

PLAT IDENTIFICATION SHEET

RECEPTION # :

DC99091613

DATE:

11-1-99

TIME:

11:31

FEE: \$

60⁰⁰

(6

Pages)

UNOFFICIAL COPY

GRANTOR:

(OWNER/SIGNER)

Conoco Inc.

GRANTEE:

(SUBDIVISION NAME OR NAME OF PLAT)

Conoco at Fourbers #1
Lot 2 - Final PD Site Plan

LEGAL:

(SECTION-TOWNSHIP-RANGE)

CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

OWNERS:

CONOCO INC.
600 NORTH DAIRY ASHFORD
HOUSTON, TEXAS 77079

APPLICANT/DEVELOPER:

RCI WEST, INC.
400 INTERSTATE NORTH PARKWAY, SUITE 1200
ATLANTA, GA 30339

LEGAL DESCRIPTION:

LOT 2, CONOCO AT FOUNDERS FILING NO. 1

LAND SURVEYOR:

BRETT L. MILLER, PLS No. 27609
FOR AND ON BEHALF OF
ENGINEERING SERVICE COMPANY
14426 EAST EVANS AVENUE, SUITE 150
AURORA, COLORADO 80014

SURVEYORS STATEMENT:

I, BRETT L. MILLER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT THE GRAPHIC BOUNDARY DEPICTED ON THIS PRELIMINARY PLAN IS A TRUE AND ACCURATE REPRESENTATION OF THE OFFICIALLY RECORDED LEGAL DESCRIPTION. FURTHERMORE, THAT THIS PRELIMINARY PLAN IS IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK AND STATE OF COLORADO LAND SUBMISSION REQUIREMENTS.

BRETT L. MILLER
PROFESSIONAL L.S. NO. 27609

CIVIL ENGINEER:

DAVID A. GUETIG, P.E. (No. 30020)
FOR AND ON BEHALF OF
GALLOWAY, ROMERO & ASSOCIATES
5350 DTC PARKWAY
ENGLEWOOD, COLORADO 80111

CIVIL ENGINEER'S STATEMENT:

I, DAVID A. GUETIG, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

DAVID A. GUETIG
PROFESSIONAL ENGINEER NO. 30020

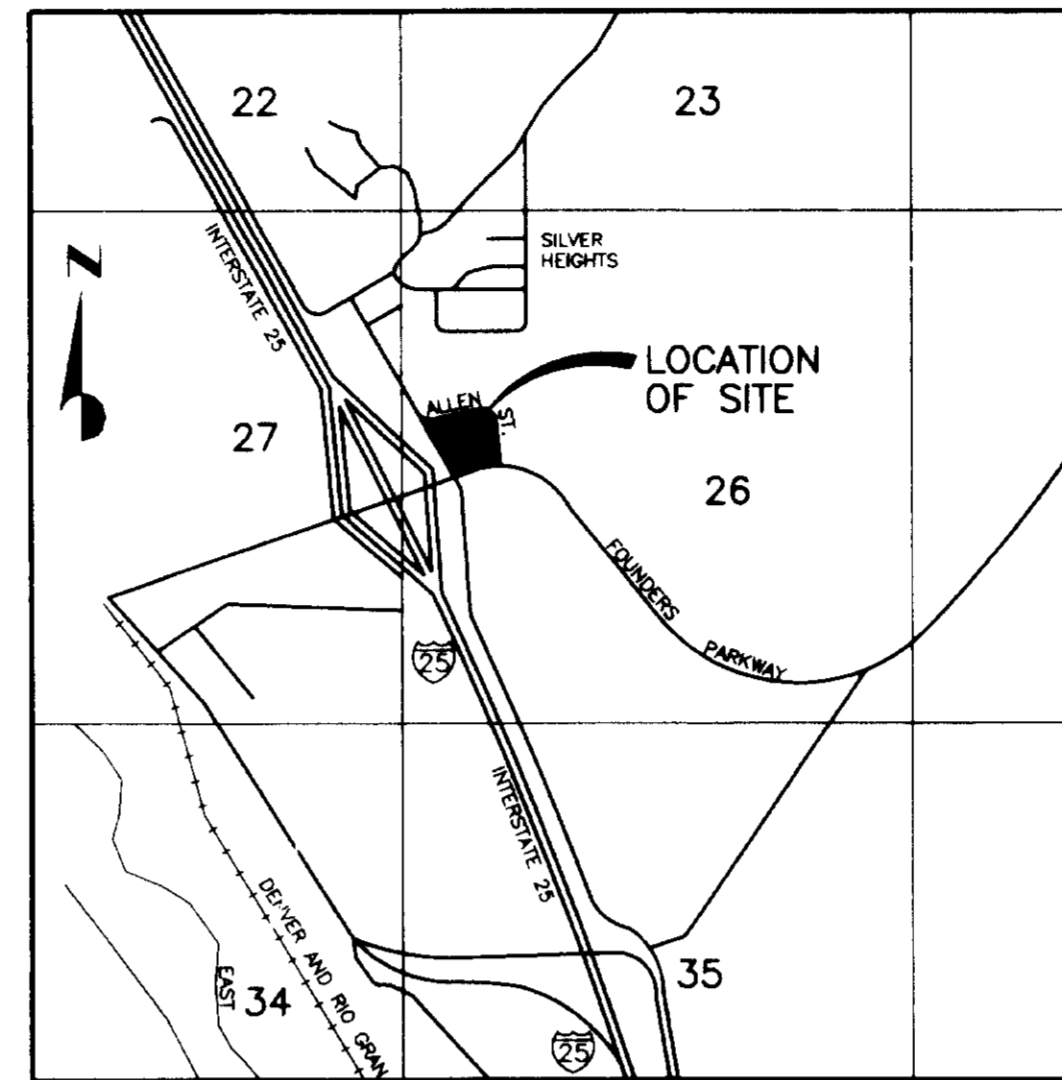
GENERAL NOTES:

BEARINGS USED ON THIS FINAL PD ARE BASED ON THE ASSUMPTION THAT THE SOUTH LINE OF THE N 1/2 OF SECTION 26, T.7S., R.87W., OF THE 6TH P.M. BEARS S87°40'39"E BOUNDED AND REFERENCED BY THE MONUMENTS SHOWN HEREON.

THIS SITE DOES NOT APPEAR TO BE SITUATED IN A FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 08049 D186 C, DATED SEPTEMBER 30, 1987. HOWEVER, THIS FLOOD MAP INDICATES THAT THE LIMIT OF STUDY IS ON THE WEST SIDE OF INTERSTATE 25 AND TERMINATES AT THE WESTERLY R.O.W. LINE OF INTERSTATE 70.

SITE DATA: SUMMARY TABLE (LOT 2, CONOCO AT FOUNDERS FILING NO. 1)

ZONING:	P.D. (PLANNED DEVELOPMENT)		
LAND COVERAGE:	108,895 S.F.	100.0%	2,500 ACRES
BUILDINGS:			
APPLEBEES:	4,670 S.F.	4.3%	0.107 ACRES
RETAIL SHOPS:	8,703 S.F.	8.0%	0.200 ACRES
LANDSCAPING:			
DETENTION POND:	34,988 S.F.	32.1%	0.803 ACRES
LANDSCAPED AREA:	16,336 S.F.	15.0%	0.375 ACRES
DRIVES, PARKING, WALKS & MISC.:	44,198 S.F.	40.6%	1.015 ACRES
PARKING:			
REQUIRED:	4,670 S.F. RESTAURANT:	1 SPACE PER 100 S.F. =	47 SPACES
	8,703 S.F. RETAIL:	1 SPACE PER 200 S.F. =	44 SPACES
	REQUIRED TOTAL:		91 SPACES
PROVIDED:	REGULAR:		107 SPACES
	HANDICAP:		6 SPACES
	PROVIDED TOTAL:		113 SPACES
SIGNAGE:			
ALLOWABLE AREA:	1-1/2 SQUARE FOOT FOR THE FIRST 200 LINEAR FEET OF LOT FRONTAGE PLUS 1/2 SQUARE FOOT FOR EACH ADDITIONAL LINEAR FOOT. MAXIMUM AREA OF JOINT IDENTIFICATION SIGN PER FACE = 100 S.F.		
FRONTAGE:	FOUNDERS PARKWAY (SOUTH SIDE):	361 L.F.	
	I-25 (WEST SIDE):	283 L.F.	
	ALLEN STREET (NORTH SIDE):	503 L.F.	
	TOTAL FRONTAGE:	1147 L.F.	
AREA:	FIRST 200 L.F.:	1.5 S.F.	
	483 L.F. ± 1/2 S.F.:	473.5 S.F.	
	TOTAL ALLOWABLE SIGN AREA:	475 S.F.	
PROPOSED WALL SIGNAGE:	(MAXIMUM 20' HEIGHT & MAXIMUM 25% OF WALL)		
APPLEBEES:			
WALL SIGNS (WEST ELEVATION):	1 @ 12.24 S.F.	12.24 S.F.	
	1 @ 9.17 S.F.	9.17 S.F.	
	1 @ 66.92 S.F.	66.92 S.F.	
WALL SIGNS (SOUTH ELEVATION):	1 @ 43.06 S.F.	43.06 S.F.	
TENATE BUILDING:			
WALL SIGNS (SOUTH ELEVATION):	5 @ 19 S.F.	95 S.F.	
WALL SIGNS (EAST ELEVATION):	5 @ 9.7 S.F.	48.5 S.F.	
PROPOSED JOINT IDENTIFICATION SIGN:			
100 S.F. PER FACE:			200 S.F.
TOTAL PROPOSED SIGN AREA:			475 S.F.
NOTE:	SITE AND BUILDING MOUNTED DIRECTIONAL SIGNAGE NOT INCLUDED IN PROPOSED SIGNAGE CALCULATIONS.		



