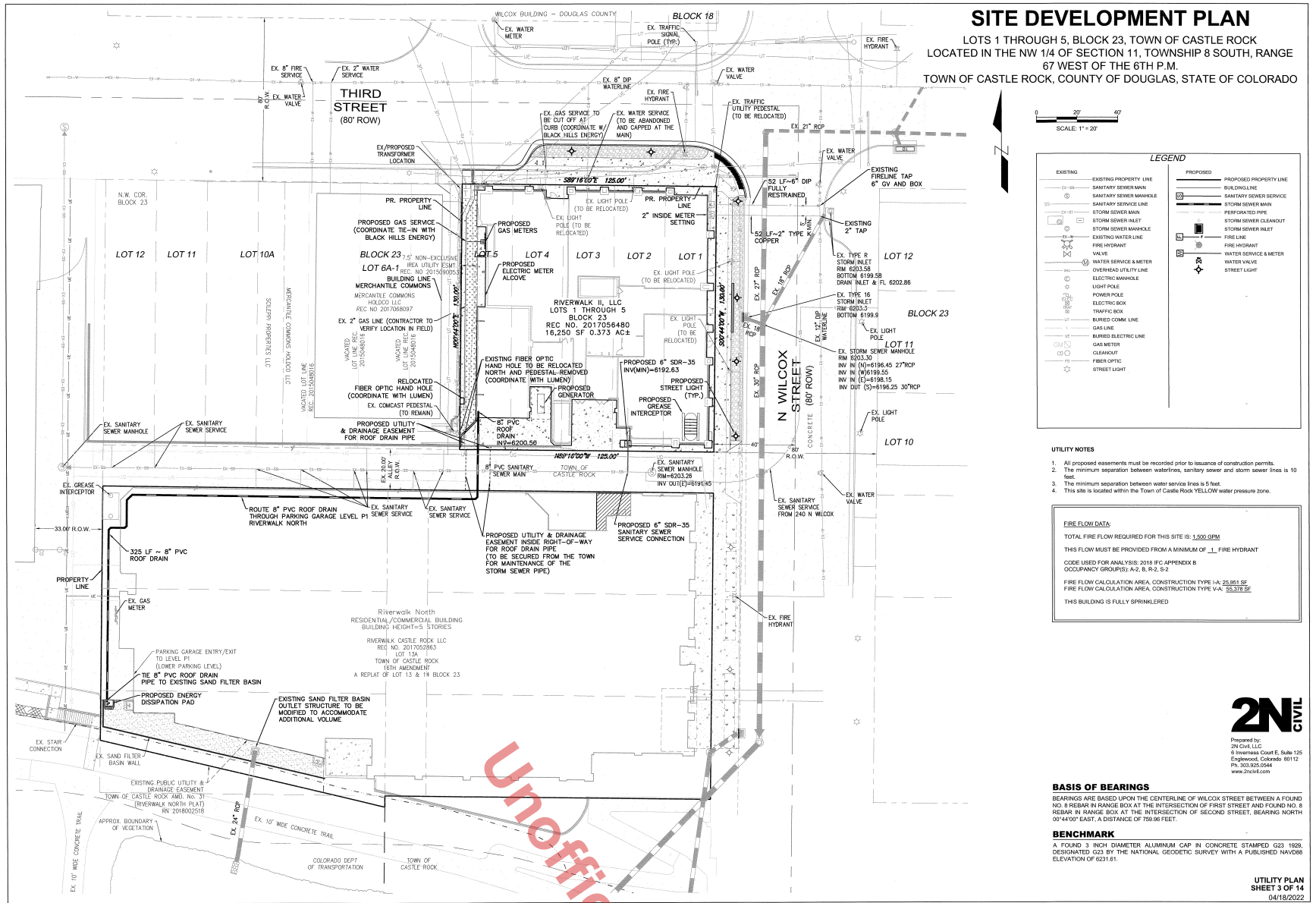
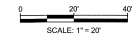


Unofficial Cop.



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 5, BLOCK 23, TOWN OF CASTLE ROCK
 LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE
 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND			
	EXISTING PROPERTY LINE		PROPOSED PROPERTY LINE
	EXISTING SANITARY SEWER MANHOLE		PROPOSED BUILDING LINE
	EXISTING SANITARY SEWER SERVICE LINE		PROPOSED SANITARY SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE		PROPOSED STORM SEWER MANHOLE
	EXISTING STORM SEWER SERVICE LINE		PROPOSED PERFORATED PIPE
	EXISTING FIRE HYDRANT		PROPOSED FIRE LINE
	EXISTING WATER SERVICE & METER		PROPOSED FIRE HYDRANT
	EXISTING GAS METER		PROPOSED WATER VALVE & METER
	EXISTING ELECTRIC POLE		PROPOSED STREET LIGHT
	EXISTING FIBER OPTIC LINE		

- UTILITY NOTES**
1. All proposed easements must be recorded prior to issuance of construction permits.
 2. The minimum separation between waterlines, sanitary sewer and storm sewer lines is 10 feet.
 3. The minimum separation between water service lines is 5 feet.
 4. This site is located within the Town of Castle Rock YELLOW water pressure zone.

FIRE FLOW DATA

TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS: 1,500 GPM

THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANT

CODE USED FOR ANALYSIS: 2018 IFC APPENDIX B OCCUPANCY GROUPS: A-2, B, R-2, S-2

FIRE FLOW CALCULATION AREA CONSTRUCTION TYPE I-A: 25,951 SF

FIRE FLOW CALCULATION AREA CONSTRUCTION TYPE V-A: 55,378 SF

THIS BUILDING IS FULLY SPRINKLERED

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE CENTERLINE OF WILCOX STREET BETWEEN A FOUND NO. 8 REBAR IN RANGE BOX AT THE INTERSECTION OF FIRST STREET AND FOUND NO. 8 REBAR IN RANGE BOX AT THE INTERSECTION OF SECOND STREET, BEARING NORTH 00°44'00" EAST, A DISTANCE OF 759.96 FEET.

BENCHMARK

A FOUND 3 INCH DIAMETER ALUMINUM CAP IN CONCRETE STAMPED G23 1929, DESIGNATED G23 BY THE NATIONAL GEODETIC SURVEY WITH A PUBLISHED NAVD83 ELEVATION OF 6231.61.



