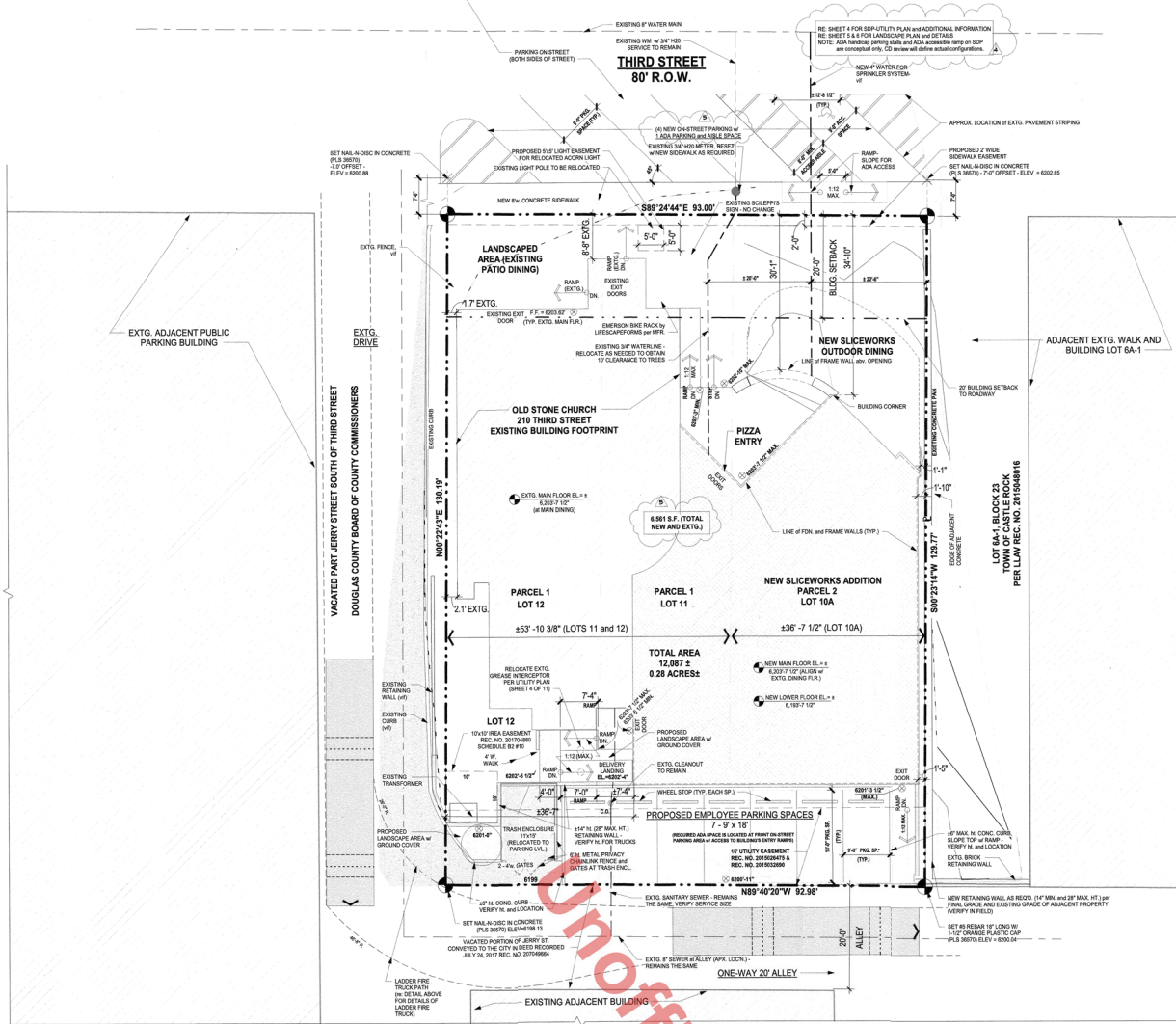


SITE DEVELOPMENT PLAN

LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET x 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044



SITE DEVELOPMENT PLAN - SITE PLAN

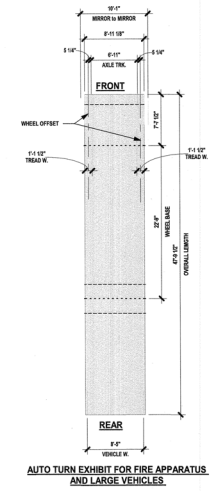


LEGEND	
	EASEMENT
	PROPERTY LINE
	NEW OR UNCHANGED CONTOUR
	EXISTING CONTOUR TO BE RE-GRADED
	NEW STRUCTURE
	EXISTING ROAD
	NEW ROAD

- UTILITY NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO BEGINS OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 18" FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER, SEWER LINES IS 3 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.

NO.	REVISION	DATE	BY
1	RECORDING EASEMENTS IN RECORD COMMENTS	10.22.2022	SS/AR
2	RECORDING EASEMENTS IN RECORD COMMENTS	01.26.2023	SS/AR
3	RESPONSE PER TOWN OF CASTLE ROCK	03.07.2023	SS/AR
4	DEVELOPMENT EASEMENTS IN RECORD COMMENTS	03.27.2023	SS/AR
5	REVIEW BOARD APPROVED FOR CONSTRUCTION	06.12.2023	SS/AR

SITE DEVELOPMENT PLAN
 LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET x 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044



- GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS OF CITY OF CASTLE ROCK & DOUGLAS COUNTY.
 2. CONTRACTOR SHALL SUBMIT TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND NOTIFY THE ENGINEER AND DEVELOPER OF ANY DISCREPANCIES.
 3. ALL SIGN SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF CASTLE ROCK MUNICIPAL CODE TITLE 18 SIGN CODE REGULATIONS.
 4. IN EVERY CIVIL CONSULT THE ENGINEER'S DRAWINGS FOR ALL DETAILS OF EXISTING AND PROPOSED SANITARY SERVICE, EXISTING OR NEW GREASE INTERCEPTOR, WHATEVER IMPROVEMENTS, UPGRADES, SERVICES, ETC. HOW THE ADDITION IS SERVED BY TOWN WATER AND WASTEWATER SYSTEMS, EXISTING WATER METER/F.A. SIZE AND ANY SERVICE LINE UP SIZING.
- ZONING & LAND USE:**
 CURRENT ZONING (LAND USE) - OODB (BUSINESS / COMMERCIAL)
 (DOWNTOWN OVERLAY) USE: RESTAURANT
 PROPOSED USE: NO CHANGE
- BENCHMARK STATION AND BASIS OF BEARING STATEMENT:**
 DGM - 4020919
 ELEVATION = 4,826.21 (NAVD83)



