

292  
201

OFFICIAL RECORDS  
DOUGLAS COUNTY CO  
CAROLE R. MURRAY  
CLERK & RECORDER  
RECORDING FEE: \$291.00  
30 PGS



2006019897 30 PGS

# 2006019897  
03/10/2006 02:37 PM

### PLAT IDENTIFICATION SHEET

Timber Ridge, LLC

GRANTOR(owner)

Brookwood 1 Preliminary Plat/Final PD Site Plan

GRANTEE(name of plat)

# UNOFFICIAL COPY

Brookwood

Subdivision/Condo Name

1

Filing

Phase

Lot

Building

Block

Unit

25

7

67

OLD LEGAL(Section)

(Township)

(Range)

2005105421

Cross reference#s (reception#s Book – Page)

# Brookwood Subdivision Filing No. 1

A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W.,  
6th P.M., Town of Castle Rock, County of Douglas, State of Colorado

## Preliminary Plat/Final PD Site Plan ~ Cover Sheet

**Property Description**

PARCEL I  
A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING ASSUMED TO BEAR N 02°15'52" W;

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF SECTION 25; THENCE ALONG THE SOUTHERLY BOUNDARY OF DIAMOND RIDGE ESTATES FILING NO. 1 THE FOLLOWING THREE (3) COURSES:

1. N 02°47'08" E, A DISTANCE OF 552.87 FEET;
2. N 02°14'35" W, A DISTANCE OF 329.00 FEET;
3. N 44°56'25" E, A DISTANCE OF 1610.00 FEET;

THENCE ALONG THE NORTHERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED IN A QUIT CLAIM DEED RECORDED UNDER RECEPTION NUMBER DC9560540 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER ALSO BEING THE SOUTHERLY BOUNDARY OF SAID DIAMOND RIDGE ESTATES FILING NO. 1 THE FOLLOWING FIVE (5) COURSES:

1. S 50°11'37" E, A DISTANCE OF 147.99 FEET;
2. N 45°42'26" E, A DISTANCE OF 51.43 FEET;
3. S 47°41'27" E, A DISTANCE OF 612.58 FEET;
4. S 50°31'41" E, A DISTANCE OF 478.94 FEET;
5. S 46°32'07" E, A DISTANCE OF 283.28 FEET;

THENCE ALONG THE EASTERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED UNDER RECEPTION NUMBER DC9644454 N THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER THE FOLLOWING TWO (2) COURSES:

1. S 28°42'29" W, A DISTANCE OF 119.25 FEET;
2. S 27°39'12" W, A DISTANCE OF 358.23 FEET;

THENCE IN 63°46'05" W, A DISTANCE OF 454.95 FEET;  
THENCE S 28°13'55" W, A DISTANCE OF 242.00 FEET;  
THENCE S 63°46'05" E, A DISTANCE OF 428.95 FEET;  
THENCE ALONG THE WESTERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED UNDER RECEPTION NUMBER DC9644454 N THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER,

S 27°39'12" W, A DISTANCE OF 440.02 FEET;  
THENCE S 89°13'55" W ALONG THE EAST-WEST CENTERLINE OF SAID SECTION 25, A DISTANCE OF 1790.12 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 3,074,575 SQUARE FEET OR 70.58 ACRES, MORE OR LESS.

PARCEL II

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING ASSUMED TO BEAR N 02°15'52" W;

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF SECTION 25; THENCE N 89°13'55" E, A DISTANCE OF 1790.12 FEET TO THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED UNDER RECEPTION NUMBER DC9644454 N THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER; THENCE ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND, N 27°39'12" W, A DISTANCE OF 440.02 FEET TO THE POINT OF BEGINNING;

THENCE N 63°46'05" W, A DISTANCE OF 428.95 FEET;

THENCE N 26°13'55" E, A DISTANCE OF 242.00 FEET;

THENCE S 63°46'05" E, A DISTANCE OF 434.95 FEET;

THENCE ALONG THE WESTERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED UNDER RECEPTION NUMBER DC9644454 N THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER,

S 27°39'12" W, A DISTANCE OF 242.07 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 104,531 SQUARE FEET OR 2.40 ACRES, MORE OR LESS.

**Ownership Certification**

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE BROOKWOOD SUBDIVISION FILING NO. 1 IN THE TOWN OF CASTLE ROCK.

TIMBER RIDGE, L.L.C., A COLORADO LIMITED LIABILITY COMPANY.

SIGNED THIS 22 DAY OF Feb 2006

BY: REX WEIMER, AS MANAGER

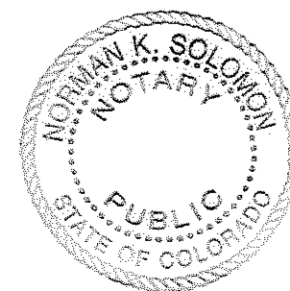
COUNTY OF DOUGLAS )

STATE OF COLORADO )

THE FOREGOING OWNERSHIP CERTIFICATION WAS ACKNOWLEDGED BEFORE ME THIS 22 DAY OF Feb 2006 BY REX WEIMER, AS MANAGER OF TIMBER RIDGE, L.L.C., A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND SEAL MY COMMISSION EXPIRES: 26 NOV 2009

NOTARY PUBLIC  
6480 E ORCHARD #1100  
GREENWOOD VILLAGE, CO  
ADDRESS



**COSTIN ENGINEERING CONSULTANTS, INC.**

ENGINEERING  
LAND SURVEYING  
CONSTRUCTION MANAGEMENT  
7353 S. Alton Way, Suite A115  
Englewood, Colorado 80112  
PH (303) 790-4969

Rev. Per City Comments 12/10/02  
Rev. Per City Comments 03/06/03  
Rev. Per City Comments 03/03/04  
Rev. Per City Comments 01/03/05  
Rev. Per City Comments 04/22/05  
Rev. Per City Comments 02/06/06  
PROJ. NO. 411.0024

**Lienholder Subordination Certificate**

THE UNDERSIGNED ARE ALL THE MORTGAGE AND LIENHOLDERS OF CERTAIN LANDS KNOWN AS BROOKWOOD SUBDIVISION FILING NO. 1 IN THE TOWN OF CASTLE ROCK.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON NOVEMBER 1, 2005, RECEPTION NO. 2005105421, DOUGLAS COUNTY, COLORADO, SUBORDINATE THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

SIGNED THIS 21 DAY OF February 2006

BY: John Lozano  
COMPASS BANK, AN ALABAMA BANKING CORPORATION  
JOHN LOZANO, AS VICE PRESIDENT

COUNTY OF DOUGLAS )

STATE OF COLORADO )

THE FOREGOING LIENHOLDER SUBORDINATION CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 21 DAY OF February 2006, BY JOHN LOZANO, AS VICE PRESIDENT OF COMPASS BANK, AN ALABAMA BANKING CORPORATION

WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES: 7/25/06

Danella K. Kalle  
NOTARY PUBLIC  
800 E. ORCHARD #1100  
GREENWOOD VILLAGE, CO 80119  
ADDRESS



**Surveyor's Statement:**

I, Paul D. Nelson, Jr., being a registered land surveyor in the State of Colorado, do hereby attest that the graphic boundary depicted on this preliminary plat is a true and accurate representation of the officially recorded legal description. Furthermore, I do hereby attest that this preliminary plat is in conformance with all Town of Castle Rock and State of Colorado land subdivision regulations.

Paul D. Nelson, Jr.  
Paul D. Nelson, Jr., L.S. #11330  
Date 3/6/06

**Civil Engineer's Statement:**

I, William E. Miller, being a registered professional engineer in the State of Colorado, hereby attest that all grading, utility and drainage improvements identified on this preliminary plat have been designed and engineered in conformance with all Town of Castle Rock Public Works Construction Standards.

William E. Miller  
William E. Miller, P.E. # 13389  
Date 3/6/06

**Title Certificate**

I, David W. Knapp, BEING AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Co., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND DEDICATION.

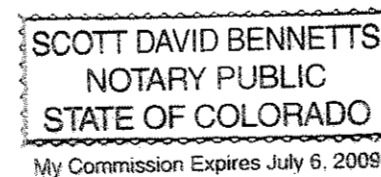
SIGNED THIS 28<sup>th</sup> DAY OF February 2006

AUTHORIZED REPRESENTATIVE  
Land Title Guarantee Company  
TITLE INSURANCE COMPANY

THE FOREGOING TITLE INSURANCE CERTIFICATION WAS ACKNOWLEDGED BEFORE ME THIS 28<sup>th</sup> DAY OF February 2006 BY David W. Knapp AS TITLE OFFICER OF Land Title Guarantee Company

WITNESS MY HAND AND SEAL MY COMMISSION EXPIRES: 26 Nov 2009

Scott David Bennetts  
NOTARY PUBLIC  
ADDRESS 14001 E. 14th Ave. #200  
DENVER CO 80204



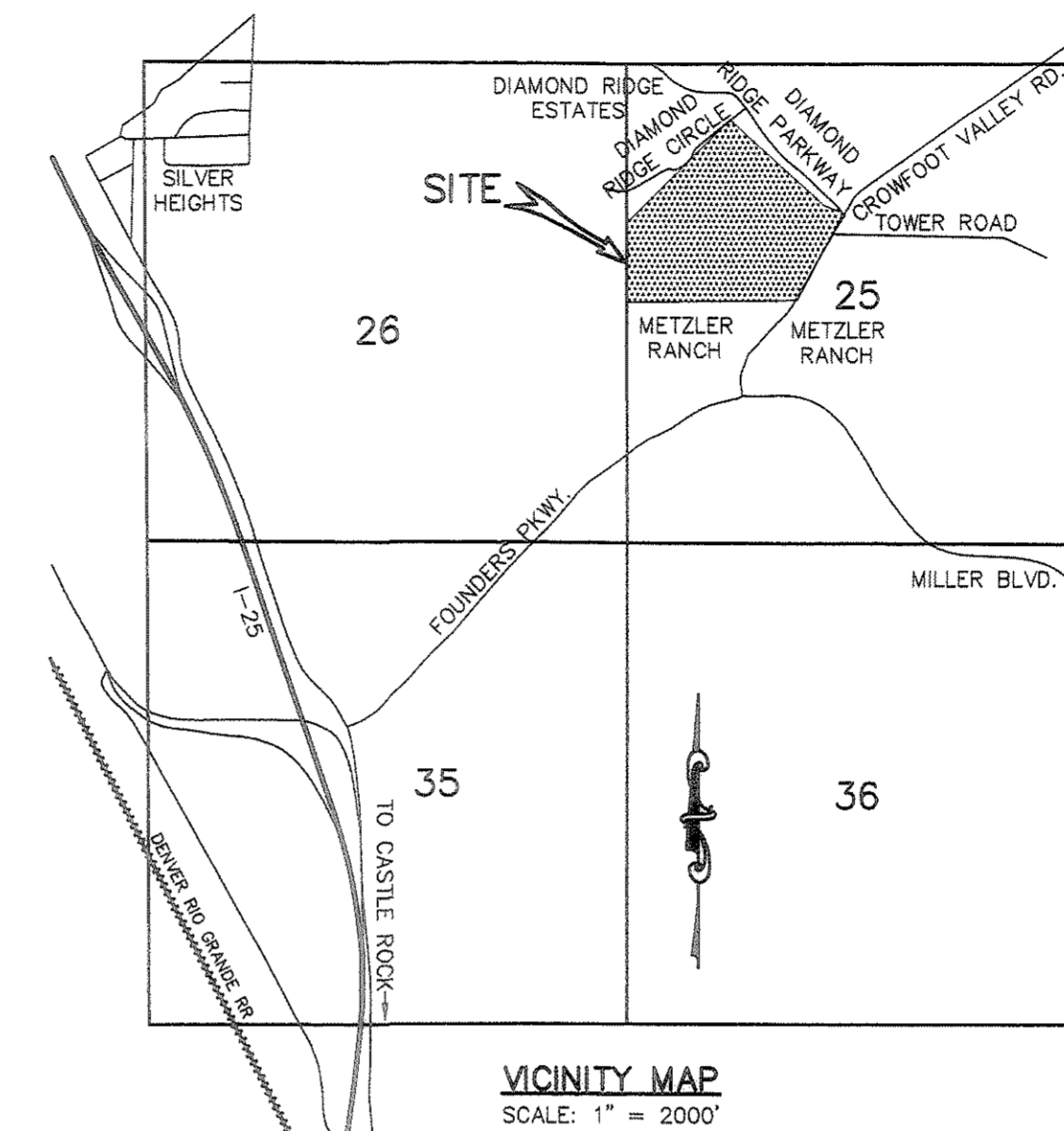
**Contacts  
Owners/Developer:**

TIMBER RIDGE, LLC  
A COLORADO LIMITED LIABILITY COMPANY  
8480 E. ORCHARD ROAD, SUITE 1100  
GREENWOOD VILLAGE, COLORADO 80111  
(303) 779-7979/FAX (303) 779-7979  
MR. REX WEIMER, MANAGER

**Lienholder:**  
COMPASS BANK, AN ALABAMA BANKING CORPORATION  
899 18TH STREET, SUITE 2800  
DENVER, CO 80202  
303-217-2238  
MR. JOHN LOZANO,  
VICE PRESIDENT

**Engineer & Surveyor**  
COSTIN ENGINEERING CONSULTANTS, INC.  
7353 S. ALTON WAY, SUITE A115  
ENGLEWOOD, COLORADO 80112  
(303) 790-4969 Fax (303) 790-4967  
WILLIAM E. MILLER, PE # 13389  
PAUL D. NELSON, JR. LS # 11330

**Landscape Architect**  
TIM DUNN DESIGN, LLC  
6948 DAVENTRY PLACE  
CASTLE ROCK, COLORADO 80104  
(303) 814-7778



**Benchmark:**  
Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway. 3 1/2 Aluminum Cap marked 'Douglas County'. Elev. 6271.01

**Town Certification:**

A. PLANNING COMMISSION RECOMMENDATION:  
The Brookwood Subdivision, Filing No. 1 was recommended for approval by the Planning Commission of the Town of Castle Rock, Colorado, on the 24<sup>th</sup> day of July, 2005.

Michael Johnson  
CHAIRMAN  
DATE 3/2/2006

Christina  
DIRECTOR OF DEVELOPMENT SERVICES  
DATE 3/2/06

B. TOWN COUNCIL APPROVAL  
The Final PD Site Plan for the Brookwood Subdivision, Filing No. 1 PD were approved by the Town Council of the Town of Castle Rock, Colorado, on the 9<sup>th</sup> day of December, 2005.

Jack P. Kerd  
MAYOR  
DATE 3/9/06

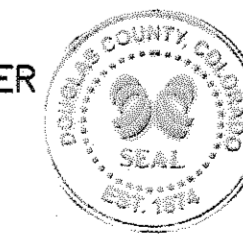
ATTEST:  
Kelly Miller  
TOWN CLERK  
DATE 3/9/06

**Douglas County Clerk and Recorder's Certificate:**

This Plat was filed for record in the office of the County Clerk and Recorder of Douglas County at 227 .m on the 10<sup>th</sup> day of March, 2006. In Reception No. 2006019897

DOUGLAS COUNTY CLERK AND RECORDER

BY: Tulayee Lee  
DEPUTY



Brookwood Subdivision Filing No. 1  
Preliminary Plat/Final PD Site Plan-Cover Sheet  
Sheet 1 of 28

Castle Rock Development Services  
Department

Date

**Notes:**

- THERE ARE NO FEMA REGULATED FLOODPLAINS OR WETLANDS ON THE SITE.
- THERE ARE NO EXISTING MAJOR UTILITIES ON THE SITE.
- THE CONTOUR INTERVAL IS 2'.
- ALL PLD WILL BE CASH-IN-LIEU AND PAID AT THE TIME OF FINAL PLAT.
- TRACT A - PRIVATE OPEN SPACE  
TRACT B - PRIVATE OPEN SPACE AND DRAINAGE  
TRACT C - PRIVATE OPEN SPACE AND SIGNAGE  
TRACT D - PRIVATE OPEN SPACE AND DRAINAGE  
TRACT E - PRIVATE OPEN SPACE, DRAINAGE AND SIGNAGE  
TRACT F - PRIVATE OPEN SPACE AND DRAINAGE  
TRACT G - PRIVATE OPEN SPACE, DRAINAGE AND SIGNAGE  
TRACT H - PRIVATE OPEN SPACE AND DRAINAGE  
TRACT I - PRIVATE OPEN SPACE  
ALL TRACTS WILL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING BUT NOT LIMITED TO, INLETS, PIPES, CURVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS TO LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENT AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
- ALL STREETS IN THIS SUBDIVISION WILL BE BUILT TO TOWN OF CASTLE ROCK STANDARDS:  
WHITE FIR TERRACE - 50' RIGHT OF WAY AND A FLOWLINE-TO-FLOWLINE WIDTH OF 36'  
TIMBER CANYON ROAD - 70' RIGHT OF WAY AND A FLOWLINE-TO-FLOWLINE WIDTH OF 32'  
GAMBEL OAK CIRCLE, GAMBEL OAK COURT AND KNOTTY PINE WAY-50' RIGHT OF WAY AND A FLOWLINE TO FLOWLINE WIDTH OF 28'.
- THE PRELIMINARY PLAT/FINAL PD SITE PLAN OF BROOKWOOD SUBDIVISION FILING NO. 1 WILL BE CONSTRUCTED IN PHASES. SEE PHASE MAP.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS.
- THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED BY NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- ALL UTILITIES, DRAINAGE AND EMERGENCY ACCESS, & SIGHT DISTANCE EASEMENTS AS SHOWN ON THE PRELIMINARY PLAT SHALL BE DEDICATED TO THE TOWN OF CASTLE ROCK WITH THE FINAL PLAT.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS AS SHOWN ON THIS PRELIMINARY PLAT/FINAL PD SITE PLAN. TREES WITH A DIAMETER NO GREATER THAN TWELVE (12) INCHES AND A BRANCHING HEIGHT NO LESS THAN EIGHT(8) FEET WILL BE ALLOWED IN A SIGHT DISTANCE EASEMENT AS LONG AS IT CAN BE DEMONSTRATED THAT THESE TREES WILL NOT NEGATIVELY IMPACT THE VEHICULAR SIGHT DISTANCE AT THE INTERSECTION.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE FIVE-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES, AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE ORDINANCE. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.14 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES. MODERATE SKYLINE HAS A MAXIMUM HEIGHT OF 25 FEET-MINOR SKYLINE IS A MAXIMUM OF 35 FEET.
- SEE LANDSCAPE SHEETS FOR PLANTING INFORMATION.
- THE FIRE CODE REQUIRES THAT NO LANDSCAPING, FENCING OR ANY OTHER OBSTRUCTIONS BE PLACED WITHIN THREE FEET OF A FIRE HYDRANT.
- SURFACE ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAVE BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT.
- ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND SERVICEABLE PRIOR TO AND DURING ALL CONSTRUCTION.
- RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, AND ON ALL THROUGH AND ANY AND ALL PRIVATE ROADS AND DRIVES.
- ALL ROADS AND DRIVES ARE HEREBY DESIGNATED AS FIRE LANES WHEN REQUIRED BY THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT. ALL FIRE LANES SHALL BE POSTED "NO PARKING FIRE LANES".
- COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.
- RETAINING WALLS WILL BE DECORATIVE BLOCK WALL OR DRY STACK (NATURAL STONE). RETAINING WALLS OR SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT. CALL THE BUILDING DEPARTMENT (720-733-3529) FOR A DETERMINATION OF THE I NEED FOR A BUILDING PERMIT FOR TIERED RETAINING WALLS. (SEE ITEM "C" UNDER FENCING RESTRICTIONS)
- ANY DEVIATION FROM TOWN OF CASTLE ROCK STANDARDS ARE SUBJECT TO FINAL REVIEW AT THE FINAL PLAT STAGE.
- ALL DRIVEWAY LOCATION & DESIGN ARE TO BE REVIEWED BY PUBLIC WORKS AT THE TIME OF BUILDING PERMIT APPLICATION FOR ACCESS, LOCATION AND SAFETY OF DESIGN.

# Brookwood Subdivision Filing No. 1

A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W.,  
6th P.M., Town of Castle Rock, County of Douglas, State of Colorado

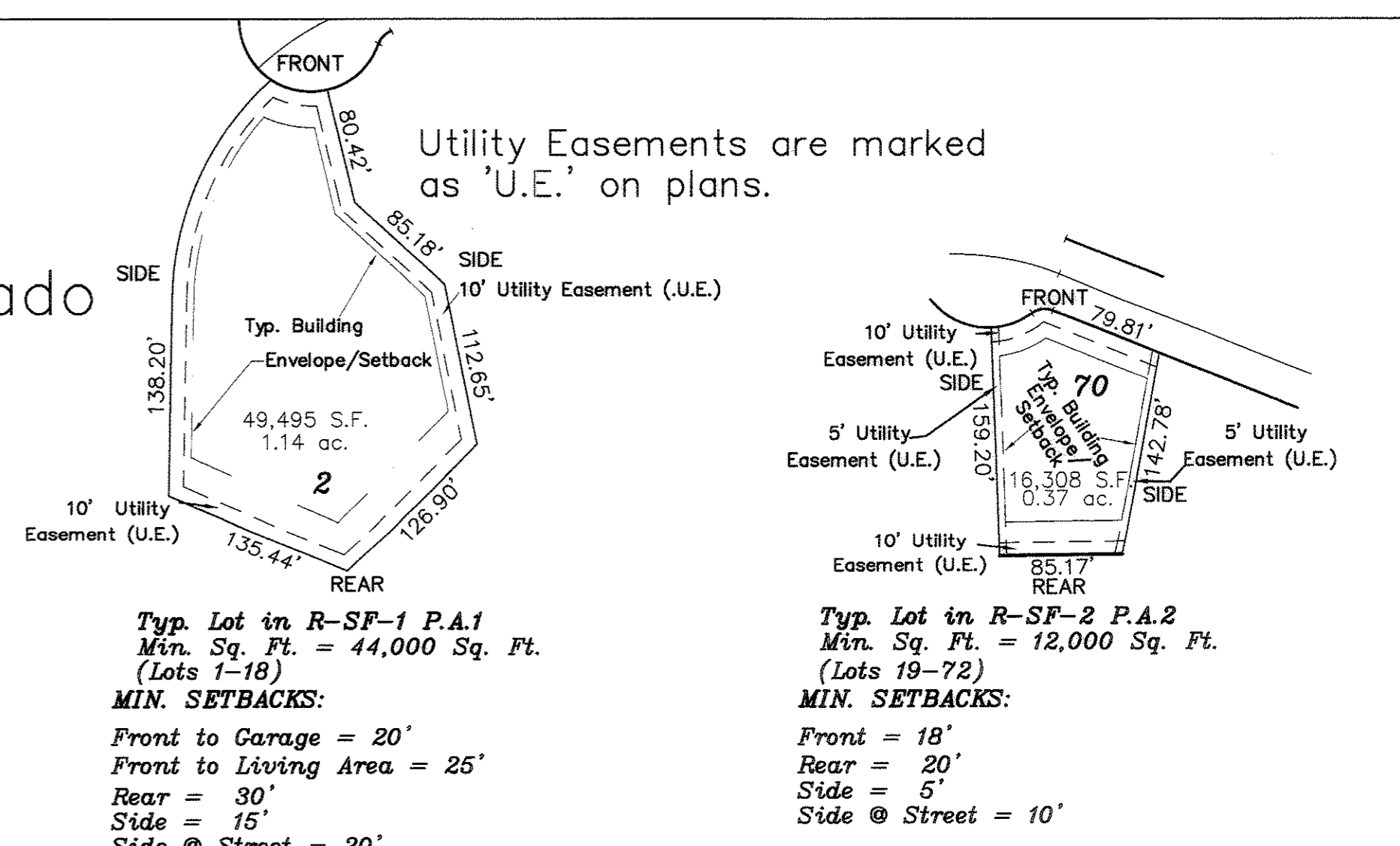
## Preliminary Plat/Final PD Site Plan ~ Notes & Details

### Urban/Wildland Interface Area Vegetation Management Plan

- A. WITHIN 30 FEET OF A STRUCTURE (Building Envelope and Immediate Area)**
- CREATE A "DEFENSIBLE SPACE" TO REDUCE THE LIKELIHOOD OF A DAMAGING WILDFIRE IN THE IMMEDIATE VICINITY OF THE HOME. DEFENSIBLE SPACE IS THE AREA WHERE VEGETATION HAS BEEN DESIGNED, INSTALLED AND MAINTAINED TO REDUCE THE POSSIBILITY OF FIRE SPREADING BETWEEN THE LANDSCAPE AND THE BUILDING.
  - IF NATIVE VEGETATION HAS BEEN SUCCESSFULLY RETAINED IN THIS AREA, PRUNE TREE CANOPIES FROM THE GROUND UP TO A MINIMUM HEIGHT OF 8 FEET. REMOVE ANY SMALL OR SUPPRESSED STEMS IN THE UNDER STORY OF DOMINANT TREES.
  - WHEN PRESENT, THIN ANY SHRUBS, PARTICULARLY GAMBLE OAK GROWING BELOW THE CANOPY OF LARGER RETAINED TREES.
  - PRUNE RETAINED CONIFEROUS TREES TO MINIMIZE CROWN OVERLAP; ISOLATE INDIVIDUAL TREES BY PRUNING BACK CANOPIES TO CREATE A SEPARATION BETWEEN TREES.
  - THIN DENSE, CONTINUOUS GAMBLE OAK STANDS AND PRUNE TALLER SPECIMENS UP FROM THE GROUND TO CREATE A MORE OPEN, TREE-LIKE FORM. REMOVE SECTIONS OF LARGE BUT LOW GROWING STANDS TO CREATE DISCONTINUOUS ISLANDS OF VEGETATION.
  - INSTALL A CONTINUOUS NON-IRRIGATED ROCK MULCH BED FOR MINIMUM OF 3 FEET AROUND THE PERIMETER OF THE BUILDING.
  - MINIMIZE FOUNDATION-TYPE PLANTINGS, ESPECIALLY ADJACENT TO COMBUSTIBLE SIDING. KEEP ALL SHRUBS PLANTING A MINIMUM OF 3 TO 5 FEET FROM THE FOUNDATION. EXCLUDE MORE FLAMMABLE SHRUB SPECIES (CONIFEROUS EVERGREENS) AND SPACE SHRUBS TO CREATE LOW, NON-CONTINUOUS PLANTS NEAR THE BUILDING.
  - PLANT ONLY DECIDUOUS TREE SPECIES WITHIN THIS ZONE. PROVIDE IRRIGATION AS REQUIRED FOR THE SUCCESSFUL ESTABLISHMENT AND LONG TERM HEALTH OF NEW TREES.
  - PLANT TREES FAR ENOUGH AWAY FROM THE BUILDING THAT, AT MATURITY, TREE CANOPIES WILL NOT OVERHANG THE ROOF.
  - PLANT SOD OR SEED WITH FIRE RESISTANT GRASS SEED MIXES.
  - PROVIDE IRRIGATION TO TURF GRASSES WITHIN THIS AREA TO PREVENT SUMMER DORMANCY
  - MAINTAIN TURF GRASS HEIGHT TO A MAXIMUM OF 6 INCHES.
  - PLANT WILDFLOWERS ONLY IF THEY WILL BE IRRIGATED AND WILL BE CUT BACK TO A MAXIMUM HEIGHT OF 8 INCHES AT THE END OF THE GROWING SEASON (FOLLOW SEED PRODUCTION).
  - DISPOSE OF ALL SLASH OR PLANT TRIMMINGS OUTSIDE OF THIS ZONE (OFFSITE OR IN AREA C).
- B. BETWEEN 30 FEET AND 125 FEET FROM THE STRUCTURE (Tree Preservation Area)**
- NOTE THAT THE EXTENT OF THIS ZONE IS AFFECTED BY SLOPE, IS GREATER WHEN STRUCTURES ARE AT THE TOP OF THE SLOPE OR ON LEVEL GROUND.
- CLEAR SMALL DIAMETER, SNOW BENT, DISEASED, DAMAGED OR SUPPRESSED STEMS IN THE UNDER STORY OF LARGER PINE TREES.
  - PRUNE TO RAISE THE CANOPY OF LARGE, EXISTING TREES TO 8-15 FEET ABOVE THE GROUND.
  - THIN SHRUBS GROWING DIRECTLY BENEATH LARGER TREES PER SECTION A, NO. 2 ABOVE.
  - REMOVE ANNUALLY, DEAD STEMS AND BRANCHES FROM SHRUBS AND TREES.
  - SPACE NEWLY PLANTED TREES AND LARGE SHRUBS AT LEAST 20-25 FEET APART TO PROVIDE A MINIMUM OF 10 FEET BETWEEN CROWNS AT MATURITY.
  - PRUNE THE BRANCHES OF SMALLER OR NEWLY PLANTED TREES AS THEY GROW, UP TO A HEIGHT OF 8-15 FEET ABOVE THE GROUND. DO NOT OVER PRUNE THE CROWNS OF SMALLER TREES.
  - TRIM NATIVE GRASSES AND WILDFLOWERS IN THE FALL OR SPRING TO A MAXIMUM HEIGHT OF 8 INCHES.
  - DISPOSE OF ALL SLASH OR PLANT TRIMMINGS OFF SITE, OR BY BURNING (IF PERMITTED), CHIPPING OR CUTTING DOWN AND DISTRIBUTING THROUGHOUT THE AREA. BRUSH PILES FOR WILDLIFE SHOULD BE LOCATED AT THE OUTER LIMITS OF THIS ZONE.
  - RETAIN ONE TO TWO STANDING DEAD TREES PER ACRE FOR WILDLIFE HABITAT.
- C. BEYOND 125 FEET OF THE STRUCTURE (Preservation/Environmentally Sensitive Area)**
- CLEAR SMALLER UNDER STORY TREES AND SHRUBS PER SECTION B, NO. 1 ABOVE.
  - UNDER TAKE SELECTIVE THINNING TO IMPROVE HEALTH AND APPEARANCE OF WOODED AND NATIVE BRUSH AREAS.
  - REMOVE SMALLER TREES IN CROWDED STANDS TO INCREASE TREE SPACING.
  - RETAIN AN INCREASED NUMBER OF STANDING DEAD TREES PER ACRE FOR WILDLIFE HABITAT UNLESS THEY POSE A THREAT TO UTILITIES OR HUMAN USE.
  - SLASH OR PLANT TRIMMINGS MAY BE DISPOSED OF WITHIN THIS AREA.

### Fencing Restrictions Per Section 5.5 of the Brookwood PD Zoning Regulations:

- NO FENCES SHALL BE PERMITTED WITHIN SINGLE-FAMILY ESTATE OR SINGLE-FAMILY HOME PLANNING AREAS EXCEPT FOR PRIVATE PATIOS, DOG RUNS, ETC. ATTACHED TO THE PRINCIPAL STRUCTURE. SAID FENCE SHALL BE NO HIGHER THAN ALLOWED BY TOWN REGULATIONS, AND SHALL BE FINISHED IN A MANOR CONSISTENT WITH THE ARCHITECTURAL CHARACTER OF THE STRUCTURE. PROPERTY LINE FENCING IS NOT ALLOWED WITH THE EXCEPTION OF A PROJECT BOUNDARY FENCE. ANY SUCH BOUNDARY FENCE SHALL BE CONSTRUCTED SO AS NOT TO RESTRICT WILDLIFE MOVEMENT THROUGH THE SITE.
- FENCE PERMITS FROM THE TOWN OF CASTLE ROCK ARE REQUIRED FOR THE CONSTRUCTION OF ANY FENCE IN EXCESS OF CURRENT TOWN STANDARDS.
- RETAINING WALLS, WHICH ARE WITHIN THREE FEET OF A PUBLIC RIGHT-OF-WAY OR PUBLIC UTILITY, DRAINAGE OR OTHER EASEMENT, WHICH ARE IN EXCESS OF 30" IN HEIGHT, SHALL REQUIRE CERTIFICATION BY A PROFESSIONAL ENGINEER AS TO DESIGN AND STRUCTURAL STABILITY. TOWN OF CASTLE ROCK STANDARDS SHALL APPLY FOR ALL OTHER WALLS.
- NO BARBED WIRE OR ELECTRIC FENCE SHALL BE PERMITTED.
- NO FENCE OVER 42" IN HEIGHT SHALL BE PERMITTED WITHIN THE REQUIRED FRONT SETBACK.
- THE MAXIMUM HEIGHT OF ANY SINGLE RETAINING WALL SHALL NOT EXCEED EIGHT FEET.



