

PLAT IDENTIFICATION SHEET

RECEPTION # :

DC99075002

DATE: 8-30-99

TIME:

12:01

FEE: \$ 86⁰⁰

(8 Pages)

UNOFFICIAL COPY

GRANTOR: Conoco, Inc.
(OWNER/SIGNER)

GRANTEE:

Conoco at Founders Final

(SUBDIVISION NAME OR NAME OF PLAT)

PD Site Plan

LEGAL:

(SECTION-TOWNSHIP-RANGE)

CONOCO AT FOUNDERS FINAL PD SITE PLAN

LOT 1, CONOCO AT FOUNDERS FILING NO. 1,
TOWN OF CASTLE ROCK, COUNTY OF
DOUGLAS, STATE OF COLORADO

OWNERS:

CONOCO INC.
800 NORTH DAIRY ASHFORD
HOUSTON, TEXAS 77079

APPLICANT/DEVELOPER:

CONOCO INC.
800 NORTH DAIRY ASHFORD
HOUSTON, TEXAS 77079
6855 SOUTH HAVANA STREET
SUITE 200
ENGLEWOOD, COLORADO 80112
PHONE: (303) 649-4159
CONTACT: GARY HEGENER

LEGAL DESCRIPTION:

LOT 1, CONOCO AT FOUNDERS FILING NO. 1

LAND SURVEYOR:

BRETT L. MILLER, PLS. No. 27609
FOR AND ON BEHALF OF
ENGINEERING SERVICE COMPANY
14425 EAST EVANS AVENUE, SUITE 150
AURORA, COLORADO 80014

SURVEYOR'S STATEMENT:

I, BRETT L. MILLER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE CONOCO AT FOUNDERS FINAL PD SITE PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

BRETT L. MILLER
PROFESSIONAL L.S. NO. 27609

CIVIL ENGINEER:

DAVID A. GUETIG, P.E. No. 30020
FOR AND ON BEHALF OF
GALLOWAY, ROMERO & ASSOCIATES
5350 DTC PARKWAY
ENGLEWOOD, COLORADO 80111

CIVIL ENGINEER'S STATEMENT:

I, DAVID A. GUETIG, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS PRELIMINARY PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

DAVID A. GUETIG
PROFESSIONAL ENGINEER NO. 30020

SITE DATA: SUMMARY TABLE (CONOCO AT FOUNDERS FILING NO. 1)

ZONING: P.D. (PLANNED DEVELOPMENT)

TOTAL AREA FOR PROJECT 5.8687 ACRES
TOTAL AREA FOR LOT 1 59,004 S.F. = 1.3545 AC.
TOTAL AREA FOR LOT 2 108,895 S.F. = 2.5000 AC.
TOTAL AREA ROW OR PUBLIC DEDICATION (TRACT "A") 87,738 S.F. = 2.0142 ACRES
TRACT "A" PREVIOUSLY DEDICATED R.O.W. = 1.2673 ACRES
TRACT "A" R.O.W. DEDICATED BY THIS PLAN = 0.7468 ACRES

SITE DATA: SUMMARY TABLE (LOT 1, CONOCO AT FOUNDERS FILING NO. 1)

ZONING: P.D. (PLANNED DEVELOPMENT)

LAND COVERAGE: 59,004 S.F. 100.0 % 1.355 ACRES
BUILDINGS 4,589 S.F. 7.8 % 0.105 ACRES
LANDSCAPING 20,138 S.F. 34.1 % 0.463 ACRES
DRIVES, PARKING, WALKS & MISC. 34,277 S.F. 58.1 % 0.787 ACRES

PARKING:

REQUIRED: C-STORE: 8 FOR FIRST 1000 S.F. OF GROSS LEASEABLE AREA, 1 PER 200 S.F. THEREAFTER

CASHIER AREA/ENTRY WAY 357 S.F.
TOTAL SALES AREA 1606 S.F.
RESTROOMS 204 S.F.
SEATING (4 BARSTOOLS) 28 S.F.
REQUIRED TOTAL: 2195 S.F. = 12 SPACES

PROVIDED: REGULAR 32 SPACES
HANDICAP 1 SPACE
DISPENSER ISLAND 12 SPACES
PROVIDED TOTAL: 45 SPACES

SIGNAGE:

ALLOWABLE AREA:
1-1/2 SQUARE FOOT FOR THE FIRST 200 LINEAR FEET OF LOT FRONTAGE PLUS 1/2 SQUARE FOOT FOR EACH ADDITIONAL LINEAR FOOT.
MAXIMUM AREA OF FREE-STANDING SIGN PER FACE = 50 S.F.

FRONTAGE: FOUNDERS PARKWAY (SOUTH SIDE) 188 L.F.
ALLEN STREET (EAST SIDE) 285 L.F.
ALLEN STREET (NORTH SIDE) 220 L.F.
TOTAL FRONTAGE: 693 L.F.

AREA: FIRST 200 L.F. 1.5 S.F.
483 L.F. x 1/2 S.F. 241.5 S.F.
TOTAL ALLOWABLE SIGN AREA: 243 S.F.

PROPOSED SIGNAGE:

C-STORE: FASCIA LOGO SIGN (2 @ 34 S.F.) 68.0 S.F.

CAR WASH: FASCIA LOGO SIGN (2 @ 15 S.F.) 30.0 S.F.

CANOPY: FASCIA LOGO SIGN (3 @ 18 S.F.) 54 S.F.

FREESTANDING SIGN: 43.5 S.F. PER FACE 87 S.F.
TOTAL PROPOSED SIGN AREA: 239 S.F.

NOTE: SITE AND BUILDING MOUNTED DIRECTIONAL SIGNAGE NOT INCLUDED IN PROPOSED SIGNAGE CALCULATIONS.

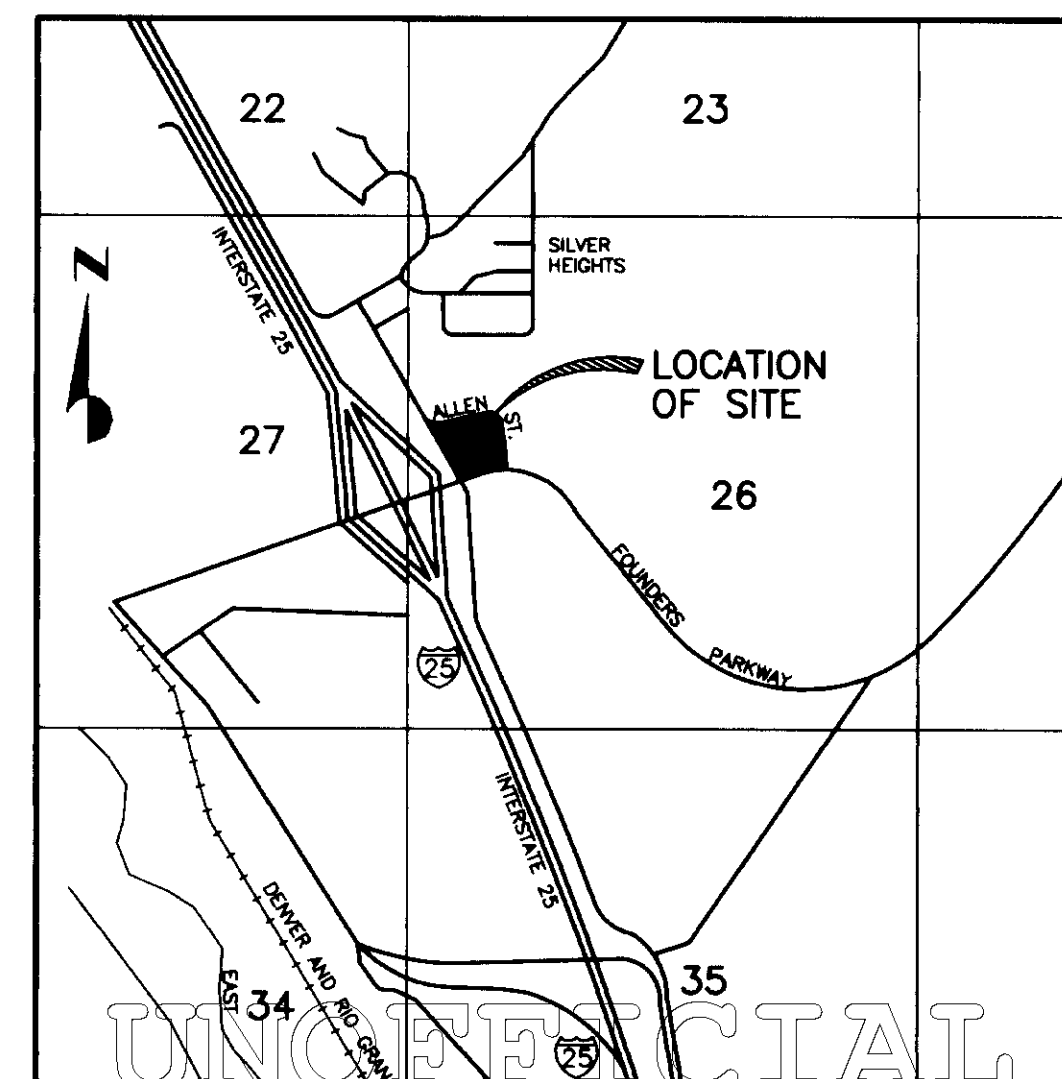
GENERAL NOTES:

BEARINGS USED ON THIS FINAL PD SITE PLAN ARE BASED ON THE ASSUMPTION THAT THE SOUTH LINE OF THE N 1/2 OF SECTION 26, T.7S., R.67W., OF THE 6TH P.M. BEARS S89°48'39"E BOUNDED AND REFERENCED BY THE MONUMENTS SHOWN HEREON.

THIS SITE DOES NOT APPEAR TO BE SITUATED IN A FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 080048 0186 C, DATED SEPTEMBER 30, 1987. HOWEVER, THIS FLOOD MAP INDICATES THAT THE LIMIT OF STUDY IS ON THE WEST SIDE OF INTERSTATE 25 AND TERMINATES AT THE WESTERLY R.O.W. LINE OF INTERSTATE 25.