SITE DEVELOPMENT PLAN
 SITE PLAN
 NO. SDP22-0044

DATE: 10.22.2022
 JOB NO.:
 DRAWN BY: SS/AR
 APPROVED:

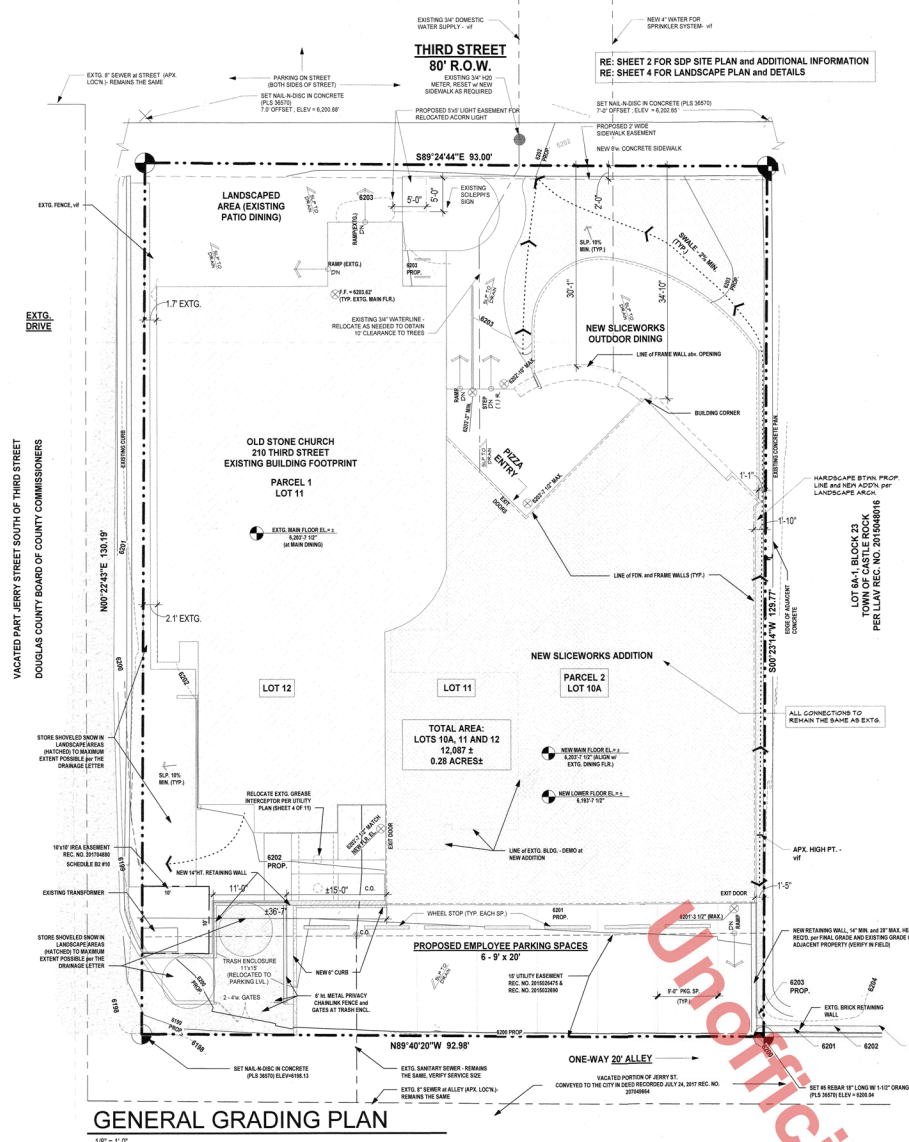
SHEET
 10
 2 of 11

Official Copy

SITE DEVELOPMENT PLAN

LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET x 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

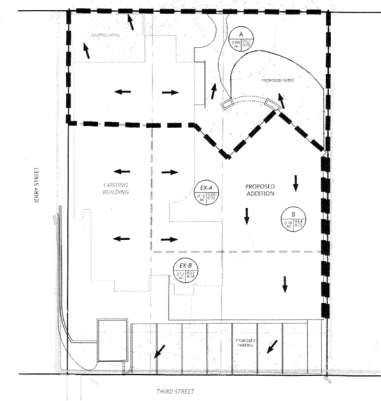


GENERAL GRADING PLAN

1/8" = 1'-0"

Unofficial Copy

RE: SHEET 2 FOR SDP SITE PLAN and ADDITIONAL INFORMATION
RE: SHEET 4 FOR LANDSCAPE PLAN and DETAILS



DRAINAGE PLAN

LEGEND:

	PRIORITY LINE
	PROPOSED BUILDING
	EXISTING BUILDING
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED BASIN BOUNDARY
	HISTORICAL BASIN BOUNDARY
	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING 1' CONTOUR
	PROPOSED STORM LINE W/ F.S.
	EXISTING STORM LINE W/ F.S.
	PROPOSED SAWFULT
	PROPOSED STORM INLET
	EXISTING STORM INLET
	FLOW DIRECTION
	OVERFLOW PATH
	PROPOSED SPOT GRADE
	EXISTING SPOT GRADE
	SLOPE AND DIRECTION
	HIGH POINT
	LOW POINT
	GRADE BREAK
	BASIN ID
	BASIN IDENTIFICATION TAG
	1:1% MINIMUM COEFFICIENT
	10% MINIMUM COEFFICIENT



DATE: 6/9/2022
SCALE: 1"=20'
REF. NO.: 22042

NO.	REVISION	DATE	BY
1	ISSUE FOR TOWN OF CASTLE ROCK DEVELOPMENT SERVICES AND COMMENTS	10.22.2022	TPP
2	REVISIONS FOR TOWN OF CASTLE ROCK DEVELOPMENT SERVICES AND COMMENTS	01.20.2023	TPP
3	REVISIONS FOR TOWN OF CASTLE ROCK DEVELOPMENT SERVICES AND COMMENTS	03.05.2023	TPP
4	REVISIONS FOR TOWN OF CASTLE ROCK DEVELOPMENT SERVICES AND COMMENTS	03.27.2023	TPP
5	REVISIONS FOR TOWN OF CASTLE ROCK DEVELOPMENT SERVICES AND COMMENTS	06.02.2023	TPP

SITE DEVELOPMENT PLAN
LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET X 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044



