

OWNERSHIP CERTIFICATION
 THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

Amazon Partners, LLC by **Stephen R. Ruppel**, Manager
 Amazon Partners, LLC (CORPORATE LIMITED LIABILITY COMPANY)
 SIGNED THIS 23 DAY OF May, 2023.

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 23 DAY OF May, 2023
 BY **STEPHEN RUPPEL** AS MANAGER OF AMAZON PARTNERS, LLC
 WITNESSES MY HAND AND OFFICIAL SEAL
JOSEPH M. WILCOX
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: September 11, 2026

LIENHOLDER SUBORDINATION CERTIFICATE
 THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED MARCH 3, 2020, AT RECEPTION NO. 2000914744 DOUGLAS COUNTY COLORADO SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

FIRST DEED
 SIGNED THIS 26 DAY OF May, 2023
 BY **Nicholas Carter**
 NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 26 DAY OF May, 2023
 BY **Nicholas Carter**
 WITNESSES MY HAND AND OFFICIAL SEAL
Nicholas Carter
 NOTARY PUBLIC (412125)
 MY COMMISSION EXPIRES: 4/21/25

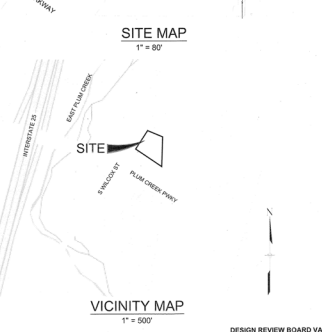
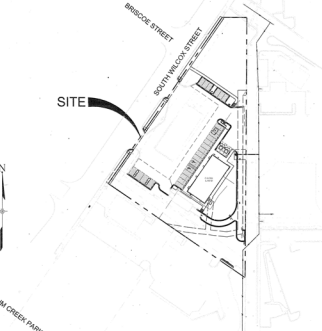
TITLE CERTIFICATION
Eric Gonzalez AN AUTHORIZED REPRESENTATIVE OF **First Title National Title, LLC** A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Eric Gonzalez AS AUTHORIZED REPRESENTATIVE OF **First Title National Title, LLC**
 SIGNED THIS 24 DAY OF June, 2023
 NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 24 DAY OF June, 2023
 BY **Eric Gonzalez** AS AUTHORIZED REPRESENTATIVE OF **First Title National Title, LLC**
 WITNESSES MY HAND AND OFFICIAL SEAL
Eric Gonzalez
 NOTARY PUBLIC (412125)
 MY COMMISSION EXPIRES: January 15, 2025

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
 THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 10:00 AM ON THE 05 DAY OF JUNE, 2023, AT RECEPTION NO. 2000517163
 DOUGLAS COUNTY CLERK AND RECORDER

DESIGN REVIEW BOARD APPROVAL
 THIS SITE DEVELOPMENT PLAN AMENDMENT HAS APPROVED BY THE DESIGN REVIEW BOARD OF THE TOWN OF CASTLE ROCK ON THE 27 DAY OF MAY, 2023
Chloe May 20, 2023
 CHAIR
 ATTEST: July 6, 2023
 DIRECTOR OF DEVELOPMENT SERVICES DATE

SITE DEVELOPMENT PLAN
LOT 1 WILCOX PLAZA FILING NO. 1, CIRCLE K AT WILCOX & PLUM CREEK
 A PORTION OF THE 534 1/2 ACRES OF SECTION 11, TOWNSHIP 36 SOUTH, RANGE 87 WEST OF THE 6TH 1/4 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



CONTACT LIST
OWNER
 CIRCLE K STORES INC
 500 S. QUINCY STREET, SUITE 100
 GREENWOOD VILLAGE, CO 80111
 PHONE: (303) 794-6200

DEVELOPER
 LAND ENGINEERING CONSULTANTS, LLC
 601 S. CHERRY ST., SUITE 212
 BOULDER, CO 80501
 PHONE: (303) 440-3265

CIVIL ENGINEER
 CIVIL ENGINEER LANDSCAPE ARCHITECT
 NICHOLE M. SCHANEL
 240 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80902
 PHONE: (719) 594-9115

ARCHITECT
 GREENFIELD PARTNERS
 3 EXECUTIVE DRIVE, SUITE 100
 REVERE, CO 80059
 DOUG COOPER
 PHONE: (303) 988-0400

LAND SURVEYOR
 BUREAU SURVEYING
 312 AIRPORT ROAD
 BOULDER, COLORADO 80501
 PHONE: (303) 444-9115

ELECTRICAL SERVICES
 MOUNTAIN VIEW ELECTRIC ASSOCIATION
 11416 E. WOODEN ROAD
 PEYTON, COLORADO 80801
 PHONE: (719) 584-8000

WATER SANITARY
 TOWN OF CASTLE ROCK
 100 NORTH WILCOX STREET
 TOWN OF CASTLE ROCK, CO 80104
 PHONE: (303) 794-8000

FIRE
 CASTLE ROCK FIRE AND RESCUE DEPARTMENT
 100 NORTH WILCOX STREET
 TOWN OF CASTLE ROCK, CO 80104
 BRAD SIMON
 PHONE: (303) 683-1088

STORM SEWER
 TOWN OF CASTLE ROCK
 100 NORTH WILCOX STREET
 TOWN OF CASTLE ROCK, CO 80104
 KEVIN BUFFINGTON
 PHONE: (303) 794-8000

SHEET INDEX

SHEET NUMBER	SHEET DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES
3	ALTA
4	DEMOLITION PLAN
5	SPILT PLAN
6	GRADING PLAN
7	UTILITY PLAN
8-12	LANDSCAPE PLAN
11	BUILDING EXTERIOR ELEVATIONS - 3/10
12	LIGHTING PLAN
13	LIGHTING SCHEDULE & FUTURE OUTREIGHT

LEGAL DESCRIPTION
 (PER THE TITLE COMMITMENT)
 LOT 1, WILCOX PLAZA FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO
BASIS OF BEARING
 THE BEARINGS ARE BASED ON THE WESTERLY LINE OF LOT 1, ASSUMED TO BEAR N43°37'55"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

FLOODPLAIN NOTES
 THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 50030302C, EFFECTIVE DATE MARCH 16, 2012.