- NOTE:
- SEE ZONING - SECTION 17.14.060 (C) 1, 2, 3, AND 4 FOR MITIGATION OF IMPACTS REGARDING COLORS, VEGETATION, FLOODLIGHTING AND EXPOSED BASEMENTS REGULATIONS WHICH AFFECT THE MODERATE AND MINOR SKYLINE LOTS. SEE LANDSCAPE PLANS FOR ADDITIONAL DETAILED REQUIREMENTS FOR VEGETATION AFFECTING THE ABOVE MENTIONED LOTS.
  - ALL HOMES **[REDACTED]** TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS PER CASTLE ROCK FIRE/RESCUE CODES.
  - THE ZONING FOR THIS PROJECT WAS RECORDED UNDER BROOKWOOD PRELIMINARY PD SITE PLAN AT RECEPTION # 2003150878 ON OCTOBER 15, 2003.
- DENOTES LOTS IN MODERATE SKYLINE AND SHALL CONFORM TO SKYLINE/RIDGELINE REGULATIONS
- △ DENOTES LOTS IN MINOR SKYLINE AND SHALL CONFORM TO SKYLINE/RIDGELINE REGULATIONS

### Setback Rules & Lot Information:

NUMBER OF DWELLING UNITS/RESIDENTIAL MINIMUM 44,000 SQUARE FOOTAGE. (LOTS 1-18) -- 23.07 ACRES) = 18	MINIMUM SETBACKS LOTS 1-18:	FROM PROJECT BOUNDARY (ALL)	= 25'
		FRONT TO GARAGE	= 20'
		FRONT TO LIVING AREA	= 25'
		REAR	= 30'
		SIDE	= 15'
		SIDE @ STREET	= 20'
		MINIMUM SQUARE FOOTAGE	= 44,000 SQ. FT.
		MINIMUM FRONTAGE ON CUL-DE-SAC	= 55'
NUMBER OF DWELLING UNITS/RESIDENTIAL MINIMUM 12,000 SQUARE FOOTAGE. (LOTS 19-72 -- 23.72 ACRES) = 54	MINIMUM SETBACKS LOTS 19-72:	FROM PROJECT BOUNDARY (ALL)	= 18'
		FRONT TO GARAGE	= 20'
		FRONT TO LIVING AREA	= 25'
		REAR	= 20'
		SIDE	= 5'
		SIDE @ STREET	= 10'
		MINIMUM SQUARE FOOTAGE	= 12,000 SQ. FT.
		MINIMUM FRONTAGE ON CUL-DE-SAC	= 35'

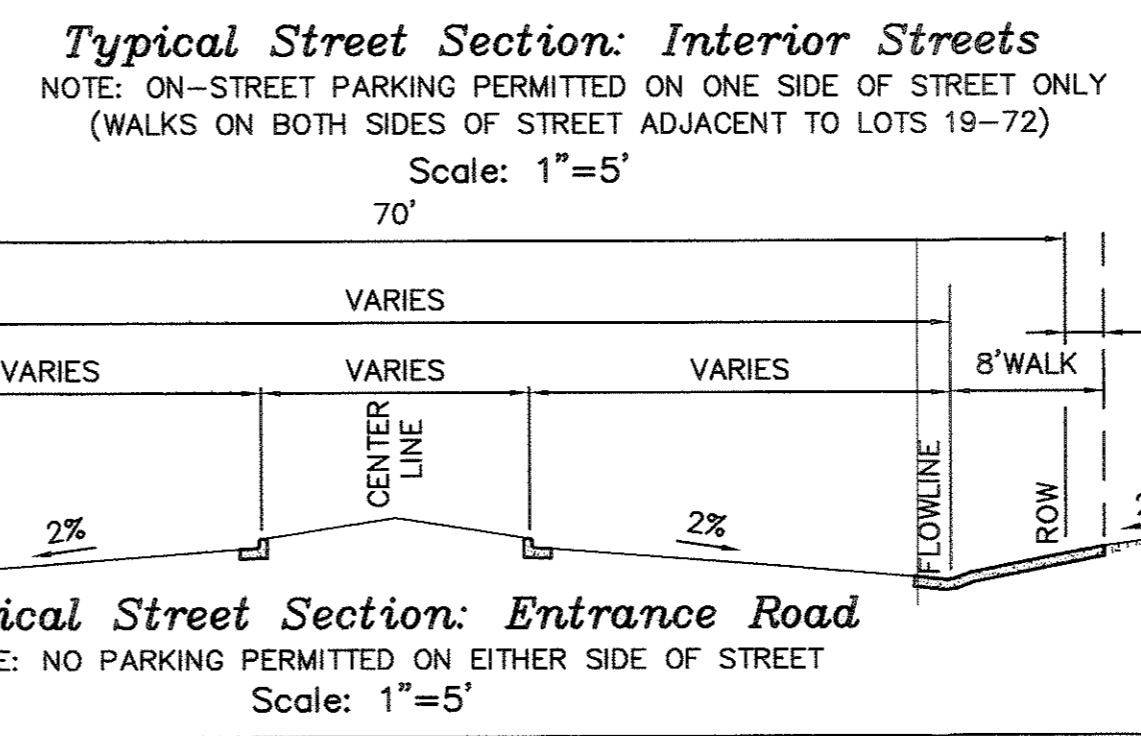
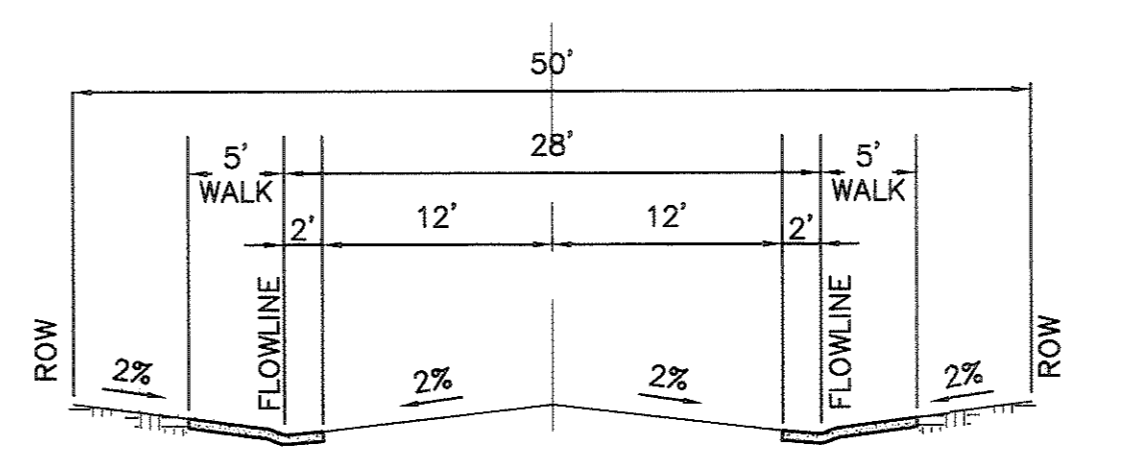
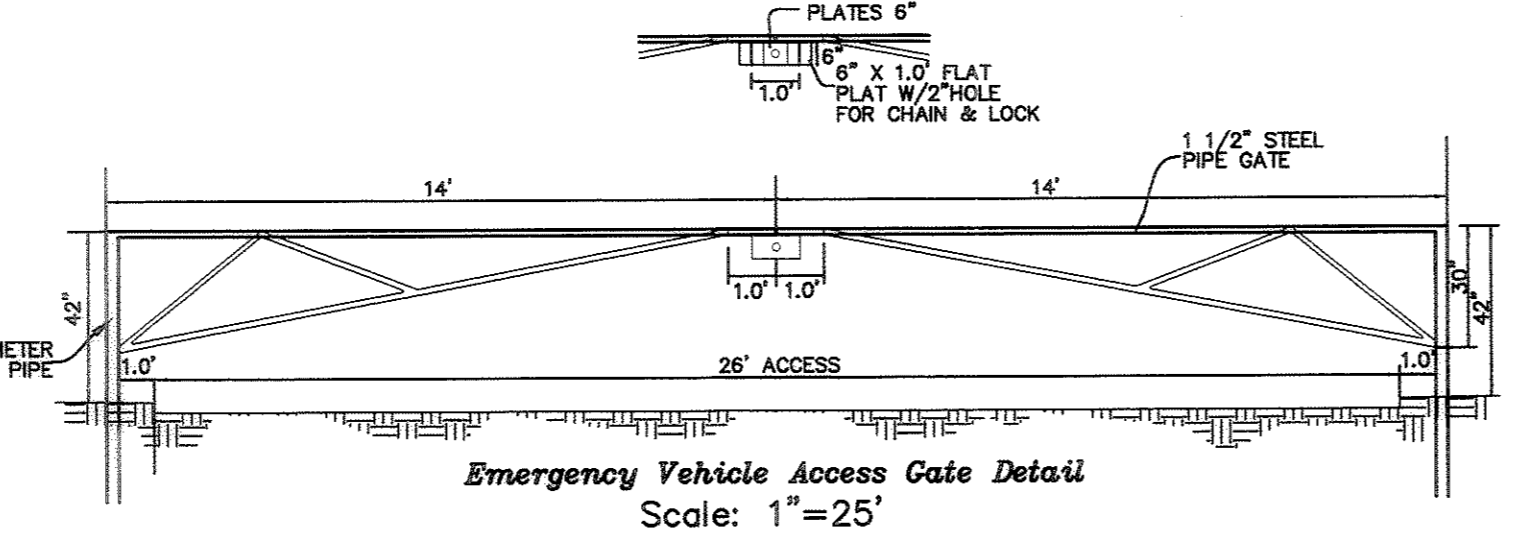
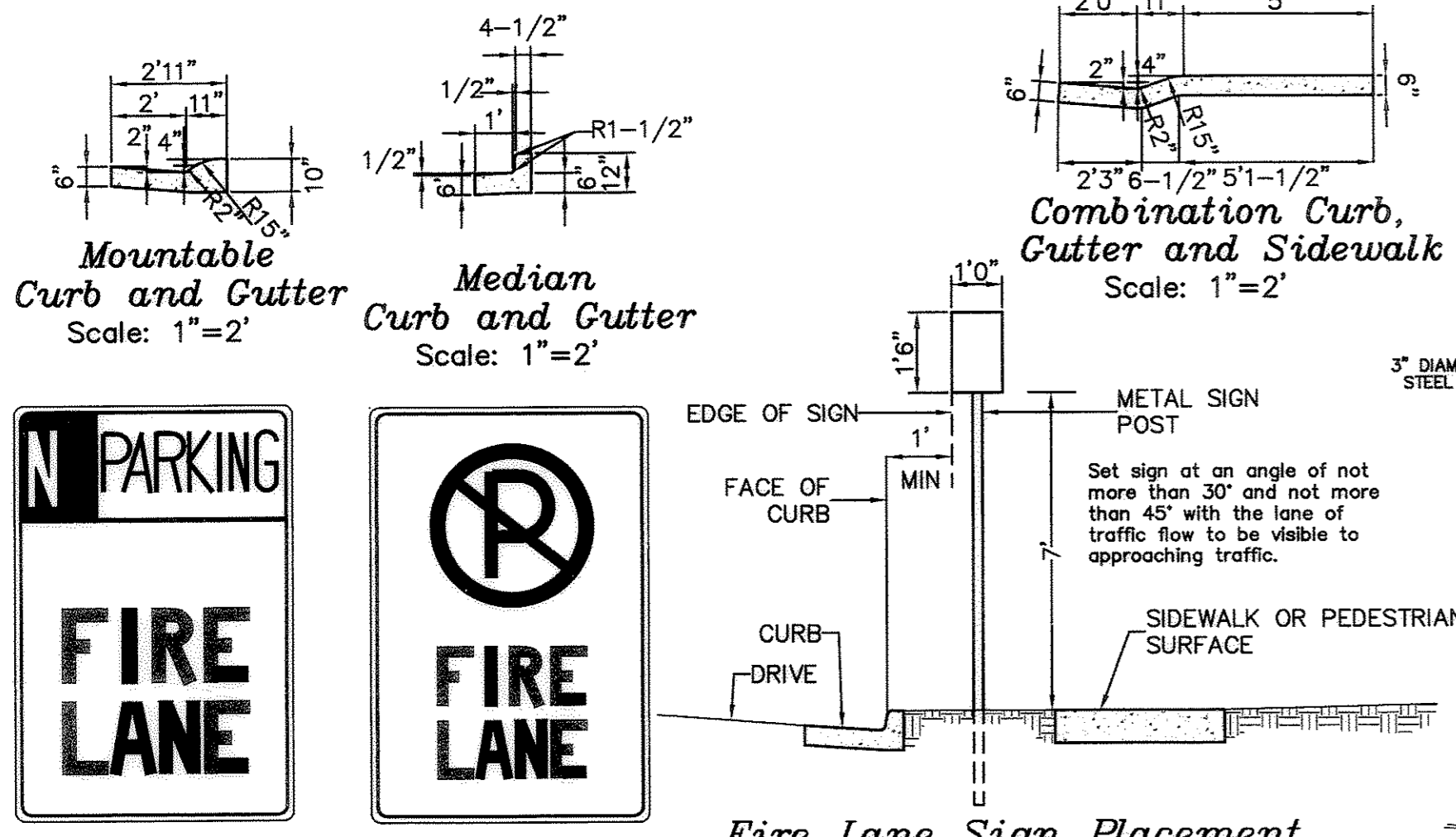
NOTE: ALL OUT BUILDINGS SHALL ADHERE TO SETBACKS AS SHOWN HEREIN.

### Summary Table:

TOTAL NUMBER PARKING SPACES REQUIRED/PROVIDED	= 144
TOTAL NUMBER SFES (SINGLE FAMILY EQUIVALENT UNITS)	= 72
TOTAL NUMBER DWELLING UNITS/RESIDENTIAL LOTS	= 72
TOTAL ACRES	= 72.98 ACRES - 100%
TOTAL TRACTS (TRACTS A,B,C,D,E,F,G,H, & I)	= 17.20 ACRES - 23.6%
TOTAL RIGHT OF WAY DEDICATION	= 8.99 ACRES - 12.3%
TOTAL LOT AREA	= 46.79 ACRES - 64.1%
AVERAGE LOT SIZE	= 0.45 ACRES
MAXIMUM LOT SIZE	= 2.48 ACRES
MINIMUM LOT SIZE	= 0.27 ACRES
TOTAL RESIDENTIAL ZONING ACREAGE	= 57.15 ACRES - 78.3%
TOTAL OPEN SPACE ZONING ACREAGE	= 15.83 ACRES - 21.7%

### Tract Table

TRACT	AREA	OWNERSHIP & MAINTENANCE	USAGE	USAGE TYPE
	ACRES	SQUARE FEET		
A	0.90	39,293	HOMEOWNERS ASSOCIATION	PRIVATE OPEN SPACE OPEN SPACE
B	7.28	316,973	HOMEOWNERS ASSOCIATION	PRIVATE OPEN SPACE OPEN SPACE & DRAINAGE
C	4.43	193,064	HOMEOWNERS ASSOCIATION	PRIVATE OPEN SPACE OPEN SPACE & SIGNAGE
D	1.36	59,328	HOMEOWNERS ASSOCIATION	PRIVATE OPEN SPACE OPEN SPACE & DRAINAGE
E	0.98	42,658	HOMEOWNERS ASSOCIATION	PRIVATE OPEN SPACE OPEN SPACE, DRAINAGE & SIGNAGE
F	0.27	11,651	HOMEOWNERS ASSOCIATION	PRIVATE OPEN SPACE OPEN SPACE & DRAINAGE
G	1.41	62,273	HOMEOWNERS ASSOCIATION	PRIVATE OPEN SPACE OPEN SPACE, DRAINAGE & SIGNAGE
H	0.57	24,404	HOMEOWNERS ASSOCIATION	PRIVATE OPEN SPACE OPEN SPACE & DRAINAGE
I	0.01	310	HOMEOWNERS ASSOCIATION	PRIVATE OPEN SPACE OPEN SPACE



**COSTIN ENGINEERING CONSULTANTS, INC.**  
ENGINEERING  
LAND SURVEYING  
CONSTRUCTION MANAGEMENT  
7353 S. Alton Way, Suite A115  
Englewood, Colorado 80112  
PH (303) 790-4969  
DATE 4/26/01 PROJ. NO. 411.0024

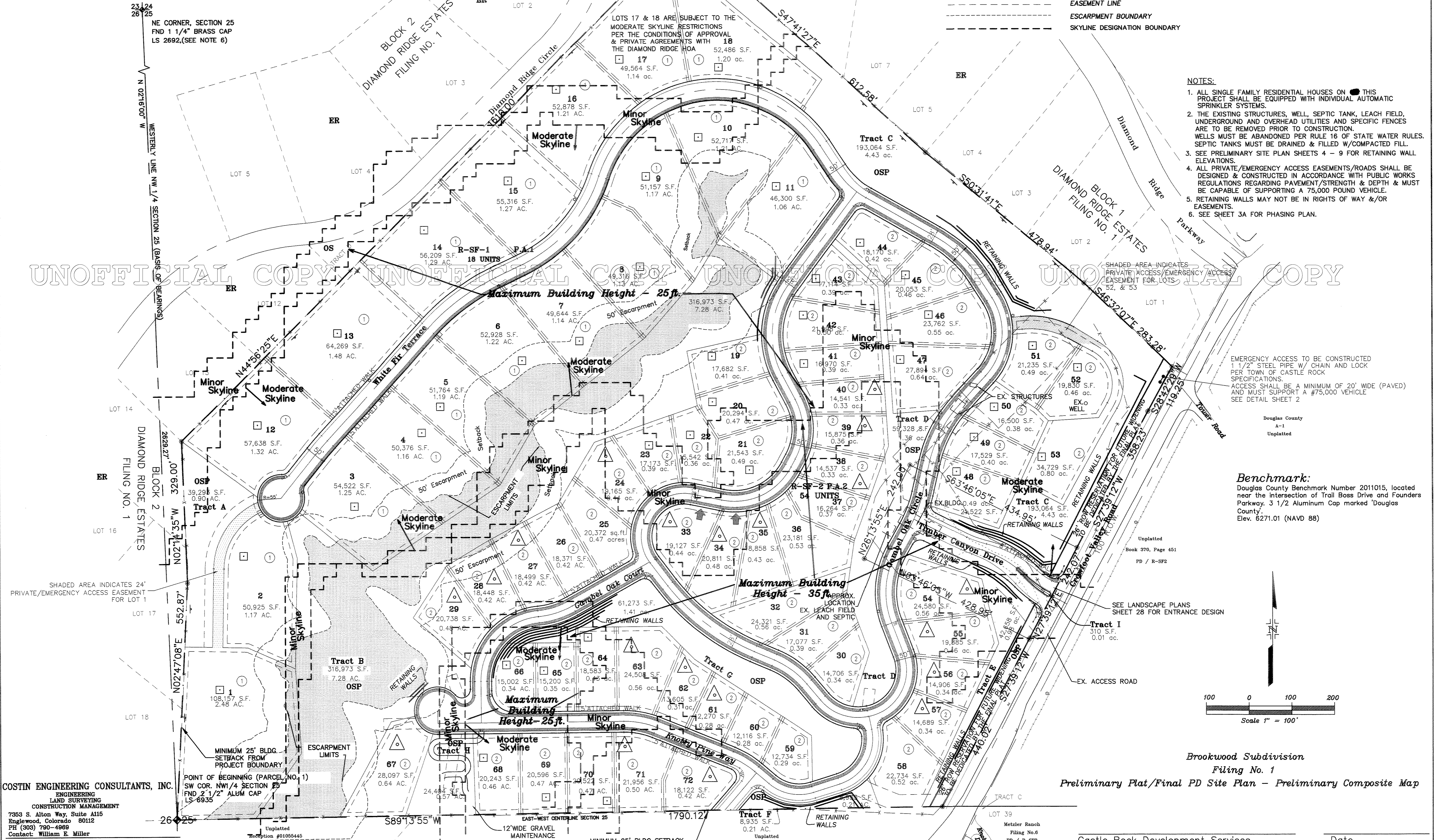
Rev. Per City Comments 04/22/05  
Rev. Per City Comments 03/03/04  
Rev. Per City Comments 02/24/03  
Rev. Per City Comments 12/10/02

# Brookwood Subdivision Filing No. 1

A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,  
Town of Castle Rock, County of Douglas, State of Colorado  
Preliminary Plat/Final PD Site Plan  
Preliminary Composite Map

- Legend**
- DENOTES LOTS IN MODERATE SKYLINE AND SHALL CONFORM TO SKYLINE/RIDGELINE REGULATIONS
  - △ DENOTES LOTS IN MINOR SKYLINE AND SHALL CONFORM TO SKYLINE/RIDGELINE REGULATIONS
  - ① SINGLE-FAMILY ESTATE USE AREA (R-SF-1, P.A.1) AS DEFINED IN THE PD ZONING REGULATIONS FOR BROOKWOOD PLANNED DEVELOPMENT
  - ② SINGLE-FAMILY DETACHED HOME USE AREA (R-SF-2, P.A.2)
  - ★ DENOTES PROPOSED STREET LIGHT, MIN. 7000 LUMENS @ 100 WATTS LIGHTS ALONG CROWFOOT VALLEY ROAD; 9500 LUMENS @ 100 WATT OR 150 WATT
  - ↔ DENOTES ACCESS FOR LOTS THAT BACK UP TO MORE THAN ONE STREET
  - ↔ DENOTES CURB RAMPS FOR PHYSICALLY HANDICAPPED
- EASEMENT LINE**  
**ESCARPMENT BOUNDARY**  
**SKYLINE DESIGNATION BOUNDARY**

- NOTES:**
- ALL SINGLE FAMILY RESIDENTIAL HOUSES ON THIS PROJECT SHALL BE EQUIPPED WITH INDIVIDUAL AUTOMATIC SPRINKLER SYSTEMS.
  - THE EXISTING STRUCTURES, WELL, SEPTIC TANK, LEACH FIELD, UNDERGROUND AND OVERHEAD UTILITIES AND SPECIFIC FENCES ARE TO BE REMOVED PRIOR TO CONSTRUCTION. WELLS MUST BE ABANDONED PER RULE 16 OF STATE WATER RULES. SEPTIC TANKS MUST BE DRAINED & FILLED W/COMPACTED FILL.
  - SEE PRELIMINARY SITE PLAN SHEETS 4 - 9 FOR RETAINING WALL ELEVATIONS.
  - ALL PRIVATE/EMERGENCY ACCESS EASEMENTS/ROADS SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH PUBLIC WORKS REGULATIONS REGARDING PAVEMENT/STRENGTH & DEPTH & MUST BE CAPABLE OF SUPPORTING A 75,000 POUND VEHICLE.
  - RETAINING WALLS MAY NOT BE IN RIGHTS OF WAY &/OR EASEMENTS.
  - SEE SHEET 3A FOR PHASING PLAN.



EMERGENCY ACCESS TO BE CONSTRUCTED 1 1/2" STEEL PIPE W/ CHAIN AND LOCK PER TOWN OF CASTLE ROCK SPECIFICATIONS. ACCESS SHALL BE A MINIMUM OF 20' WIDE (PAVED) AND MUST SUPPORT A #75,000 VEHICLE. SEE DETAIL SHEET 2

**Benchmark:**  
Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway. 3 1/2 Aluminum Cap marked 'Douglas County, Elev. 6271.01 (NAVD 88)

Brookwood Subdivision  
Filing No. 1  
Preliminary Plat/Final PD Site Plan - Preliminary Composite Map

**COSTIN ENGINEERING CONSULTANTS, INC.**  
ENGINEERING  
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7353 S. Alton Way, Suite A115  
Englewood, Colorado 80112  
PH (303) 790-4969  
Contact: William E. Miller

BROOKWOOD SUBDIVISION FILING NO. 1  
OVERALL COMPOSITE MAP  
DATE 5-17-2002  
PROJ. NO. 411

Rev Per City 12/10/02  
Rev Per City 03/06/03  
Rev Per City 03/03/04

Rev Per City 04/22/05  
Rev Per City 01/03/05

THE FIRE CODE REQUIRES THAT NO LANDSCAPING, FENCING OR ANY OTHER OBSTRUCTIONS BE PLACED WITHIN THREE FEET OF A FIRE HYDRANT.

Castle Rock Development Services  
Department

Date

Sheet 3 of 28

**Brookwood Subdivision Filing No. 1**  
 A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.  
 Town of Castle Rock, County of Douglas, State of Colorado

**Preliminary Plat/Final PD Site Plan**

**PHASING MAP**

- Phase I - Demolition of all existing structures & utilities (above & below ground) on site
- Phase II - Initial dirt grading on the entire site
- Phase III - Lots 46-58 and all adjacent roadways, utilities & appurtenances
- Phase IV - Lots 59-72 & 29 and all adjacent roadways, utilities & appurtenances
- Phase V - Lots 25-28 & 30-32 and all adjacent roadways, utilities & appurtenances
- Phase VI - Lots 33-45 & 19-24 and all adjacent roadways, utilities & appurtenances
- Phase VII - Lots 6-11 & 14-18 and all adjacent roadways, utilities & appurtenances
- Phase VIII - Lots 1-5 & 12-13 and all adjacent roadways, utilities & appurtenances

23 24  
26 25  
NE CORNER, SECTION 25  
FND 1 1/4" BRASS CAP  
LS 2892 (SEE NOTE 6)



- NOTES:**
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  - RETAINING WALLS MAY NOT BE IN RIGHTS OF WAY &/OR EASEMENTS.
  - PROPOSED PHASING, AS SHOWN, IS CONCEPTUAL ONLY AND THE FINAL PHASING WILL BE DETERMINED AT TIME OF FINAL CONSTRUCTION PLAN APPROVAL.

**Legend**

- EXISTING STORM SEWER
- PROPOSED STORM SEWER, MANHOLE & INLET
- EXISTING WATERLINE
- PROPOSED WATERLINE
- PROPOSED SANITARY SEWER
- SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED BEND W/KICKBLOCK
- PROPOSED TEE W/KICKBLOCK
- PROPOSED VALVE
- DENOTES PROPOSED STREET LIGHT (MIN. 7000 LUMENS @ 100 WATTS)  
LIGHTS ALONG CROWFOOT VALLEY ROAD: (MIN. 9500 LUMENS @ 100 WATT OR 150 WATTS)
- DENOTES CURB RAMPS FOR PHYSICALLY HANDICAPPED
- DENOTES CURB RAMPS FOR PHYSICALLY HANDICAPPED
- EASEMENT LINE
- ESCARPMENT BOUNDARY
- PHASE LINE

Brookwood Subdivision  
 Filing No. 1  
 Preliminary Plat/Final PD Site Plan - Phasing Map

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 Metzler Ranch PD / R-SF2

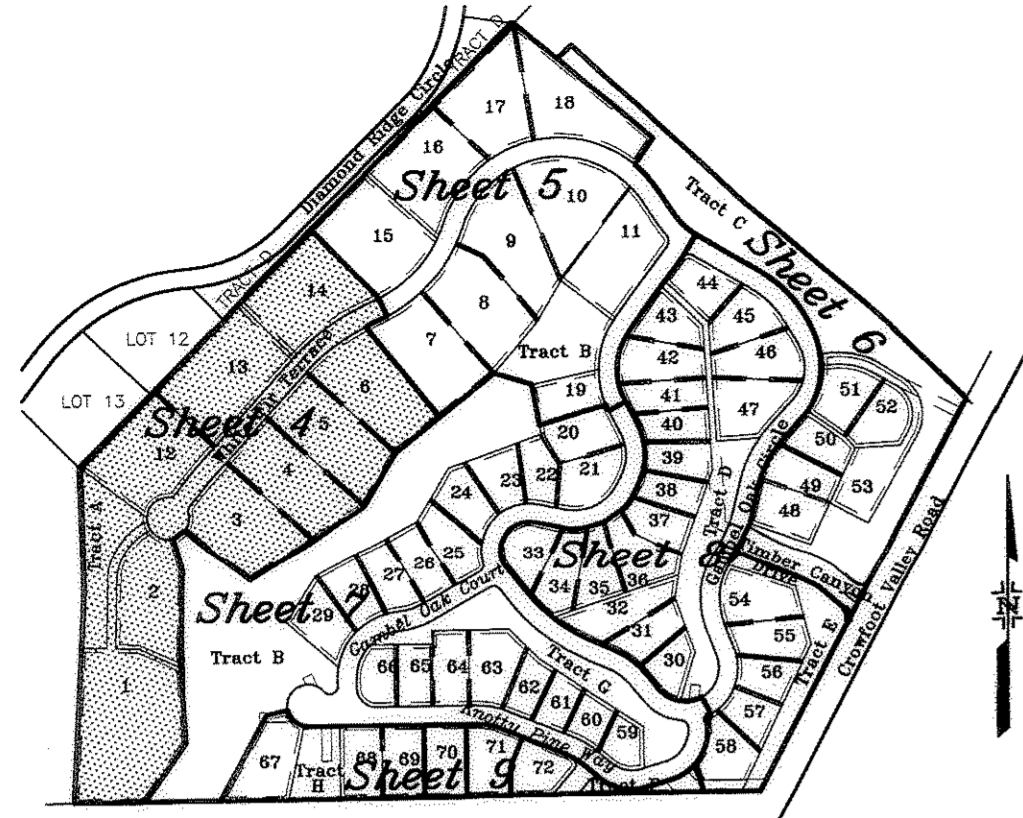
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 PH (303) 790-4969 Fax (303) 790-4967

Castle Rock Development Services  
 Department

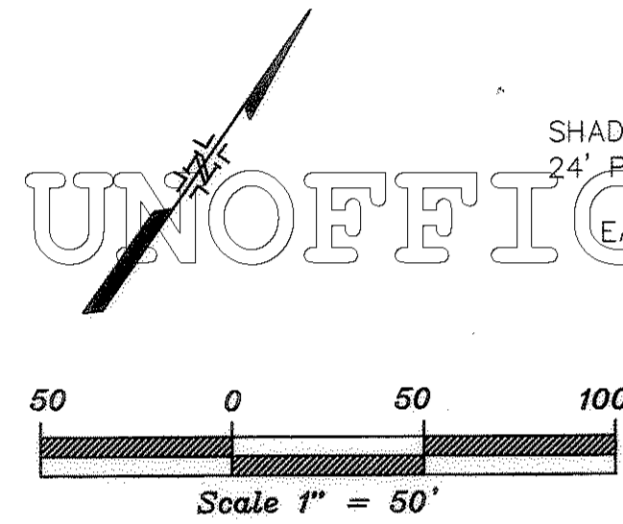
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**Preliminary Plat/Final PD Site Plan**



**Key Map**  
 Scale 1" = 500'

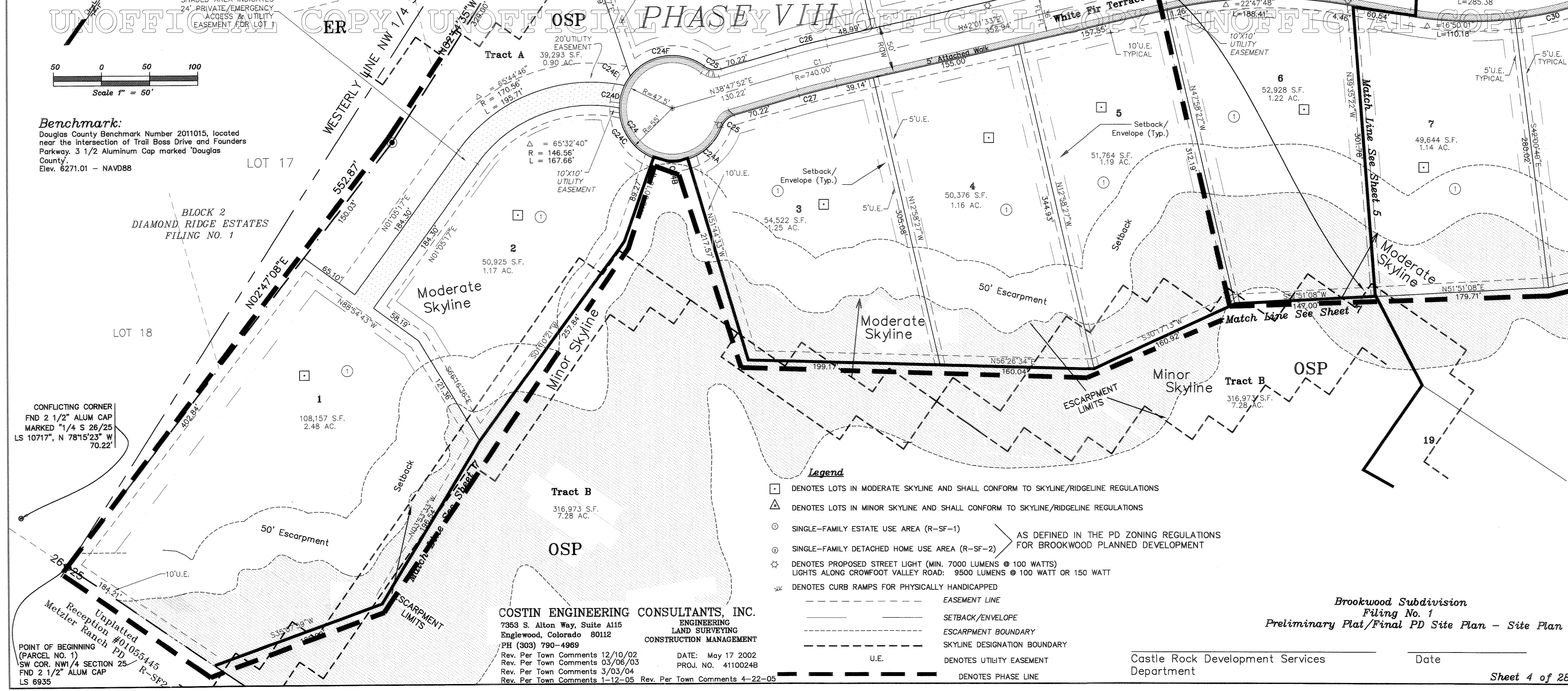


**Benchmark:**  
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CONFLICTING CORNER  
 FND 2 1/2" ALUM CAP  
 MARKED "1/4 S 26/25  
 LS 10717", N 78°15'23" W  
 70.22'

