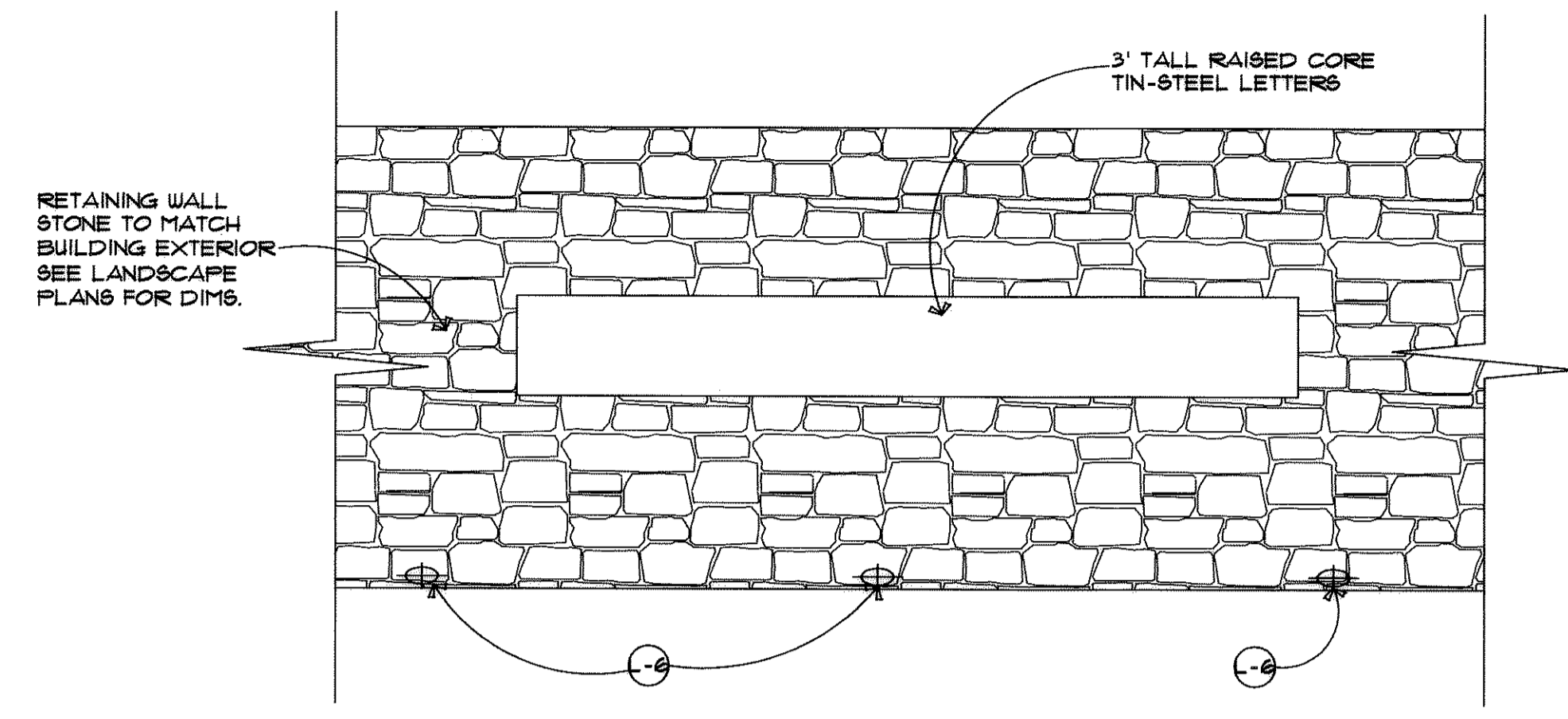
Retaining Wall Notes:
1) An approved equal precast retaining wall and/or shotcrete wall with an overlain concrete fascia may be used in place of the specified product.
2) Walls over 4' high must be designed by a qualified engineer.

LEDGED

DECIDUOUS TREES	Very Low	Low	Medium	High
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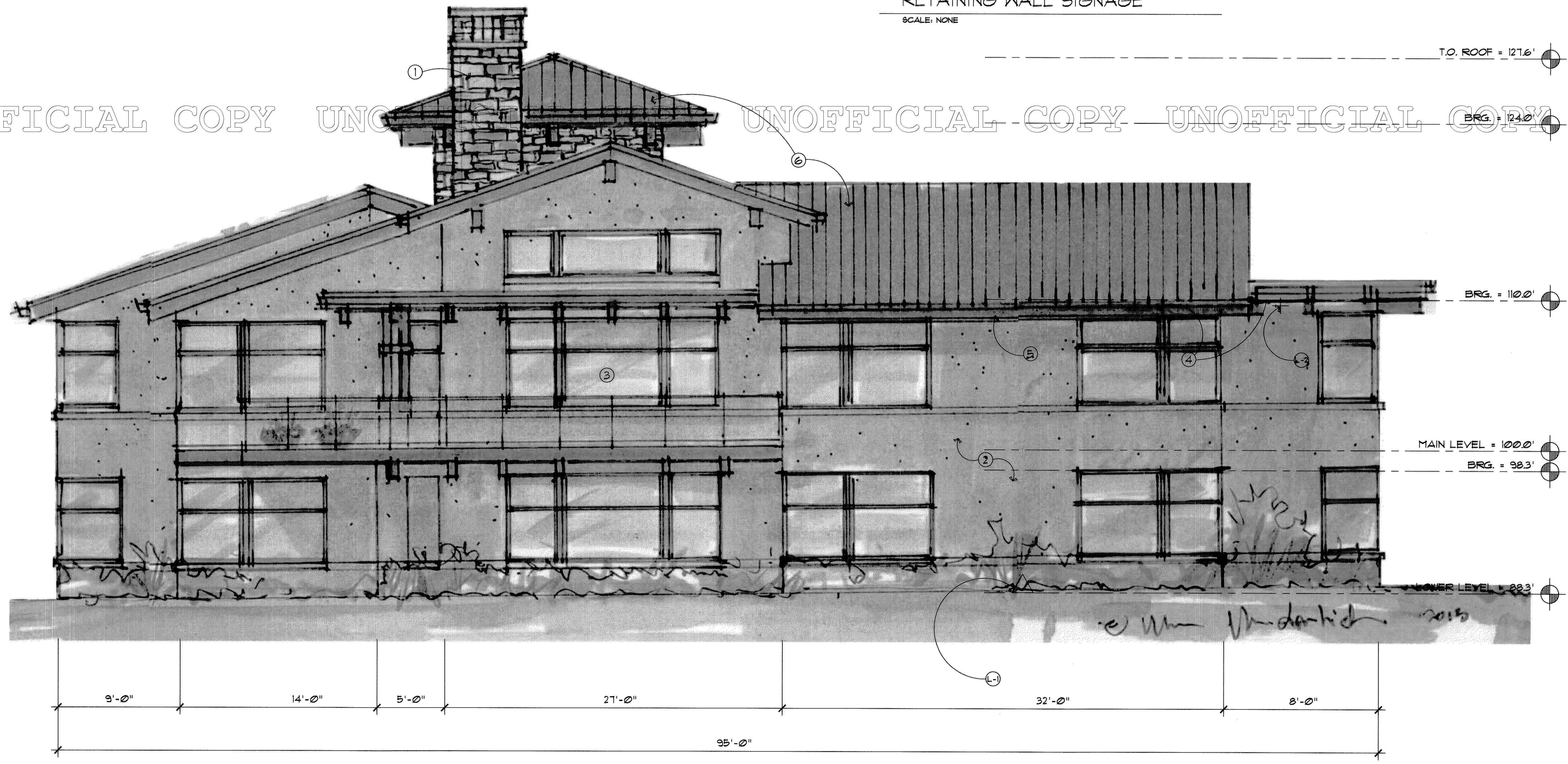
LUMINAIRE SCHEDULE								
SYMBOL	LABLE	ARRANGEMENT	LAMPING	TOTAL LAMP LUMENS	DISCRPTION	MOUNTING HIGHT	CUT-OFF	CONTROL
△	L1	SINGLE, SURFACE	21.0 W LED	834.5	KN LTV 71 LIGHTVAULT COMPOSITE HOUSING LED - FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER
+	L2	RECESSED CAN	13W LED G3	900 MAX	JUNO/IC1	AT BUILDING SOFFIT	N/A	PHOTOSENSOR/TIMER
*	L3	RECESSED STEP	12 W T5 LED	180	HINKLEY/1594BZ	AT EXTERIOR STEP WALLS	N/A	PHOTOSENSOR/TIMER
*	L4	SINGLE, SURFACE	35W PULSE START METAL HALIDE	2000	KM 6205 SQUARE HOOD DIRECT MOUNT LIGHT FIXTURE (BLACK) - FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER
⊕	L5	SINGLE, BOLLARD	16.1 W LED	588	KM CB32-BL COMPACT LED BOLLARD (BLACK)	36"	FULL	PHOTOSENSOR/TIMER
○	L6	SINGLE, SURFACE	25.3 W LED	464.1	KN LTV 72 LIGHTVAULT COMPOSITE HOUSING LED - EYEBALL FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER

KEY TO MATERIALS	
①	BUFF REAL FIELD STONE VENEER
②	BUFF STUCCO
③	ANODIZED BRONZE WINDOWS
④	STAINED R.S. CEDAR TRIM
⑤	BRONZE GUTTERS AND DOWNSPOUTS
⑥	RUST-COLORED ANODIZED ALUMINUM STANDING-SEAM ROOFING



RETAINING WALL SIGNAGE
SCALE: NONE

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WEST ELEVATION
SCALE: 1/4" = 1'-0"

SITE DEVELOPMENT PLAN
LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP13-0018

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303.521.7692

REVISIONS
1) 17 OCT. 2013
2) 12 NOV. 2013
3) 24 NOV. 2013

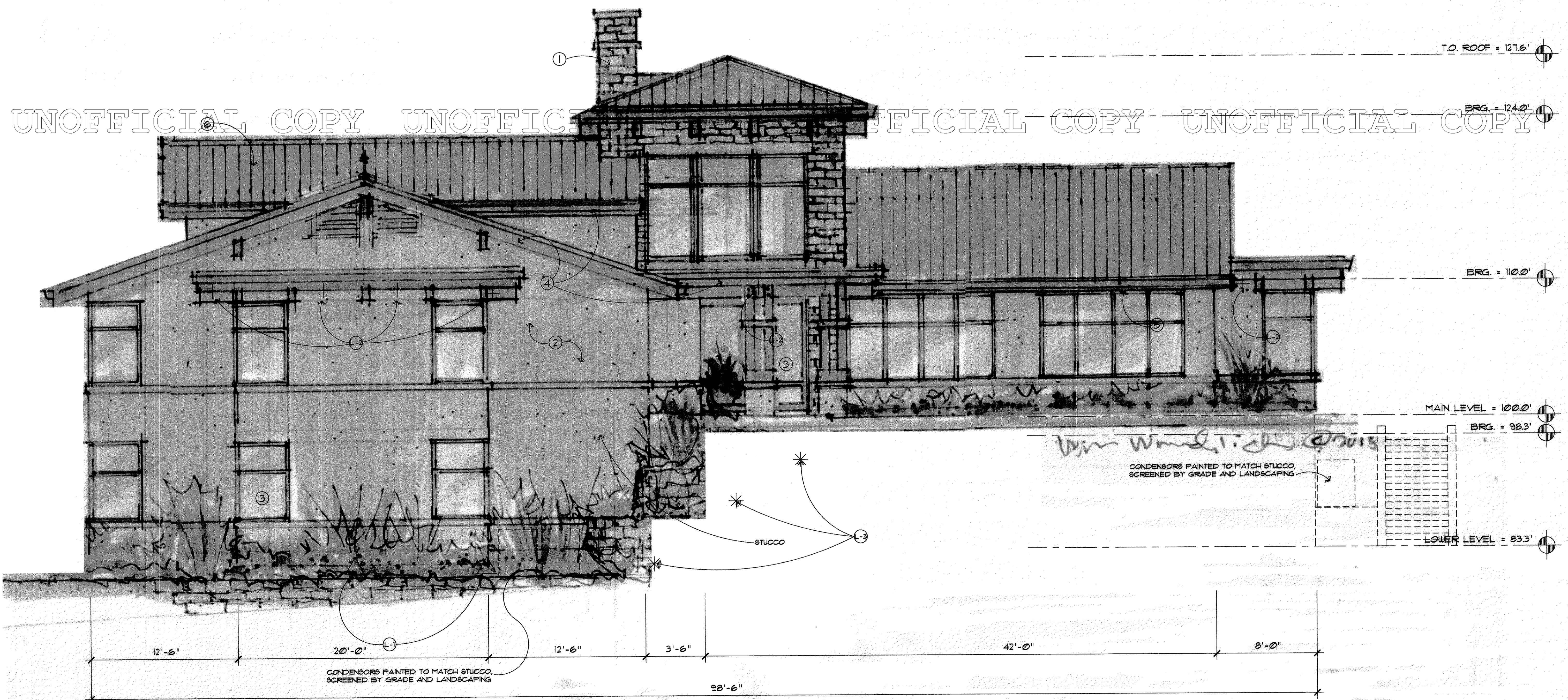
LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
IN SEC. 26, 17S, R67N, TOWN OF CASTLE ROCK
DOUGLAS COUNTY, COLORADO.

CONTACT: HUBBCK EXCAVATING INC.
PHONE: 303-688-9500

SCALE 1/4" = 1'-0"
DATE 30 AUG 2013
DRN. CRD.
APVD.
JOB NUMBER 13-0174
7 OF 13
Sheet

LUMINAIRE SCHEDULE								
SYMBOL	LABLE	ARRANGEMENT	LAMPING	TOTAL LAMP LUMENS	DISCRPTION	MOUNTING HIGHT	CUT-OFF	CONTROL
△	L1	SINGLE, SURFACE	21.0 W LED	834.5	KN LTV 71 LIGHTVAULT COMPOSITE HOUSING LED - FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER
+	L2	RECESSED CAN	13W LED G3	900 MAX	JUNO/IC1	AT BUILDING SOFFIT	N/A	PHOTOSENSOR/TIMER
*	L3	RECESSED STEP	12 W T5 LED	180	HINKLEY/1594BZ	AT EXTERIOR STEP WALLS	N/A	PHOTOSENSOR/TIMER
*	L4	SINGLE, SURFACE	35W PULSE START METAL HALIDE	2000	KM 6205 SQUARE HOOD DIRECT MOUNT LIGHT FIXTURE (BLACK) - FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER
⊕	L5	SINGLE, BOLLARD	16.1 W LED	588	KM CB32-BL COMPACT LED BOLLARD (BLACK)	36"	FULL	PHOTOSENSOR/TIMER
○	L6	SINGLE, SURFACE	25.3 W LED	464.1	KN LTV 72 LIGHTVAULT COMPOSITE HOUSING LED - EYEBALL FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER

KEY TO MATERIALS	
①	BUFF REAL FIELD STONE VENEER
②	BUFF STUCCO
③	ANODIZED BRONZE WINDOWS
④	STAINED R.S. CEDAR TRIM
⑤	BRONZE GUTTERS AND DOWNSPOUTS
⑥	RUST-COLORED ANODIZED ALUMINUM STANDING-SEAM ROOFING



