

PLAT IDENTIFICATION SHEET

RECEPTION#: 02041310

DATE: 4-30-02

TIME: 8:17

FEE: \$ 80⁻ (8 P)

GRANTOR:

(owner/signer)

DAVID H. GAMMON
~~UNOFFICIAL COPY~~

GRANTEE:

(subdivision name or name of plat)

Brookside Business Center
Filing #5

LEGAL:

(section-township-range)

N/A

NEW SUBDIVISION ABBREV: _____

DEVELOPMENT COMPARISON CHART

CATEGORY	BROOKSIDE BUS. CNTR. PD - ORD. NO. 86-29 (MILLER RANCH BUSINESS TECH PARK PUD)	BROOKSIDE BUSINESS CENTER NO.5 - ASPEN BIO INC. - LOT 1, BLOCK 1
PRINCIPAL PERMITTED USES:	NOTE: SEE ALSO MAX F.A.R. NOTE BELOW. 4.1 A. RETAIL STORES, SALES AND DISPLAY ROOMS AND SHOPS B. OFFICES, PROFESSIONAL AND COMMERCIAL C. PERSONAL SERVICE ESTABLISHMENTS D. FINANCIAL INSTITUTIONS E. WAREHOUSING AND OFFICE/WAREHOUSE UNITS F. LIGHT MANUFACTURING FACILITIES G. SERVICE RELATED INDUSTRIES - RESTAURANTS - LODGING - CULTURAL - RELIGIOUS - PARKING - AMUSEMENT H. PUBLIC AND PRIVATE COMMUNITY SERVICES I. PROFESSIONAL RESEARCH LABORATORIES J. CLINICS K. AUTOMOTIVE SERVICES, CAR WASHES, EXCLUDING JUNK YARDS	<ul style="list-style-type: none"> OFFICE / LABORATORY WAREHOUSING
SITE AREA		LOT 1 = 131,060 SF
BUILDING AREA	52,424 S.F. MAX (40%)	LOT 1 = 40,000 SF
ZONING	PUD	PUD
MAXIMUM BUILDING HEIGHT:	40 FEET	26'-0" AT HIGHEST POINT
MINIMUM DIST. BTWN. STRUCTURES ON SEP. LOTS	AS DETERMINED	67' TO CLOSEST STRUCTURE 75' TO OTHER POSS. STRUCT.
MAX. F.A.R.	0.40 : 1 FAR	LOT 1 = 0.305 : 1 FAR
MIN. OPEN SPACE	10%	LOT 1 = 35.37%
MINIMUM SETBACKS:	AS DETERMINED	FROM S. PERRY ST. 85 FT MIN FROM SOUTH PL 63 FT MIN FROM NORTH PL 36 FT MIN FROM WEST PL 46 FT MIN FROM E. PL. TO PRKNG. 15 FT
OFF-STREET PARKING STANDARDS:	OFFICE USES: 1 SPACES PER 300 SF OF FLOOR AREA PLUS WAREHOUSE: 1 SPACE PER 1,000 SF OF FLOOR AREA, OR 1.5 SPACES PER EMPLOYEE (GREATER)	LOT 1 OFFICE (30%) 40,000 SF @ 30% = 12,000 SF 12,000 SF @ 1/300 = 40 SPCS* LOT 1 WAREHOUSE 40,000 SF @ 70% = 28,000 SF 28,000 SF @ 1/1000 = 28 SPCS* TOTAL PARKS REQUIRED: 68 TOTAL PARKS PROVIDED: 70 HANDICAP PARKS: 4 VAN ACCESSIBLE: 2 * WAREHOUSE PARKING IS BASED ON SQUARE FOOTAGE AS IT YIELDS A GREATER REQUIREMENT THAN EMPLOYEE COUNT (18 EMPLOYEES PROBABLE MAX) 23 ADDITIONAL FUTURE PARKING SPACES ARE AVAILABLE IF REQUIRED

**BROOKSIDE BUSINESS CENTER FILING NO.5
ASPEN BIO INC**

LOT 1, BLOCK 1, BROOKSIDE BUSINESS CENTER, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
Filing No. 5
3.01 ACRES
FINAL PD SITE PLAN

1. OWNERSHIP CERTIFICATION:
THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE BROOKSIDE 5, LOT 1/ASPEN BIO INC, PD IN THE TOWN OF CASTLE ROCK.

H.R. Gannon
DR. H.R. GANNON (NOTARIZED SIGNATURE)
SIGNED THIS 13th DAY OF April, 2002.

Robert L. Hier
ROBERT L. HIER (NOTARIZED SIGNATURE)
SIGNED THIS 11th DAY OF April, 2002.

2. LIENHOLDER SUBORDINATION CERTIFICATE:
NO CURRENT LIENHOLDERS

3. TITLE CERTIFICATION:
I, *Diana Evans*, AS AN AUTHORIZED REPRESENTATIVE OF *United Title Guaranty Co.*, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP, AND LIENHOLDER SUBORDINATION CERTIFICATE.

Diana Evans
AUTHORIZED REPRESENTATIVE (NOTARIZED SIGNATURE)
SIGNED THIS 16th DAY OF April, 2002.

4. SURVEYORS CERTIFICATE:
I, *David E. Archer*, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE BROOKSIDE 5, LOT 1 / ASPEN BIO INC. PD SITE PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

David E. Archer 4-25-02
REGISTERED LAND SURVEYOR DATE

5. TOWN CERTIFICATION:
A. PLANNING COMMISSION RECOMMENDATION:
THE PRELIMINARY PD SITE PLAN AND ZONING REGULATIONS FOR THE BROOKSIDE 5, LOT 1 / ASPEN BIO INC. PD WERE RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 14th DAY OF February, 2002.

Robert G. Hodges 4/16/02
CHAIRMAN DATE

ATTEST:
Robert G. Hodges 4/16/02
PLANNING DIRECTOR DATE

B. TOWN COUNCIL APPROVAL:
THE PRELIMINARY PD SITE PLAN AND ZONING REGULATIONS FOR THE BROOKSIDE 5, LOT 1 / ASPEN BIO INC. PD WERE APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 22nd DAY OF February, 2002.

William S. Bennett 4/18/02
MAYOR DATE

ATTEST:
Sally A. Mee 4-18-02
TOWN CLERK DATE

6. DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:
THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 8:17 (TIME) ON THE 23rd DAY OF April, 2002, IN BOOK PAGE MAP RECEPTION NUMBER 02041310

DOUGLAS COUNTY CLERK AND RECORDER
BY: *Tulayra Lou* (DEPUTY)



OWNER:
ROGER HUNST
8700 SOUTH PARK WAY, B-1
LITTLETON, COLORADO 80120
303.794.2000
H.R. GANNON
ROBERT L. HIER
801 S. PERRY ST., #100
CASTLE ROCK, CO 80104

LEGAL DESCRIPTION

LOT 1, BLOCK 1, BEING 3.01 ACRES LOCATED IN THE BROOKSIDE BUSINESS CENTER, FILING NO. 5, THE TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SITE COVERAGE