POINT OF BEGINNING  
 (PARCEL NO. 1)  
 SW COR. NW 1/4 SECTION 25  
 FND 2 1/2" ALUM CAP  
 LS 6935

SHADED AREA INDICATES  
 24' PRIVATE/EMERGENCY  
 ACCESS & UTILITY  
 EASEMENT FOR LOT 1



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  - ESCARPMENT BOUNDARY
  - SKYLINE DESIGNATION BOUNDARY
  - U.E. DENOTES UTILITY EASEMENT
  - DENOTES PHASE LINE

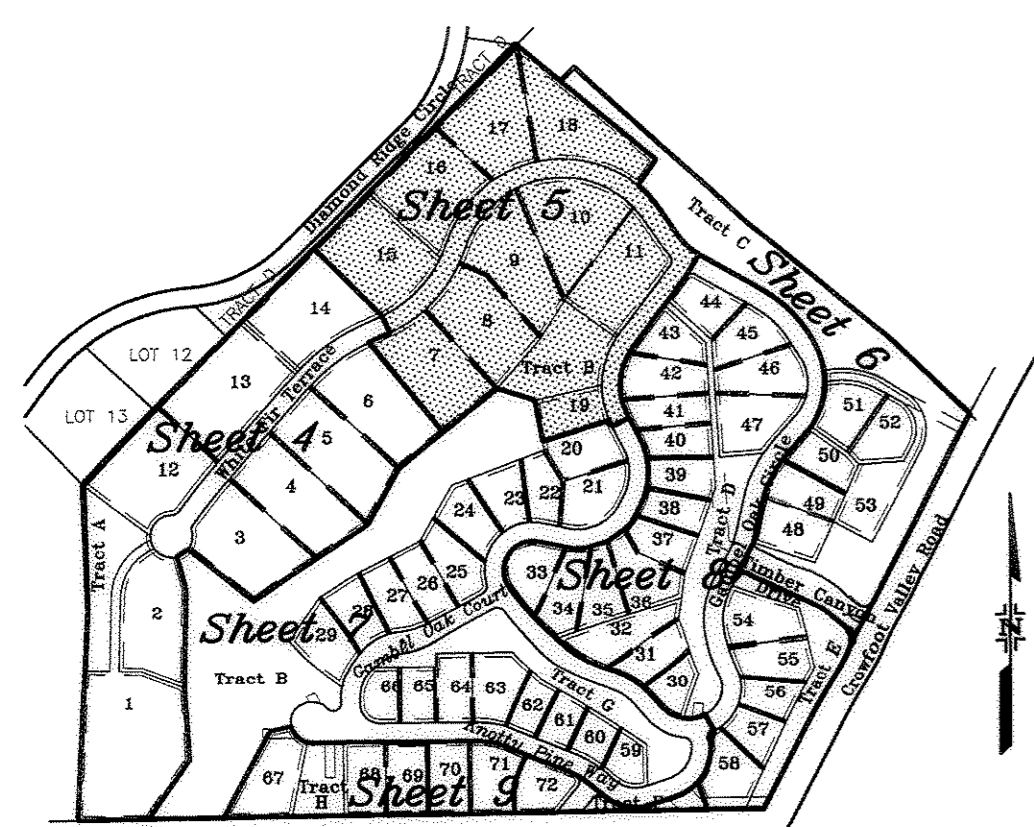
**COSTIN ENGINEERING CONSULTANTS, INC.**  
 7353 S. Alton Way, Suite A115  
 Englewood, Colorado 80112  
 PH (303) 790-4969  
 Rev. Per Town Comments 12/10/02 DATE: May 17 2002  
 Rev. Per Town Comments 03/06/03 PROJ. NO. 4110024B  
 Rev. Per Town Comments 3/03/04  
 Rev. Per Town Comments 1-12-05 Rev. Per Town Comments 4-22-05

**Brookwood Subdivision**  
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 Preliminary Plat/Final PD Site Plan - Site Plan

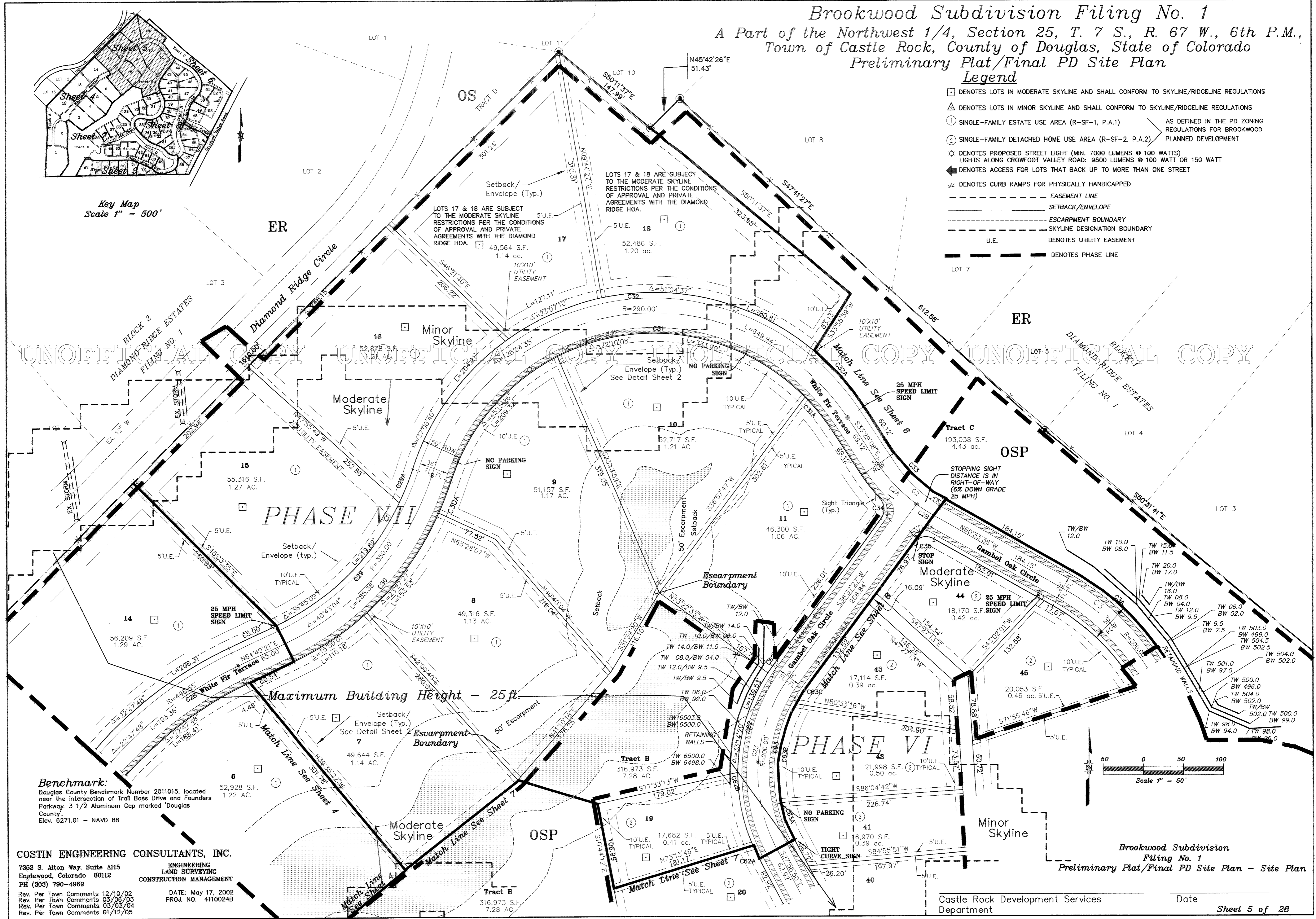
Castle Rock Development Services  
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  - - - SETBACK/ENVELOPE
  - - - ESCARPMENT BOUNDARY
  - - - SKYLINE DESIGNATION BOUNDARY
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  - - - DENOTES PHASE LINE



Key Map  
 Scale 1" = 500'



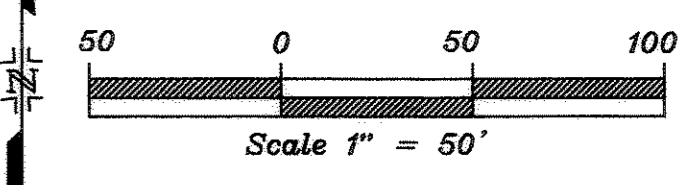
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 Elev. 6271.01 - NAVD 88

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**ENGINEERING  
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DATE: May 17, 2002  
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Brookwood Subdivision  
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 Preliminary Plat/Final PD Site Plan - Site Plan

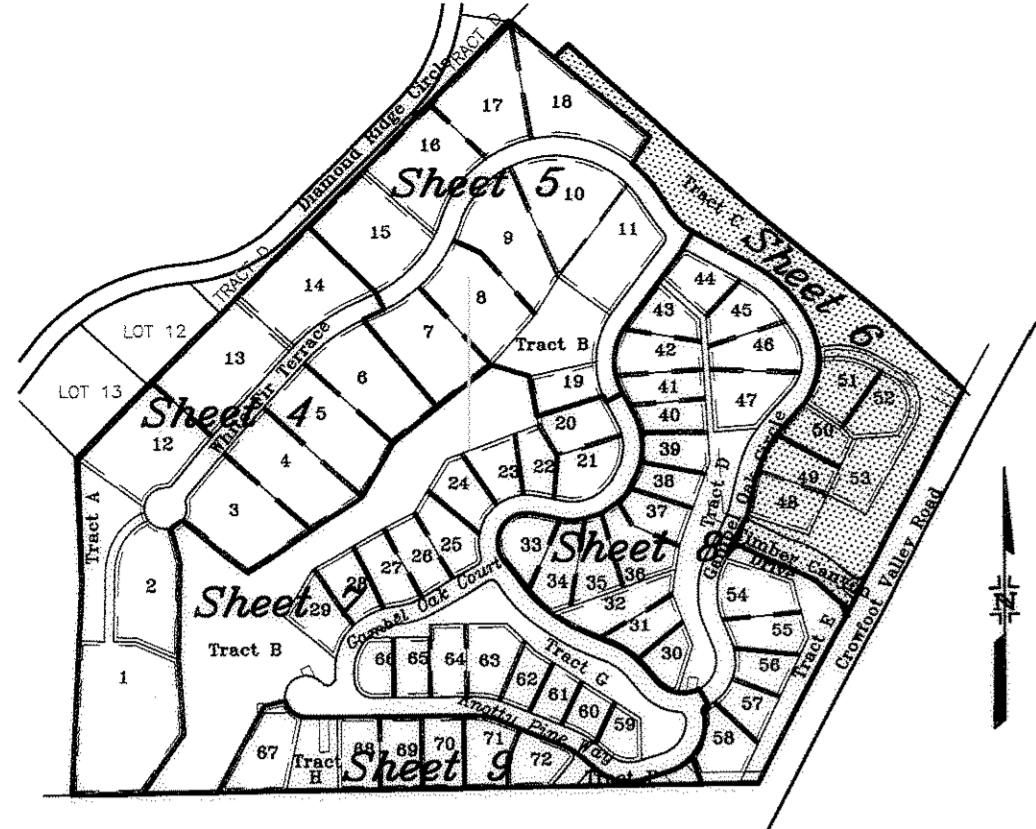
Castle Rock Development Services  
 Department

Date \_\_\_\_\_  
 Sheet 5 of 28

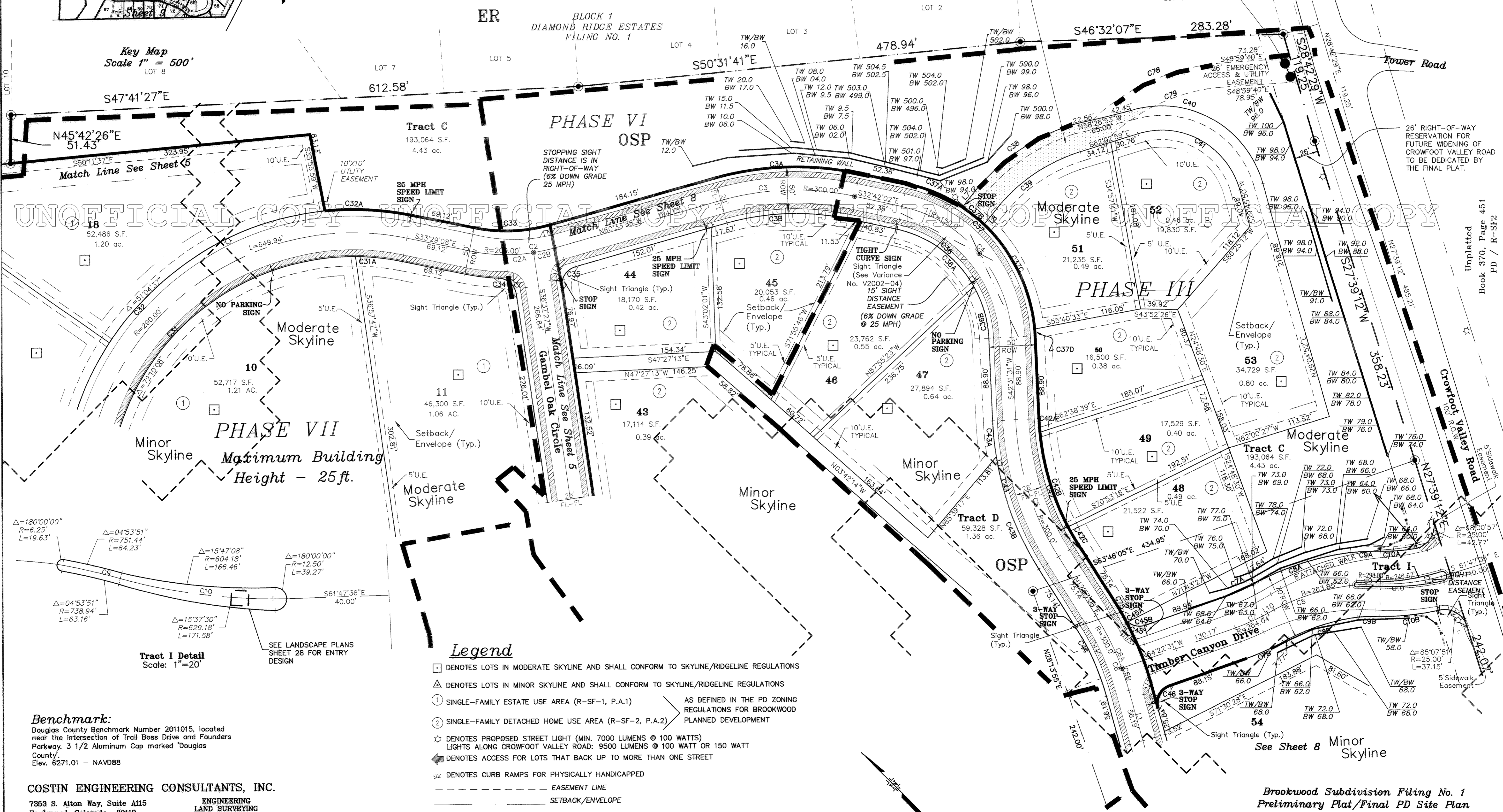
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STEEL PIPE GATE W/KNOX PAD LOCK  
 SEE DETAIL SHEET 2  
 PRIVATE/EMERGENCY ACCESS EASEMENT/ROAD  
 SHALL BE DESIGNED & CONSTRUCTION IN  
 ACCORDANCE WITH PUBLIC WORKS REGULATIONS  
 REGARDING PAVEMENT/STRENGTH & DEPTH AND  
 MUST BE CAPABLE OF SUPPORTING A 75,000  
 POUND VEHICLE. ACCESS SHALL BE A MINIMUM OF  
 20' WIDE.



**Key Map**  
 Scale 1" = 500'



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 Book 370, Page 451  
 PD / R-SF2

**Tract I Detail**  
 Scale: 1"=20'

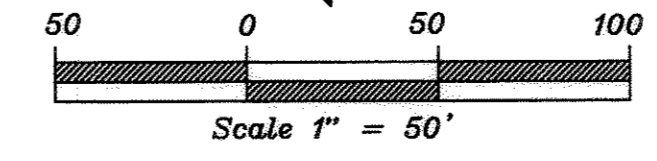
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ENGINEERING  
 LAND SURVEYING  
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  - ESCARPMENT BOUNDARY
  - SKYLINE DESIGNATION BOUNDARY
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  - DENOTES PHASE LINE



Castle Rock Development Services  
 Department

Date

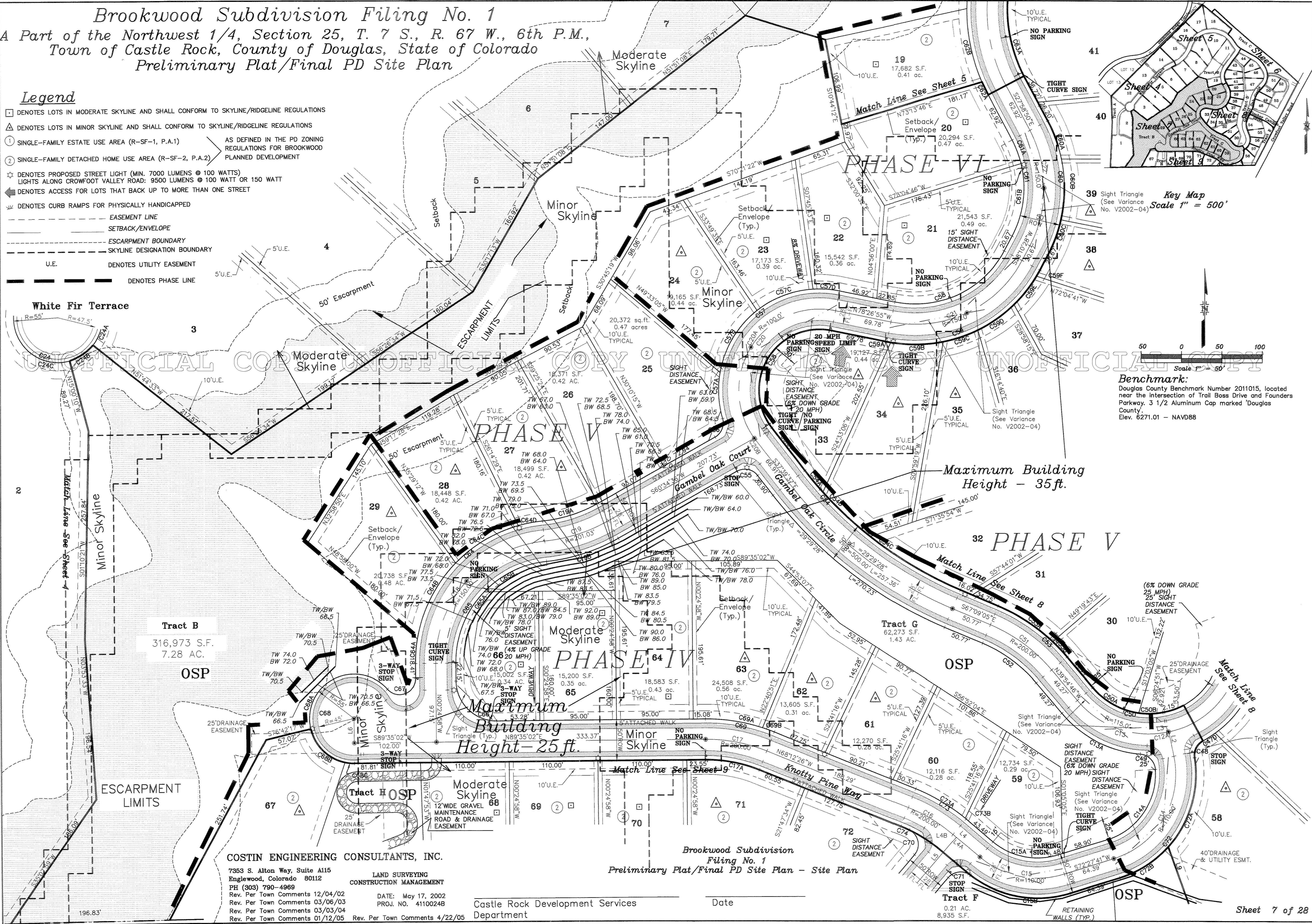
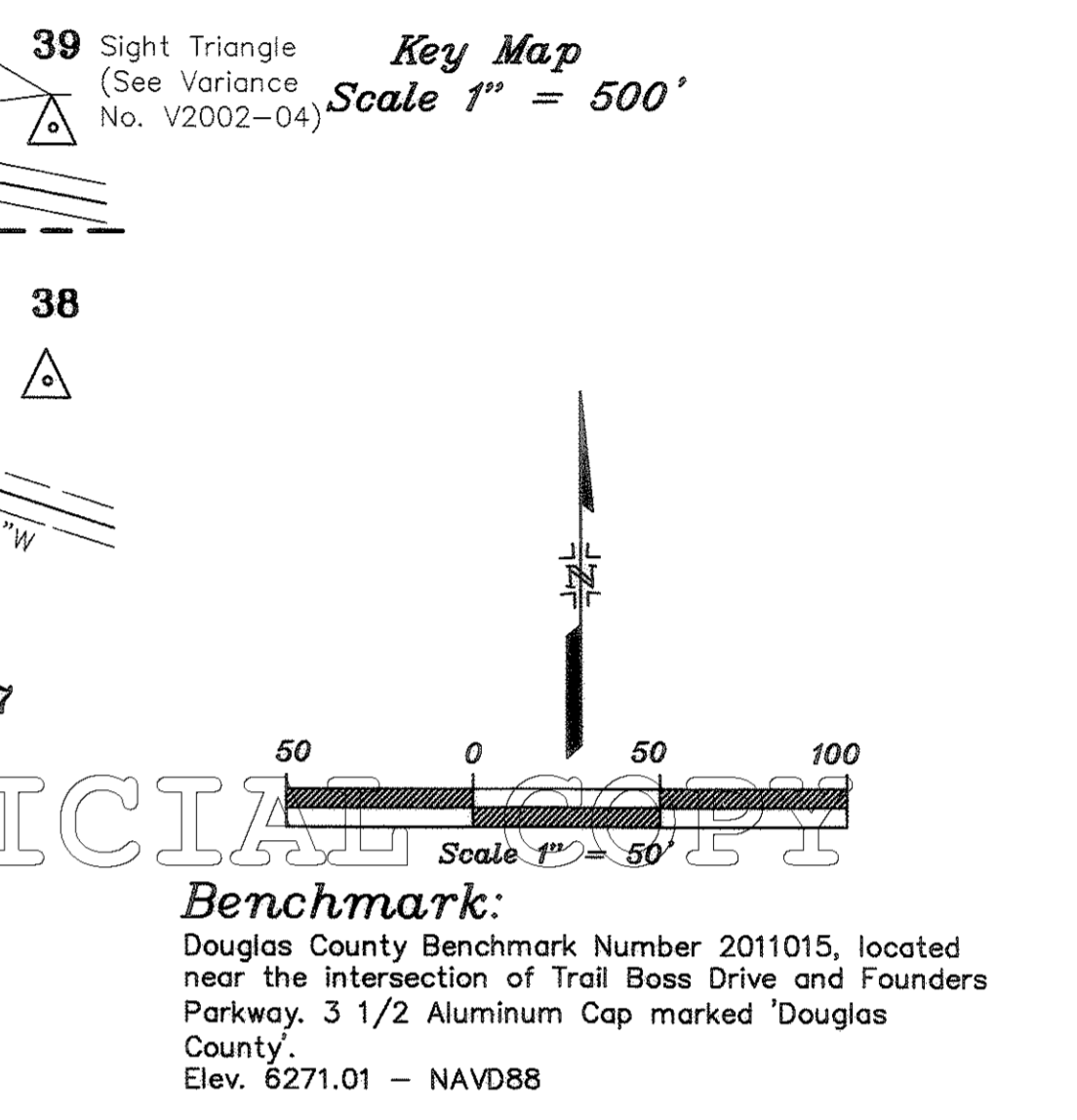
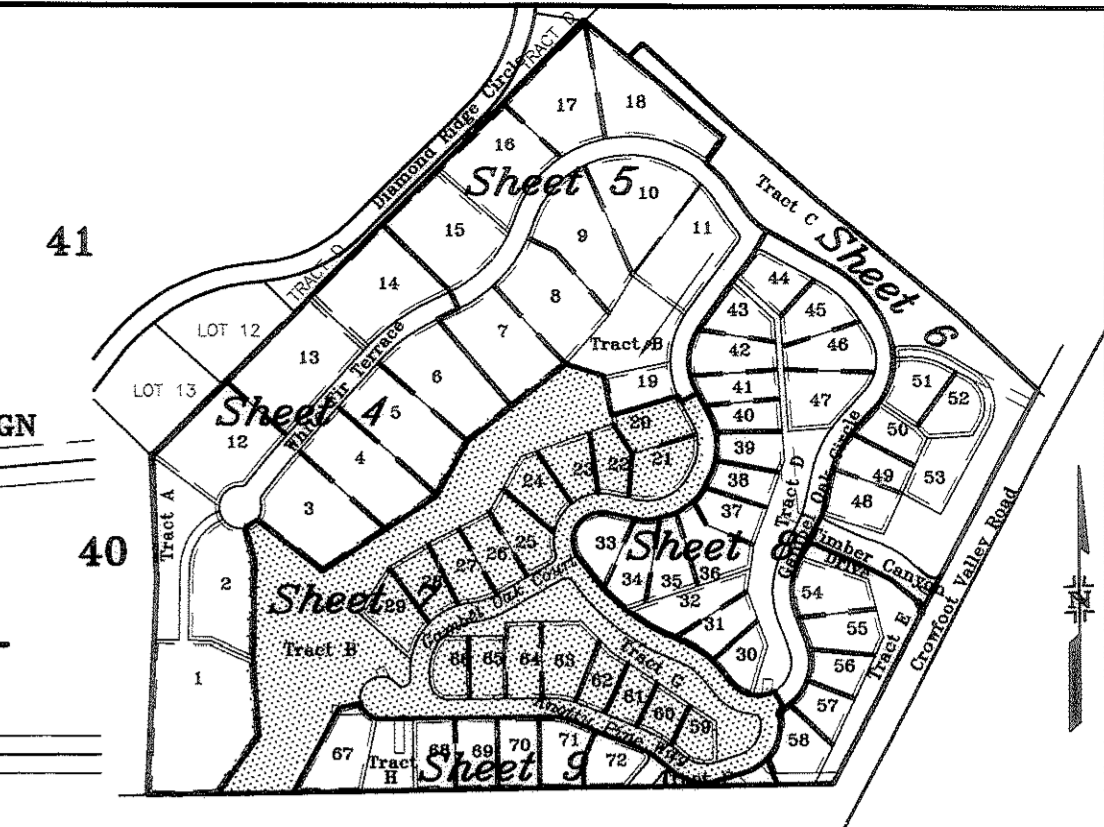
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LIGHTS ALONG CROWFOOT VALLEY ROAD: 9500 LUMENS @ 100 WATT OR 150 WATT
- ◀ DENOTES ACCESS FOR LOTS THAT BACK UP TO MORE THAN ONE STREET
- ≡ DENOTES CURB RAMPS FOR PHYSICALLY HANDICAPPED
- - - EASEMENT LINE
- - - SETBACK/ENVELOPE
- - - ESCARPMENT BOUNDARY
- - - SKYLINE DESIGNATION BOUNDARY
- U.E. DENOTES UTILITY EASEMENT
- - - DENOTES PHASE LINE



**Tract B**  
316,973 S.F.  
7.28 AC.  
OSP

**Tract G**  
62,273 S.F.  
1.43 AC.  
OSP

**Tract F**  
0.21 AC.  
8,935 S.F.

**COSTIN ENGINEERING CONSULTANTS, INC.**  
7853 S. Alton Way, Suite A115  
Englewood, Colorado 80112  
PH (303) 790-4969  
Rev. Per Town Comments 12/04/02  
Rev. Per Town Comments 03/06/03  
Rev. Per Town Comments 03/03/04  
Rev. Per Town Comments 01/12/05

**LAND SURVEYING  
CONSTRUCTION MANAGEMENT**  
DATE: May 17, 2002  
PROJ. NO. 41100248  
Rev. Per Town Comments 4/22/05

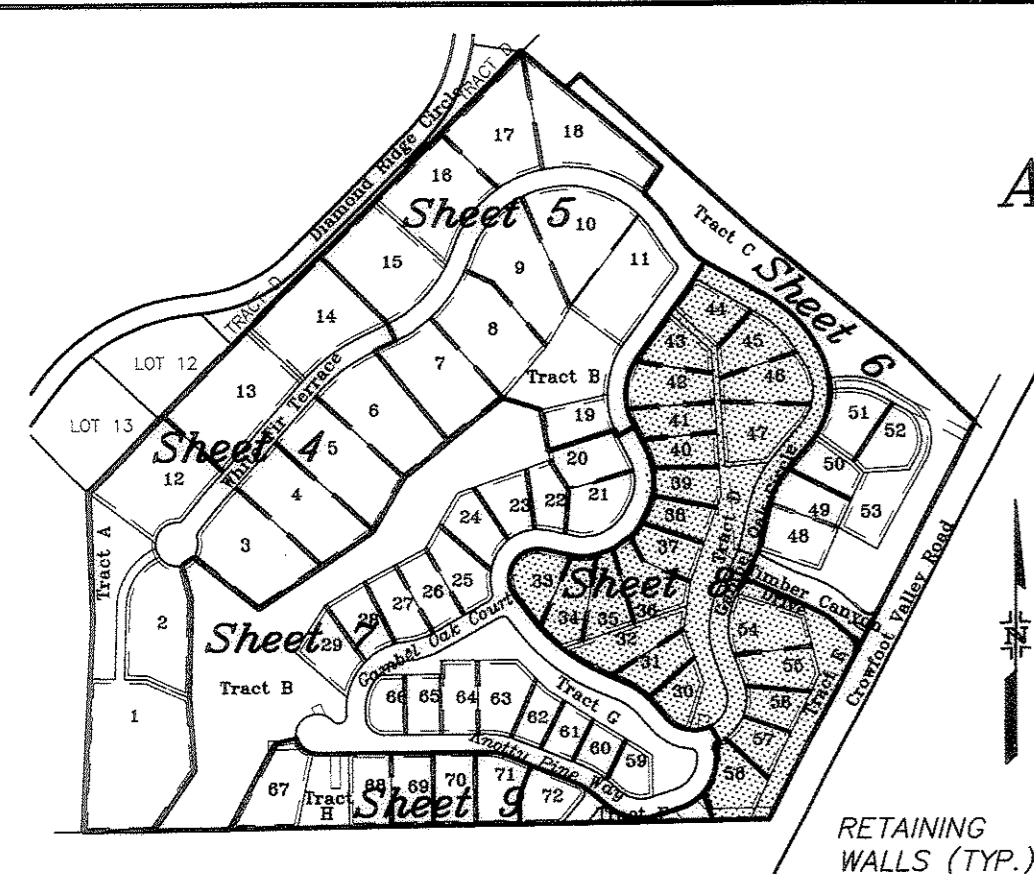
Castle Rock Development Services  
Department

Brookwood Subdivision  
Filing No. 1  
Preliminary Plat/Final PD Site Plan - Site Plan

Date

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**Brookwood Subdivision Filing No. 1**  
 A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M., 242.07'  
 Town of Castle Rock, County of Douglas, State of Colorado  
 Preliminary Plat/Final PD Site Plan



Unplatted  
 Book 370, Page 451  
 PD / R-SF2

Key Map  
 Scale 1" = 500'