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SITE DEVELOPMENT PLAN
LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
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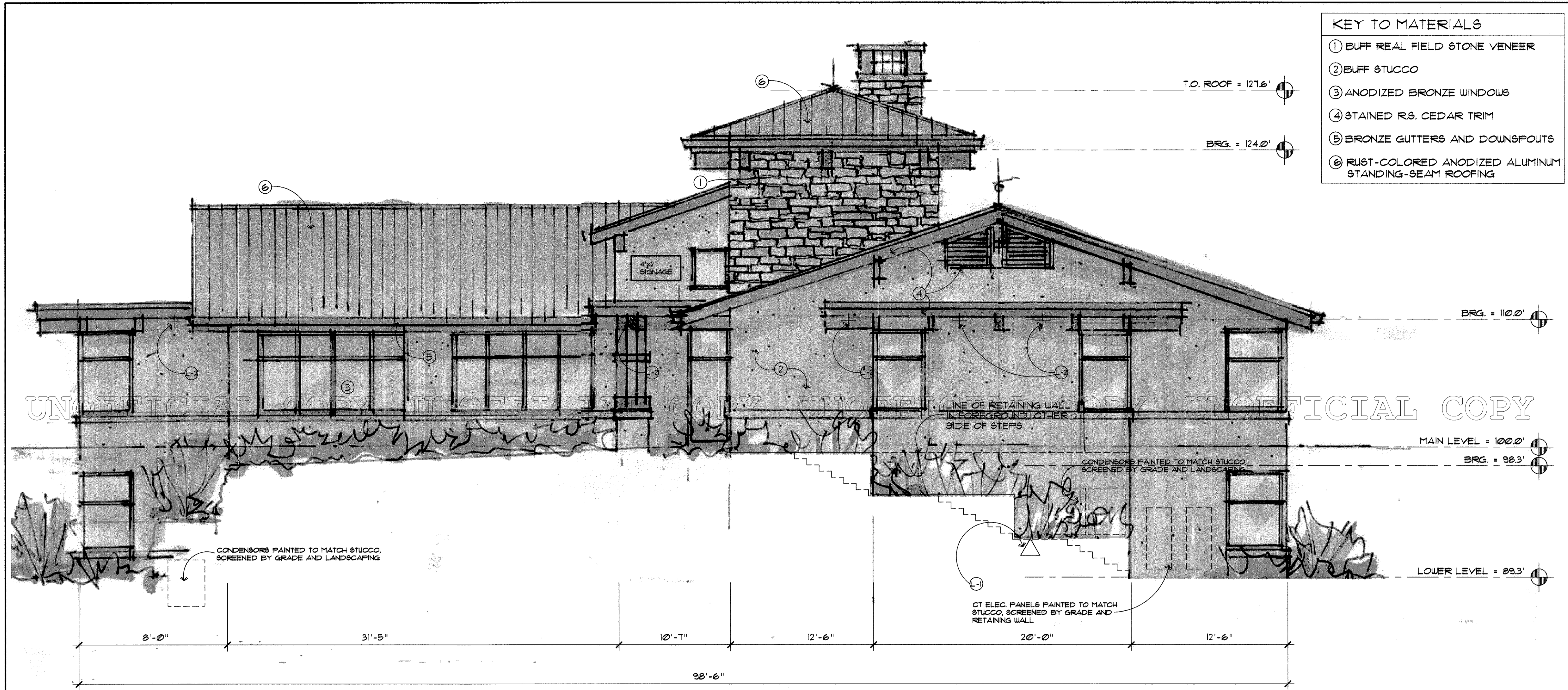
REVISIONS
1) 17. OCT. 2013
3) 12. NOV. 2013

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DOUGLAS COUNTY, COLORADO.

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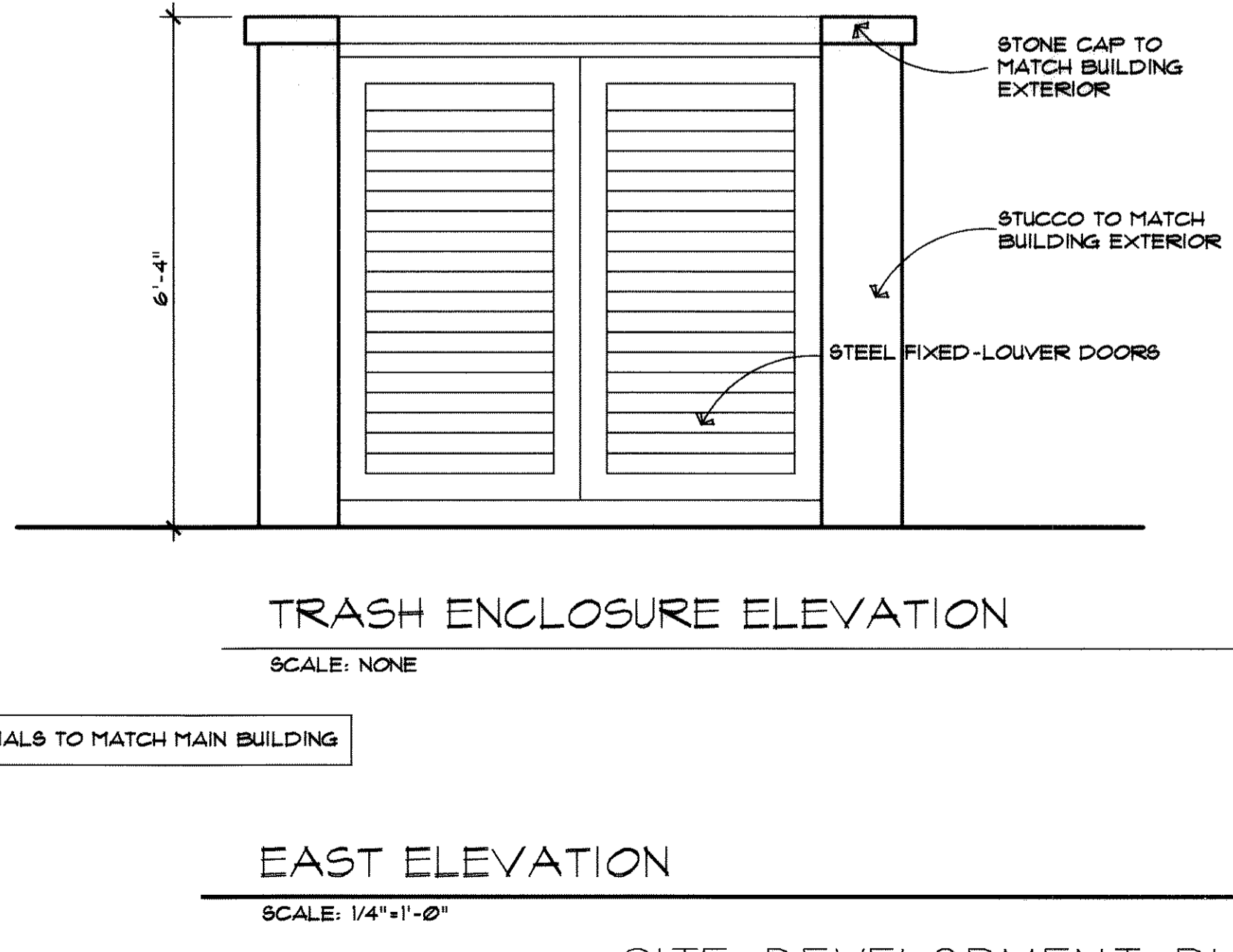
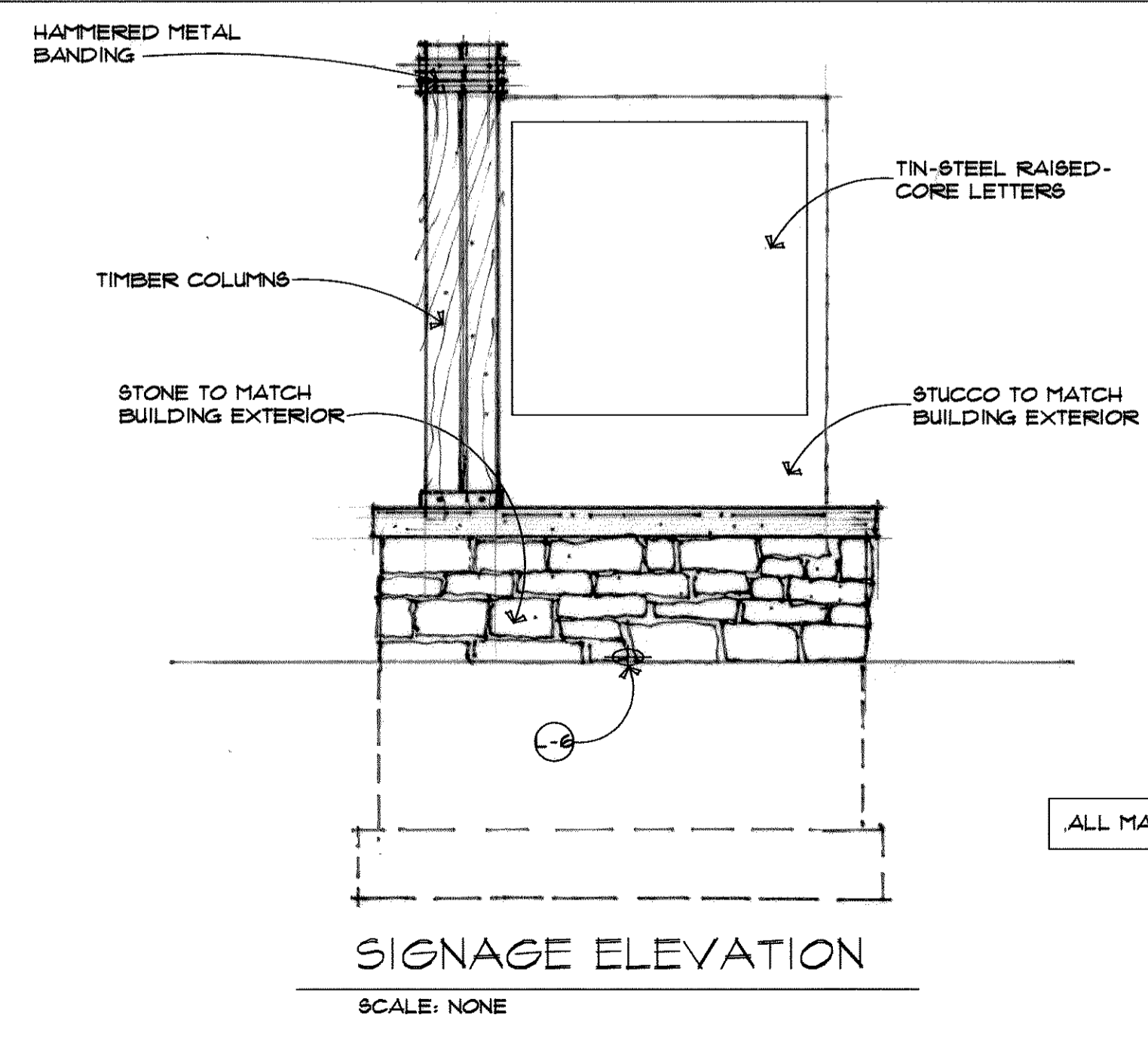
SCALE: 1/4" = 1'-0"
DATE: 30 AUG 2013
JOB NUMBER: 13-0174
8 OF 13
Sheet