NOTE:

SIGNS NOT APPROVED HEREIN. ALL SIGNS ARE SUBJECT TO THE CASTLE ROCK SIGN CODE.



VICINITY MAP
SCALE: 1"=2000'

SHEET INDEX:

- | | |
|--------|--------------------------------|
| 1 of 8 | COVER SHEET |
| 2 of 8 | SITE PLAN |
| 3 of 8 | UTILITY PLAN |
| 4 of 8 | GRADING PLAN |
| 5 of 8 | LANDSCAPE PLAN |
| 6 of 8 | BUILDING ELEVATIONS |
| 7 of 8 | CAR WASH AND CANOPY ELEVATIONS |
| 8 of 8 | SITE DETAILS |

TITLE CERTIFICATION:

S. G. Anderson AN AUTHORIZED REPRESENTATIVE OF
Title Services, A TITLE INSURANCE COMPANY LICENSED TO
DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION
OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES
AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE
OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 11th DAY OF December, 1998

A. J. Anderson
AUTHORIZED REPRESENTATIVE (NOTARIZED SIGNATURE)

Title Services
TITLE INSURANCE COMPANY

PLANNING COMMISSION APPROVAL:

THIS PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, THE 23rd DAY OF May, A.D., 1998.

ATTEST: John Franklin 7/2/99
CHAIRMAN DATE PLANNING DIRECTOR DATE

CLERK & RECORDER'S CERTIFICATE:

STATE OF COLORADO)
COUNTY OF DOUGLAS)

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THE
2d DAY OF June, 1998 AT 1:24 O'CLOCK P.M. AND
WAS RECORDED UNDER RECEPTION NUMBER 9906002

Sheryl Muehlfelt Deputy
DOUGLAS COUNTY CLERK AND RECORDER



TOWN COUNCIL APPROVAL:

THIS PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, THE 12th DAY OF Dec, A.D., 1998.

ATTEST: Sheryl Muehlfelt 8/24/99
MAYOR DATE TOWN CLERK DATE

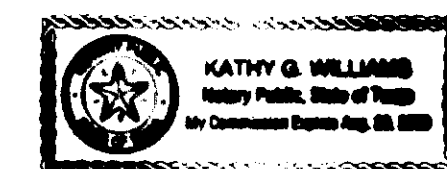
OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE
CONOCO AT FOUNDERS FINAL PD IN THE TOWN OF CASTLE ROCK.

W.K. Galloway
CONOCO, INC., A DELAWARE CORPORATION (NOTARIZED SIGNATURE)
SIGNED THIS 17th DAY OF December, 1998.

AND W.K. Galloway
TOWN OF CASTLE ROCK (NOTARIZED SIGNATURE)
SIGNED THIS 24th DAY OF August, 1999.

BY: Kathy G. Williams
WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES: 11/11/11



REVISIONS				ORIGINAL ISSUE: 12/9/97			
No.	Description	Des.	By	Drn.	By	Date	
1	REVISED IN RESPONSE TO CITY COMMENTS LETTER DATED 1/12/98	DAG	CJH			7/1/98	
2	REVISED IN RESPONSE TO CITY COMMENTS BY LETTER DATED 9/8/98	DAG	CJH			9/23/98	
3	REVISED IN RESPONSE TO CITY COMMENTS BY LETTER DATED 10/20/98	DAG	SEF			10/23/98	

CONOCO INC.
600 North Dairy Ashford
Houston, Texas 77079
(713) 293-5489

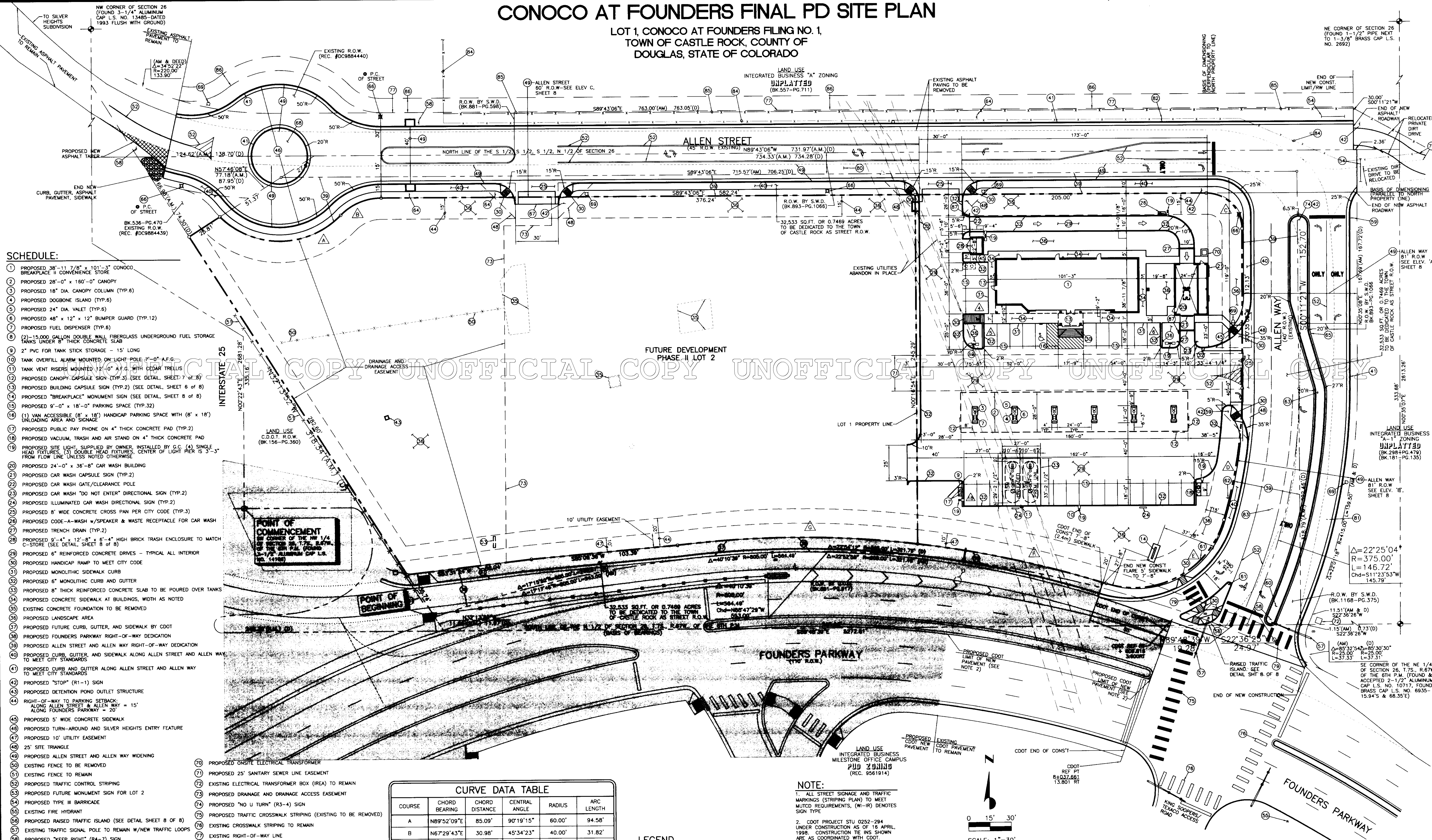
Galloway, Romero & Associates
Design Engineering Planning
5350 DTC Parkway
Englewood, Colorado 80111
Tel: (303) 770-8884
Fax: (303) 770-3636

COVER SHEET
CONOCO AT FOUNDERS FINAL PD

1-25 & FOUNDERS PARKWAY
Designed By: DAG Date: DECEMBER, 1997 Sht
Drawn By: SEF Scale: AS NOTED
Checked By: DAG Disk File: C076FC5
CASTLE ROCK, CO
1 OF 8