Maximum Building Height - 25 ft.  
 Moderate Skyline  
 20 MPH SPEED LIMIT SIGN

Maximum Building Height - 35 ft.  
 Moderate Skyline  
 20 MPH SPEED LIMIT SIGN

- Legend**
- DENOTES LOTS IN MODERATE SKYLINE AND SHALL CONFORM TO SKYLINE/RIDGELINE REGULATIONS
  - △ DENOTES LOTS IN MINOR SKYLINE AND SHALL CONFORM TO SKYLINE/RIDGELINE REGULATIONS
  - ① SINGLE-FAMILY ESTATE USE AREA (R-SF-1, P.A.1) AS DEFINED IN THE PD ZONING REGULATIONS FOR BROOKWOOD PLANNED DEVELOPMENT
  - ② SINGLE-FAMILY DETACHED HOME USE AREA (R-SF-2, P.A.2)
  - ☆ DENOTES PROPOSED STREET LIGHT (MIN. 7000 LUMENS @ 100 WATTS) LIGHTS ALONG CROWFOOT VALLEY ROAD: 9500 LUMENS @ 100 WATT OR 150 WATT
  - ↔ DENOTES ACCESS FOR LOTS THAT BACK UP TO MORE THAN ONE STREET
  - ↘ DENOTES CURB RAMPS FOR PHYSICALLY HANDICAPPED
  - - - EASEMENT LINE
  - - - SETBACK/ENVELOPE
  - - - ESCARPMENT BOUNDARY
  - - - SKYLINE DESIGNATION BOUNDARY
  - - - U.E. DENOTES UTILITY EASEMENT
  - - - DENOTES PHASE LINES

**COSTIN ENGINEERING CONSULTANTS, INC.**  
 7353 S. Alton Way, Suite A115  
 Englewood, Colorado 80112  
 PH (303) 790-4989  
 Rev. Per Town Comments 12/04/02  
 Rev. Per Town Comments 03/06/03  
 Rev. Per Town Comments 03/03/04  
 Rev. Per Town Comments 01/12/05

**ENGINEERING LAND SURVEYING CONSTRUCTION MANAGEMENT**  
 DATE: May 17, 2002  
 PROJ. NO. 41100248  
 Rev. Per Town Comments 04/22/05

**Benchmark:**  
 Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway. 3 1/2 Aluminum Cap marked Douglas County.  
 Elev. 6271.01 -NAVD88

**Brookwood Subdivision**  
 Filing No. 1  
 Preliminary Plat/Final PD Site Plan - Site Plan

Castle Rock Development Services  
 Department

Date

E:\Share\proj\1411-march-04\05-05s\plan\08-4110024-3-04SP.DWG



# Brookwood Subdivision Filing No. 1

A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,  
Town of Castle Rock, County of Douglas, State of Colorado  
Preliminary Plat/Final PD Site Plan  
Preliminary Grading Plan

### Benchmark:

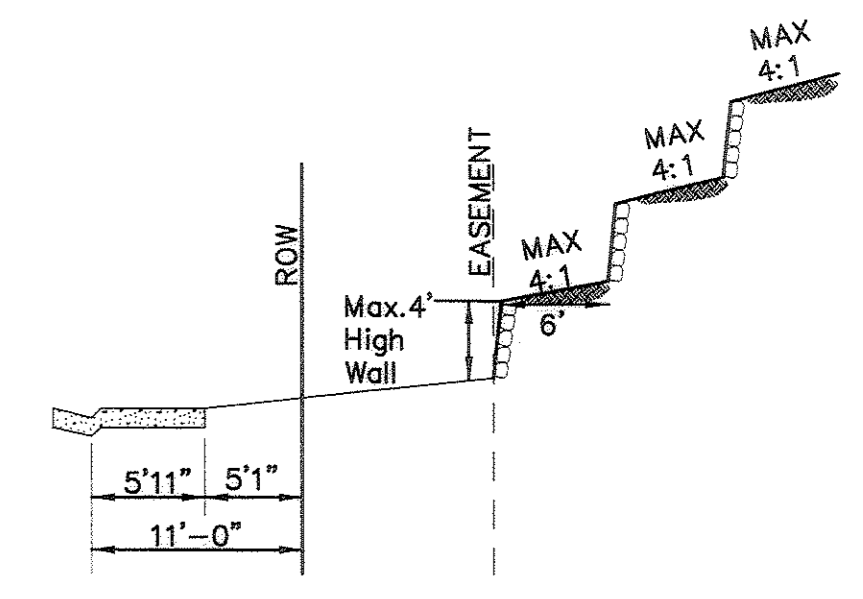
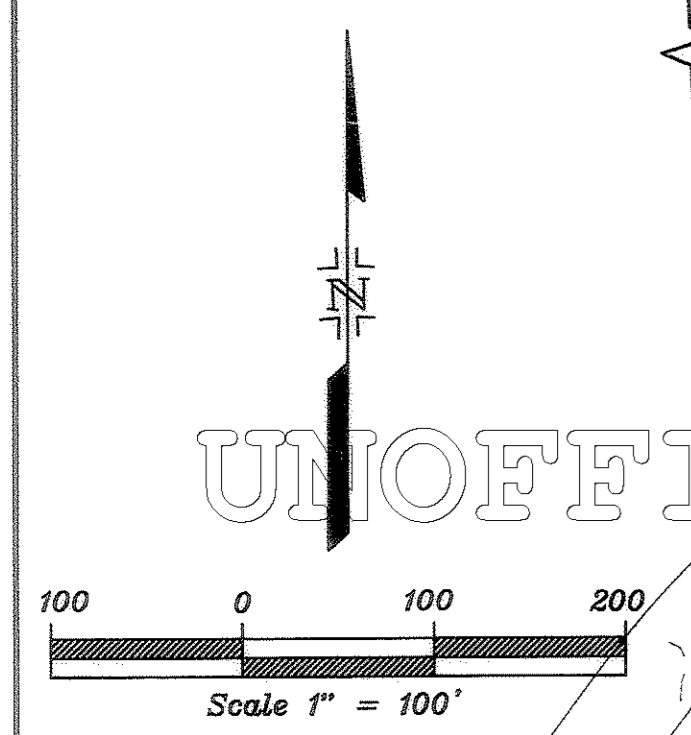
Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway. 3 1/2 Aluminum Cap marked "Douglas County".  
Elev. 6271.01 - NAVD88

### Legend

- DENOTES STORM SEWER W/MANHOLE AND OR INLET
- EASEMENT LINE
- SKYLINE DESIGNATION BOUNDARY
- ESCARPMENT BOUNDARY
- 6502 FINISH GRADE CONTOUR (2')
- 6500 FINISH GRADE CONTOUR (10')
- 6500- EXISTING GRADE CONTOUR (10')
- 6502- EXISTING GRADE CONTOUR (2')
- - - - - EXISTING STORM SEWER
- = = = = = RETAINING WALL

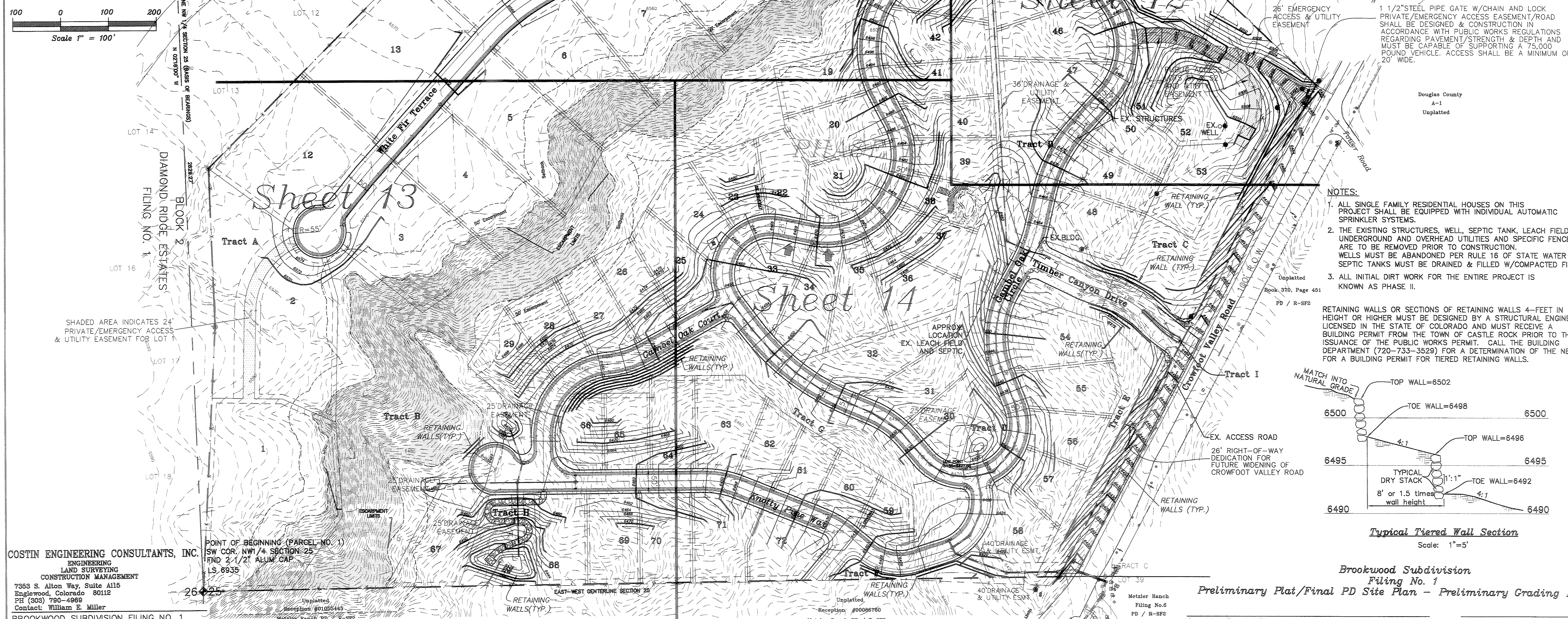
- U.E. DENOTES UTILITY EASEMENT
- DENOTES ACCESS FOR LOTS THAT BACK UP TO MORE THAN ONE STREET
- DENOTES CURB RAMPS FOR PHYSICALLY HANDICAPPED

NE CORNER, SECTION 25 23/24  
FND 1 1/4" BRASS CAP 26/25  
LS 2692



**Typical Multi Tiered Wall Section**  
Scale: 1"=10' H & V

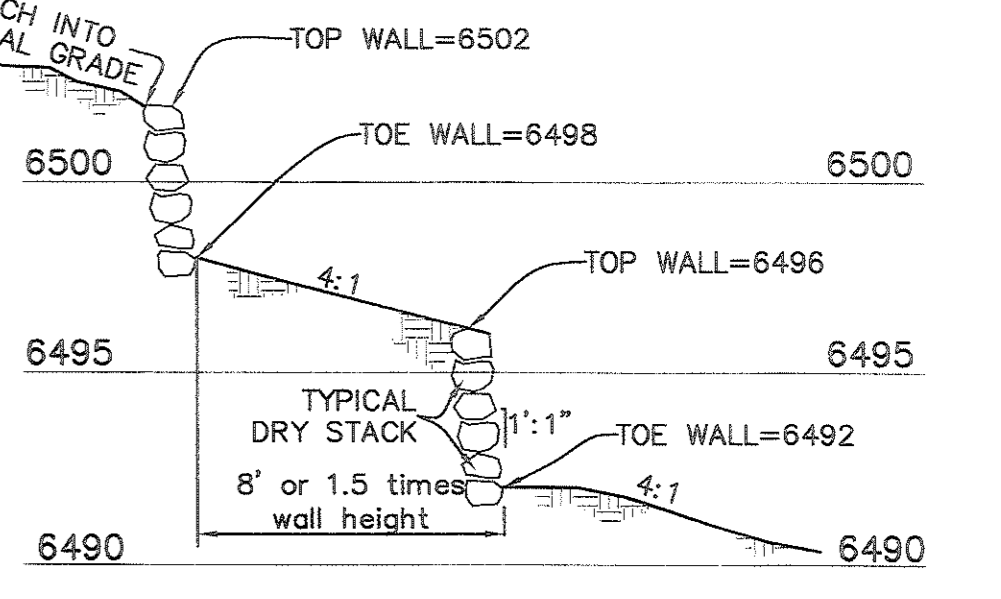
UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY



1 1/2" STEEL PIPE GATE W/CHAIN AND LOCK SHALL BE DESIGNED & CONSTRUCTION IN ACCORDANCE WITH PUBLIC WORKS REGULATIONS REGARDING PAVEMENT/STRENGTH & DEPTH AND MUST BE CAPABLE OF SUPPORTING A 75,000 POUND VEHICLE. ACCESS SHALL BE A MINIMUM OF 20' WIDE.

- NOTES:**
- ALL SINGLE FAMILY RESIDENTIAL HOUSES ON THIS PROJECT SHALL BE EQUIPPED WITH INDIVIDUAL AUTOMATIC SPRINKLER SYSTEMS.
  - THE EXISTING STRUCTURES, WELL, SEPTIC TANK, LEACH FIELD, UNDERGROUND AND OVERHEAD UTILITIES AND SPECIFIC FENCES ARE TO BE REMOVED PRIOR TO CONSTRUCTION. WELLS MUST BE ABANDONED PER RULE 16 OF STATE WATER RULES. SEPTIC TANKS MUST BE DRAINED & FILLED W/COMPACTED FILL.
  - ALL INITIAL DIRT WORK FOR THE ENTIRE PROJECT IS KNOWN AS PHASE II.

RETAINING WALLS OR SECTIONS OF RETAINING WALLS 4'-FEET IN HEIGHT OR HIGHER MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT. CALL THE BUILDING DEPARTMENT (720-733-3529) FOR A DETERMINATION OF THE NEED FOR A BUILDING PERMIT FOR TIERED RETAINING WALLS.



**Typical Tiered Wall Section**  
Scale: 1"=5'

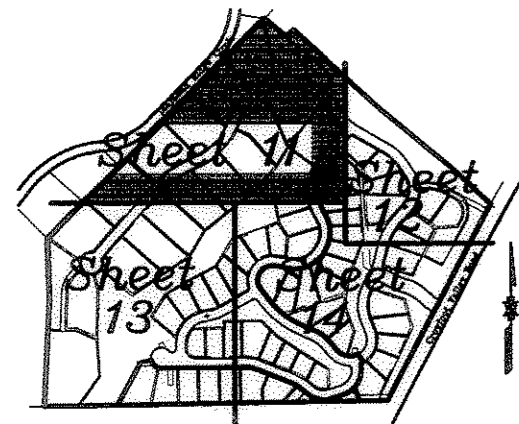
**COSTIN ENGINEERING CONSULTANTS, INC.**  
ENGINEERING  
LAND SURVEYING  
CONSTRUCTION MANAGEMENT  
7953 S. Alton Way, Suite A115  
Englewood, Colorado 80112  
PH (303) 790-4969  
Contact: William E. Miller

POINT OF BEGINNING (PARCEL NO. 1)  
SW COR. NW 1/4 SECTION 25  
FND 2 1/2" ALUM CAP  
LS 6935

BROOKWOOD SUBDIVISION FILING NO. 1  
OVERALL COMPOSITE MAP  
DATE 5-17-2002 Rev Per City 12/10/02 Rev Per City 01/12/05  
PROJ. NO. 411 Rev Per City 03/06/03 Rev Per City 04/22/05  
Rev Per City 03/03/04

Brookwood Subdivision  
Filing No. 1  
Preliminary Plat/Final PD Site Plan - Preliminary Grading Plan

Castle Rock Development Services Department Date SHEET 10 of 28



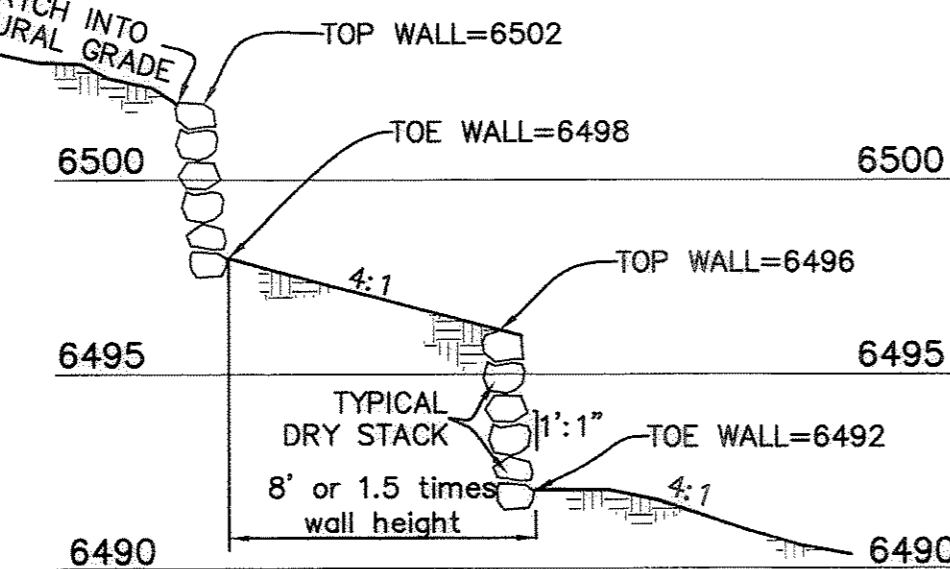
# Brookwood Subdivision Filing No. 1

A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,  
Town of Castle Rock, County of Douglas, State of Colorado  
Preliminary Plat/Final PD Site Plan  
Preliminary Grading Plan

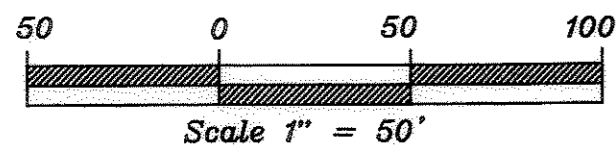
### NOTES:

1. ALL SINGLE FAMILY RESIDENTIAL HOUSES ON THIS PROJECT SHALL BE EQUIPPED WITH INDIVIDUAL AUTOMATIC SPRINKLER SYSTEMS.
2. THE EXISTING STRUCTURES, WELL, SEPTIC TANK, LEACH FIELD, UNDERGROUND AND OVERHEAD UTILITIES AND SPECIFIC FENCES ARE TO BE REMOVED PRIOR TO CONSTRUCTION. WELLS MUST BE ABANDONED PER RULE 16 OF STATE WATER RULES. SEPTIC TANKS MUST BE DRAINED & FILLED W/COMPACTED FILL.

RETAINING WALLS OR SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT. CALL THE BUILDING DEPARTMENT (720-733-3529) FOR A DETERMINATION OF THE NEED FOR A BUILDING PERMIT FOR TIERED RETAINING WALLS.

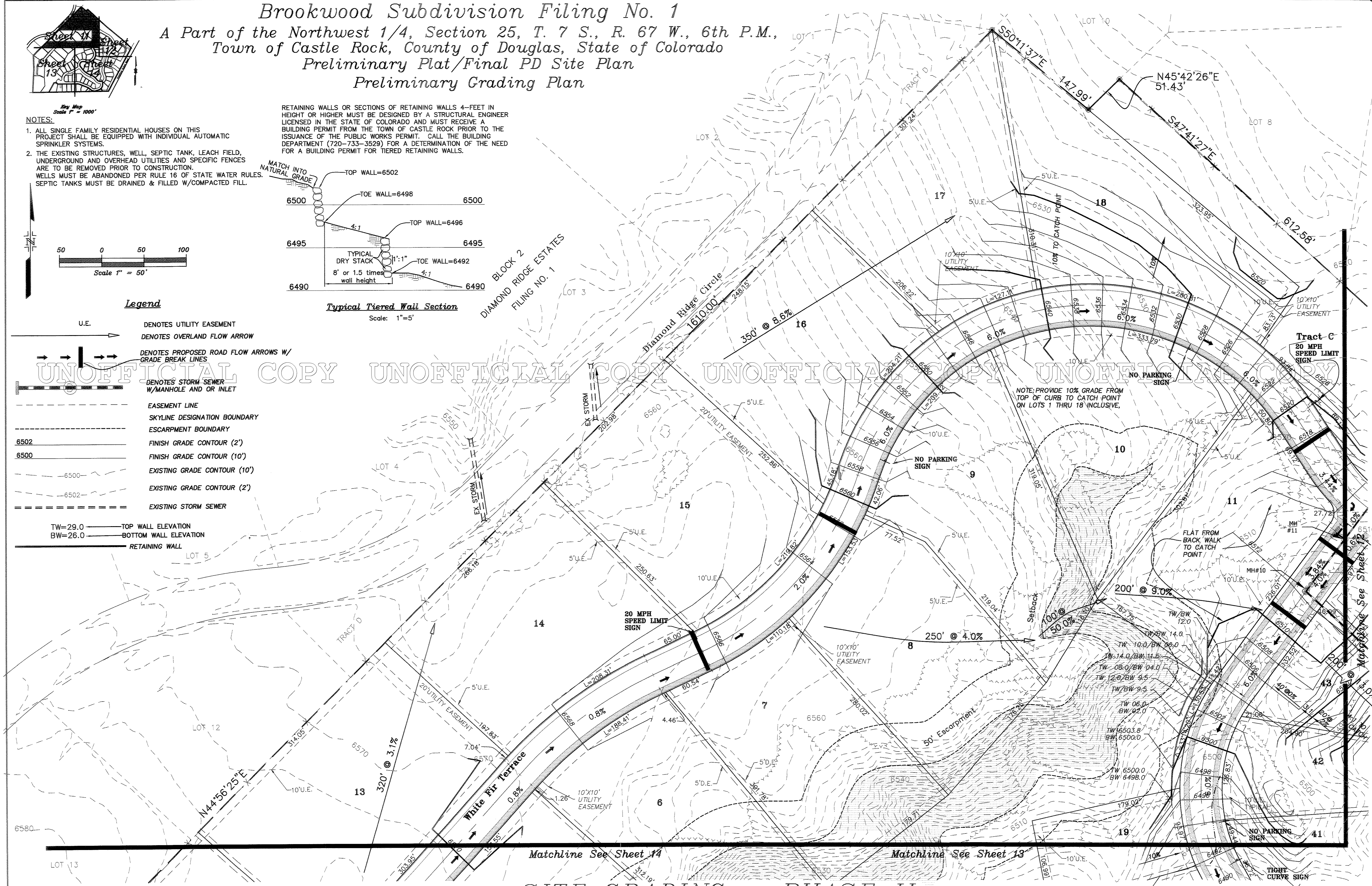


Typical Tiered Wall Section  
Scale: 1"=5'



### Legend

- U.E. DENOTES UTILITY EASEMENT
- DENOTES OVERLAND FLOW ARROW
- DENOTES PROPOSED ROAD FLOW ARROWS W/ GRADE BREAK LINES
- DENOTES STORM SEWER W/MANHOLE AND OR INLET
- EASEMENT LINE
- SKYLINE DESIGNATION BOUNDARY
- ESCARPMENT BOUNDARY
- 6502 FINISH GRADE CONTOUR (2')
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- - - - - EXISTING GRADE CONTOUR (10')
- - - - - EXISTING GRADE CONTOUR (2')
- - - - - EXISTING STORM SEWER
- TW=29.0 TOP WALL ELEVATION
- BW=26.0 BOTTOM WALL ELEVATION
- RETAINING WALL



### COSTIN ENGINEERING CONSULTANTS, INC.

7353 S. Alton Way, Suite A115  
Englewood, Colorado 80112  
PH (303) 790-4969  
Rev. Per Town Comments 12/10/02  
Rev. Per Town Comments 03/06/03  
Rev. Per Town Comments 03/03/04  
Rev. Per Town Comments 01/12/05

ENGINEERING  
LAND SURVEYING  
CONSTRUCTION MANAGEMENT  
DATE: May 17, 2002  
PROJ. NO. 41100248  
Rev. Per Town Comments 04/22/05

### Benchmark:

Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway. 3 1/2 Aluminum Cap marked Douglas County.  
Elev. 6271.01 - NAVD88

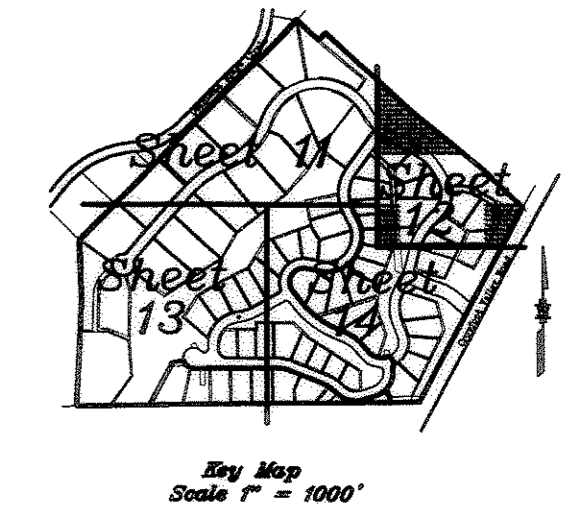
## SITE GRADING - PHASE II

Castle Rock Development Services  
Department

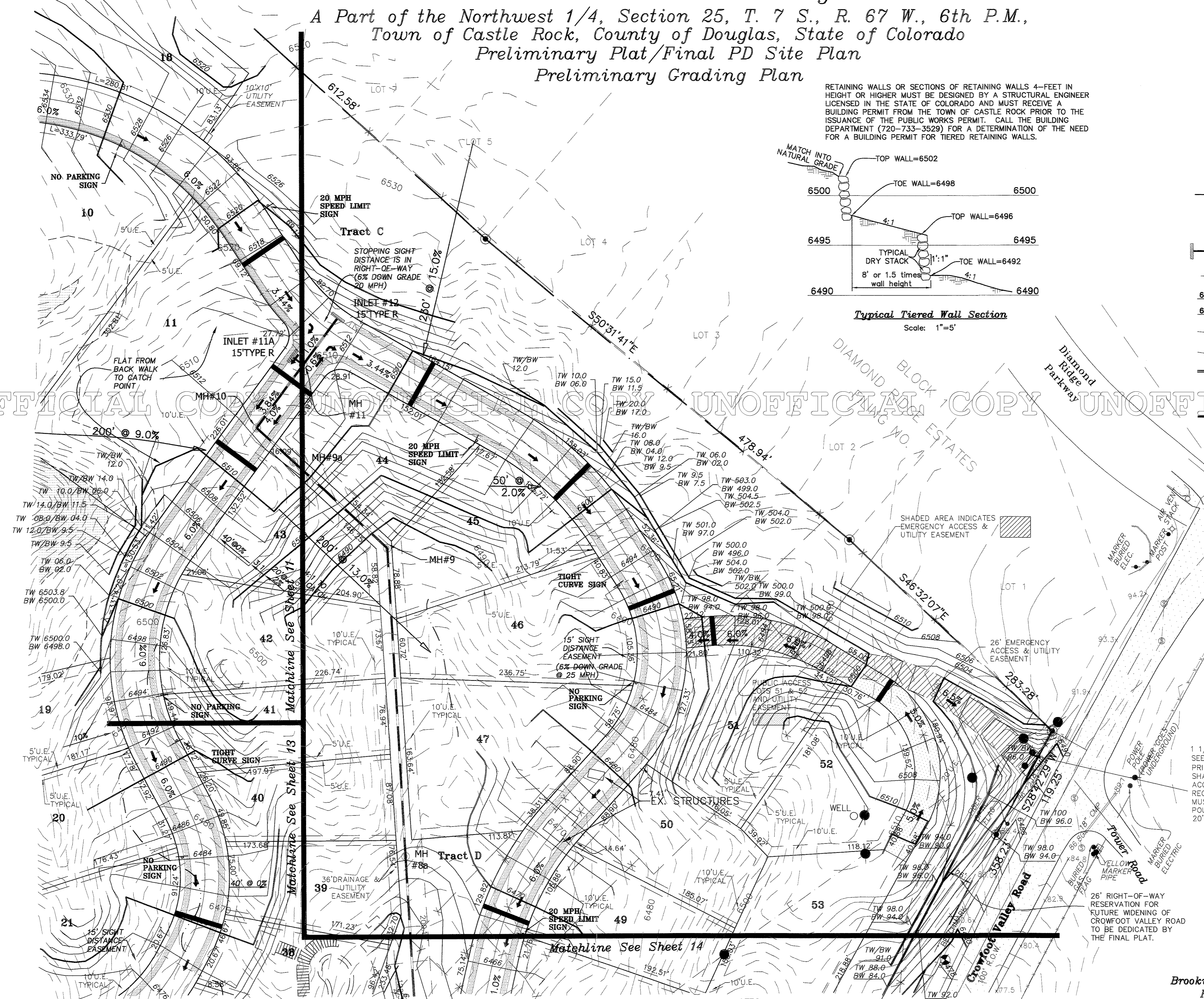
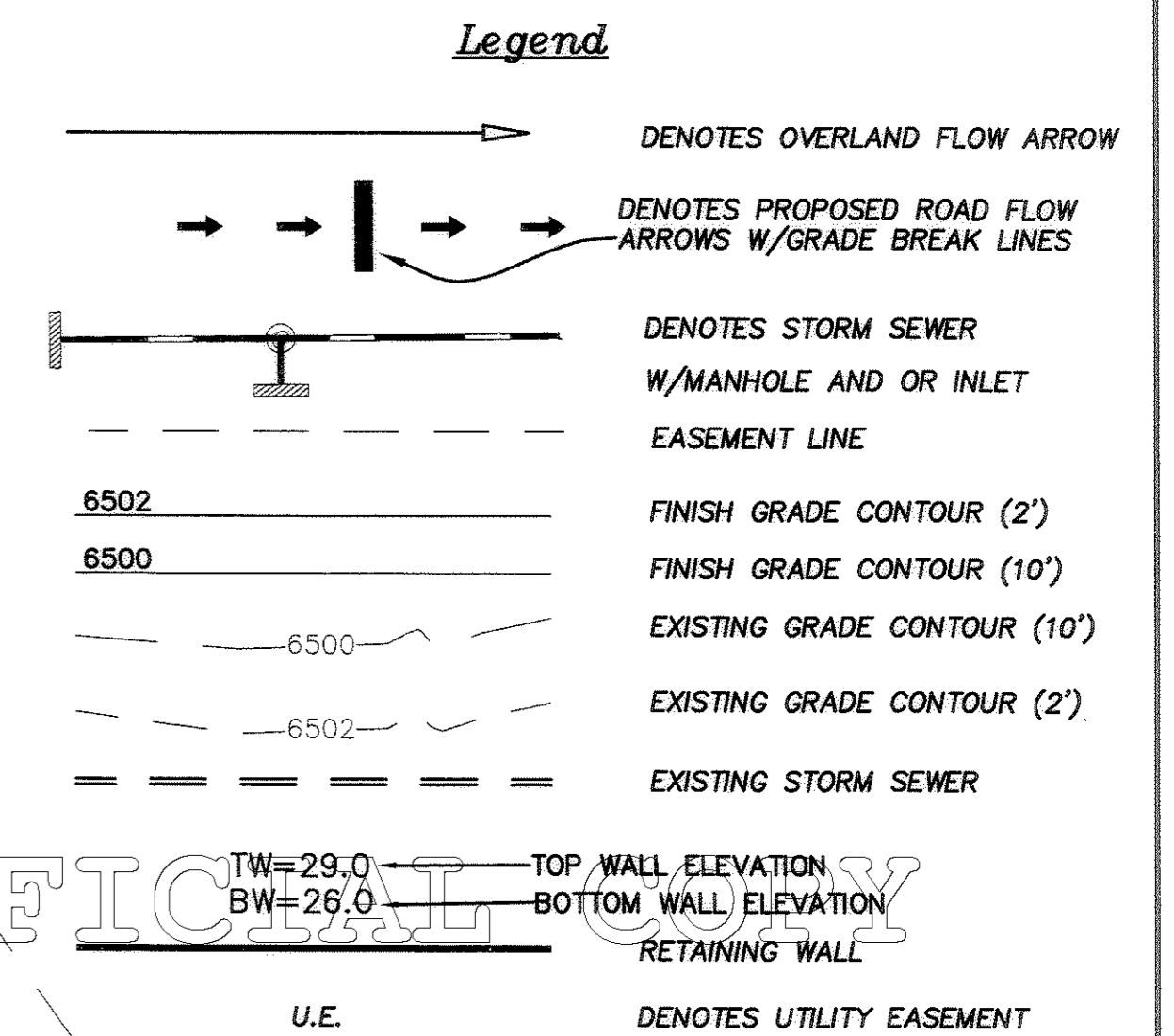
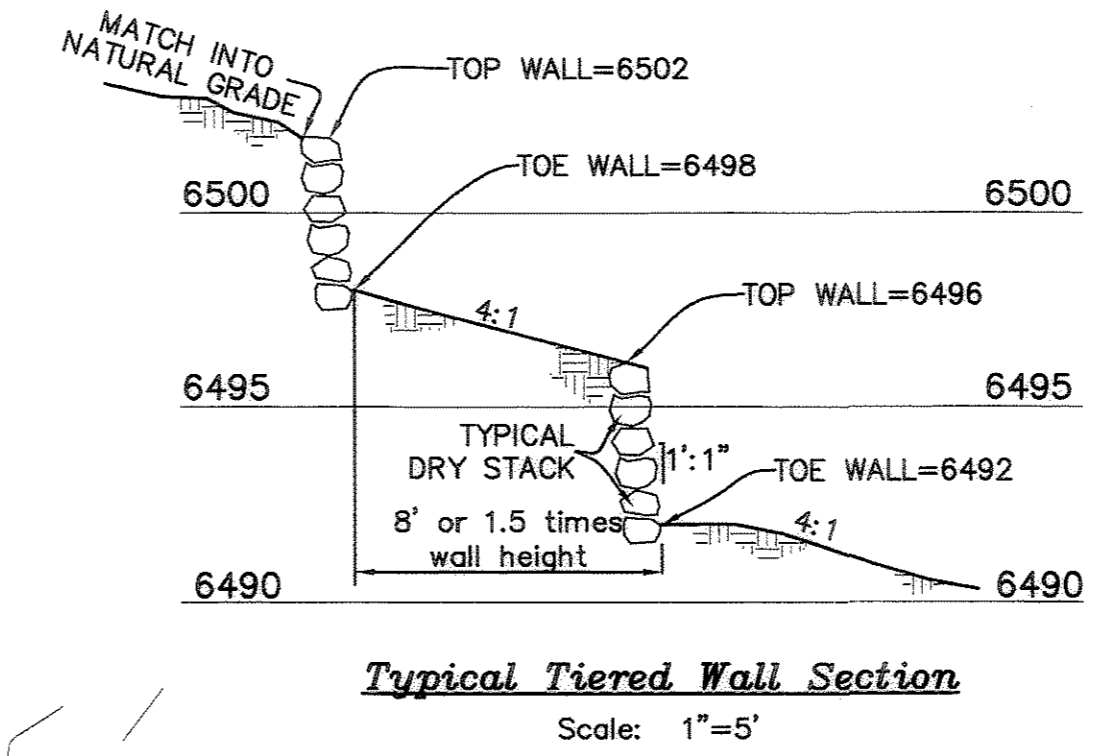
Date

Brookwood Subdivision  
Filing No. 1  
Preliminary Plat/Final PD Site Plan - Preliminary Grading

**Brookwood Subdivision Filing No. 1**  
 A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,  
 Town of Castle Rock, County of Douglas, State of Colorado  
 Preliminary Plat/Final PD Site Plan  
 Preliminary Grading Plan



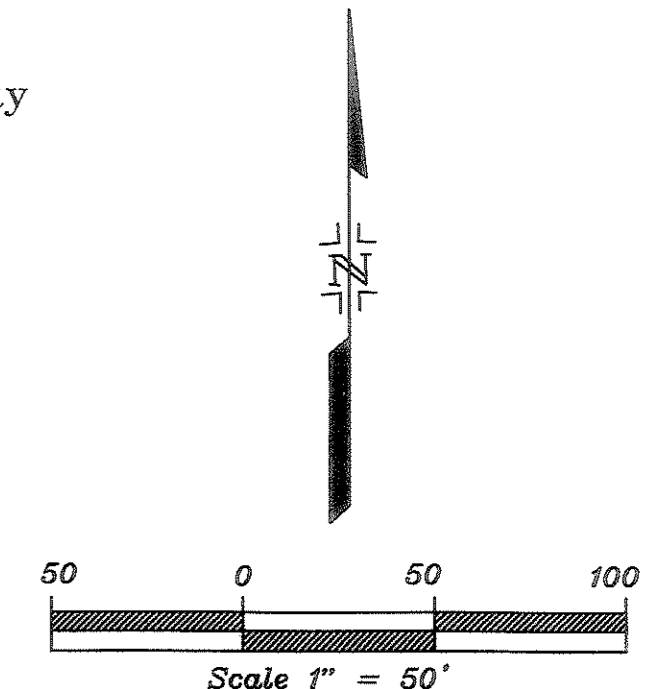
RETAINING WALLS OR SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT. CALL THE BUILDING DEPARTMENT (720-733-3529) FOR A DETERMINATION OF THE NEED FOR A BUILDING PERMIT FOR TIERED RETAINING WALLS.