VICINITY MAP
SCALE: 1"=2000'

SHEET INDEX:

- 1 of 6 COVER SHEET
- 2 of 6 SITE PLAN
- 3 of 6 UTILITY PLAN
- 4 of 6 GRADING PLAN
- 5 of 6 LANDSCAPE PLAN
- 6 of 6 BUILDING ELEVATIONS

TITLE CERTIFICATION:

I, Stephen G. Anderson, AUTHORIZED REPRESENTATIVE OF Title Services, Inc., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 14th DAY OF September, 1997

Stephen G. Anderson
AUTHORIZED REPRESENTATIVE
Title Services, Inc.
TITLE INSURANCE COMPANY

PLANNING COMMISSION APPROVAL:

THIS PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, THE 9th DAY OF Aug., A.D., 1999.

ATTEST:
John Franklin 9/10/99
CHAIRMAN DATE PLANNING DIRECTOR DATE

CLERK & RECORDER'S CERTIFICATE:

STATE OF COLORADO
COUNTY OF DOUGLAS

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THE 1st DAY OF Nov., 1999 AT 11:30 O'CLOCK A. M. AND WAS RECORDED UNDER RECEPTION NUMBER 99091613

Sheryl Mackfelt Deputy
DOUGLAS COUNTY CLERK AND RECORDER

TOWN COUNCIL APPROVAL:

THIS PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, THE 20th DAY OF Aug., A.D., 1999.

ATTEST:
Sally Mason 10-21-99
MAYOR DATE TOWN CLERK DATE

OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE APPLEBEES AT FOUNDERS FINAL PD IN THE TOWN OF CASTLE ROCK, COLORADO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD

CONOCO, INC., A DELAWARE CORPORATION
BY: Thomas E. Soules DATE: 9/1/99

SUBSCRIBED AND SWORN TO BEFORE ME THIS 1st DAY OF Sept., 1999

BY: Sheila L. Wallace

WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES: 9/10/02

REVISIONS					ORIGINAL ISSUE: 12/28/98
No.	Description	Des.	Drn.	By	Date
1	REVISIONS IN RESPONSE TO TOWN COMMENTS DATED 2/9/99	LCJ	LCJ		5/25/99
2	REVISIONS IN RESPONSE TO TOWN COMMENTS DATED 6/21/99	LCJ	LCJ		6/23/99

Applebee's RCI WEST, INC.
400 Interstate No. Parkway,
Suite 1200
Atlanta, Ga 30339
(770) 951-0586

Galloway, Romero & Associates
Design Engineering Planning
5350 DTC Parkway
Englewood, Colorado 80111
Tel: (303) 770-8884
Fax: (303) 770-3636

COVER SHEET
CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

1-25 & FOUNDERS PARKWAY CASTLE ROCK, CO

Designed By: DAG Date: DECEMBER, 1998 Sht: 1 of 6
Drawn By: SEF Scale: NONE
Checked By: DAG Disk File: A0531CS

LEGEND:

- MANHOLE
- +--- VALVE
- W--- EXISTING WATER LINE
- W--- PROPOSED WATER LINE
- SS--- EXISTING SANITARY SEWER
- S--- PROPOSED SANITARY SEWER
- STS--- EXISTING STORM SEWER
- STS--- PROPOSED STORM SEWER
- UG--- EXISTING UNDERGROUND GAS LINE
- UG--- PROPOSED UNDERGROUND GAS LINE
- UE--- EXISTING UNDERGROUND ELECTRICAL
- UE--- PROPOSED UNDERGROUND ELECTRICAL
- UT--- EXISTING UNDERGROUND TELEPHONE
- UT--- PROPOSED UNDERGROUND TELEPHONE
- PROPOSED SITE LIGHT
- EXISTING STREET LIGHT
- △ EXISTING FIRE HYDRANT
- △ SURVEY CONTROL INFO (SEE TABLE)
- NUMBER OF PARKING SPACES
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FF FINISHED FLOOR
- TOG TOP OF GRATE
- TC TOP OF CURB
- HP HIGH POINT
- LP LOW POINT
- PC POINT OF CURVE
- TW TOP OF WALL
- BW BOTTOM OF WALL

LEGEND

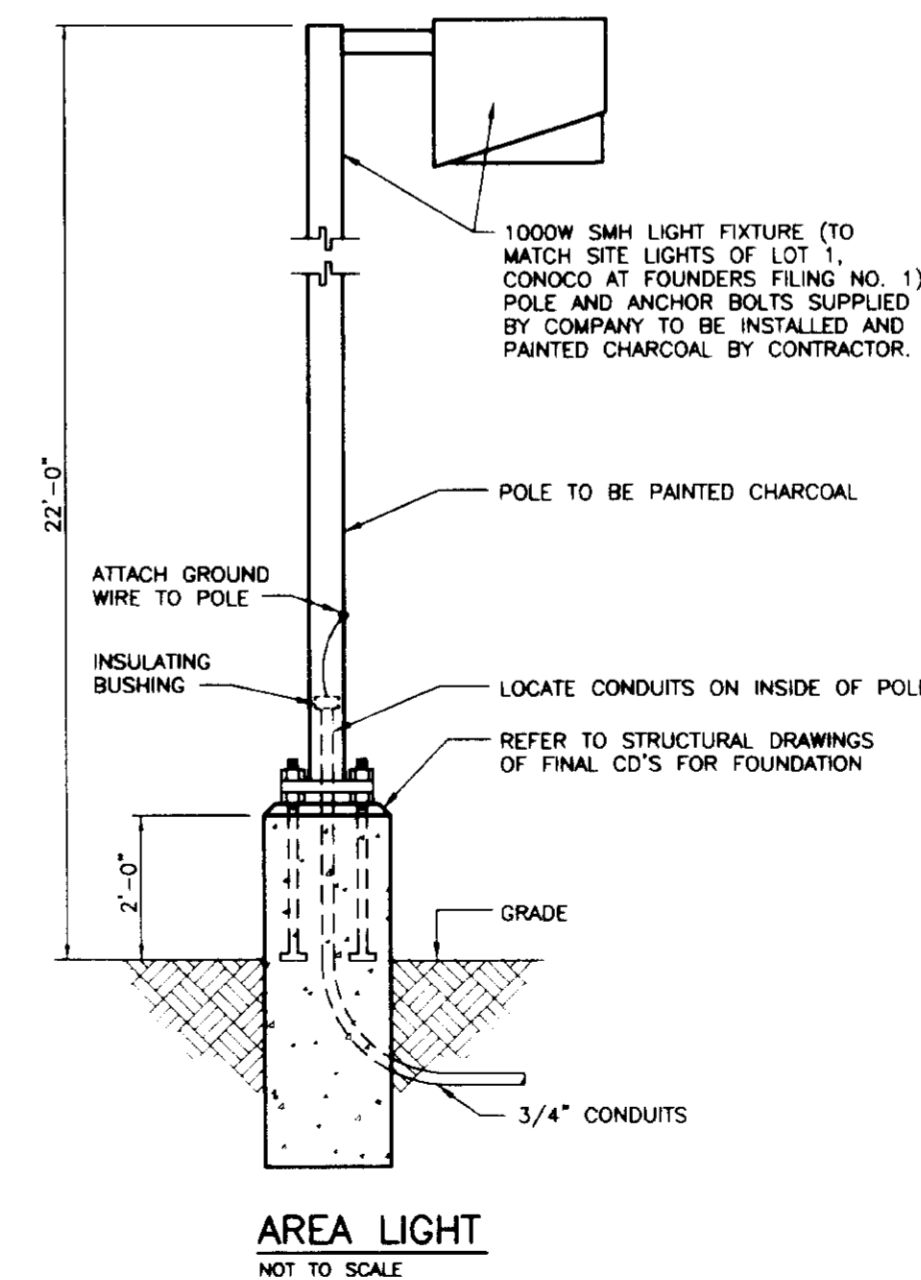
- PROPOSED SOD
- EXISTING SOD TO REMAIN UNDISTURBED
- PROPOSED 4"-6" WASHED COBBLE ROCK
- EXISTING NATIVE GRASS AREA TO REMAIN UNDISTURBED
- PROPOSED SHRUB
- EXISTING SHRUB
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS TREE (ORNAMENTAL)
- PROPOSED DECIDUOUS TREE (SHADE)
- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE (ORNAMENTAL)
- EXISTING DECIDUOUS TREE (SHADE)



SEE SHEET C-1 SEE SHEET C-1

SIGN DETAILS ARE PROVIDED AS A MINIMUM STANDARD ONLY. SIGNS SHALL COMPLY WITH AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE WITH JURISDICTION HAVING AUTHORITY, SUPPLY & INSTALL.

FIRE LANE & TOW AWAY ZONE SIGN
NOT TO SCALE



AREA LIGHT
NOT TO SCALE

NOTE:
SIGNS NOT APPROVED HEREIN. ALL SIGNS ARE SUBJECT TO THE CASTLE ROCK SIGN CODE.