wunderlichdesign
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- KEY TO MATERIALS**
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 - ② BUFF STUCCO
 - ③ ANODIZED BRONZE WINDOWS
 - ④ STAINED R.S. CEDAR TRIM
 - ⑤ BRONZE GUTTERS AND DOWNSPOUTS
 - ⑥ RUST-COLORED ANODIZED ALUMINUM STANDING-SEAM ROOFING

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LUMINAIRE SCHEDULE								
SYMBOL	LABLE	ARRANGEMENT	LAMPING	TOTAL LAMP LUMENS	DISRIPTION	MOUNTING HEIGHT	CUT-OFF	CONTROL
△	L1	SINGLE, SURFACE	21.0 W LED	834.5	KN LTV 71 LIGHTVAULT COMPOSITE HOUSING LED - FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER
+	L2	RECESSED CAN	13W LED G3	900 MAX	JUNO/IC1	AT BUILDING SOFFIT	N/A	PHOTOSENSOR/TIMER
*	L3	RECESSED STEP	12 W T5 LED	180	HINKLEY/1594BZ	AT EXTERIOR STEP WALLS	N/A	PHOTOSENSOR/TIMER
*	L4	SINGLE, SURFACE	35W PULSE START METAL HALIDE	2000	KM 6205 SQUARE HOOD DIRECT MOUNT LIGHT FIXTURE (BLACK) - FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER
⊕	L5	SINGLE, BOLLARD	16.1 W LED	588	KM CB32-BL COMPACT LED BOLLARD (BLACK)	36"	FULL	PHOTOSENSOR/TIMER
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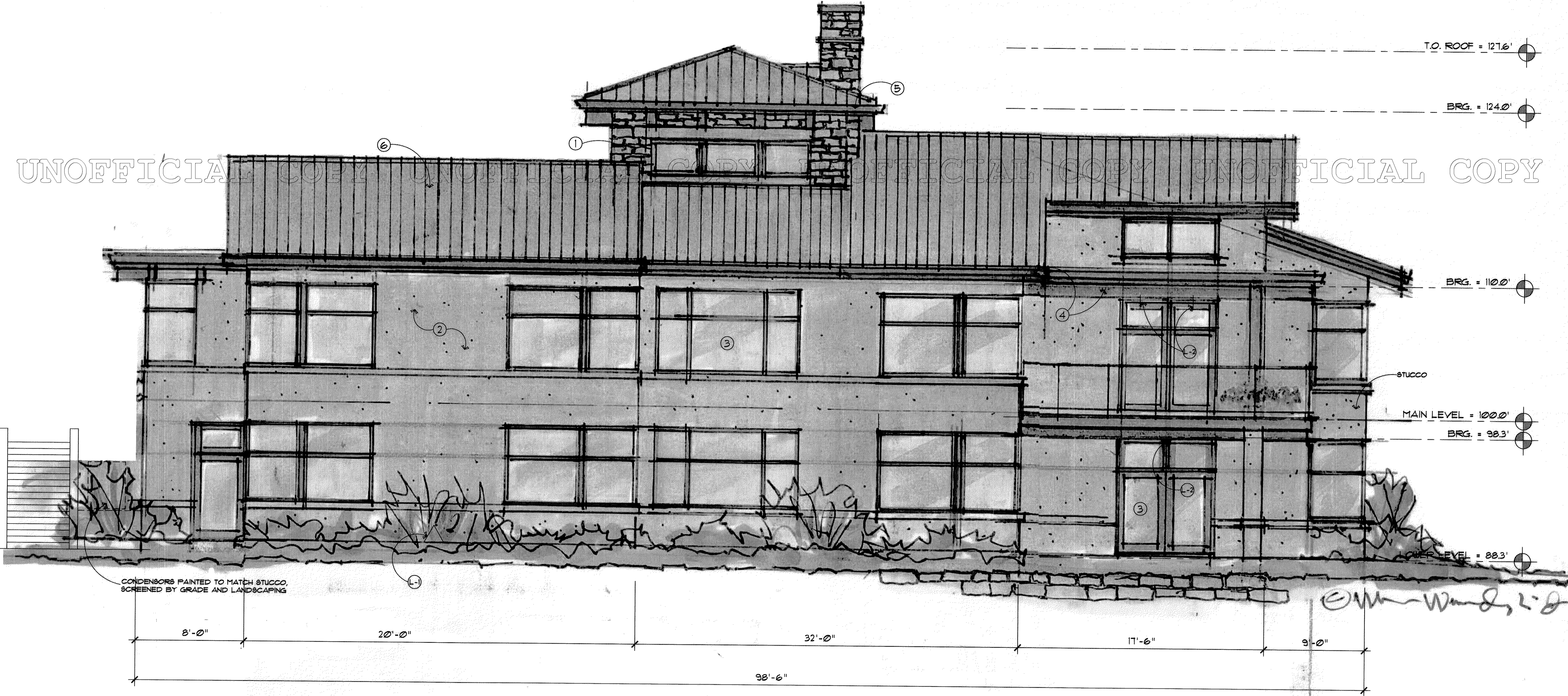
CONTACT: HUDICK EXCAVATING, INC.
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SITE DEVELOPMENT PLAN
 LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
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SCALE: 1/4" = 1'-0"
 DATE: 30 AUG 2013
 DRN. CKD.
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 JOB NUMBER: 13-0174
 9 OF 13
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△	L1	SINGLE, SURFACE	21.0 W LED	834.5	KN LTV 71 LIGHTVAULT COMPOSITE HOUSING LED - FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER
+	L2	RECESSED CAN	13W LED G3	900 MAX	JUNO/IC1	AT BUILDING SOFFIT	N/A	PHOTOSENSOR/TIMER
*	L3	RECESSED STEP	12 W T5 LED	180	HINKLEY/1594BZ	AT EXTERIOR STEP WALLS	N/A	PHOTOSENSOR/TIMER
*	L4	SINGLE, SURFACE	35W PULSE START METAL HALIDE	2000	KM 6205 SQUARE HOOD DIRECT MOUNT LIGHT FIXTURE (BLACK) - FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER
⊕	L5	SINGLE, BOLLARD	16.1 W LED	588	KM CB32-BL COMPACT LED BOLLARD (BLACK)	36"	FULL	PHOTOSENSOR/TIMER
○	L6	SINGLE, SURFACE	25.3 W LED	464.1	KN LTV 72 LIGHTVAULT COMPOSITE HOUSING LED - EYEBALL FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER

KEY TO MATERIALS	
①	BUFF REAL FIELD STONE VENEER
②	BUFF STUCCO
③	ANODIZED BRONZE WINDOWS
④	STAINED R.S. CEDAR TRIM
⑤	BRONZE GUTTERS AND DOWNSPOUTS
⑥	RUST-COLORED ANODIZED ALUMINUM STANDING-SEAM ROOFING



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

SITE DEVELOPMENT PLAN
LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP13-0018

wunderlichdesign
WUNDERLICH-DESIGN.COM
P.O. BOX 3228 CENTENNIAL, CO 80161
WUNDERLICHDESIGN@COMCAST.NET
303.521.7692

REVISIONS
1) 17. OCT. 2013
2) 12. NOV. 2013

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO.1
IN SEC. 26, T7S, R67W, TOWN OF CASTLE ROCK
DOUGLAS COUNTY, COLORADO.