UTILITY PLAN
 SHEET 3 OF 14
 04/18/2022

SITE DEVELOPMENT PLAN
 LOTS 1 THROUGH 5, BLOCK 23 TOWN OF CASTLE ROCK
 PROJECT NO. SDP21-0029



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 5, BLOCK 23, TOWN OF CASTLE ROCK
 LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATERIALS LEGEND:

- STUCCO
- MODULAR BRICK
- CMU

EXTERIOR GENERAL NOTES:

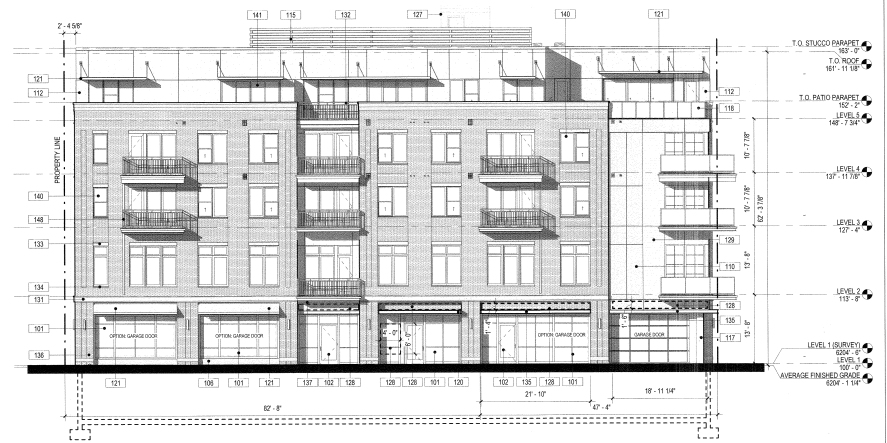
- 1 PROVIDE STUCCO CONTROL JOINTS. STUCCO AREAS NOT TO EXCEED 144 SF OR 18 FT VERTICALLY OR HORIZONTALLY
- 2 PROVIDE MASONRY EXPANSION JOINTS AT 20 FT MAX DISTANCE. INSTALL JOINTS BETWEEN 4 FT OFF ONE SIDE OF EVERY INSIDE AND OUTSIDE CORNER.

KEYNOTE LEGEND

Keynote #	Keynote Text
101	ALUMINUM STOREFRONT WINDOW, DARK BRONZE
102	ALUMINUM STOREFRONT AND ENTRY SYSTEM, DARK BRONZE
106	METAL BALCONY, DARK BRONZE
110	METAL COMPOSITE PANEL, DARK BRONZE
112	STUCCO WALL ASSEMBLY, BEIGE
115	ALUMINUM SCREEN, POWDER COAT FINISH, DARK BRONZE
117	CONCRETE COLUMN, NATURAL CLEAR FINISH
118	GLASS GUARDRAIL
120	METAL ENTRY CANOPY, DARK BRONZE
121	METAL CANOPY, DARK BRONZE
127	STAR PENTHOUSE BEYOND
128	POTENTIAL BUILDING SIGNAGE NOTE: ALL PROPOSED SIGNAGE TO BE SUBMITTED FOR REVIEW WITH THE SIGN PERMIT APPLICATION
129	WOOD Siding, HICKORY, CEDAR
131	PRECAST CONCRETE BAND
132	SEMI-RECESSED METAL BALCONY ASSEMBLY, DARK BRONZE
133	IF PRECAST LEVEL
134	PRECAST RAIL
135	STEEL CHANNEL, DARK BRONZE
136	MASONRY WALL ASSEMBLY, SPRINGFIELD
137	METAL PANEL WALL ASSEMBLY, COLOR, WARM GRAY
140	WINDOW ASSEMBLY AT MASONRY, DARK BRONZE
141	WINDOW ASSEMBLY AT STUCCO, BEIGE
142	MASONRY FLESH BAND, IF RECESS, SPRINGFIELD
143	FROND METAL BALCONY ASSEMBLY, DARK BRONZE



2 BUILDING ELEVATION - NORTH
 3/32" = 1'-0"



1 BUILDING ELEVATION - EAST
 3/32" = 1'-0"

Unofficial Cop.

BUILDING ELEVATIONS
 SHEET 5 OF 14
 4/28/2022 11:47:56 AM
 SITE DEVELOPMENT PLAN
 LOTS 1 THROUGH 5 BLOCK 23, TOWN OF CASTLE ROCK
 PROJECT NO. SDP21-0029



SITE DEVELOPMENT PLAN
 LOTS 1 THROUGH 5, BLOCK 23, TOWN OF CASTLE ROCK
 LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATERIALS LEGEND:

- STUCCO
- MODULAR BRICK
- C.M.U.

EXTERIOR GENERAL NOTES:

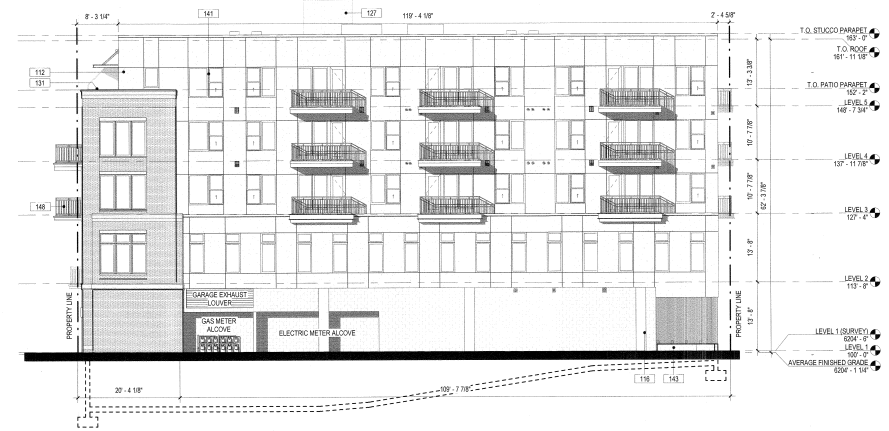
- 1 PROVIDE STUCCO CONTROL JOINTS. STUCCO AREAS NOT TO EXCEED 144 SF OR 18 FT VERTICALLY OR HORIZONTALLY
- 2 PROVIDE MASONRY EXPANSION JOINTS AT 20 FT MAX DISTANCE. INSTALL JOINTS BETWEEN 4 FT OFF ONE SIDE OF EVERY INSIDE AND OUTSIDE CORNER.

KEYNOTE LEGEND

Keynote #	Keynote Text
101	ALUMINUM STOREFRONT WINDOW, DARK BRONZE
112	STUCCO WALL ASSEMBLY, BEIGE
116	EXPOSED C.M.U., PINKIE BROWN
120	GENERATOR WITH RATED ALCOVE
127	STAR PENTHOUSE BEYOND
131	PRECAST CONCRETE BAND
133	IF PRECAST LEVEL
134	PRECAST SILL
138	MASONRY WALL ASSEMBLY, SPRINGFIELD
141	WINDOW ASSEMBLY AT STUCCO, BEIGE
143	C.M.U. SITE RETAINING WALL, COLOR BROWN/RED MIX
145	HOLLOW METAL DOOR, COLOR SIMILAR TO C.M.U.
146	CONCRETE WALL ASSEMBLY
147	RECESSED BRICK, SPRINGFIELD
148	FRANK METAL BALCONY ASSEMBLY, DARK BRONZE