CONOCO AT FOUNDERS FINAL PD SITE PLAN

LOT 1, CONOCO AT FOUNDERS FILING NO. 1,
TOWN OF CASTLE ROCK, COUNTY OF
DOUGLAS, STATE OF COLORADO



- SCHEDULE:**
- 1 PROPOSED 38'-11" 7/8" x 101'-3" CONOCO BREAKPLACE II CONVENIENCE STORE
 - 2 PROPOSED 28'-0" x 180'-0" CANOPY
 - 3 PROPOSED 18" DIA. CANOPY COLUMN (TYP.6)
 - 4 PROPOSED DOGBOONE ISLAND (TYP.6)
 - 5 PROPOSED 24" DIA. VALET (TYP.6)
 - 6 PROPOSED 48" x 12" x 12" BUMPER GUARD (TYP.12)
 - 7 PROPOSED FUEL DISPENSER (TYP.6)
 - 8 (2) 15,000 GALLON DOUBLE WALL FIBERGLASS UNDERGROUND FUEL STORAGE TANKS UNDER 8" THICK CONCRETE SLAB
 - 9 2" PVC FOR TANK STICK STORAGE - 15' LONG
 - 10 TANK OVERFILL ALARM MOUNTED ON LIGHT POLE 7'-0" A.F.G.
 - 11 TANK VENT RISERS MOUNTED 12'-0" A.F.G. WITH CEDAR TRELLIS
 - 12 PROPOSED CANOPY CAPSULE SIGN (TYP.3) (SEE DETAIL, SHEET 7 OF 8)
 - 13 PROPOSED BUILDING CAPSULE SIGN (TYP.2) (SEE DETAIL, SHEET 6 OF 8)
 - 14 PROPOSED "BREAKPLACE" MONUMENT SIGN (SEE DETAIL, SHEET 8 OF 8)
 - 15 PROPOSED 9'-0" x 18'-0" PARKING SPACE (TYP.32)
 - 16 (1) VAN ACCESSIBLE (8' x 18') HANDICAP PARKING SPACE WITH (8' x 18') UNLOADING AREA AND SIGNAGE
 - 17 PROPOSED PUBLIC PAY PHONE ON 4" THICK CONCRETE PAD (TYP.2)
 - 18 PROPOSED VACUUM, TRASH AND AIR STAND ON 4" THICK CONCRETE PAD
 - 19 PROPOSED SITE LIGHT, SUPPLIED BY OWNER, INSTALLED BY G.C. (4) SINGLE HEAD FIXTURES, (3) DOUBLE HEAD FIXTURES, CENTER OF LIGHT PIER IS 3'-3" FROM FLOW LINE UNLESS NOTED OTHERWISE
 - 20 PROPOSED 24'-0" x 36'-8" CAR WASH BUILDING
 - 21 PROPOSED CAR WASH CAPSULE SIGN (TYP.2)
 - 22 PROPOSED CAR WASH GATE/CLEARANCE POLE
 - 23 PROPOSED CAR WASH "DO NOT ENTER" DIRECTIONAL SIGN (TYP.2)
 - 24 PROPOSED ILLUMINATED CAR WASH DIRECTIONAL SIGN (TYP.2)
 - 25 PROPOSED 8" WIDE CONCRETE CROSS PAN PER CITY CODE (TYP.3)
 - 26 PROPOSED CODE-A-WASH W/SPEAKER & WASTE RECEPTACLE FOR CAR WASH
 - 27 PROPOSED TRENCH DRAIN (TYP.2)
 - 28 PROPOSED 12" x 12" x 8" HIGH BRICK TRASH ENCLOSURE TO MATCH C-STORE (SEE DETAIL, SHEET 5 OF 8)
 - 29 PROPOSED 6" REINFORCED CONCRETE DRIVES - TYPICAL ALL INTERIOR
 - 30 PROPOSED HANDICAP RAMP TO MEET CITY CODE
 - 31 PROPOSED MONOLITHIC SIDEWALK CURB
 - 32 PROPOSED 6" MONOLITHIC CURB AND GUTTER
 - 33 PROPOSED 8" THICK REINFORCED CONCRETE SLAB TO BE POURED OVER TANKS
 - 34 PROPOSED CONCRETE SIDEWALK AT BUILDINGS, WIDTH AS NOTED
 - 35 EXISTING CONCRETE FOUNDATION TO BE REMOVED
 - 36 PROPOSED LANDSCAPE AREA
 - 37 PROPOSED FUTURE CURB, GUTTER, AND SIDEWALK BY CDOT
 - 38 PROPOSED FOUNDERS PARKWAY RIGHT-OF-WAY DEDICATION
 - 39 PROPOSED ALLEN STREET AND ALLEN WAY RIGHT-OF-WAY DEDICATION
 - 40 PROPOSED CURB, GUTTER, AND SIDEWALK ALONG ALLEN STREET AND ALLEN WAY TO MEET CITY STANDARDS
 - 41 PROPOSED CURB AND GUTTER ALONG ALLEN STREET AND ALLEN WAY TO MEET CITY STANDARDS
 - 42 PROPOSED "STOP" (R1-1) SIGN
 - 43 PROPOSED DETENTION POND OUTLET STRUCTURE
 - 44 RIGHT-OF-WAY TO PARKING SETBACK ALONG ALLEN STREET & ALLEN WAY = 15' ALONG FOUNDERS PARKWAY = 20'
 - 45 PROPOSED 5' WIDE CONCRETE SIDEWALK
 - 46 PROPOSED TURN-AROUND AND SILVER HEIGHTS ENTRY FEATURE
 - 47 PROPOSED 10' UTILITY EASEMENT
 - 48 25' SITE TRIANGLE
 - 49 PROPOSED ALLEN STREET AND ALLEN WAY WIDENING
 - 50 EXISTING FENCE TO BE REMOVED
 - 51 EXISTING FENCE TO REMAIN
 - 52 PROPOSED TRAFFIC CONTROL STRIPING
 - 53 PROPOSED FUTURE MONUMENT SIGN FOR LOT 2
 - 54 PROPOSED TYPE III BARRICADE
 - 55 EXISTING FIRE HYDRANT
 - 56 PROPOSED RAISED TRAFFIC ISLAND (SEE DETAIL SHEET 8 OF 8)
 - 57 EXISTING TRAFFIC SIGNAL POLE TO REMAIN W/NEW TRAFFIC LOOPS
 - 58 PROPOSED "KEEP RIGHT" (R4-7) SIGN
 - 59 PROPOSED "RIGHT TURN ONLY" (R3-5R) SIGN
 - 60 PROPOSED "LEFT TURN ONLY" (R3-5R) SIGN
 - 61 PROPOSED "YIELD" (R1-2) SIGN
 - 62 PROPOSED "RIGHT LANE MUST TURN RIGHT" (R3-7R) SIGN
 - 63 PROPOSED "ONE WAY" (RS-1R) SIGN
 - 64 PROPOSED "CENTER LANE ONLY" (R3-96) SIGN
 - 65 PROPOSED RAISED MEDIAN
 - 66 PROPOSED STREET LIGHTS TO BE FURNISHED AND INSTALLED BY IREA ELECTRIC TO CITY CODE
 - 67 TEMP. ASPHALT CURB
 - 68 PROPOSED RAISED CONCRETE SURFACE MEDIAN
 - 69 PROPOSED FIRE HYDRANT

UNOFFICIAL COPY

CURVE DATA TABLE					
COURSE	CHORD BEARING	CHORD DISTANCE	CENTRAL ANGLE	RADIUS	ARC LENGTH
A	N89°52'09"E	85.09'	90°19'15"	60.00'	94.58'
B	N67°29'43"E	30.98'	45°34'23"	40.00'	31.82'
C	S44°33'58"E	35.45'	90°18'14"	25.00'	39.40'
D	S08°37'45"W	93.47'	16°05'14"	334.00'	93.78'
E	S62°18'03"W	94.36'	91°15'22"	66.00'	105.12'
F	N77°29'30"W	135.58'	10°50'28"	717.64'	135.79'
G	N89°41'18"W	169.35'	13°33'09"	717.64'	169.75'

- LEGEND**
- (AM) AS MEASURED DISTANCE
 - (P) PLATTED DISTANCE
 - II PROPOSED AREA ELECTRICAL STREET LIGHT
 - Δ PROPOSED FIRE HYDRANT
 - Δ NUMBER OF PARKING SPACES
 - CDOT PROJECT STU 0252-294 CONSTRUCTION LIMITS (UNDER CONSTRUCTION AS OF 4/16/98)
 - Δ SURVEY CONTROL INFO SEE TABLE

NOTE:

- ALL STREET SIGNAGE AND TRAFFIC MARKINGS (STRIPING PLAN) TO MEET MUTCD REQUIREMENTS, (W-1R) DENOTES SIGN TYPE
- CDOT PROJECT STU 0252-294 UNDER CONSTRUCTION AS OF 4/16/98. CONSTRUCTION TIE INS SHOWN ARE AS COORDINATED WITH CDOT
- FOR DRAINAGE AND UTILITY PIPING, MISC UTILITIES, SEE SHEET 3 OF 8

CONOCO

CONOCO INC.
600 North Dairy Ashford
Houston, Texas 77079
(713) 293-5489

REVISIONS		ORIGINAL ISSUE: 12/9/97	
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Galloway, Romero & Associates

Design: Engineering Planning
5350 DTC Parkway
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Tel: (303) 770-8884
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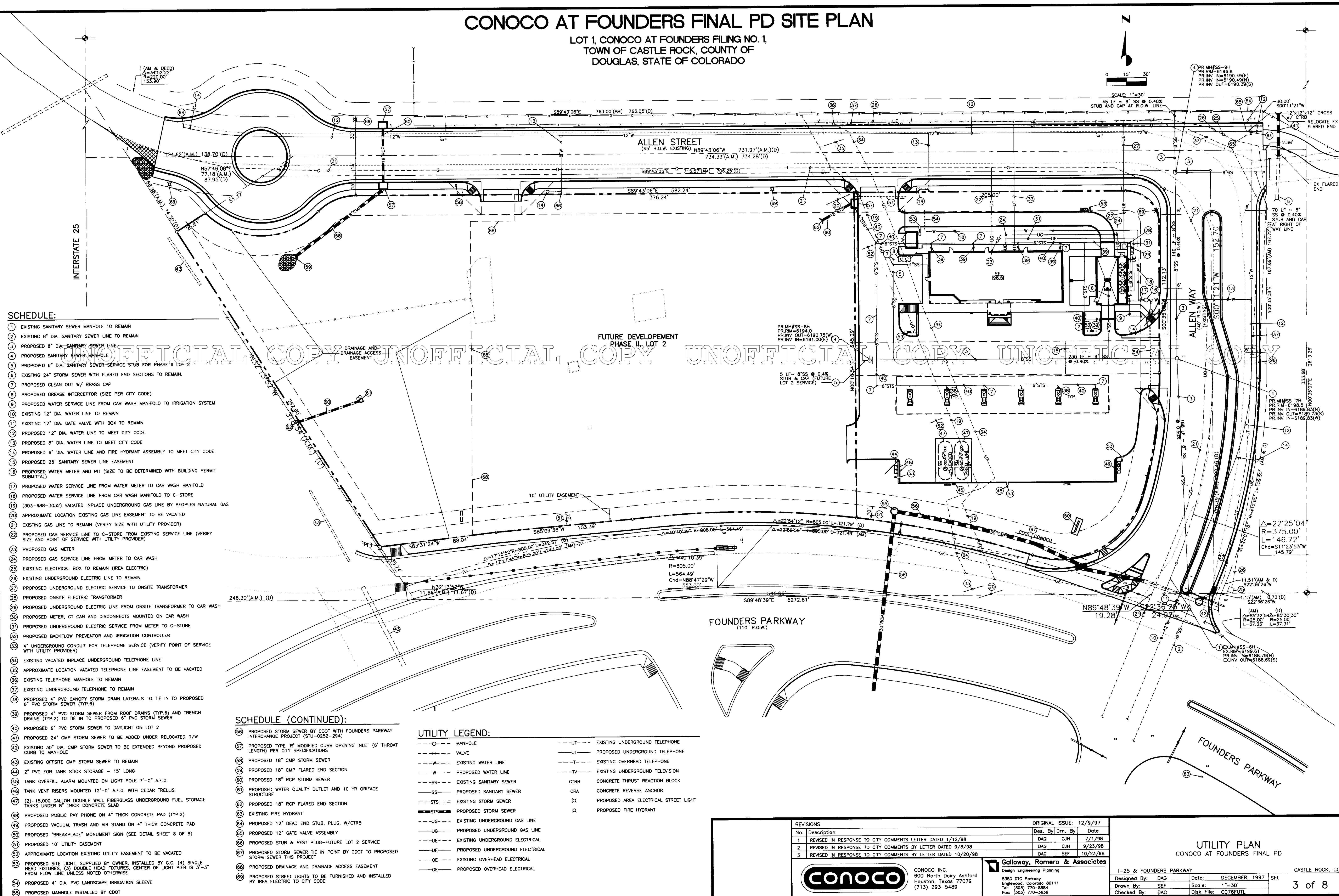
SITE PLAN
CONOCO AT FOUNDERS FINAL PD