SURVEYOR'S CERTIFICATE
Nichole M. Schanel A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR DATE: 4-23-23
CIVIL ENGINEER'S STATEMENT
Nichole M. Schanel BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND PERFORMED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER DATE: 4/20/23

Zone/ District	Requirement	Provided (Per SDP)
Zone/ District: B1 - Business Commercial	Office, service, retail, restaurant, public facility, and other uses as outlined in the B1 and B202 distance per MDC Code 17.28.010	Automobile fuel station and retail convenience store
Zone/ District: B202 - Downtown Overlay District	South Side Residential	1,837 SF / 1,807 Acres
Zone/ District: Downtown Parking Area	South Side Residential	1,706 GFA
Minimum Lot Size SF/Acres	N/A	1,834 GFA
Minimum Floor Area (GFA)	N/A	20
Building Coverage	100%	136.0 Feet
Minimum rear yard setback	0 Feet	39.0 Feet
Minimum side yard setback	0 Feet	75.0 Feet
Minimum side yard setback to street	0 Feet	N/A
Maximum building setback to roadway	20 Feet (A minimum of 5% of a building's base coverage facing a public roadway must be a setback with a 20-foot curb and provide a direct pedestrian connection	100% of the building facing S. Wilcox Street has a 22.5-foot setback and provides a direct pedestrian connection
Maximum lot area	6	23'-8"
Maximum building height	15% for the main front elevation	60'-3" (12' maximum height of building - 60%)
Minimum window or transparency at the pedestrian level	15% for the main front elevation	48% on Wilcox Street
Minimum Parking	For gas stations with convenience store 1 space per employee plus 2 spaces per pump island plus 4 spaces per 1,000 sq. ft. of retail space per service bay	Total parking spaces provided = 24 Total parking spaces required = 24 3 Employee + 12 Pump Island + 2,700 SF = 24 Spaces
Minimum ADA Parking	26 to 50 total spaces in lot requires 2 ADA parking spaces	ADA parking provided = 2 ADA parking required = 2
Minimum Bicycle Parking	3% of total parking spaces provided	Total bicycle parking provided = 2 Bicycle parking required = 1.3

Site Utilization

Utilization	Area	% of Total
Building Coverage	4,500	6%
Parking Coverage	4,570	6%
Street Coverage	31,451	40%
Landscaped/Open Space Coverage	34,667	44%
Water Coverage (water table)	3,183	4%
Total	76,371	100%

DOO Streetscape Chart

Street Name	Frontage Length (LF)	Required trees (1 tree per 22 LF)	Other trees provided	Total trees provided	% of Lp. deciduous canopy shade trees provided	Required additional plantings (1 shrub per required tree or 7 plants per (1) tree or (1) shrub)	Total shrub and/or plantings provided
Wilcox Street	320 (excluding drives)	15 (2 Proposed)	0	0	0%	75 (2 Proposed)	75
Total	320	15	3	3	100%	78 (Existing)	78

