

# SITE DEVELOPMENT PLAN, AMENDMENT NO. 1 LOT 1 WILCOX PLAZA FILING NO. 1

A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

**811**  
Know what's below.  
Call before you dig.

**Matrix**  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**OWNERSHIP CERTIFICATION**

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

**AMAZON PARTNERS LLC** by *[Signature]* Manager  
AMAZON PARTNERS, LLC, A COLORADO LIMITED LIABILITY COMPANY,  
SIGNED THIS 4<sup>th</sup> DAY OF June, 2025

**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 4<sup>th</sup> DAY OF JUNE  
2025 BY STEPHEN REPLIN AS MANAGER OF AMAZON PARTNERS, LLC.  
WITNESS MY HAND AND OFFICIAL SEAL.

*[Signature]*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 11-28-2026

LAUREN ELISE LAWS  
Notary Public  
State of Colorado  
Notary ID # 20224944754  
My Commission Expires 11-28-2026

**LIENHOLDER SUBORDINATION CERTIFICATE**

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED MARCH 3, 2020 AT RECEPTION NO. 2020014744 DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTION OF THIS DOCUMENT.

*[Signature]*  
FIRSTER BANK  
SIGNED THIS 24<sup>th</sup> DAY OF June, 2025

**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 24<sup>th</sup> DAY OF June  
2025 BY Mitchell Carter  
WITNESS MY HAND AND OFFICIAL SEAL.

*[Signature]*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 3-12-2027

CHERYL L. ECKHARDT  
NOTARY PUBLIC - STATE OF COLORADO  
NOTARY ID 20034009138  
MY COMMISSION EXPIRES MAR 17, 2027

**TITLE CERTIFICATION**

I, Eric Gonzales, AN AUTHORIZED REPRESENTATIVE OF Fidelity National Title Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

*[Signature]*  
AUTHORIZED REPRESENTATIVE

**TITLE COMPANY**  
SIGNED THIS 25<sup>th</sup> DAY OF JUNE, 2025

**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 25 DAY OF June  
2025 BY ERIC GONZALES AS AUTHORIZED REPRESENTATIVE OF Fidelity National Title Company  
WITNESS MY HAND AND OFFICIAL SEAL.

*[Signature]*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 10-5-27

MADISON NICOLE BALLINGER  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 20234037908  
MY COMMISSION EXPIRES OCTOBER 05, 2027

**STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL**

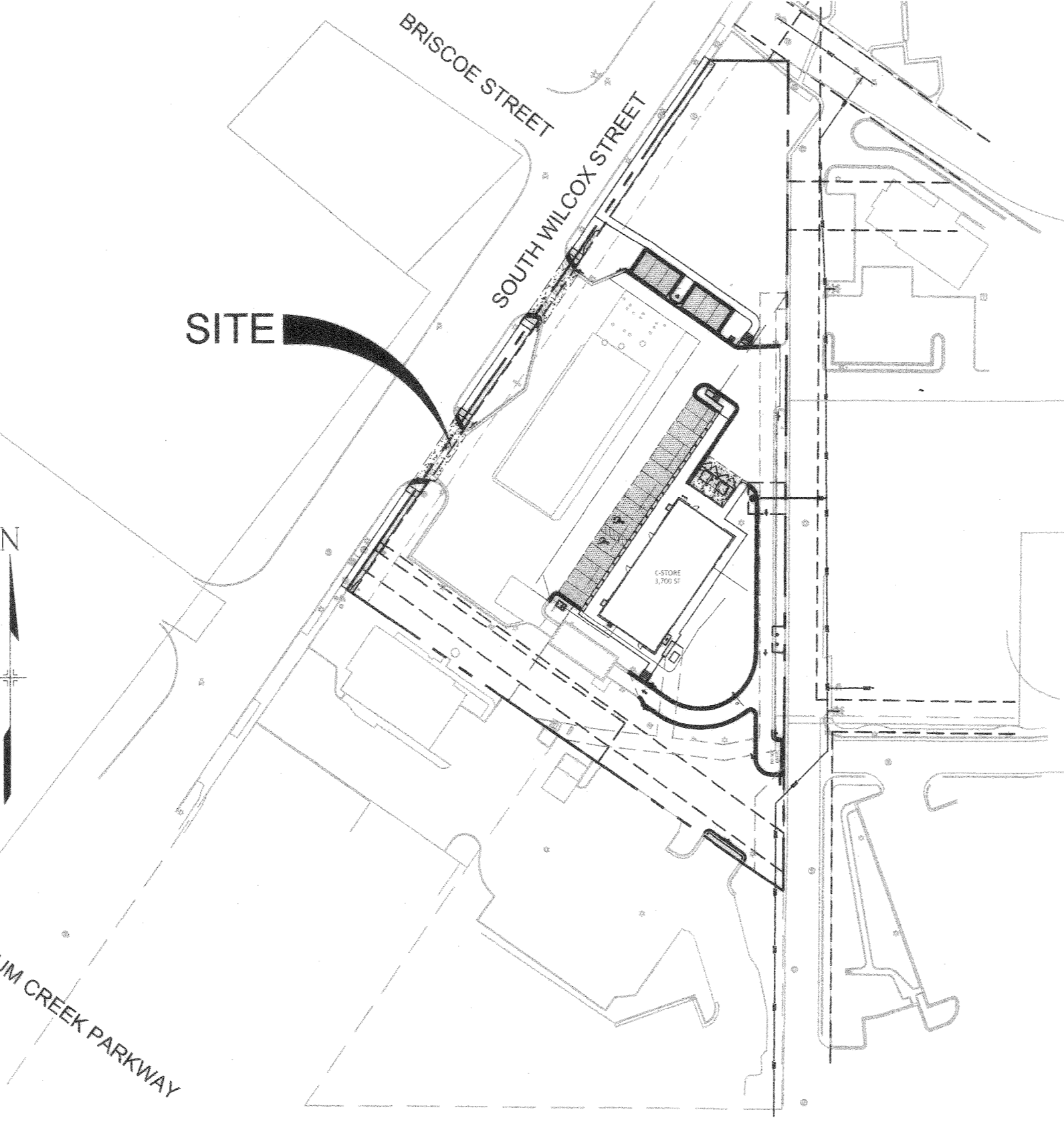
THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 23 DAY OF July, 2025.

*[Signature]*  
DIRECTOR OF DEVELOPMENT SERVICES

**PURPOSE STATEMENT**

THE REVISIONS DETAILED IN THIS AMENDMENT INCLUDES A LAYOUT CHANGE TO THE SOUTHWEST END OF THE PROPOSED SIDEWALK, A LAYOUT CHANGE TO THE NORTHWEST END OF THE PROPOSED SIDEWALK, AND A CHANGE OF THE LIMITS OF CONSTRUCTION TO NO LONGER INCLUDE THE SOUTHERN PORTION OF THE PARKING LOT. ALL SIDEWALK REVISIONS ARE WITHIN WILCOX STREET PUBLIC RIGHT-OF-WAY.

LANDSCAPE REVISIONS INCLUDE A REDUCTION IN NUMBER OF TREES AS PER REQUIREMENTS OF THE DOWNTOWN OVERLAY DISTRICT.



**CONTACT LIST**

**OWNER**  
CIRCLE K STORES INC.  
5500 S. QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

**DEVELOPER**  
LAND DEVELOPMENT CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246  
SOFIA HERNANDEZ  
PHONE: (303) 717-3305

**CIVIL ENGINEER/ LANDSCAPE ARCHITECT**  
MATRIX DESIGN GROUP  
2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
NICOLE SCHANEL/ TERESA J. FOGG  
PHONE: (719) 575-0100

**ARCHITECT**  
GREENBERG FARROW  
30 EXECUTIVE DRIVE, SUITE 100  
IRVINE, CA 92614  
DOUG COUPER  
PHONE: (949) 296-0450

**LAND SURVEYOR**  
RUBINO SURVEYING  
3312 AIRPORT ROAD  
BOULDER, COLORADO 80301  
PHONE: (303) 464-9515

**ELECTRICAL SERVICE**  
MOUNTAIN VIEW ELECTRIC ASSOCIATION  
11140 E. WOODMEN ROAD  
PEYTON, COLORADO 80831  
PHONE: (719) 495-2283

**WATER & SANITARY**  
TOWN OF CASTLE ROCK  
100 NORTH WICOX STREET  
TOWN OF CASTLE ROCK, CO 80104  
PHONE: (720) 733-8033

**FIRE**  
CASTLE ROCK FIRE AND RESCUE DEPARTMENT  
100 NORTH WICOX STREET  
TOWN OF CASTLE ROCK, CO 80104  
BRIAN DIMOCK  
PHONE: (303) 660-1066

**STORM SEWER**  
TOWN OF CASTLE ROCK  
100 NORTH WICOX STREET  
TOWN OF CASTLE ROCK, CO 80104  
KEVIN BUFFINGTON  
PHONE: (720) 733-2308

**LEGAL DESCRIPTION**  
(PER THE TITLE COMMITMENT)

LOT 1, WILCOX PLAZA FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

**BASIS OF BEARING**  
THE BEARINGS ARE BASED ON THE WESTERLY LINE OF LOT 1, ASSUMED TO BEAR N34°37'55"E BETWEEN MONUMENTS FOUND AND DESCRIBED HERON.

**FLOODPLAIN NOTES**  
THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER '08035C0301G', EFFECTIVE DATE 'MARCH 16, 2016'.

**SURVEYOR'S CERTIFICATE**

I, ROBERT J. RUBINO, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

*[Signature]* 6-03-25  
ROBERT J. RUBINO, PLS 14142 DATE

COLORADO LICENSED PROFESSIONAL LAND SURVEYOR  
14142  
6-03-25

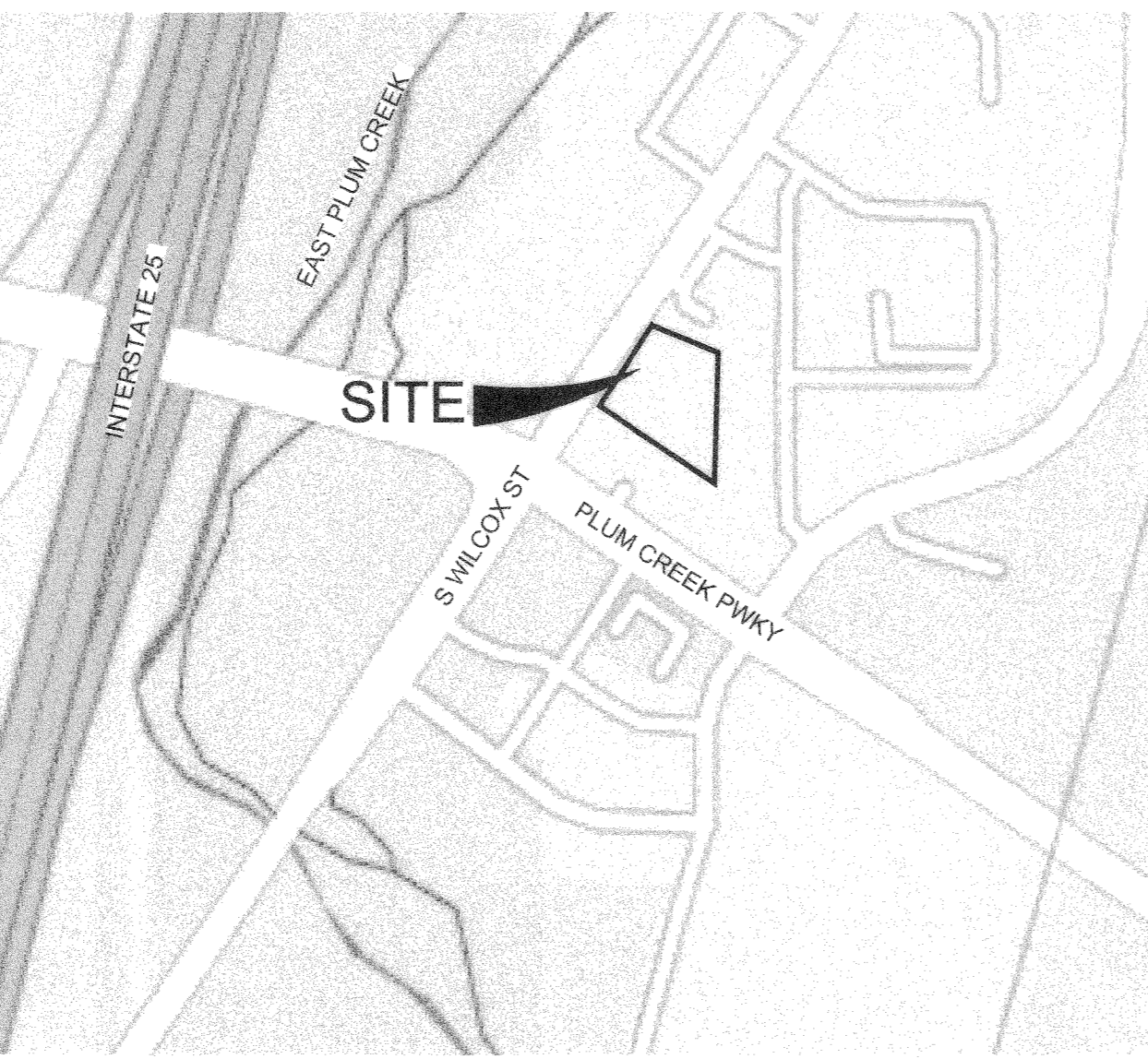
**CIVIL ENGINEER'S STATEMENT**

I, NICOLE M. SCHANEL, BEING A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

*[Signature]*  
NICOLE M. SCHANEL, PE# 52434 DATE 05/07/2025

COLORADO LICENSED PROFESSIONAL ENGINEER  
52434

**SITE MAP**  
1" = 80'



**VICINITY MAP**  
1" = 500'

**DESIGN REVIEW BOARD VARIANCES**

-SERVICE STATION CANOPY LOCATION (17.42.080 B.5)(TCV22-0116)  
-MAXIMUM BUILDING SETBACK (17.42.060.E)(TCV22-0117)

**SHEET INDEX**

SHEET NUMBER	SHEET DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES
3	ALTA
4	DEMOLITION PLAN
5	SITE PLAN
6	GRADING PLAN
7	UTILITY PLAN
8-10	LANDSCAPE PLAN
11	BUILDING EXTERIOR ELEVATIONS - 3700
12	LIGHTING PLAN
13	LIGHTING SCHEDULE & FIXTURE CUTSHEET