1-25 & FOUNDERS PARKWAY
DESIGNED BY: DAG/DFS
DRAWN BY: SEF/CJH
CHECKED BY: DAG/DFS

CASTLE ROCK, CO
DATE: DECEMBER, 1997
SCALE: 1"=30'
SHEET: 2 OF 8

CONOCO AT FOUNDERS FINAL PD SITE PLAN

LOT 1, CONOCO AT FOUNDERS FILING NO. 1,
TOWN OF CASTLE ROCK, COUNTY OF
DOUGLAS, STATE OF COLORADO



SCHEDULE:

- EXISTING SANITARY SEWER MANHOLE TO REMAIN
- EXISTING 8" DIA. SANITARY SEWER LINE TO REMAIN
- PROPOSED 8" DIA. SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED 6" DIA. SANITARY SEWER SERVICE STUB FOR PHASE II LOT 2
- EXISTING 24" STORM SEWER WITH FLARED END SECTIONS TO REMAIN
- PROPOSED CLEAN OUT W/ BRASS CAP
- PROPOSED GREASE INTERCEPTOR (SIZE PER CITY CODE)
- PROPOSED WATER SERVICE LINE FROM CAR WASH MANIFOLD TO IRRIGATION SYSTEM
- EXISTING 12" DIA. WATER LINE TO REMAIN
- EXISTING 12" DIA. GATE VALVE WITH BOX TO REMAIN
- PROPOSED 12" DIA. WATER LINE TO MEET CITY CODE
- PROPOSED 8" DIA. WATER LINE TO MEET CITY CODE
- PROPOSED 6" DIA. WATER LINE AND FIRE HYDRANT ASSEMBLY TO MEET CITY CODE
- PROPOSED 25" SANITARY SEWER LINE EASEMENT
- PROPOSED WATER METER AND PIT (SIZE TO BE DETERMINED WITH BUILDING PERMIT SUBMITTAL)
- PROPOSED WATER SERVICE LINE FROM WATER METER TO CAR WASH MANIFOLD
- PROPOSED WATER SERVICE LINE FROM CAR WASH MANIFOLD TO C-STORE
- (303-688-3032) VACATED INPLACE UNDERGROUND GAS LINE BY PEOPLES NATURAL GAS
- APPROXIMATE LOCATION EXISTING GAS LINE EASEMENT TO BE VACATED
- EXISTING GAS LINE TO REMAIN (VERIFY SIZE WITH UTILITY PROVIDER)
- PROPOSED GAS SERVICE LINE TO C-STORE FROM EXISTING SERVICE LINE (VERIFY SIZE AND POINT OF SERVICE WITH UTILITY PROVIDER)
- PROPOSED GAS METER
- PROPOSED GAS SERVICE LINE FROM METER TO CAR WASH
- EXISTING ELECTRICAL BOX TO REMAIN (IREA ELECTRIC)
- EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- PROPOSED UNDERGROUND ELECTRIC SERVICE TO ONSITE TRANSFORMER
- PROPOSED ONSITE ELECTRIC TRANSFORMER
- PROPOSED UNDERGROUND ELECTRIC LINE FROM ONSITE TRANSFORMER TO CAR WASH
- PROPOSED METER, CT CAN AND DISCONNECTS MOUNTED ON CAR WASH
- PROPOSED UNDERGROUND ELECTRIC SERVICE FROM METER TO C-STORE
- PROPOSED BACKFLOW PREVENTOR AND IRRIGATION CONTROLLER
- 4" UNDERGROUND CONDUIT FOR TELEPHONE SERVICE (VERIFY POINT OF SERVICE WITH UTILITY PROVIDER)
- EXISTING VACATED INPLACE UNDERGROUND TELEPHONE LINE
- APPROXIMATE LOCATION VACATED TELEPHONE LINE EASEMENT TO BE VACATED
- EXISTING TELEPHONE MANHOLE TO REMAIN
- EXISTING UNDERGROUND TELEPHONE TO REMAIN
- PROPOSED 4" PVC CANOPY STORM DRAIN LATERALS TO TIE IN TO PROPOSED 6" PVC STORM SEWER (TYP.6)
- PROPOSED 4" PVC STORM SEWER FROM ROOF DRAINS (TYP.6) AND TRENCH DRAINS (TYP.2) TO TIE IN TO PROPOSED 6" PVC STORM SEWER
- PROPOSED 6" PVC STORM SEWER TO DAYLIGHT ON LOT 2
- PROPOSED 24" CMP STORM SEWER TO BE ADDED UNDER RELOCATED D/W
- EXISTING 30" DIA. CMP STORM SEWER TO BE EXTENDED BEYOND PROPOSED CURB TO MANHOLE
- EXISTING OFFSITE CMP STORM SEWER TO REMAIN
- 2" PVC FOR TANK STICK STORAGE - 15' LONG
- TANK OVERFILL ALARM MOUNTED ON LIGHT POLE 7'-0" A.F.G.
- TANK VENT RISERS MOUNTED 12'-0" A.F.G. WITH CEDAR TRELLIS
- (2)-15,000 GALLON DOUBLE WALL FIBERGLASS UNDERGROUND FUEL STORAGE TANKS UNDER 8" THICK CONCRETE SLAB
- PROPOSED PUBLIC PAY PHONE ON 4" THICK CONCRETE PAD (TYP.2)
- EXISTING FIRE HYDRANT
- PROPOSED VACUUM, TRASH AND AIR STAND ON 4" THICK CONCRETE PAD
- PROPOSED "BREAKPLACE" MONUMENT SIGN (SEE DETAIL SHEET 8 OF 8)
- PROPOSED 10' UTILITY EASEMENT
- APPROXIMATE LOCATION EXISTING UTILITY EASEMENT TO BE VACATED
- PROPOSED SITE LIGHT, SUPPLIED BY OWNER, INSTALLED BY G.C. (4) SINGLE HEAD FIXTURES, (3) DOUBLE HEAD FIXTURES, CENTER OF LIGHT PIER IS 3'-3" FROM FLOW LINE UNLESS NOTED OTHERWISE
- PROPOSED 4" DIA. PVC LANDSCAPE IRRIGATION SLEEVE
- PROPOSED MANHOLE INSTALLED BY CDOT

SCHEDULE (CONTINUED):

- PROPOSED STORM SEWER BY CDOT WITH FOUNDERS PARKWAY INTERCHANGE PROJECT (STU-0252-294)
- PROPOSED TYPE "R" MODIFIED CURB OPENING INLET (6" THROAT LENGTH) PER CITY SPECIFICATIONS
- PROPOSED 18" CMP STORM SEWER
- PROPOSED 18" CMP FLARED END SECTION
- PROPOSED 18" RCP STORM SEWER
- PROPOSED WATER QUALITY OUTLET AND 10 YR ORIFACE STRUCTURE
- PROPOSED 18" RCP FLARED END SECTION
- EXISTING FIRE HYDRANT
- PROPOSED 12" DEAD END STUB, PLUG, W/CTRB
- PROPOSED 12" GATE VALVE ASSEMBLY
- PROPOSED STUB & REST PLUG-FUTURE LOT 2 SERVICE
- PROPOSED STORM SEWER TIE IN POINT BY CDOT TO PROPOSED STORM SEWER THIS PROJECT
- PROPOSED DRAINAGE AND DRAINAGE ACCESS EASEMENT
- PROPOSED STREET LIGHTS TO BE FURNISHED AND INSTALLED BY IREA ELECTRIC TO CITY CODE

UTILITY LEGEND:

- | | | | |
|-----------|---------------------------------|----------|---------------------------------------|
| ---O--- | MANHOLE | ---UT--- | EXISTING UNDERGROUND TELEPHONE |
| ---V--- | VALVE | ---UT--- | PROPOSED UNDERGROUND TELEPHONE |
| ---W--- | EXISTING WATER LINE | ---T--- | EXISTING OVERHEAD TELEPHONE |
| ---W--- | PROPOSED WATER LINE | ---TV--- | EXISTING UNDERGROUND TELEVISION |
| ---SS--- | EXISTING SANITARY SEWER | CTRB | CONCRETE THRUST REACTION BLOCK |
| ---SS--- | PROPOSED SANITARY SEWER | CRA | CONCRETE REVERSE ANCHOR |
| ---STS--- | EXISTING STORM SEWER | II | PROPOSED AREA ELECTRICAL STREET LIGHT |
| ---STS--- | PROPOSED STORM SEWER | Q | PROPOSED FIRE HYDRANT |
| ---UG--- | EXISTING UNDERGROUND GAS LINE | | |
| ---UG--- | PROPOSED UNDERGROUND GAS LINE | | |
| ---UE--- | EXISTING UNDERGROUND ELECTRICAL | | |
| ---UE--- | PROPOSED UNDERGROUND ELECTRICAL | | |
| ---OE--- | EXISTING OVERHEAD ELECTRICAL | | |
| ---OE--- | PROPOSED OVERHEAD ELECTRICAL | | |