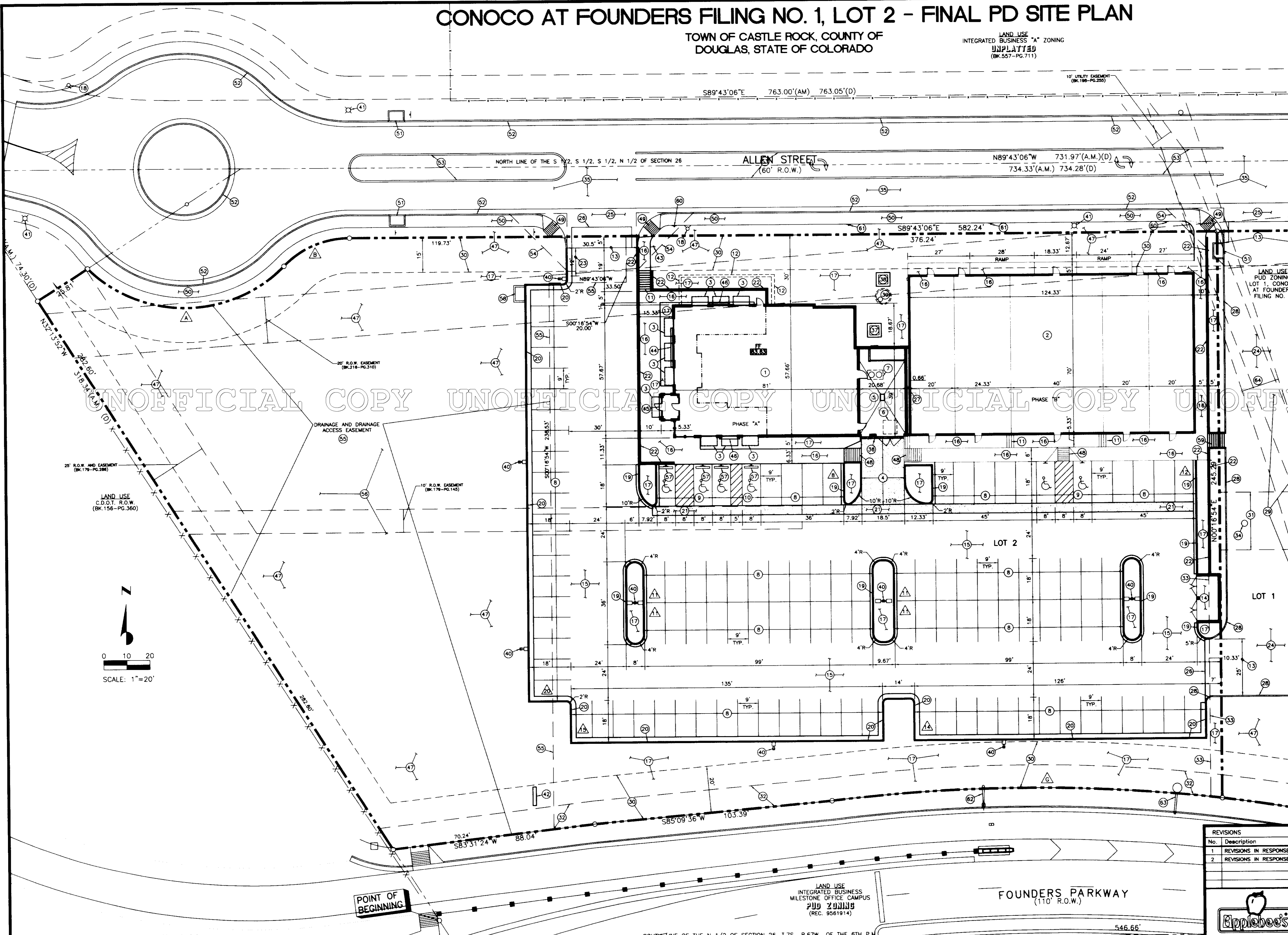
CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

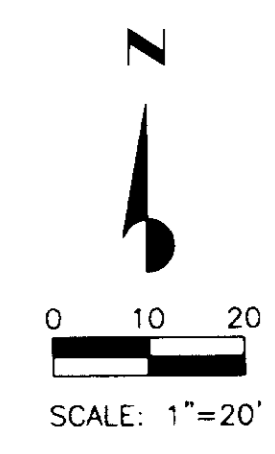
LAND USE
INTEGRATED BUSINESS "A" ZONING
UNPLATTED
(BK. 557-PG. 711)

SCHEDULE:

- 1) PROPOSED 57'-8" x 81'-0" APPLEBEES BUILDING (4670 S.F.)
- 2) PROPOSED FUTURE 70'-0" x 124'-4" RETAIL SHOPS BUILDING (8703 S.F. TOTAL)
- 3) PROPOSED APPLEBEES BUILDING AWNING (TYP. 10)
- 4) PROPOSED 6" REINFORCED CONCRETE PAD AT APPLEBEES STORAGE AREA ENTRANCE
- 5) PROPOSED 20'-8" x 39'-0" APPLEBEES ENCLOSED STORAGE AREA
- 6) PROPOSED TRASH DUMPSTER IN APPLEBEES ENCLOSED STORAGE AREA
- 7) PROPOSED APPLEBEES GREASE TRAP PER TOWN AND COUNTY HEALTH DEPARTMENT REQUIREMENTS
- 8) PROPOSED 9'-0" x 18'-0" PARKING SPACE (TYP. 107)
- 9) PROPOSED 8'-0" x 18'-0" VAN ACCESSIBLE HANDICAPPED PARKING SPACE WITH STRIPING AND SIGNAGE (TYP. 4)
- 10) PROPOSED 8'-0" x 18'-0" HANDICAPPED PARKING SPACE WITH STRIPING AND SIGNAGE (TYP. 2)
- 11) PROPOSED STEPS TO BUILDING
- 12) PROPOSED FUTURE APPLEBEES BUILDING EXPANSION
- 13) EXISTING CURB CUT TO REMAIN
- 14) PROPOSED 10'-0" x 20'-0" TRASH ENCLOSURE FOR RETAIL BUILDING
- 15) PROPOSED ASPHALT PAVING (REFER TO SOILS REPORT FOR PAVEMENT DESIGN)
- 16) PROPOSED CONCRETE SIDEWALK, WIDTH AS INDICATED
- 17) PROPOSED LANDSCAPE AREA
- 18) EXISTING FIRE HYDRANT AND ASSEMBLY TO REMAIN
- 19) PROPOSED 6" VERTICAL CURB WITH 1" GUTTER
- 20) PROPOSED 6" VERTICAL CURB WITH 2" GUTTER
- 21) PROPOSED 4'-0" WIDE CONCRETE DRAIN PAN
- 22) PROPOSED 'AMSTONE' RETAINING WALL (OR APPROVED EQUIVALENT)
- 23) PROPOSED 12'-0" WIDE CURB LAY DOWN FOR DETENTION POND ACCESS
- 24) EXISTING CONCRETE PAVING TO REMAIN
- 25) EXISTING 8'-0" CONCRETE CROSS PAN TO REMAIN
- 26) PROPOSED ASPHALT/CONCRETE PAVEMENT TIE-IN
- 27) PROPOSED 8" WALL AIR GAP BETWEEN APPLEBEES AND RETAIL SHOPS BUILDING
- 28) EXISTING MONOLITHIC VERTICAL CURB TO REMAIN
- 29) EXISTING CONOCO FACILITY (LOT 1, PHASE 1)
- 30) RIGHT-OF-WAY TO PARKING SETBACKS:
ALONG ALLEN STREET: 15'
ALONG FOUNDERS PARKWAY: 20'
- 31) EXISTING 25" SANITARY SEWER EASEMENT
- 32) EXISTING 10" UTILITY EASEMENT
- 33) EXISTING 5" SETBACK LINE (INTERIOR SIDE)
- 34) EXISTING SANITARY SEWER MANHOLE TO REMAIN
- 35) EXISTING ASPHALT PAVING TO REMAIN
- 36) PROPOSED TRENCH DRAIN
- 37) PROPOSED PAD MOUNTED TRANSFORMER FOR APPLEBEES
- 38) PROPOSED PAD MOUNTED TRANSFORMER FOR RETAIL SHOPS BUILDING
- 39) PROPOSED DUPLEX PUMP STATION FOR SANITARY SEWER SYSTEM
- 40) PROPOSED 22" HIGH, 1000W, 5MH SITE LIGHT TO MATCH CONOCO SITE LIGHTS (TYP. 5 SINGLE, 3 DOUBLE)
- 41) EXISTING STREET LIGHT TO REMAIN
- 42) PROPOSED APPLEBEES / RETAIL SHOPS MONUMENT SIGN
- 43) EXISTING STOP SIGN TO REMAIN
- 44) PROPOSED 'APPLEBEES' LOGO WALL SIGN (47.34 S.F.)
- 45) PROPOSED 'NEIGHBORHOOD GRILL & BAR' SCRIPT SIGN (17 S.F.)
- 46) PROPOSED 'APPLEBEES' LOGO WALL SIGN (30 S.F.) (TYP. 2)
- 47) EXISTING LANDSCAPE AREA (TO REMAIN UNDISTURBED)
- 48) PROPOSED HANDICAPPED ACCESSIBLE RAMP, 15:1 MAX. SLOPE (TYP. 3)
- 49) EXISTING HANDICAPPED RAMP (TO REMAIN UNDISTURBED)
- 50) EXISTING SIDEWALK (TO REMAIN UNDISTURBED)
- 51) EXISTING STORM SEWER INLET (TO REMAIN UNDISTURBED)
- 52) EXISTING CURB AND GUTTER (TO REMAIN UNDISTURBED)
- 53) EXISTING STREET STRIPING
- 54) SIGHT TRIANGLE
- 55) EXISTING DRAINAGE AND DRAINAGE ACCESS EASEMENT
- 56) EXISTING DETENTION POND (TO REMAIN UNDISTURBED)
- 57) PROPOSED CONCRETE WHEEL STOP (TYP. 4)
- 58) PROPOSED TYPE 'R' INLET
- 59) PROPOSED STEPS TO CONOCO
- 60) PROPOSED "NO PARKING FIRE LANE" (SEE SIGN "A" OR "C" SHEET 1)
- 61) PROPOSED "NO PARKING FIRE LANE" (SEE SIGN "B" SHEET 1)
- 62) EXISTING STREET LIGHT (APPROX. LOC. PER CDOT)
- 63) EXISTING CANTILEVER SIGN (APPROX. LOC. PER CDOT)
- 64) APPROX. LOCATION OF 16.5' UTILITY EASEMENT FOR TELEPHONE LINES (BK. 216-PG. 907 AND BK. 103-PG. 361)



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- NOTES:**
1. FOR DRAINAGE AND UTILITY PIPING, MISC. UTILITIES, SEE SHEET 3 OF 6.
 2. DIMENSIONS ARE FLOW LINE TO FLOW LINE UNLESS OTHERWISE NOTED.
 3. THIS SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD PLAN.
 4. PHASE "A" OR PHASE "B" CAN BE CONSTRUCTED IN ANY ORDER.