**Benchmark:**  
 Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway, 3 1/2 Aluminum Cap marked 'Douglas County'.  
 Elev. 6271.01 - NAVD88

1 1/2" STEEL PIPE GATE W/CHAIN AND LOCK  
 SEE DETAIL SHEET 2  
 PRIVATE/EMERGENCY ACCESS EASEMENT/ROAD SHALL BE DESIGNED & CONSTRUCTION IN ACCORDANCE WITH PUBLIC WORKS REGULATIONS REGARDING PAVEMENT/STRENGTH & DEPTH AND MUST BE CAPABLE OF SUPPORTING A 75,000 POUND VEHICLE. ACCESS SHALL BE A MINIMUM OF 20' WIDE.

Douglas County  
 A-1  
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**COSTIN ENGINEERING CONSULTANTS, INC.**  
 7953 S. Alton Way, Suite A115  
 Englewood, Colorado 80112  
 PH (303) 790-4969  
 Rev. Per Town Comments 12/10/02  
 Rev. Per Town Comments 03/06/03  
 Rev. Per Town Comments 03/03/04  
 Rev. Per Town Comments 01/12/05

**ENGINEERING**  
 LAND SURVEYING  
 CONSTRUCTION MANAGEMENT  
 DATE: May 17, 2002  
 PROJ. NO. 4110024B  
 Rev. Per Town Comments 04/22/05

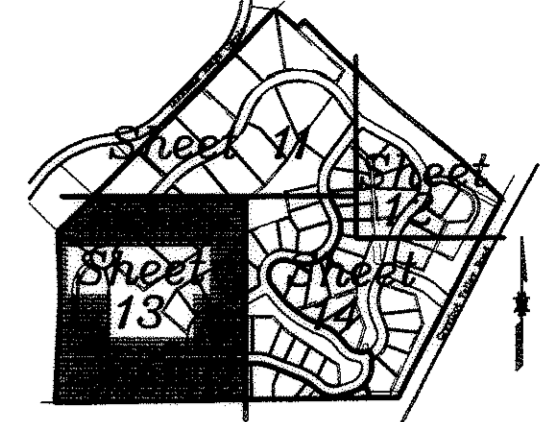
**SITE GRADING - PHASE II**

- NOTES:**
- ALL SINGLE FAMILY RESIDENTIAL HOUSES ON THIS PROJECT SHALL BE EQUIPPED WITH INDIVIDUAL AUTOMATIC SPRINKLER SYSTEMS.
  - THE EXISTING STRUCTURES, WELL, SEPTIC TANK, LEACH FIELD, UNDERGROUND AND OVERHEAD UTILITIES AND SPECIFIC FENCES ARE TO BE REMOVED PRIOR TO CONSTRUCTION. WELLS MUST BE ABANDONED PER RULE 16 OF STATE WATER RULES. SEPTIC TANKS MUST BE DRAINED & FILLED W/COMPACTED FILL.

Brookwood Subdivision  
 Filing No. 1  
 Preliminary Plat/Final PD Site Plan - Preliminary Grading

Brookwood Subdivision Filing No. 1  
 A Part of the Northwest 1/4, Section 25,  
 T. 7 S., R. 67 W., 6th P.M., Town of Castle Rock,  
 County of Douglas, State of Colorado  
 Preliminary Plat/Final PD Site Plan  
 Preliminary Grading Plan

Matchline See Sheet 11

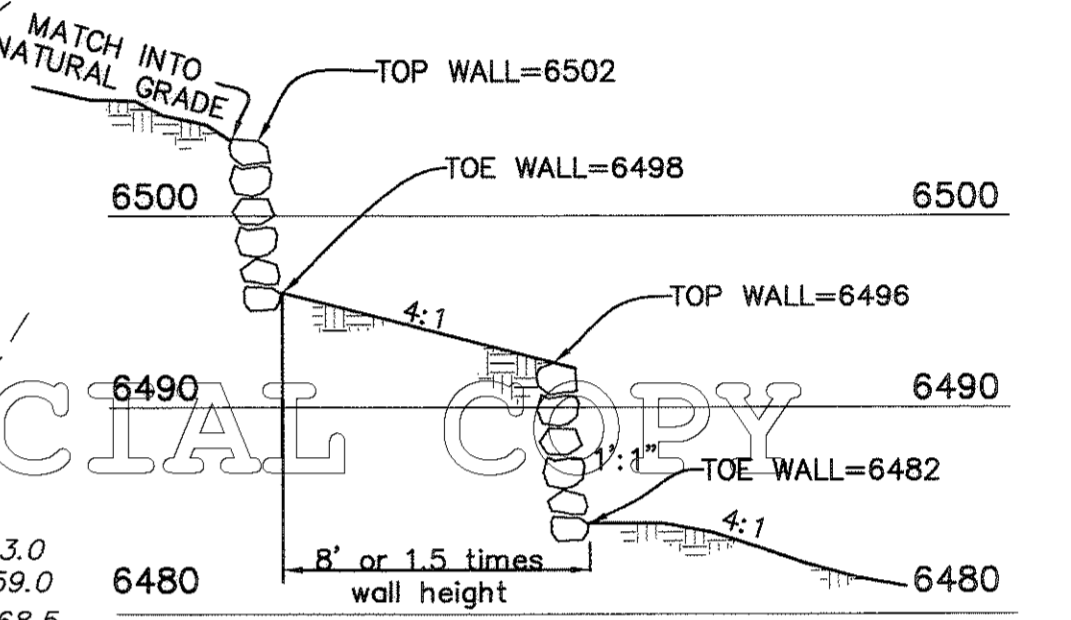


By Map Scale 1" = 1000'

SITE GRADING PHASE II

UNOFFICIAL COPY

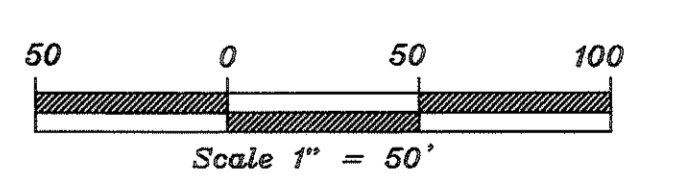
RETAINING WALLS OR SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT. CALL THE BUILDING DEPARTMENT (720-733-3529) FOR A DETERMINATION OF THE NEED FOR A BUILDING PERMIT FOR TIERED RETAINING WALLS.



Typical Tiered Wall Section  
 Scale: 1" = 5'

Legend

- DENOTES OVERLAND FLOW ARROW
- DENOTES PROPOSED ROAD FLOW ARROWS W/GRADE BREAK LINES
- DENOTES STORM SEWER W/MANHOLE AND OR INLET
- EASEMENT LINE
- ESCARPMENT BOUNDARY
- FINISH GRADE CONTOUR (2')
- FINISH GRADE CONTOUR (10')
- EXISTING GRADE CONTOUR (10')
- EXISTING GRADE CONTOUR (2')
- EXISTING STORM SEWER
- TW=29.0 TOP WALL ELEVATION
- BW=26.0 BOTTOM WALL ELEVATION
- RETAINING WALL
- U.E. DENOTES UTILITY EASEMENT



**Benchmark:**  
 Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway, 3 1/2 Aluminum Cap marked 'Douglas County', Elev. 6271.01 - NAVD88

Brookwood Subdivision  
 Filing No. 1  
 Preliminary Plat/Final PD Site Plan  
 Preliminary Grading

**NOTES:**

1. ALL SINGLE FAMILY RESIDENTIAL HOUSES ON THIS PROJECT SHALL BE EQUIPPED WITH INDIVIDUAL AUTOMATIC SPRINKLER SYSTEMS.
2. THE EXISTING STRUCTURES, WELL, SEPTIC TANK, LEACH FIELD, UNDERGROUND AND OVERHEAD UTILITIES AND SPECIFIC FENCES ARE TO BE REMOVED PRIOR TO CONSTRUCTION. WELLS MUST BE ABANDONED PER RULE 16 OF STATE WATER RULES. SEPTIC TANKS MUST BE DRAINED & FILLED W/COMPACTED FILL.
3. ALL PRIVATE/EMERGENCY ACCESS EASEMENTS/ROADS SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH PUBLIC WORKS REGULATIONS REGARDING PAVEMENT/STRENGTH & DEPTH & MUST BE CAPABLE OF SUPPORTING A 75,000 POUND VEHICLE.

**COSTIN ENGINEERING CONSULTANTS, INC.**  
 7353 S. Alton Way, Suite A115  
 Englewood, Colorado 80112  
 PH (303) 790-4969  
 Rev. Per Town Comments 12/10/02  
 Rev. Per Town Comments 03/06/03  
 Rev. Per Town Comments 03/03/04  
 Rev. Per Town Comments 01/12/05

**ENGINEERING  
 LAND SURVEYING  
 CONSTRUCTION MANAGEMENT**  
 DATE: May 17, 2002  
 PROJ. NO. 4110024B  
 Rev. Per Town Comments 04/22/05

MINIMUM 25' BLDG SETBACK FROM PROJECT BOUNDARY

POINT OF BEGINNING (PARCEL NO. 1)  
 SW COR. NW 1/4 SECTION 25  
 FND 2 1/2" ALUM CAP  
 LS 6935

Unplatted  
 Reception #01055445  
 Metzler Ranch PD / R-SF2

589'13'55"W

EAST-WEST CENTERLINE SECTION 25

MINIMUM 25' BLDG SETBACK FROM PROJECT BOUNDARY

Castle Rock Development Services Department

Date

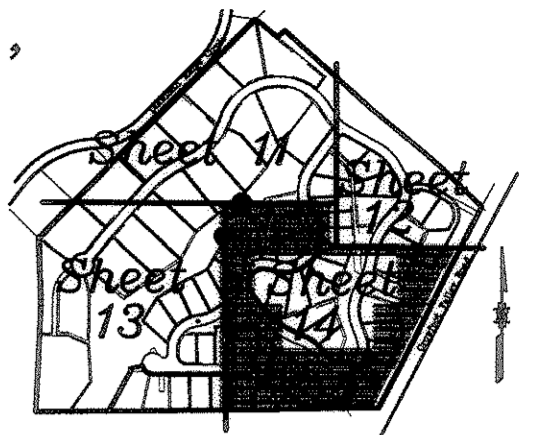
# Brookwood Subdivision Filing No. 1

A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,  
Town of Castle Rock, County of Douglas, State of Colorado

## Preliminary Plat/Final PD Site Plan

### Preliminary Grading Plan

26' RIGHT-OF-WAY RESERVATION FOR FUTURE WIDENING OF CROWFOOT VALLEY ROAD TO BE DEDICATED BY THE FINAL PLAT.

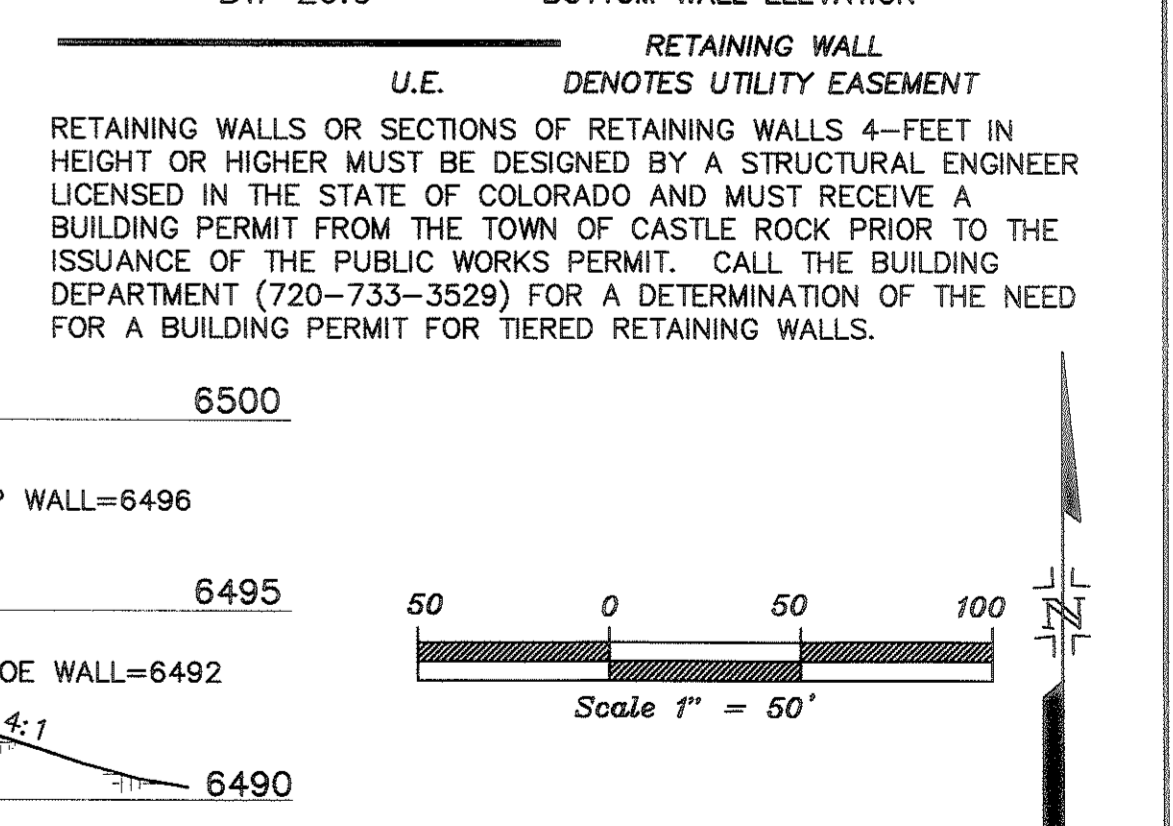
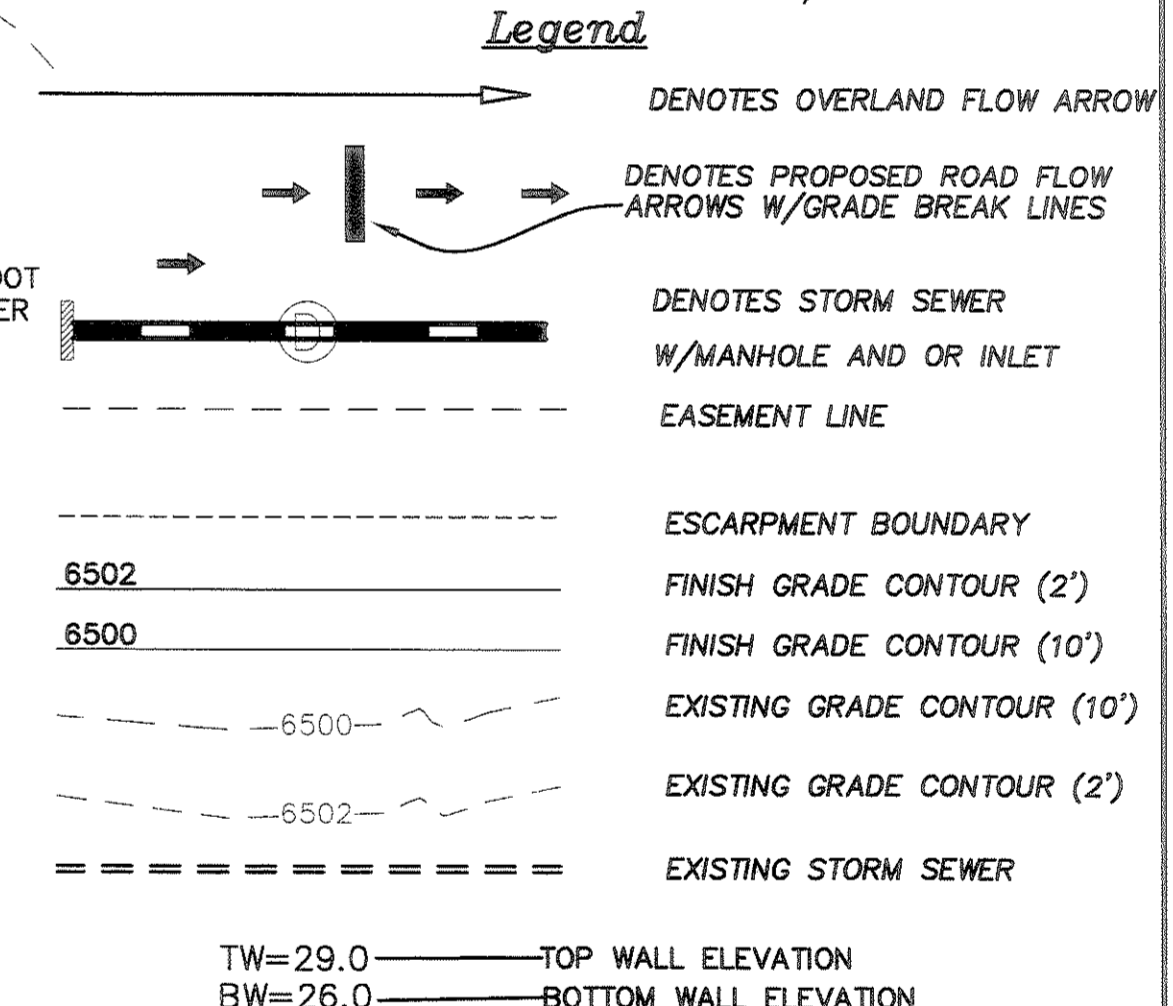


**Benchmark:**  
Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway, 3 1/2 Aluminum Cap marked 'Douglas County'. Elev. 6271.01 - NAVD88

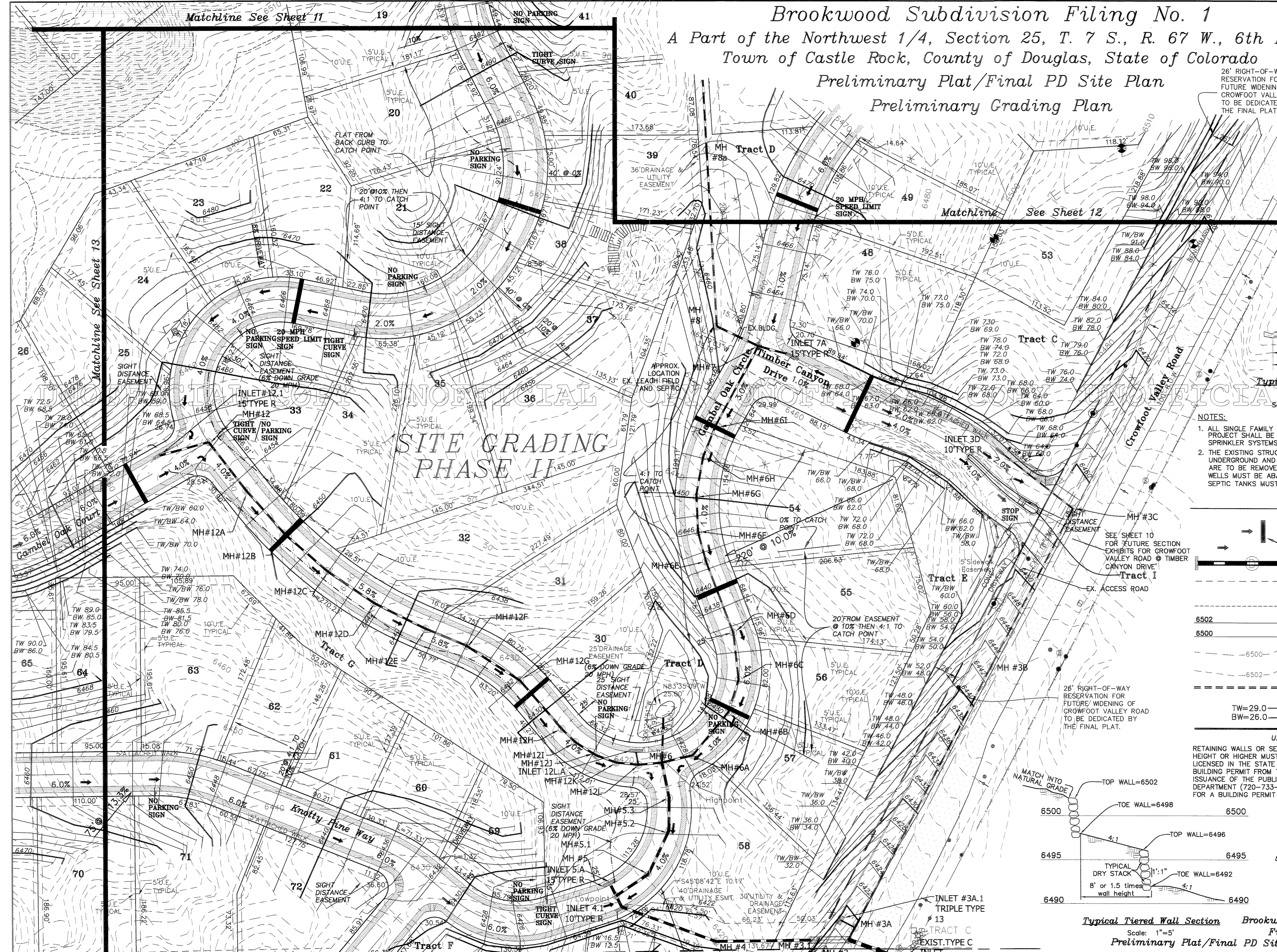
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**Typical Multi Tiered Wall Section**  
Scale: 1"=10'-H' & V

- NOTES:**
- ALL SINGLE FAMILY RESIDENTIAL HOUSES ON THIS PROJECT SHALL BE EQUIPPED WITH INDIVIDUAL AUTOMATIC SPRINKLER SYSTEMS.
  - THE EXISTING STRUCTURES, WELL, SEPTIC TANK, LEACH FIELD, UNDERGROUND AND OVERHEAD UTILITIES AND SPECIFIC FENCES ARE TO BE REMOVED PRIOR TO CONSTRUCTION. WELLS MUST BE ABANDONED PER RULE 16 OF STATE WATER RULES. SEPTIC TANKS MUST BE DRAINED & FILLED W/COMPACTED FILL.



**Typical Tiered Wall Section** Brookwood Subdivision  
Scale: 1"=5'  
Preliminary Plat/Final PD Site Plan - Preliminary Grading



**COSTIN ENGINEERING CONSULTANTS, INC.**  
7583 S. Alton Way, Suite 1115  
Englewood, Colorado 80112  
PH (303) 790-4969  
Rev. Per Town Comments 12/10/02  
Rev. Per Town Comments 03/06/03

MINIMUM 25' BLDG SETBACK FROM PROJECT BOUNDARY  
DATE: May 17, 2002  
PROJ. NO. 4110024B  
Rev. Per Town Comments 03/03/04  
Rev. Per Town Comments 01/12/05  
Rev. Per Town Comments 04/22/05

Metzler Ranch PD / R-SF2  
Filing No. 6  
PD / R-SF2  
Reception #00886760  
Metzler Ranch PD / R-SF2

Castle Rock Development Services Department  
Date  
SHEET 14 of 28

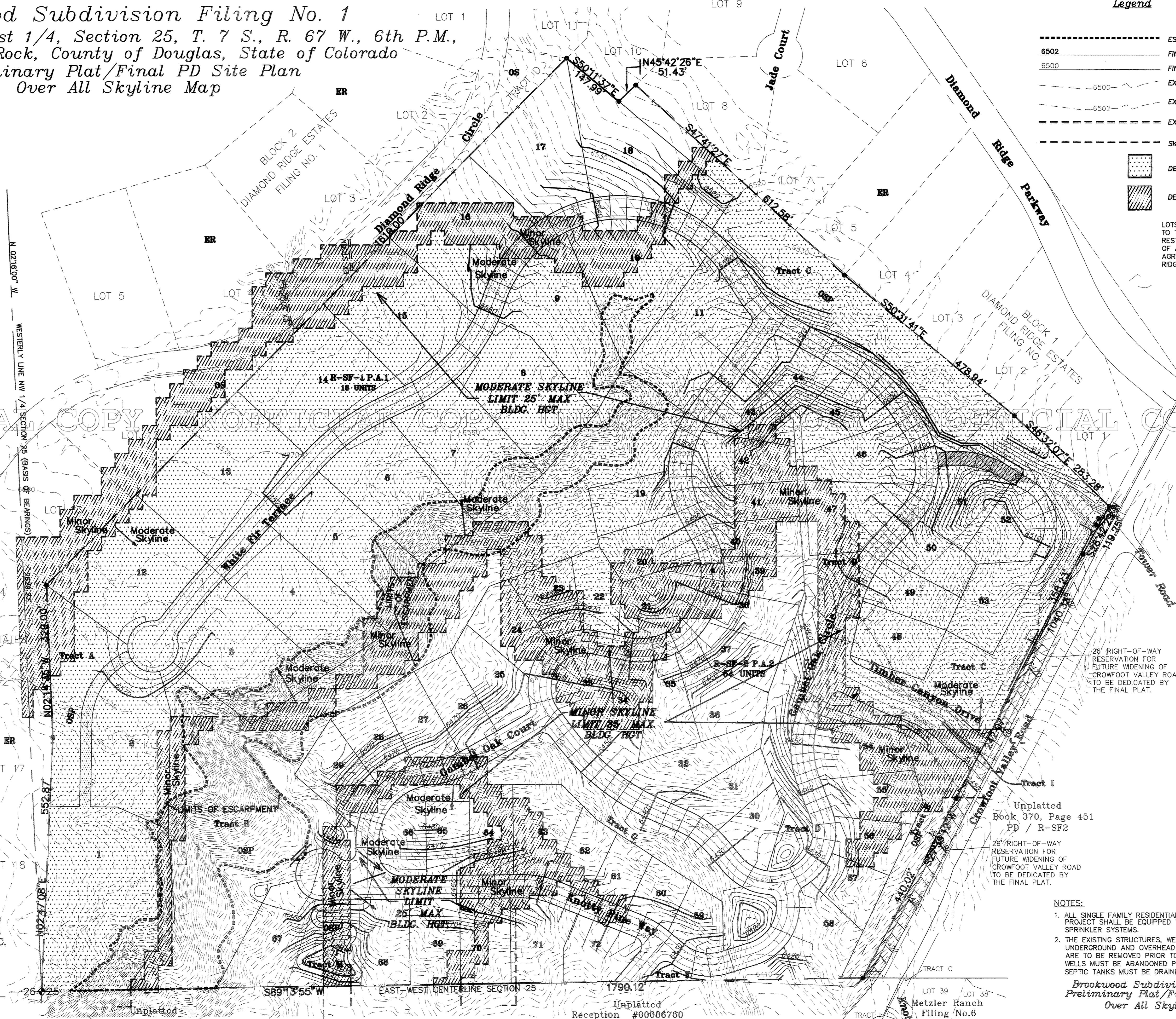
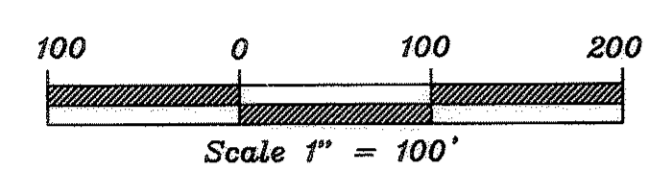


**Brookwood Subdivision Filing No. 1**  
 A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,  
 Town of Castle Rock, County of Douglas, State of Colorado  
 Preliminary Plat/Final PD Site Plan  
 Over All Skyline Map

**Legend**

- ESCARPMENT BOUNDARY
- 6502 FINISH GRADE CONTOUR (2')
- 6500 FINISH GRADE CONTOUR (10')
- 6500- EXISTING GRADE CONTOUR (10')
- 6502- EXISTING GRADE CONTOUR (2')
- ==== EXISTING STORM SEWER
- SKYLINE DESIGNATION BOUNDARY
- [Stippled Box] DENOTES MODERATE SKYLINE AREA
- [Hatched Box] DENOTES MINOR SKYLINE AREA

LOTS 17 & 18 ARE SUBJECT TO THE MODERATE SKYLINE RESTRICTIONS PER THE CONDITIONS OF APPROVAL AND PRIVATE AGREEMENTS WITH THE DIAMOND RIDGE HOA.