CONSULTANTS

Matrix
 201 S. OSBORN PARKWAY, SUITE 201
 COLORADO SPRINGS, CO 80909
 PHONE: (719) 594-0000

D LAND DEVELOPMENT
 CONSULTANTS, LLC
 910 S. QUINCY ST., SUITE 212
 DENVER, CO 80246
 CONSULTANT DEVELOPER

CIRCLE K

ROCK MOUNTAINS DIVISION
 500 S. QUINCY STREET, SUITE 100
 GREENWOOD VILLAGE, CO 80111
 PHONE: (303) 794-6223

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

PROJECT
 CIRCLE K STORES, INC

SITE DEVELOPMENT PLAN
 WILCOX & PLUM CREEK
 TOWN OF CASTLE ROCK

REVISION HISTORY

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION

PROJECT NO. _____
 DRAWN BY _____
 CHECKED BY _____
 DATE _____
 SHEET TITLE _____

COVER SHEET

SHEET 1 OF 13
CS01

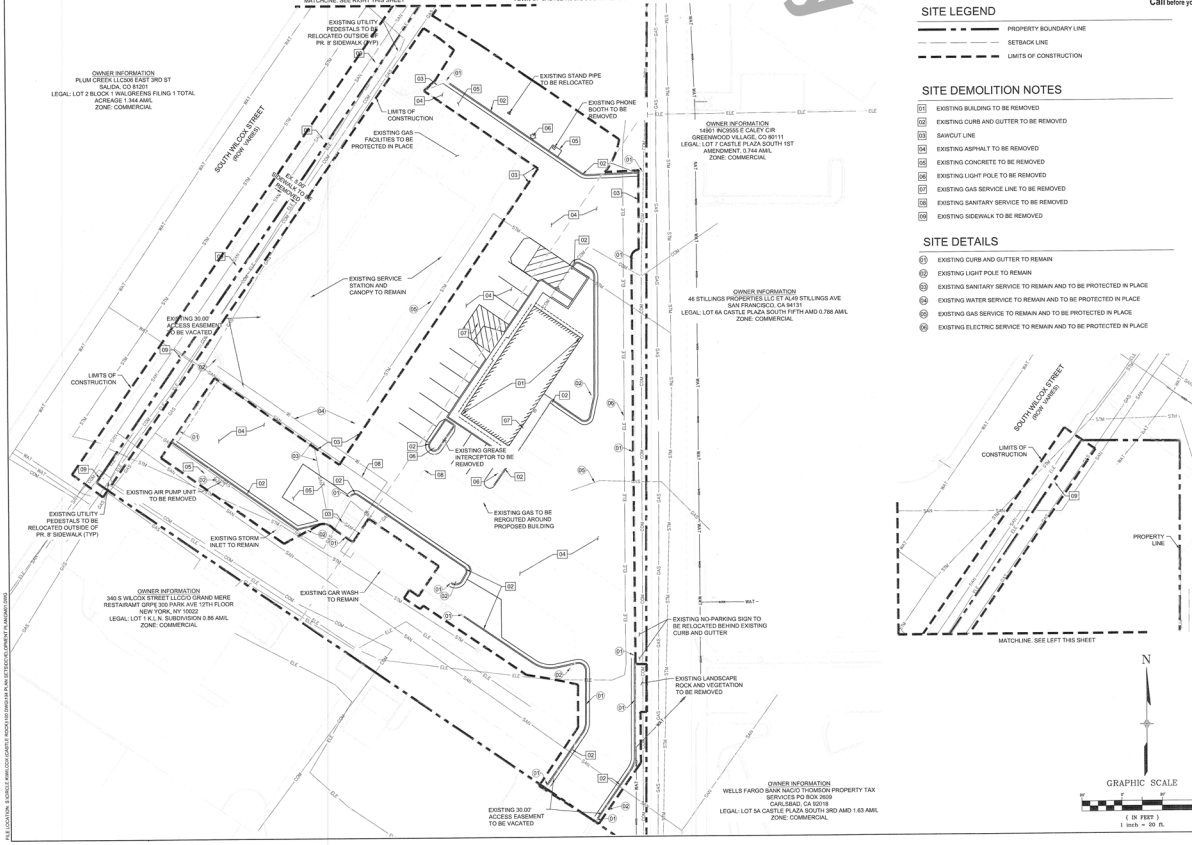
ISSUE DATE: NOVEMBER 2022

SITE DEVELOPMENT PLAN
 LOT 1 WILCOX PLAZA FILING NO. 1
 TOWN OF CASTLE ROCK PROJECT FILE NO. SDPO-2020

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SITE DEVELOPMENT PLAN LOT 1 WILCOX PLAZA FILING NO. 1, CIRCLE K AT WILCOX & PLUM CREEK

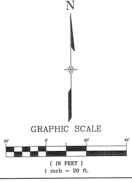
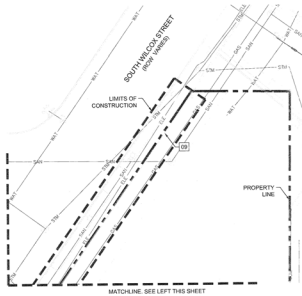
A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PM
TOWN OF CASTLE ROCK COUNTY OF DOUGLASS, STATE OF COLORADO



- SITE LEGEND**
- PROPERTY BOUNDARY LINE
 - SETBACK LINE
 - LIMITS OF CONSTRUCTION

- SITE DEMOLITION NOTES**
- (01) EXISTING BUILDING TO BE REMOVED
 - (02) EXISTING CURB AND GUTTER TO BE REMOVED
 - (03) EXISTING ASPHALT TO BE REMOVED
 - (04) EXISTING CONCRETE TO BE REMOVED
 - (05) EXISTING LIGHT POLE TO BE REMOVED
 - (06) EXISTING GAS SERVICE LINE TO BE REMOVED
 - (07) EXISTING SANITARY SERVICE TO BE REMOVED
 - (08) EXISTING SIDEWALK TO BE REMOVED

- SITE DETAILS**
- (09) EXISTING CURB AND GUTTER TO REMAIN
 - (10) EXISTING LIGHT POLE TO REMAIN
 - (11) EXISTING SANITARY SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
 - (12) EXISTING WATER SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
 - (13) EXISTING GAS SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
 - (14) EXISTING ELECTRIC SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE



CONSULTANTS

811
Know what's below.
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Matrix
CONSULTANTS, LLC
2425 RESEARCH PARKWAY, SUITE 200
DOUGLASS SPRINGS, CO 80803
PHONE: (719) 679-2000

LAND DEVELOPMENT
CONSULTANTS, LLC
992 S. CHERRY ST., SUITE 812
DENVER, CO 80209

CIRCLE K

ROCKY MOUNTAINS DIVISION
880 S. QUINCY STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (703) 786-6223

OWNER/DEVELOPER:

CIRCLE K STORES, INC.

PROJECT:
CIRCLE K STORES, INC.

SITE DEVELOPMENT PLAN
WILCOX & PLUM CREEK
TOWN OF CASTLE ROCK

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO.: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DESIGNED BY: _____
 SHEET TITLE: _____

DEMOLITION PLAN

SHEET 4 OF 13
DM01

ISSUE DATE: NOVEMBER 2020

SITE DEVELOPMENT PLAN
LOT 1 WILCOX PLAZA FILING NO. 1
TOWN OF CASTLE ROCK PROJECT NO. SDP22-0020

Unofficial Copy

SITE DEVELOPMENT PLAN

LOT 1 WILCOX PLAZA FILING NO. 1, CIRCLE K AT WILCOX & PLUM CREEK

A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 87 WEST OF THE 4TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE LEGEND

- PROPERTY BOUNDARY LINE
- SETBACK LINE
- LIMITS OF CONSTRUCTION
- PROPOSED STRIPING
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED BOUNDARY BETWEEN CONCRETE & ASPHALT
- PROPOSED PARKING SPACES
- PEDESTRIAN PATH-OF TRAVEL
- LANDSCAPE AREA

SITE NOTES

- 01 CURB & GUTTER TYPE VCI (GATING)
- 02 CURB & GUTTER TYPE VCI (SPALL)
- 03 EXISTING TRANSFORMER PAD
- 04 TRASH ENCLOSURE (PER ARCH PLANS)
- 05 EXISTING OVERHEAD CANOPY
- 06 TAPER CURB TO MATCH EXISTING CURB
- 07 CONCRETE SIDEWALK
- 08 EXISTING FUEL PUMPS
- 09 EGG ENCLOSURE (PER ARCH PLANS)
- 10 EXISTING UNDERGROUND FUEL TANKS
- 11 AIR UNIT (PER ARCH PLANS)
- 12 ACCESSIBLE PARKING (ETAL, SEA SYMBOL, AND SIGNAGE) (PER ARCH PLANS)
- 13 VENT PIPES
- 14 PIPE ROLLARS (PER ARCH PLANS)
- 15 BICYCLE RACK (ARCHITECTURAL SYMBOLS AND SIGNAGE) (CYCLE SAFE "U-BACK" OR APPROVED EQUAL)
- 16 COMMENCEMENT STORE (3,700 SF) (SEE ARCHITECTURAL PLANS)
- 17 EXISTING CAR WASH
- 18 EXISTING CAR WASH CODED ENTRY SYSTEM
- 19 CAR WASH BAL OUT LANE
- 20 VACUUM UNIT
- 21 HANDICAP RAMP
- 22 DO NOT ENTER STRIPING
- 23 EXISTING LIGHT POLE
- 24 TRAFFIC FLOW ARROW
- 25 HEAVY DUTY ASPHALT PAVING
- 26 LIGHT DUTY CONCRETE PAVING
- 27 HEAVY DUTY CONCRETE PAVING
- 28 SAWTOOTH LINE
- 29 TYPE 1 CURB RAMP
- 30 TYPE 2 CURB RAMP
- 31 TRANSFORMER PAD
- 32 CAR WASH CLEARANCE BAR
- 33 PROPOSED FIRE HYDRANT
- 34 PROPOSED FIRE SIDEWALK