- LEGEND:**
- MANHOLE
 - ⊠ EXISTING AREA ELECTRICAL STREET LIGHT
 - PROPOSED SITE LIGHT
 - ▲ EXISTING FIRE HYDRANT
 - △ NUMBER OF PARKING SPACES
 - △ SURVEY CONTROL INFO (SEE TABLE)

CURVE DATA TABLE

COURSE	BEARING	CHORD DISTANCE	CHORD ANGLE	RADIUS	ARC LENGTH
A	N89°52'09"E	85.99'	90°19'15"	60.00'	94.58'
B	N67°29'43"E	30.98'	45°34'23"	40.00'	31.82'
C	N89°41'18"W	169.35'	13°33'09"	717.64'	169.75'

**CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987**
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

REVISIONS

No.	Description	Des. By	Drn. By	Date
1	REVISIONS IN RESPONSE TO TOWN COMMENTS DATED 2/9/99	LCJ	LCJ	5/25/99
2	REVISIONS IN RESPONSE TO TOWN COMMENTS DATED 6/21/99	LCJ	LCJ	6/23/99

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(770) 951-0586

Design Engineering Planning
5350 UTC Parkway
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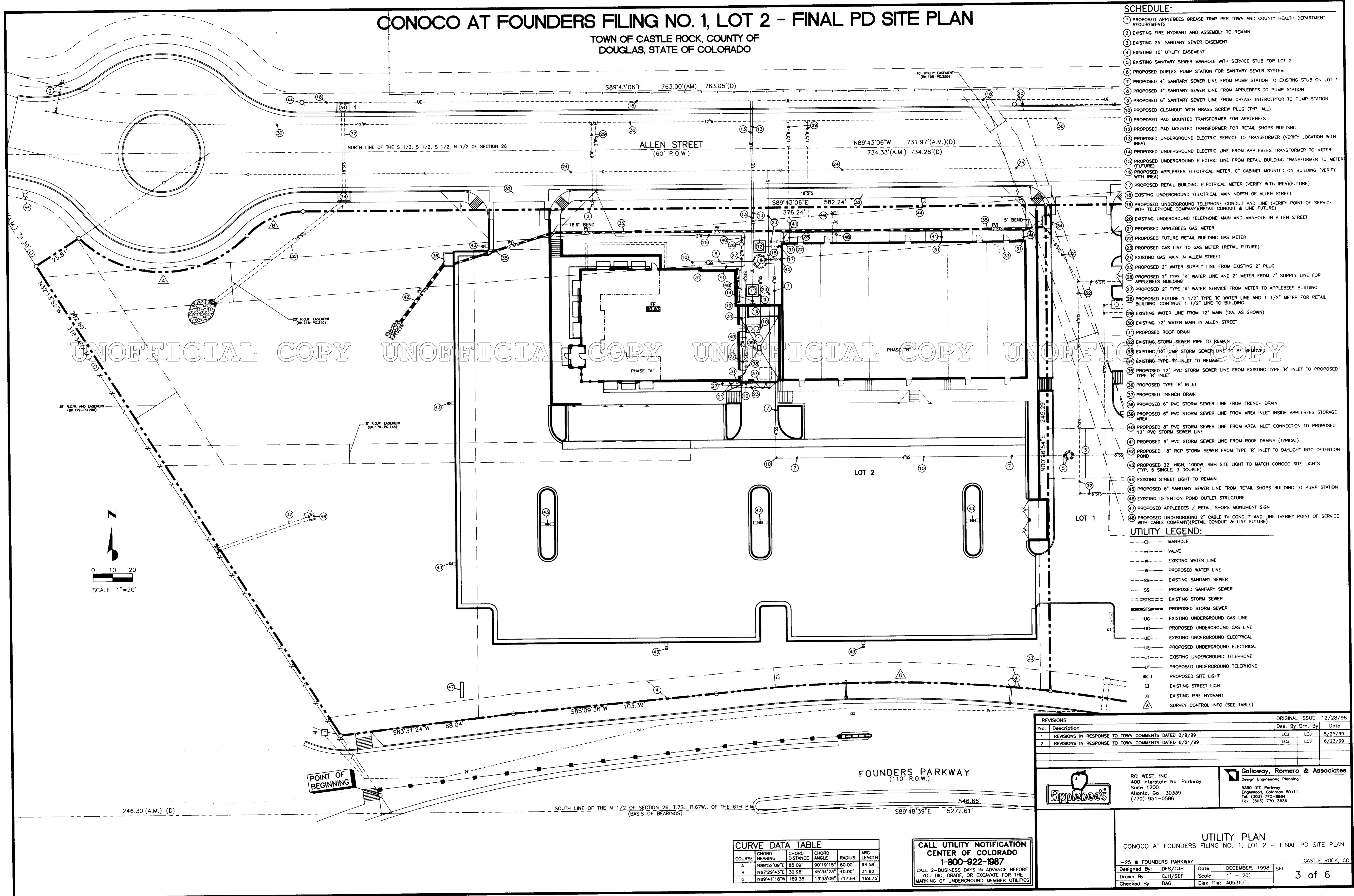
SITE PLAN
CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

1-25 & FOUNDERS PARKWAY CASTLE ROCK, CO

Designed By: DFS/CJH Date: DECEMBER, 1998 Sht: 2 of 6
 Drawn By: CJH/SEF Scale: 1" = 20'
 Checked By: DAG Disk File: A0531SP

CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SCHEDULE:

- 1) PROPOSED APPLEBEES GREASE TRAP PER TOWN AND COUNTY HEALTH DEPARTMENT REQUIREMENTS
- 2) EXISTING FIRE HYDRANT AND ASSEMBLY TO REMAIN
- 3) EXISTING 25" SANITARY SEWER EASEMENT
- 4) EXISTING 10" UTILITY EASEMENT
- 5) EXISTING SANITARY SEWER MANHOLE WITH SERVICE STUB FOR LOT 2
- 6) PROPOSED DUPLEX PUMP STATION FOR SANITARY SEWER SYSTEM
- 7) PROPOSED 4" SANITARY SEWER LINE FROM PUMP STATION TO EXISTING STUB ON LOT 1
- 8) PROPOSED 4" SANITARY SEWER LINE FROM APPLEBEES TO PUMP STATION
- 9) PROPOSED 6" SANITARY SEWER LINE FROM GREASE INTERCEPTOR TO PUMP STATION
- 10) PROPOSED CLEANOUT WITH BRASS SCREW PLUG (TYP. ALL)
- 11) PROPOSED PAD MOUNTED TRANSFORMER FOR APPLEBEES
- 12) PROPOSED PAD MOUNTED TRANSFORMER FOR RETAIL SHOPS BUILDING
- 13) PROPOSED UNDERGROUND ELECTRIC SERVICE TO TRANSFORMER (VERIFY LOCATION WITH IREA)
- 14) PROPOSED UNDERGROUND ELECTRIC LINE FROM APPLEBEES TRANSFORMER TO METER
- 15) PROPOSED UNDERGROUND ELECTRIC LINE FROM RETAIL BUILDING TRANSFORMER TO METER (FUTURE)
- 16) PROPOSED APPLEBEES ELECTRICAL METER, CT CABINET MOUNTED ON BUILDING (VERIFY WITH IREA)
- 17) PROPOSED RETAIL BUILDING ELECTRICAL METER (VERIFY WITH IREA)(FUTURE)
- 18) EXISTING UNDERGROUND ELECTRICAL MAIN NORTH OF ALLEN STREET
- 19) PROPOSED UNDERGROUND TELEPHONE CONDUIT AND LINE (VERIFY POINT OF SERVICE WITH TELEPHONE COMPANY)(RETAL CONDUIT & LINE FUTURE)
- 20) EXISTING UNDERGROUND TELEPHONE MAIN AND MANHOLE IN ALLEN STREET
- 21) PROPOSED APPLEBEES GAS METER
- 22) PROPOSED FUTURE RETAIL BUILDING GAS METER
- 23) PROPOSED GAS LINE TO GAS METER (RETAL FUTURE)
- 24) EXISTING GAS MAIN IN ALLEN STREET
- 25) PROPOSED 2" WATER SUPPLY LINE FROM EXISTING 2" PLUG
- 26) PROPOSED 2" TYPE 'K' WATER LINE AND 2" METER FROM 2" SUPPLY LINE FOR APPLEBEES BUILDING
- 27) PROPOSED 2" TYPE 'K' WATER SERVICE FROM METER TO APPLEBEES BUILDING
- 28) PROPOSED FUTURE 1 1/2" TYPE 'K' WATER LINE AND 1 1/2" METER FOR RETAIL BUILDING, CONTINUE 1 1/2" LINE TO BUILDING
- 29) EXISTING WATER LINE FROM 12" MAIN (DIA. AS SHOWN)
- 30) EXISTING 12" WATER MAIN IN ALLEN STREET
- 31) PROPOSED ROOF DRAIN
- 32) EXISTING STORM SEWER PIPE TO REMAIN
- 33) EXISTING 12" CMP STORM SEWER LINE TO BE REMOVED
- 34) EXISTING TYPE 'R' INLET TO REMAIN
- 35) PROPOSED 12" PVC STORM SEWER LINE FROM EXISTING TYPE 'R' INLET TO PROPOSED TYPE 'R' INLET
- 36) PROPOSED TYPE 'R' INLET
- 37) PROPOSED TRENCH DRAIN
- 38) PROPOSED 6" PVC STORM SEWER LINE FROM TRENCH DRAIN
- 39) PROPOSED 6" PVC STORM SEWER LINE FROM AREA INLET INSIDE APPLEBEES STORAGE AREA
- 40) PROPOSED 8" PVC STORM SEWER LINE FROM AREA INLET CONNECTION TO PROPOSED 12" PVC STORM SEWER LINE
- 41) PROPOSED 6" PVC STORM SEWER LINE FROM ROOF DRAINS (TYPICAL)
- 42) PROPOSED 18" RCP STORM SEWER FROM TYPE 'R' INLET TO DAYLIGHT INTO DETENTION POND
- 43) PROPOSED 22" HIGH, 1000W, SMH SITE LIGHT TO MATCH CONOCO SITE LIGHTS (TYP. 5 SINGLE, 3 DOUBLE)
- 44) EXISTING STREET LIGHT TO REMAIN
- 45) PROPOSED 6" SANITARY SEWER LINE FROM RETAIL SHOPS BUILDING TO PUMP STATION
- 46) EXISTING DETENTION POND OUTLET STRUCTURE
- 47) PROPOSED APPLEBEES / RETAIL SHOPS MONUMENT SIGN
- 48) PROPOSED UNDERGROUND 2" CABLE TV CONDUIT AND LINE (VERIFY POINT OF SERVICE WITH CABLE COMPANY)(RETAL CONDUIT & LINE FUTURE)