Zoning Comparison		
Zoning District	B - Business Commercial	
Overlay District	DOD - Downtown Overlay District	
DOD District	South District	
Downtown Parking Area	South Non-Residential	
	Requirement	Provided (this SDP)
Permitted Uses	Office, service, retail, restaurant, public facility, and other uses as outlined for the B and DOD districts per Muni. Code 17.28.030	Automobile fuel station and retail convenience store
Minimum Lot Size SF/Acres	N/A	3,837 SF/ 1.807 Acres
Gross Floor Area (GFA)	N/A	3,700 GFA
Building Ground Coverage	N/A	3,834 GFA
Maximum Lot Coverage	100%	5%
Minimum front yard setback	0-Feet	138.0-Feet
Minimum rear yard setback	0-Feet	30.9-Feet
Minimum side yard setback	0-Feet	75.9-Feet
Minimum side yard to street setback	0-Feet	N/A
Maximum building setback to roadway	20-Feet. A minimum of 25% of a building's linear footage facing a public roadway must have a setback of 0- to 20-feet with a direct pedestrian connection	100% of the building facing S. Wilcox Street has a 122-foot setback and provides a direct pedestrian connection
Maximum Stories	6	1
Maximum Building Height	N/A	23'-8"
Minimum window or transparency at the pedestrian level	35% for the main front elevation	48% for Wilcox Street 60'-3" LF window/ 88'-0" building= 68%
Minimum Parking	For gas station with convenience store 1 space per employee plus 2 spaces per pump island plus 4 spaces per 1,000 sq. ft. of GFA plus 2 spaces per service bay	Total parking spaces provided = 26 Total parking spaces required = 24 3 Employees* 1 + 4 Pump Islands*2 + 3,700 SF*4 = 24 Spaces
Minimum ADA Parking	26 to 50 total spaces in lot requires 2 ADA parking spaces	ADA parking provided = 2 ADA parking required = 2 Total lot spaces = 26
Minimum Bicycle Parking	5% of total parking spaces provided	Bicycle parking provided = 2 Bicycle parking required = 1.3

**Site Utilization**

	S.F.	% of Total
Building Coverage	4,593	6%
Parking Coverage	4,529	6%
Street Coverage	31,451	40%
Landscape/Open Space Coverage	34,967	44%
Other Coverage (sidewalk):	3,185	4%
Total	78,725	100%

**DOD Streetscape Chart**

Street Name	Frontage Length (LF)	Trees				Shrubs or/and Perennials	
		Required trees (1 tree per 22 LF)	Lg deciduous canopy shade trees provided	Other trees provided	Total trees provided	Required additional plantings (5 shrubs per required tree or 7 perennials per required tree or combination thereof)	Total shrubs and/or perennials provided
Wilcox Street	320 (excluding drives)	15	0 (Proposed)	0	0	75	47 (Proposed)
		7 (Existing)		8	15	28	(Existing)
<b>Total</b>	<b>320</b>	<b>15</b>	<b>7</b>	<b>8</b>	<b>15</b>	<b>75</b>	<b>75</b>

**CONSULTANTS:**

**Matrix**  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**D**  
**LAND DEVELOPMENT**  
CONSULTANTS, LLC

950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:

**CIRCLE K**

ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

**SEAL**

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

**VICINITY MAP**

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

**PROJECT:**  
CIRCLE K STORES, INC

**SITE DEVELOPMENT PLAN, AMENDMENT NO. 1  
WILCOX & PLUM CREEK  
TOWN OF CASTLE ROCK**

**REVISION HISTORY:**

NO.	DATE	DESCRIPTION	BY
1	04/22/2025	AMENDMENT	EA

**DRAWING INFORMATION:**

PROJECT NO: ---  
DRAWN BY: ---  
CHECKED BY: ---  
DESIGNED BY: ---  
SHEET TITLE:

**COVER SHEET**

**SHEET 1 OF 13  
CS01**

ISSUE DATE: MAY 2025

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1  
LOT 1 WILCOX PLAZA FILING NO. 1  
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0009

# SITE DEVELOPMENT PLAN, AMENDMENT NO. 1 LOT 1 WILCOX PLAZA FILING NO. 1

A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

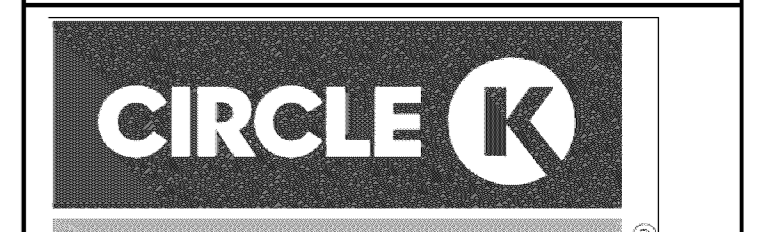


**Matrix**  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
CONSULTANTS, LLC

950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:

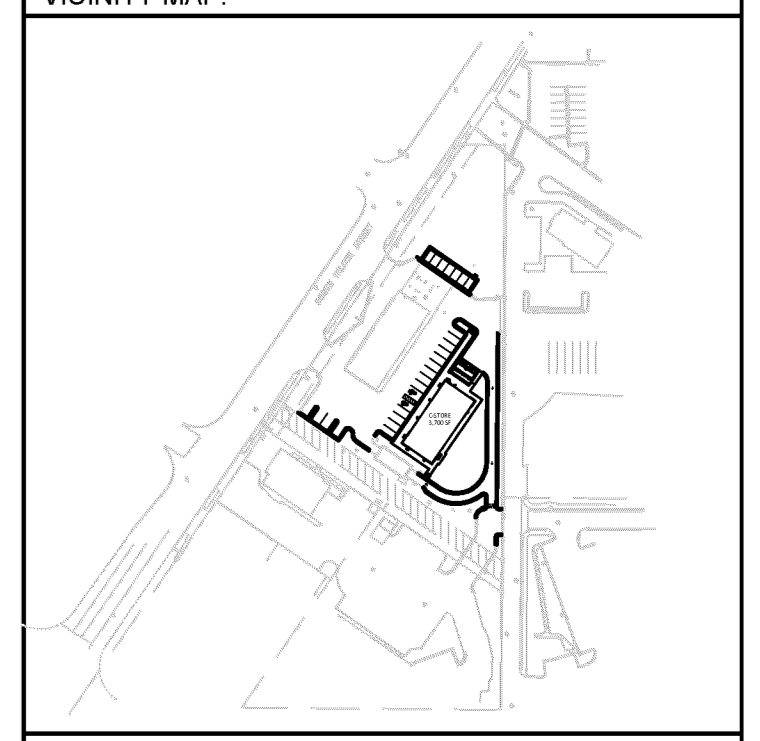


ROCKY MOUNTAINS DIVISION  
500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP:



PROJECT:

**CIRCLE K STORES, INC**

SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 1  
WILCOX & PLUM CREEK  
TOWN OF CASTLE ROCK

REVISION HISTORY:

NO	DATE	DESCRIPTION	BY
1	04/22/2025	AMENDMENT	EA

DRAWING INFORMATION:

PROJECT NO: ---

DRAWN BY: ---

CHECKED BY: ---

DESIGNED BY: ---

SHEET TITLE:

## GENERAL NOTES

SHEET 2 OF 13  
GN01

ISSUE DATE: MAY 2025

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1  
LOT 1 WILCOX PLAZA FILING NO. 1  
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0009

### SITE DEVELOPMENT PLAN GENERAL NOTES

- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL. THERE MAY BE SUBSEQUENT AMENDMENTS.
- THIS SITE IS ZONED B-BUSINESS/COMMERCIAL, DOWNTOWN OVERLAY.
- RETAINING WALLS IN COMMON AREAS OR THAT SPAN MULTIPLE LOTS REGARDLESS OF SIZE/HEIGHT MUST BE LOCATED IN A TRACT. THE RETAINING WALLS MUST BE MAINTAINED BY THE HOA OR METRO DISTRICT.
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS SITE DEVELOPMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLANS SHALL REQUIRE AN SDP AMENDMENT.
- THE NUMBER OF PARKING SPACES ARE BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK ZONING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING REGULATIONS.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOW LINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL PROPOSED UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL AND SHALL BE ESTABLISHED WITH A PLAT OR SEPARATE DOCUMENT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, WATER METERS, FIRE HYDRANTS AND CURB BOXES AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. ANY VARIATION FROM THIS REQUIRES AN APPROVED TECHNICAL CRITERIA VARIANCE.
- ALL SUBDIVISIONS SHALL INCLUDE ADEQUATE EASEMENTS TO ACCOMMODATE THE CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL PUBLIC ACCESS, SIDEWALKS, TRAILS, WATER SUPPLY SYSTEM, WASTE WATER SYSTEMS, STORM WATER MANAGEMENT SYSTEM AND EROSION CONTROL FACILITIES, TELECOMMUNICATIONS AND OTHER UTILITIES REQUIRED TO PROVIDE EACH UTILITY TO EACH OCCUPIED STRUCTURE IN THE SUBDIVISION.
- NO STRUCTURE SHALL BE CONSTRUCTED OVER ANY PORTIONS OF A RECORDED TOWN EASEMENT UNLESS A REVOCABLE LICENSE IS APPROVED BY THE TOWN AND THE STRUCTURE WILL NOT INTERFERE WITH THE INTENDED USE OF THE EASEMENT.
- ANY STRUCTURES PLACED IN THE EASEMENT INCLUDING BUT NOT LIMITED TO PAVING, FENCING, RETAINING WALLS AND LANDSCAPING SHALL BE REMOVED AND REPLACED BY THE OWNER UPON THE REQUEST OF THE UTILITIES DEPARTMENT OR PRIVATE UTILITY COMPANY SO THAT MAINTENANCE MAY BE PERFORMED. THE OWNER OF THE LAND SHALL AGREE TO HOLD THE TOWN AND/OR PRIVATE UTILITY COMPANY HARMLESS FOR ANY LOSS OF PROPERTY OR LANDSCAPING AND IRRIGATION REMOVED FROM THE EASEMENT OR DAMAGED DUE TO MAINTENANCE ACTIVITIES AND ALL ASSOCIATED COSTS.

### FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- "FIRE LANE NO PARKING" CURB MARKING. ALL DESIGNATED LINES SHALL BE ACCOMPANIED WITH CURB MARKINGS IN A WEATHER RESISTANT RED PAINT. REFLECTIVE PAINT MAY BE USED FOR HIGHER VISIBILITY. CURBING SHALL BE LABELED, "NO PARKING - FIRE LANE" IN ALL UPPER CASE LETTERS. LETTERING SHALL BE NO LESS THAN THREE (3) INCHES HIGH WITH WHITE LETTERING ON A RED BACK GROUND AND PLACED ON THE FACE AND TOP OF THE CURB. LETTERING SHALL BE LOCATED NO MORE THAN FIFTY (50) APART AND WITHIN FIVE FEET OF THE BEGINNING AND END OF ANY FIRE LANE.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) OR COMMUNITY WILDFIRE PROTECTION PLAN (CWPP) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

### TIMING

ANTICIPATED STARTING AND COMPLETION TIME PERIOD OF SITE GRADING:  
MAY 2025 THRU NOVEMBER 2025  
  
EXPECTED DATE ON WHICH THE FINAL STABILIZATION WILL BE COMPLETED:  
MAY 2026

### AREAS

TOTAL AREA: 1.807 ACRES  
DISTURBED AREA: 0.89 ACRES

### RECEIVING WATERS

NAME OF RECEIVING WATERS  
EAST PLUM CREEK CREEK

### ABBREVIATIONS

AD	ALGEBRAIC DIFFERENCE	NC	NORMAL CROWN
ASSY	ASSEMBLY	NIC	NOT IN CONTRACT
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS	NO	NUMBER
APPROX AVE	APPROXIMATE or APPROXIMATELY AVENUE	NOM	NOMINAL
AVG	AVERAGE	NTS	NOT TO SCALE
B/C	BACK OF CURB		
± or B/L	BASELINE	P	PROPOSED
BLVD	BOULEVARD	PC	POINT OF CURVATURE
BTM	BOTTOM	PCC	POINT OF COMPOUND CURVE
		PCR	POINT OF CURB RETURN
		PE	PLAIN END
CJ	CAST IRON CENTER	PIE	PUBLIC IMPROVEMENT EASEMENT
± or CL	CENTERLINE	PGL	PROFILE GRADE LINE
CFS	CUBIC FEET PER SECOND	± or P/L	PROPERTY LINE
CLR	CLEAR	PRC	POINT OF REVERSE CURVE
CMP	CORRUGATED METAL PIPE	PT	POINT OF TANGENCY
CONC	CONCRETE	PVC	POINT OF VERTICAL CURVE or POLYVINYL CHLORIDE
CONST	CONSTRUCTION	PVI	POINT OF VERTICAL INTERSECTION
CONT	CONTINUOUS	PVMT	PAVEMENT
		PVT	POINT OF VERTICAL TANGENT
DIA	DIAMETER	R OR RAD	RADIUS
DN	DOWN	RC	REVERSE CROWN
DWG	DRAWING	RCP	REINFORCED CONCRETE PIPE
		RED	REDUCER
EA	EACH	REF	REFERENCE
EGL	ENERGY GRADE LINE	REINF	REINFORCING
ELEV or EL	ELEVATION	REQ	REQUIRED
ELL	ELBOW	REV	REVISION
ESMT	EASEMENT	ROW	RIGHT-OF-WAY
EW	EACHWAY	RT	RIGHT
EX or EXIST	EXISTING		
FES	FLARED END SECTION	SCH	SCHEDULE
FIN	FINISHED	SD	STORM SEWER
± or FL	FLOWLINE	SQ	SQUARE
FLG	FLANGE	ST	STREET
FT	FOOT / FEET	STA	STATION
FRP	FIBERGLASS REINFORCED PIPE	STD	STANDARD
		STL	STEEL
GAL	GALLON	SS OR SAN	SANITARY SEWER
GALV	GALVANIZED	SW OR S/W	SIDEWALK
GAU	GAUGE (MATERIAL)		
GV	GATE VALVE	TAN	TANGENT
GW	GROUNDWATER	TB	THRUST BLOCK
		TBC	TOP BACK OF CURB
HBP	HOT BITUMINOUS PAVEMENT	TFC	TOP FACE OF CURB
HERCP	HORIZONTAL ELLIPTICAL REINFORCED CONCRETE PIPE	THD	THREADED
		THK	THICKNESS
HGL	HYDRAULIC GRADE LINE	TYP	TYPICAL
HP	HIGH POINT		
HORIZ	HORIZONTAL	UG	UNDERGROUND
HCL	HORIZONTAL CONTROL LINE	UTIL	UTILITY
HR	HOUR		
INV	INVERT	VC	VERTICAL CURVE
		VERT	VERTICAL
K	VERTICAL CURVE FACTOR	W	WIDTH
		W/	WITH
LBS	POUNDS		
LF	LINEAR FEET		
LN	LANE		
LP	LOWPOINT		
LS	LANDSCAPING		
LT	LEFT		
MAX	MAXIMUM		
MFGR	MANUFACTURER		
MH	MANHOLE		
MID	MIDDLE or MIDPOINT		
MIN	MINIMUM		
MJ	MECHANICAL JOINT		
MSL	MEAN SEA LEVEL		

FILE LOCATION: S:\CIRCLE KWILCOX (CASTLE ROCK)\100 DWG\104 PLAZA SITE DEVELOPMENT PLAN\SDP1.DWG

# SITE DEVELOPMENT PLAN, AMENDMENT NO. 1 LOT 1 WILCOX PLAZA FILING NO. 1

A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**CONSULTANTS:**  
**Matrix**  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

**OWNER/DEVELOPER:**  
**CIRCLE K**  
ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

**OWNER INFORMATION**  
PLUM CREEK LLC 506 EAST 3RD ST  
SALIDA, CO 81201  
LEGAL: LOT 2 BLOCK 1 WALGREENS FILING 1 TOTAL  
ACREAGE 1.344 AML  
ZONE: COMMERCIAL