2 BUILDING ELEVATION - SOUTH
 3/32" = 1'-0"



1 BUILDING ELEVATION - WEST
 3/32" = 1'-0"

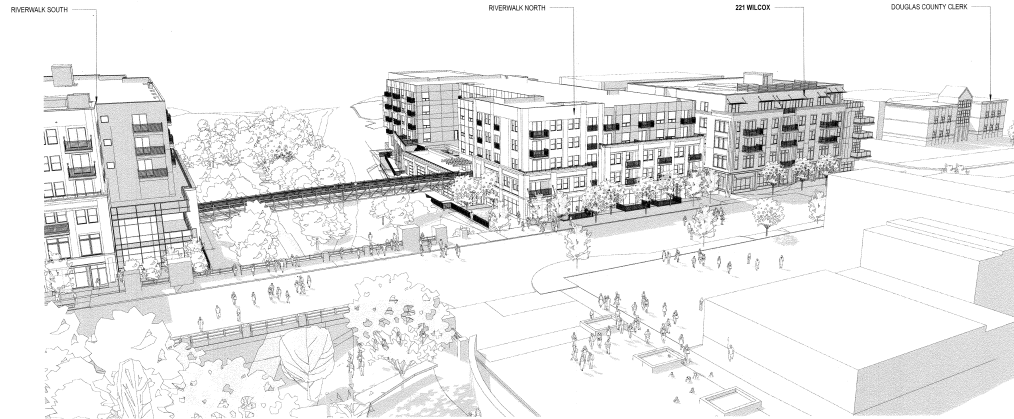
Unofficial Cop.

BUILDING ELEVATIONS
 SHEET 6 OF 14
 4/28/2022 11:48:05 AM
 SITE DEVELOPMENT PLAN
 LOTS 1 THROUGH 5 BLOCK 23, TOWN OF CASTLE ROCK
 PROJECT NO. SDP21-0029

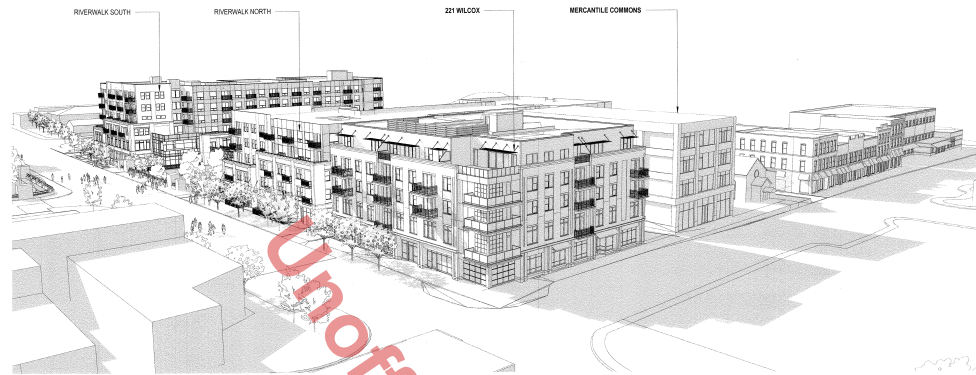


SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 5, BLOCK 23, TOWN OF CASTLE ROCK
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



2 AERIAL PERSPECTIVE - FROM SOUTHEAST
NTS



1 AERIAL PERSPECTIVE - FROM NORTHEAST
NTS

Unofficial Cop.

BIRDSEYE PERSPECTIVES
SHEET 7 OF 14
4/28/2022 11:48:05 AM
SITE DEVELOPMENT PLAN
LOTS 1 THROUGH 5 BLOCK 23, TOWN OF CASTLE ROCK
PROJECT NO. SDP21-0029



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 5, BLOCK 23, TOWN OF CASTLE ROCK
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



3 STREET VIEW - WILCOX FROM FESTIVAL PARK
NTS



2 STREET VIEW - 3RD AT JERRY STREET
NTS



1 STREET VIEW - 3RD AT WILCOX
NTS

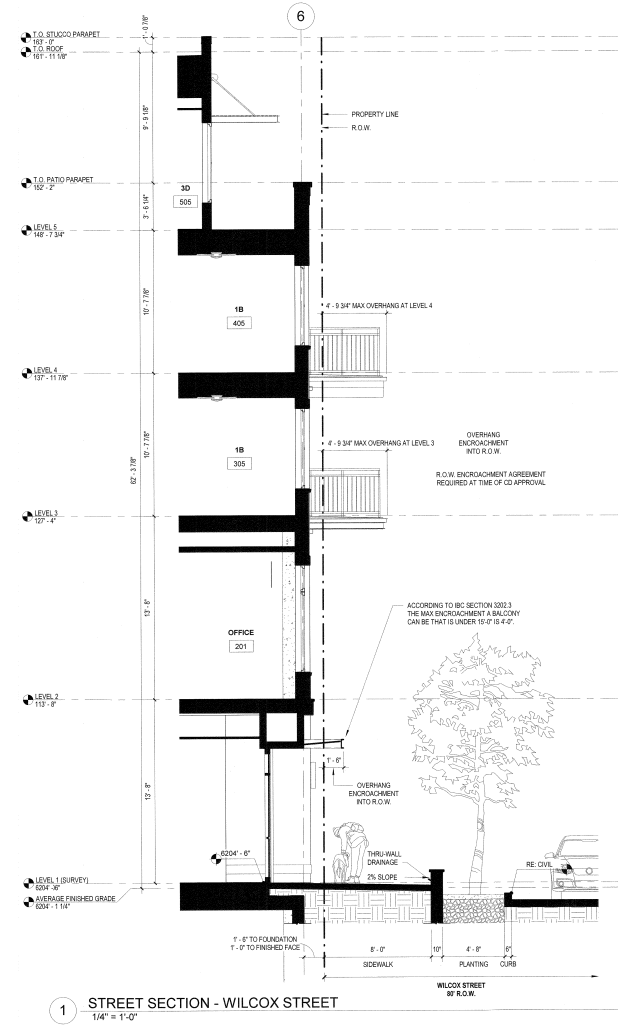
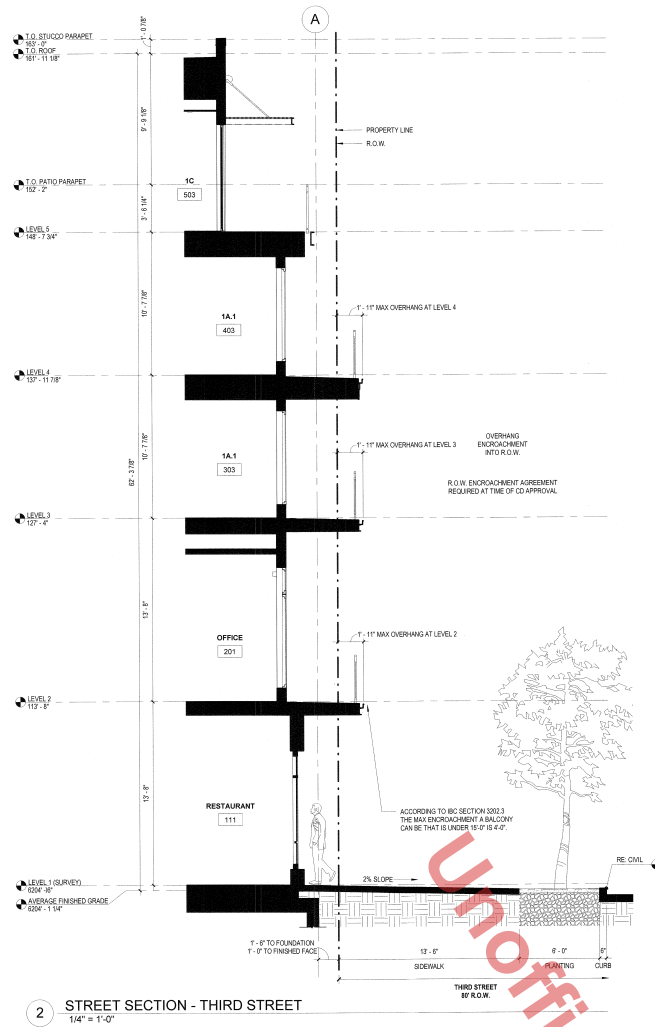
Unofficial Cop.