REVISIONS

No.	Description	Des.	By	Date
1	REVISED IN RESPONSE TO CITY COMMENTS LETTER DATED 1/12/98	DAG	CJH	7/1/98
2	REVISED IN RESPONSE TO CITY COMMENTS BY LETTER DATED 9/8/98	DAG	CJH	9/23/98
3	REVISED IN RESPONSE TO CITY COMMENTS BY LETTER DATED 10/20/98	DAG	SEF	10/23/98

ORIGINAL ISSUE: 12/9/97

Des.	By	Date
DAG	CJH	7/1/98
DAG	CJH	9/23/98
DAG	SEF	10/23/98



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UTILITY PLAN CONOCO AT FOUNDERS FINAL PD

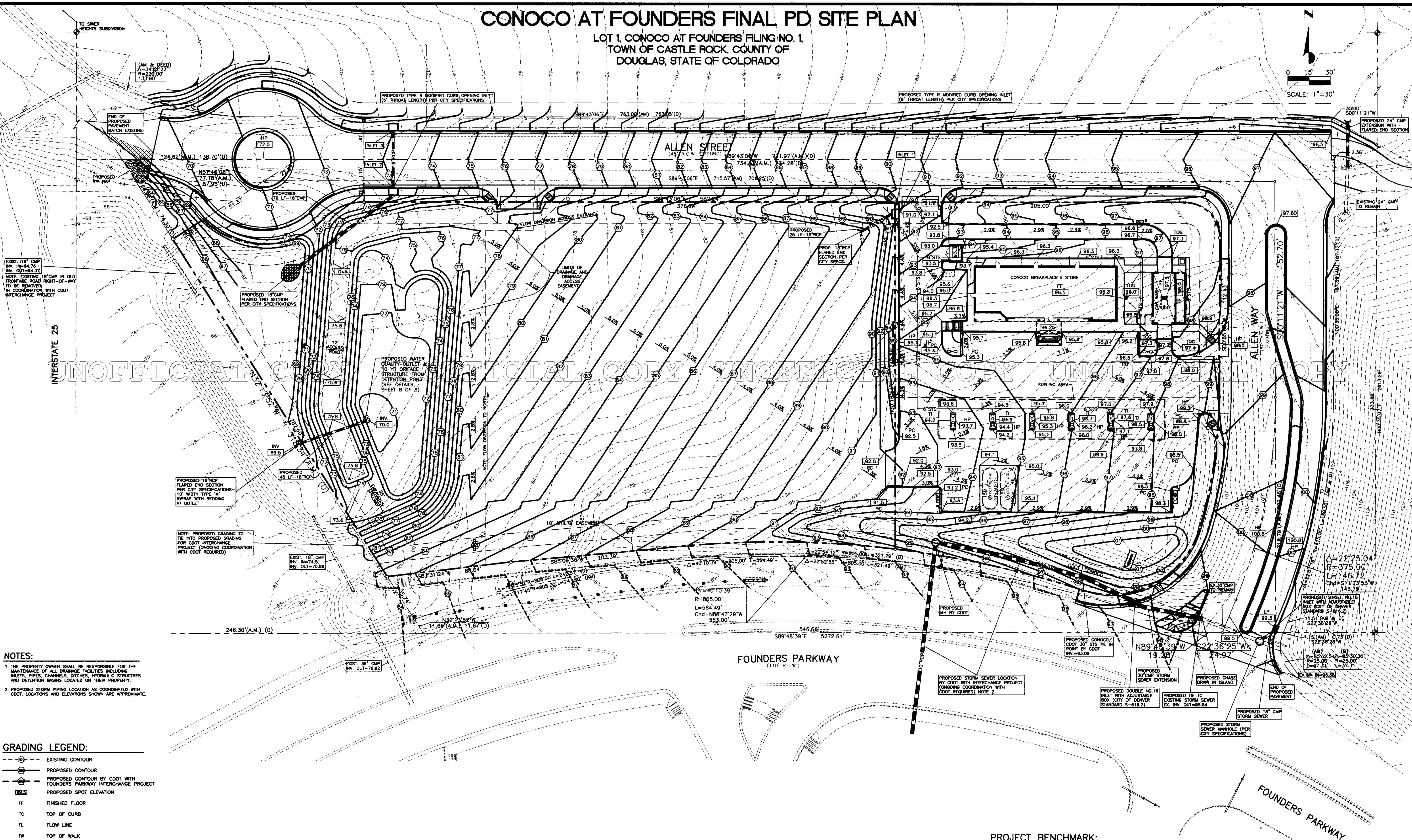
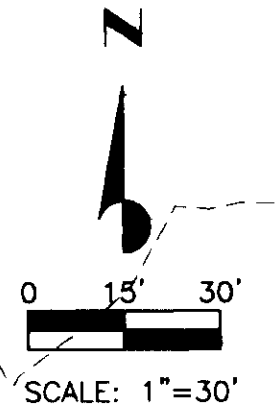
Designed By:	DAG	Date:	DECEMBER, 1997	Sht	
Drawn By:	SEF	Scale:	1"=30'		
Checked By:	DAG	Disk File:	C076JUL		

CASTLE ROCK, CO

3 of 8

CONOCO AT FOUNDERS FINAL PD SITE PLAN

LOT 1, CONOCO AT FOUNDERS FILING NO. 1,
TOWN OF CASTLE ROCK, COUNTY OF
DOUGLAS, STATE OF COLORADO



- NOTES:**
1. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR PROPERTY.
 2. PROPOSED STORM PIPING LOCATION AS COORDINATED WITH CDOT. LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE.

- GRADING LEGEND:**
- (E)--- EXISTING CONTOUR
 - (P)--- PROPOSED CONTOUR
 - (C)--- PROPOSED CONTOUR BY CDOT WITH FOUNDERS PARKWAY INTERCHANGE PROJECT
 - (S)--- PROPOSED SPOT ELEVATION
 - FF FINISHED FLOOR
 - TC TOP OF CURB
 - FL FLOW LINE
 - TW TOP OF WALK
 - PC POINT OF CURVE
 - HP HIGH POINT
 - TG TOP OF GRATE
 - INV INVERT ELEVATION
 - ME MATCH EXISTING
 - TI TOP OF ISLAND
 - EXISTING STORM SEWER TO BE REMOVED
 - ===== EXISTING STORM SEWER TO REMAIN
 - PROPOSED STORM SEWER

PROJECT BENCHMARK:
BENCHMARK: JR ENGINEERING
REBAR AND ALUMINUM CAP
ELEVATION = 6181.33'

REVISIONS				ORIGINAL ISSUE: 12/9/97			
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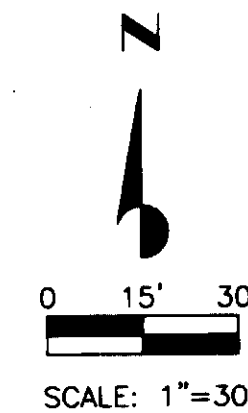


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GRADING PLAN				CONOCO AT FOUNDERS FINAL PD		CASTLE ROCK, CO	
I-25 & FOUNDERS PARKWAY				Designed By:	DAG	Date:	DECEMBER, 1997
				Drawn By:	SEF	Scale:	1"=30'
				Checked By:	DAG	Diak File:	C076GRD
				4 of 8			

CONOCO AT FOUNDERS FINAL PD SITE PLAN

LOT 1, CONOCO AT FOUNDERS FILING NO. 1,
TOWN OF CASTLE ROCK, COUNTY OF
DOUGLAS, STATE OF COLORADO



NOTE: THE (4) FOUR UPRIGHT JUNIPERS
IDENTIFIED IN THE TREE EVALUATION AT
THE INTERSTATE 25/FOUNDERS PARKWAY
SITE, DATED OCTOBER 9, 1997, BY
EYERLY & ASSOCIATES, SHALL BE
RELOCATED AS SHOWN ON THIS PLAN

NOTES:

1. THE CONTRACTOR IS TO VERIFY FIELD CONDITIONS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR IS TO FURNISH AND INSTALL PLANT MATERIALS AS NOTED. ALL PLANT MATERIAL MUST EQUAL OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT, AND IS SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT.
3. PRIOR TO ANY PLANTING OPERATIONS, THE AREA TO BE PLANTED IS TO BE PREPARED WITH 5 YARDS/1,000 SQUARE FEET OF ORGANIC MATERIAL, ROTOTILLED A MINIMUM OF 6" DEEP.
4. EXCAVATE PLANTING PIT TWICE AS WIDE AS ROOT BALL. PREPARE PLANT BACKFILL TO BE 1/3 ORGANIC MATERIAL AND 2/3 CLEAN TOPSOIL. STAKE ALL EVERGREEN TREES AND ALL DECIDUOUS TREES OVER 3" CALIPER WITH THREE GUY WIRES AND CANNAS STRAP WITH GRADIENTS. STAKE ALL DECIDUOUS TREES UNDER 3" CALIPER WITH T-BAR METHOD (TWO STAKES PER TREE). NO EXPOSED WIRES SHOULD COME INTO CONTACT WITH THE TRUNK FOR EITHER GUYING METHOD. TREE WRAP ALL DECIDUOUS TREES TO SECOND BRANCH.
5. ALL TREES AND SHRUBS ARE TO BE PLANTED AFTER ROUGH GRADING AND PRIOR TO PLACING OF GROUND COVER MATERIAL.
6. SOD SHALL BE A BLEND OF 90% FESCUE AND 10% BLUEGRASS APPROVED BY OWNER AND SHALL BE Laid ON A FIRM BED WITH TIGHT JOINTS AND NO VOIDS BETWEEN STRIPS. SOD TO BE FERTILIZED WITH GRANULAR DIAMMONIUM PHOSPHATE (18-46-0) AT A RATE OF SIX (6) POUNDS PER 1,000 SQ. FT.
7. CONTRACTOR TO MAINTAIN ALL PLANTINGS INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE AND TURNOVER TO OWNER.
8. PLANTS SHALL BE GUARANTEED FOR ONE GROWING SEASON. SPRING PLANTINGS WILL BE GUARANTEED THROUGH OCTOBER OF THE SAME YEAR. ANY PLANTINGS AFTER THE MONTH OF AUGUST WILL BE GUARANTEED THROUGH MAY THE FOLLOWING SPRING. ANY PLANT MATERIAL THAT IS IN QUESTIONABLE CONDITION MAY RECEIVE AN EXTENDED GUARANTEE AT THE REQUEST OF THE LANDSCAPE ARCHITECT AND APPROVAL OF THE LANDSCAPE ARCHITECT. ALL GUARANTEES ON PLANTS ARE 100%, INCLUDING MATERIALS AND LABOR BASED UPON A ONE-TIME REPLACEMENT.
9. ALL BEDS TO BE 4"-6" WASHED COBBLE ROCK MULCH. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL. MULCH ALL PLANTING BEDS TO A 6" DEPTH.
10. PLANTING BED EDGER TO BE RYERSON STEEL EDGER, 1/8" X 4" X 10", OR EQUAL AS APPROVED BY THE LANDSCAPE ARCHITECT.
11. CONTRACTOR TO REPAIR OR REPLACE ANY SOD, MULCH OR SITE IMPROVEMENTS DISTURBED OR DAMAGED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR TO PROVIDE FOR PROTECTION OF ALL UTILITIES, PRIVATE OR PUBLIC PROPERTY, AND PUBLIC SAFETY FOR THE DURATION OF THE CONTRACT AND SHALL REPAIR OR REPLACE ANY DAMAGES TO SAME WITHOUT ADDITIONAL COST TO THE OWNER.
13. CONTRACTOR SHALL SECURE AND PAY ALL APPLICABLE TAXES, PERMITS AND FEES IN CONNECTION WITH THE WORK UNDER THE CONTRACT.
14. CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND ORDERLY AND SHALL DISPOSE OF ALL WASTE AND DEBRIS AT AN APPROVED LOCATION OFF-SITE PRIOR TO FINAL ACCEPTANCE.
15. PLACE GEOTEXTILE FABRIC (MIRAFI #140-S OR EQUAL) UNDER ALL ROCK AND PLANTING BEDS.
16. LANDSCAPE INSTALLATION TO BE COMPLETED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
17. IRRIGATION SYSTEM SHALL HAVE SHRUB BEDS AND LAWN AREAS ZONED SEPARATELY. LAWN AREAS TO BE POP-UP SPRAY SYSTEM. SHRUB BEDS TO HAVE FULL COVERAGE WITH EITHER POP-UP SPRAY SYSTEM, MICRO-EMITTER, OR DRIP SYSTEM.
18. ALL HEADS TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS AND WALK-WAYS.
19. BACKFLOW PREVENTION DEVICE SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS.
20. ALL PIPING TO BE AS ALLOWED BY CODE.
21. ANY OFF-SITE DISTURBED AREAS SHALL BE RE-SEEDDED WITH NATIVE GRASS SEED.

LANDSCAPE LEGEND:

- (R.M.) 4"-6" WASHED COBBLE ROCK - PROPOSED
- RC - SOD - PROPOSED
- DC - DRYLAND NATIVE SEED - PROPOSED
- (ST.E) 4"x1/8" STEEL STRAP - BOLTED AT JOINTS
- SHRUB - PROPOSED
- SHRUB - EXISTING TO BE REMOVED
- RELOCATED LOCATION EXISTING UPRIGHT JUNIPER AS IDENTIFIED IN EYERLY & ASSOCIATES TREE EVALUATION AT THE INTERSTATE 25/FOUNDERS PARKWAY SITE, DATED OCTOBER 9, 1997
- EVERGREEN TREE - PROPOSED
- DECIDUOUS TREE - PROPOSED
- ORNAMENTAL TREE - PROPOSED
- TREE - EXISTING TO BE REMOVED

PLANT SCHEDULE:

ABB	BOTANICAL NAME	COMMON NAME	QUAN.	SIZE	REMARKS
RC	MALLUS SP.	RADIANT CRAB	8	1 1/2" CAL	B&B
DC	MALLUS SP.	"DOLGO" CRAB	9	1 1/2" CAL	B&B
RSM	ACER PLATANOIDES	RED SUNSET MAPLE	2	2" CAL	B&B
BO	QUERULUS ROBUR	BURR OAK	8	2 1/2" CAL	B&B
GA	FRAXINUS PENNSYLVANICA	GREEN ASH	13	2 1/2" CAL	B&B
AP	PINUS NIGRA	AUSTRIAN PINE	39	6" HEIGHT	B&B
BFJ	JUNIPERUS SABINA	BUFFALO JUNIPER	12	5 GAL	CONT
BCJ	JUNIPERUS HORIZONTALIS	BLUE CHIP JUNIPER	48	5 GAL	CONT
AW5	SPIREA BUMALDA	ANTHONY WATERER	4	5 GAL	CONT
GDP	POTENTILLA FRUTICOSA	GOLD DROP POTENTILLA	23	5 GAL	CONT
SS	GERASTIUM TOMENTOSUM	SNOW IN SUMMER	8	5 GAL	CONT
UU		UPRIGHT JUNIPER	4		RELOCATE WITH MECHANICAL TREE DIGGER NO SMALLER THAN 1594

LANDSCAPE DATA:

DESCRIPTION:
TOTAL SITE (LOT 1):
TOTAL AREA 100.0% 59,004 S.F.
REQUIRED LANDSCAPE MINIMUM 10.0% 5,900 S.F.
PROVIDED LANDSCAPE 34.1% 20,136 S.F.

LANDSCAPE REQUIREMENTS:
A MINIMUM OF (2) TWO TREES AND (4) FOUR SHRUBS FOR EACH 1000 S.F. OF LANDSCAPE AREA. (1) ONE ADDITIONAL TREE MAY BE SUBSTITUTED IN LIEU OF EACH (4) FOUR SHRUBS REQUIRED (4 SHRUBS = 1 TREE EQUIVALENT (T.E.)).

REQUIRED:
20,136 S.F. x 3 (T.E.)/1000 S.F. LANDSCAPE AREA = 60.4 T.E.

PROVIDED:
SHRUBS 95 EA 23.7 T.E.
TREES 43.0 T.E.
TOTAL PROVIDED 68.7 T.E.

PORTION OF LOT 2:
15' WIDTH ALONG ALLEN STREET

LANDSCAPE REQUIREMENTS:
A MINIMUM OF (2) TWO TREES AND (4) FOUR SHRUBS FOR EACH 1000 S.F. OF LANDSCAPE AREA. (1) ONE ADDITIONAL TREE MAY BE SUBSTITUTED IN LIEU OF EACH (4) FOUR SHRUBS REQUIRED (4 SHRUBS = 1 TREE EQUIVALENT (T.E.)).

REQUIRED:
7,530 S.F. x 3 (T.E.)/1000 S.F. LANDSCAPE AREA = 22.6 T.E.

PROVIDED:
TREES 23 EA 23.0 T.E.



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REVISIONS
No. Description
1 REVISED IN RESPONSE TO CITY COMMENTS LETTER DATED 1/12/98
2 REVISED IN RESPONSE TO CITY COMMENTS BY LETTER DATED 9/8/98

ORIGINAL ISSUE: 12/9/97
Des. By Dm. By Date
DAG CJH 7/1/98
DAG CJH 9/23/98

I-25 & FOUNDERS PARKWAY CASTLE ROCK, CO
Designed By: DAG Date: DECEMBER, 1997 Sht
Drawn By: SEF Scale: 1"=30'
Checked By: DAG Disk File: C076FLS 5 OF 8

LANDSCAPE PLAN
CONOCO AT FOUNDERS FINAL PD

LOT 1, CONOCO AT FOUNDERS FILING NO. 1,
TOWN OF CASTLE ROCK, COUNTY OF
DOUGLAS, STATE OF COLORADO



SCALE: $3/16" = 1'-0"$

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY



SCALE: $3/16"=1'-0"$



SCALE: 3/16"=1'-0"