GENERAL GRADING PLAN AND DRAINAGE PLAN

SITE DEVELOPMENT PLAN
NO. SDP22-0044



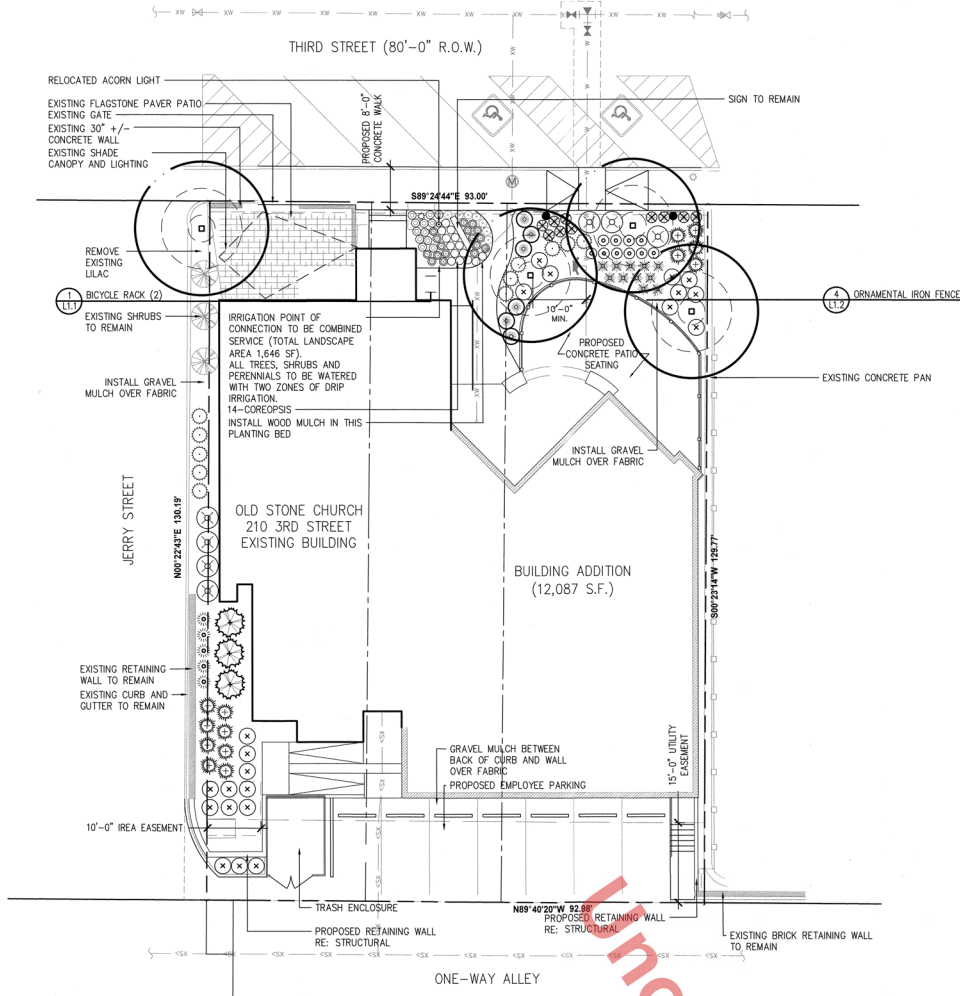
DATE: 03.05.2023
JOB NO.:
DRAWN BY: TKP / PE
APPROVED:

SITE DEVELOPMENT PLAN
LOTS 11 AND 12, BLOCK 23, TOGETHER WITH A PORTION OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK
TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

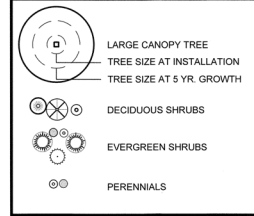
SITE DEVELOPMENT PLAN

LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET x 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

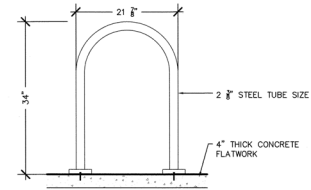


LEGEND



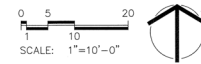
TOWN OF CASTLE ROCK SITE CATEGORY CALCULATIONS

DO/DOWNTOWN OVERLAY DISTRICT REQUIREMENTS	
LANDSCAPE FRONTAGE	
STREET NAME	LINEAR FOOTAGE
Third Street	93'
LARGE CANOPY TREES (1/22 LF)	
REQUIRED/PROVIDED	SHRUBS REQUIRED/PROVIDED
4/4	20/49



- NOTES:
- BIKE RACK INVERTED "U" (MADRAX #J238-P), SURFACE MOUNTED, SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - COORDINATE WITH OWNER ON EXACT LOCATION.
 - COLOR: BLACK

1 BICYCLE RACK SCALE: NTS



Know what's below. Call before you dig or www.811.org

SITE DEVELOPMENT PLAN
 LOTS 11 AND 12, BLOCK 23, TOGETHER WITH A PORTION OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK
 TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

NO.	REVISION	DATE	BY
1	SDP SUBMITTAL	10.22.2022	DHM
2	SDP SUBMITTAL	01.20.2023	DHM
3	SDP SUBMITTAL	03.06.2023	DHM
4	SDP SUBMITTAL	03.31.2023	DHM

SITE DEVELOPMENT PLAN
 LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET x 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

DEVELOPER
 MESA PROPERTIES
 44 INVERNESS DRIVE EAST
 BOULDER, CO 80504
 303.440.8810
 WWW.MESAPROPERTIES.COM

LANDSCAPE PLAN

SITE DEVELOPMENT PLAN
 NO. SDP22-0044

DATE: 03.06.2023
 JOB NO.:
 DRAWN BY: DHM
 APPROVED: DHM
 SHEET 4 of 1

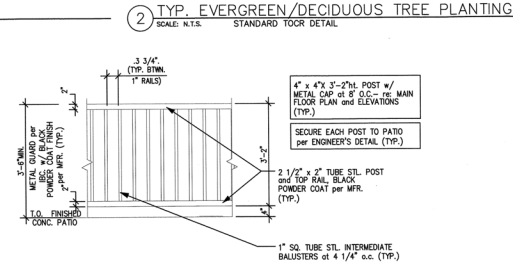
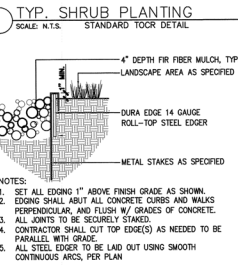
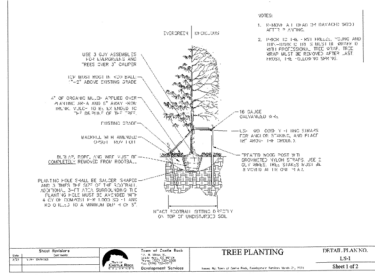
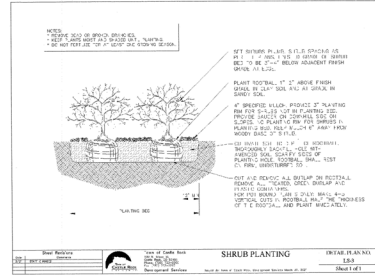
REGISTERED LANDSCAPE ARCHITECT, COLORADO LICENSE #175
 William Neumann, TOCR CERTIFICATION # 8009