STREET PERSPECTIVES
SHEET 8 OF 14
4/28/2022 11:48:06 AM
SITE DEVELOPMENT PLAN
LOTS 1 THROUGH 5 BLOCK 23, TOWN OF CASTLE ROCK
PROJECT NO. SDP21-0029



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 5, BLOCK 23, TOWN OF CASTLE ROCK
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

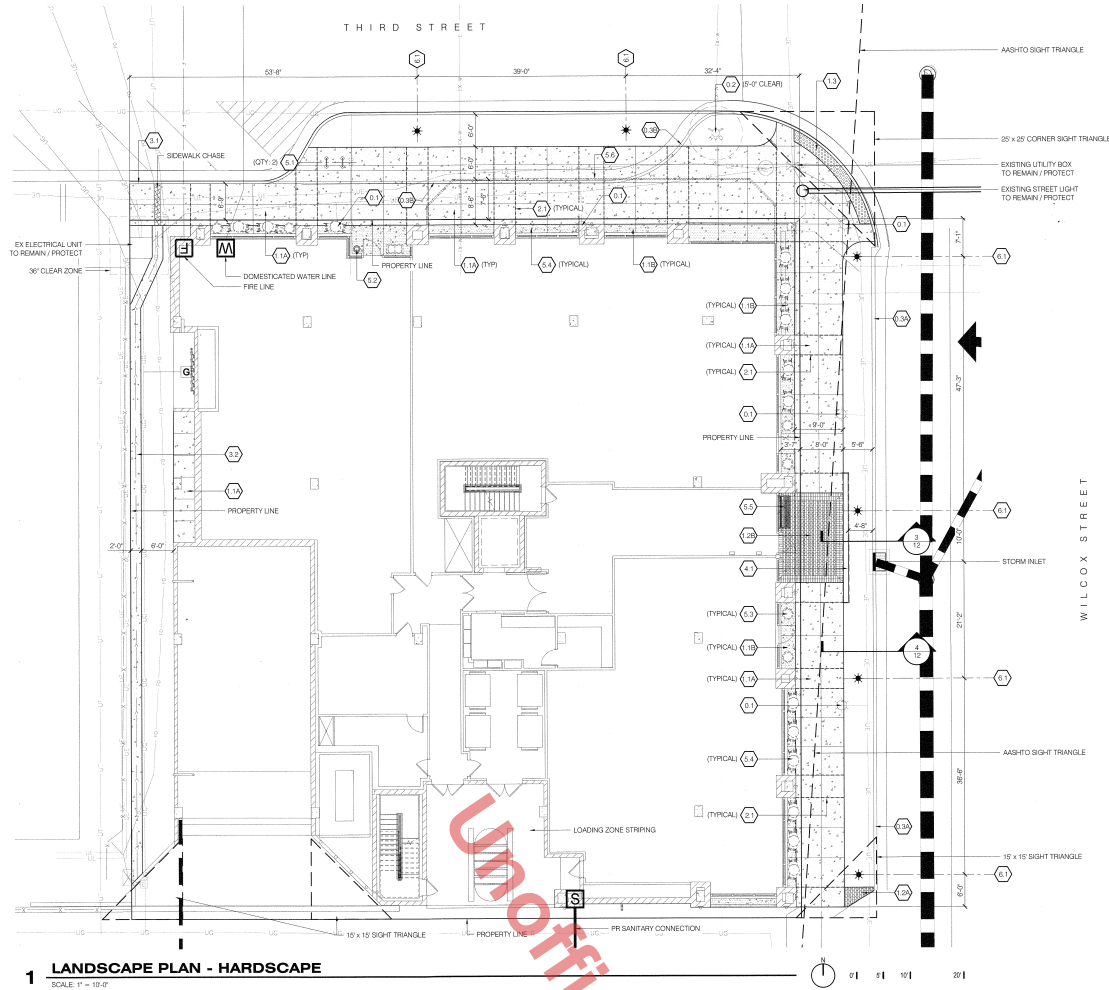


STREET SECTIONS
SHEET 9 OF 14
4/28/2022 11:48:06 AM
SITE DEVELOPMENT PLAN
LOTS 1 THROUGH 5 BLOCK 23, TOWN OF CASTLE ROCK
PROJECT NO. SDP21-0029

Unofficial Cop.



SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
 LOTS 1 THROUGH 5, BLOCK 23
 LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- MATERIAL KEYNOTES**
- (0.0) EXISTING CONDITIONS
 - 0.1 EXISTING STREET LIGHT TO BE REFURBISHED AND RELOCATED
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.2A EXISTING CURB TO REMAIN
 - 0.2B EXISTING CURB TO BE REMOVED
 - (1.0) PAVING
 - 1.1A CONCRETE PAVING, NATURAL COLOR, BROOM FINISH
 - 1.1B CONCRETE PAVING, INTEGRAL COLOR, SANESCAPE FINISH
 - 1.2A CONCRETE LINT PAVERS - TYPE A MATCH (PER WALK NORTH)
 - 1.2B CONCRETE LINT PAVERS - TYPE B
 - 1.3 DETECTABLE WARNING PAVERS
 - (2.0) PAVEMENT JOINTING
 - 2.1 CONTROL/EXPANSION JOINTS
 - (3.0) CURBS, EDGES, STEPS
 - 3.1 CONCRETE CURB
 - 3.2 CONCRETE GUTTER PAN
 - (4.0) WALLS
 - 4.1 CONCRETE CURB / WALL
 - (6.0) SITE FURNISHINGS AND ELEMENTS
 - 6.1 BIKE RACK (INVERTED U)
 - 6.2 LITTER/RECYCLING RECEPTACLE PER TENANT
 - 6.3 PLANTER PER TENANT
 - 6.4 OUTDOOR SEATING PER TENANT
 - 6.5 BENCH
 - 6.6 OUTDOOR DINING PATIO RAIL
 - (8.0) SITE LIGHTING
 - 8.1 REFURBISHED PEDESTRIAN STREET LIGHT

- MATERIALS LEGEND**
- (1.1A) CONCRETE PAVING, NATURAL COLOR, BROOM FINISH
 - (1.1B) CONCRETE PAVING, INTEGRAL COLOR, SANESCAPE FINISH
 - (1.2A) CONCRETE LINT PAVERS - TYPE A
 - (1.2B) CONCRETE LINT PAVERS - TYPE B

- UTILITIES LEGEND**
- SS SANITARY SEWER LINE
 - EX-W EXISTING WATER LINE
 - ST STORM SEWER LINE
 - LE UNDERGROUND ELECTRICAL LINE
 - G GAS LINE
- NOTE: REFERENCE CIVIL ENGINEERS' DRAWINGS FOR ALL UTILITY INFORMATION AND SYMBOLS.