**OWNER INFORMATION**  
14801 INC 9555 E CALEY CIR  
GREENWOOD VILLAGE, CO 80111  
LEGAL: LOT 7 CASTLE PLAZA SOUTH 1ST  
AMENDMENT: 0.744 AML  
ZONE: COMMERCIAL

**OWNER INFORMATION**  
46 STILLINGS PROPERTIES LLC ET AL 449 STILLINGS AVE  
SAN FRANCISCO, CA 94131  
LEGAL: LOT 6A CASTLE PLAZA SOUTH FIFTH AMD 0.788 AML  
ZONE: COMMERCIAL

**OWNER INFORMATION**  
340 S WILCOX STREET LLC/O GRAND MERE  
RESTAURANT GRP/ 300 PARK AVE 12TH FLOOR  
NEW YORK, NY 10022  
LEGAL: LOT 1 K.L.N. SUBDIVISION 0.86 AML  
ZONE: COMMERCIAL

**OWNER INFORMATION**  
WELLS FARGO BANK NACIO THOMSON PROPERTY TAX  
SERVICES PO BOX 2609  
CARLSBAD, CA 92018  
LEGAL: LOT 5A CASTLE PLAZA SOUTH 3RD AMD 1.63 AML  
ZONE: COMMERCIAL

### SITE LEGEND

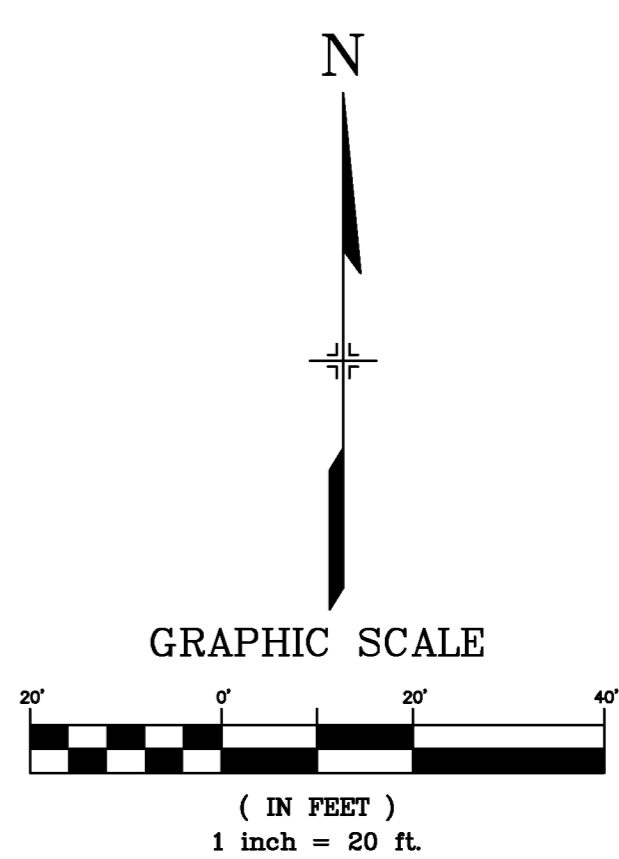
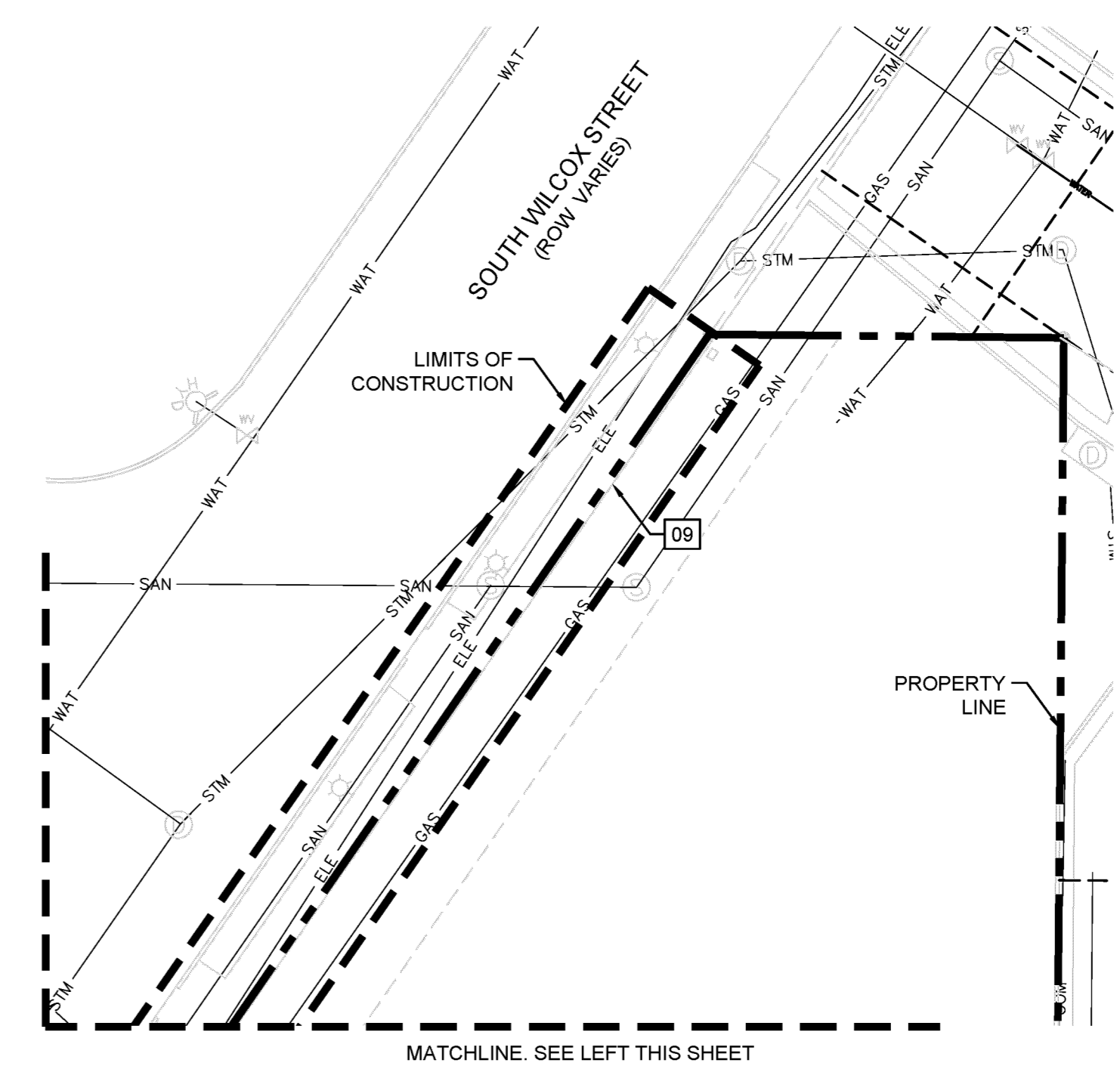
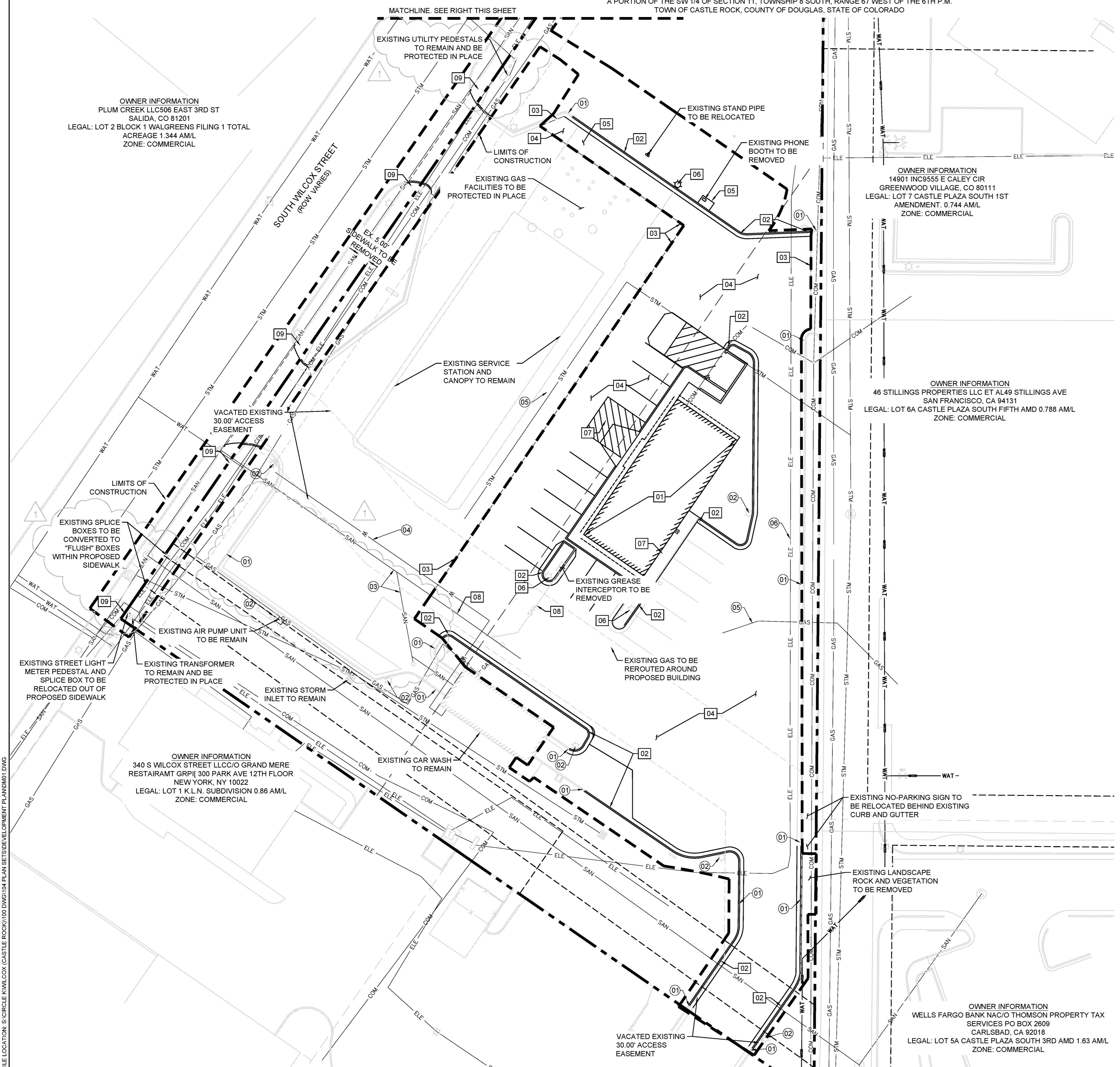
- PROPERTY BOUNDARY LINE
- SETBACK LINE
- LIMITS OF CONSTRUCTION

### SITE DEMOLITION NOTES

- 01 EXISTING BUILDING TO BE REMOVED
- 02 EXISTING CURB AND GUTTER TO BE REMOVED
- 03 SAWCUT LINE
- 04 EXISTING ASPHALT TO BE REMOVED
- 05 EXISTING CONCRETE TO BE REMOVED
- 06 EXISTING LIGHT POLE TO BE REMOVED
- 07 EXISTING GAS SERVICE LINE TO BE REMOVED
- 08 EXISTING SANITARY SERVICE TO BE REMOVED
- 09 EXISTING SIDEWALK TO BE REMOVED

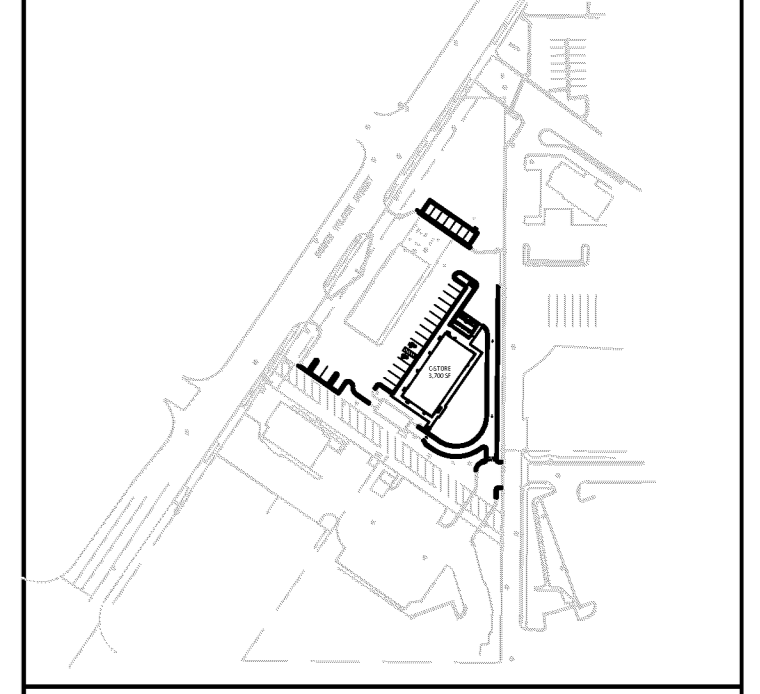
### SITE DETAILS

- 01 EXISTING CURB AND GUTTER TO REMAIN
- 02 EXISTING LIGHT POLE TO REMAIN
- 03 EXISTING SANITARY SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
- 04 EXISTING WATER SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
- 05 EXISTING GAS SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
- 06 EXISTING ELECTRIC SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP: NTS



**PROJECT:**  
**CIRCLE K STORES, INC**

**SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 1  
WILCOX & PLUM CREEK  
TOWN OF CASTLE ROCK**

**REVISION HISTORY:**

NO.	DATE	DESCRIPTION	BY
1	04/22/2025	AMENDMENT	EA

**DRAWING INFORMATION:**  
PROJECT NO: ---  
DRAWN BY: ---  
CHECKED BY: ---  
DESIGNED BY: ---  
SHEET TITLE:

## DEMOLITION PLAN

**SHEET 4 OF 13  
DM01**

ISSUE DATE: MAY 2025

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1  
LOT 1 WILCOX PLAZA FILING NO. 1  
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0009

FILE LOCATION: S:\CIRCLE K\WILCOX (CASTLE ROCK)\100 DWG\104 PLAN SET\DEVELOPMENT PLAN\DM01.DWG

# SITE DEVELOPMENT PLAN, AMENDMENT NO. 1 LOT 1 WILCOX PLAZA FILING NO. 1

A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

**OWNER INFORMATION**  
PLUM CREEK LLC 506 EAST 3RD ST  
SALIDA, CO 81201  
LEGAL: LOT 2 BLOCK 1 WALGREENS FILING 1 TOTAL  
ACREAGE 1.344 AML  
ZONE: COMMERCIAL  
ACTUAL USE: NEIGHBORHOOD SHOPPING CENTER

**OWNER INFORMATION**  
14901 INC9555 E CALEY CIR  
GREENWOOD VILLAGE, CO 80111  
LEGAL: LOT 7 CASTLE PLAZA SOUTH 1ST  
AMENDMENT: 0.744 AML  
ZONE: COMMERCIAL  
ACTUAL USE: FAST FOOD RESTAURANT