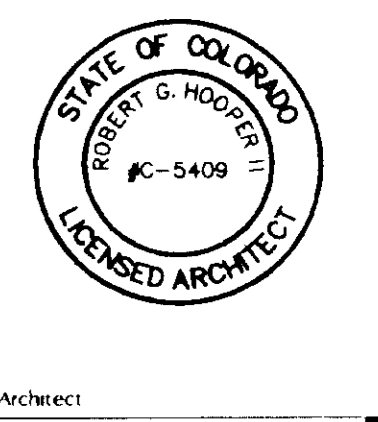
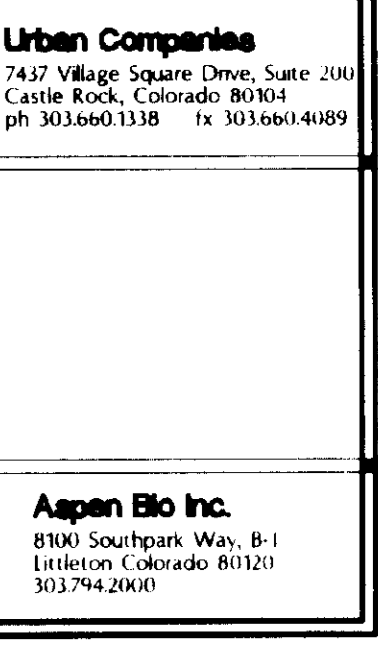
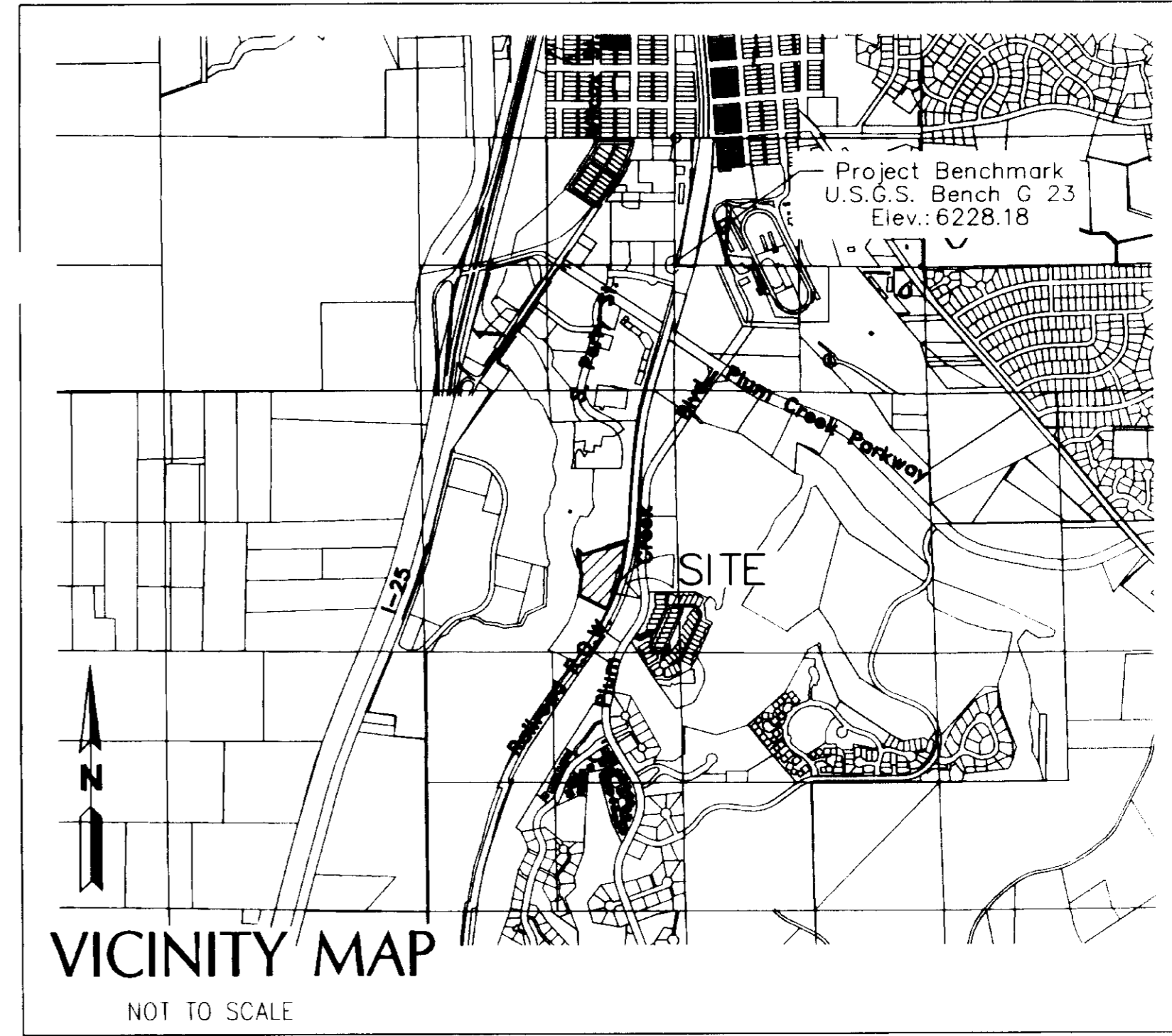
	AREA		PERCENTAGE
BUILDING	40,000 SF	.9186 ACRES	30.52%
PARKING & LOADING	44,694 SF	1.026 ACRES	34.10%
OPEN SPACE	46,366 SF	1.065 ACRES	35.38%
TOTAL	131,060 S.F.	3.01 ACRES	100%

SIGNAGE CRITERIA

PROJECT IDENTIFICATION SIGNS:
SIGNS REQUIRE SEPARATE PERMIT AND APPROVAL PER PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE CASTLE ROCK MUNICIPAL CODE
FASCIA SIGNS:
SIGNS REQUIRE SEPARATE PERMIT AND APPROVAL PER PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE CASTLE ROCK MUNICIPAL CODE

PD DOCUMENT INDEX

PD 1 of 8	COVER SHEET / DATA
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PD 4 of 8	LANDSCAPING PLAN
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PD 7 of 8	DRAINAGE PLAN
PD 8 of 8	PHOTOMETRICS



Aspen Bio Inc.
PD
Project Location
1585 South Perry Street
Brookside Business Center Filing No.5 - Lot1
Block 1, Castle Rock, Colorado 80104

Issued/Revised

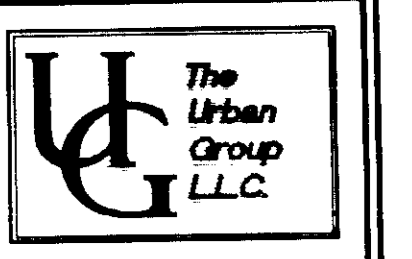
Date	Activity

PD Cover Sheet / Data

Sheet Title:
Scale:
Date: 1/28/02
Drawn By: rh/dc/ks
Project #: 9910
Job File: 100-100
PD 1of8

**BROOKSIDE BUSINESS CENTER FILING NO.5
ASPEN-BIO INC**

LOT 1, BLOCK 1, BROOKSIDE BUSINESS CENTER, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
3.01 ACRES
FINAL PD SITE PLAN

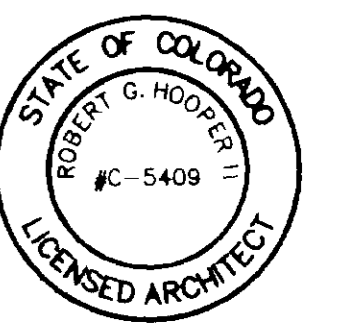


Design
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Construction

Urban Companies
7437 Village Square Drive, Suite 200
Castle Rock, Colorado 80104
303.946.1138 or 303.946.4099

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Aspen Bio Inc.
8100 Southpark Way, B-1
Littleton, Colorado 80120
303.794.2000



Architect

Engineer

Aspen Bio Inc.
PD
Project
South Perry Street
Brookside Business
Center Filing No.5 - Lot1
Block 1, Castle Rock,
Colorado 80104
Project Location

Issued/Revised

Date	Activity
1/29/02	CITY SUBMITTAL

PD Site Plan

Sheet Title

Scale: 1"=20'-0"