1 LANDSCAPE PLAN - HARDSCAPE
 SCALE: 1" = 10'-0"

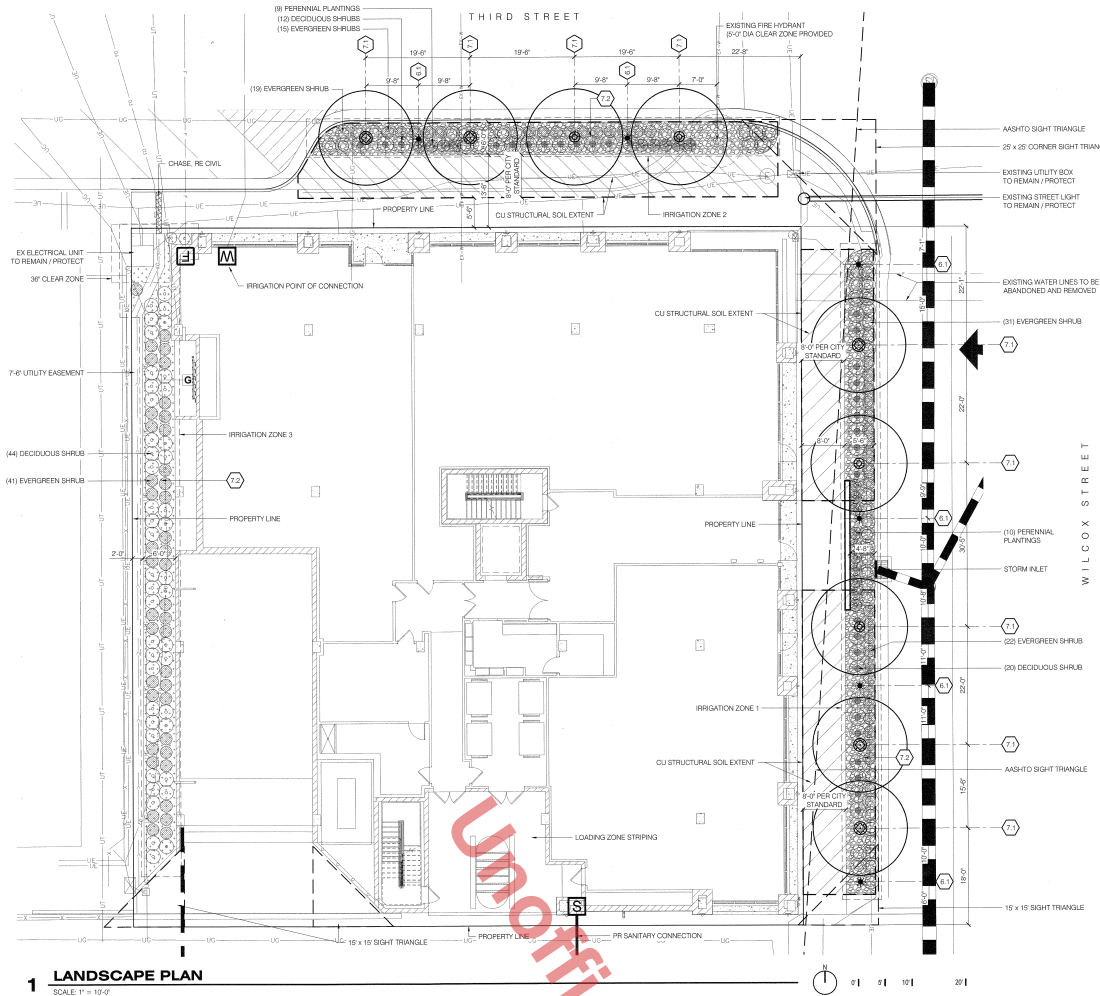
Back40
 Landscape Architecture
 WILLIAM T. BOWEN
 PROFESSIONAL LANDSCAPE ARCHITECT
 COLORADO 144,000,158

LANDSCAPE PLAN - HARDSCAPE
 SHEET 10 OF 14
 04/18/2022
 LOTS 1 THROUGH 5, BLOCK 23
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP21-0029

Unofficial Cop.



SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
 LOTS 1 THROUGH 5, BLOCK 23
 LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLANT SCHEDULE

- STREET TREE (TYPE 1)
- STREET TREE (TYPE 2)
- SHRUB (TYPE 1)
- SHRUB (TYPE 2)
- SHRUB (TYPE 3)
- SHRUB (TYPE 4)
- PERENNIAL (TYPE 1)

MATERIAL KEYNOTES

- 7.1 DECIDUOUS TREE
- 7.2 MULCH, 3/4" CRUSHED GRANITE (PLANTING AREA)

MATERIALS LEGEND

- 7.2 MULCH, 3/4" CRUSHED GRANITE (PLANTING AREA)

UTILITIES LEGEND

- SS — SANITARY SEWER LINE
 - EX-W — EXISTING WATER LINE
 - ST — STORM SEWER LINE
 - UE — UNDERGROUND ELECTRICAL LINE
 - G — GAS LINE
- NOTE:
REFERENCE CIVIL ENGINEERS' DRAWINGS FOR ALL UTILITY INFORMATION AND SYMBOLS.

IRRIGATION NOTES

GENERAL METHOD OF IRRIGATION: PERENNIAL BEDS AND TREES WATERED WITH POINT SOURCE DRIP EMITTERS.
 IRRIGATION ZONES: AS CALLED OUT ON DRAWING (IRRIGATION ZONE 1 AND IRRIGATION ZONE 2)
 IRRIGATION POINT OF CONNECTION: AS CALLED OUT ON DRAWING

1 LANDSCAPE PLAN
SCALE: 1" = 10'-0"



LANDSCAPE PLAN
 SHEET 11 OF 14
 04/18/2022

LOTS 1 THROUGH 5, BLOCK 23
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP21-0029

Unofficial Cop.

LANDSCAPE COVERAGE SUMMARY

Multi-family Landscape Site Inventory

Town of Castle Rock Registered Professional: **WILLIAM T. BOWEN**
 State of Colorado License Landscape Architect # **WILLIAM T. BOWEN**
 Town of Castle Rock Registration # **N/A**
 State of Colorado License Landscape Architect # **WILLIAM T. BOWEN**
 Company Name: **BACK40 LANDSCAPE ARCHITECTURE** Address: **2330 CHERRY STREET, DENVER, COLORADO 80207**
 Phone: **720.236.6656** Email: **BILL@BACK40.COM** Date: **2022-08-18**
 PROJECT NAME: **SDP121.WALK**

Grass Site Area	Landscape Area (Sq. Ft.)	Turfgrass List Species (Area in Sq. Ft.)	Nonliving Ornamental (Area in Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu yds. per 1,000 Sq. Ft.)	Separate Irrigation System Connections
16,250 SF	1,815 SF	N/A	N/A	12	9*	60	225	7.248 CY (4 CY PER 1,000 SF)	Yes... No..X.