Official Copy

SITE DEVELOPMENT PLAN

LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET x 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044



LANDSCAPE NOTES:

- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PESTICIDES, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWING ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE SOONER IN THE EVENT OF CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANTS IN THE TOWN OF CASTLE ROCK.

NOTES:

- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE OWNER. THIS SHALL INCLUDE PROPER PRUNING, WEEDS, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS.

PLANT REPLACEMENT WITHIN	1 YEAR	2-5 YEARS	6+ YEARS
Tree - Deciduous	Increase caliper by 1"	Increase caliper by 1.5"	Increase caliper by 1.5" plus, increase qty by 2 (original size)
Tree - Deciduous	Increase height by 2'	Increase height by 2' plus, increase qty by 1 (original size)	Increase height by 2' plus, increase qty by 2 (original size)
Shrub	Increase qty by 2 (original size)	Increase qty by 4 (original size)	Increase qty by 12 (original size)
- AERATION, TOP DRESSING AND FERTILIZATION TO BE PROVIDED ANNUALLY IN THE SPRING. OWNERS TO PROVIDE MONTHLY MOWING AND WEEDING PERFORMED THROUGH APRIL - OCTOBER. PRUNING TO BE PROVIDED ANNUALLY WHEN TREES AND SHRUBS ARE DORMANT. MAINTENANCE CONTRACTOR TO PROVIDE WINTER WATERING AFTER TWO CONSECUTIVE WEEKS OF ABOVE FREEZING CONDITIONS THROUGHOUT WINTER MONTHS. IRRIGATION SYSTEM MAINTENANCE TO INCLUDE SYSTEM INITIALIZATION, ANNUAL BACKFLOW PREVENTION TESTING, MONTHLY WATER APPLICATION ADJUSTMENTS AND A SCHEDULE OF SYSTEM INSPECTIONS.
- CONTACT THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT AT (720)-733-6045 FOR AN ON-SITE PRECONSTRUCTION MEETING BEFORE BEGINNING INSTALLATION OF THE LANDSCAPING.

TOWN STANDARD NOTES:

- NON-IRRIGATED NATIVE SEED AREAS SHALL BE INSTALLED USING THE TOWN OF CASTLE ROCK GRADING EROSION AND SEDIMENT CONTROL MANUAL (GESC) STANDARD DETAIL #07.
- NO TURF AND/OR OVERHEAD IRRIGATION ON SLOPES 3:1.
- NO SLOPES GREATER THAN 3:1 ARE PERMITTED.
- TOP SOIL, IF DISTURBED SHALL BE STOCK PILED AND REUSED ON THE SITE.
- NO MORE THAN SIXTY PERCENT OF THE TOTAL COMMERCIAL LANDSCAPE AREA SHALL INCLUDE IRRIGATED TURF GRASS.
- NO INDIVIDUAL PLANT MAY HAVE SUPPLEMENTAL WATER DEMAND GREATER THAN 15" PER GROWING SEASON.

PLANT LIST

Registered Professional **Bill Neumann** Registration # 8009
 Company Name **DHM Design Corp.** Address **900 South Broadway, Suite 300, Denver, CO 80202**
 Phone **303.892.5566** Email **lneumann@dhmdesign.com**

Irrigation Zone	Size	No of Plants
DECIDUOUS SHADE TREES		
Low	2-1/2" cal.	4
EVERGREEN SHRUBS		
Very Low/Low	5 gal.	27
DECIDUOUS SHRUBS		
Very Low/Low	5 gal.	54
ORNAMENTAL GRASSES		
Low	1 gal.	16
PERENNIALS/ GROUNDCOVER		
Low	1 gal.	41

Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional **Bill Neumann**
 Town of Castle Rock Registration # **8009** State of Colorado License Landscape Architect # **175**
 Company Name **DHM Design** Address **900 S. Broadway #300, Denver, CO 80202**
 Phone **303.892.5566** Email **lneumann@dhmdesign.com** Date **12-2022**
 PROJECT NAME **Subplot's at the Old Stone Church Addition and Remodel**

Gross Site Area	Landscape Area	Turfgrass Site Species	Nonliving Ornamental	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu yds. @ 1000 SF/FT)	Separate Irrigation Service Connections
12,087 SF	1,646 SF	N/A	120 SF	N/A	N/A	N/A	35	1,900 SF	Yes ___ No <u>X</u>
Parking Lot (Area in Sq Ft)	Parking Lot (Area in Sq Ft)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq Ft)	No. of Interior Landscaped Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
1,162 SF	166 SF	7	72 SF	0	0	0	0	0	6

Irrig. Zone	Plant Name (Common)	App Rate (inches/month)	Zone (V, L, Mod, H, W)	% of Total Area	IA (Irrigated Area in sq. ft. for each Rating)	LWUR (Landscape Water Use Rating)	TA (Total Area of all landscaped Zones)	CLWUR (LWUR x TA)
A1	Kentucky Coffeetree	2"	L	80.6%	997	2.5	1,646	1.51
A2	Common Pygmy Barberry	2"	L	30.4%	649	2.5	1,646	0.99
Total of the CLWUR= 2.56								

SOIL AMENDMENTS:

GROUND PLANE TREATMENT	CLASS II OM AMENDMENT	NITROGEN	PHOSPHORUS	OTHER	FERTILIZER	E.C., SALT OR PH TREATMENT	ROTTILL DEPTH
TREES	4.0 cu yds/1000sf	1.5lb/1000sf (K)	2lb/1000sf (K)	0lb/1000sf (K)	10-10-10 @ 4-6 weeks during growing season	N/A	6"
SHRUBS	4.0 cu yds/1000sf	1.5lb/1000sf (K)	2lb/1000sf (K)	0lb/1000sf (K)	10-10-10 @ 15lb/1000sf	N/A	6"

NOTE: AMENDMENTS ARE TO BE VERIFIED AT THE TIME OF CONSTRUCTION WITH A SOILS TEST. SOILS TEST MUST BE ANALYZED FOR XERIC TREES AND SHRUBS AND RESULTS PROVIDED TO TOWN OF CASTLE ROCK REPRESENTATIVE.