**OWNER INFORMATION**  
48 STILLINGS PROPERTIES LLC ET AL 49 STILLINGS AVE  
SAN FRANCISCO, CA 94131  
LEGAL: LOT 6A CASTLE PLAZA SOUTH FIFTH AMD 0.788 AML  
ZONE: COMMERCIAL  
ACTUAL USE: POST OFFICE

**OWNER INFORMATION**  
340 S WILCOX STREET LLC/O GRAND MERE  
RESTAURANT GRPI| 300 PARK AVE 12TH FLOOR  
NEW YORK, NY 10022  
LEGAL: LOT 1 K.L.N. SUBDIVISION 0.86 AML  
ZONE: COMMERCIAL  
ACTUAL USE: RESTAURANT

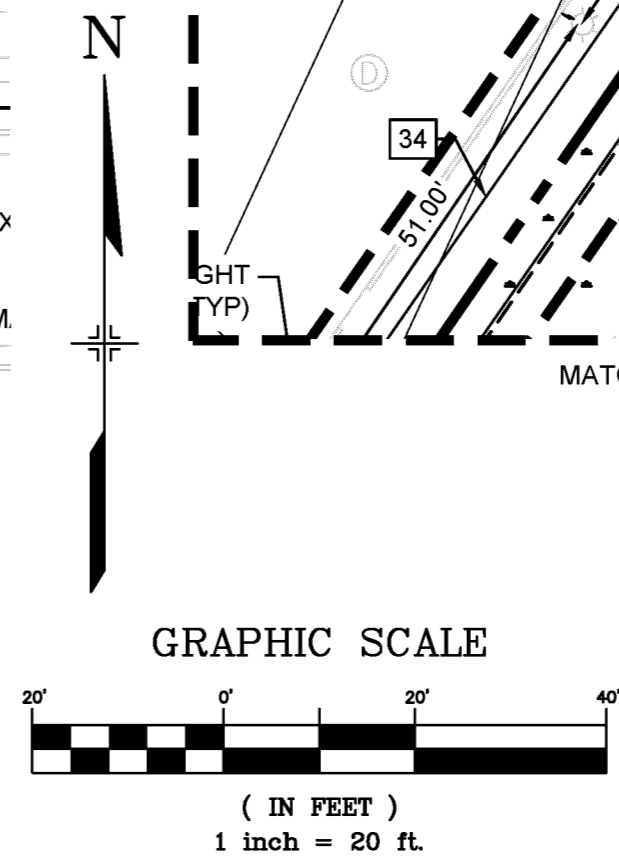
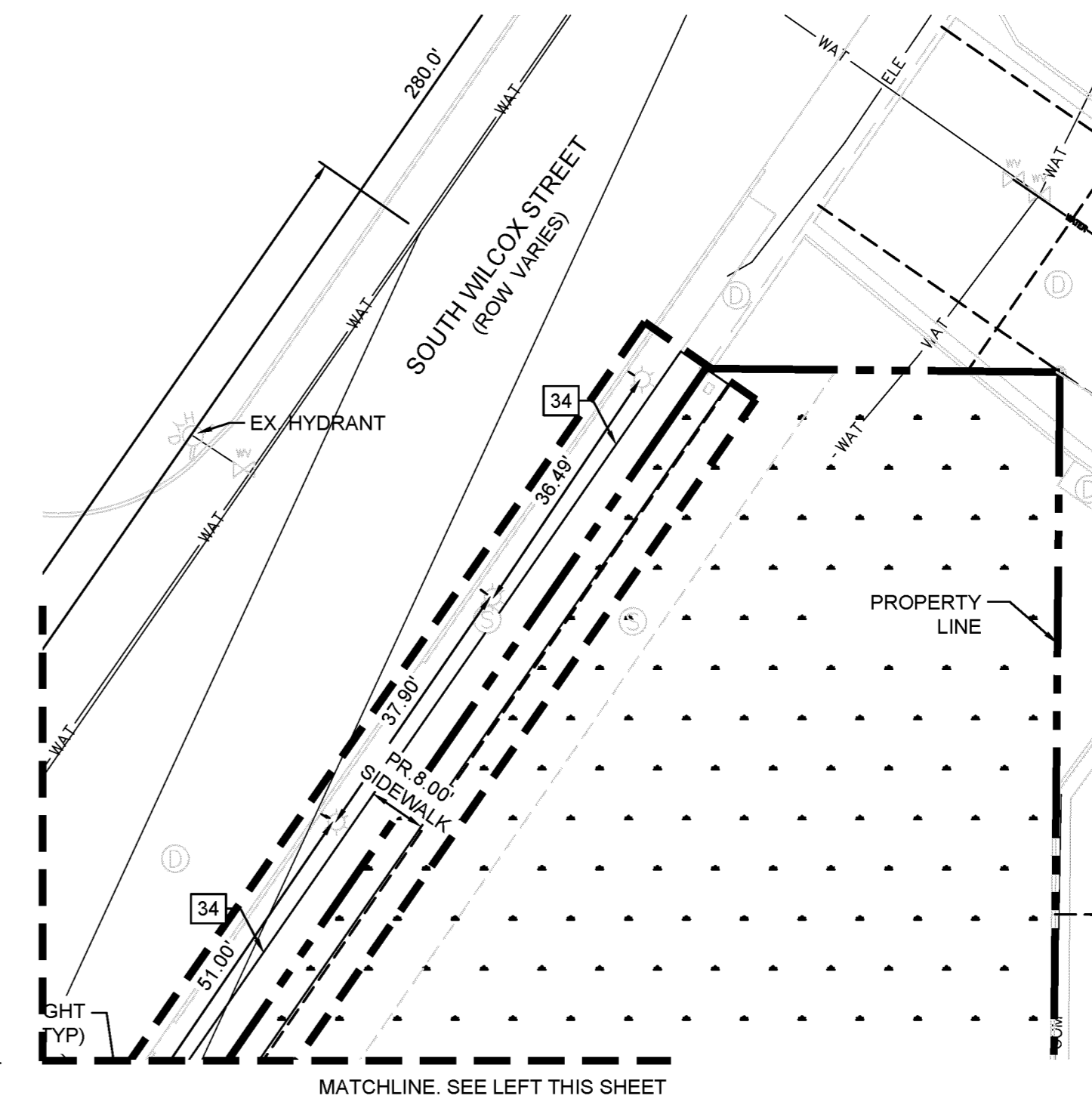
**OWNER INFORMATION**  
WELLS FARGO BANK NAC/O THOMSON PROPERTY TAX  
SERVICES PO BOX 2609  
CARLSBAD, CA 92018  
LEGAL: LOT 5A CASTLE PLAZA SOUTH 3RD AMD 1.63 AM  
ZONE: COMMERCIAL  
ACTUAL USE: BANK

## SITE LEGEND

- PROPERTY BOUNDARY LINE
- SETBACK LINE
- LIMITS OF CONSTRUCTION
- PROPOSED STRIPING
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED BOUNDARY BETWEEN CONCRETE & ASPHALT
- PROPOSED PARKING SPACES
- PEDESTRIAN PATH OF TRAVEL
- LANDSCAPE AREA

## SITE NOTES

- 01 CURB & GUTTER TYPE VC1 (CATCH)
- 02 CURB & GUTTER TYPE VC1 (SPILL)
- 03 EXISTING TRANSFORMER PAD
- 04 TRASH ENCLOSURE (PER ARCH PLANS)
- 05 EXISTING OVERHEAD CANOPY
- 06 TAPER CURB TO MATCH EXISTING CURB
- 07 CONCRETE SIDEWALK
- 08 EXISTING FUEL PUMPS
- 09 CO2 ENCLOSURE (PER ARCH PLANS)
- 10 EXISTING UNDERGROUND FUEL TANKS
- 11 AIR UNIT (PER ARCH PLANS)
- 12 ACCESSIBLE PARKING STALL, ISA SYMBOL AND SIGNAGE (PER ARCH PLANS)
- 13 VENT PIPES
- 14 PIPE BOLLARDS (PER ARCH PLANS)
- 15 BICYCLE RACK (EACH UNIT ACCOMMODATES 2 BICYCLES) (CYCLE-SAFE "U-RACK" OR APPROVED EQUAL)
- 16 CONVENIENCE STORE (3,700 SF), (SEE ARCHITECTURAL PLANS)
- 17 EXISTING CAR WASH
- 18 EXISTING CAR WASH CODED ENTRY SYSTEM
- 19 CAR WASH BAIL OUT LANE
- 20 VACUUM UNIT
- 21 HANDICAP RAMP
- 22 DO NOT ENTER STRIPING
- 23 EXISTING LIGHT POLE
- 24 TRAFFIC FLOW ARROW
- 25 HEAVY DUTY ASPHALT PAVING
- 26 LIGHT DUTY CONCRETE PAVING
- 27 HEAVY DUTY CONCRETE PAVING
- 28 SAWCUT LINE
- 29 TYPE 2 CURB RAMP
- 30 TYPE 1 CURB RAMP
- 31 TRANSFORMER PAD
- 32 CAR WASH CLEARANCE BAR
- 33 PROPOSED FIRE HYDRANT
- 34 PROPOSED 8' SIDEWALK



- NOTES:**
- CORE ELECTRICAL EASEMENT REC. NO. 2020097613 IS AN EXISTING BLANKET EASEMENT ACROSS THE SITE.
  - CATCH TO SPILL CURB SHALL BE A 3' TRANSITION.

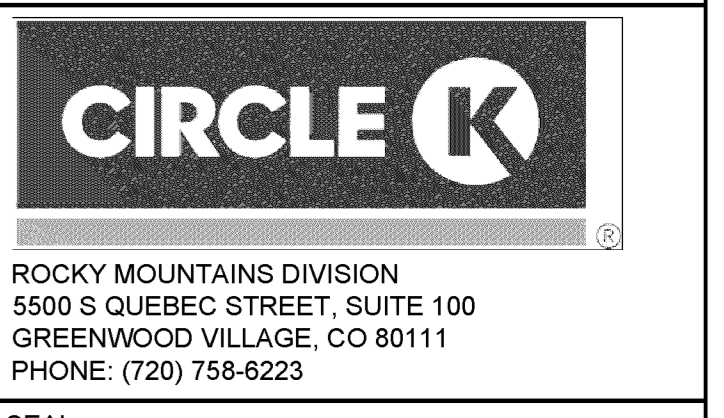


**CONSULTANTS:**

**Matrix**  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

**OWNER/DEVELOPER:**



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

**VICINITY MAP:**

**REVISION HISTORY:**

NO.	DATE	DESCRIPTION	BY
1	04/22/2025	AMENDMENT	EA

**PROJECT:**  
CIRCLE K STORES, INC

**SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 1  
WILCOX & PLUM CREEK  
TOWN OF CASTLE ROCK**

**DRAWING INFORMATION:**

PROJECT NO.:	---
DRAWN BY:	---
CHECKED BY:	---
DESIGNED BY:	---

**SHEET TITLE:**

**SITE PLAN**

**SHEET 5 OF 13  
SP01**

ISSUE DATE: MAY 2025

FILE LOCATION: S:\CIRCLE KWILCOX (CASTLE ROCK)\100 DWG\104 PLAN SET\DEVELOPMENT PLAN\SP01.DWG

# SITE DEVELOPMENT PLAN, AMENDMENT NO. 1 LOT 1 WILCOX PLAZA FILING NO. 1

A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### GRADING LEGEND

- PROPERTY LINE
- EXISTING CURB & GUTTER
- PROPOSED CONTOURS
- EXISTING CONTOURS
- LIMITS OF CONSTRUCTION
- SLOPE ARROW
- HIGH POINT / LOW POINT

### GENERAL GRADING NOTES

- A. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- B. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND MAINTAINING A SWPPP FOR THE DURATION OF INFRASTRUCTURE CONSTRUCTION AND UNTIL SAN JUAN COUNTY AND AMAFCA ACCEPTS THE PUBLIC INFRASTRUCTURE. CONTRACTOR SHALL PROVIDE THE OWNER WITH A COPY OF THE SWPPP AT THE BEGINNING OF THE PROJECT AND AT THE TIME OF NOTICE OF TERMINATION.
- C. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND IS TO PROVIDE AN AS-BUILT SURVEY CERTIFIED BY A REGISTERED PROFESSIONAL SURVEYOR TO THE OWNER UPON COMPLETION OF THE CONSTRUCTION. THE EARTHWORK CONTRACTOR IS TO PROVIDE EARTHWORK SURVEY. THE PEDESTRIAN BRIDGE CONTRACTOR IS TO PROVIDE BRIDGE SURVEY.
- D. EARTHWORK CONTRACTOR TO PROVIDE VIDEO DOCUMENTATION OF THE EXISTING CONDITION OF IMPROVEMENTS AROUND THE PERIMETER OF PROJECT TO THE OWNER PRIOR TO BEGINNING CONSTRUCTION.
- E. PRIOR TO INSTALLATION OF SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- F. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- G. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- H. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- I. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- J. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- K. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- L. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- M. NO GRADING AND/OR SPILLING BEYOND THE CONSTRUCTION LIMITS. ANY SPILLING THAT CAUSES ADVERSE EFFECTS TO THE SLOPES AND/OR OPEN SPACE AREAS SHOULD BE "IMMEDIATELY RESTORED TO ITS NATURAL ESTATE"
- N. NO CONSTRUCTION ACCESS, ACTIVITY, OR STORAGE OF MATERIALS/DEBRIS/EQUIPMENT IS PERMITTED WITHIN TREE PROTECTION ZONES, INCLUDING GRADING, INSTALLATION OF UNDERGROUND UTILITIES, INSTALLATION OF SITE IMPROVEMENTS, AND/OR GRUBBING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONES (SEE NOTE 2 IN OCF TREE PROTECTION NOTES TO DETERMINE TREE PROTECTION ZONE BOUNDARIES).
- O. ALL EXISTING GRADES WITHIN TREE PROTECTION ZONES (TPZ) BOUNDARIES MUST REMAIN AS-IS. ALL PROPOSED GRADE CHANGES MUST OCCUR ENTIRELY OUTSIDE TPZ BOUNDARIES.