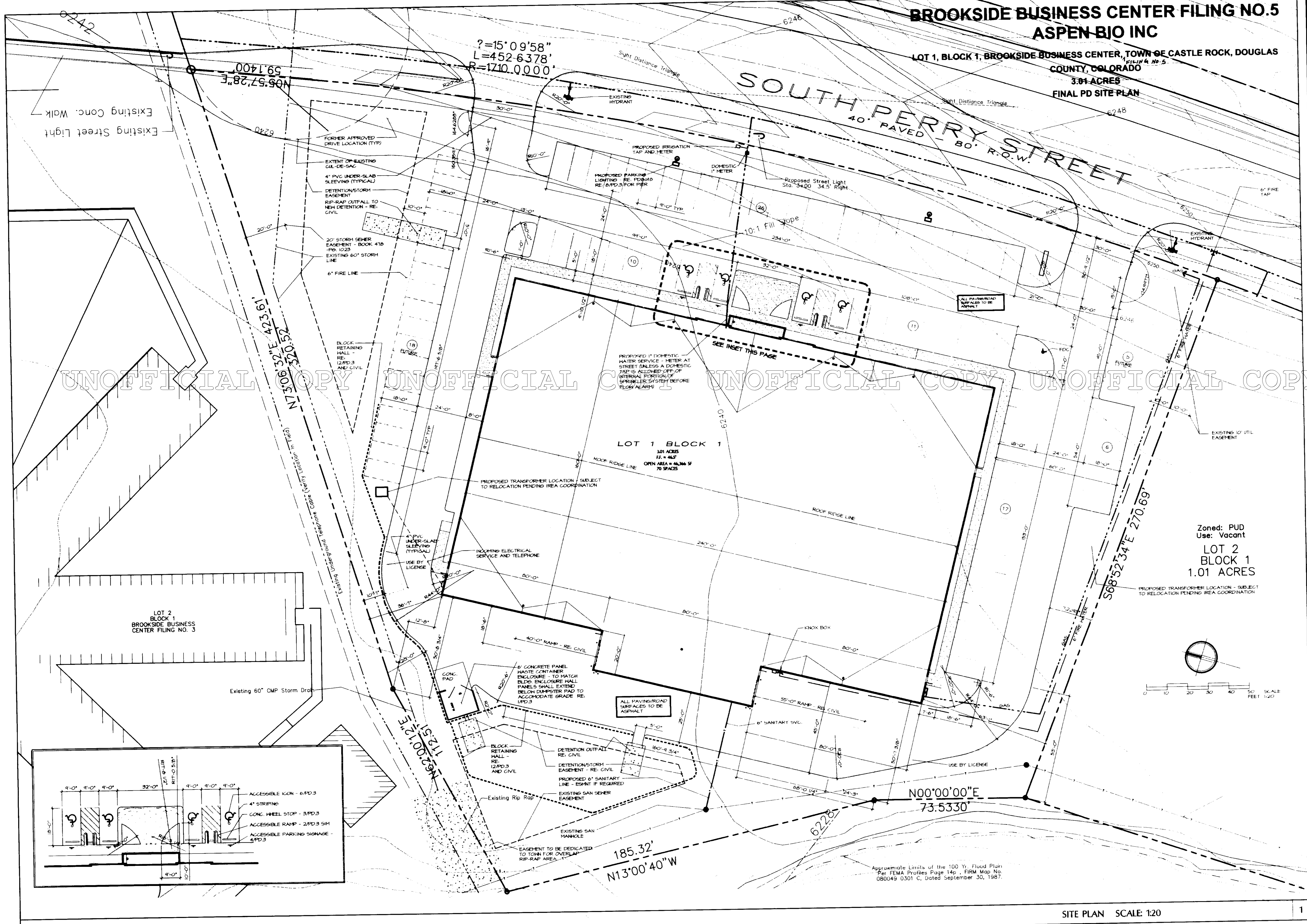
Date: 1/29/02

Drawn By: rh

Project #: ASPEN

Job File: ASPEN

PD 2 of 8



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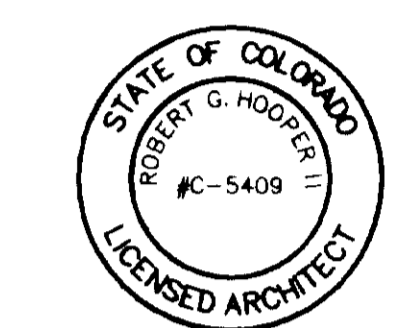
**BROOKSIDE BUSINESS CENTER FILING NO.5
ASPEN BIO INC**

LOT 1, BLOCK 1, BROOKSIDE BUSINESS CENTER, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
3.01 ACRES
FINAL PD SITE PLAN

The Urban Group LLC
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Construction

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ph 303.660.1158 fx 303.660.4089

Aspen Bio Inc.
8100 Southpark Way, B1
Littleton, Colorado 80120
303.794.2000



Architect
Engineer

Aspen Bio Inc.
PD

Project Location
1585 South Perry Street
Brookside Business Center Filing No. 5 - Lot 1 Block 1, Castle Rock, Colorado 80104

Issued/Revised

Date	Activity
1/29/02	CITY SUBMITTAL

PD Landscape Plan

Sheet Title

Scale: 1"=20'-0"

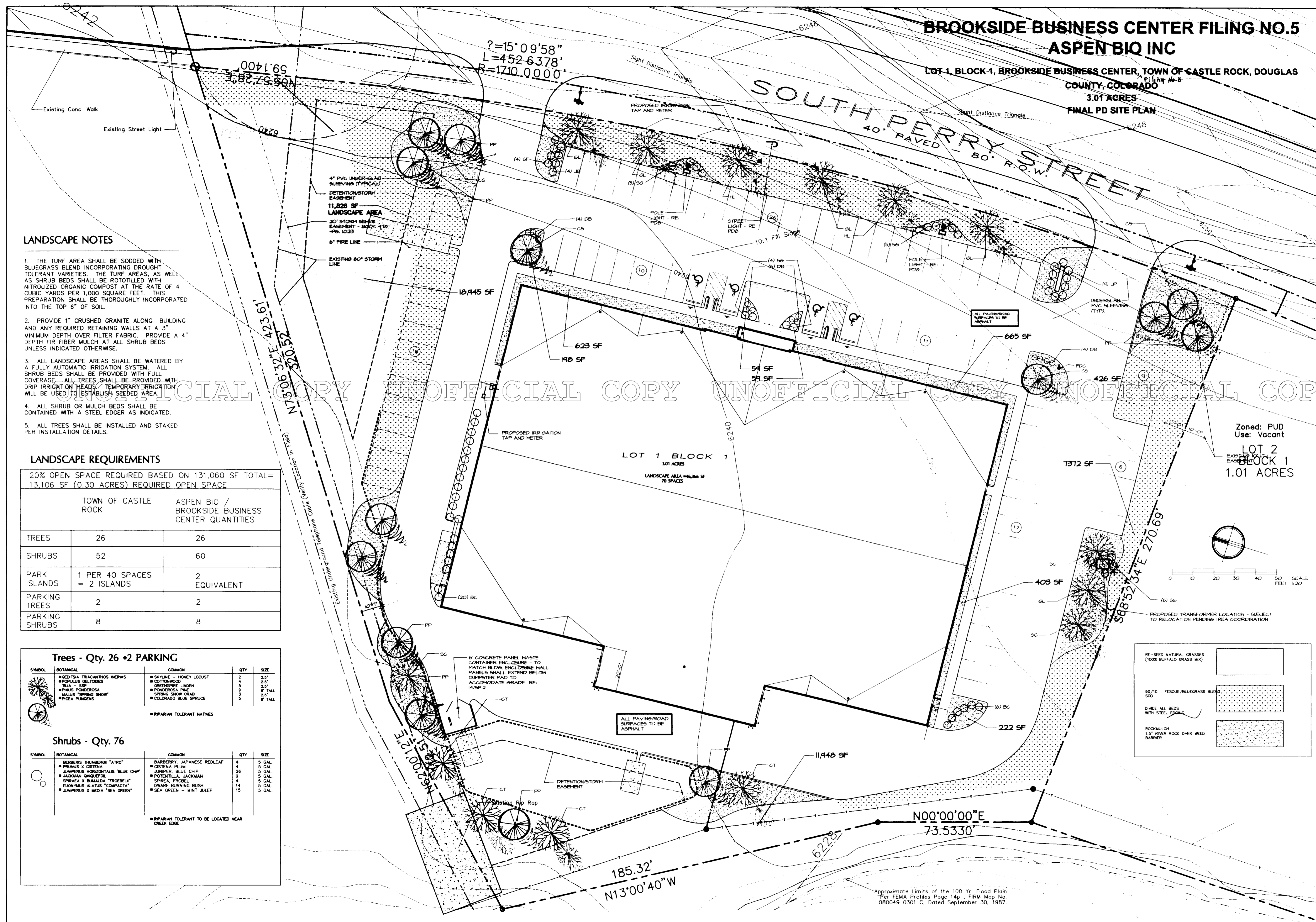
Date: 1/29/02

Drawn By: rh

Project #: ASPEN

Job File: ASPEN

PD 4of8



LANDSCAPE NOTES

1. THE TURF AREA SHALL BE SODDED WITH BLUEGRASS BLEND INCORPORATING DROUGHT TOLERANT VARIETIES. THE TURF AREAS, AS WELL AS SHRUB BEDS SHALL BE ROTOTILLED WITH NITROGENIZED ORGANIC COMPOST AT THE RATE OF 4 CUBIC YARDS PER 1,000 SQUARE FEET. THIS PREPARATION SHALL BE THOROUGHLY INCORPORATED INTO THE TOP 6" OF SOIL.
2. PROVIDE 1" CRUSHED GRANITE ALONG BUILDING AND ANY REQUIRED RETAINING WALLS AT A 3" MINIMUM DEPTH OVER FILTER FABRIC. PROVIDE A 4" DEPTH FIR FIBER MULCH AT ALL SHRUB BEDS UNLESS INDICATED OTHERWISE.
3. ALL LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM. ALL SHRUB BEDS SHALL BE PROVIDED WITH FULL COVERAGE. ALL TREES SHALL BE PROVIDED WITH DRIP IRRIGATION HEADS. TEMPORARY IRRIGATION WILL BE USED TO ESTABLISH SEEDING AREA.
4. ALL SHRUB OR MULCH BEDS SHALL BE CONTAINED WITH A STEEL EDGER AS INDICATED.
5. ALL TREES SHALL BE INSTALLED AND STAKED PER INSTALLATION DETAILS.