UTILITY LEGEND:

- MANHOLE
- ⊕ VALVE
- W — EXISTING WATER LINE
- W — PROPOSED WATER LINE
- SS — EXISTING SANITARY SEWER
- SS — PROPOSED SANITARY SEWER
- STS — EXISTING STORM SEWER
- STS — PROPOSED STORM SEWER
- UG — EXISTING UNDERGROUND GAS LINE
- UG — PROPOSED UNDERGROUND GAS LINE
- UE — EXISTING UNDERGROUND ELECTRICAL
- UE — PROPOSED UNDERGROUND ELECTRICAL
- UT — EXISTING UNDERGROUND TELEPHONE
- UT — PROPOSED UNDERGROUND TELEPHONE
- PROPOSED SITE LIGHT
- ⊞ EXISTING STREET LIGHT
- ⊞ EXISTING FIRE HYDRANT
- ⊞ SURVEY CONTROL INFO (SEE TABLE)

REVISIONS		ORIGINAL ISSUE: 12/28/98		
No.	Description	Des.	Drn.	By
1	REVISIONS IN RESPONSE TO TOWN COMMENTS DATED 2/9/99	LCJ	LCJ	5/25/99
2	REVISIONS IN RESPONSE TO TOWN COMMENTS DATED 6/21/99	LCJ	LCJ	6/23/99

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Galloway, Romero & Associates
Design Engineering Planning
5350 OTC Parkway
Englewood, Colorado 80111
Tel: (303) 770-8884
Fax: (303) 770-3636

UTILITY PLAN

CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

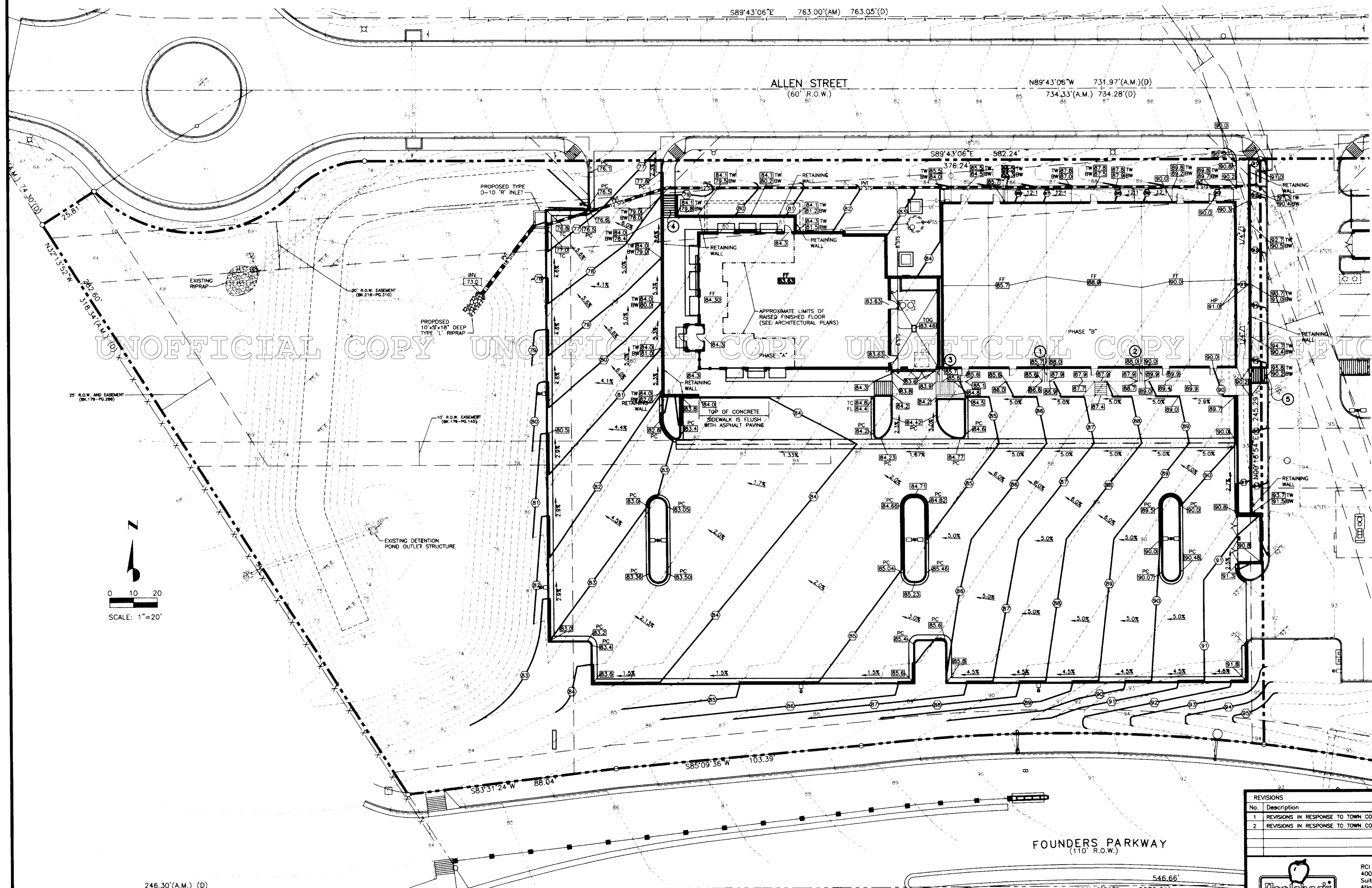
L-25 & FOUNDERS PARKWAY		CASTLE ROCK, CO	
Designed By: DFS/CJH	Date: DECEMBER, 1998	Sht	
Drawn By: CJH/SEF	Scale: 1" = 20'	3 of 6	
Checked By: DAG	Disk File: A0531UTL		

COURSE	CHORD BEARING	CHORD DISTANCE	CHORD ANGLE	RADIUS	ARC LENGTH
A	N89°52'09"E	85.09'	90°19'15"	60.00'	94.58'
B	N67°29'43"E	39.98'	45°34'23"	40.00'	31.82'
C	N89°41'18"W	169.35'	137°35'09"	717.84'	189.75'

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

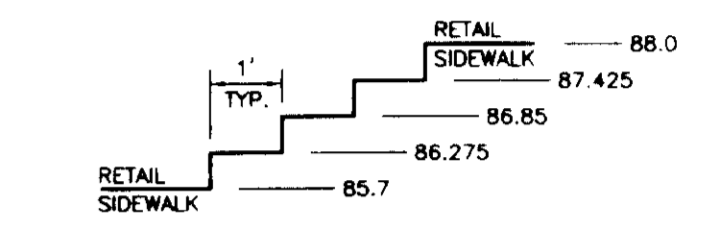
CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

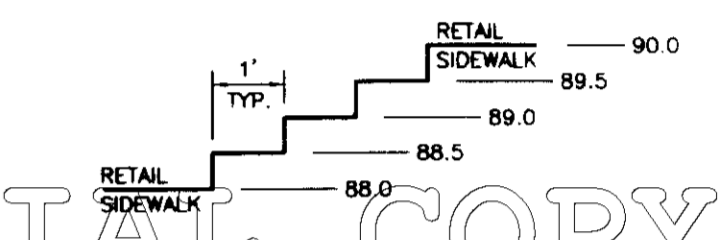


LEGEND

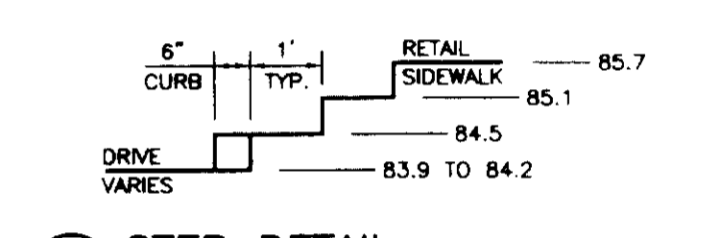
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- 86.0 PROPOSED SPOT ELEVATION
- FF FINISHED FLOOR
- TOG TOP OF GRATE
- TC TOP OF CURB
- HP HIGH POINT
- LP LOW POINT
- PC POINT OF CURVE
- TW TOP OF WALL
- BW BOTTOM OF WALL



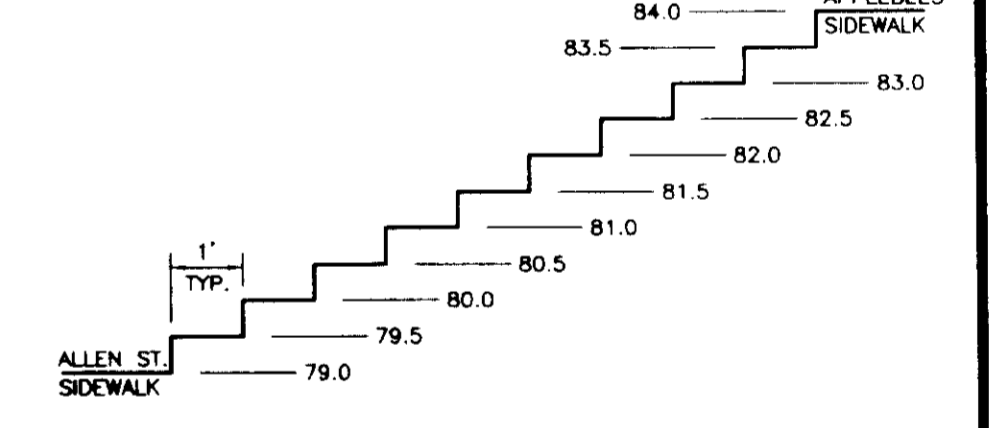
1 STEP DETAIL (FRONT OF RETAIL)
NOT TO SCALE