**CONSULTANTS:**

**Matrix**  
2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT CONSULTANTS, LLC**  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

**OWNER/DEVELOPER:**

**CIRCLE K**

ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

**SEAL**

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

**VICINITY MAP:**

**PROJECT:**

**CIRCLE K STORES, INC**

SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 1  
WILCOX & PLUM CREEK  
TOWN OF CASTLE ROCK

**REVISION HISTORY:**

NO.	DATE	DESCRIPTION	BY
1	04/22/2025	AMENDMENT	EA

**DRAWING INFORMATION:**

PROJECT NO: ---  
DRAWN BY: ---  
CHECKED BY: ---  
DESIGNED BY: ---  
SHEET TITLE:

**GRADING PLAN**

SHEET 6 OF 13  
**GR01**

ISSUE DATE: MAY 2025  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1  
LOT 1 WILCOX PLAZA FILING NO. 1  
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0009

**OWNER INFORMATION**  
PLUM CREEK LLC 506 EAST 3RD ST  
SALIDA, CO 81201  
LEGAL: LOT 2 BLOCK 1 WALGREENS FILING 1 TOTAL  
ACREAGE 1.344 AM/L  
ZONE: COMMERCIAL

**OWNER INFORMATION**  
14901 INC5555 E CALEY CIR  
GREENWOOD VILLAGE, CO 80111  
LEGAL: LOT 7 CASTLE PLAZA SOUTH 1ST  
AMENDMENT: 0.744 AM/L  
ZONE: COMMERCIAL

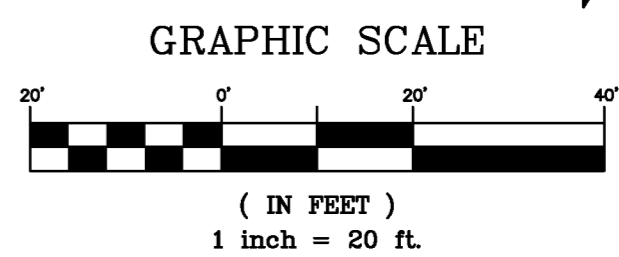
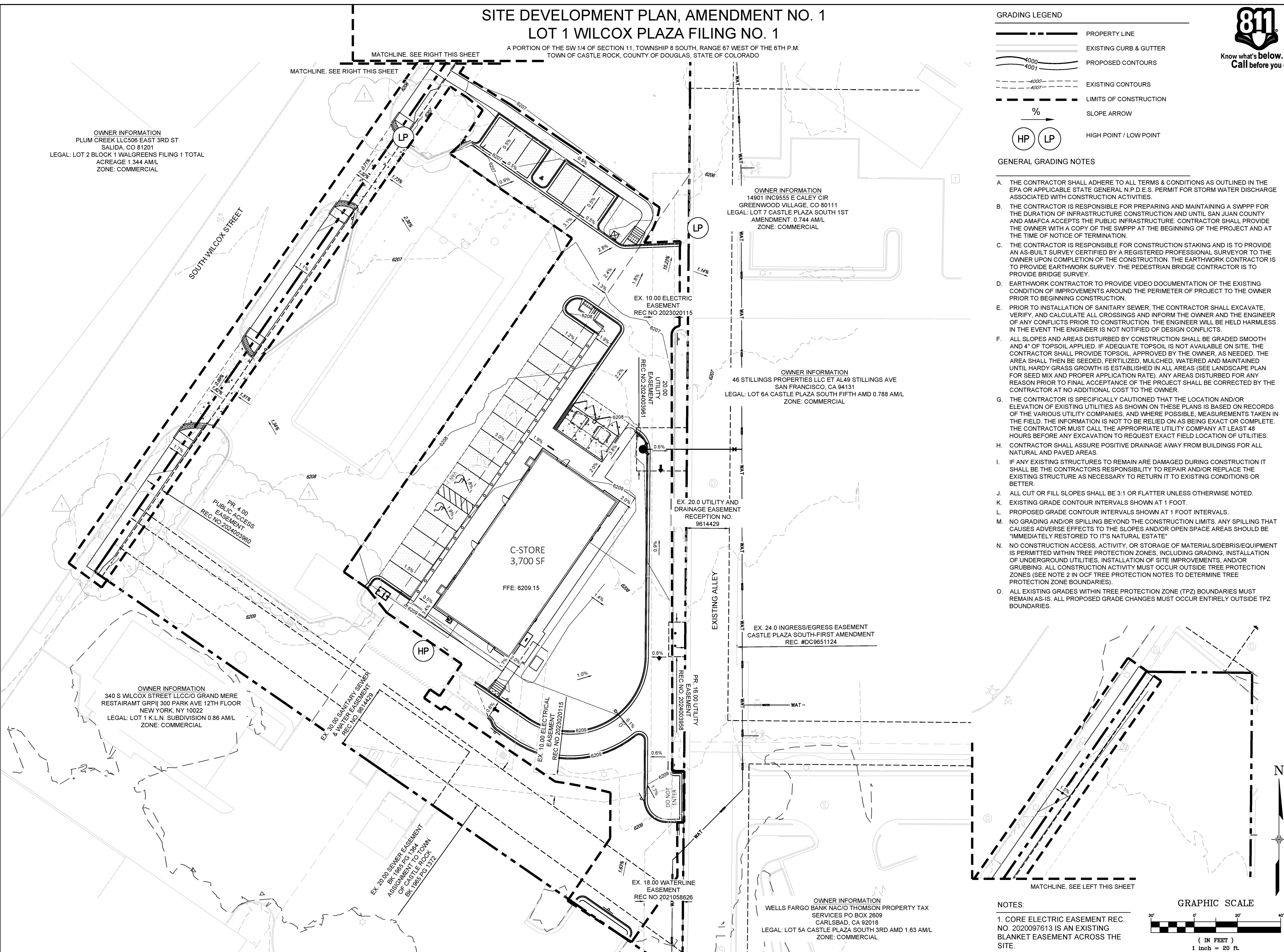
**OWNER INFORMATION**  
46 STILLINGS PROPERTIES LLC ET AL 49 STILLINGS AVE  
SAN FRANCISCO, CA 94131  
LEGAL: LOT 6A CASTLE PLAZA SOUTH FIFTH AMD 0.788 AM/L  
ZONE: COMMERCIAL

**OWNER INFORMATION**  
340 S WILCOX STREET LLC/O GRAND MERE  
RESTAURANT GRPIJ 300 PARK AVE 12TH FLOOR  
NEW YORK, NY 10022  
LEGAL: LOT 1 K.L.N. SUBDIVISION 0.86 AM/L  
ZONE: COMMERCIAL

**EX. 24.0 INGRESS/EGRESS EASEMENT**  
CASTLE PLAZA SOUTH-FIRST AMENDMENT  
REC. #DC9651124

**OWNER INFORMATION**  
WELLS FARGO BANK NAC/O THOMSON PROPERTY TAX  
SERVICES PO BOX 2609  
CARLSBAD, CA 92018  
LEGAL: LOT 5A CASTLE PLAZA SOUTH 3RD AMD 1.63 AM/L  
ZONE: COMMERCIAL

FILE LOCATION: S:\CIRCLE K\WILCOX (CASTLE ROCK)\100 DWG\104 PLAN SETS\DEVELOPMENT PLAN\GR01.DWG



**NOTES:**

1. CORE ELECTRIC EASEMENT REC. NO. 2020097613 IS AN EXISTING BLANKET EASEMENT ACROSS THE SITE.

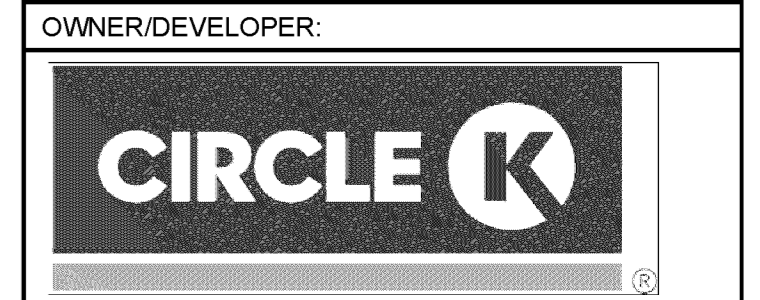
# SITE DEVELOPMENT PLAN, AMENDMENT NO. 1 LOT 1 WILCOX PLAZA FILING NO. 1

A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



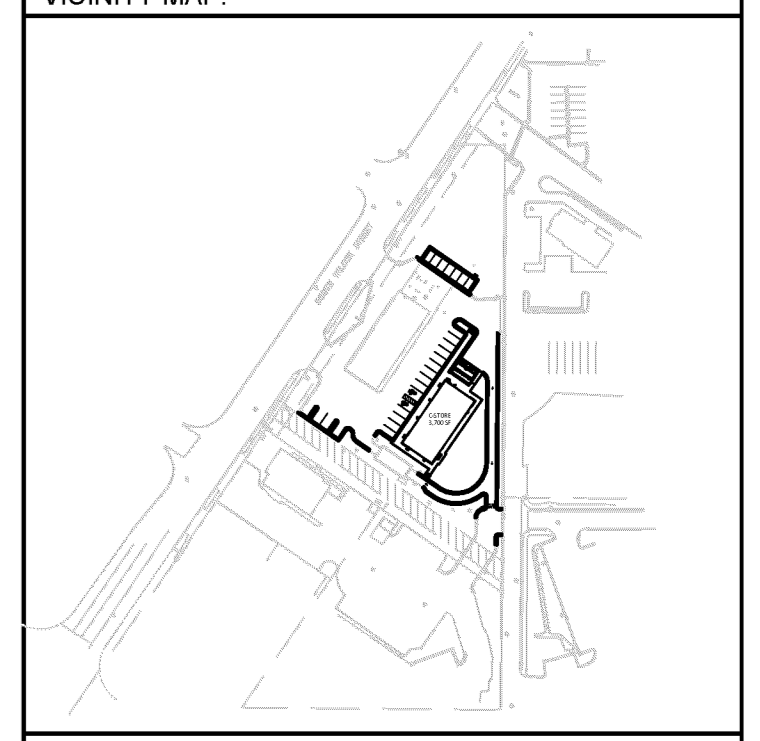
**Matrix**  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246



ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.



PROJECT:  
**CIRCLE K STORES, INC**

SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 1  
WILCOX & PLUM CREEK  
TOWN OF CASTLE ROCK

REVISION HISTORY:			
NO.	DATE	DESCRIPTION	BY
1	04/22/2025	AMENDMENT	EA

DRAWING INFORMATION:  
PROJECT NO: ---  
DRAWN BY: ---  
CHECKED BY: ---  
DESIGNED BY: ---  
SHEET TITLE:

## UTILITY PLAN

SHEET 7 OF 13  
UT01

ISSUE DATE: MAY 2025

### SITE LEGEND

- PROPERTY BOUNDARY LINE
- SETBACK LINE
- EASEMENT BOUNDARY LINE
- PROPOSED STRIPING
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED BOUNDARY BETWEEN CONCRETE & ASPHALT

### UTILITY NOTES

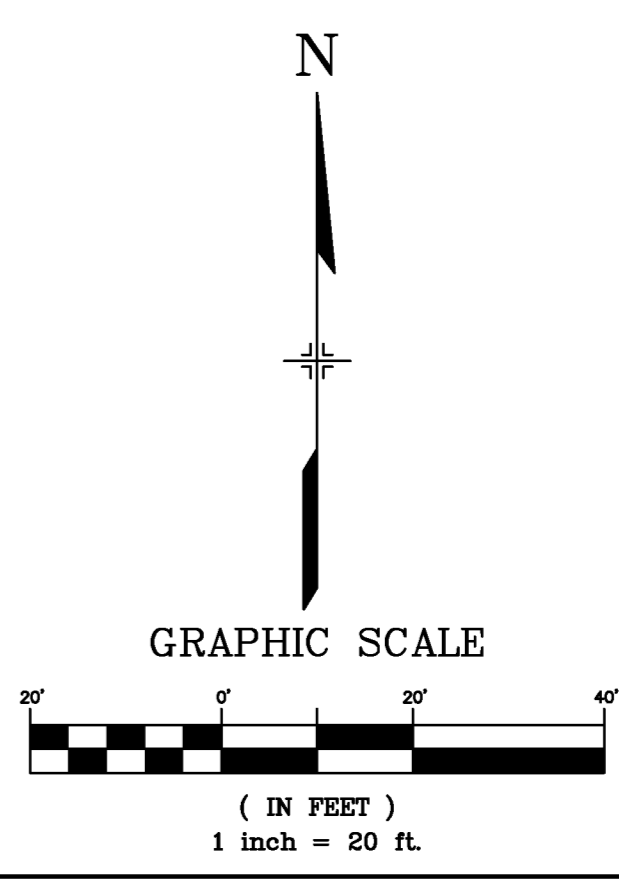
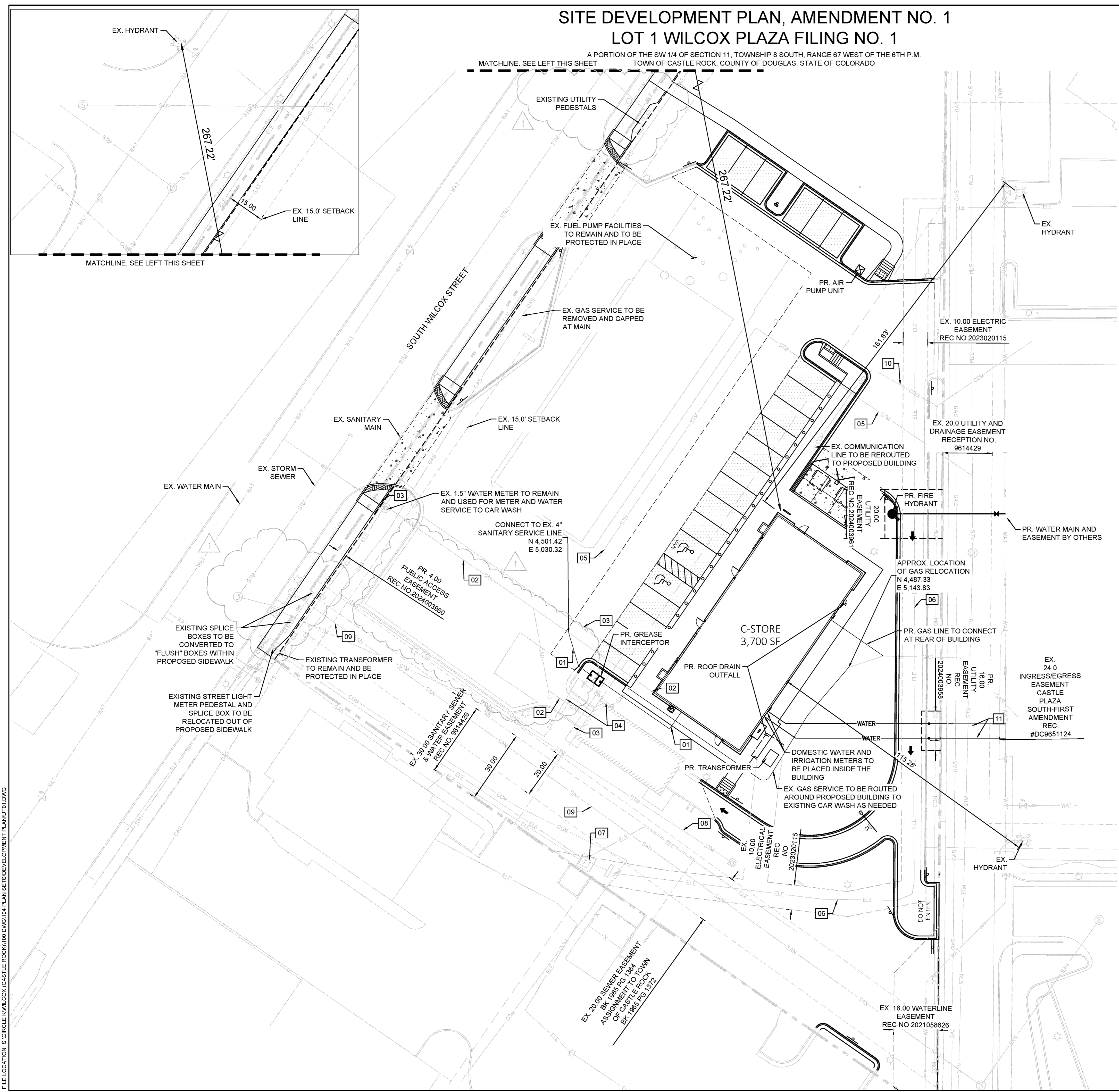
- 01 PROPOSED 4" PVC SANITARY SERVICE
- 02 EXISTING 4" SANITARY SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
- 03 EXISTING 1.5" WATER SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
- 04 EXISTING GAS SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
- 05 EXISTING 6" PVC CANOPY ROOF DRAIN TO REMAIN AND TO BE PROTECTED IN PLACE
- 06 EXISTING ELECTRIC TO REMAIN AND TO BE PROTECTED IN PLACE
- 07 EXISTING TRANSFORMER TO REMAIN
- 08 EXISTING STORM SEWER TO REMAIN AND TO BE PROTECTED IN PLACE
- 09 EXISTING SANITARY SEWER MAIN TO REMAIN AND TO BE PROTECTED IN PLACE
- 10 EXISTING COMMUNICATION LINE TO REMAIN AND TO BE PROTECTED IN PLACE
- 11 PROPOSED 1.5" TYPE K COPPER DOMESTIC WATER AND IRRIGATION SERVICE LINES

### TOWN OF CASTLE ROCK UTILITY NOTES

1. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.
2. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
3. ALL UTILITY EASEMENTS FOR WATER AND WASTEWATER LINES SHALL BE FOR THE EXCLUSIVE USE OF THE TOWN SO THAT ACCESS AND MAINTENANCE MAY BE PERFORMED.
4. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
5. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
6. ANY TIE-IN, CROSSING OVER OR LOWERING OF TOWN CRITICAL INFRASTRUCTURE WILL REQUIRE A TIME AND MATERIALS PERMIT (TMU) WITH FEES REQUIRED PRIOR TO CONSTRUCTION.