CONTACT: HUDICK EXCAVATING INC.
PHONE: 303-688-9500

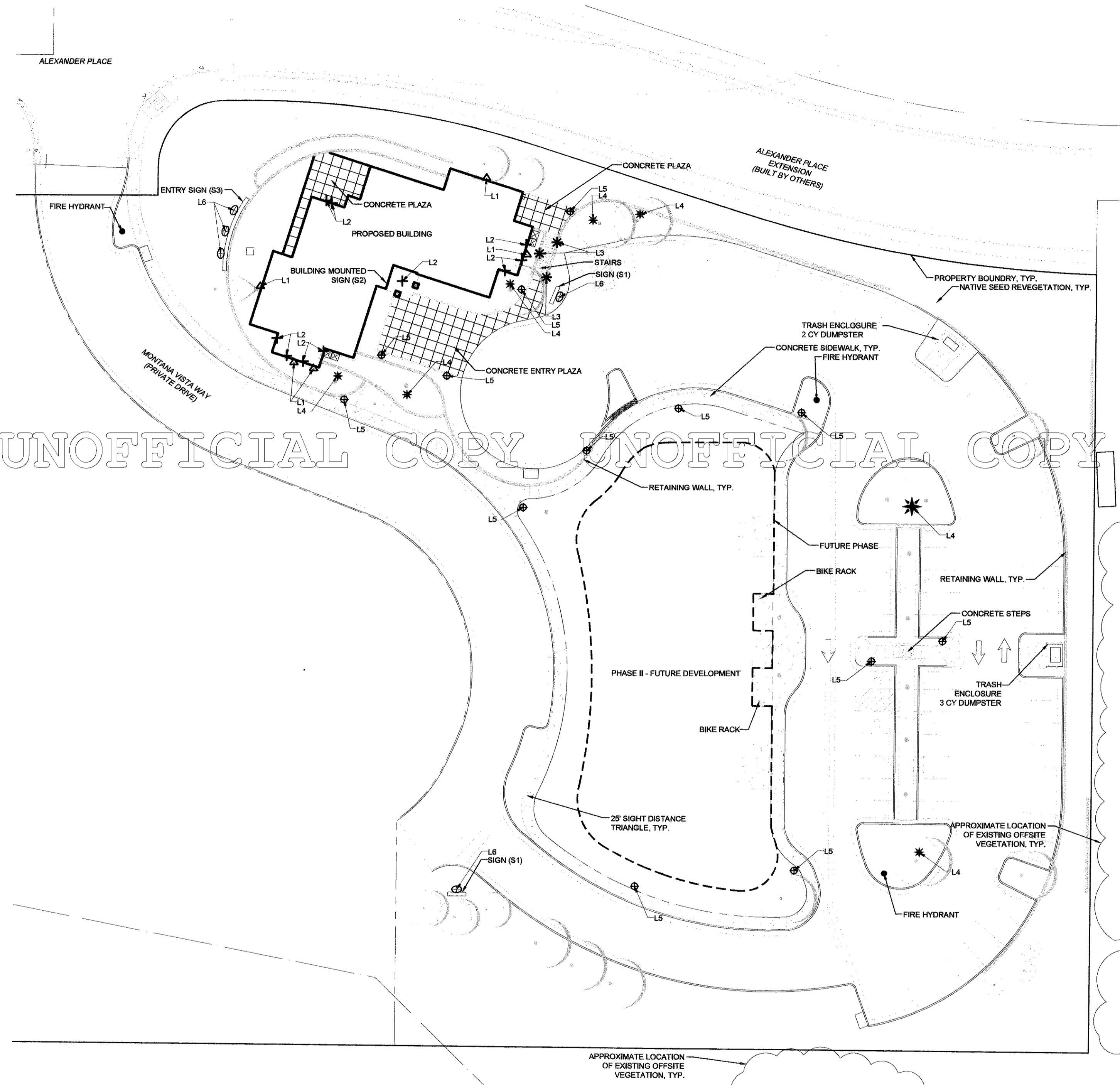
SCALE 1/4" = 1'-0"
DATE 30 AUG 2013
DR'N. CKD.
AP'VD.
JOB NUMBER 13-0174
Sheet 10 OF 13

SITE DEVELOPMENT PLAN

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LAND PLANNING
PCS
 GROUP Inc.
 1001 16th St. B-180
 Denver, CO 80265
 tel 303.531.4905
 fax 303.531.4908



1 GENERAL SITE LIGHTING PLAN - PHASE 1
 Scale: 1" = 30'

General Lighting Notes:

1. Site lighting objectives: To provide path illumination for pedestrians and accent lighting for trees and signs.
2. Hours of operation: dusk to dawn
3. Mitigation to adjacent properties: Pole lighting will not be used. All fixtures will be full cut off except for low level up lighting and accent lights.
4. The following lighting types are prohibited: Forward Throw (Type IV) distribution, pole-mounted lights aimed at a building facade, and unshielded wall packs.
5. See architectural elevations for building mounted lighting and signage.

LUMINAIRE SCHEDULE									
SYMBOL	LABEL	QUANTITY	ARRANGEMENT	LAMPING	TOTAL LAMP LUMENS	DISCRPTION	MOUNTING HIGHT	CUT-OFF	CONTROL
△	L1	5	SINGLE, SURFACE	21.0 W LED	834.5	KN LTV 71 LIGHTVAULT COMPOSITE HOUSING LED - FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER
+	L2	10	RECESSED CAN	13W LED G3	900 MAX	JUNO/IC1	AT BUILDING SOFFIT	N/A	PHOTOSENSOR/TIMER
*	L3	3	RECESSED STEP	12 W T5 LED	180	HINKLEY/1594BZ	AT EXTERIOR STEP WALLS	N/A	PHOTOSENSOR/TIMER
*	L4	7	SINGLE, SURFACE	35W PULSE START METAL HALIDE	2000	KM 6205 SQUARE HOOD DIRECT MOUNT LIGHT FIXTURE (BLACK) - FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER
⊕	L5	13	SINGLE, BOLLARD	16.1 W LED	588	KM CB32-BL COMPACT LED BOLLARD (BLACK)	36"	FULL	PHOTOSENSOR/TIMER
⊖	L6	5	SINGLE, SURFACE	25.3 W LED	464.1	KN LTV 72 LIGHTVAULT COMPOSITE HOUSING LED - EYEBALL FLOOD LIGHT	AT GRADE	N/A	PHOTOSENSOR/TIMER

CONTROL SCHEDULE						
	TREE UPLIGHTING	BOLLARDS	SIGN LIGHTING	ENTRY BUILDING LIGHTS	BUILDING SIGNAGE	BUILDING ACCENT LIGHT
ON	Dusk to Dawn (by Photocell)	Dusk to Dawn (by Photocell)	Dusk to Dawn (by Photocell)	Dusk to Dawn (by Photocell)	Dusk to Dawn (by Photocell)	Dusk to Dawn (by Photocell)
OFF	During daylight hours (by Photocell)	During daylight hours (by Photocell)	During daylight hours (by Photocell)	During daylight hours (by Photocell)	During daylight hours (by Photocell)	During daylight hours (by Photocell)
reduced by 50%	between 1 hour after and 1 hour before business hours	between 1 hour after and 1 hour before business hours	between 1 hour after and 1 hour before business hours	N/A	between 1 hour after and 1 hour before business hours	between 1 hour after and 1 hour before business hours

SIGNAGE SCHEDULE				
LABEL	QUANTITY	TYPE	SIZE	LOCATION
S1	2	FREE STANDING	7'-6" x 8'	SITE ENTRY, BUILDING ENTRIES
S2	1	BUILDING FACE	4' x 2'	BUILDING FACE
S3	1	STONE WALL	10' x 4'	RETAINING WALL

REVISIONS
 1. 8-30-13
 2. 10-17-13
 3. 11-12-13
 4. 11-27-13

NOT FOR CONSTRUCTION

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO.1
 IN SEC. 26, T7S, R67W, TOWN OF CASTLE ROCK
 DOUGLAS COUNTY, COLORADO.
CONCEPTUAL LIGHTING PLAN
 CONTACT: HUDICK EXCAVATING INC.
 PHONE: 303-688-9500

SCALE: AS SHOWN
 DATE: 11-27-13
 DR'N: JW (CKD: JP)
 AP'VD:

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP13-0018

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SITE DEVELOPMENT PLAN

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LAND PLANNING
PCS
GROUP Inc.
1001 16th St. B-180
Denver, CO 80265
tel 303.531.4905
fax 303.531.4908



KIM LIGHTING

Type:
Job:
Fixture Catalog number:
LTV71 / / / /
Fixture Optics Source-Temp Volts Option - order assembled w/fixture