SITE DEVELOPMENT PLAN
 LOTS 11 AND 12, BLOCK 23, TOGETHER WITH A PORTION OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

SITE DEVELOPMENT PLAN
 LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET x 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

NO.	REVISION	DATE	BY
1	SDP SUBMITTAL	10-22-2022	DHM
2	SDP SUBMITTAL	01-20-2023	DHM
3	SDP SUBMITTAL	03-05-2023	DHM
4	SDP SUBMITTAL	10-31-2023	DHM

DEVELOPER: **MESA PROPERTIES**

LANDSCAPE DETAILS

SITE DEVELOPMENT PLAN NO. SDP22-0044

DATE: 03.06.2023
 JOB NO.:
 DRAWN BY: DHM
 APPROVED: DHM

SHEET 5 of 9

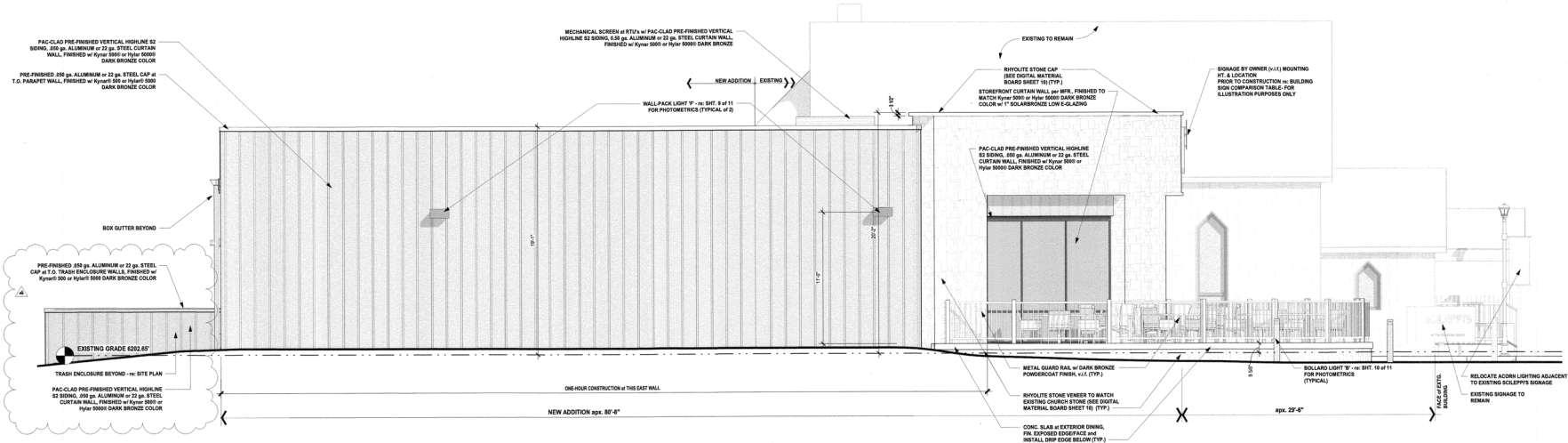
SITE DEVELOPMENT PLAN

LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET x 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044



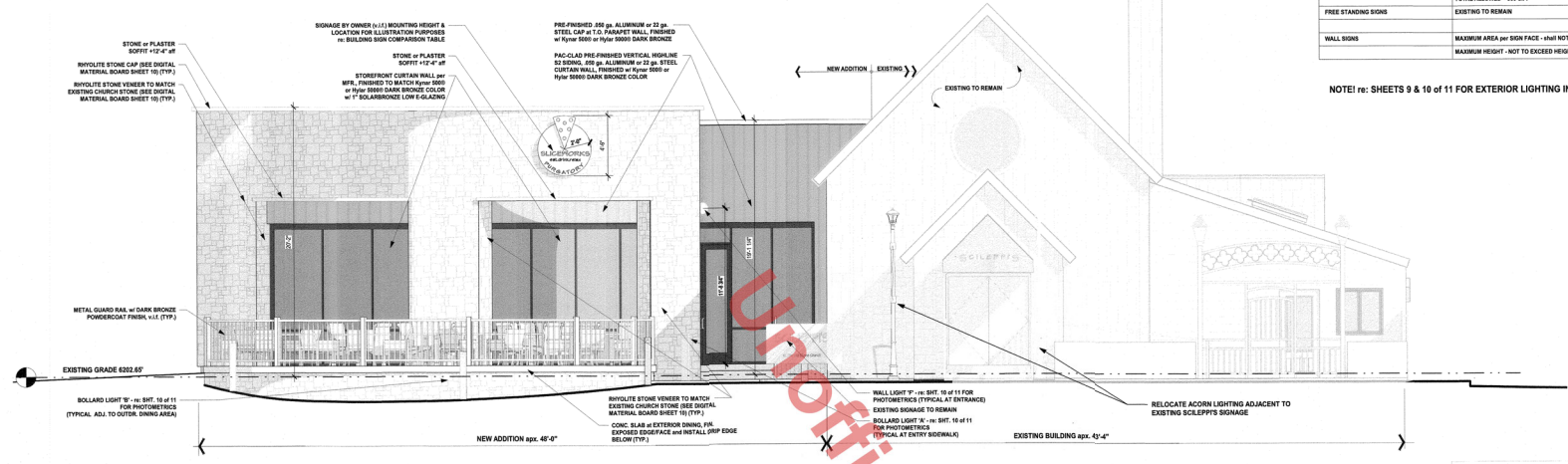
NO.	REVISION	DATE	BY
1	DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK	10.22.2022	SS
2	DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK	01.26.2023	SS
3	DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK	03.02.2023	SS
4	DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK	06.03.2023	SS



EAST ELEVATION - SDP
1/4" = 1'-0"

BUILDING SIGN COMPARISON TABLE	
TOTAL SIGN AREA	FRONTAGE ON THIRD STREET = 81.58 FT.
per CHAPTER 19.8.02.C.3.B	288.115 = 300 S.F.
FREE STANDING SIGNS	TOTAL ALLOWED = 388 S.F.
WALL SIGNS	EXISTING TO REMAIN
	MAXIMUM AREA per SIGN FACE - shall NOT EXCEED 35% OF THE WALL
	MAXIMUM HEIGHT - NOT TO EXCEED HEIGHT OF THE WALL