LANDSCAPE REQUIREMENTS

20% OPEN SPACE REQUIRED BASED ON 131,060 SF TOTAL = 13,106 SF (0.30 ACRES) REQUIRED OPEN SPACE

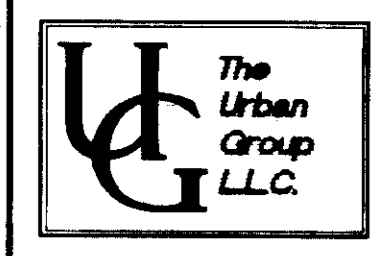
	TOWN OF CASTLE ROCK	ASPEN BIO / BROOKSIDE BUSINESS CENTER QUANTITIES
TREES	26	26
SHRUBS	52	60
PARK ISLANDS	1 PER 40 SPACES = 2 ISLANDS	2 EQUIVALENT
PARKING TREES	2	2
PARKING SHRUBS	8	8

Trees - Qty. 26 +2 PARKING

SYMBOL	BOTANICAL	COMMON	QTY	SIZE
(Symbol)	QEDISTIA TRIACANTHOS INERMIS	SKYLINE - HONEY LOCUST	2	2.5"
(Symbol)	POPULUS DELTOIDES	COTTONWOOD	4	2.5"
(Symbol)	TILIA - SSP	OREGONSPRING LINDEN	2	2.5"
(Symbol)	PRUNUS POMEROSA	PONDEROSA PINE	9	8" TALL
(Symbol)	MAIUS "SPRING SNOW"	SPRING SNOW GRAB	3	2.5"
(Symbol)	PICEA PUMIDENS	COLORADO BLUE SPRUCE	5	8" TALL
# RIPARIAN TOLERANT NATIVES				

Shrubs - Qty. 76

SYMBOL	BOTANICAL	COMMON	QTY	SIZE
(Symbol)	BERBERIS THUNBERGII "ATRO"	BARBERRY, JAPANESE REDLEAF	4	5 GAL
(Symbol)	PRUNUS X CISTENA	GISTENA PLUM	4	5 GAL
(Symbol)	JUNIPERUS HORIZONTALIS "BLUE CHIP"	JUNIPER, BLUE CHIP	26	5 GAL
(Symbol)	JACKMAN QUAQUERON	POTENTILLA, JACKMAN	9	5 GAL
(Symbol)	SPIRAEA X BUNALIDA "FRIGIDA"	SPIRAEA, FRIGID	4	5 GAL
(Symbol)	EUONYMUS ALATUS "COMPACTA"	DWARF BURNING BUSH	14	5 GAL
(Symbol)	JUNIPERUS X MEDIA "SEA GREEN"	SEA GREEN - MINT JULIP	15	5 GAL
# RIPARIAN TOLERANT TO BE LOCATED NEAR CREEK EDGE				

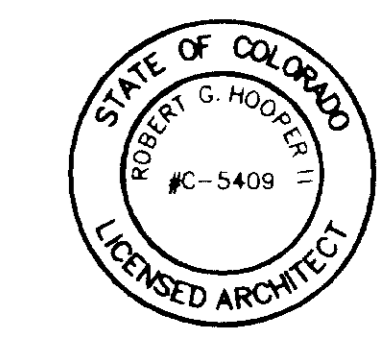


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Architect

Engineer

Aspen Bio Inc.

PD

Project
South Perry Street
Brookside Business
Center Filing No.5 - Lot1
Block 1, Castle Rock,
Colorado 80104

Project Location

Issued/Revised

Date	Activity
1/29/02	CITY SUBMITTAL

PD Elevations

Sheet title

Scale: 1"=20'-0"

Date: 1/29/02

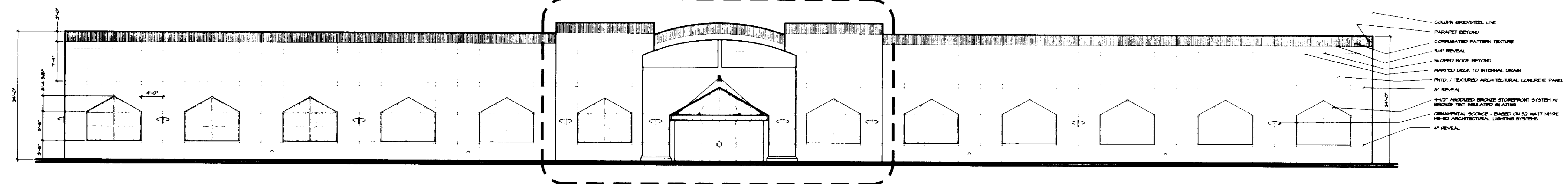
Drawn By: rh

Project #: ASPEN

Job file: ASPEN

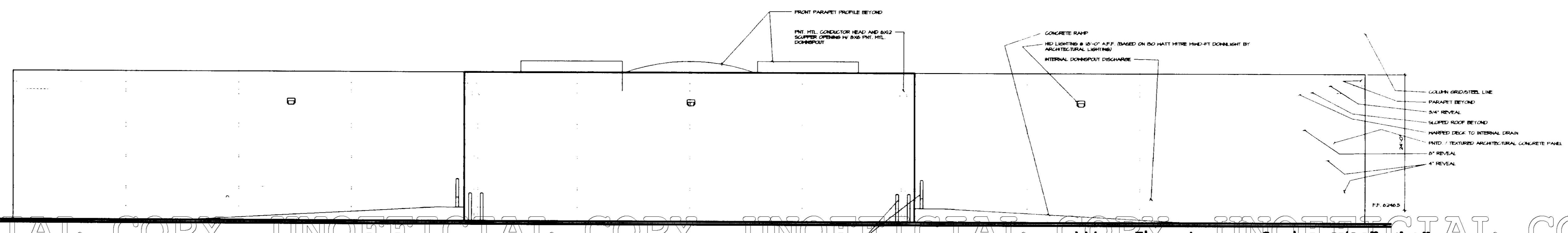
PD 5of8

RE: ENLARGEMENT THIS SHEET



East Elevation Scale: 3/32"=1'-0"

- COLUMN GRID/STEEL LINE
- PARAPET BEYOND
- CORRUGATED PATTERN TEXTURE
- 3/4" REVEAL
- SLOPED ROOF BEYOND
- HAMPED DECK TO INTERNAL DRAIN
- PAINT / TEXTURED ARCHITECTURAL CONCRETE PANEL
- 0" REVEAL
- 4'-0" ANCHORED BRIDGE STORAGE SYSTEM IN BRIDGE WITH INSULATED GLAZING
- ORNAMENTAL SCIENCE - BASED ON 32 HATT HITE MED-82 ARCHITECTURAL LIGHTING SYSTEMS
- 4" REVEAL



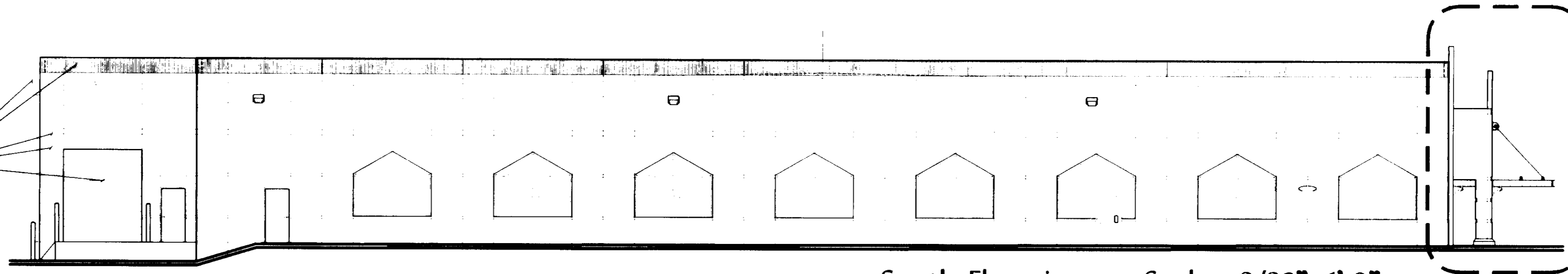
West Elevation Scale: 3/32"=1'-0"

- FRONT PARAPET PROFILE BEYOND
- PINE MET. CONDUCTOR HEAD AND 8x12 SQUARE CORNER IN AND PINE MET. DOWNPOUT
- CONCRETE RAMP
- RED LIGHTING # 40-02 A.F.F. BASED ON 32 HATT HITE MED-82 ARCHITECTURAL LIGHTING SYSTEMS
- INTERNAL DOWNPOUT DISCHARGE