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Unplatted  
 Douglas County  
 A-1

**Benchmark:**  
 Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway. 3 1/2 Aluminum Cap marked "Douglas County". Elev. 6271.01-NAVD88

**COSTI ENGINEERING CONSULTANTS, INC.**  
 ENGINEERING  
 LAND SURVEYING  
 CONSTRUCTION MANAGEMENT

7353 S. Alton Way, Suite A115  
 Englewood, Colorado 80112  
 PH (303) 790-4988  
 Contact: William E. Miller

BROOKWOOD SUBDIVISION FILING NO. 1  
 OVERALL SKYLINE MAP

DATE 5-17-2002 Rev Per City 12/04/02  
 PROJ. NO. 411 Rev Per City 03/06/03  
 Rev Per City 03/03/04  
 Rev Per City 01/12/05  
 Rev Per City 04/22/05

Reception #01055445  
 Metzler Ranch PD / R-SF2

Unplatted  
 Reception #00086760  
 Metzler Ranch PD / R-SF2

Castle Rock Development Services  
 Department

**Brookwood Subdivision Filing No. 1**  
 Preliminary Plat/Final PD Site Plan  
 Over All Skyline Map

- NOTES:**
- ALL SINGLE FAMILY RESIDENTIAL HOUSES ON THIS PROJECT SHALL BE EQUIPPED WITH INDIVIDUAL AUTOMATIC SPRINKLER SYSTEMS.
  - THE EXISTING STRUCTURES, WELL, SEPTIC TANK, LEACH FIELD, UNDERGROUND AND OVERHEAD UTILITIES AND SPECIFIC FENCES ARE TO BE REMOVED PRIOR TO CONSTRUCTION. WELLS MUST BE ABANDONED PER RULE 16 OF STATE WATER RULES. SEPTIC TANKS MUST BE DRAINED & FILLED W/COMPACTED FILL.

**Brookwood Subdivision Filing No. 1**  
 A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,  
 Town of Castle Rock, County of Douglas, State of Colorado  
**Preliminary Utility Plan**

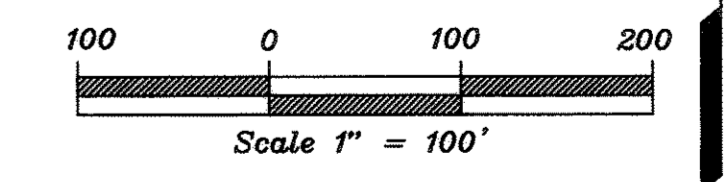
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**Benchmark:**  
 Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway. 3 1/2 Aluminum Cap marked Douglas County, Elev. 6271.01 NAVD88

STEEL PIPE GATE W/KNOX PAD LOCK  
 SEE DETAIL SHEET 2  
 PRIVATE/EMERGENCY ACCESS EASEMENT/ROAD SHALL BE DESIGNED & CONSTRUCTION IN ACCORDANCE WITH PUBLIC WORKS REGULATIONS REGARDING PAVEMENT STRENGTH & DEPTH AND MUST BE CAPABLE OF SUPPORTING A 75,000 POUND VEHICLE. ACCESS SHALL BE A MINIMUM OF 20' WIDE.

Unplatted Douglas County A-1

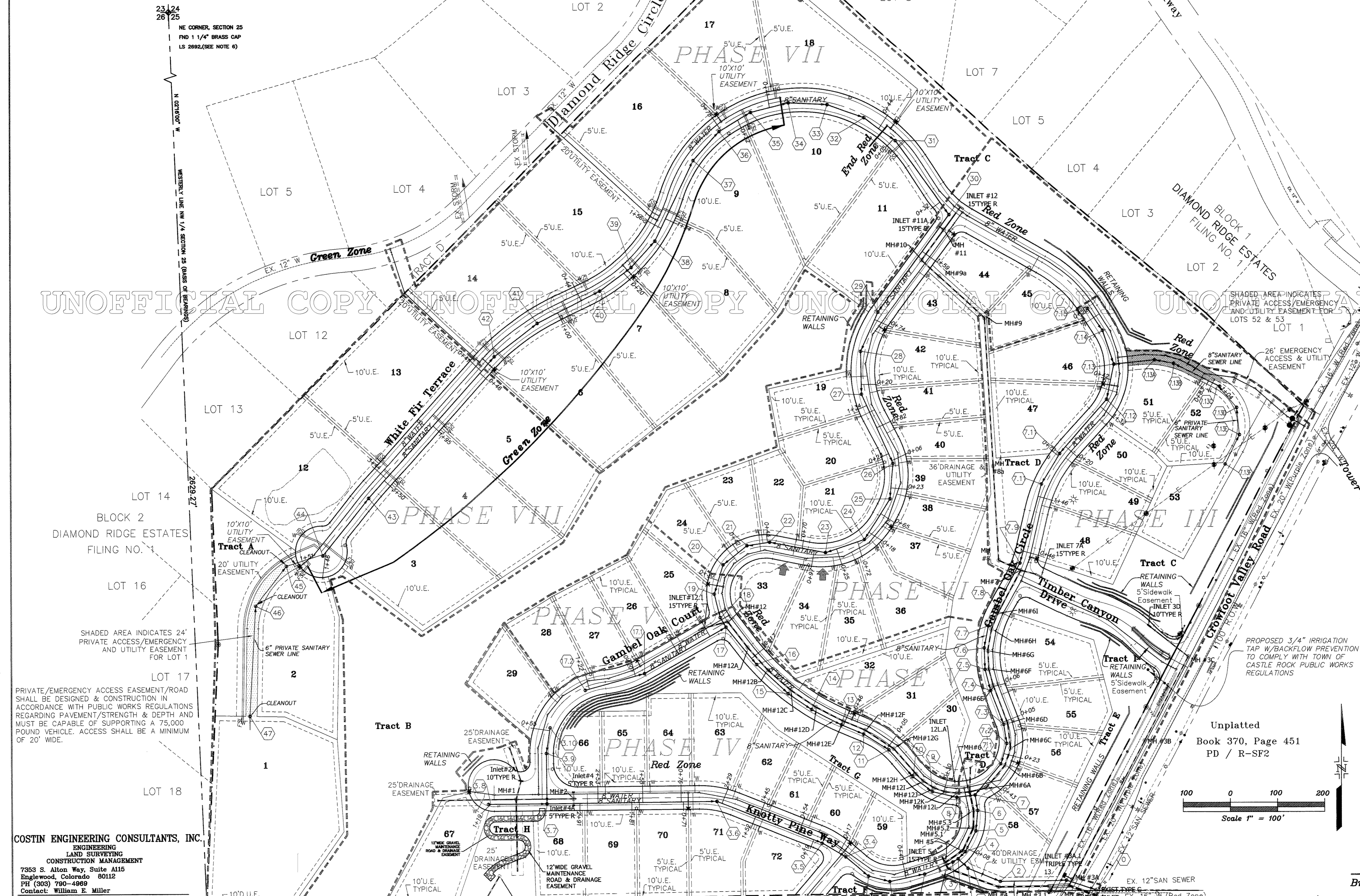
- Legend**
- ◀ DENOTES ACCESS FOR LOTS THAT BACK UP TO MORE THAN ONE STREET
  - ☆ DENOTES PROPOSED STREET LIGHT (MIN. 7000 LUMENS @ 100 WATTS) LIGHTS ALONG CROWFOOT VALLEY ROAD: 9500 LUMENS @ 100 OR 150 WATTS
  - ⚡ DENOTES CURB RAMPS FOR PHYSICALLY HANDICAPPED
  - RETAINING WALL
  - - - EASEMENT LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
  - EXISTING WATERLINE
  - PROPOSED WATERLINE
  - PROPOSED SANITARY SEWER
  - S SANITARY SEWER SERVICE LINE-4"
  - W WATER SERVICE LI- 3/4"
  - FSL FIRE SERVICE LINE - 1 1/2"
  - SM SANITARY SEWER MANHOLE
  - ⊕ EXISTING FIRE HYDRANT
  - ⊕ PROPOSED FIRE HYDRANT
  - ⊕ PROPOSED BEND W/KICKBLOCK
  - ⊕ PROPOSED TEE W/KICKBLOCK
  - ⊕ PROPOSED VALVE
  - ⊕ PROPOSED SAN. SEWER MANHOLE
  - POWER POLE (EXIST)
  - AIR VENT STACK (EXIST)
  - TELEPHONE BOX (EXIST)
  - ⊕ TELEPHONE MANHOLE (EXIST)
  - GUY WIRE (EXIST)
  - ⊕ VALVE (EXIST)
  - ⊕ WATER MANHOLE (EXIST)
  - ⊕ LIGHTS (EXIST)
  - ⊕ SIGN (EXIST)
  - 6X6ELEC BOX (EXIST)
  - ELEC.CONTROL BOX (EXIST)
  - SPRINKLER BOXES (EXIST)
  - ⊕ ELECTRIC PEDESTAL (EXIST)
  - U.E. DENOTES UTILITY EASEMENT
  - DENOTES PHASE LINES



Unplatted Book 370, Page 451 PD / R-SF2

Brookwood Subdivision Filing No. 1  
 Preliminary Plat/Final PD Site Plan - OVERALL PRELIMINARY UTILITY PLAN

Castle Rock Development Services Department Date SHEET 17 of 28



**COSTIN ENGINEERING CONSULTANTS, INC.**  
 ENGINEERING  
 LAND SURVEYING  
 CONSTRUCTION MANAGEMENT  
 7353 S. Alton Way, Suite A115  
 Englewood, Colorado 80112  
 PH (303) 790-4969  
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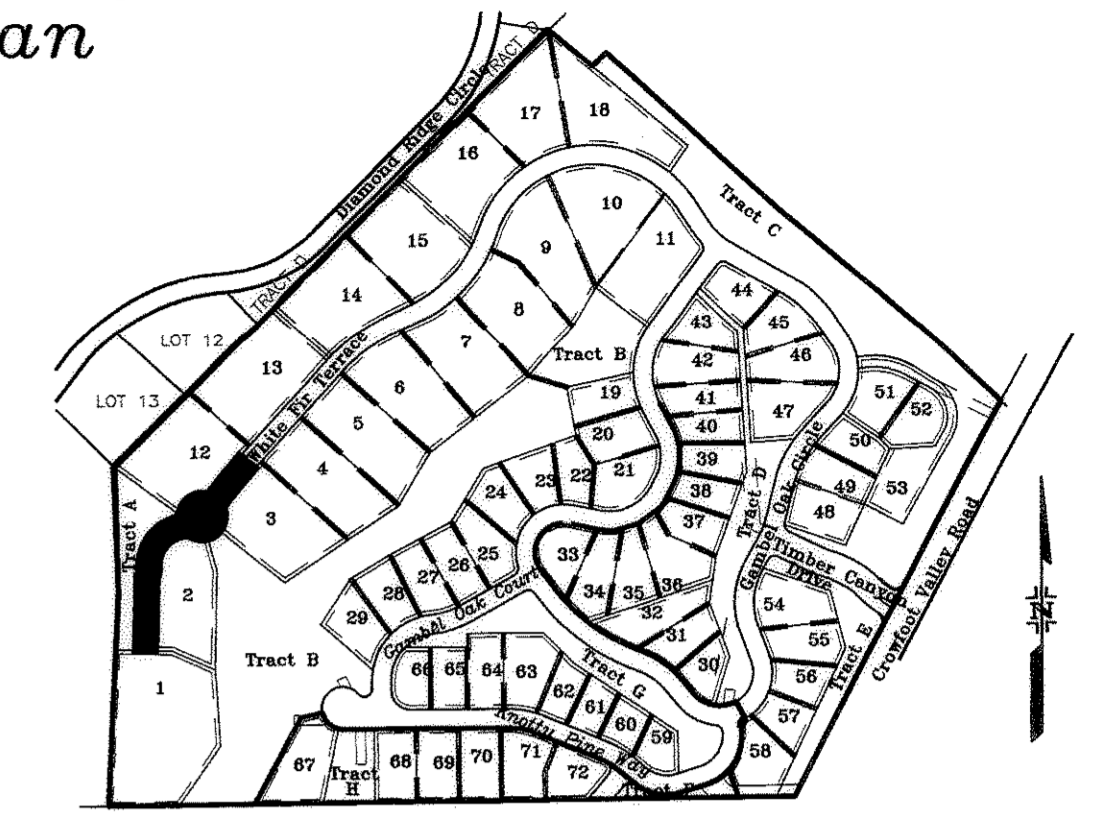
BROOKWOOD SUBDIVISION FILING NO. 1  
 OVERALL UTILITY PLAN  
 Rev Per City 12/10/02  
 Rev Per City 03/08/03  
 Rev Per City 03/03/04  
 Rev Per City 01/12/05  
 DATE 5-17-2002  
 PROJ. NO. 411

POINT OF BEGINNING (PARCEL NO. 1)  
 SW COR. NW1/4 SECTION 25  
 Unplatted Reception #01055445  
 Metzler Ranch PD / R-SF2

**Castle Rock Fire and Rescue Department Note:**  
 THE FIRE CODE REQUIRES THAT NO LANDSCAPING, FENCING OR ANY OTHER OBSTRUCTIONS BE PLACED WITHIN THREE FEET OF A FIRE HYDRANT.

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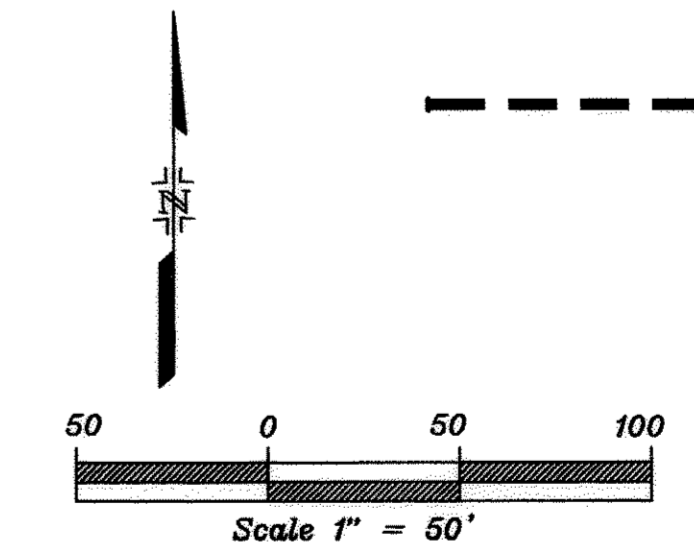
**Brookwood Subdivision Filing No. 1**  
 A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,  
 Town of Castle Rock, County of Douglas, State of Colorado  
 Preliminary Plat/Final PD Site Plan  
 Preliminary Utility Plan



**Key Map**  
 Scale 1" = 500'

**Legend**

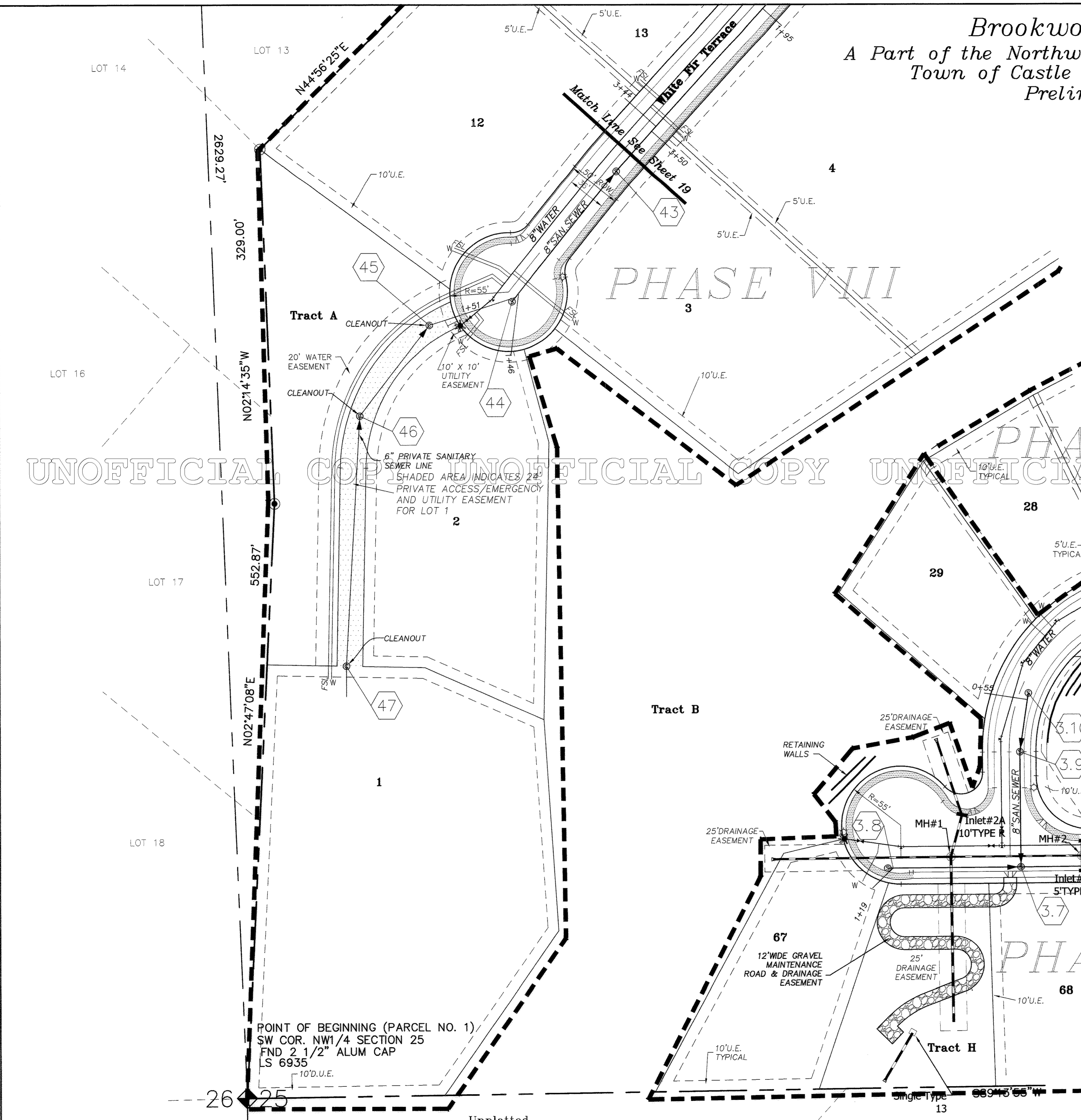
- DENOTES ACCESS FOR LOTS THAT BACK UP TO MORE THAN ONE STREET
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LIGHTS ALONG CROWFOOT VALLEY ROAD: 9500 LUMENS @ 100 (OR) 150 WATTS
- DENOTES CURB RAMP FOR PHYSICALLY HANDICAPPED
- ADJACENT RIGHT OF WAY LINE
- PROPOSED ROW, SIDEWALK & FLOWLINE
- RETAINING WALL
- EASEMENT LINE
- EXISTING STORM SEWER & MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED 8" SANITARY SEWER AND MANHOLE UNLESS OTHERWISE NOTED
- EXISTING WATER LINE
- PROPOSED WATER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED BEND W/KICKBLOCK
- PROPOSED TEE W/KICKBLOCK
- PROPOSED VALVE
- FIRE HYDRANT (EXIST)
- SANITARY SEWER SERVICE LINE-4"
- WATER SERVICE LINE-3/4"
- FIRE SERVICE LINE- 1 1/2"
- PROPOSED SAN. SEWER MANHOLE
- U.E. DENOTES UTILITY EASEMENT
- DENOTES PHASE LINES



**Brookwood Subdivision**  
 Filing No. 1  
 Preliminary Plat/Final PD Site Plan - Preliminary Utility Plan

**NOTES:**

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POINT OF BEGINNING (PARCEL NO. 1)  
 SW COR. NW1/4 SECTION 25  
 FND 2 1/2" ALUM CAP  
 LS 6935

Unplatted  
 Reception #01055445  
 Metzler Ranch PD / R-SF2

**Benchmark:**  
 Douglas County Benchmark Number 2011015, located near the intersection of Trail Boss Drive and Founders Parkway. 3 1/2 Aluminum Cap marked 'Douglas County'.  
 Elev. 6271.01-NAVD88

Castle Rock Development Services  
 Department

Date \_\_\_\_\_

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**COSTIN ENGINEERING CONSULTANTS, INC.**  
 7353 S. Alton Way, Suite A115  
 Englewood, Colorado 80112  
 PH (303) 790-4969  
 Rev. Per Town Comments 12/10/02  
 Rev. Per Town Comments 03/06/03  
 Rev. Per Town Comments 03/03/04  
 Rev. Per Town Comments 01/12/05

ENGINEERING  
 LAND SURVEYING  
 CONSTRUCTION MANAGEMENT  
 DATE: May 17, 2002  
 PROJ. NO. 4110024B  
 Sheet 18 of 28

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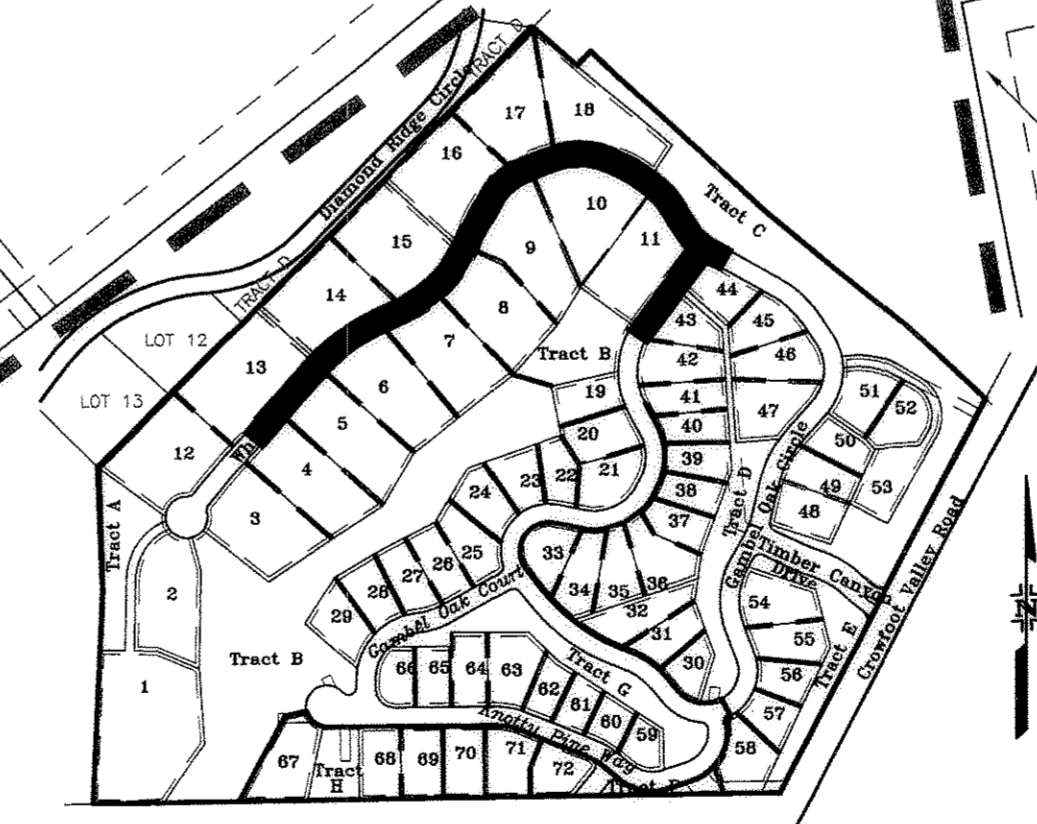
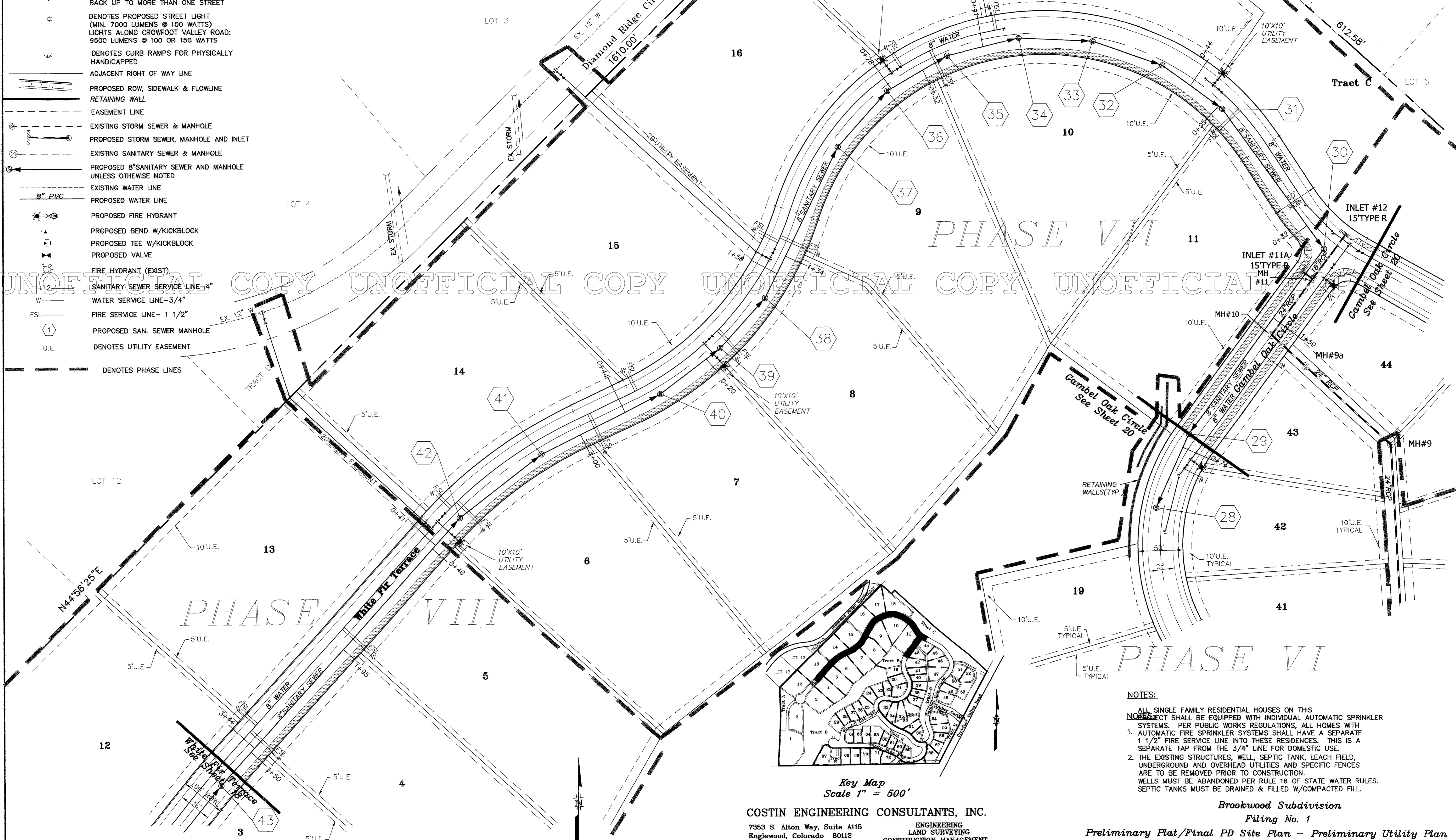
**Brookwood Subdivision Filing No. 1**  
 A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,  
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 Preliminary Plat/Final PD Site Plan

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**Legend**

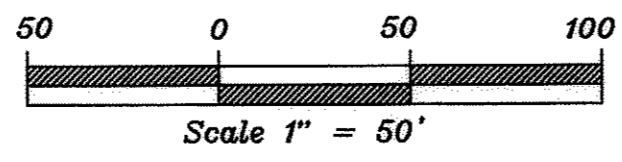
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**Preliminary Utility Plan**



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 Rev. Per Town Comments 01/12/05

**ENGINEERING**  
**LAND SURVEYING**  
**CONSTRUCTION MANAGEMENT**

DATE: May 17, 2002  
 PROJ. NO. 41100248

**Brookwood Subdivision**  
**Filing No. 1**  
**Preliminary Plat/Final PD Site Plan - Preliminary Utility Plan**

Castle Rock Development Services  
 Department

Date

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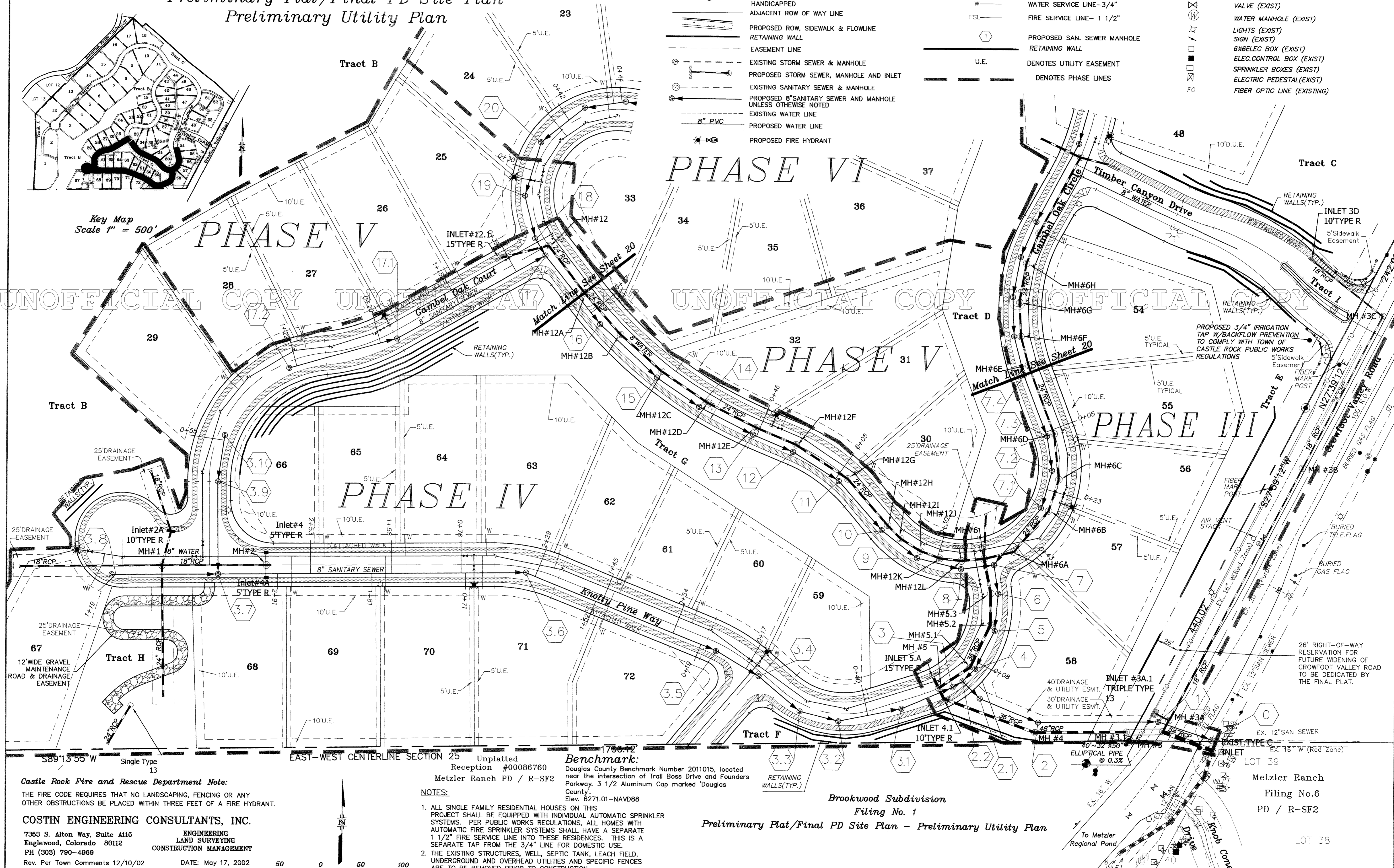
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 Town of Castle Rock, County of Douglas, State of Colorado  
 Preliminary Plat/Final PD Site Plan  
 Preliminary Utility Plan



Key Map  
Scale 1" = 500'

**Legend**

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	DENOTES UTILITY EASEMENT		DENOTES UTILITY EASEMENT		DENOTES UTILITY EASEMENT
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Rev. Per Town Comments 12/10/02 DATE: May 17, 2002  
 Rev. Per Town Comments 03/06/03 PROJ. NO. 4110024B  
 Rev. Per Town Comments 03/03/04  
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**Brookwood Subdivision**  
 Filing No. 1  
 Preliminary Plat/Final PD Site Plan - Preliminary Utility Plan