Lightvault® LTV71
Composite Housing LED
revision 2-15-12 • ltv71.pdf

Approvals:
Date:
Page: 1 of 3

Specifications

Lens Ring: Cast bronze with natural finish. (Optional brushed stainless steel lens ring is also available.) Eight captive 5/8" stainless steel hex-socket cap screws.
Lens: Tempered clear soda lime, 3/8" thick, flush with lens ring, slightly crowned. (Optional slip-resistant lens is also available.)
Lens Gasket: One-piece molded silicone, U-channel wraps completely around lens flange.
Composite Housing: High temperature, compression molded fiberglass impregnated, 3/8" min. wall composite. Charcoal gray. No top lip to trap dirt and moisture. Molded-in solid brass knurled inserts to receive socket base screws. Separate driver and splice compartments, individual cast aluminum internal covers, with silicone gaskets. Two 3/4" NPT in bottom, 24 cu. in. splice area. Body and driver modules epoxy bonded.
Electronic Module: All electrical components are UL and CSA recognized, mounted on a single plate and factory prewired with quick-disconnect plugs. Driver is rated for -40°F starting.
Optical Module: Precision, replaceable MicroEmitters (WWW) or optical prisms (SP, NF) are positioned to achieve directional control toward desired task. Available in 3500K and 5100K color temperatures.
Wiring: Anti-siphon barrier on wiring to and from splice compartment. All components wire linked for ground, quick-disconnect for removal of optical system.
Distribution: Specify "SP" for spot distributor; specify "NF" for narrow flood distribution; specify "WWW" for wall wash distribution.
Drive-Over Durability: When properly installed and in concrete, the fixture will withstand drive-over traffic up to 5,000 lb for vehicles traveling up to 15 mph.
Limited Warranty: When installed according to Kim Installation Instructions and accepted trade practices, the solid bronze trim rings on LTV Series Kim products are warranted for 25-years, and the composite housings are warranted for 7-years, from date of sale, against manufacturing defects and failure due to corrosion. All other fixture options are warranted to be free of defects in material and workmanship for one year from date of sale.
Kim Lighting's LED engine and driver carry a 3-year warranty.¹

¹This warranty is void if the product is incorrectly sealed at installation, modified, tampered with, misapplied, poorly installed or subject to abnormal conditions.

Hubbell Lighting, Inc.

© 2012 KIM LIGHTING INC. • P.O. BOX 60080, CITY OF INDUSTRY, CA 91716-0080 • TEL: 626/968-5666 • FAX: 626/369-2695

ORDERING INFORMATION

LTV71 x 18L xK UV

Fixture: LTV71

Color Temperature:
 3K = 3500K
 5K = 5100K

Voltage:
Universal Voltage shall range from 120V-277V²

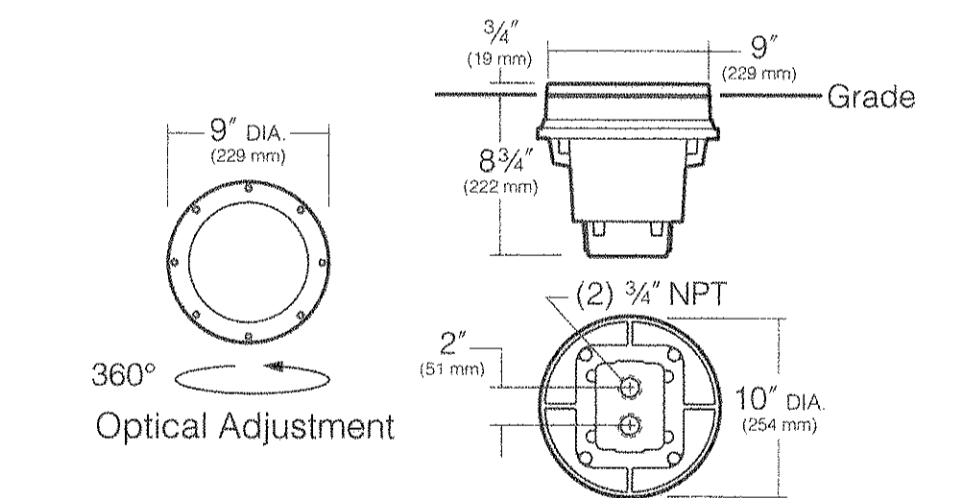
Source:
 SP = Spot
 NF = Narrow Flood
 WWW = Wall Wash

Optics:
 SP = Spot
 NF = Narrow Flood
 WWW = Wall Wash

OPTICAL SYSTEMS DISTRIBUTIONS

Prism (SP, NF) MicroEmitter™ (WWW)

(SP) 9° (NF) 16° (WWW)



Listings and Ratings

UL cUL 1598 ²	IP68 Rated	25C Ambient
--------------------------	------------	-------------

²Suitable for wet locations
KIM LIGHTING RESERVES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE.



4" MINIATURE UNIVERSAL IC HOUSING

INCANDESCENT LAMPS IC1

Product:
Fixture Type:
Location:
Contact/Phone:

PRODUCT DESCRIPTION
IC Air-Loc® Housing with all 4" trims complies with IECC, Washington State and other state Energy Codes • Double wall construction • Energy efficient, sealed inner housing does not require separate ALG gasket • Air-Loc housing stops infiltration and exfiltration of air, reducing heating and cooling costs • Can be completely covered with insulation.

PRODUCT SPECIFICATIONS
Lamp Lamp ratings based on trim selected - see reverse.
Socket Medium base porcelain with nickel-plated copper screw shell.
Trims Trim selections shown on reverse.

Labels U.L. listed for through-branch wiring, damp locations and IP • Product thermally protected against improper use of lamps • Union made AFL-CIO • UL Listed/CSA certified • Trim No. 11, 12, 4101, 4102 and 4181 are wet location approved for covered ceiling applications • Trims 14, 17 are wet location approved for covered ceiling applications, when used with outdoor rated lamps.
Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.
Product specifications subject to change without notice.

INSTALLATION
Real Nail 3 Bar Hangers Telescoping, patent-pending Real Nail 3 system permits quick placement of housing anywhere within 24" O.C. joists or suspended ceilings • Integral T-Bar notch and clip secures housing in suspended ceiling grid - no accessory clips required • 24" expansion stop allows quick placement of fixture in standard grid spacing • Bars scored in two locations for fast, clean breaking, allowing housing installation in tight applications • Bars captive to mounting frame • Edge-mounted for extra strength • Captive bugle-headed ring shank nail for quick one-step installation and easy removal with claw hammer for fixture relocation • Quick-Loc slot and oversized locking set screw lock fixture in position • Bar hanger foot contoured to align to bottom of construction joist • Alternate mounting holes included.

Junction Box Pre-wired junction box provided with (5) 1/2" and (1) 3/4" knockouts, (4) Non-metallic sheathed cable connectors and ground wire, U.L. listed/CSA certified for through-branch wiring, maximum 8 No. 12 AWG 90° C branch circuit conductors (3 in, 3 out) • Junction box provided with removable access plates • Knockouts equipped with pryout slots.

Mounting Frame 22-gauge die-formed galvanized steel mounting frame • 8 3/4" L x 6" W, (excluding bar hangers) • Rough-in section (junction box, mounting frame, housing and bar hangers) fully assembled for ease of installation.

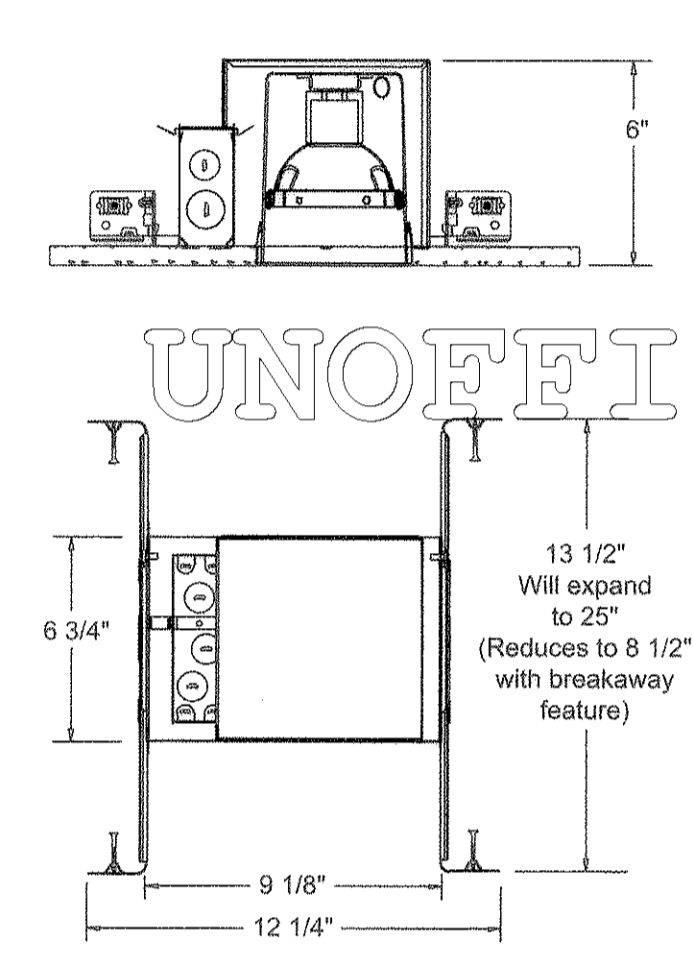
Housing Air-Loc IC housing, .032" aluminum • Inner housing is vertically adjustable to accommodate up to a 1 3/4" ceiling thickness.