SCALE: $3/16"=1'-0"$



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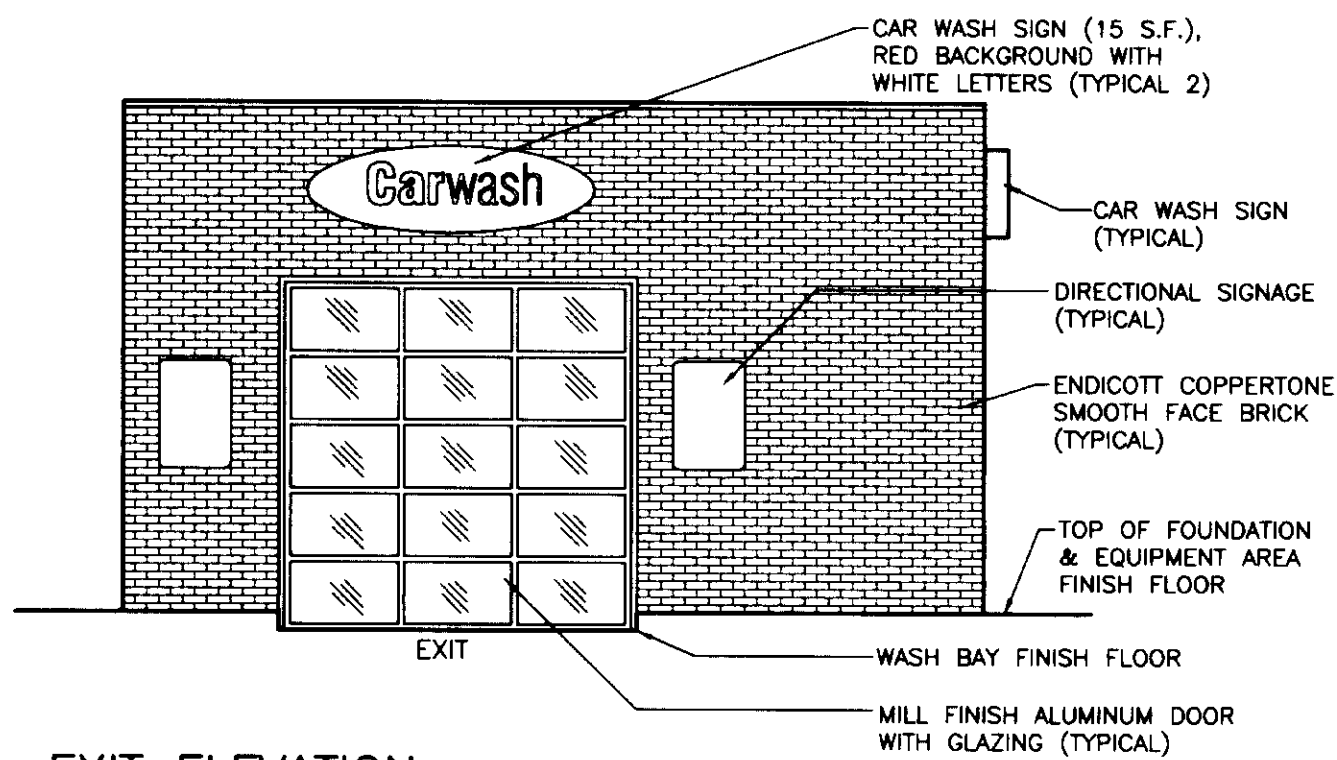
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CONOCO AT FOUNDERS FINAL PD
BUILDING ELEVATIONS

I-25 & FOUNDERS PKWY		CASTLE ROCK, CO	
Designed By: PSH	Date: APRIL 1998	Sht 6 of 8	
Drawn By: PSH	Scale: 3/16" = 1'-0"		
Checked By: MDC	Disk File: C076FEL1		

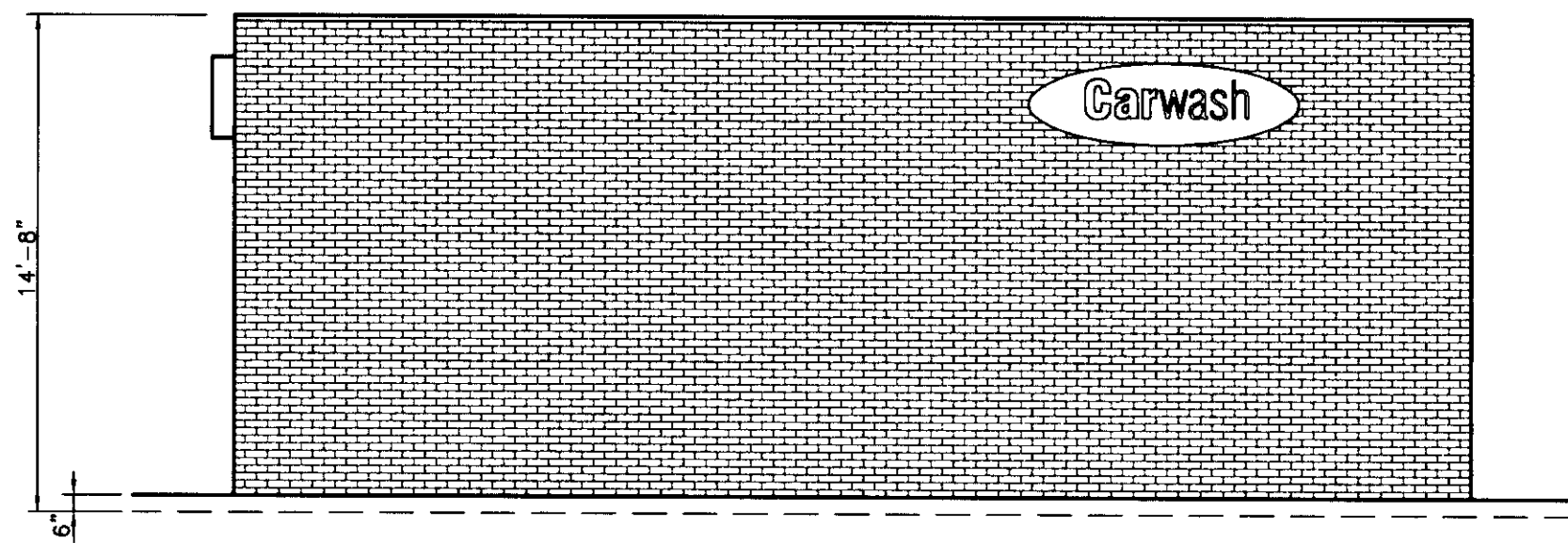
CONOCO AT FOUNDERS FINAL PD SITE PLAN

LOT 1, CONOCO AT FOUNDERS FILING NO. 1,
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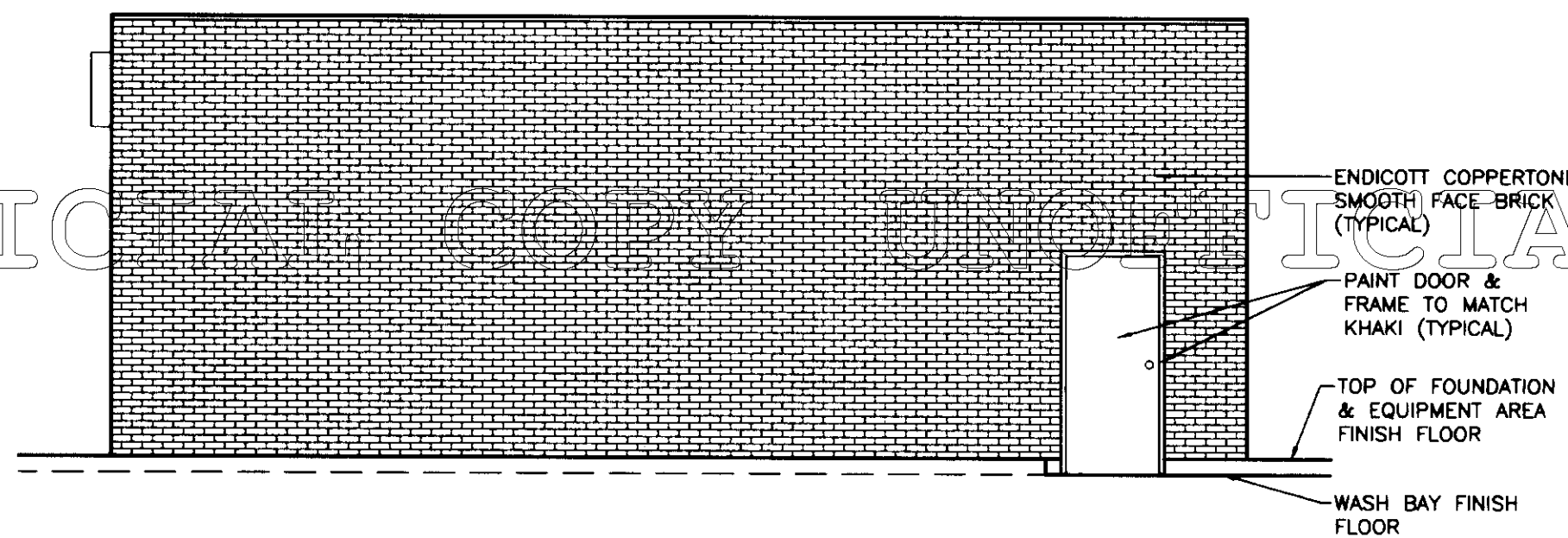
EXIT ELEVATION

SCALE: 3/16" = 1'-0"



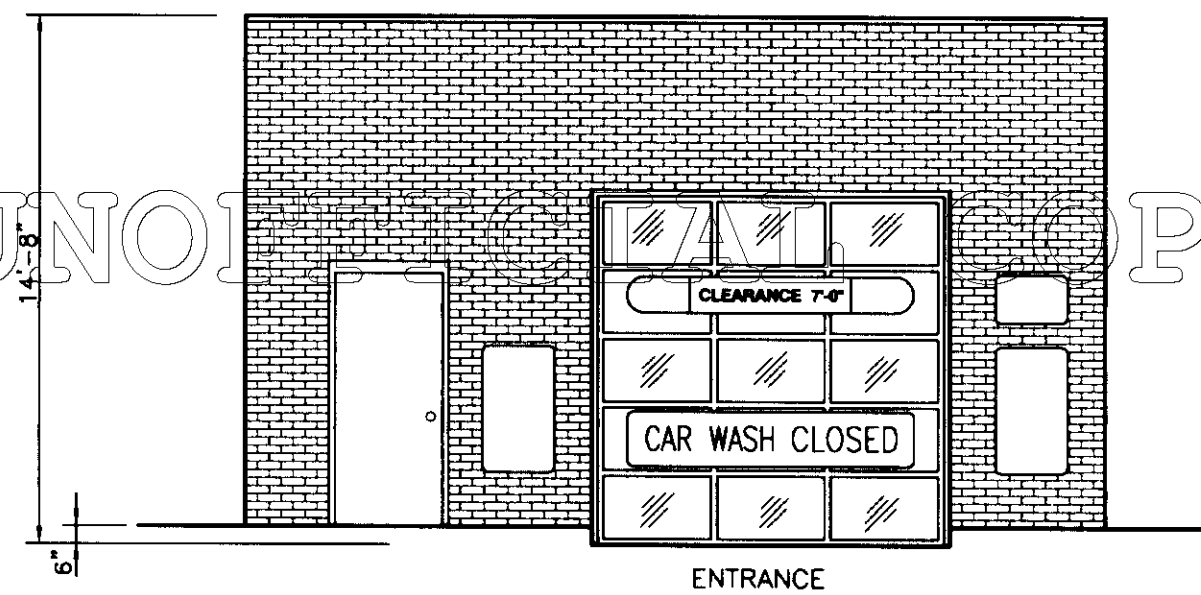
SIDE ELEVATION (EQUIPMENT ROOM SIDE) (EAST)