Castle Rock Development Services Department

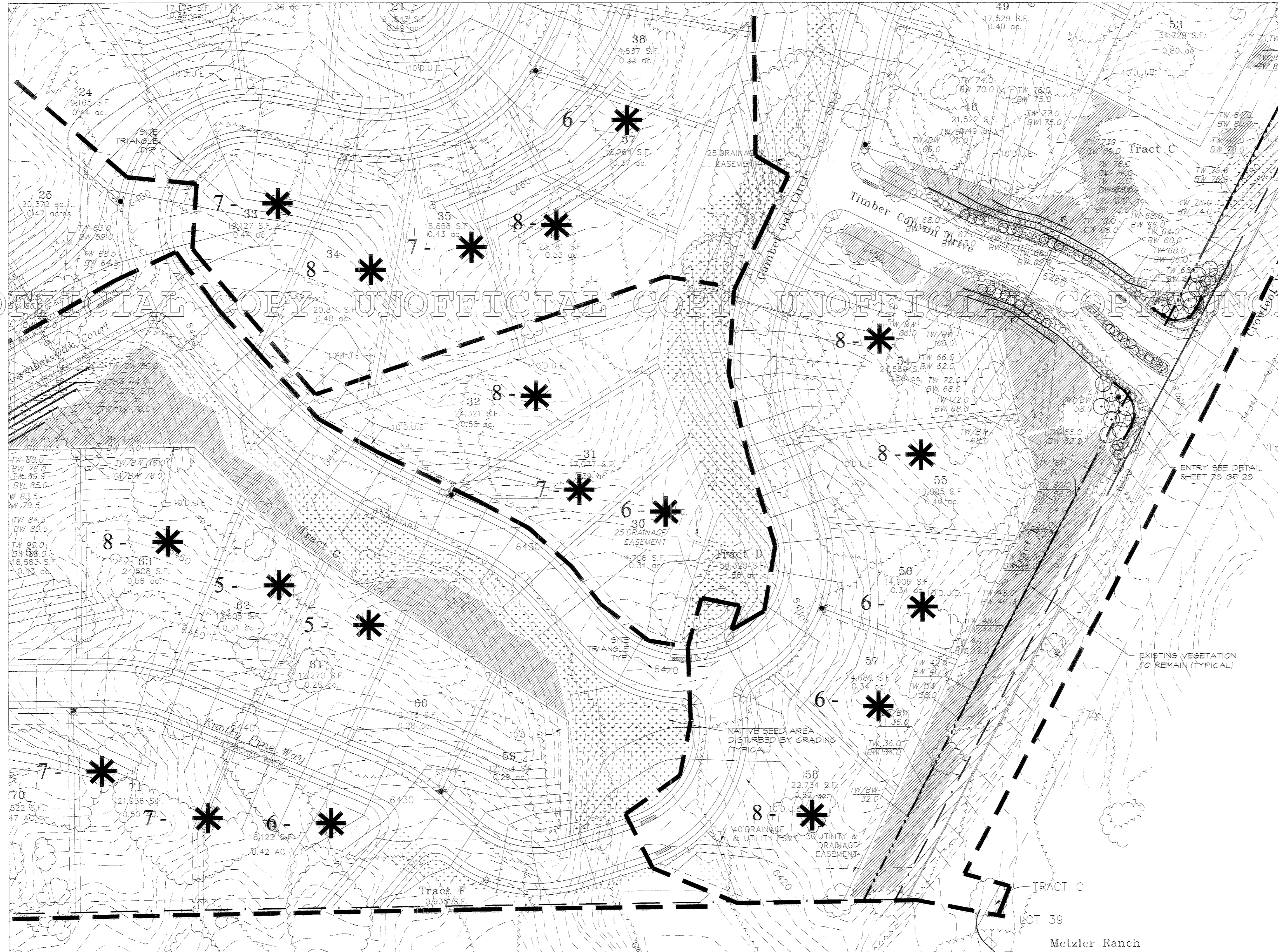
Date \_\_\_\_\_

SHEET 21 of 28

**Brookwood Subdivision Filing No. 1**  
 A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,  
 Town of Castle Rock, County of Douglas, State of Colorado  
 Preliminary Plat/Final PD Site Plan  
**LANDSCAPE PLAN**

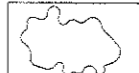

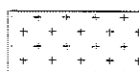

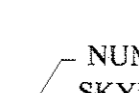



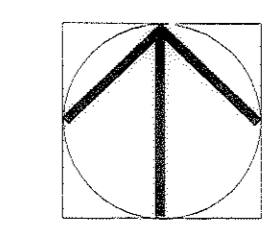
Key Map



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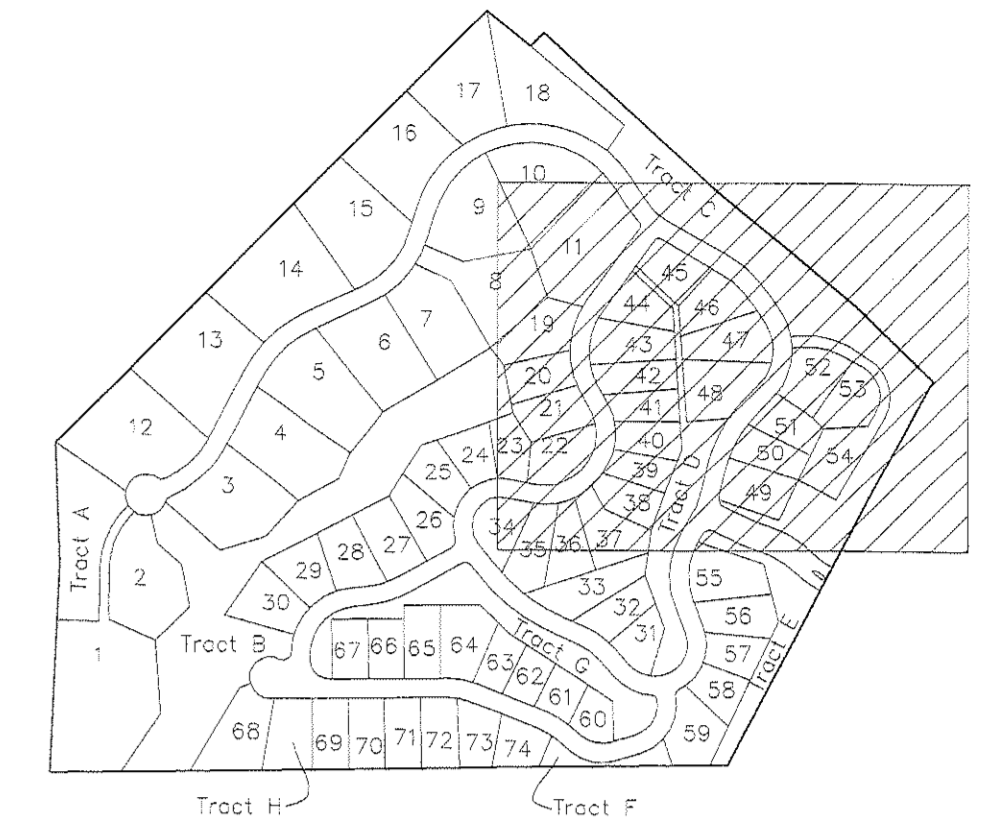
**LEGEND**

-  EXIST. VEGETATION (OPEN SPACE ONLY) TO BE REMOVED
-  EXIST. VEGETATION (OPEN SPACE ONLY) TO REMAIN
-  NATIVE REVEGETATION AREAS (OPEN SPACE ONLY) Native Seed Mix
-  EVERGREEN TREE PLANTING 8'-10' ht.
-  NUMBER OF TREES REQUIRED PER SKYLINE/RIDGELINE REGULATIONS
- 4 - A**  LOT SHALL CONFORM TO SKYLINE/RIDGELINE REGULATIONS ASSOCIATED SKYLINE/RIDGELINE VIEWING PLATFORM
- A** - FOUNDERS PARKWAY VIEWING PLATFORM
- B** - NOT VIEWABLE FROM ANY PLATFORM

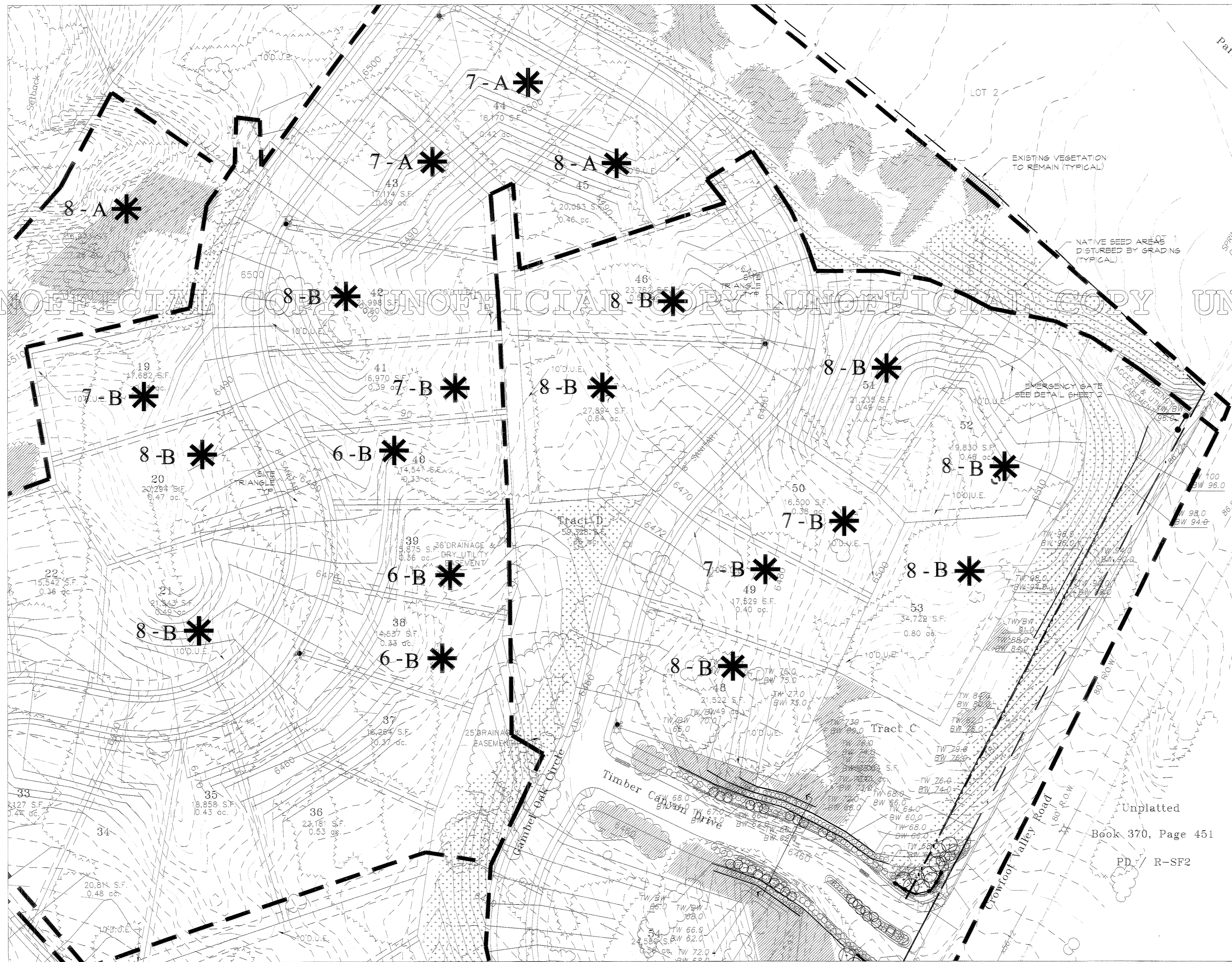


NORTH  
SCALE: 1"=50'

Brookwood Subdivision Filing No. 1  
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 Town of Castle Rock, County of Douglas, State of Colorado  
 Preliminary Plat/Final PD Site Plan  
 LANDSCAPE PLAN



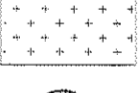

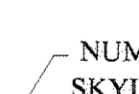
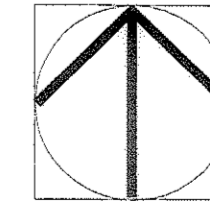


Key Map



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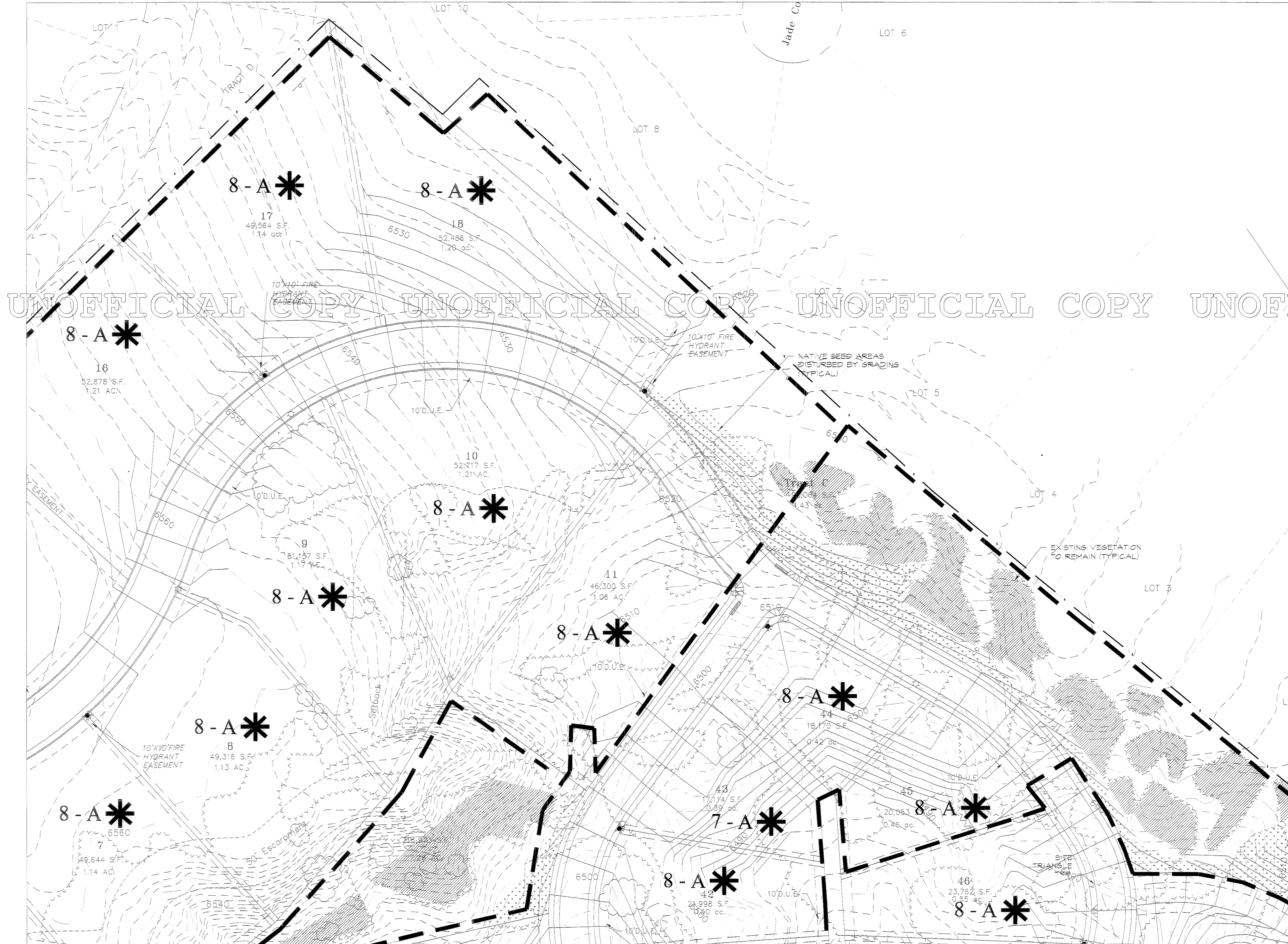
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- A** ASSOCIATED SKYLINE/RIDGELINE VIEWING PLATFORM
- A** -FOUNDERS PARKWAY VIEWING PLATFORM
- B** - NOT VIEWABLE FROM ANY PLATFORM
-  NORTH
- SCALE: 1"=50'

*Brookwood Subdivision Filing No. 1*  
*A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,*  
*Town of Castle Rock, County of Douglas, State of Colorado*  
*Preliminary Plat/Final PD Site Plan*  
**LANDSCAPE PLAN**



Key Map

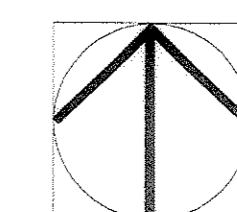


**LEGEND**

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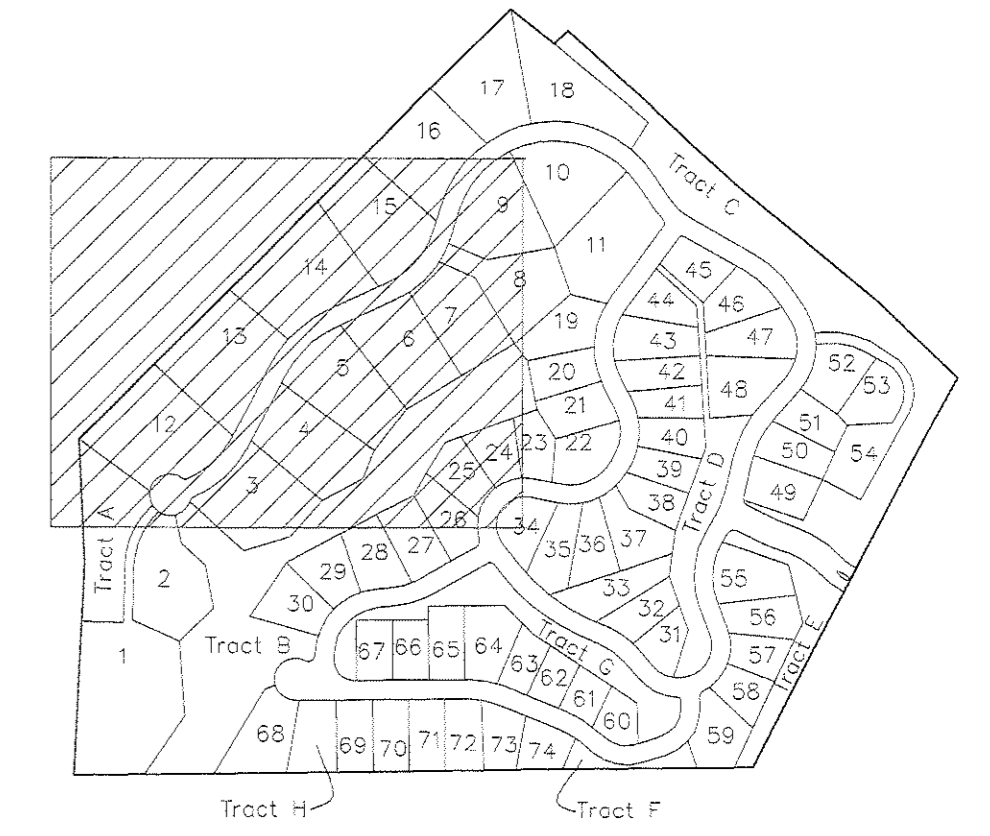
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**A** - FOUNDERS PARKWAY VIEWING PLATFORM  
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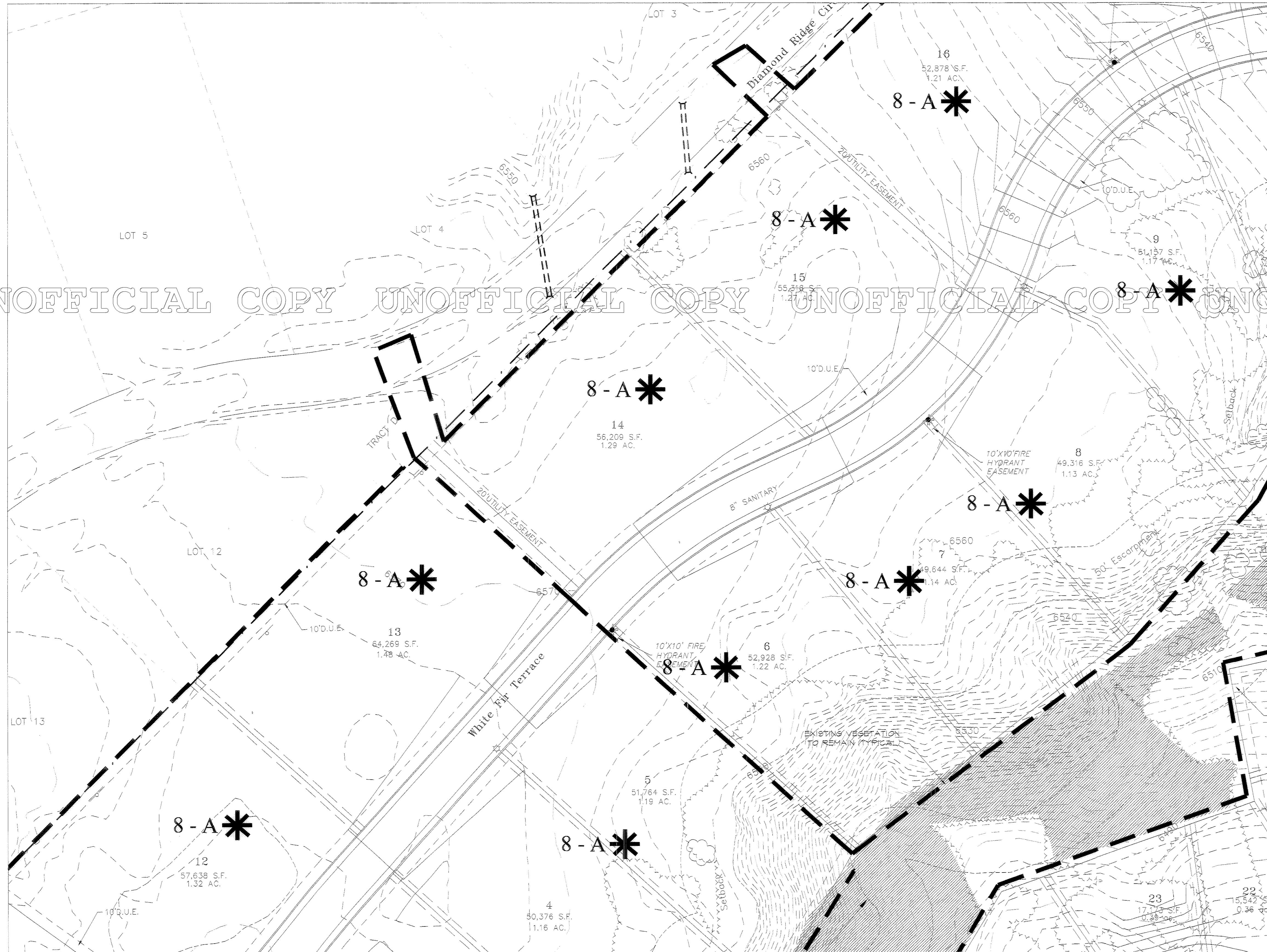


NORTH  
 SCALE: 1" = 50'

*Brookwood Subdivision Filing No. 1*  
*A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,*  
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*Preliminary Plat/Final PD Site Plan*  
**LANDSCAPE PLAN**



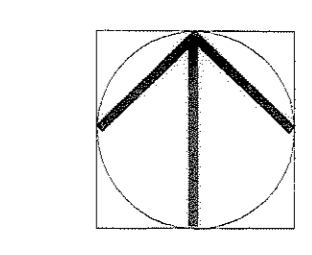
Key Map



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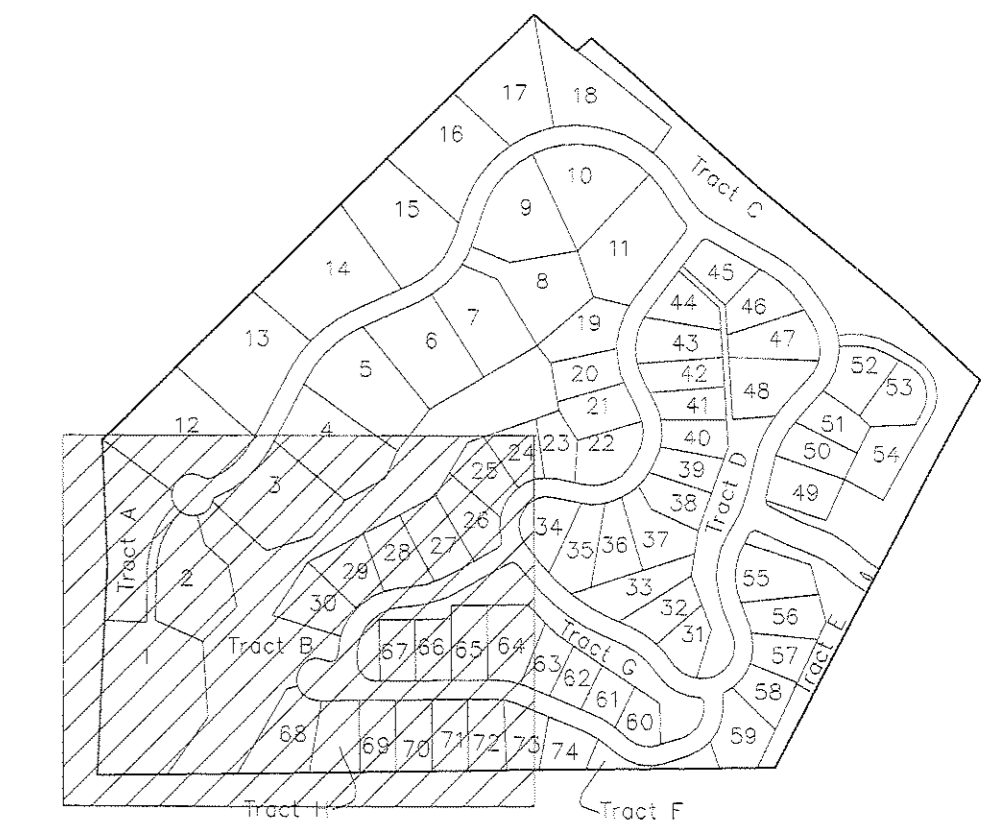
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- ASSOCIATED SKYLINE/RIDGELINE VIEWING PLATFORM
- A** - FOUNDERS PARKWAY VIEWING PLATFORM
- B** - NOT VIEWABLE FROM ANY PLATFORM

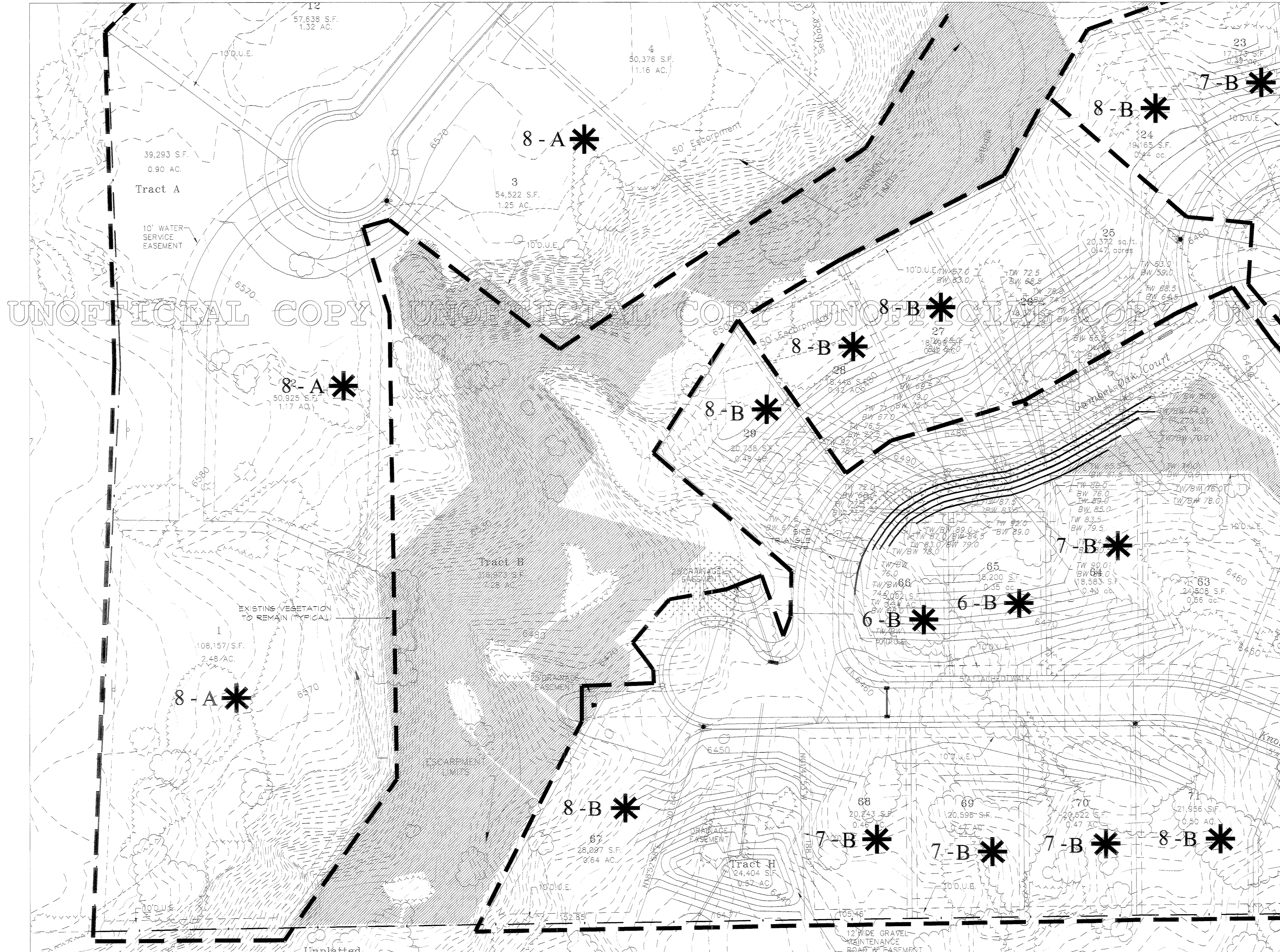


NORTH  
SCALE: 1"=50'



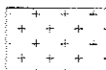

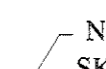


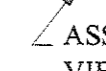
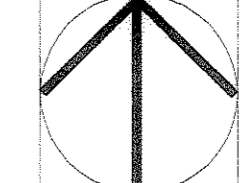
*Brookwood Subdivision Filing No. 1*  
*A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M.,*  
*Town of Castle Rock, County of Douglas, State of Colorado*  
*Preliminary Plat/Final PD Site Plan*  
**LANDSCAPE PLAN**



Key Map



**LEGEND**

-  EXIST. VEGETATION (OPEN SPACE ONLY) TO BE REMOVED
-  EXIST. VEGETATION (OPEN SPACE ONLY) TO REMAIN
-  NATIVE REVEGETATION AREAS (OPEN SPACE ONLY) Native Seed Mix
-  EVERGREEN TREE PLANTING 8'-10' HL.
-  NUMBER OF TREES REQUIRED PER SKYLINE/RIDGELINE REGULATIONS
-  4 - A  LOT SHALL CONFORM TO SKYLINE/RIDGELINE REGULATIONS
-  ASSOCIATED SKYLINE/RIDGELINE VIEWING PLATFORM
- A - FOUNDERS PARKWAY VIEWING PLATFORM
- B - NOT VIEWABLE FROM ANY PLATFORM
-  NORTH
- SCALE: 1"=50'

# Brookwood Subdivision Filing No. 1

## A Part of the Northwest 1/4, Section 25, T. 7 S., R. 67 W., 6th P.M., Town of Castle Rock, County of Douglas, State of Colorado