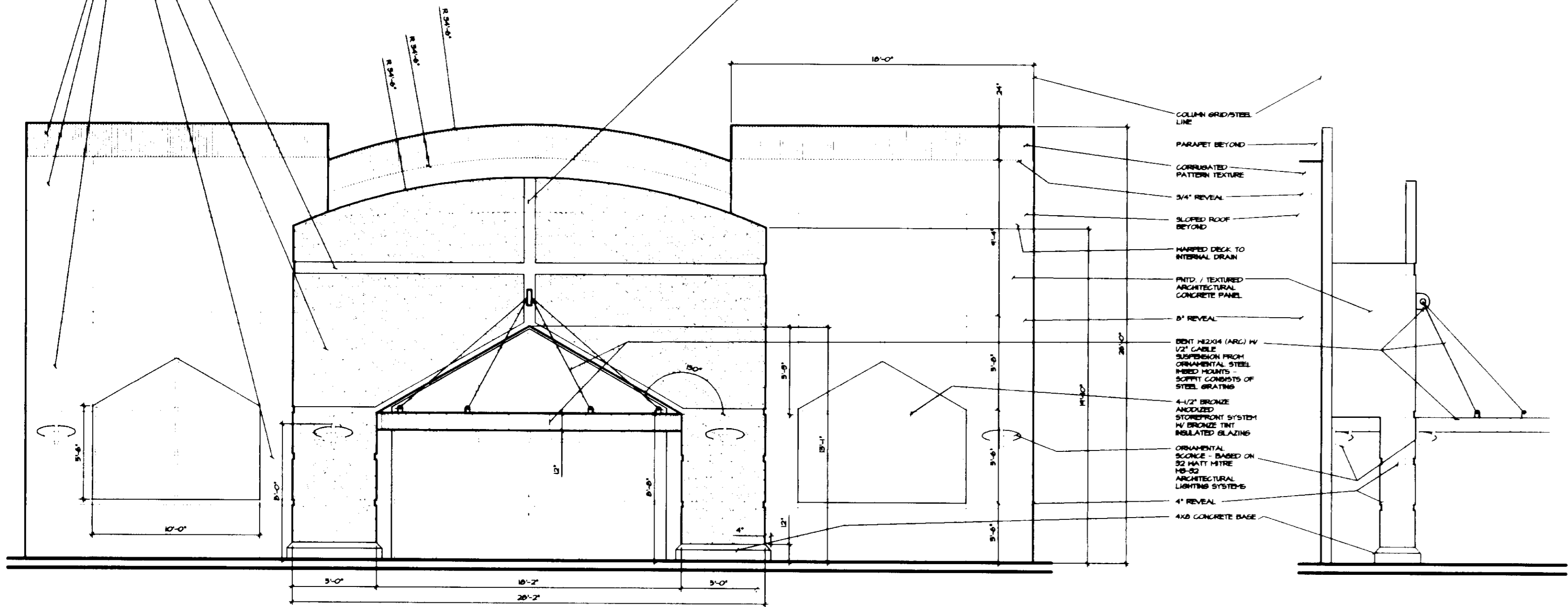
- COLUMN GRID/STEEL LINE
- PARAPET BEYOND
- 3/4" REVEAL
- SLOPED ROOF BEYOND
- HAMPED DECK TO INTERNAL DRAIN
- PAINT / TEXTURED ARCHITECTURAL CONCRETE PANEL
- 0" REVEAL
- 4" REVEAL

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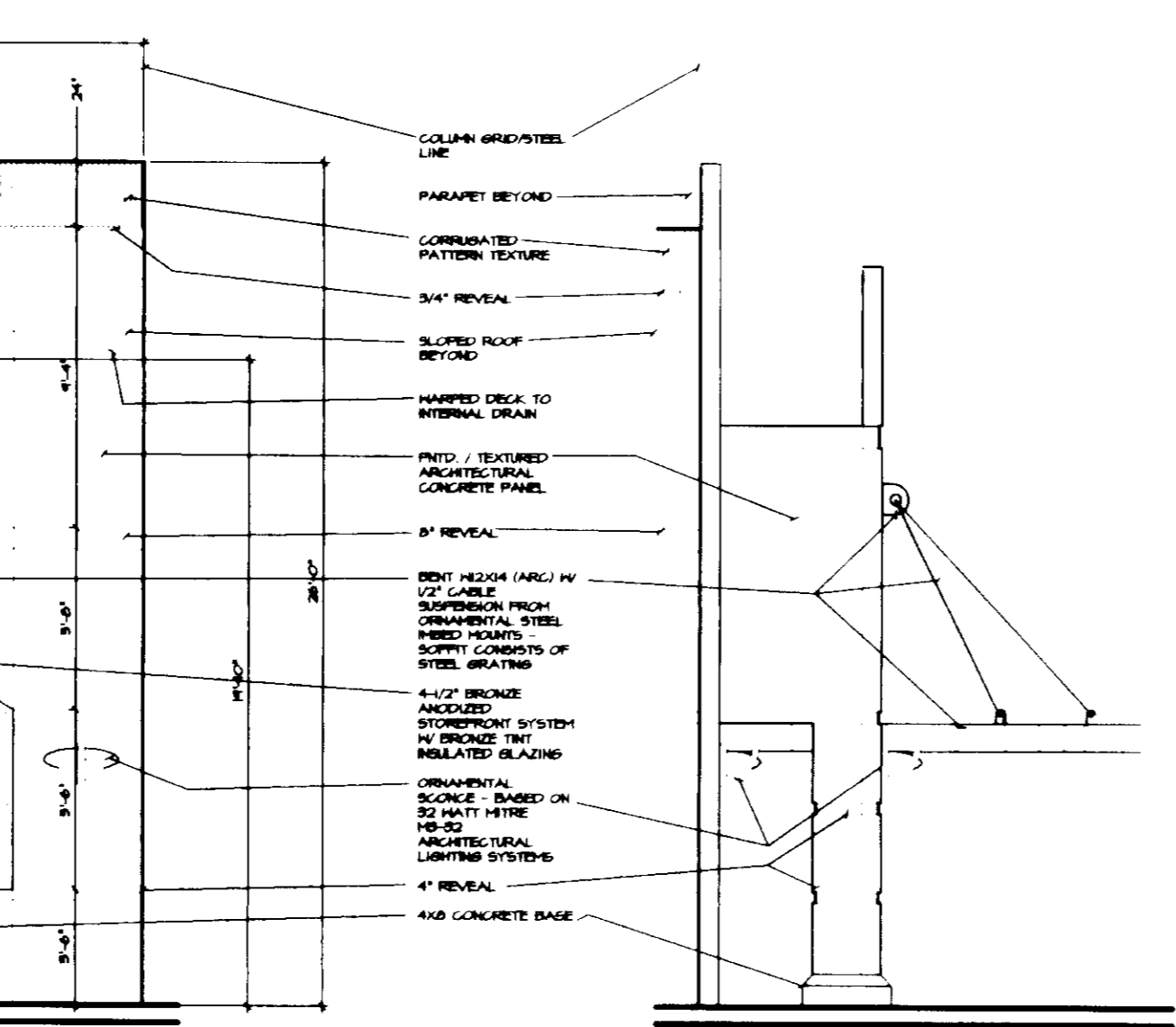
TEXTURE FINISH: TC600 COURSE
 MAIN FIELD COLOR - TEXCOTE SK2B27/COLONIAL REVIVAL STONE
 ACCENT BAND COLOR - TEXCOTE T-103/PALOMINO BEIGE/CT (ENTRY PANEL ONLY)



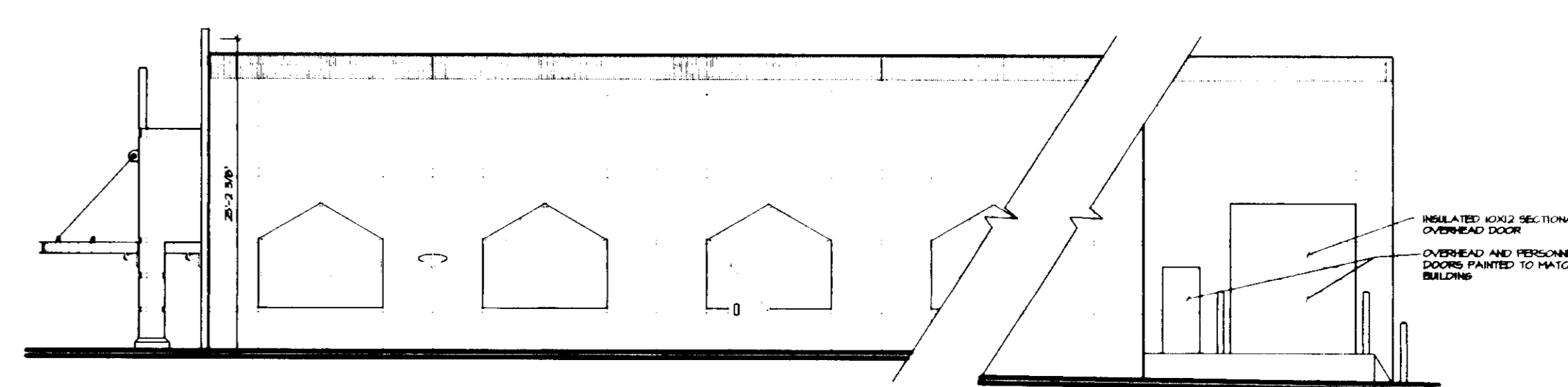
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Enlarged Entry Frontal View Scale: 3/16"=1'-0"