Parking Lot (Area in Sq. Ft.)	Parking Lot (Area in Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq. Ft.)	No. of Interior Landscaping Islands	Minimum Width of Interior Landscaping Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

STREETSCAPE

LANDSCAPE REQUIREMENTS

ITEM	LENGTH	UNITS	TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED (5 PER REQUIRED TREE)	SHRUBS PROVIDED	PERENNIALS REQUIRED	PERENNIALS PROVIDED
WILCOX STREET	138'-0"	FEET	6	5*	30	73	0	10
THIRD STREET	128'-0"	FEET	6	4*	30	45	0	9
TOTALS	12	9	60	119	0	119	0	19

1. *ORb VARIANCE REQUEST FOR MINIMUM STREET FRONTAGE TREES FOR WILCOX STREET AND THIRD STREET. SEE TC021-0060.
 2. VARIANCE APPROVED FOR MINIMUM STREET TREE PLANTING WIDTH FOR WILCOX STREET AND THIRD STREET. SEE TC021-0068.

C L W U R C H A R T

LANDSCAPE TYPE	LANDSCAPE Use	LANDSCAPE Use (Per Sq. Ft.)	IRRIGATION (Inch)	IRRIGATION WATER REQUIREMENT (GAL)	LOW WATER (AMPS) (L/HR)	IRRIGATED AREA (SQ. FT.)	COMPOSITE LANDSCAPE (L/HR) (L/HR) (L/HR)	TOTAL AREA (SQ. FT.)
Grass	Low	0.05	0.50	0.00	0.00	1,815	0.00	1,815
Nonliving Ornamental	Low	0.05	0.50	0.00	0.00	1,815	0.00	1,815
TOTALS								

LANDSCAPE NOTES

- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORSEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO NET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (UWMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- IF ANY TRANSFORMERS, GROUND MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOILD OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY COVERTS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SHORT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN NET UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.28 AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

OTHER LANDSCAPE NOTES

- ALL PLANT AREAS SHALL BE MULCHED WITH 4" ORGANIC SWEETWOOD MULCH.
- ALL DISTURBED LANDSCAPED AREAS SHALL BE SEEDDED WITH A DROUGHT TOLERANT NATIVE SEED GRASS MIX OR DROUGHT TOLERANT TURF MIX AS RECOMMENDED IN THE TOWN OF CASTLE ROCK RECOMMENDED PLANT LIST. THESE AREAS SHALL RECEIVE NITRA, SPRAY IRRIGATION TO ESTABLISH PLANT MATERIALS AND SHALL RECEIVE IRRIGATION DURING AND AFTER PLANTS BECOME ESTABLISHED.
- ALL SHRUBS, ORNAMENTAL GRASS, PERENNIAL, AND TREE AREAS SHALL BE DRIP IRRIGATED UNLESS OTHERWISE SPECIFIED.
- CORWELL UNIFORM (CU) STRUCTURAL SOIL REQUIRED FOR ALL STREETSCAPE PLANTING AREAS LESS THAN 8" IN WIDTH.
- TOTAL MINIMUM IS 4 CU YDS OF ORGANIC MATTER PER 1,000 SF OF LANDSCAPE AREA. THIS IS TO BE ROTOTILLED TO A DEPTH OF 6 INCHES CLASS 1 COMPOST IS REQUIRED.

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 5, BLOCK 23 LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

USE 3' GUY ASSEMBLIES FOR EMBLEMED TREES OVER 3" CALIPER

PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING

INSTALL SAUCER IN NATIVE AREAS

USE NYLON TREE STRAPS AT END OF WIRE

1/2 GAUGE GALVANIZED WIRE

2" x 3/4" P.V.C. MANHOLE (VERTICAL) OVER WIRE

TREATED WOOD POST W/ CROWNED TOP FOR WIRE

USE 2 GUY WIRES. TREE STAKES MUST BE REMOVED AFTER ONE YEAR

WRAP TRUNK WITH PROFESSIONAL TREE WRAP IN SPECIES WITH THIN BARK. REMOVE OCTOBER 1ST AND REMOVE MARCH 31ST.

TOP MOST ROOT IN ROOTBALL: 2'-3" ABOVE EXISTING GRADE

4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM TRUNK AND MULCH TO EXTEND 5' FROM TREE

EXISTING GRADE

BACKFILL WITH AMENDED TOPSOIL FROM HOLE

BURLAP, ROPE AND WIRE REMOVED FROM TOP 2/3 OF ROOT BALL

INTACT ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL

SLOPE SIDES HOLES 3 TIMES AS WIDE AS THE ROOTBALL DIAMETER

PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST 3 TO 5 TIMES THE DIAMETER OF ROOT BALL

SET 3/8" SHRUBS. SHRUB SPACING AS PER THE PLANS. LAYOUT VARIES. FINISHED GRADE OF SHOULDER TO BE 2" BELOW ADJACENT FINISH GRADE AT EDGE.

PLANT ROOTBALL 2-4" ABOVE FINISH GRADE IN CLAY SOIL AND AT GRADE IN SANDY SOIL.

4" SPROCED MULCH. PROVIDE 5" PLANTING SOIL FOR SHRUBS NOT IN PLANTING BED. PROVIDE SAUCER ON DOWNHILL SIDE ON BERMS. NO PLANTING SOIL FOR SHRUBS IN PLANTING BED. DEEP WATER AT PLANTING. KEEP MULCH FROM CONTACT WITH HOODST BASE.

CULTIVATE SOIL TO DEPTH OF ROOTBALL TRUNKS. BACKFILL WITH AMENDED SOIL. MAX. SCARP SIDES OF PLANTING PIT. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.

CUT AND REMOVE ALL BURLAP ON ROOTBALL. REMOVE ALL TIED WIRE. BURLAP AND PLASTIC CONTAINERS FOR POT BOUND PLANTS ONLY. MAKE 4-5 VERTICAL CUTS IN ROOTBALL HALF OF THE THICKNESS OF THE ROOTBALL. SPREAD OVER A HOUND OF SOIL AND PLANT IMMEDIATELY FOR ROOT BANE AT BOTTOM OF BALL. SET ROOTBALL VERTICALLY AT THE WIRE THROUGH FROM BOTTOM TO MAXIMUM 10" DEGREE. THE 10" WATER OVER A HOUND OF SOIL IN THE PLANTING POLE.

6024-14' W (MIN 12" MAX 12")

#4 BARS @ 12" OC, 2' CLR

#4 BARS @ 8" OC, 2' CLR

SLOPE TO PLANTING (2% MAX)

6" MIN. (1" MAX 12" MAX)

(NOTE: PLANTING ZONE IS REDUCED FROM 6" MINIMUM DUE TO BACK OF CURB TO PROPERTY LINE DIMENSION LIMIT)

6" MIN. PLACE ROOT FLARE 2" BELOW FS OF ADJACENT CONCRETE CURB. RE: CIVIL

24" MIN CU STRUCTURAL SOIL

COMPACTED SUBGRADE RE: GEOTECH

6" DIA PERFORATED PIPE WRAPPED IN FREE DRAINING AGGREGATE. RE: CIVIL FOR STORM CONNECTION

NOTE:
 1. CONTRACTOR TO COMPLETE MOCK UP FOR REVIEW AND APPROVAL.
 2. REFER TO GRADING PLANS FOR SPOT ELEVATIONS.