SCALE: 3/16" = 1'-0"



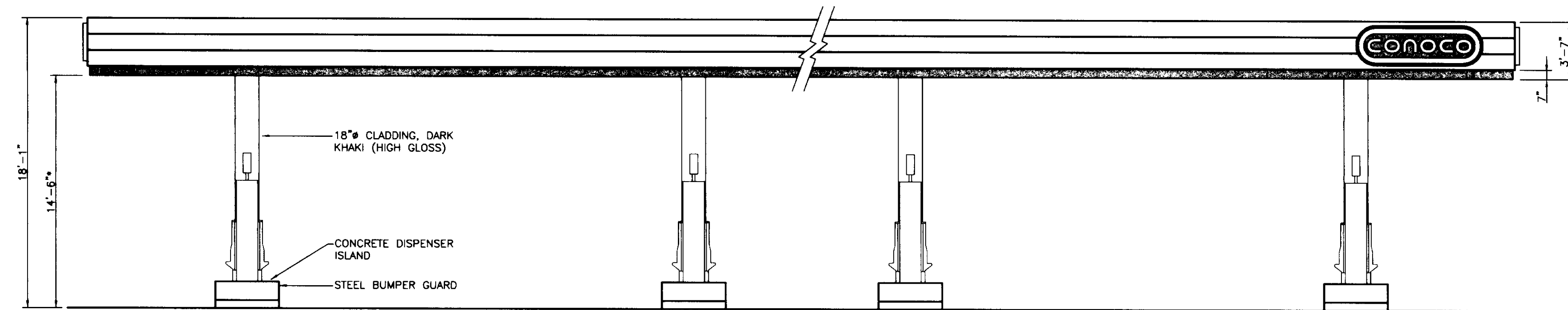
SIDE ELEVATION (WEST SIDE)

SCALE: 3/16" = 1'-0"



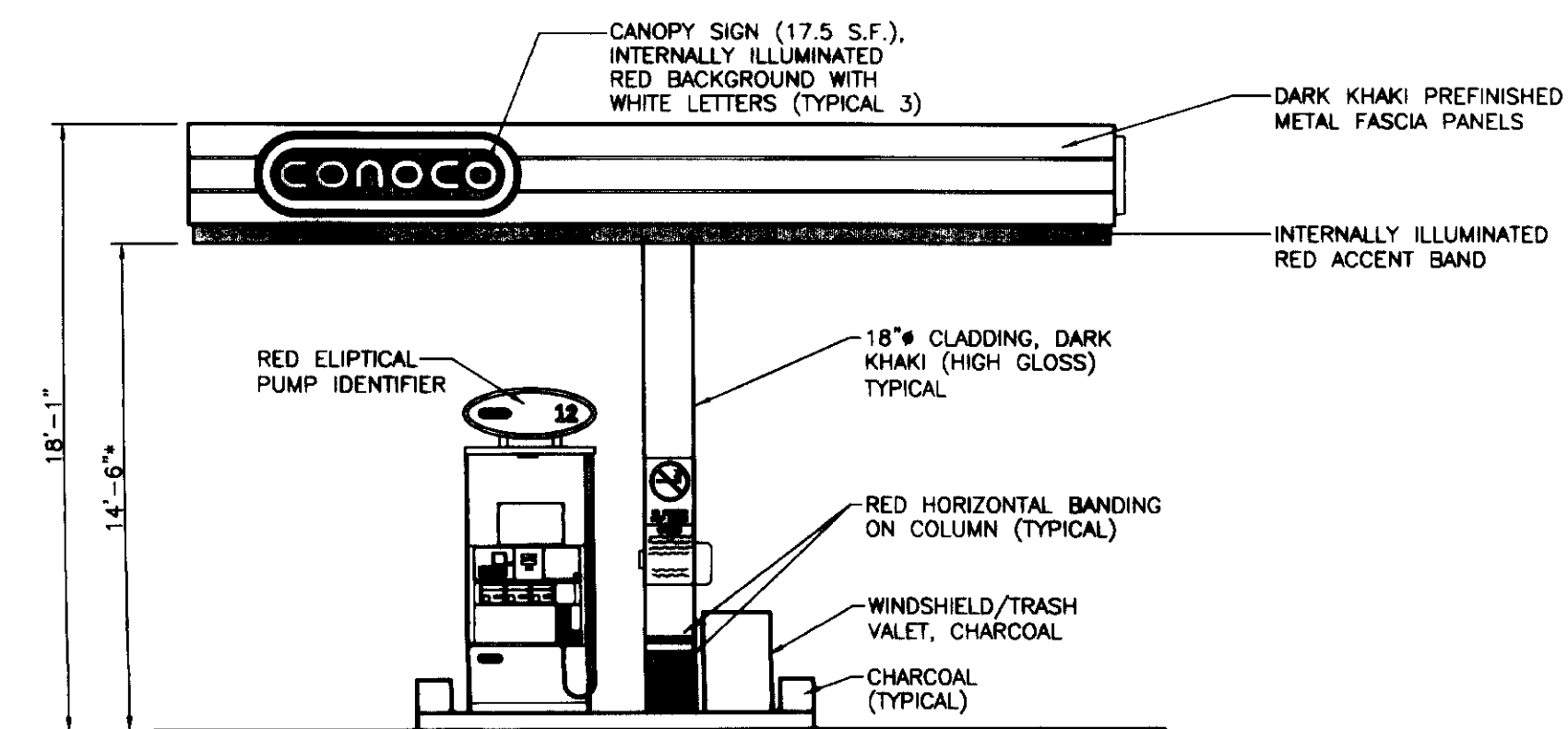
ENTRANCE ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION (NORTH SIMILAR W/OUT SIGNAGE)

SCALE: 3/16" = 1'-0"



EAST ELEVATION (WEST SIMILAR)

SCALE: 3/16" = 1'-0"

NOTE:

ALL COLORS AND DIMENSIONS ARE TYPICAL UNLESS NOTED OTHERWISE.

** FROM HIGHEST POINT UNDER CANOPY, PRELIMINARY GRADING PLAN GIVES A RANGE OF 14'-6" MINIMUM TO 16'-0" MAXIMUM. VERIFY WITH FINAL GRADING PLAN.

REVISIONS				ORIGINAL ISSUE: 12/9/97		
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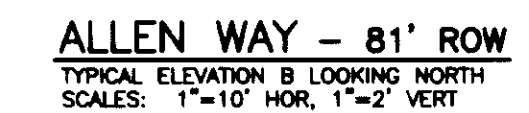
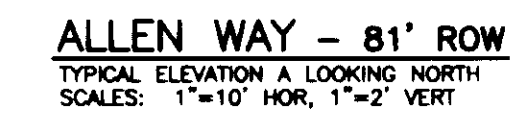
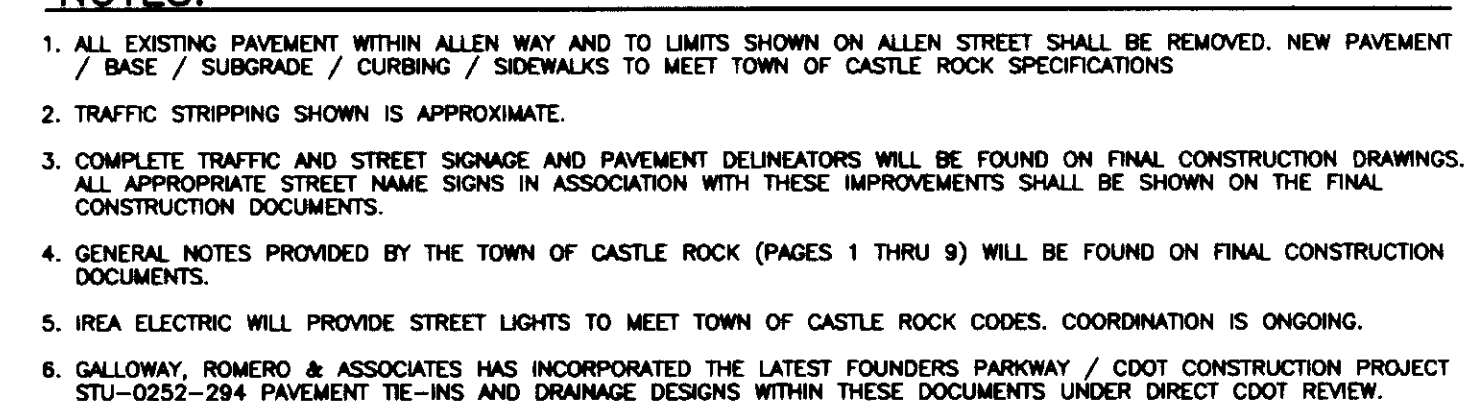
CONOCO AT FOUNDERS FINAL PD
CAR WASH AND CANOPY ELEVATIONS

I-25 & FOUNDERS PKWY				CASTLE ROCK, CO	
Designed By:	PSH	Date:	APRIL 1998	Sht	7 of 8
Drawn By:	PSH	Scale:	3/16" = 1'-0"		
Checked By:	MDC	Desk File:	C076CCCL		

LOT 1, CONOCO AT FOUNDERS FILING NO. 1,
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WATER QUALITY OUTLET AND
10 YEAR ORIFICE STRUCTURE



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I-25 & FOUNDERS PARKWAY		CASTLE ROCK, CO	
Designed By: DFS	Date: APRIL, 1998	Sht	8 OF 8
Drawn By: EVR	Scale: AS NOTED		
Checked By: DFS	Plot File: C078057		