Enlarged Entry Side View Scale: 3/16"=1'-0"



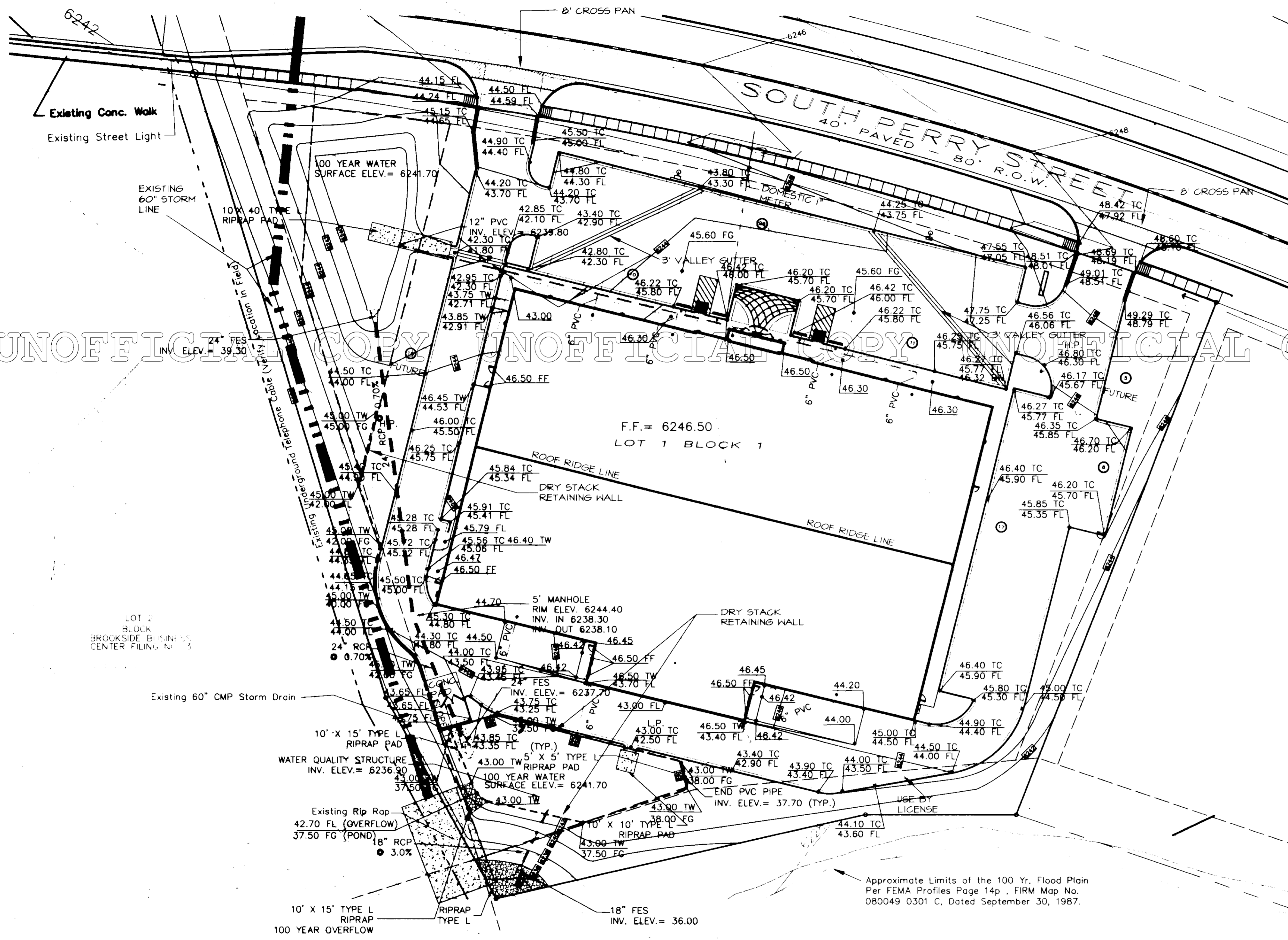
North Elevation Scale: 3/32"=1'-0"

**BROOKSIDE BUSINESS CENTER FILING NO.5
ASPEN BIO INC**

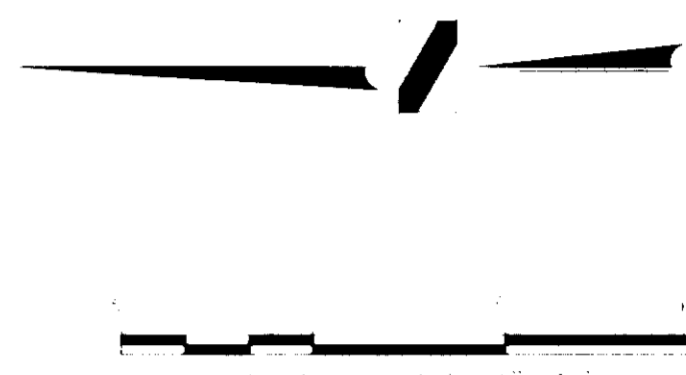
LOT 1, BLOCK 1, BROOKSIDE BUSINESS CENTER, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 FILING NO. 5
 3.01 ACRES
 FINAL PD SITE PLAN

BROOKSIDE BUSINESS CENTER FILING NO.5 ASPEN BIO INC

LOT 1, BLOCK 1, BROOKSIDE BUSINESS CENTER, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 3.01 ACRES
 FINAL PD SITE PLAN



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LEGEND

	PROP. CONTOUR
	EXIST. CONTOUR
	PROP. STORM
	PROPERTY LINE
	EXIST. WATERLINE
	PROP. GAS
	PROP. SANITARY
	FLOW LINE
	TC TOP OF CURB
	TW TOP OF WALL
	FG FINISH GRADE
	BW BACK OF WALK

BENCHMARK

A BENCH MARK DISK, 1.6 MILES SOUTH FROM CASTLE ROCK, 1.6 MILES SOUTH ALONG THE DENVER AND RIO GRANDE WESTERN RAILROAD FROM THE STATION AT CASTLE ROCK, 0.1 MILE SOUTH OF MILEPOST 34, 16 FEET WEST OF THE WEST RAIL, 6 FEET BELOW THE TOP OF THE RAILS, SET IN THE TOP OF THE NORTH END OF THE WEST HEADWALL OF A CONCRETE CULVERT. DATUM IS NGVD 29.

U.S.G.S. ELEVATION = 6282.80'

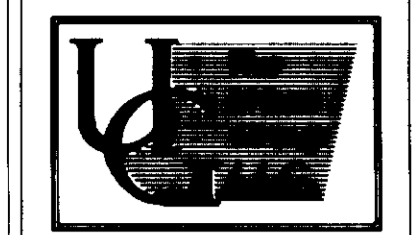
TOWN OF CASTLE ROCK APPROVALS

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM DATE OF PUBLIC WORKS DIRECTOR APPROVAL

 PUBLIC WORKS DIRECTOR 2/6/02

 BOB J. WATTS 3/6/02

 CURTIS H. [Signature] 2/26/02



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Aspen Bio Inc.
 8100 Southpark Way, B-1
 Littleton Colorado 80120
 303.794.3000



Aspen Bio Inc.
 PD

Project Location
 South Perry Street
 Brookside Business Center Filing No.5 - Lot 1
 Block 1, Castle Rock, Colorado 80104

Issued/Revised

Date	Activity
1/28/02	CITY SUBMITTAL

GRADING PLAN

Sheet Title

Scale: 1"=30'-0"

Date: 2/12/02

Drawn By: rh

Project #: ASPEN

Job File: ASPEN

PD 6of8

BROOKSIDE BUSINESS CENTER FILING NO.5 ASPEN BIO INC

LOT 1, BLOCK 1, BROOKSIDE BUSINESS CENTER, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
3.01 ACRES
FINAL PD SITE PLAN



LEGEND

- 6246 — PROP. CONTOUR
- - - - - EXIST. CONTOUR
- - - - - PROP. STORM
- - - - - PROPERTY LINE
- - - - - EXIST. WATERLINE
- - - - - PROP. GAS
- - - - - PROP. SANITARY
- ▭ BASIN BOUNDARY
- ▭ RIP RAP
- X DESIGN POINT
- ① SUB-BASIN DESIGNATION
- ② BASIN AREA (ACRES) (X.XX)
- ③ 5 YEAR COMPOSITE C (**)
- ④ 100 YEAR COMPOSITE C (###)
- FLOW ARROW

DESIGN POINT	BASIN AREA	CONTRIBUTING AREA (ACRES)	RUN-OFF 5YR (CFS)	RUN-OFF 10YR (CFS)	PEAK 100 YEAR (CFS)
1	D-1	1.3	4.3	5.1	8.1
2	D-2	1.2	3.9	4.6	7.4
3	D-1, D-2	2.5	8.2	9.7	15.5
	D-3	0.2	0.0	0.0	0.2
	D-4	0.3	0.0	0.0 </tr	

NOTES

- MINIMUM SLOPE OF PARKING AREAS IS 1.0%
- MINIMUM SLOPE OF GUTTER FLOW LINES IS 0.5%
- SEE HORIZONTAL CONTROL PLAN, AND CONSTRUCTION DETAILS FOR CURB TYPES.