PRODUCT CODES

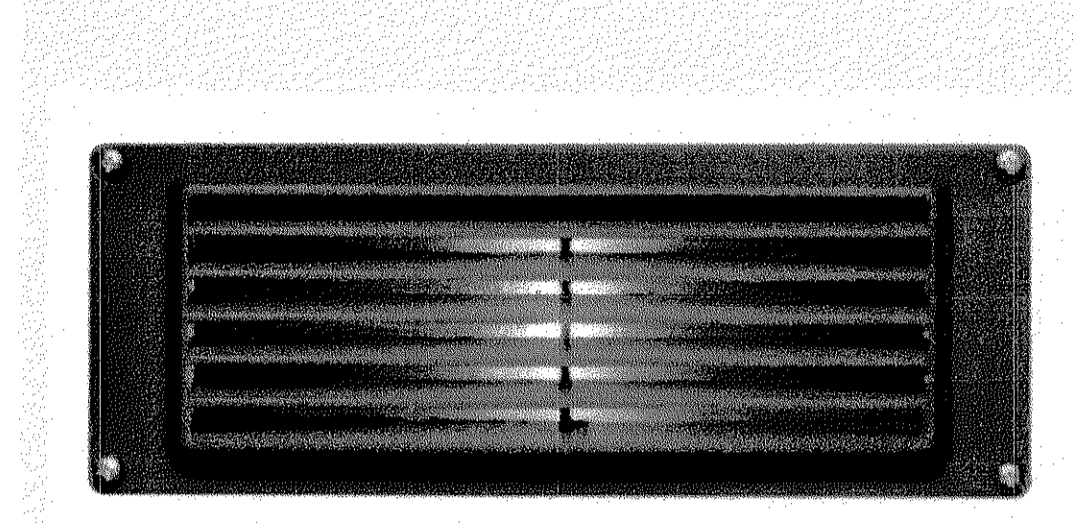
Catalog Number	Input Voltage	Lamp Rating (max.)
IC1	120V	A19/R14/R16/R20/PAR16/PAR20 (See reverse for max. trim rating)

REV-12/08

DIMENSIONS



4 1/2" CEILING CUTOUT



LOUVERED BRICK LIGHT 1594BZ

BRONZE

MATERIAL	DIE-CAST ALUMINUM
GLASS	N/A
WIDTH	8.8"
HEIGHT	3.3"
EXTENSION	-
TTO	-
BACKPLATE HEIGHT	-
BACKPLATE WIDTH	-
BULB	ONE 12W T-5 WEDGE (INCLUDED)
VOLTAGE	12V
UPC	640665159417

NOTES:

L3 HINKLEY/1594BZ

ACCESSORIES

Catalog No.	Description
4TSA	Torsion Spring Adapter (for original style housing)
GU10-WHIP	GU10 Socket Whip

To order, specify catalog number.

L1 KM LTV 71 LIGHTVAULT COMPOSITE HOUSING LED

L2 JUNO/IC1

REVISIONS
1) 8-30-13
2) 10-17-13
3) 11-12-13
4) 11-27-13

NOT FOR CONSTRUCTION

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO.1
IN SEC. 26 T1S R67W TOWN OF CASTLE ROCK
DOUGLAS COUNTY, COLORADO.

LIGHTING SPECIFICATIONS

CONTACT: HUDICK EXCAVATING INC.
PHONE: 303-688-9500

SCALE AS SHOWN
DATE 11-27-13
DRN: JW CKD: JP
APPVD:

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP13-0018

JOB NUMBER 13-0174
Sheet 12 of 13

SITE DEVELOPMENT PLAN

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LAND PLANNING
PCS
GROUP Inc.
1001 16th St. B-180
Denver, CO 80265
Tel 303.531.4905
Fax 303.531.4908

KIM LIGHTING Reset Form

Square Hood 6205
Die-Cast Aluminum, PAR20 Metal Halide
revision 8/15/11 • 6205.pdf

Type: Job: Fixture Catalog number:	Fixture Options: Ordered Separately from Fixture See page 2	Approvals:
_____/_____/_____ Fixture Lamp Model Finish	Remote Mounting Options: Ordered Separately from Fixture See pages 3-6	Date: Page: 1 of 6

Specifications

Housing and Shield: Die-cast, low copper (<0.6% Cu) aluminum.

Swivel: Die-cast, low copper (<0.6% Cu) aluminum with locking teeth and 1/2" solid brass NPT mount. Provides horizontal rotation independent of the threaded mount. Swivel locked by 1/4-20 stainless set screw. Clear anodized prior to titanated zirconium conversion coating for added corrosion resistance.

Lens: Convex clear tempered glass with silicone gasket.

Socket: Porcelain medium base.

Wiring: No. 18AWM rated 105°C.

Ballast: High power factor, long range ignitors, -20°F starting, mounted on tray, 120 volt standard.

Ballast Box: High temperature, compression molded featuring long-fiber fiberglass impregnated heavy wall construction. Wall separates ballast chamber from splice compartments, splice area 32 cu. in.; prewired, two anti-siphon plugs to and from ballast chamber. Conduit entry; two 3/4" NPT for through wiring, one 1/2" NPT for remote access.

Ballast Cover: Cast bronze, supplied with 1/2" NPSM for direct mount, with stainless steel set screw lock. Flat for remote mount.

Finish: Super TGIC thermoset polyester powder coat paint, 2.5 mil nominal thickness, applied over a titanated zirconium conversion coating; 2500 hour salt spray test endurance rating. Standard colors are Black (BL), Dark Bronze (DB), and Verde Green (GR).

Certification: UL Listed to U.S. and Canadian safety standards for wet locations.

ORDERING INFORMATION

Fixture

6205D Direct Mounting
 6205R Remote Mounting

Lamp Mode¹

35PMH120
 35PMH208
 35PMH240
 35PMH277
 35PMH347

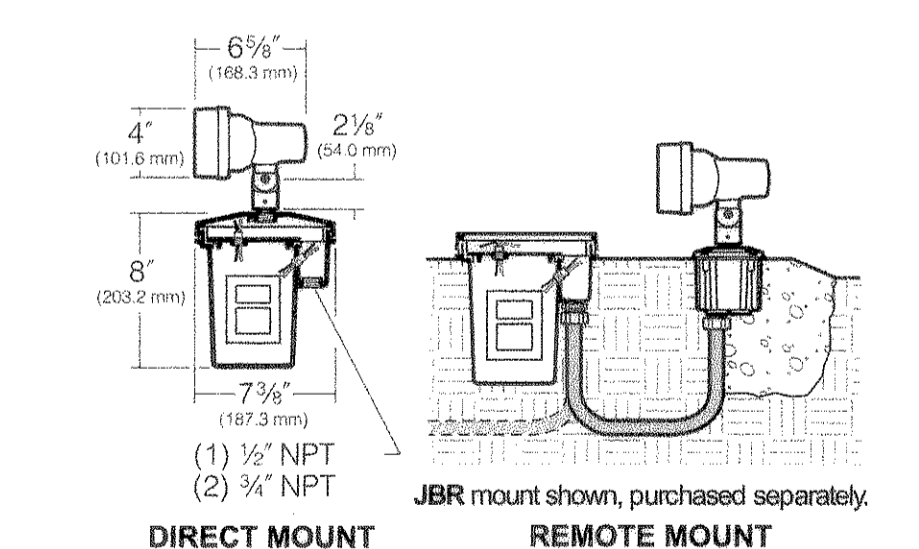
Lamp PAR20
Socket Medium Base
ANSI Ballast Type M-130

Finish

BL Black
 DB Dark Bronze
 GR Verde Green

35 PMH 120

Line Volts
Lamp Type:
PMH = Pulse Start Metal Halide
Lamp Watts



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L4 KM 6205 SQUARE HOOD DIRECT MOUNT LIGHT FIXTURE

KIM LIGHTING

CB LED
Compact Bollard
revision 6/29/11 • kl_cbled_spec.pdf

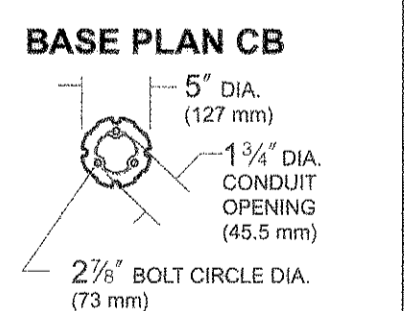
Type: Job: Catalog number:	Approvals:
_____/_____/_____ Fixture Electrical Module Luminaire Finish Option	Date: Page: 1 of 2

Specifications

CB Models
10 to 20 Diodes

CB32
Maximum weight: 20 lb

CB24
Maximum weight: 17 lb



Listings and Ratings		
UL, or ETL to UL Standards 1598 & 8750 ¹	IP46 Rated	25C Ambient

¹Suitable for wet locations.
KIM LIGHTING RESERVES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE.