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Matrix
CONSULTANTS, LLC
2415 RESEARCH PARKWAY, SUITE 100
GREENWOOD VILLAGE, CO 80039
PHONE: (719) 375-0100

LAND DEVELOPMENT
CONSULTANTS, LLC
800 E. CHERRY ST., SUITE 512
DENVER, CO 80202
PHONE: (303) 733-0222

CIRCLE K

ROCKY MOUNTAINS DIVISION
3000 S. CHERRY STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (303) 756-0222

7200 W. CENTURY BLVD. SUITE 1000, DENVER, CO 80231
7200 W. CENTURY BLVD. SUITE 1000, DENVER, CO 80231

7200 W. CENTURY BLVD. SUITE 1000, DENVER, CO 80231
7200 W. CENTURY BLVD. SUITE 1000, DENVER, CO 80231



PROJECT: **CIRCLE K STORES, INC**

SITE DEVELOPMENT PLAN
WILCOX & PLUM CREEK
TOWN OF CASTLE ROCK

REVISION HISTORY:

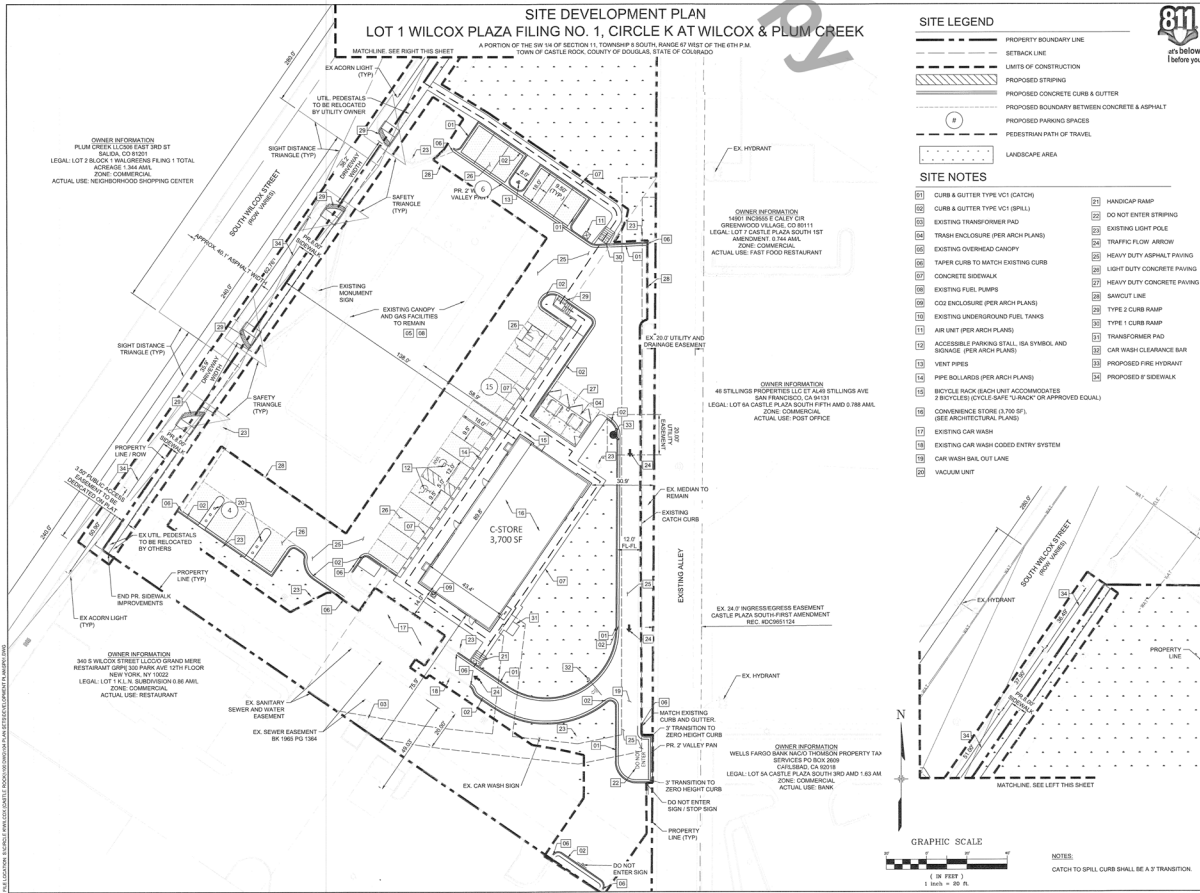
NO.	DATE	DESCRIPTION	BY

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 SHEET TITLE:

SITE PLAN

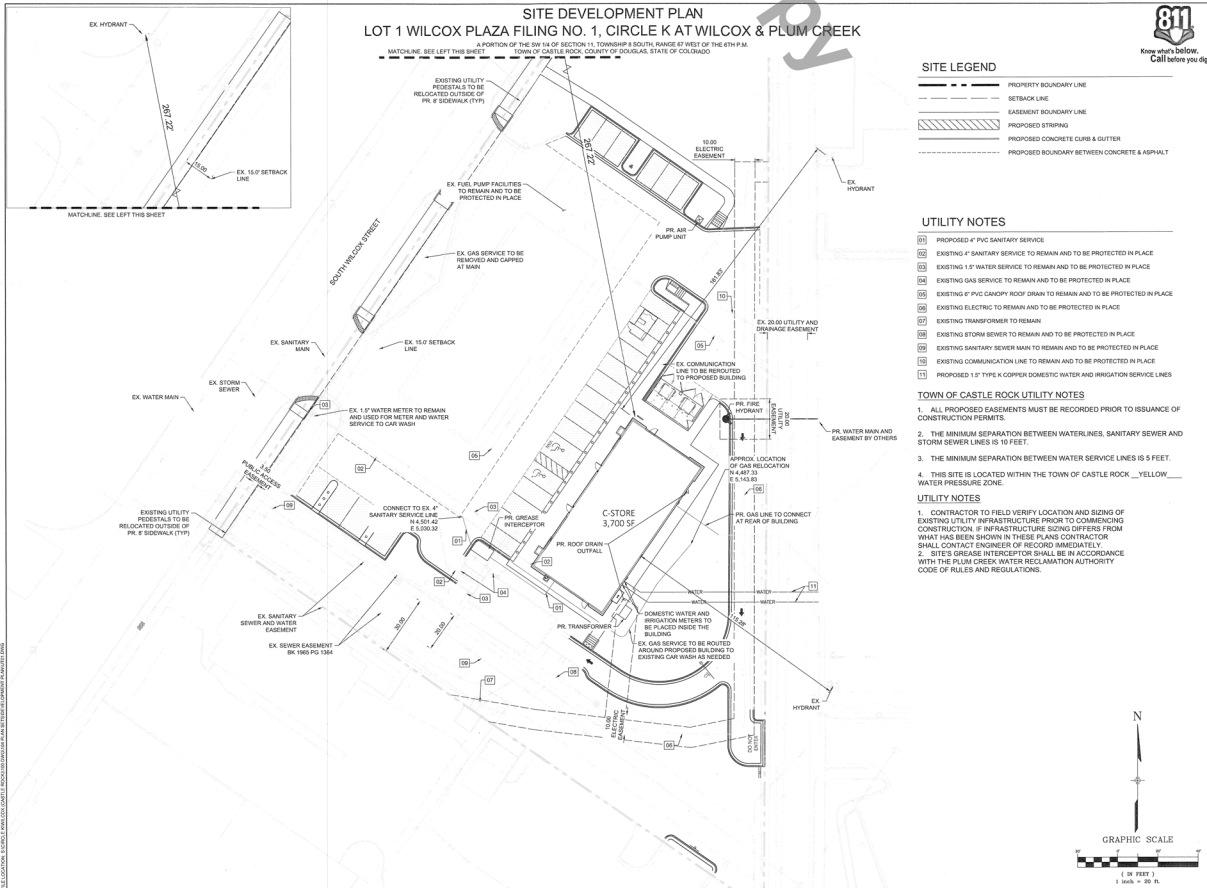
SHEET 5 OF 13
SP01

ISSUE DATE: NOVEMBER 2022
 SITE DEVELOPMENT PLAN
 LOT 1 WILCOX PLAZA FILING NO. 1
 TOWN OF CASTLE ROCK PROJECT NO. SDP22-0020



NOTES:
 CATCH TO SPALL CURB SHALL BE A 3" TRANSITION

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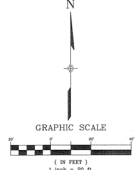
SITE DEVELOPMENT PLAN
LOT 1 WILCOX PLAZA FILING NO. 1, CIRCLE K AT WILCOX & PLUM CREEK
 A PORTION OF THE SW 1/4 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 87 WEST OF THE 10TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLASS, STATE OF COLORADO

- SITE LEGEND**
- PROPERTY BOUNDARY LINE
 - SETBACK LINE
 - EASEMENT BOUNDARY LINE
 - /// PROPOSED STRIPING
 - PROPOSED CONCRETE CURB & GUTTER
 - PROPOSED BOUNDARY BETWEEN CONCRETE & ASPHALT

- UTILITY NOTES**
- (01) PROPOSED 4" PVC SANITARY SERVICE
 - (02) EXISTING 4" SANITARY SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
 - (03) EXISTING 18" WATER SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
 - (04) EXISTING GAS SERVICE TO REMAIN AND TO BE PROTECTED IN PLACE
 - (05) EXISTING 6" PVC CANOPY ROOF DRAIN TO REMAIN AND TO BE PROTECTED IN PLACE
 - (06) EXISTING ELECTRIC TO REMAIN AND TO BE PROTECTED IN PLACE
 - (07) EXISTING TRANSFORMER TO REMAIN
 - (08) EXISTING STORM SEWER MAIN TO REMAIN AND TO BE PROTECTED IN PLACE
 - (09) EXISTING SANITARY SEWER MAIN TO REMAIN AND TO BE PROTECTED IN PLACE
 - (10) EXISTING COMMUNICATION LINE TO REMAIN AND TO BE PROTECTED IN PLACE
 - (11) PROPOSED 1.5" TYPE-K COPPER DOMESTIC WATER AND IRRIGATION SERVICE LINES

- TOWN OF CASTLE ROCK UTILITY NOTES**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATER LINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK, "YELLOW" WATER PRESSURE ZONE.

- UTILITY NOTES**
1. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZING OF EXISTING UTILITY INFRASTRUCTURE PRIOR TO COMMENCING CONSTRUCTION. IF INFRASTRUCTURE SIZING DIFFERS FROM WHAT HAS BEEN SHOWN IN THESE PLANS, CONTRACTOR SHALL CONTACT ENGINEER OF RECORD IMMEDIATELY.
 2. SITE'S GREASE INTERCEPTOR SHALL BE IN ACCORDANCE WITH THE PLUM CREEK WATER RECLAMATION AUTHORITY CODE OF RULES AND REGULATIONS.



CONSULTANTS

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 Know what's below.
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Matrix
 CONSULTANTS, LLC
 2425 RESEARCH PARKWAY, SUITE 200
 GREENWOOD VILLAGE, CO 80111
 PHONE: (719) 576-0100

D
LAND DEVELOPMENT
 CONSULTANTS, LLC
 880 S. CHERRY ST., SUITE 312
 DENVER, CO 80202
 OWNER/DEVELOPER:

CIRCLE K

ROCKY MOUNTAINS DIVISION
 2000 S. GULCH STREET, SUITE 100
 GREENWOOD VILLAGE, CO 80111
 PHONE: (719) 586-6001

SEAL

FOR INFO OR REVIEW BY MATRIX DESIGN GROUP, INC.