6024-40' W (MIN 12" MAX 12")

6024-24' W (MIN 12" MAX 12")

#4 BARS @ 12" OC, 2' MIN CLR, EW

1'-2"

1'-2"

MASONRY CAP STONE VENEER

WEEP HOLES RE: CIVIL PLANS

4" MIN. (NOTE: PLANTING ZONE IS REDUCED FROM 6" MINIMUM DUE TO BACK OF CURB TO PROPERTY LINE DIMENSION LIMIT)

4" MULCH

30" CU STRUCTURAL SOIL RE: SPECS

COMPACTED SUBGRADE RE: GEOTECH

NOTE:
 1. CONTRACTOR TO COMPLETE MOCK UP FOR REVIEW AND APPROVAL.
 2. REFER TO GRADING PLANS FOR SPOT ELEVATIONS.
 3. WALL HEIGHT AND UNDERSTORY PLANTINGS NOT TO EXCEED 30" FROM FLOW LINE.

MANUFACTURER: BERG
 MODEL: HOOP-PACK HEAVY DUTY
 MATERIAL: ALUMINUM W/ WOOD SURFACE
 SIZE: 24" X 27" X 34"
 FINISH: MATCH CITY STANDARD OR APPROVED EQUAL

MANUFACTURER: FORMS + SURFACES
 MODEL: CORONA
 MATERIAL: ALUMINUM W/ WOOD SURFACE
 SIZE: 24" X 27" X 34"
 FINISH: MATCH CITY STANDARD OR APPROVED EQUAL

6024-14' W (MIN 12" MAX 12")

#4 BARS @ 12" OC, 2' CLR

#4 BARS @ 8" OC, 2' CLR

SLOPE TO PLANTING (2% MAX)

6" MIN. (1" MAX 12" MAX)

(NOTE: PLANTING ZONE IS REDUCED FROM 6" MINIMUM DUE TO BACK OF CURB TO PROPERTY LINE DIMENSION LIMIT)

6" MIN. PLACE ROOT FLARE 2" BELOW FS OF ADJACENT CONCRETE CURB. RE: CIVIL

24" MIN CU STRUCTURAL SOIL

COMPACTED SUBGRADE RE: GEOTECH

6" DIA PERFORATED PIPE WRAPPED IN FREE DRAINING AGGREGATE. RE: CIVIL FOR STORM CONNECTION

NOTE:
 1. CONTRACTOR TO COMPLETE MOCK UP FOR REVIEW AND APPROVAL.
 2. REFER TO GRADING PLANS FOR SPOT ELEVATIONS.

6024-40' W (MIN 12" MAX 12")

6024-24' W (MIN 12" MAX 12")

#4 BARS @ 12" OC, 2' MIN CLR, EW

1'-2"

1'-2"

MASONRY CAP STONE VENEER

WEEP HOLES RE: CIVIL PLANS

4" MIN. (NOTE: PLANTING ZONE IS REDUCED FROM 6" MINIMUM DUE TO BACK OF CURB TO PROPERTY LINE DIMENSION LIMIT)

4" MULCH

30" CU STRUCTURAL SOIL RE: SPECS

COMPACTED SUBGRADE RE: GEOTECH

NOTE:
 1. CONTRACTOR TO COMPLETE MOCK UP FOR REVIEW AND APPROVAL.
 2. REFER TO GRADING PLANS FOR SPOT ELEVATIONS.
 3. WALL HEIGHT AND UNDERSTORY PLANTINGS NOT TO EXCEED 30" FROM FLOW LINE.

Back40
 Landscape Architecture

WILLIAM T. BOWEN
 PROFESSIONAL LANDSCAPE ARCHITECT
 CO. LICENSED LA.0001106

LANDSCAPE SUMMARY, NOTES, & DETAILS
 SHEET 12 OF 14

04/18/2022

LOTS 1 THROUGH 5, BLOCK 23
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP21-0029

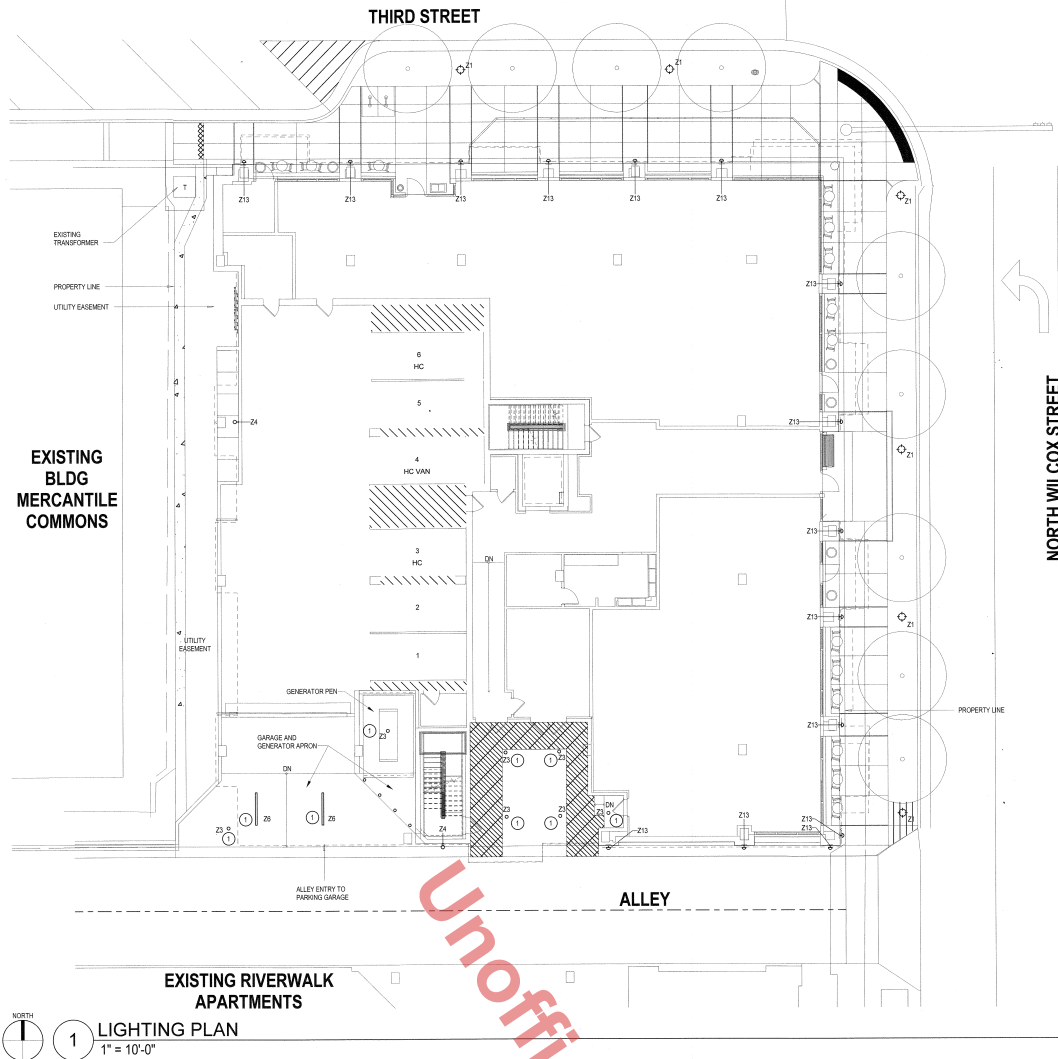
https://apps.douglas.co.us/LandmarkWeb/search/index?theme=.blue§ion=searchCriteriaInstrumentNumber&quickSearchSelection=#