BENCHMARK

A BENCH MARK DISK, 1.6 MILES SOUTH FROM CASTLE ROCK, 1.6 MILES SOUTH ALONG THE DENVER AND RIO GRANDE WESTERN RAILROAD FROM THE STATION AT CASTLE ROCK, 0.1 MILE SOUTH OF MILEPOST 34, 16 FEET WEST OF THE WEST RAIL, 6 FEET BELOW THE TOP OF THE RAILS, SET IN THE TOP OF THE NORTH END OF THE WEST HEADWALL OF A CONCRETE CULVERT. DATUM IS NGVD 29.

U.S.G.S. ELEVATION = 6282.80'

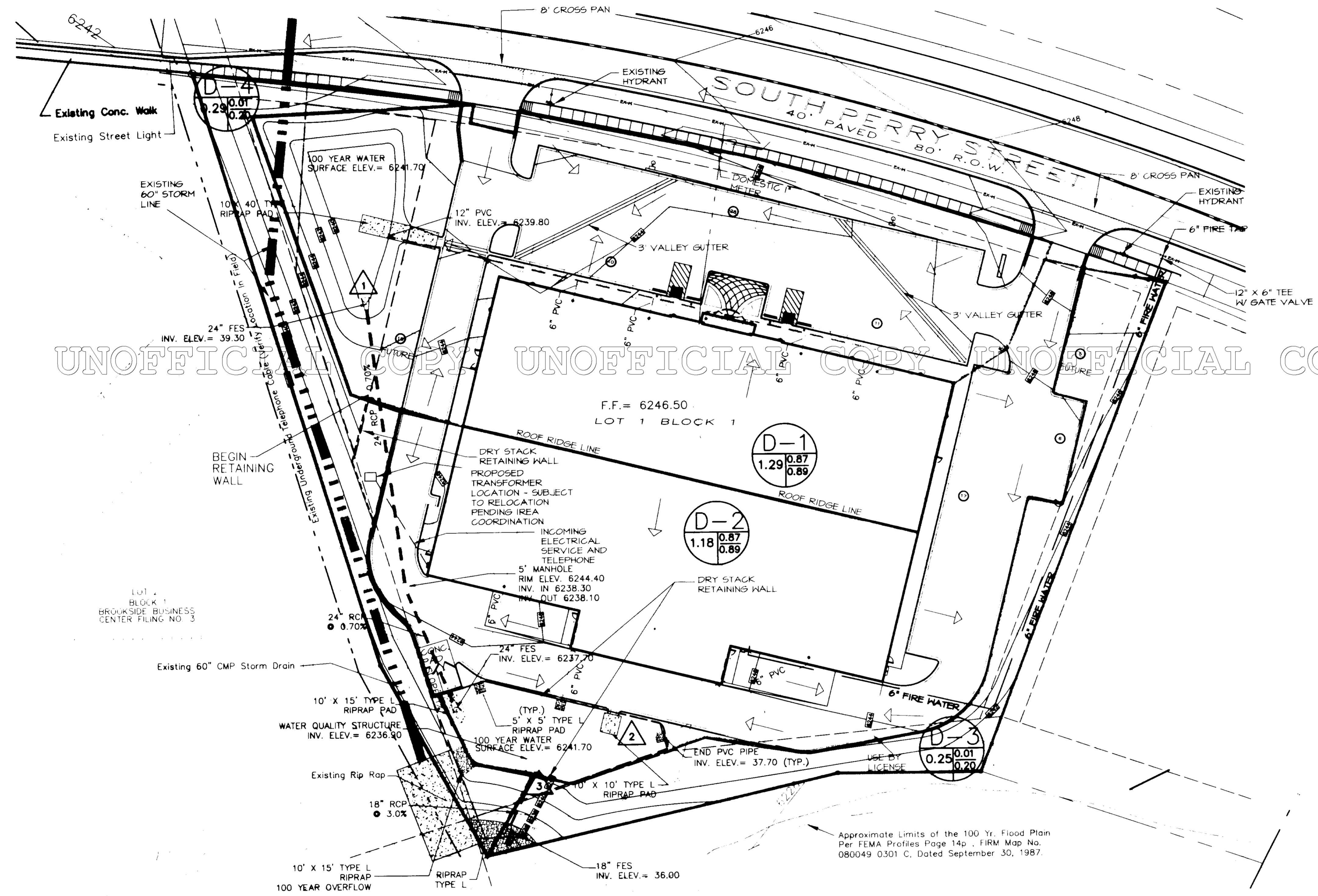
TOWN OF CASTLE ROCK APPROVALS

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM DATE OF PUBLIC WORKS DIRECTOR APPROVAL

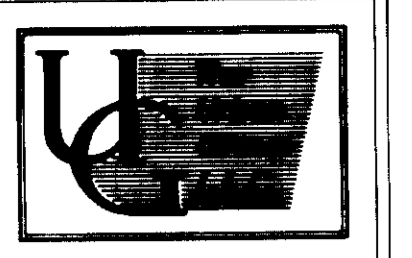
3/6/02

3/6/02

2/26/02



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Urban Companies
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Aspen Bio Inc.
8700 Southpark Way, B-1
Littleton Colorado 80120
303.794.2000

Architect



Engineer

Aspen Bio Inc.

PD

Project Location
South Perry Street
Brookside Business Center Filing No.5 - Lot 1
Block 1, Castle Rock, Colorado 80104

Issued/Revised

Date	Activity
1/29/02	QTY SUBMITTAL

DRAINAGE PLAN

Sheet Title
Scale: 1"=30'-0"
Date: 2/12/02
Drawn By: rh
Project #: ASPEN
Job File: ASPEN

PD 7of8

BROOKSIDE BUSINESS CENTER FILING NO.5 ASPEN BIO INC

LOT 1, BLOCK 1, BROOKSIDE BUSINESS CENTER, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
3.01 ACRES
FINAL PD SITE PLAN



Design
Development
Construction

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PD

South Perry Street
Brookside Business
Center Filing No.5 - Lot 1
Block 1, Castle Rock,
Colorado 80104