### UTILITY NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZING OF EXISTING UTILITY INFRASTRUCTURE PRIOR TO COMMENCING CONSTRUCTION. IF INFRASTRUCTURE SIZING DIFFERS FROM WHAT HAS BEEN SHOWN IN THESE PLANS CONTRACTOR SHALL CONTACT ENGINEER OF RECORD IMMEDIATELY.
2. SITE'S GREASE INTERCEPTOR SHALL BE IN ACCORDANCE WITH THE PLUM CREEK WATER RECLAMATION AUTHORITY CODE OF RULES AND REGULATIONS.
3. CORE ELECTRIC EASEMENT REC. NO. 2020097613 IS AN EXISTING BLANKET EASEMENT ACROSS THE SITE.



FILE LOCATION: S:\CIRCLE K\WILCOX (CASTLE ROCK)\100 DWG\104 PLAN SET\DEVELOPMENT PLAN\UT01.DWG

# SITE DEVELOPMENT PLAN, AMENDMENT NO. 1 LOT 1 WILCOX PLAZA FILING NO. 1

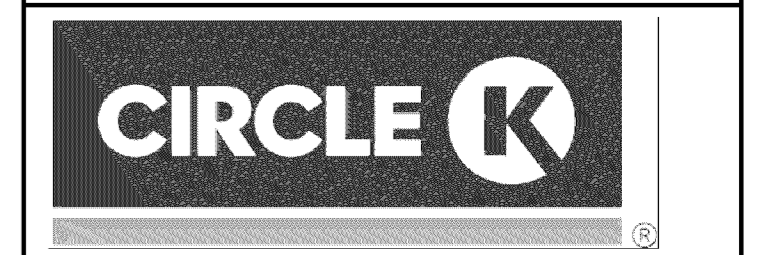
A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**Matrix**  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:

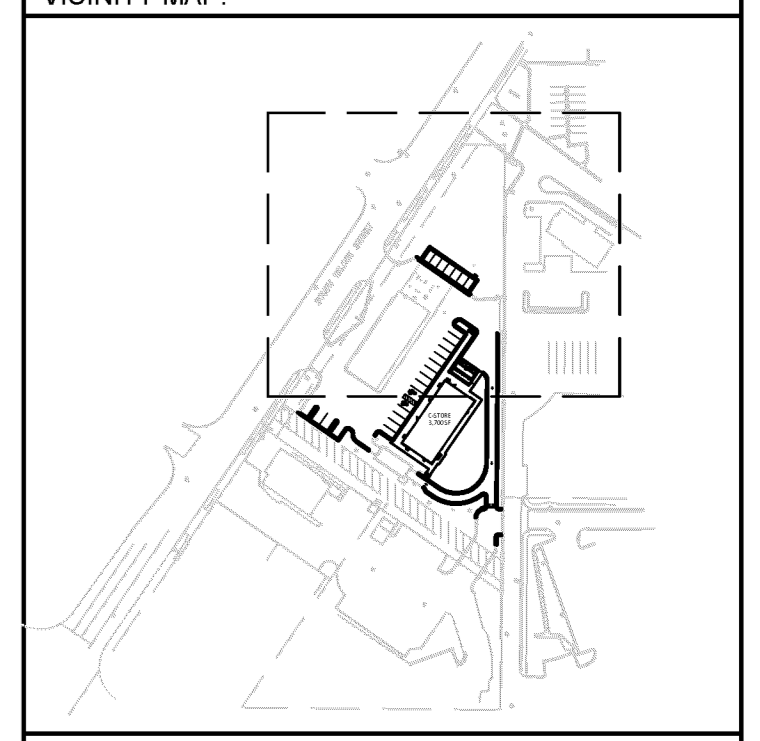


ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

VICINITY MAP:



PROJECT:  
**CIRCLE K STORES, INC**

SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 1  
WILCOX & PLUM CREEK  
TOWN OF CASTLE ROCK

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
1	04/22/2025	AMENDMENT	EA

DRAWING INFORMATION:

PROJECT NO: ---  
DRAWN BY: AP  
CHECKED BY: JA  
DESIGNED BY: AP

SHEET TITLE:

## LANDSCAPE PLAN

SHEET 8 OF 13  
LS01

ISSUE DATE: MAY 2025

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1  
LOT 1 WILCOX PLAZA FILING NO. 1  
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0009

LEGEND	REQUIREMENTS	PROVIDED
	EXISTING DECIDUOUS TREE TO REMAIN	8
	EXISTING EVERGREEN TREE TO REMAIN	8
	EXISTING SHRUB TO REMAIN MAX GROWTH HEIGHT 24"	13
	NATIVE SEED-LOW* MIX NAME: CASTLE ROCK REC LOW GROW MIX PER SEED MIX SCHEDULE OR APPROVED EQUAL	27,294 SF
	3/4" ROCK - PROPOSED TYPE: TO MATCH EXISTING. DEPTH: 4" MIN OR APPROVED EQUAL	4,611 SF
	3/4" ROCK - EXISTING TO REMAIN	4,697 SF
	STEEL EDGING	

LANDSCAPE REQUIREMENTS			
<b>SITE DATA:</b>			
AREA OF PARCEL:	74,082 SF		
PARKING AREA:	4,890 SF		
PARKING ISLANDS:	0		
WILCOX FRONTAGE: 320'			
<b>LANDSCAPE AREA</b>		REQ.	PROV.
LANDSCAPE AREA (10% SITE AREA)		7,408 SF	33,789 SF
PARKING LANDSCAPE AREA (10% OF PARKING)		489 SF	489 SF
<b>REQUIRED TREES</b>			
	DENOTED ON PLAN	REQ.	PROV.
WILCOX STREET (1 PER 22 FT)	WS	15	15 (EXISTING)
INTERNAL (1 PER 1000SF)	IN	N/A	2 (1 EXISTING)
PARKING LS AREA (2 PER 1000 SF)	PA	2	2
TOTAL TREES		17	17
<b>REQUIRED SHRUBS</b>			
		REQ.	PROV.
WILCOX STREET (5 PER TREE)		75	75 (13 EXISTING)
INTERNAL (4 PER 1000 SF)		N/A	0
PARKING LS AREA (4 PER 1000 SF)		4	4
TOTAL SHRUBS		79	79

\*EXISTING SOD IS TO BE REMOVED AND AREA SEEDED WITH MIX AS INDICATED.

STATE OF COLORADO LICENSE LANDSCAPE ARCHITECT: FOGG, TERESA # LA-203  
COMMERCIAL LANDSCAPE SITE INVENTORY

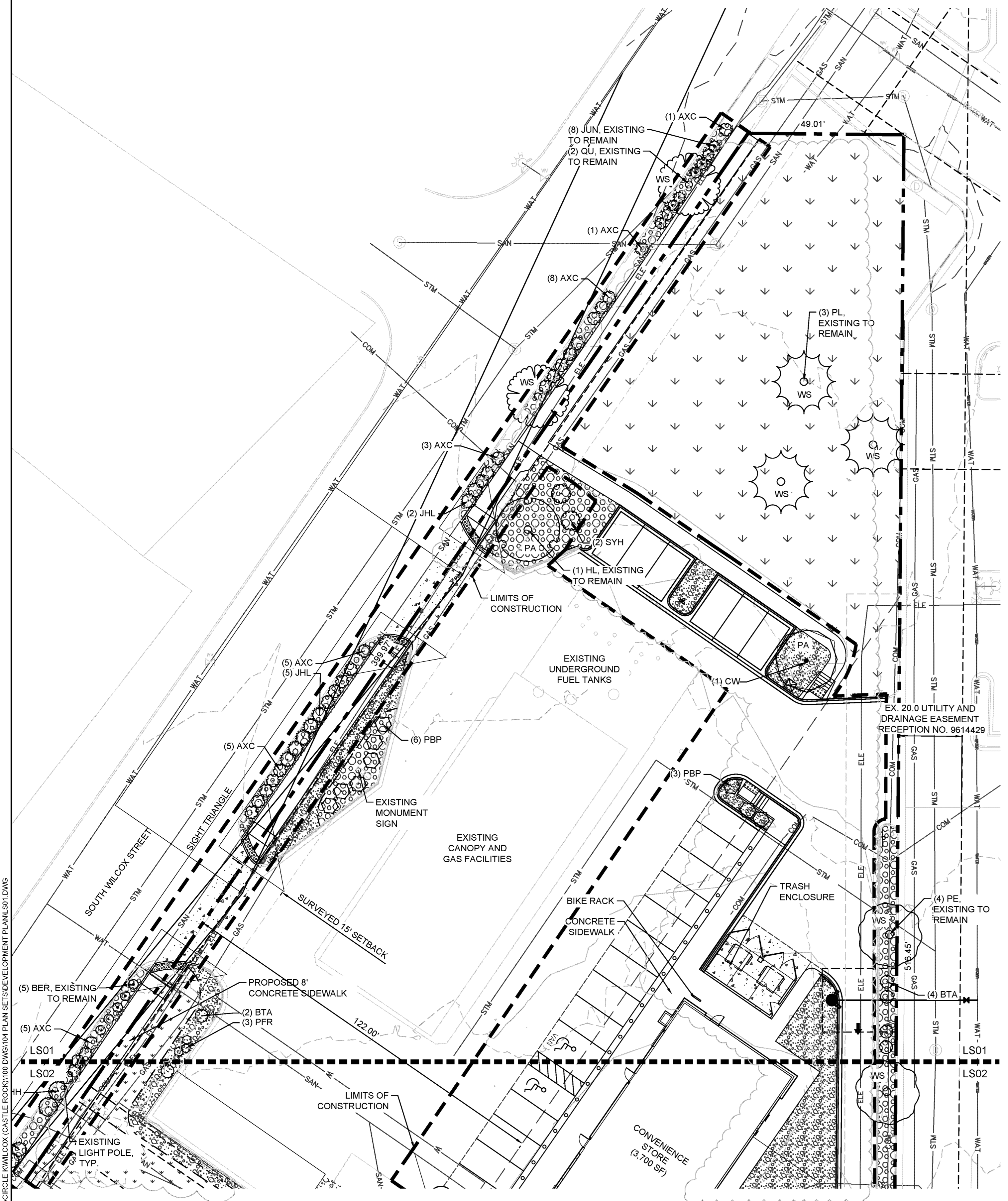
Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
74,082 SF	REQUIRED (N/A) PROVIDED 33,000+ SF	NONE	(N/A)	(N/A)	17 DENOTED ON PLAN: IN	(N/A)	79	4	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Parking Lot Area in Sq.Ft.	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscaped Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
4,890 SF	489 SF	26 (4 OF WHICH ARE VACUUM SPACES)	324 SF	0	N/A	2	2 DENOTED ON PLAN: PA	4	4

CLWUR (COMPOSITE LANDSCAPE WATER USE RATING) SDP22-0020

Irrigation Spray or Drip?	Plant Name (Common)	Appl. Rate (inches/month)	Zone (VL, L, Mod, HW)	% of Total Area	IA Irrigated area (in sq. ft. for each zone)	LWUR Landscape Water Use Rating	TA Total Area of all Irrigated Landscape Zones	CLWUR (LWUR x IA) /TA
Spray	Low Grow Native Seed	1"	VL	78%	27315	2	30190	1.809539583
Drip	Shrub Bed	2"	VL	50%	2875	2	30190	0.190460417
<b>Total of the CLWUR</b>								<b>2</b>

LANDSCAPE ARCHITECT CERTIFICATION  
I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable Town of Castle Rock, and State of Colorado standards and statutes, respectively, and that I am fully responsible for all design and revisions relative to said plans.