VICINITY MAP

PROJECT:
 CIRCLE K STORES, INC
 SITE DEVELOPMENT PLAN
 WILCOX & PLUM CREEK
 TOWN OF CASTLE ROCK

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DESIGNER INFORMATION:

PROJECT NO. _____
 DRAWN BY: _____
 CHECKED BY: _____
 DESIGNED BY: _____
 SHEET TITLE: _____

UTILITY PLAN

SHEET 7 OF 13
UT01

ISSUE DATE: NOVEMBER 2022
 SITE DEVELOPMENT PLAN
 LOT 1 WILCOX PLAZA FILING NO. 1
 TOWN OF CASTLE ROCK PROJECT NO. 202202-0020

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SITE DEVELOPMENT PLAN

LOT 1 WILCOX PLAZA FILING NO. 1, CIRCLE K AT WILCOX & PLUM CREEK

A PORTION OF THE SW 14 OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 47 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



CONSULTANTS
Matrix
 CONSULTANTS, LLC
 2425 RESEARCH PARKWAY, SUITE 100
 GREENWOOD VILLAGE, CO 80111
 PHONE: (719) 575-0100

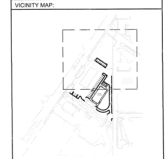
LAND DEVELOPMENT
 CONSULTANTS, LLC
 300 S. CHEVY ST., SUITE 512
 DENVER, CO 80202
 CHAIRMAN/DEVELOPER



ROCKY MOUNTAINS DIVISION
 1000 S. LAUREL STREET, SUITE 100
 GREENWOOD VILLAGE, CO 80111
 PHONE: (719) 785-0222

SEAL

FOR USE ONLY BY THE DESIGN GROUP INC.
 VIGNETTE MAP



PROJECT
CIRCLE K STORES, INC

SITE DEVELOPMENT PLAN
 WILCOX & PLUM CREEK
 TOWN OF CASTLE ROCK

REVISION HISTORY

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION

DESIGNED BY: AP
 CHECKED BY: AP
 DESIGNED BY: AP

SHEET TITLE

LANDSCAPE PLAN

SHEET 8 OF 13
 LS01

ISSUE DATE: NOVEMBER 2022

SITE DEVELOPMENT PLAN
 LOT 1 WILCOX PLAZA FILING NO. 1
 TOWN OF CASTLE ROCK PROJECT NO. SDP23-0020

LEGEND

	EXISTING DECIDUOUS TREE TO REMAIN	7
	EXISTING EVERGREEN TREE TO REMAIN	8
	EXISTING SHRUB TO REMAIN MAX GROWTH HEIGHT 24"	28
	NATIVE SEEDLING WILCOX & PLUM CREEK GROW MIX PER SEED MIX SCHEDULE OR APPROVED EQUAL	27,315 SF
	3/4" ROCK, PROPOSED TONE TO MATCH EXISTING. DEPTH: 6" MIN. OR APPROVED EQUAL	6,108 SF
	3/4" ROCK, EXISTING	3,482 SF
	STEEL EDGING	

*EXISTING SOD IS TO BE REMOVED AND AREA SEEDED WITH MIX AS INDICATED.

LANDSCAPE REQUIREMENTS

LANDSCAPE AREA	REQ.	PROV.
SITE DATA		
AREA OF BARCEL	74,082 SF	23,789 SF
PARKING AREA	4,890 SF	489 SF
PARKING ISLANDS	0	
WILCOX FRONTAGE	300'	
LANDSCAPE AREA (70% OF SITE AREA)		
PARKING LANDSCAPE AREA (70% OF PARKING)	DEVELOPED ON PLAN	
REQUIRED TREES		
WILCOX STREET (1 PER 22 FT)	REQ. 15	PROV. 3' (EXISTING)
INTERNAL (1 PER 100 SF)	REQ. 74	PROV. 27 (10 EXISTING)
PARKING LA AREA (2 PER 1000 SF)	REQ. 97	PROV. 27
TOTAL TREES	186	57
REQUIRED SHRUBS		
WILCOX STREET (1 PER 22 FT)	REQ. 75	PROV. 75 (28 EXISTING)
INTERNAL (4 PER 1000 SF)	REQ. 186	PROV. N/A
PARKING LA AREA (2 PER 1000 SF)	REQ. 186	PROV. 186
TOTAL SHRUBS	447	261

*REDUCTION IN STREET TREES (TC022-0118) APPROVED BY DESIGN REVIEW BOARD

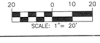
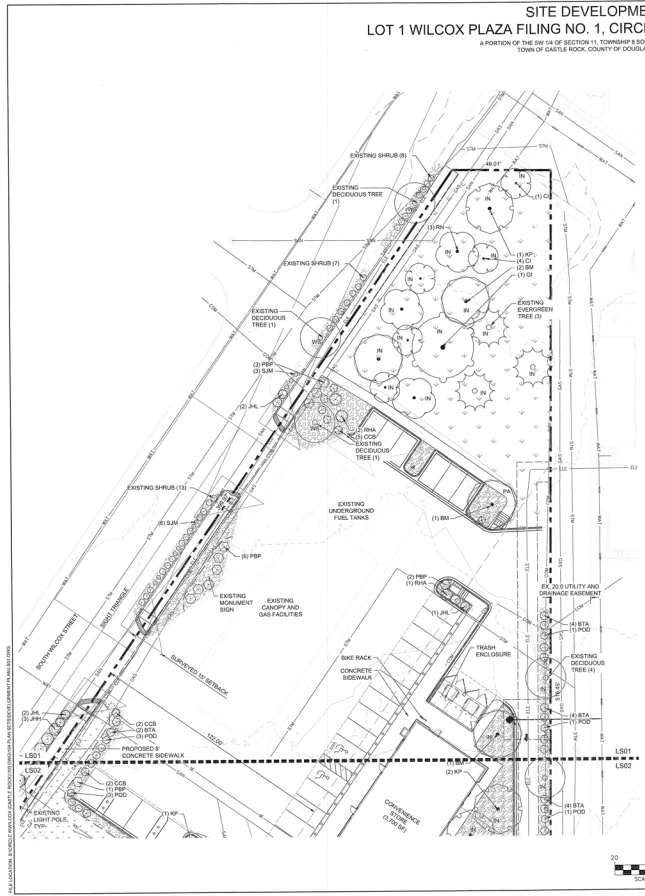
STATE OF COLORADO LICENSE LANDSCAPE ARCHITECT: ALWINE, JASON # LA-248
 COMMERCIAL LANDSCAPE SITE INVENTORY