Issued/Revised

Date Activity

PD
Photometrics

Sheet Title

Scale

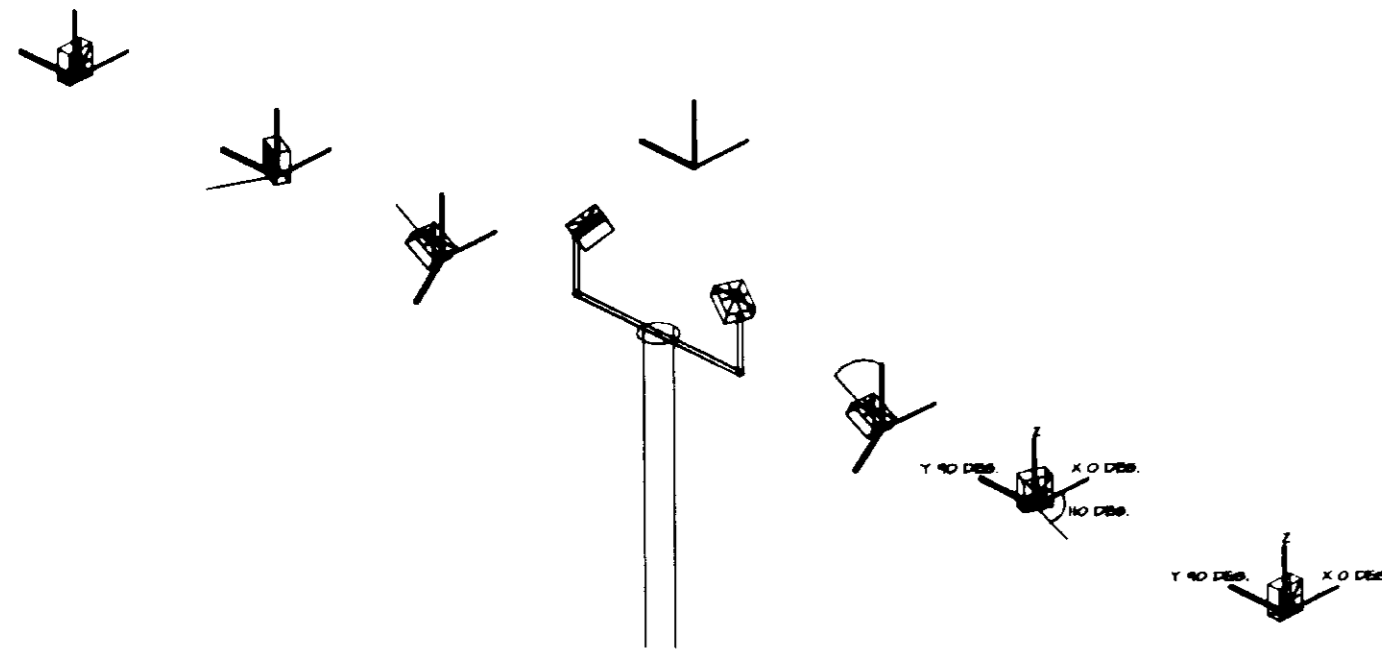
Date 1/28/02

Drawn By th/dc/ks

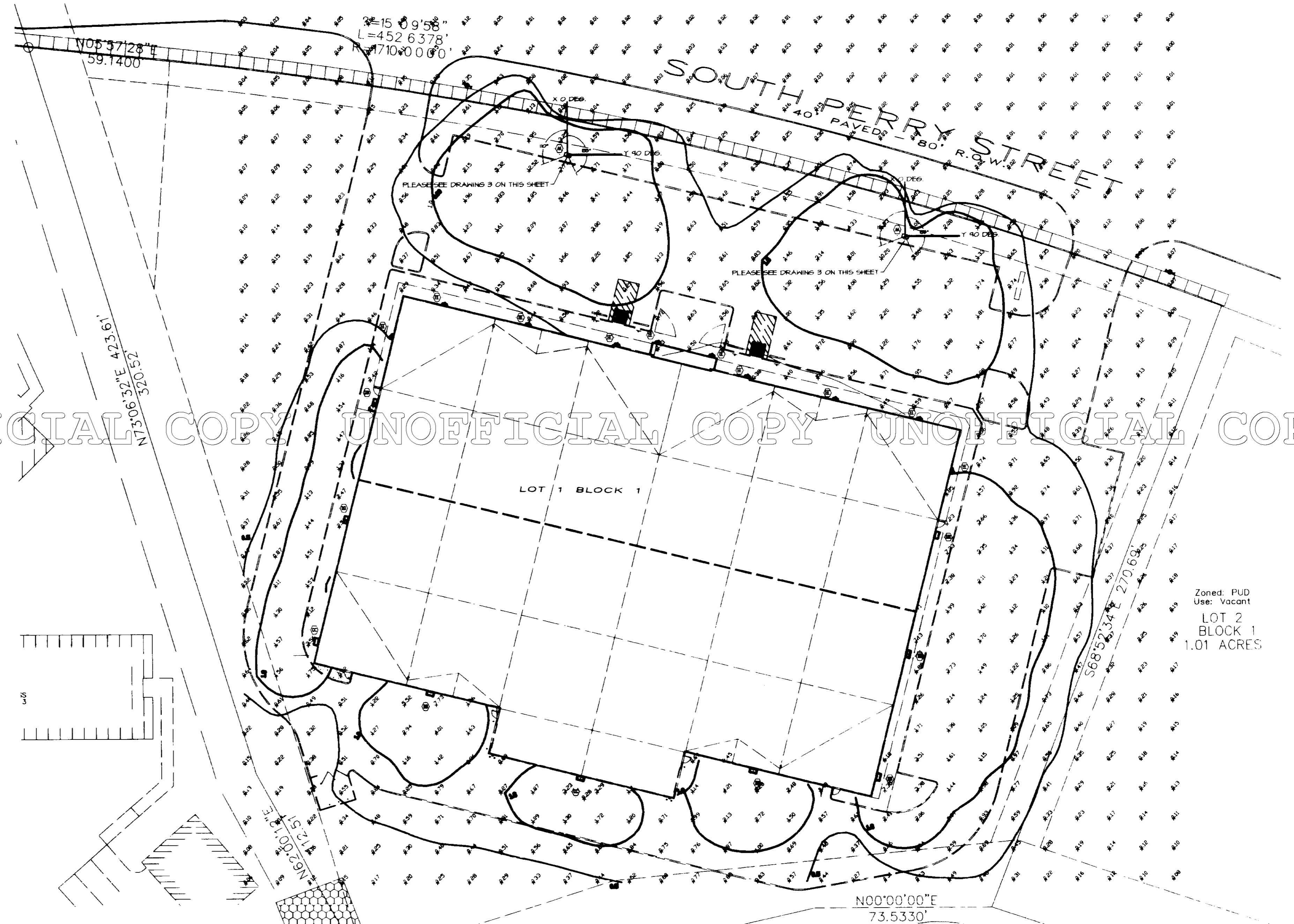
Project # 9910

Job No. 888-008

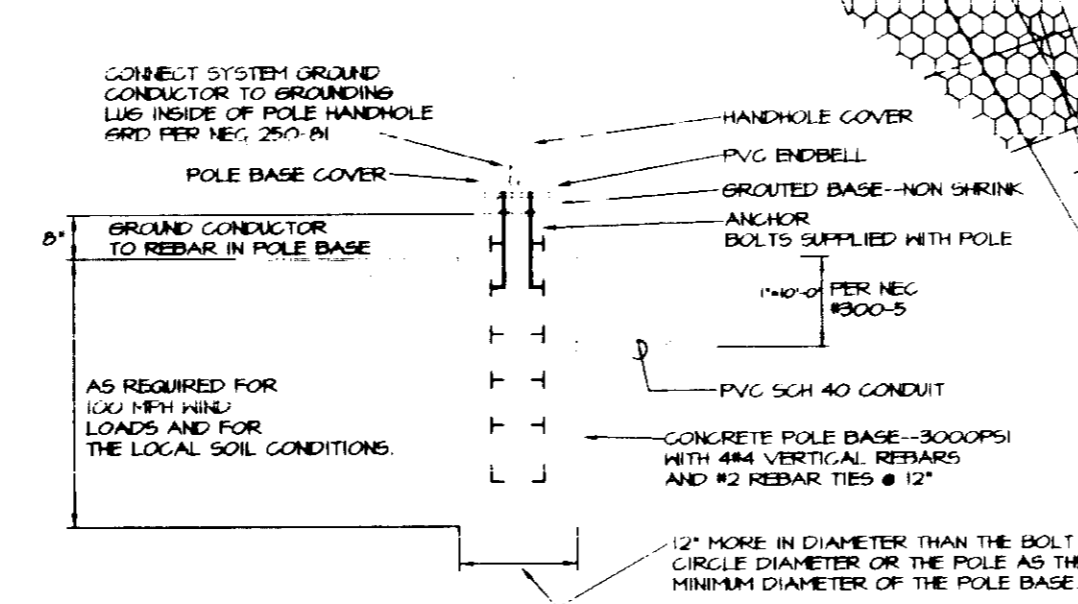
PD 8 of 8



3 TILT AND ROTATION
E-1 NTS



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***WHERE REQUIRED BY LOCAL CODES, THE CONDUIT STUDDED ABOVE THE CONCRETE BASE SHALL BE GRG TYPE CONDUIT WITH A METAL BUSHING.
*** THE EXACT LOCATIONS OF ALL BASES SHALL BE DETERMINED FROM THE ARCHITECTURAL AND CIVIL DRAWINGS, INCLUDING THE TOP OF THE POLE BASE ELEVATIONS.

POLE BASE DETAIL FOR

NTS

1 ELECTRICAL SITE PLAN
E-1



LUMINAIRE SCHEDULE						
PLAN MARK	MOUNTING	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	NO. OF LAMPS	LAMP TYPE	REMARKS
AA	POLE	FLOOD LIGHT	HCGRAH-BERSON APPROX 20' 888 POLE WITH 121-A28 BRACKET	2	400M MH	
BB	BUILDING	HALL PACK	LUMARK 1004-400-120	1	400M MH	
CC	BUILDING	HALL PACK	LUMARK 1004-280-120	1	280M MH	
DD	BUILDING	HALL PACK	LUMARK 1004-18-120	1	175M MH	MOUNTED 10' FROM THE GROUND
EE	BUILDING	DECORATIVE LIGHT	LUMINE 95	1	75W PAR 56	