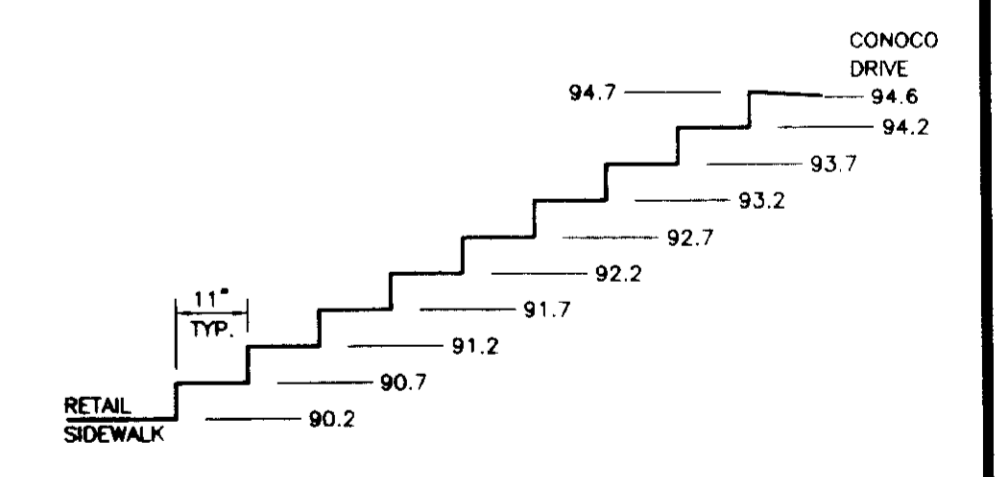
2 STEP DETAIL (FRONT OF RETAIL)
NOT TO SCALE



3 STEP DETAIL (FRONT OF RETAIL)
NOT TO SCALE

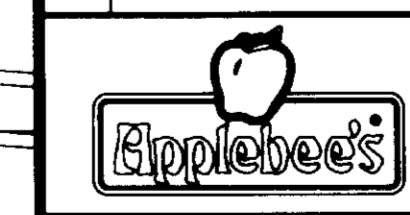


4 STEP DETAIL (FROM APPLEBEES TO ALLEN STREET SIDEWALK)
NOT TO SCALE



5 STEP DETAIL (FROM RETAIL CENTER TO CONOCO SITE)
NOT TO SCALE

REVISIONS				ORIGINAL ISSUE:		
No.	Description	Des. By	Drn. By	By	Date	
1	REVISIONS IN RESPONSE TO TOWN COMMENTS DATED 2/9/99	LCJ	LCJ		5/25/99	
2	REVISIONS IN RESPONSE TO TOWN COMMENTS DATED 6/21/99	LCJ	LCJ		6/23/99	



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400 Interstate No. Parkway,
Suite 1200
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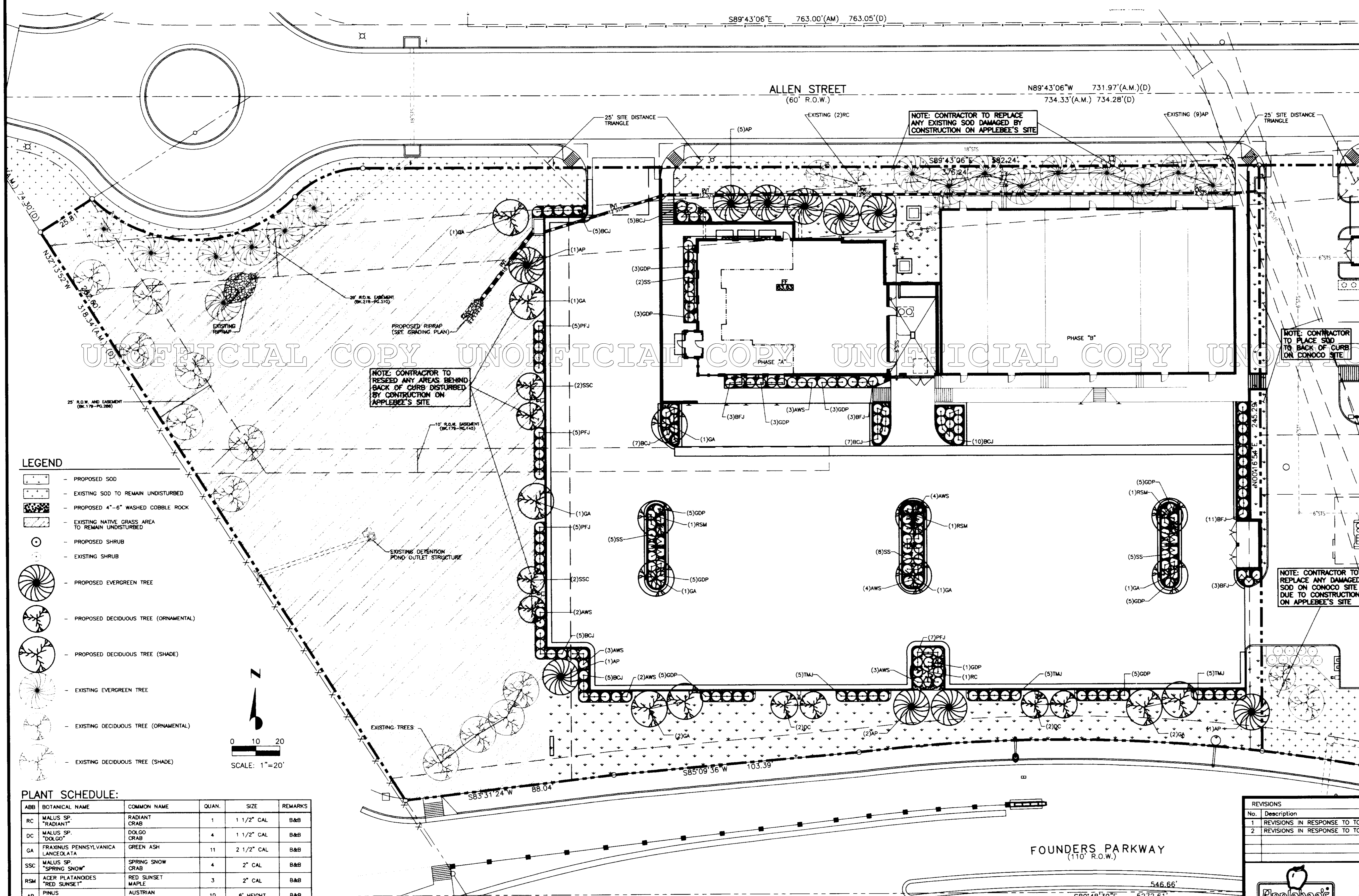
GRADING PLAN

CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

1-25 & FOUNDERS PARKWAY		CASTLE ROCK, CO	
Designed By:	LCJ	Date:	DECEMBER, 1998 Sht
Drawn By:	LCJ	Scale:	1"=20'
Checked By:	DAG	Disk File:	A053FGRA

CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



NOTES:

- THE CONTRACTOR IS TO VERIFY FIELD CONDITIONS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS TO FURNISH AND INSTALL PLANT MATERIALS AS NOTED. ALL PLANT MATERIAL MUST EQUAL OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT, AND IS SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT.
- PRIOR TO ANY PLANTING OPERATIONS, THE AREA TO BE PLANTED IS TO BE PREPARED WITH 5 YARDS/1,000 SQUARE FEET OF ORGANIC MATERIAL, ROTOTILLED A MINIMUM OF 6" DEEP.
- EXCAVATE PLANTING PIT TWICE AS WIDE AS ROOT BALL. PREPARE PLANT BACKFILL TO BE 1/3 ORGANIC MATERIAL AND 2/3 CLEAN TOPSOIL. STAKE ALL EVERGREEN TREES AND ALL DECIDUOUS TREES OVER 3" CALIPER WITH THREE GUY WIRES AND CANVAS STRAPS WITH GROMMETS. STAKE ALL DECIDUOUS TREES UNDER 3" CALIPER WITH 1-BAR METHOD (TWO STAKES PER TREE). NO EXPOSED WIRES SHOULD COME INTO CONTACT WITH THE TRUNK FOR EITHER GUYING METHOD. TREE WRAP ALL DECIDUOUS TREES TO SECOND BRANCH.
- ALL TREES AND SHRUBS ARE TO BE PLANTED AFTER ROUGH GRADING AND PRIOR TO PLACING OF GROUND COVER MATERIAL.
- SOD SHALL BE A BLEND OF 90% FESCUE AND 10% BLUEGRASS APPROVED BY OWNER AND SHALL BE LAD ON A FIRM BED WITH TIGHT JOINTS AND NO VOIDS BETWEEN STRIPS. SOD TO BE FERTILIZED WITH GRANULAR DIAMMONIUM PHOSPHATE (18-46-0) AT A RATE OF SIX (6) POUNDS PER 1,000 SQ. FT.
- CONTRACTOR TO MAINTAIN ALL PLANTINGS INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE AND TURNOVER TO OWNER.
- PLANTS SHALL BE GUARANTEED FOR ONE GROWING SEASON. SPRING PLANTINGS WILL BE GUARANTEED THROUGH OCTOBER OF THE SAME YEAR. ANY PLANTINGS AFTER THE MONTH OF AUGUST WILL BE GUARANTEED THROUGH MAY THE FOLLOWING SPRING. ANY PLANT MATERIAL THAT IS IN QUESTIONABLE CONDITION MAY RECEIVE AN EXTENDED GUARANTEE AT THE REQUEST OF THE LANDSCAPE ARCHITECT. CONTRACTOR AND APPROVAL OF THE LANDSCAPE ARCHITECT. ALL GUARANTEES ON PLANTS ARE 100%, INCLUDING MATERIALS AND LABOR BASED UPON A ONE-TIME REPLACEMENT.
- ALL BEDS TO BE 4"-6" WASHED COBBLE ROCK MULCH. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL. MULCH ALL PLANTING BEDS TO A 6" DEPTH.
- PLANTING BED EDGER TO BE RYERSON STEEL EDGER, 1/8" X 4" X 10", OR EQUAL AS APPROVED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO REPAIR OR REPLACE ANY SOD, MULCH OR SITE IMPROVEMENTS DISTURBED OR DAMAGED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO PROVIDE FOR PROTECTION OF ALL UTILITIES, PRIVATE OR PUBLIC PROPERTY, AND PUBLIC SAFETY FOR THE DURATION OF THE CONTRACT AND SHALL REPAIR OR REPLACE ANY DAMAGES TO SAME WITHOUT ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL SECURE AND PAY ALL APPLICABLE TAXES, PERMITS AND FEES IN CONNECTION WITH THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND ORDERLY AND SHALL DISPOSE OF ALL WASTE AND DEBRIS AT AN APPROVED LOCATION OFF-SITE PRIOR TO FINAL ACCEPTANCE.
- PLACE GEOTEXTILE FABRIC (MIRAFI #140-S OR EQUAL) UNDER ALL ROCK AND PLANTING BEDS.
- LANDSCAPE INSTALLATION TO BE COMPLETED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- IRRIGATION SYSTEM SHALL HAVE SHRUB BEDS AND LAWN AREAS ZONED SEPARATELY. LAWN AREAS TO BE POP-UP SPRAY SYSTEM. SHRUB BEDS TO HAVE FULL COVERAGE WITH EITHER POP-UP SPRAY SYSTEM, MICRO-EMITTER, OR DRIP SYSTEM.
- ALL HEADS TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS AND WALK-WAYS.
- BACKFLOW PREVENTION DEVICE SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS.
- ALL PIPING TO BE AS ALLOWED BY CODE.
- ANY OFF-SITE DISTURBED AREAS SHALL BE RE-SEEDED WITH NATIVE GRASS SEED.