NOTE! re: SHEETS 9 & 10 of 11 FOR EXTERIOR LIGHTING INFO, AND PHOTOMETRICS



NORTH ELEVATION - SDP
1/4" = 1'-0"

SITE DEVELOPMENT PLAN
LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET x 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

DEVELOPER

CONTRACTOR
MESA
PROFESSIONAL ARCHITECTS
44 BUSINESS DRIVE SUITE 200
FREDERICKS CO. COLORADO 80113
303-964-6582

BUILDING ELEVATIONS

SITE DEVELOPMENT PLAN
NO. SDP22-0044

DATE: 10.22.2022
JOB NO.:
DRAWN BY: SS / AR
APPROVED:

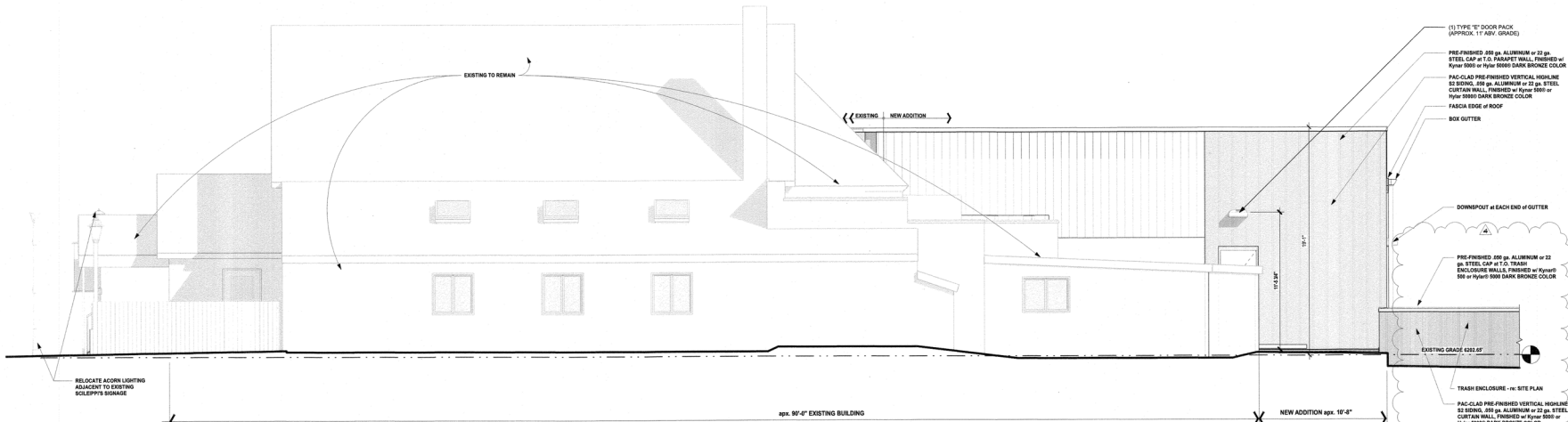
SHEET
8 of 18

Unofficial Copy

SITE DEVELOPMENT PLAN

LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET x 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044



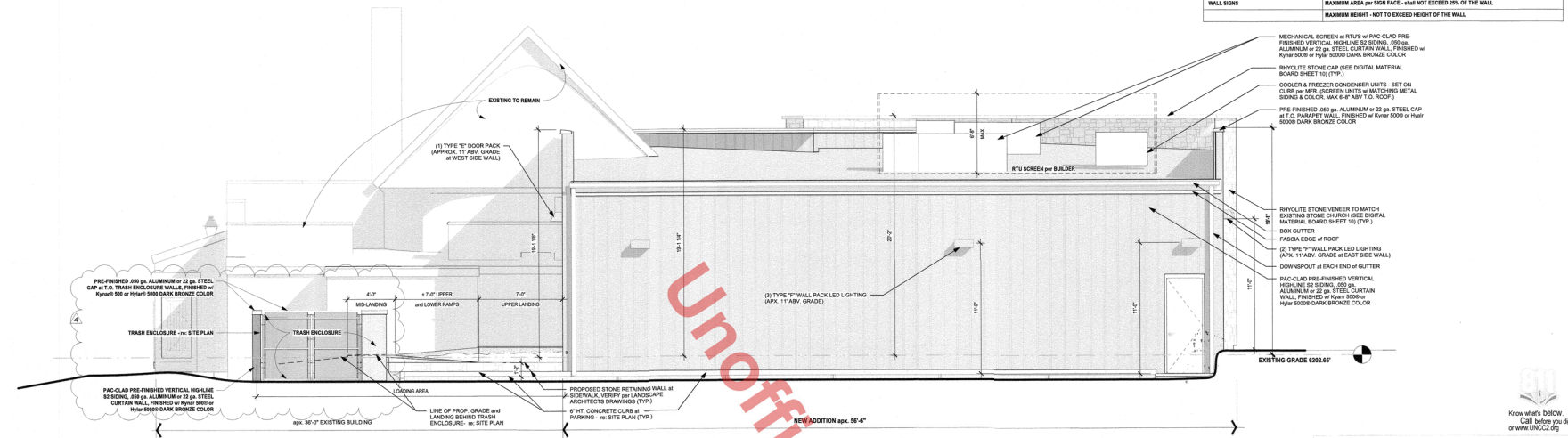
WEST ELEVATION - SPD

1/4" = 1'-0"

BUILDING SIGN COMPARISON TABLE:

NO.	REVISION	DATE	BY
1	DEVELOPMENT FOR TOWN OF CASTLE ROCK	10.22.2022	SS/AR
2	DEVELOPMENT FOR TOWN OF CASTLE ROCK	01.26.2023	SS/AR
3	DEVELOPMENT FOR TOWN OF CASTLE ROCK	06.06.2023	SS/AR
4	DEVELOPMENT FOR TOWN OF CASTLE ROCK	06.06.2023	SS/AR

ITEM	EXISTING	NEW
TOTAL SIGN AREA	FRONTAGE ON THIRD STREET = 90.59 FT.	209 x 1.5 x 360 B.F.
per CHAPTER 19.04.002 C.2.B		TOTAL ALLOWED = 90 B.F.
FREE STANDING SIGNS	EXISTING TO REMAIN	
WALL SIGNS	MAXIMUM AREA per SIGN FACE - shall NOT EXCEED 25% OF THE WALL	
	MAXIMUM HEIGHT - NOT TO EXCEED HEIGHT OF THE WALL	