L5 KM CB32-BL COMPACT LED BOLLARD

KIM LIGHTING

Lightvault® LTV72
Composite Housing LED
revision 12-7-10 • ltv72.pdf

Type: Job: Fixture Catalog number:	Fixture Options: Ordered separately from fixture See page 2	Approvals:
LTV72 / / / / Fixture Optics Source Temperature Voltage	Date: Page: 1 of 2	

Specifications

EyeBall Ring: Cast bronze, natural finish, beveled for water runoff. Four captive 1/4" stainless steel hex-socket cap screws.

Lens: Clear tempered flat glass, 1/8" thick.

EyeBall: Cast bronze, natural finish. 360° rotation at 45° integrals. Eight captive 3/16" stainless steel screws.

Lens Gasket: One-piece molded silicone. U-channel wraps completely around lens flange.

Composite Housing: High temperature, compression molded fiberglass impregnated, 3/16" min. wall composite. Charcoal gray. No top lip to trap dirt and moisture. Molded-in solid brass knurled inserts to receive socket base screws. Separate driver and splice compartments. Individual cast aluminum internal covers, with silicone gaskets. Two 3/4" NPT in bottom, 24 cu. in. splice area. Body and driver modules epoxy bonded.

Electronic Module: All electrical components are UL and CSA recognized, mounted on a single plate and factory prewired with quick-disconnect plugs. Driver is rated for -40°F starting.

Optical Module: Precision, replaceable MicroEmitters (WW) or optical prisms (SP, NF) are positioned to achieve directional control toward desired task. Available in 3500K and 5100K color temperatures.

Electronic Module: All electrical components are either UL or ETL recognized, mounted on a single plate and factory prewired with quick disconnect plugs. Driver is rated for -40°F starting and has a 0-10V dimming interface for multi-level illumination options.

Finish: TGIC thermoset polyester powder coat paint, 2.5 mil nominal thickness, applied over a titanated zirconium conversion coating; 2500 hour salt spray test endurance rating. Standard colors are Black, Dark Bronze, Light Gray, Stealth Gray™, Platinum Silver, or White. Custom colors are available.

CAUTION: Fixtures must be grounded in accordance with national, state and/or local codes. Failure to do so may result in serious personal injury.

Limited Warranty: When installed according to Kim Installation Instructions and accepted trade practices, the solid bronze trim rings on LTV Series Kim products are warranted for 25-years, and the composite housings are warranted for 7-years, from date of sale, against manufacturing defects and failure due to corrosion. All other fixture options are warranted to be free of defects in material and workmanship for one year from date of sale. Kim Lighting's LED engine and driver carry a 3-year warranty.¹

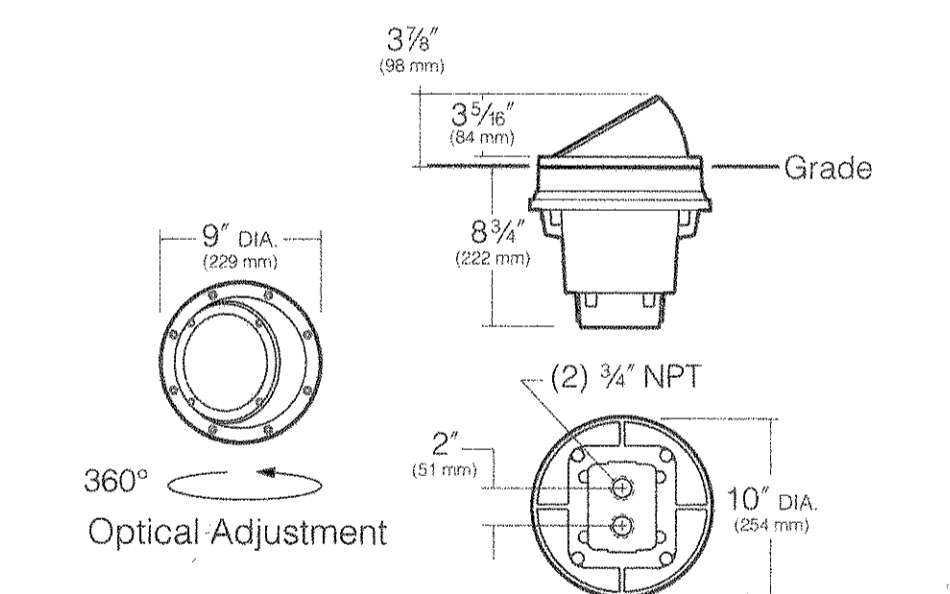
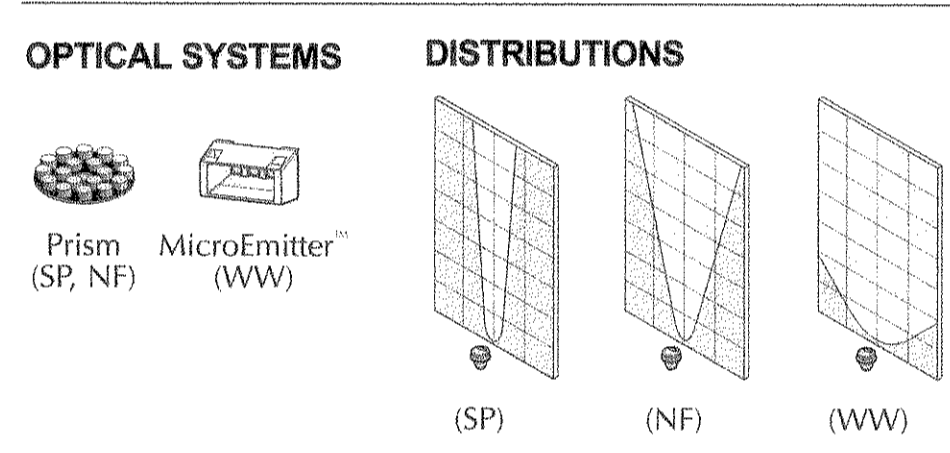
ORDERING INFORMATION

LTV72 x 18L xK UV

Fixture: LTV72
Source: 18L = 18 LED's
Voltage: Universal Voltage shall range from 120V-277V¹

Optics:
 SP = Spot
 NF = Narrow Flood
 WW = Wall Wash

Color Temperature:
 3K = 3500K
 5K = 5100K



Listings and Ratings		
UL cUL 1598 ²	IP68 Rated	25C Ambient

²Suitable for wet locations.
KIM LIGHTING RESERVES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE.

L6 KM LTV 72 LIGHTVALT COMPOSITE HOUSING LED EYEBALL FLOOD LIGHT

G:\Drawings\2013\13-0174\civil\SITE DEVELOPMENT PLAN SET\4-GENERAL UTILITIES PLAN.rvt

REVISIONS

- 1) 8-20-13
- 2) 10-17-13
- 3) 11-12-13
- 4) 11-27-13

NOT FOR CONSTRUCTION

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
IN SEC. 26, T3S, R67W, TOWN OF CASTLE ROCK,
DOUGLAS COUNTY, COLORADO.

LIGHTING SPECIFICATIONS

CONTACT: HUDICK EXCAVATING INC.
PHONE: 303-688-9500

SCALE AS SHOWN
DATE 11-27-13
DRN: JW CDR: JP
JOB NUMBER 13-0174
Sheet 13 of 13

LOT 7, COOPER-HOOK/MAIN PLACE FILING NO. 1
SITE DEVELOPMENT PLAN
PROJECT NO. SDP13-0018