12/14



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 5, BLOCK 23, TOWN OF CASTLE ROCK
LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



GENERAL NOTES:

- REFER TO LUMINAIRE SCHEDULE FOR LIGHTING USES / OBJECTIVES
- EXTERIOR LIGHTING OPERATION IS DUSK TO DAWN, WITH PHOTOCELL & TIME SWITCH CONTROL.

MITIGATION TO ADJACENT PROPERTIES:

- FAITURE TYPES Z3, Z4 & Z6 ARE FULL CUT-OFF OR DOWNLIGHT ONLY.
- TYPE Z1 IS PER THE TOWN STANDARD.

- NO FORWARD THROW (TYPE IV), POLE MOUNTED FACADE, OR UNSHELDED WALL PACKS ARE UTILIZED HEREIN.

DRAWING NOTES:

- LIGHT IS MOUNTED TO STRUCTURE UNDER CANOPY

1 LIGHTING PLAN
1" = 10'-0"

FGIVEN
ELECTRICAL ENGINEERS
735 S. Xenon Ct. #201
Lakewood, Colorado 80228
Ph: 303.716.1270
Fax: 303.716.1272
www.givenandassociates.com
Given Project # 21069

LIGHTING PLAN
SHEET 13 OF 14
4/8/2022 6:04:54 PM
SITE DEVELOPMENT PLAN
LOTS 1 THROUGH 5, BLOCK 23, TOWN OF CASTLE ROCK
PROJECT NO. SDP21-0029

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 5, BLOCK 23, TOWN OF CASTLE ROCK
 LOCATED IN THE NW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

B750 AVENUE SERIES

EXISTING PEDESTRIAN POLE | **TYPE Z1** | **HID**

Features: The fixture is designed to provide a high level of visibility and safety for pedestrians. It features a wide beam angle and a high lumen output. The fixture is designed to be compatible with existing pedestrian poles.

Optical Systems: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Specifications: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Performance: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Ordering Information: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Architect to Verify: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

RETROFIT FOR EXISTING PEDESTRIAN POLE

XRLED-B750 | **TYPE Z1** | **Sternberg Lighting**

Features: The fixture is designed to provide a high level of visibility and safety for pedestrians. It features a wide beam angle and a high lumen output. The fixture is designed to be compatible with existing pedestrian poles.

Optical Systems: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Specifications: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Performance: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Ordering Information: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Architect to Verify: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

ArchiThin SMTR SMTs

LED Surface Mount Downlights | **TYPE Z3**

Specifications/Features: The fixture is designed to provide a high level of visibility and safety for pedestrians. It features a wide beam angle and a high lumen output. The fixture is designed to be compatible with existing pedestrian poles.

Optical Systems: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Specifications: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Performance: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Ordering Information: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Architect to Verify: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

VOLTAGE MINI ARCHITECTURAL WALL PACK

VWM | **TYPE Z4** | **LED**

Features: The fixture is designed to provide a high level of visibility and safety for pedestrians. It features a wide beam angle and a high lumen output. The fixture is designed to be compatible with existing pedestrian poles.

Optical Systems: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Specifications: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Performance: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Ordering Information: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Architect to Verify: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

MARK ARCHITECTURAL LIGHTING

The Fin LED Series | **TYPE Z6**

Features: The fixture is designed to provide a high level of visibility and safety for pedestrians. It features a wide beam angle and a high lumen output. The fixture is designed to be compatible with existing pedestrian poles.

Optical Systems: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Specifications: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Performance: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Ordering Information: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Architect to Verify: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Recessed Light LED Wall Light Textured Architectural Breeze

TYPE Z13 | **KICHLER**

Features: The fixture is designed to provide a high level of visibility and safety for pedestrians. It features a wide beam angle and a high lumen output. The fixture is designed to be compatible with existing pedestrian poles.

Optical Systems: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Specifications: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Performance: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Ordering Information: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

Architect to Verify: The fixture is designed to provide a wide beam angle and a high lumen output. It features a wide beam angle and a high lumen output.

SDP LUMINAIRE SCHEDULE

REMARKS

TAG	Count	MOUNTING	DESCRIPTION	MANUFACTURER	MODEL	VOLT	QTY	SOURCE	TEMP	REMARKS
Z1	8	POLE TOP	POLE TOP PEDESTRIAN LIGHT	STERNBERG LIGHTING	PT-B750-W-RL-4FT-L-14-SOURCE	120V	1	LED	3000K	POLE TO MATCH EXISTING
Z2	7	JACK CEILING	5' ROUND SURFACE DOWNLIGHT	CONTECH LIGHTING	SMTR530K030-COLOR PER ARCH	120V	1	LED	3000K	POLE TO MATCH EXISTING
Z4	2	WALL 5'-0" TO BOTTOM OF FIXTURE	EXTERIOR WALL PACK	THE WILLIAMS	VWM-H-120-748-T1-582-100L-OPTIONS-DIM-UVV	120V	1	LED	3000K	WET LOCATION RATED
Z6	2	RECESSED CANOPY	ARCHITECTURAL LINER	MARK ARCHITECTURAL LIGHTING	FIN-LED-FIN-8FT-3D-HOOD-25-OF-DL	120V	1	LED	3000K	WET LOCATION RATED
Z13	15	WALL 7'-0" TO CENTER OF FIXTURE	ARCHITECTURAL WALL SOURCE	KICHLER LIGHTING	4027AZLED-COLOR PER ARCH	120V	1	LED	3000K	WET LOCATION RATED

GIVEN & ASSOCIATES INC.
 MECHANICAL & ELECTRICAL ENGINEERS
 735 S. Xenon Ct. #201
 Lakewood, Colorado 80228
 Ph: 303.716.1270
 Fax: 303.716.1272
 www.givenandassociates.com
 Given Project # 21069

LIGHTING CUT SHEETS
 SHEET 14 OF 14
 4/9/2022 6:04:55 PM

SITE DEVELOPMENT PLAN
 LOTS 1 THROUGH 5, BLOCK 23, TOWN OF CASTLE ROCK
 PROJECT NO. SDP21-0029