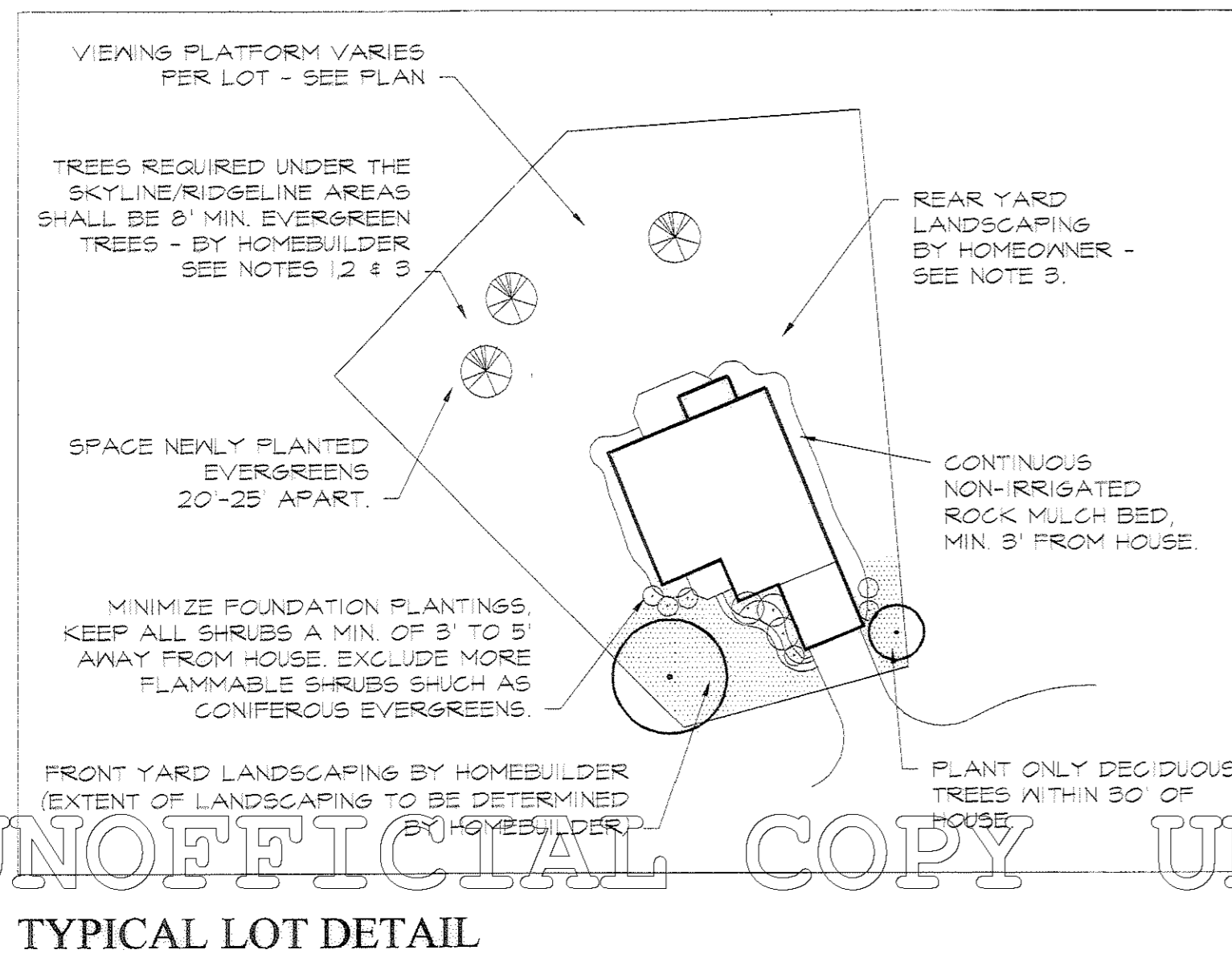
### Preliminary Plat/Final PD Site Plan NOTES & DETAILS

#### LANDSCAPE NOTES

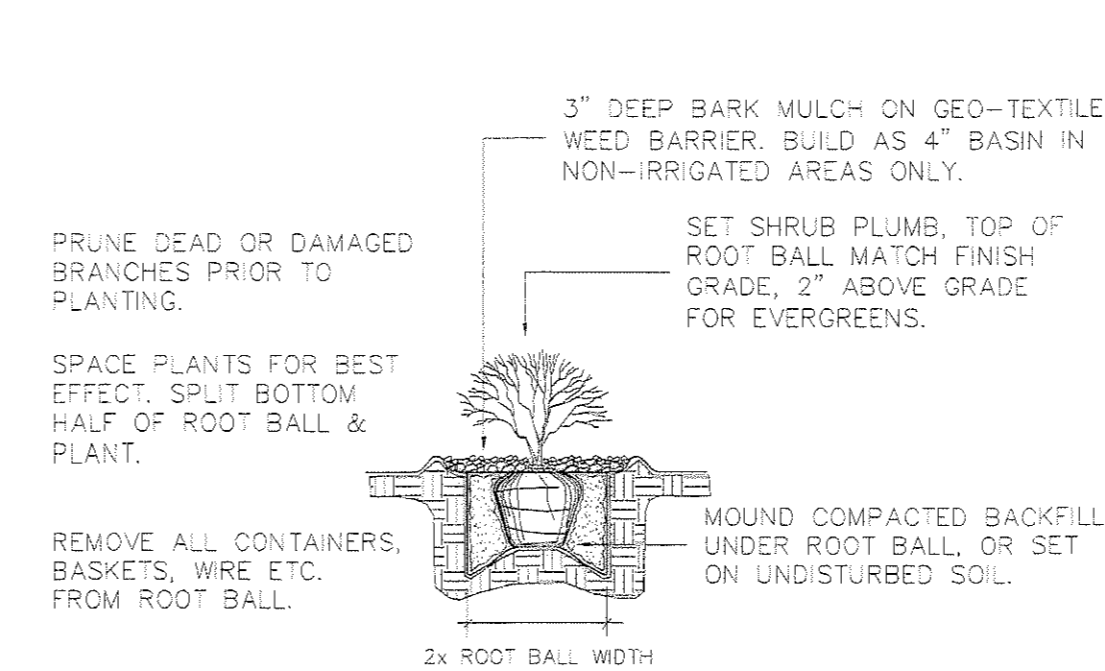
- ONE EVERGREEN TREE SHALL BE PLANTED FOR EVERY 2,500 SF OF LOT AREA. MATURE HT. OF EVERGREEN TREE SPECIES MUST BE AT LEAST 35 FT MATURE HT. 8 TREES MAX. PER LOT SKYLINE/RIDGELINE LOTS ONLY.
- AT LEAST 50% OF THE TOTAL NUMBER OF TREES REQUIRED ON THE LOT SHALL BE LOCATED WITHIN 50 FT. OF THE HOUSE AND ON THE SIDE OF THE HOUSE FACING THE VIEWING PLATFORM AS SO DESIGNATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. SKYLINE/RIDGELINE LOTS ONLY.
- REAR YARD LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER WITH THE EXCEPTION OF THOSE TREES REQUIRED TO MEET THE SKYLINE/RIDGELINE REGULATIONS. THESE TREES SHALL BE INSTALLED BY THE HOME BUILDER WITH THE HOUSE CONSTRUCTION AND MAINTAINED BY THE HOMEOWNER.
- A PORTION OF THE SITE FALLS WITHIN THE MODERATE & MINOR SKYLINE/RIDGELINE AREAS. THESE LOTS DESIGNATED WITH AN ASTERISK SHALL CONFORM TO SKYLINE/RIDGELINE REGULATIONS PERTAINING TO LANDSCAPE REQUIREMENTS.
- FRONT YARD LANDSCAPE AND IRRIGATION BY HOMEOWNER. EXTENT OF LANDSCAPING DETERMINED BY HOMEOWNER.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAIL FOR ONE YEAR.
- LANDSCAPING OF ENTRIES, ROW'S & OPEN SPACE TRACTS SHALL BE INSTALLED BY THE DEVELOPER AND MAINTAINED UNTIL THEY ARE CONVEYED TO THE MASTER HOA. THE HOA WILL THEN BE RESPONSIBLE FOR SHAL MAINTENANCE OF ENTRIES, ROW'S AND OPEN SPACE TRACTS.
- LANDSCAPING IN SIGHT TRIANGLES WILL BE KEPT UNDER 30' HT.
- RETAINING WALLS TO BE DESIGNED BY CIVIL ENGINEER IF REQUIRED.
- ANY TREES & SHRUBS TO REMAIN ON SITE SHALL BE FENCED AND PROTECTED DURING THE CONSTRUCTION PERIOD. SUCH FENCING SHALL REMAIN IN PLACE UNTIL SUCH TIME AS THE MAJOR PART OF THE OUTSIDE CONSTRUCTION SHALL WORK IS COMPLETED. THE OWNER OR CONTRACTOR WHO DAMAGES TREES, SHRUBS, OR GROUND COVER SHALL BE REQUIRED TO REPLACE SUCH PLANTS SHALL OR TREES BY APPROPRIATE REPLANTING AS SPECIFIED BY THE LAND SUITABILITY ANALYSIS REPORT (LSAR).
- DURING CONSTRUCTION, APPROPRIATE EROSION CONTROL MEASURES SHALL BE FOLLOWED AS REQUIRED BY THE TOWN OF CASTLE ROCK WORKS REGULATIONS.
- ALL IRRIGATION SYSTEMS MUST HAVE A BACKFLOW PREVENTOR ASSEMBLY APPROVED BY THE TOWN OF CASTLE ROCK.

#### IRRIGATION NOTES AND COMPOSITE STUDY

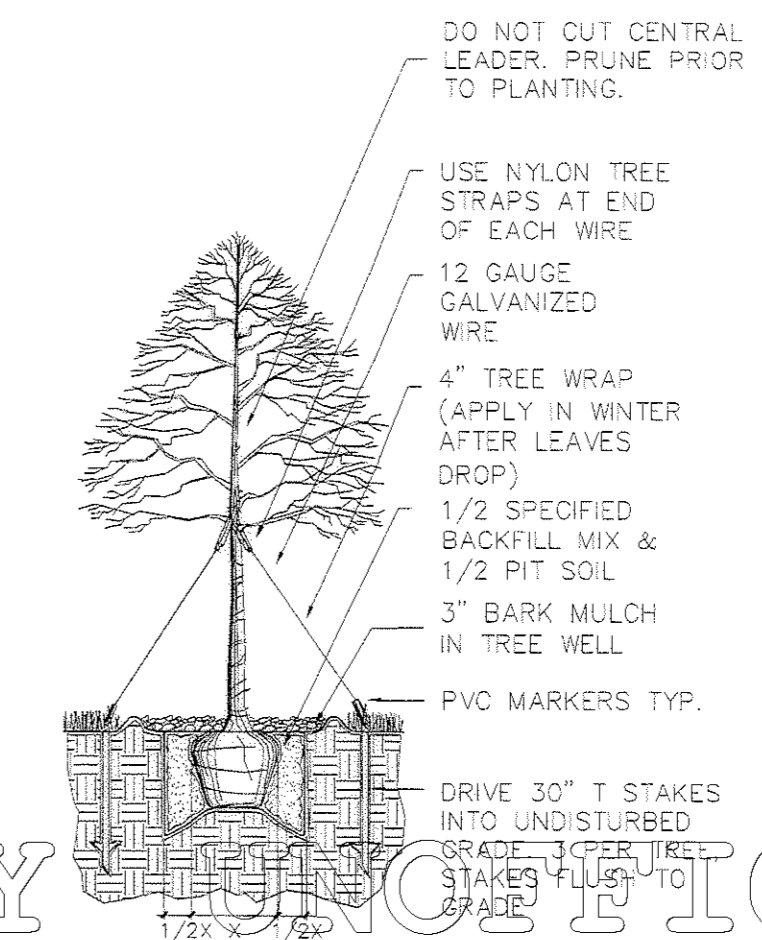
- IRRIGATION SYSTEM WILL COMPLY TO THE TOWN OF CASTLE ROCK GUIDELINES. THE WATERING SCHEDULE WILL COMPLY TO THE 3-DAY SCHEDULE. WATERING TIMES WILL BE BETWEEN 11 PM AND 4 AM.
- IRRIGATION TO ALL PLANT MATERIAL SHOWN, (I.E. TREES AND SHRUBS), SHALL BE DRIP IRRIGATION. THE LANDSCAPE PLAN HAS NO IRRIGATED SOD. NATIVE AREAS ARE NOT IRRIGATED. ALL PLANT MATERIAL SHOWN ON PLAN IS DROUGHT TOLERANT.
- IRRIGATION SYSTEM WILL HAVE BACKFLOW PREVENTION ASSEMBLIES APPROVED BY THE TOWN OF CASTLE ROCK.
- THE LWUR = 2.0 (LOW WATER RATING) BASED ON 10 INCHES OF WATER PER SEASON FOR LANDSCAPE MATERIAL SHOWN.
- CLWUR = 2.0 X 11,870 SF (TREES AND SHRUBS) ÷ 168,420 SF (NON-IRRIGATED NATIVE SEED AND SHRUB AREAS) = 2.0
- CLWUR = 2.0, LWUR = 2.0, IAK=11,870, TA=180,290 SF



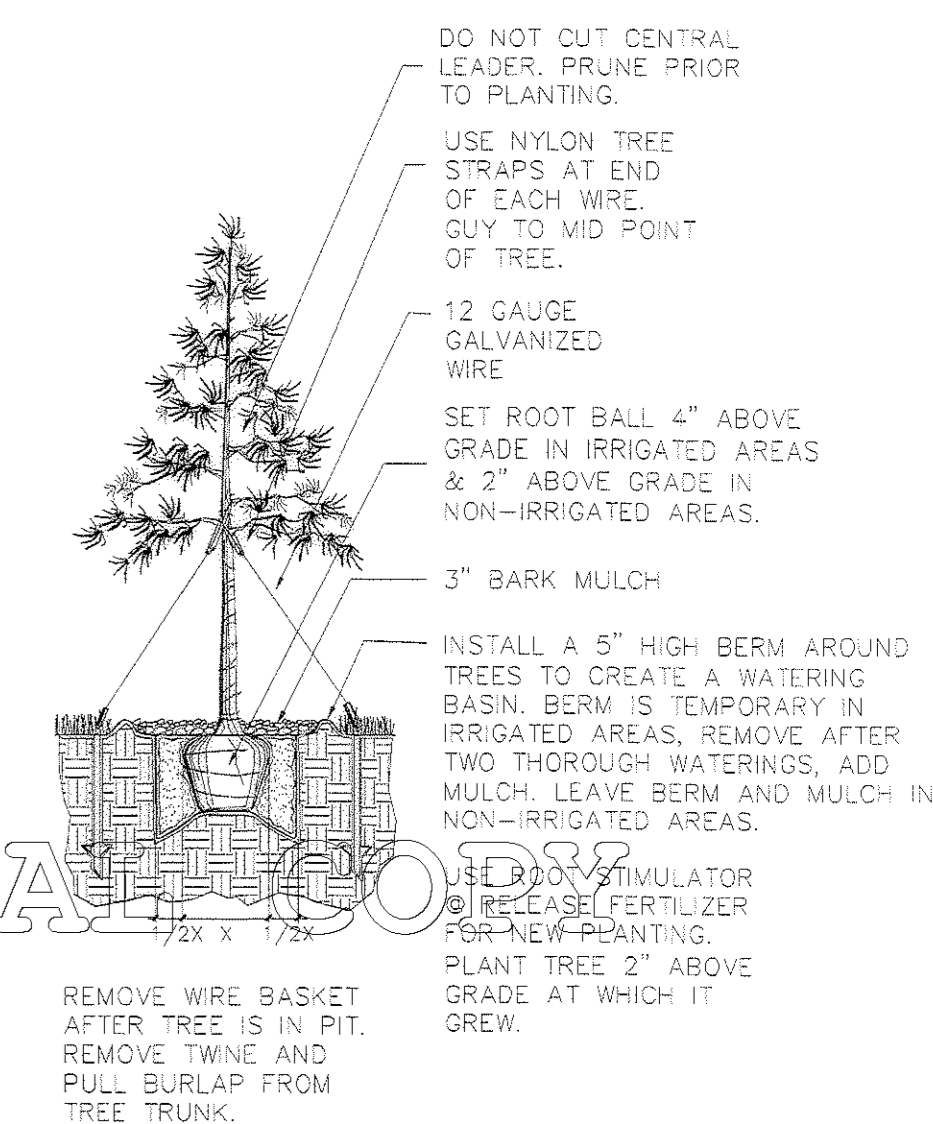
#### SHRUB PLANTING



#### DECIDUOUS TREE PLANTING



#### EVERGREEN TREE PLANTING



#### GENERAL NOTES - DEFENSIBLE SPACE AROUND ALL BUILDINGS, WITHIN 30' OF A STRUCTURE

- CREATE A 'DEFENSIBLE SPACE' TO REDUCE THE LIKELIHOOD OF A DAMAGING WILDFIRE IN THE IMMEDIATE VICINITY OF THE HOME. DEFENSIBLE SPACE IS THE AREA WHERE VEGETATION HAS BEEN DESIGNED, INSTALLED AND MAINTAINED TO REDUCE THE POSSIBILITY FIRE SPREADING BETWEEN THE LANDSCAPE AND THE BUILDING.
- IF NATIVE VEGETATION HAS BEEN SUCCESSFULLY REMOVED IN THIS AREA, PRUNE TREE CANOPIES FROM THE GROUND UP TO A MIN. HT. OF 8'. REMOVE ANY SMALL OR SUPPRESSED ITEMS UNDER STORY OF DOMINANT TREES.
- WHEN PRESENT, THIN ANY SHRUBS, PARTICULARLY GAMBLE OAK, GROWN BELOW THE CANOPY OF THE LARGER RETAINED TREES.
- PRUNE RETAINED CONIFEROUS TREES TO MINIMIZE CROWN OVERLAP. ISOLATE INDIVIDUAL TREES BY PRUNING BACK CANOPIES TO CREATE A SEPARATION BETWEEN TREES.
- THIN DENSE, CONTINUOUS GAMBLE OAK STANDS AND PRUNE TALLER SPECIMENS UP FROM THE GROUND TO CREATE A MORE OPEN, TREE-LIKE FORM. REMOVE SECTIONS LARGE BUT SLOW GROWING STANDS TO CREATE DISCONTINUOUS ISLANDS OF VEGETATION.
- INSTALL A CONTINUOUS NON-IRRIGATED ROCK MULCH BED FOR A MIN. OF 3' AROUND THE PERIMETER OF THE BUILDING.
- MINIMIZE FOUNDATION PLANTINGS, ESPECIALLY ADJ. TO COMBUSTIBLE SIDING. MORE FLAMMABLE SHRUB SPECIES (EVERGREENS) AND SPACE SHRUBS TO CREATE TO LOW, NON-CONTINUOUS PLANTINGS NEAR THE BUILDING.
- PLANT ONLY DECIDUOUS TREES WITHIN THIS ZONE. PROVIDE IRRIGATION AS REQUIRED FOR THE SUCCESSFUL ESTABLISHMENT AND LONG TERM HEALTH OF NEW TREES.
- PLANT TREES FAR ENOUGH AWAY FROM THE BUILDING THAT, AT MATURITY, TREE CANOPIES WILL NOT OVERHANG THE ROOF.
- PLANT SOD OR SEED WITH FIRE RESISTANT GRASS SEED MIXES.
- PROVIDE IRRIGATION TO TURF GRASSES WITHIN THIS AREA TO PREVENT SUMMER DORMANCY.
- MAINTAIN TURF GRASSES TO A MAXIMUM OF 6 INCHES.

#### LANDSCAPE PLANT LIST

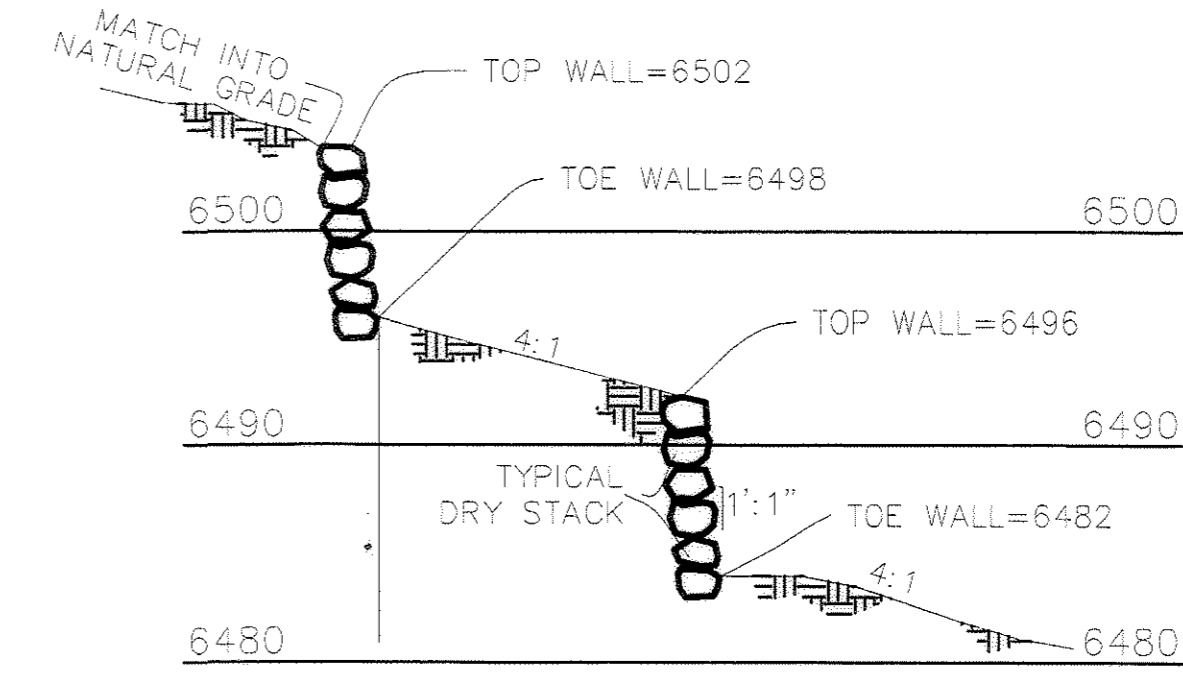
SYM.	COMMON NAME	BOTANICAL NAME	SIZE AND CONDITION
<b>EVERGREEN TREES</b>			
FON	PONDEROSA PINE	PINUS PONDEROSA	8'-12' B&B (SEE PLAN)
AUS	AUSTRIAN PINE	PINUS NIGRA	8'-12' B&B (SEE PLAN)
<b>DECIDUOUS ORNAMENTAL TREES</b>			
ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER, 'AUTUMN BRILLIANCE'	8'-10" HT. B&B; MULTI-STEM
GIN	AMUR MAPLE	ACER GINNALA	8'-10" HT. B&B; MULTI-STEM
NCC	NATIVE CHOKECHERRY	PRUNUS VIGINIANA	8'-10" HT. B&B; MULTI-STEM
<b>EVERGREEN SHRUBS</b>			
ARJ	ARCADIA JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL. CONT. 24" MIN. SPREAD
MUG	MUGHO PINE	PINUS MUGO, 'SLOWMOUND'	5 GAL. CONT. 24" MIN. SPREAD
<b>DECIDUOUS SHRUBS</b>			
RAS	BOULDER RASPBERRY	RUBUS DELICIOSUS	5 GAL. CONT. 24" MIN. SPREAD
ROS	WOODS ROSE	ROSA, SPP	5 GAL. CONT. 24" MIN. SPREAD
RUS	RUSSIAN SAGE	PEROVSKIA ATRIPPLICIFOLIA	5 GAL. CONT. 24" MIN. SPREAD
MTN	MOUNTAIN NINEBARK	PHYSOCARPUS MONOGYNUS	5 GAL. CONT. 24" MIN. SPREAD
WSB	WHITE SNOWBERRY	SYMPHORICARPOS SPP.	5 GAL. CONT. 24" MIN. SPREAD
APA	APACHE PLUM	FALLUGIA PARADOXA	5 GAL. CONT. 24" MIN. SPREAD
<b>ORNAMENTAL GRASSES</b>			
FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA KARL FORESTER'	1 GAL. CONT.
LBS	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM	1 GAL. CONT.
<b>GROUND COVERS, VINES &amp; PERENNIAL FLOWERS</b>			
MC	MOON BEAM COREOPSIS	COREOPSIS VERTICILLATA 'MOONBEAM'	1 GAL. CONT.
BF	BURGUNDY BLANKET FLOWER	GAILLARDIA GRANDIFLORA 'BURGUNDY'	1 GAL. CONT.
BC	JOHNSONS BLUE CRANESBILL	GERANIUM, 'JOHNSONS BLUE'	1 GAL. CONT.
BB	SCARLET BEE BALM	MONARDA DIDYMA	1 GAL. CONT.
FA	FALL ASTER	ASTER 'WOODS PINK, WOODS PURPLE'	1 GAL. CONT.
FD	FLEABANE DAISY	ERIGERON SPECIOSUS	1 GAL. CONT.
BS	BLACK EYED SUSAN	RUDBECKIA SPP.	1 GAL. CONT.
YA	YARROW	'YARROW SPP.	1 GAL. CONT.
LA	LAVENDER	LAVENDULA SPP.	1 GAL. CONT.

NATIVE GRASS MIX						
	COMMON NAME	% OF MIX	SEEDS/SF	SEEDS/AC	SEEDS/LB	SEEDS/AC
[Grass Icon]	WESTERN WHEATGRASS	30%	20	87,120	110,000	7.92
	BLUE GRAMA	15%	10	43,560	825,000	0.53
	SLENDER WHEATGRASS	30%	20	87,120	159,000	5.48
	SIDE-OATS GRAMA	25%	15	153,400	191,000	3.42
			100%			

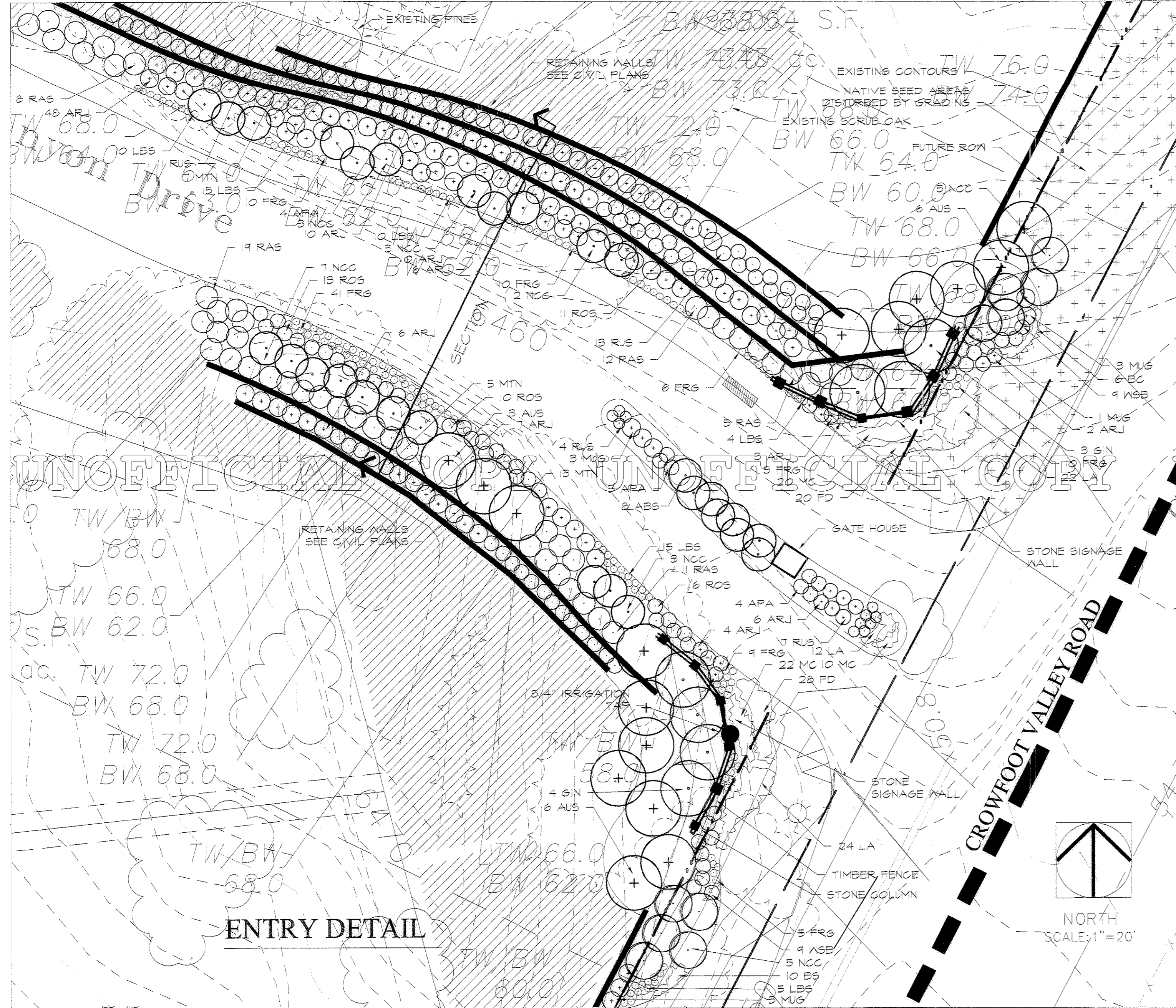
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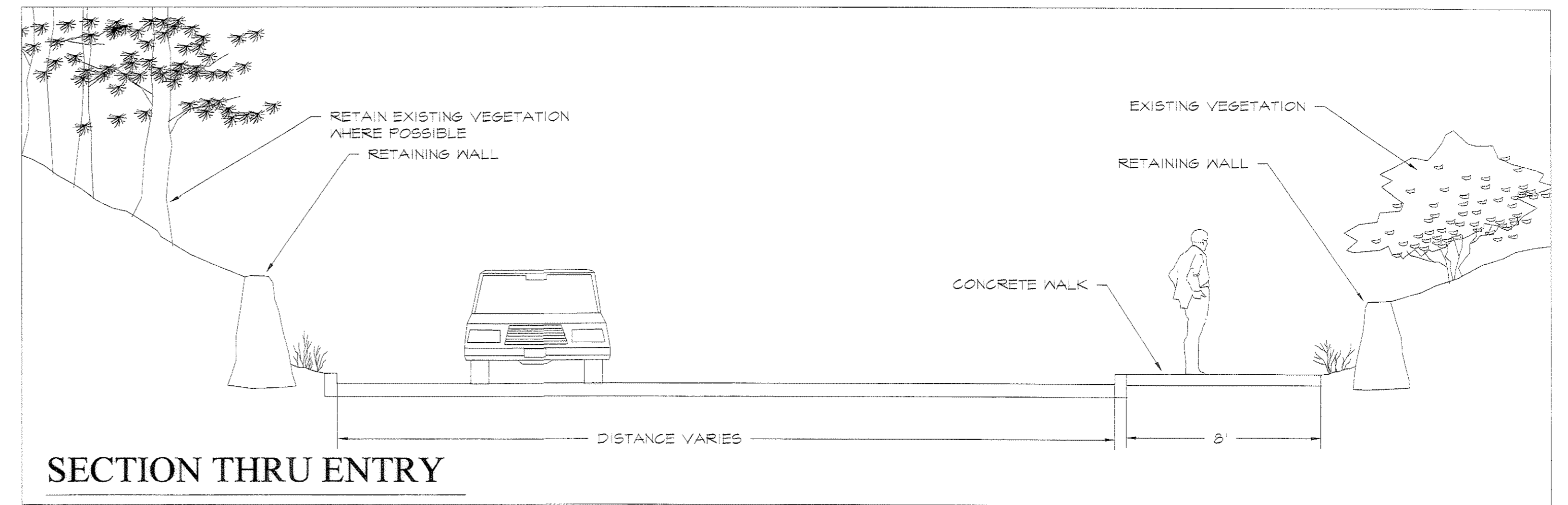
RETAINING WALLS OR SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT. CALL THE BUILDING DEPARTMENT (720-733-3529) FOR A DETERMINATION OF THE NEED FOR A BUILDING PERMIT FOR TIERED RETAINING WALLS.



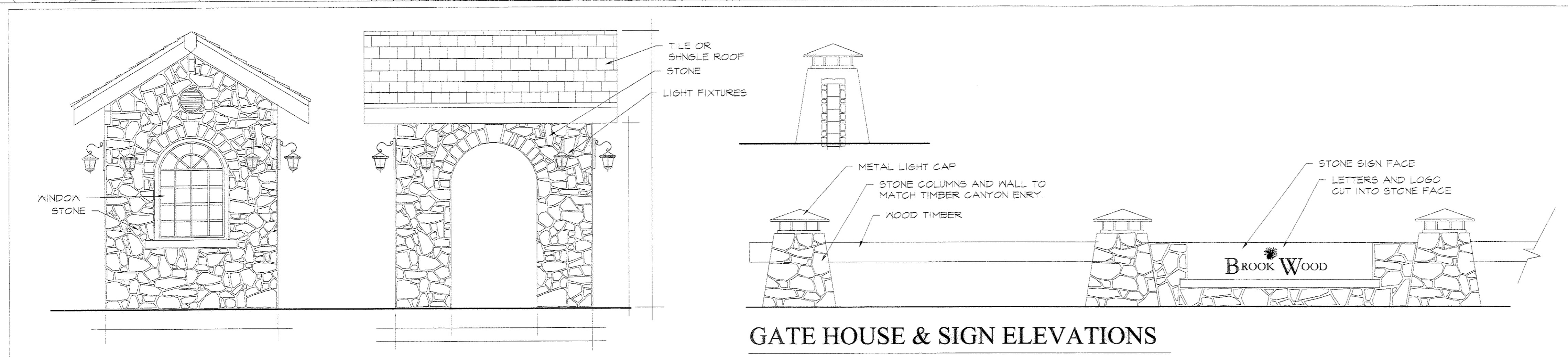
Typical Tiered Wall Section



ENTRY DETAIL



SECTION THRU ENTRY



GATE HOUSE & SIGN ELEVATIONS