Gross Site Area	Landscaped Area (In Sq Ft)	Turfgrass List Species (Area In Sq Ft)	Nonliving Ornamental (Area In Sq Ft)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu yds per 1000 Sq Ft)	Separate Irrigation Service Connections
74,082 SF	REQUIRED (N/A) PROVIDED 33,000 SF	NONE	(N/A)	(N/A)	27 DENOTED ON PLAN: 01	(N/A)	39	4	Yes, X, No, ...
Parking Lot Area (In Sq Ft)	Parking Lot Landscaped Area (In Sq Ft)	No. of Parking Spaces	Nonliving Ornamental (Area In Sq Ft)	No. of Interior Landscaped Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
4,890 SF	489 SF	36 (4 OF WHICH ARE VACUUM SPACES)	324 SF	0	N/A	2	2 DENOTED ON PLAN: PA	4	4

CLWUR (COMPOSITE LANDSCAPE WATER USE RATING) SDP23-0020

Irrigation System or Drop	Plant Name (Common)	Appl. Rate (inches/year)	Zone (N, L, M, H, W)	% of Total Area	IA (inches/year for high zone)	LWUR (Landscape Water Use Rating)	TA (Total Area of all Irrigated Landscape Zones)	CLWUR (LWUR x IA)
Sprinkler	Law Grass (Native Grass)	1"	N	78%	27.15	2	20,990	1,889,930
	Shrub Bed	2"	L	22%	285	2	20,990	6,108,000
Total of the CLWUR								8,097,930

LANDSCAPE ARCHITECT CERTIFICATION



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SITE DEVELOPMENT PLAN LOT 1 WILCOX PLAZA FILING NO. 1, CIRCLE K AT WILCOX & PLUM CREEK

A PORTION OF THE SW 1/4 OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 4 WEST OF THE 6TH PM
TOWN OF CASTLE ROCK, COUNTY OF DOUGLASS, STATE OF COLORADO



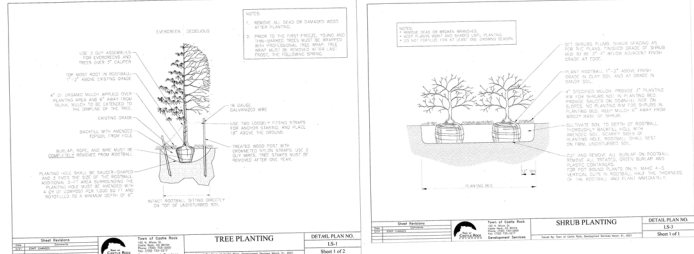
Matrix
CONSULTANTS, LLC
2433 RESEARCH PARKWAY, SUITE
300 COLO SPRINGS, CO 80909
PHONE: (719) 535-0100

LAND DEVELOPMENT
CONSULTANTS, LLC
850 S. CHEMERY ST., SUITE 510
DENVER, CO 80204

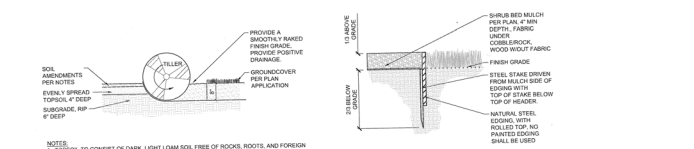
CIRCLE K

ROCKY MOUNTAINS DIVISION
1000 QUAKER STREET, SUITE 100
SHEENWOOD VILLAGE, CO 80111
PHONE: (719) 593-0100

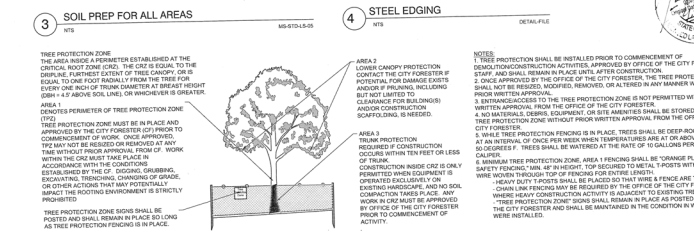
- TOWN OF CASTLE ROCK GENERAL NOTES:**
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
 - LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
 - ALL PLANTS ARE TO BE PROPERLY HYDRONIZED PER TOWN OF CASTLE ROCK PLANT LIST.
 - DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
 - PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
 - DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
 - IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
 - IRRIGATION PLAN IS TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.2 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
 - IF ANY TRANSFORMERS, GROUND MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
 - NO SOLID OBJECT EXCEEDING 36" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
 - NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
 - AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.3B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS, IRRIGATION PLAN REVIEW COMMENTS.
 - LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
 - DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
 - SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
 - TREES WITHIN SIGHT DISTANCE LINES SHALL BE MAINTAINED TO PROVIDE CLEARANCE FOR VEHICULAR SIGHT DISTANCE. TREES SHALL BE LAMBED & MAINTAINED SO THAT NO BRANCHES FALL BELOW THE HEIGHT OF 8 FEET MEASURED FROM THE FLOWLINE ELEVATION OF THE ADJACENT STREET PER TRANSPORTATION DESIGN CRITERIA MANUAL, SEC 2.4.8-2.
 - NO VEGETATION SHALL BE ALLOWED WITHIN INTERSECTION SAFETY TRIANGLES THAT EXCEED 2.5 FEET HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET PER TRANSPORTATION DESIGN CRITERIA MANUAL, SEC 2.4.8.