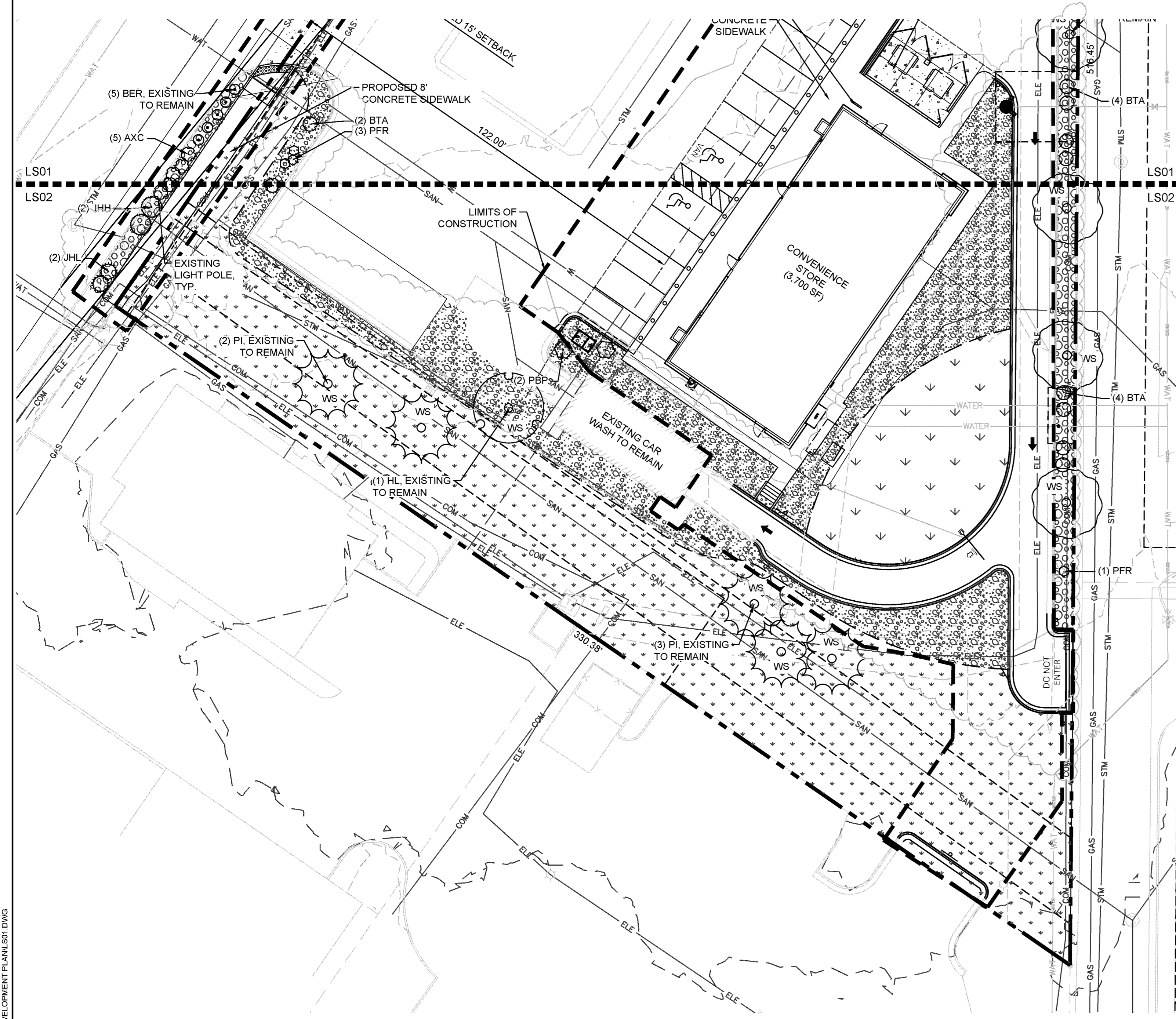
(Landscape Architect signature and seal here)



FILE LOCATION: S:\CIRCLE K\WILCOX\CASTLE ROCK\104\DWG\104\_Plan\SiteDevelopment\PLAN\SD1.DWG

# SITE DEVELOPMENT PLAN, AMENDMENT NO. 1 LOT 1 WILCOX PLAZA FILING NO. 1

A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



### LEGEND

- EXISTING DECIDUOUS TREE TO REMAIN 8
- EXISTING EVERGREEN TREE TO REMAIN 8
- EXISTING SHRUB TO REMAIN MAX GROWTH HEIGHT 24" 13
- NATIVE SEED-LOW\* MIX NAME: CASTLE ROCK REC LOW GROW MIX PER SEED MIX SCHEDULE OR APPROVED EQUAL 27,294 SF
- 3/4" ROCK - PROPOSED TYPE: TO MATCH EXISTING, DEPTH: 4" MIN OR APPROVED EQUAL 4,611 SF
- 3/4" ROCK - EXISTING TO REMAIN 4,697 SF
- STEEL EDGING

\*EXISTING SOD IS TO BE REMOVED AND AREA SEED BY MIX AS INDICATED.



CONSULTANTS:

**Matrix**  
2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**D LAND DEVELOPMENT CONSULTANTS, LLC**  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:  
**CIRCLE K**

ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

SEAL

### SEED MIX SCHEDULE

MIX NAME	SUPPLIER	SPECIES	APPLICATION RATE	APPLICATION METHOD	WATER USE
CASTLE ROCK RECOMMENDED LOW GROW MIX	--	30% ECHRAIM CRESTED WHEATGRASS 25% DWARF PERENNIAL RYEGRASS 20% SR3200 BLUE FESCUE 15% REUBENS CANADA BLUEGRASS 10% CHEWINGS FESCUE	PER SUPPLIER RECOMMENDATION	BROADCAST	VERY LOW

### PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.	WATER REQ.	WATER USE
	CW	1	CRATAEGUS PHAENOPYRUM WASHINGTON HAWTHORN	1.5" CAL.	B&B	20'	20'	10-15"	LOW

### DECIDUOUS SHRUBS

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.	WATER REQ.	WATER USE
	BTA	10	BERBERIS THUNBERGII 'ATROPURPUREA' RED LEAF JAPANESE BARBERRY	#5 CONT.	CONT.	4'	4'	10-15"	LOW
	PFR	4	POTENTILLA FRUTICOSA 'RED SUNSET' RED SUNSET BUSH CINQUEFOIL	#3 CONT.	CONT.	3'	3'	10-15"	LOW
	PBP	11	PRUNUS BESSEYI 'PAWNEE BUTTES' PAWNEE BUTTES SAND CHERRY	#5 CONT.	CONT.	2'	5'	10-15"	LOW
	SYH	2	SYMPHORICARPOS X CHENAULTII 'HANCOCK' HANCOCK CHENAULT CORALBERRY	#5 CONT.	CONT.	2'	6'	10-15"	LOW

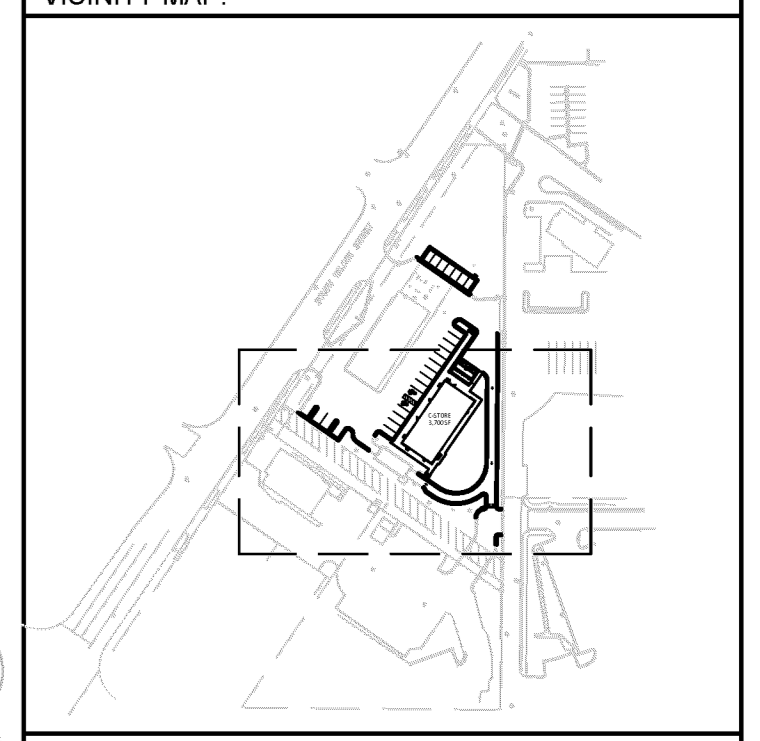
### EVERGREEN SHRUBS

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.	WATER REQ.	WATER USE
	AXC	28	ARCTOSTAPHYLOS X COLORADOENSIS PANCHITO MANZANITA	#1 CONT.	CONT.	1'	4'	10-15"	LOW
	JHH	2	JUNIPERUS HORIZONTALIS 'HUGHES' HUGHES CREEPING JUNIPER	#5 CONT.	CONT.	1.5'	6'	10-15"	LOW
	JHL	9	JUNIPERUS HORIZONTALIS 'LIMEGLOW' LIMEGLOW CREEPING JUNIPER	#5 CONT.	CONT.	1'	5'	10-15"	LOW

### DIVERSITY

DECIDUOUS TREES	4/17	24%
DECIDUOUS SHRUBS	11/32	34%
EVERGREEN TREES	5/8	63%
EVERGREEN SHRUBS	28/47	60%

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.



PROJECT:  
**CIRCLE K STORES, INC**

SITE DEVELOPMENT PLAN,  
AMENDMENT NO. 1  
WILCOX & PLUM CREEK  
TOWN OF CASTLE ROCK

### REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
1	04/22/2025	AMENDMENT	EA

DRAWING INFORMATION:  
PROJECT NO: ---  
DRAWN BY: AP  
CHECKED BY: JA  
DESIGNED BY: AP

## LANDSCAPE PLAN

SHEET 9 OF 13  
LS02

ISSUE DATE: MAY 2025

LANDSCAPE ARCHITECT CERTIFICATION  
I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable Town of Castle Rock and State of Colorado standards and statutes, respectively, and that I am fully responsible for all design and revisions relative to said plans.

*(Landscape Architect signature and seal here)* Date

FILE LOCATION: S:\CIRCLE KWILCOX (CASTLE ROCK)\100 DWG\104 PLAN SET\DEVELOPMENT PLAN\LS01.DWG

# SITE DEVELOPMENT PLAN, AMENDMENT NO. 1 LOT 1 WILCOX PLAZA FILING NO. 1

A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**CONSULTANTS:**

**Matrix**  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100

**LAND DEVELOPMENT CONSULTANTS, LLC**  
950 S. CHERRY ST., SUITE 512  
DENVER, CO 80246

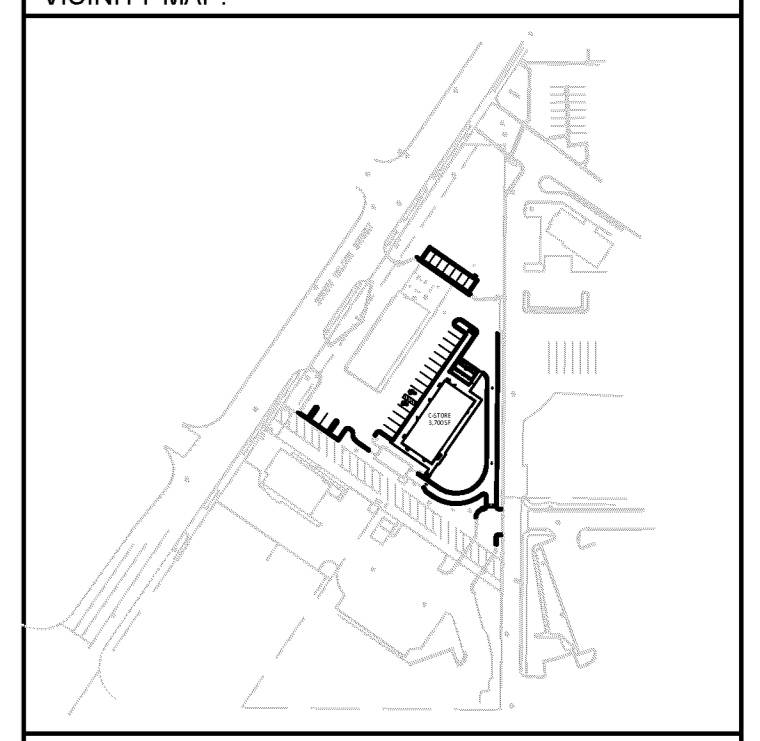
**OWNER/DEVELOPER:**

**CIRCLE K**

ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111  
PHONE: (720) 758-6223

**SEAL**

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.