SOUTH ELEVATION - SDP

1/4" = 1'-0"

Unofficial Copy

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TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

REVISIONS

NO.	REVISION	DATE	BY
1	DEVELOPMENT FOR TOWN OF CASTLE ROCK	10.22.2022	SS/AR
2	DEVELOPMENT FOR TOWN OF CASTLE ROCK	01.26.2023	SS/AR
3	DEVELOPMENT FOR TOWN OF CASTLE ROCK	06.06.2023	SS/AR
4	DEVELOPMENT FOR TOWN OF CASTLE ROCK	06.06.2023	SS/AR

DEVELOPER

CONTRACTOR

MESA
PROFESSIONAL
www.mesapro.com

44 ANDRUSSEN DRIVE EAST
BUILDING 2, SUITE 101
EVANSTON, COLORADO 80120
303.646.0828

BUILDING ELEVATIONS

SITE DEVELOPMENT PLAN
NO. SDP22-0044

DATE: 10.22.2022
JOB NO.:
DRAWN BY: SS / AR
APPROVED:

10.22.2022
10
8 of 11

SITE DEVELOPMENT PLAN

LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET X 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

GENERAL LIGHTING PLAN NOTES:

- RE: CUT SHEETS FOR ADDITIONAL LUMINARY INFO, SHEET #10 OF 11
- LIGHTING OBJECTIVE: PROVIDE SAFETY AND SECURITY FOR THE RESTAURANT'S PATRONS AND EMPLOYEES.
- HOURS OF OPERATION: FROM DUSK TO DAYLIGHT.
- MITIGATION: PROVIDED VIA LIGHTING TYPES (DARK SKY APPROVED) PER CODE.

MINI QTY	MODEL #	LIGHTING STYLE	COLOR	LIGHTING TYPE	LOCATION & HEIGHT	
A	4	BOLLARD	LANDSCAPE BOLLARD w/ COVERS FOR DARK SKY ILLUM. (DARK SKY APPROVED)	BRONZE	LED	SEE PLAN (H2' ABV. GRADE)
B	3	BOLLARD	LANDSCAPE BOLLARD w/ COVERS FOR DARK SKY ILLUM. (DARK SKY APPROVED)	BRONZE	LED	SEE PLAN (H2' ABV. GRADE)
C	2	WALL SCIENCE	WALL SCIENCE w/ EMERGENCY LIGHT	BRONZE	LED	SEE PLAN (H2' AND 11' ABV. GRADE)
D	3	WALL SCIENCE	WALL SCIENCE	BRONZE	LED	SEE PLAN (APPROX. 11' ABV. GRADE)
E	1	WALL SCIENCE	WALL SCIENCE w/ 6" DARK SKY APPD.	BRONZE	LED	SEE PLAN (APPROX. 12' ABV. GRADE)
F	4	WALL SCIENCE	WALL PACK	BRONZE	LED	SEE PLAN (APPROX. 11' ABV. GRADE)

EX-Lite

Cut-Off LED Wall Pack

General Description:
The WPC is a large size Cut-Off style wall pack designed to be dark sky compliant. A wide range of control options are available including On sensor, Photo sensor and Emergency backup.

Construction:
Heavy duty aluminum housing
Clear lens optic
IP65 for wet and damp locations

Mounting:
- Regular 3/4\"/>

Electrical:
- High Power Factor, near 100% UL listed driver with 500,000 hour life
- Minimum inrush current input 1.20-2.77V, 247/180W optional
- 0-10V dimmable optional

Optical:
Clear lens Polycarbonate lens

Controls:
Button style eye photo sensor
Bt level Occupancy sensor
Built-in emergency backup

Warranty:
- 5 years warranty for complete fixture

Listings:
ETL
DLC
RoHS
FCC

Order Info:

Model	Wattage	CCT	Control	Color	Voltage
WPC-3	25W	3000K	Photo sensor	Black	120V
WPC-4	40W	3000K	Photo sensor	Black	120V
WPC-5	60W	3000K	Photo sensor	Black	120V
WPC-6	80W	3000K	Photo sensor	Black	120V
WPC-7	100W	3000K	Photo sensor	Black	120V

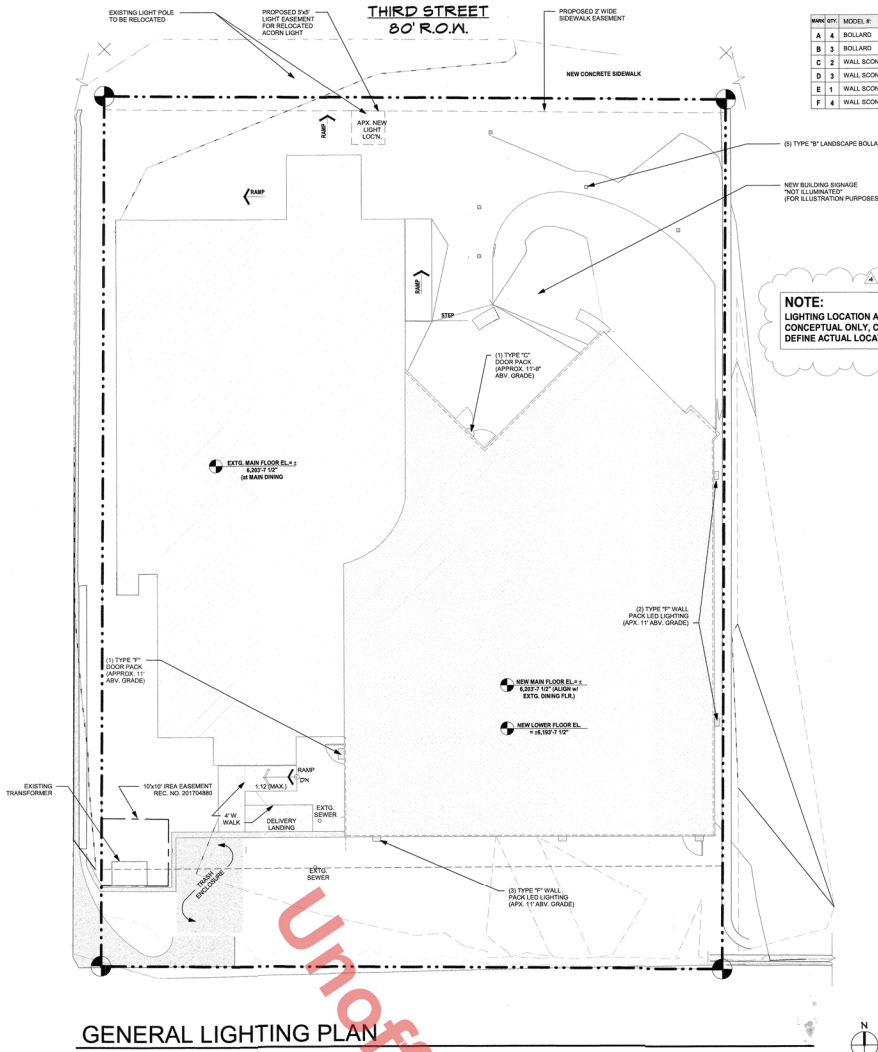
Specs:

Family Model	Wattage	Lumens	lm/W	CCT	CRF
WPC-3	25W	3,200lm	128lm/W	3000K	90+
WPC-4	40W	5,200lm	130lm/W	3000K	90+
WPC-5	60W	7,800lm	130lm/W	3000K	90+
WPC-6	80W	10,400lm	130lm/W	3000K	90+

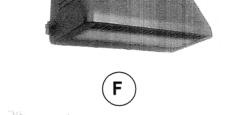
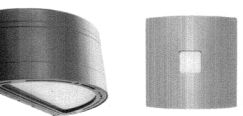
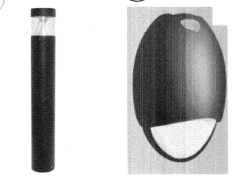
Photometrics:

Lighting Layout:

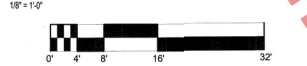
NOTE: re: SHEET #10 OF 11 FOR LIGHT TYPES (A) THROUGH (E)



NOTE:
LIGHTING LOCATION AND TYPE ARE CONCEPTUAL ONLY. CD REVIEW WILL DEFINE ACTUAL LOCATIONS AND TYPES.



GENERAL LIGHTING PLAN



LIGHTING STYLES

SITE DEVELOPMENT PLAN
LOTS 11 AND 12, BLOCK 23, TOGETHER WITH A PORTION OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK
TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

DATE: 10.22.2022
JOB NO.:
DRAWN BY: SS / AR
APPROVED:

SHEET
8 of 11

SITE DEVELOPMENT PLAN

LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET X 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M. QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

CONTRACTOR
MESA
PRECAST
www.mesaprecast.com

44 INVENESS DRIVE EAST
ENGLEWOOD, COLORADO 80110
303.486.4848

GENERAL LIGHTING PLAN

SITE DEVELOPMENT PLAN
NO. SDP22-0044

DATE: 10.22.2022
JOB NO.:
DRAWN BY: SS / AR
APPROVED:

SHEET
8 of 11



SITE DEVELOPMENT PLAN

LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET X 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044



RHYOLITE STONE VENEER & STONE CAP



ALUMINUM STOREFRONT ANODIZED FINISHES

STOREFRONT CURTAIN WALL per MFR., FINISHED TO MATCH Kynar 500 or Hylar 5000 DARK BRONZE COLOR w/ 1" SOLARBRONZE LOW E-GLAZING

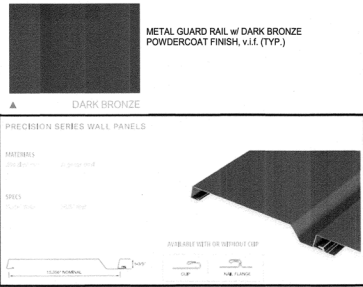


PAC-CLAD RIGID METAL SIDING in DARK BRONZE

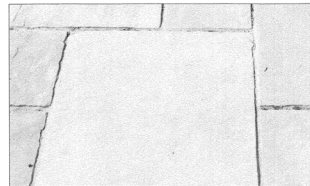
PRE-FINISHED .050 ga. ALUMINUM or 22 ga. STEEL CAP at T.O. PARAPET WALL, FINISHED w/ Kynar 5000® or Hylar 5000® DARK BRONZE COLOR

PAC-CLAD PRE-FINISHED VERTICAL HIGHLIGHT S2 SIDING, .050 ga ALUMINUM or 22 ga. STEEL CURTAIN WALL, FINISHED w/ Kynar 5000® or Hylar 5000® DARK BRONZE COLOR

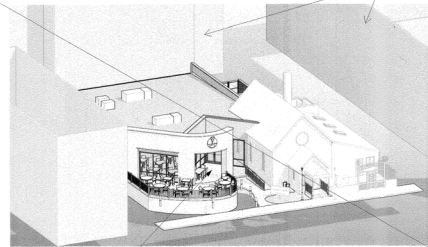
* FINISH ALL PARAPET WALLS w/ PAC-CLAD METAL CAP TO MATCH



EARTHSTONE BLUFF FLAGSTONE PAVERS



NORTH VIEW



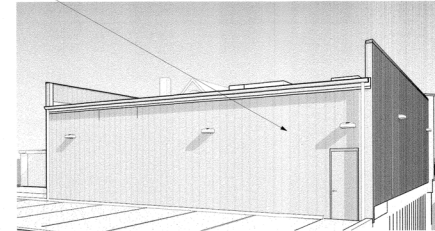
NORTHEAST VIEW



NORTHWEST VIEW



SLICEWORK ENTRY



SOUTHEAST VIEW

NO.	REVISION	DATE	BY
1	RESPONSE TO TOWN OF CASTLE ROCK COMMENTS	10.22.2022	TOP
2	RESPONSE TO TOWN OF CASTLE ROCK COMMENTS	01.20.2023	TOP
3	DECLARATION FOR TOWN OF CASTLE ROCK	03.05.2023	TOP
4	DECLARATION FOR TOWN OF CASTLE ROCK	05.05.2023	TOP

SITE DEVELOPMENT PLAN
 LOTS 11 AND 12, BLOCK 23, TOGETHER WITH MOST ADJACENT 5 FEET X 140 FEET OF VACATED JERRY STREET RIGHT-OF-WAY, AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 TOWN OF CASTLE ROCK PROJECT NO. SDP22-0044

DEVELOPER



DIGITAL MATERIAL BOARD

SITE DEVELOPMENT PLAN
 NO. SDP22-0044

DATE: 10.22.2022
 JOB NO.:
 DRAWN BY: JC
 APPROVED:

SHEET
 11 of 11



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