LANDSCAPE DATA:

DESCRIPTION	PERCENTAGE	AMOUNT
TOTAL SITE (LOT 2)	100.0%	108,895 S.F.
TOTAL AREA	32.1%	34,988 S.F.
DETECTION POND AREA	100.0%	73,907 S.F.
REMAINING AREA	MINIMUM 10.0%	7,391 S.F.
REQUIRED LANDSCAPE	22.1%	16,336 S.F.

LANDSCAPE REQUIREMENTS:
A MINIMUM OF (2) TWO TREES AND (4) FOUR SHRUBS FOR EACH 1000 S.F. OF LANDSCAPE AREA. (1) ONE ADDITIONAL TREE MAY BE SUBSTITUTED IN LIEU OF EACH (4) FOUR SHRUBS REQUIRED (4 SHRUBS = 1 TREE EQUIVALENT (T.E.)).

REQUIRED:	S.F. x 3 (T.E.)/1000 S.F. LANDSCAPE AREA	AMOUNT
16,336 S.F. x 3 (T.E.)/1000 S.F. LANDSCAPE AREA		49.0 T.E.
SHRUBS		185 EA
TREES		30.0 T.E.
EXISTING TREES		15 EA
TOTAL PROVIDED		91.3 T.E.

LEGEND

- PROPOSED SOD
- EXISTING SOD TO REMAIN UNDISTURBED
- PROPOSED 4"-6" WASHED COBBLE ROCK
- EXISTING NATIVE GRASS AREA TO REMAIN UNDISTURBED
- PROPOSED SHRUB
- EXISTING SHRUB
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS TREE (ORNAMENTAL)
- PROPOSED DECIDUOUS TREE (SHADE)
- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE (ORNAMENTAL)
- EXISTING DECIDUOUS TREE (SHADE)

PLANT SCHEDULE:

ABB	BOTANICAL NAME	COMMON NAME	QUAN.	SIZE	REMARKS
RC	MALUS SP. "RADIANT"	RADIANT CRAB	1	1 1/2" CAL	B&B
DC	MALUS SP. "DOLGO"	DOLGO CRAB	4	1 1/2" CAL	B&B
GA	FRAXINUS PENNSYLVANICA LANCEOLATA	GREEN ASH	11	2 1/2" CAL	B&B
SSC	MALUS SP. "SPRING SNOW"	SPRING SNOW CRAB	4	2" CAL	B&B
RSM	ACER PLATANOIDES "RED SUNSET"	RED SUNSET MAPLE	3	2" CAL	B&B
AP	PINUS NIGRA	AUSTRIAN PINE	10	6" HEIGHT	B&B
BFJ	JUNIPERUS SABINA "BUFFALO"	BUFFALO JUNIPER	20	5 GAL	CONT
BCJ	JUNIPERUS HORIZONTALIS "BLUE CHIP"	BLUE CHIP JUNIPER	44	5 GAL	CONT
TMJ	JUNIPERUS SABINA "TAMARISCFOLIA"	TAMARISK JUNIPER	15	5 GAL	CONT
PFJ	JUNIPERUS CHINENSIS "PFITZERANA"	PFITZER JUNIPER	22	5 GAL	CONT
AWS	SPIREA BUMALDA "ANTHONY WATERER"	ANTHONY WATERER SPIREA	21	5 GAL	CONT
GDP	POTENTILLA FRUTICOSA FARRERI "GOLD DROP"	GOLD DROP POTENTILLA	43	5 GAL	CONT
SS	CERASTIUM TOMENTOSUM	SNOW IN SUMMER	20	5 GAL	CONT

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No. Description	Des. By Dwn. By Date
1 REVISIONS IN RESPONSE TO TOWN COMMENTS DATED 2/9/99	LCJ LCJ 5/25/99
2 REVISIONS IN RESPONSE TO TOWN COMMENTS DATED 6/21/99	LCJ LCJ 6/23/99

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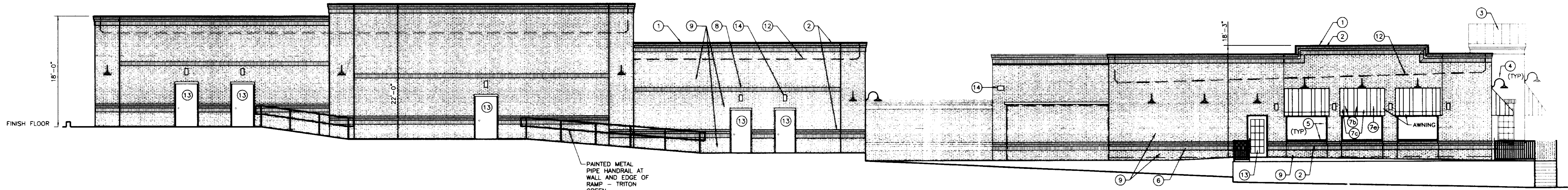
LANDSCAPE PLAN
CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

1-25 & FOUNDERS PARKWAY	CASTLE ROCK, CO
Designed By: DAG	Date: DECEMBER, 1998
Drawn By: CJH/SEF	Scale: 1" = 20'
Checked By: DAG	Disc File: A05J1LS