**PROJECT:**  
CIRCLE K STORES, INC

**SITE DEVELOPMENT PLAN, AMENDMENT NO. 1  
WILCOX & PLUM CREEK  
TOWN OF CASTLE ROCK**

**REVISION HISTORY:**

NO.	DATE	DESCRIPTION	BY
1	04/22/2025	AMENDMENT	EA

**DRAWING INFORMATION:**

PROJECT NO.: ---  
DRAWN BY: AP  
CHECKED BY: JA  
DESIGNED BY: AP

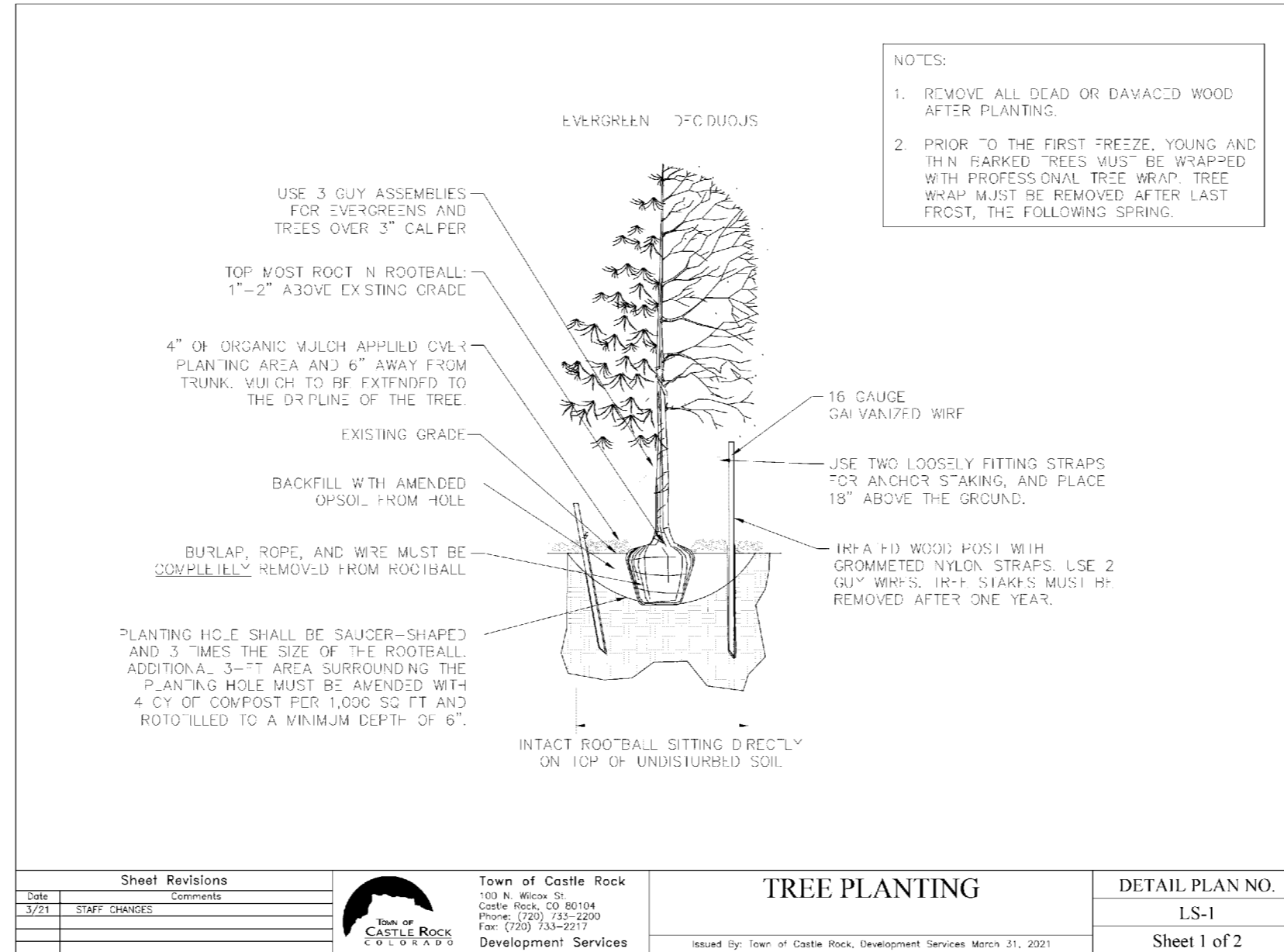
## LANDSCAPE PLAN

SHEET 10 OF 13  
LS03

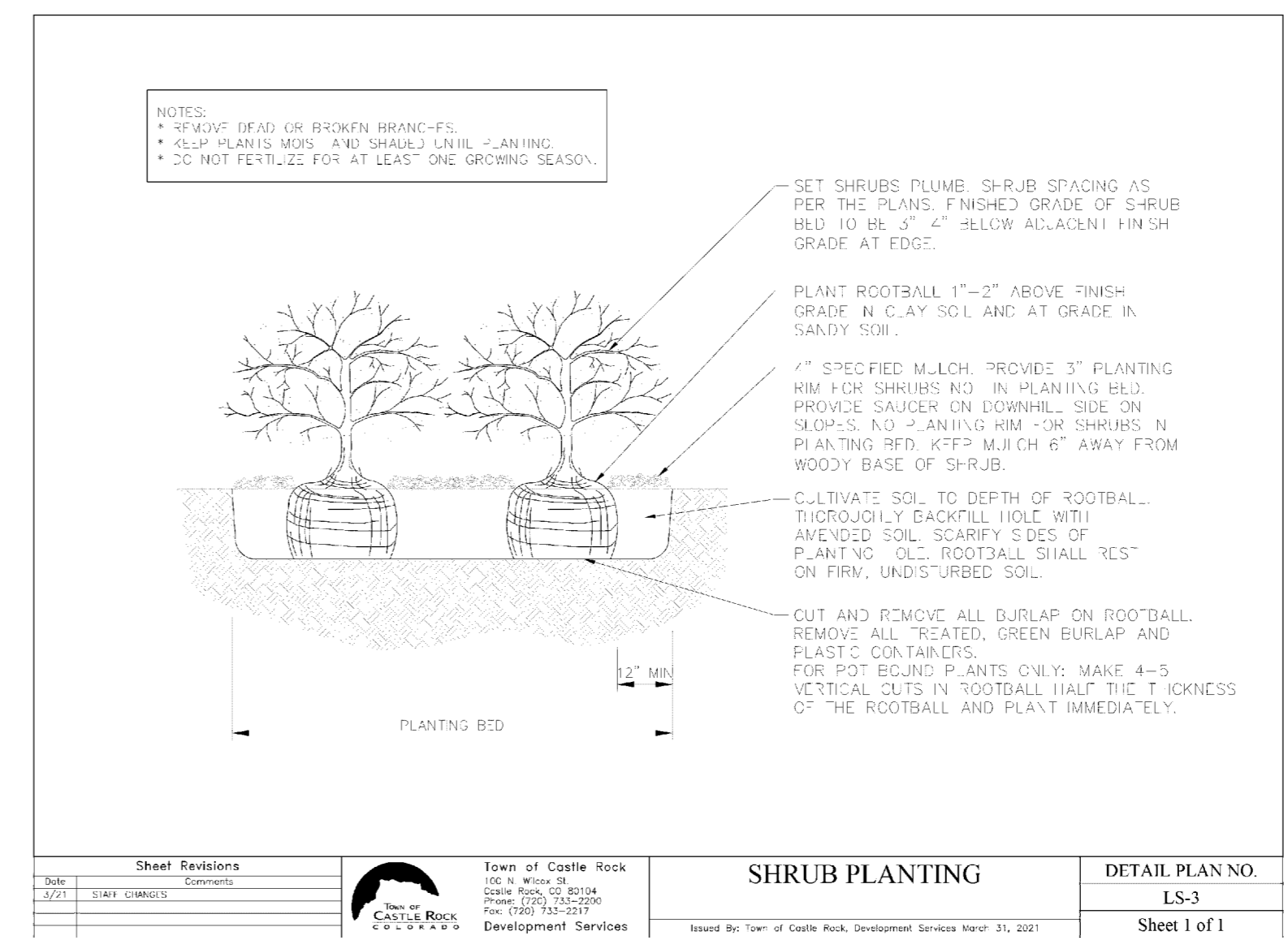
ISSUE DATE: MAY 2025  
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1  
LOT 1 WILCOX PLAZA FILING NO. 1  
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0009

**TOWN OF CASTLE ROCK LANDSCAPE NOTES**

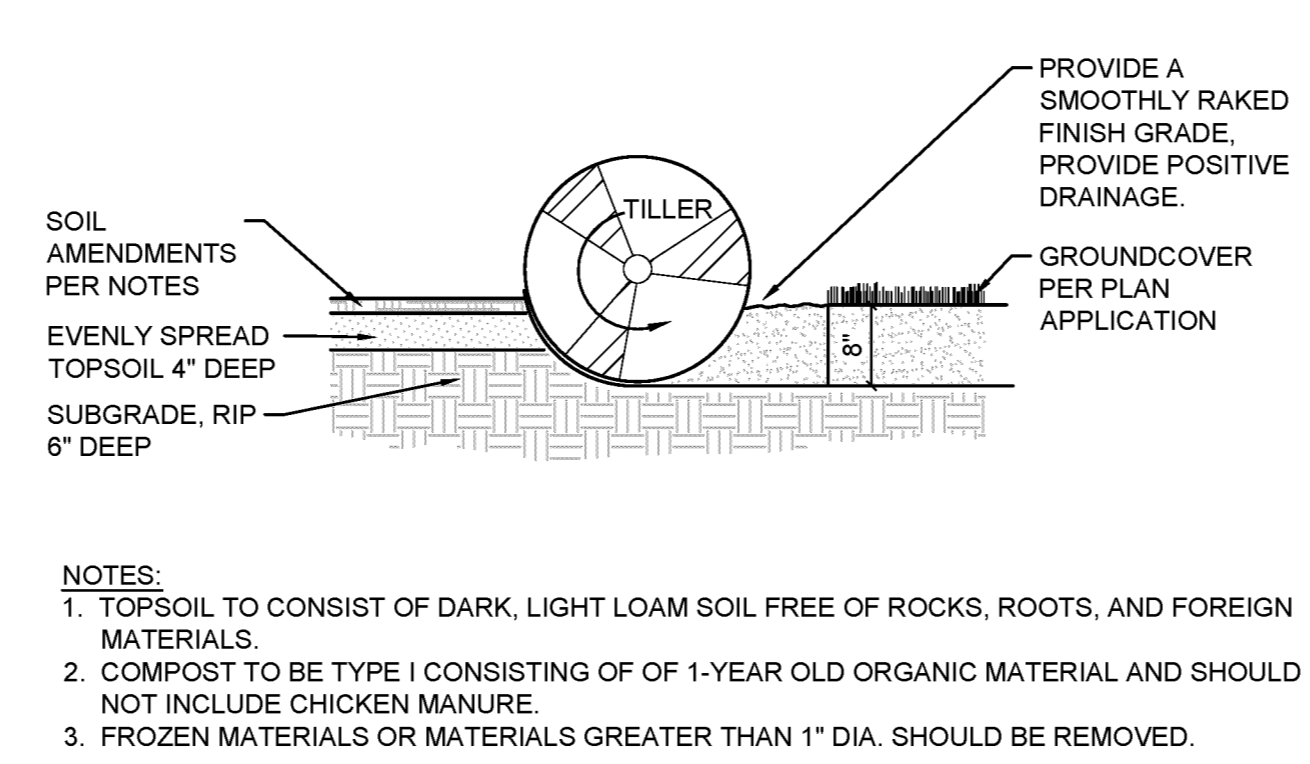
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
- DISTANCES BETWEEN TREE TO WET UTILITY LINES SHOULD BE A MINIMUM OF TEN (10) FEET.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- NONLIVING LANDSCAPE MATERIAL SUCH AS ROCK, STONE, BARK CHIPS, AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY INSTALLED, SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF TWO (2) INCHES FOR ROCK MULCH AND FOUR (4) INCHES FOR WOOD MULCH.
- PLANTS AND VEGETATION UNDER THE TOWN OF CASTLE ROCK'S PLANT LIST SHALL BE IN LINE WITH THE ADOPTED CWPP AND FIRE RESISTIVE VEGETATION FOR THE CASTLE ROCK TO MEET THE LISTED FIRE CODES BY THE TOWN OF CASTLE ROCK.
- AN IRRIGATION PLAN IS REQUIRED WITH THE SUBMITTAL OF THE CONSTRUCTION DOCUMENTS.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.



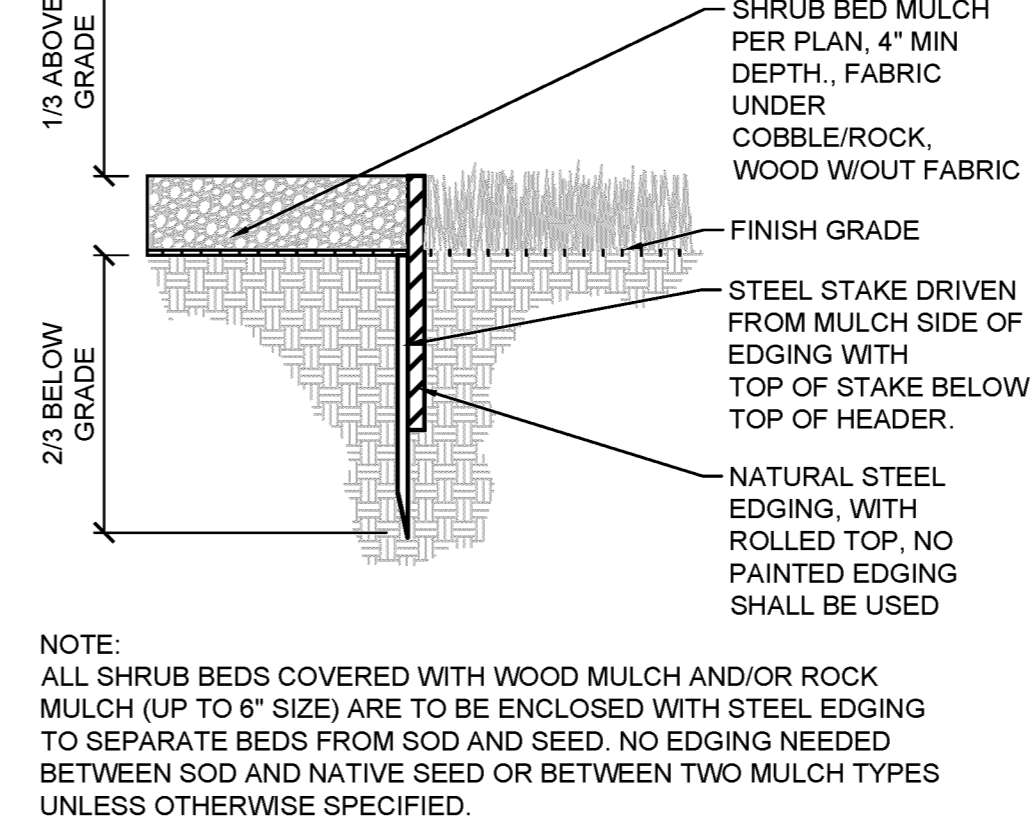
**1 TREE PLANTING**  
NTS  
DETAIL-FILE



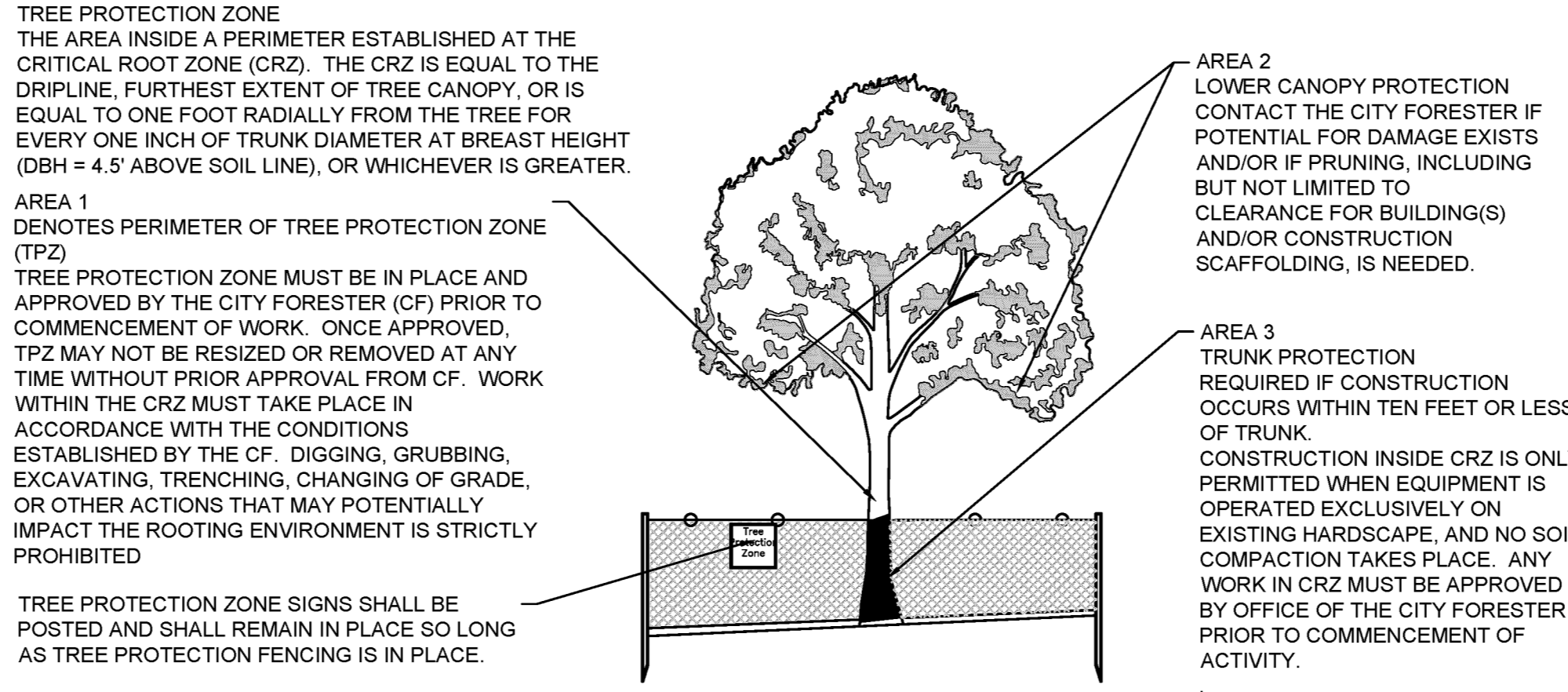
**2 SHRUB PLANTING**  
NTS  
DETAIL-FILE



**3 SOIL PREP FOR ALL AREAS**  
NTS  
MS-STD-LS-05



**4 STEEL EDGING**  
NTS  
DETAIL-FILE



**5 EXISTING TREE PROTECTION**  
NTS  
DETAIL-FILE

FILE LOCATION: S:\CIRCLE K\WILCOX CASTLE ROCK\100 DWG\104 PLAN SET\DEVELOPMENT PLAN\LS01.DWG