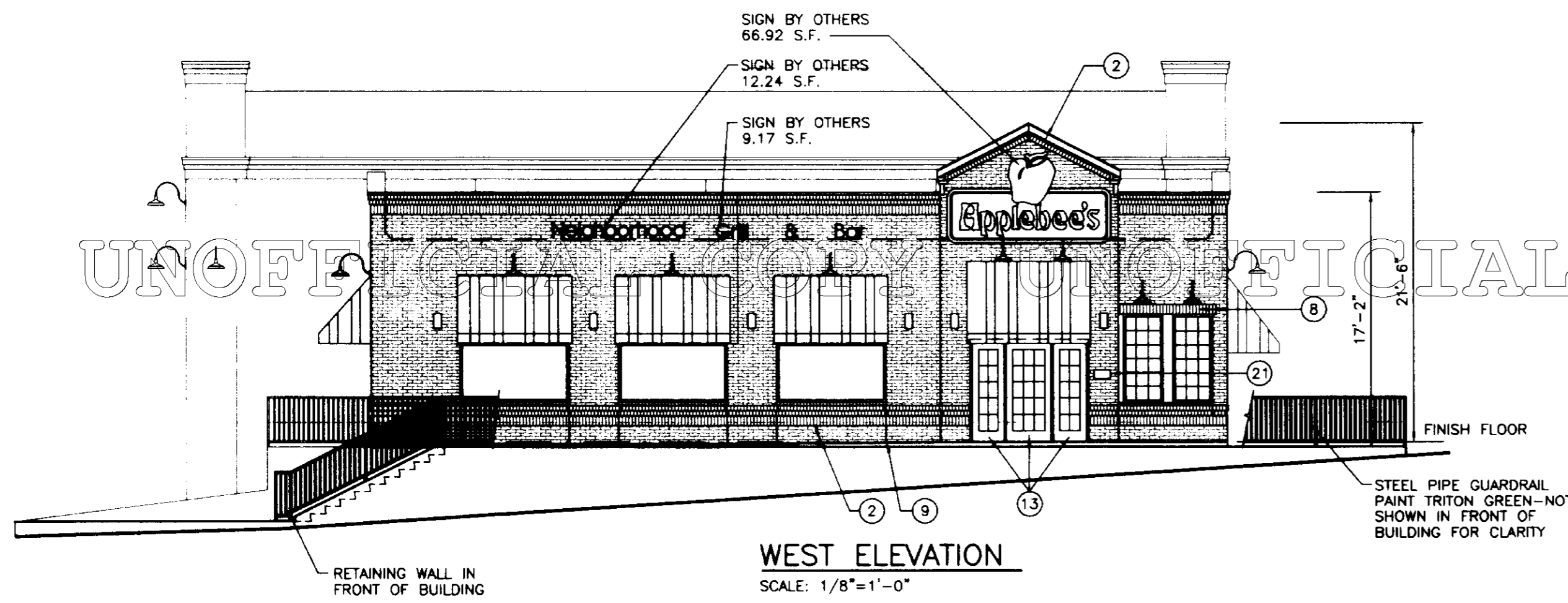
5 of 6

CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN

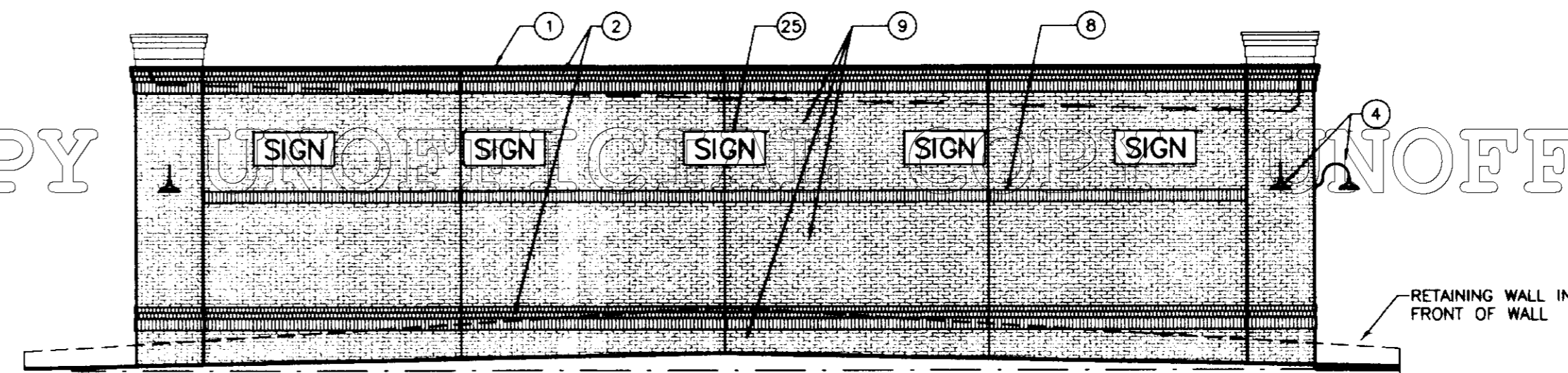
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



NORTH ELEVATION
SCALE: 1/8"=1'-0"

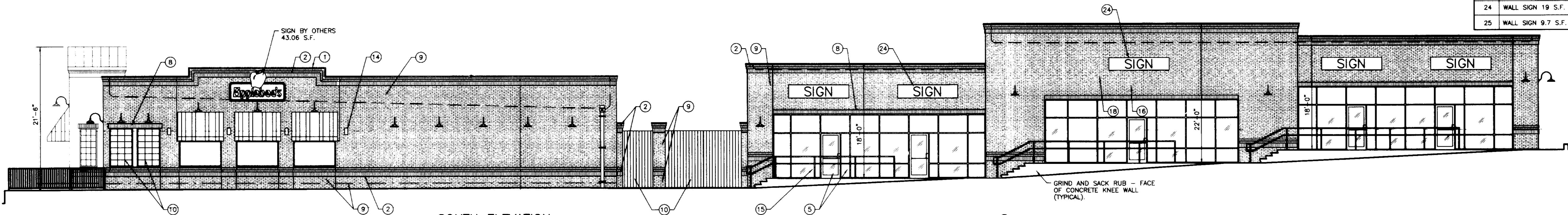


WEST ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"

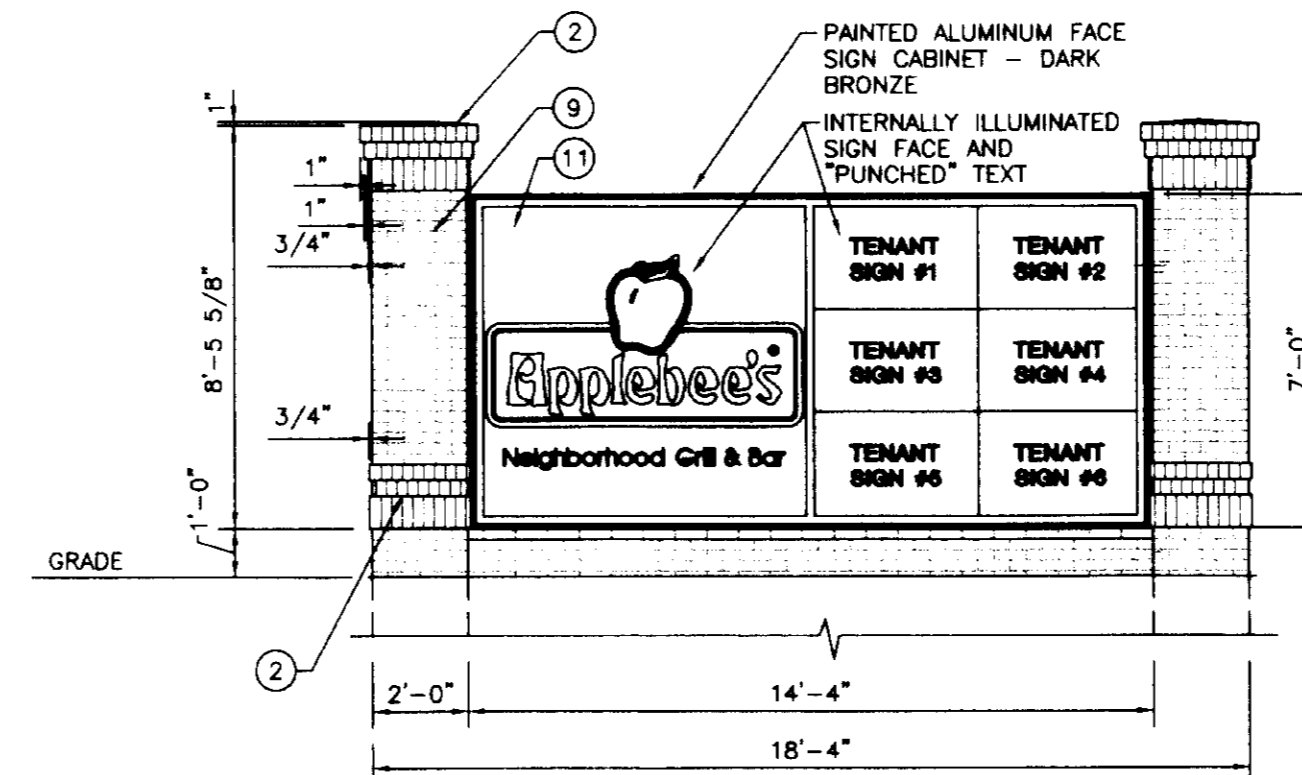
KEY	
MARK	MANUFACTURER/#
1	GALVANIZED METAL CAP, PAINT FINISH-TRITON GREEN
2	SOLDIER COURSE AND CORBELLED ROWLOCK COURSES, FACE BRICK #2
3	STANDING SEAM METAL ROOF: TRITON GREEN
4	GOOSENECK LIGHT - TRITON GREEN # BM-78-74
5	GLASS AND ALUMINUM STOREFRONT FRAMING, DARK BRONZE FINISH ON ALUMINUM, CLEAR INSULATING GLASS.
6	SOLDIER COURSE AND CORBELLED ROWLOCK COURSES, FACE BRICK #1
7	AWNING AND FRAM a. COASTLINE PLUS "RUST" #CP-2709 b. COASTLINE PLUS "SAND" #CP-2700 c. COASTLINE PLUS "GREEN" #CP-2711
8	SOLDIER COURSE, FACE BRICK #2
9	FACE BRICK #1
10	METAL YARD GATE PAINTED TO MATCH BRICK
11	SIGN BY OTHERS
12	ROOF LINE
13	WOOD DOOR & FRAME, PAINT FINISH-TRITON GREEN
14	EXTERIOR LIGHT
15	1 1/2" METAL RAILING, PAINT TRITON GREEN
16	NOT USED
17	ALUMINUM WINDOW WITH INSULATING GLASS, DARK BRONZE FINISH WITH APPLIED MULLIONS
18	NOT USED
19	NOT USED
20	NOT USED
21	ADDRESS NUMBERS, 5' HIGH X 1/8" THICK POLISHED BRASS NUMERALS, CLARENDON, CLARENDON MEDIUM OR CRAW CLARENDON LETTER STYLE
22	NOT USED
23	NOT USED
24	WALL SIGN 19 S.F. (TYP. 5)
25	WALL SIGN 9.7 S.F. (TYP. 5)



SOUTH ELEVATION
SCALE: 1/8"=1'-0"

MATERIALS		
MATERIAL	COLOR	MANUFACTURER/#
FACE BRICK #1	CABERNET	DENVER BRICK
FACE BRICK #2	DRIFTWOOD	DENVER BRICK
PAINT	TRITON GREEN	SHERWIN WILLIAMS #BM-78-74
ALUMINUM	DARK BRONZE	X

NOTE: STUCCO COLORS & TEXTURES SUBJECT TO SUBMITTAL AND ACCEPTANCE BASED ON DESIGN INTENT.



MONUMENT SIGN
SCALE: 1/4"=1'-0"

REVISIONS		ORIGINAL ISSUE: 12/28/98	
No.	Description	Des. By	Drn. By

RCI WEST, INC
400 Interstate No. Parkway,
Suite 1200
Atlanta, Ga 30339
(770) 951-0586

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BUILDING ELEVATIONS			
CONOCO AT FOUNDERS FILING NO. 1, LOT 2 - FINAL PD SITE PLAN			
1-25 & FOUNDERS PARKWAY		CASTLE ROCK, CO	
Designed By: MDC	Date: DECEMBER 1998	Sheet	6 of 6
Drawn By: TMR	Scale: 1/8" = 1'-0"		
Checked By: MDC	Disk File: A053FEL1		