1 TREE PLANTING NTS DETAIL FILE
2 SHRUB PLANTING NTS DETAIL FILE



3 SOIL PREP FOR ALL AREAS NTS MS-BT-01-05
4 STEEL EDGING NTS DETAIL FILE



5 EXISTING TREE PROTECTION NTS DETAIL FILE



PROJECT:
CIRCLE K STORES, INC
SITE DEVELOPMENT PLAN
WILCOX & PLUM CREEK
TOWN OF CASTLE ROCK

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION

PROJECT NO: _____
DRAWN BY: AP
CHECKED BY: JA
DESIGNED BY: AP
DATE: _____
SHEET TITLE:
LANDSCAPE PLAN

SHEET 10 OF 13
LS03
ISSUE DATE: NOVEMBER 2023
SITE DEVELOPMENT PLAN
LOT 1 WILCOX PLAZA FILING NO. 1
TOWN OF CASTLE ROCK PROJECT NO. SD2023-002

Unofficial Copy

COPY



1220 Peachtree St. NE
 Ste. 3000
 Atlanta, GA 30309
 404.991.4000 F 404.601.3990

CPY Series - Version B

Product Description
 The CPY Series is a family of LED canopy lights that are designed to provide uniform, glare-free illumination for a wide range of applications. The lights are available in a variety of sizes and finishes, and are designed to be easy to install and maintain.

Performance Summary
 The CPY Series is designed to provide uniform, glare-free illumination for a wide range of applications. The lights are available in a variety of sizes and finishes, and are designed to be easy to install and maintain.

Ordering Information

Part No.	Part Name	Material	Finish	Mounting	Height	Weight	Notes
CPY-100	CPY Series LED Canopy Light	Aluminum	White	Flush	100mm	0.5kg	
CPY-150	CPY Series LED Canopy Light	Aluminum	White	Flush	150mm	0.8kg	
CPY-200	CPY Series LED Canopy Light	Aluminum	White	Flush	200mm	1.2kg	
CPY-300	CPY Series LED Canopy Light	Aluminum	White	Flush	300mm	2.0kg	
CPY-400	CPY Series LED Canopy Light	Aluminum	White	Flush	400mm	3.0kg	
CPY-500	CPY Series LED Canopy Light	Aluminum	White	Flush	500mm	4.0kg	

SITE LIGHTING FIXTURE SCHEDULE

SYM	MANUFACTURER	MODEL	CATALOG NUMBER	DESCRIPTION	DISTRIBUTION	VOLTAGE	DIMMING	QTY	MOUNTING	LAMPS	WATTS	LUMENS	COLOR TEMP	POLE	SHAPE	POLE HT.	
Q1	STERNING	8750-V08	8750-V08-8475-KUC6A	TOWN OF CASTLE ROCK STANDARD STREET LIGHT CARRYING MAIN TOWN OF CASTLE ROCK	SYMMETRIC	120/277V	N/A	7	POLE	1	LED	56	4000	4000K/70	FLUSH	COLUMN	15'
A11	CREE LIGHTING	OSQ	OSQ ML-B-XX-XX + OSQ-M-3L-5K7-3M-L6-NM-XX-Q1	SINGLE AREA LIGHT ON POLE, WHITE, DARK SKY APPROVED, FULL CUTOFF, FUTURE MFD 3L5-AEL	TYPE III MED.	UNV	N/A	1	POLE	1	LED	54	8800	5000K/70	3 FT	SQ. STERIL	15'
A301	CREE LIGHTING	OSQ	OSQ ML-B-XX-XX + OSQ-M-3L-5K7-3M-L6-NM-XX-Q1 + OSQ-BL-M	TWO HEAD AREA LIGHT (8" Ø) DIECAST, WHITE, DARK SKY APPROVED, FULL CUTOFF, BACK LIGHT SHIELD, FUTURE MFD 3L5-AEL	TYPE III MED.	UNV	N/A	1	POLE	2	LED	54	8800	5000K/70	3 FT	SQ. STERIL	15'
A301	CREE LIGHTING	OSQ	OSQ ML-B-XX-XX + OSQ-M-3L-5K7-3M-L6-NM-XX-Q1 + OSQ-BL-M	TWO HEAD AREA LIGHT (8" Ø) DIECAST, WHITE, DARK SKY APPROVED, FULL CUTOFF, BACK LIGHT SHIELD, FUTURE MFD 3L5-AEL	TYPE III MED.	UNV	N/A	3	POLE	1	LED	54	8800	5000K/70	3 FT	SQ. STERIL	15'
A302	CREE LIGHTING	OSQ	OSQ ML-B-XX-XX + OSQ-M-3L-5K7-3M-L6-NM-XX-Q2 + OSQ-BL-M	SINGLE AREA LIGHT ON POLE, WHITE, DARK SKY APPROVED, FULL CUTOFF, BACK LIGHT SHIELD, FUTURE MFD 3L5-AEL	TYPE III MED.	UNV	N/A	1	POLE	1	LED	65	8249	5000K/70	3 FT	SQ. STERIL	15'
A304	CREE LIGHTING	OSQ	OSQ ML-B-XX-XX + OSQ-M-3L-5K7-3M-L6-NM-XX-Q4 + OSQ-BL-M	SINGLE AREA LIGHT ON POLE, WHITE, DARK SKY APPROVED, FULL CUTOFF, BACK LIGHT SHIELD, FUTURE MFD 3L5-AEL	TYPE III MED.	UNV	N/A	2	POLE	1	LED	81	10249	5000K/70	3 FT	SQ. STERIL	15'
L	CREE LIGHTING	L86	L86-3L-40K-120V	8" RECESSED CAN LIGHT MOUNTED TO 1" STAINLESS STEEL CANOPY	N/A	120V	N/A	9	RECESSED	1	LED	12	1050	4000K/70	N/A	N/A	N/A
WP1	CREE LIGHTING	XSPW	XSPW-B-WM-3M-AL-40K-UL-X	FULL CUTOFF WALLPACK, DARK SKY APPROVED	TYPE III MED.	UNV	N/A	2	WALL	1	LED	35	4382	4000K/70	N/A	N/A	N/A
WP2	CREE LIGHTING	XSPW	XSPW-B-WM-3M-AL-40K-UL-X	FULL CUTOFF WALLPACK, DARK SKY APPROVED	TYPE III MED.	UNV	N/A	4	WALL	1	LED	47	4094	4000K/70	N/A	N/A	N/A
WCAN	CREE LIGHTING	CPY50	CPY50-B-0M-0-B-0-L6-NM-5X (EXISTING TO REMAIN)	CPY50-B-0M-0-B-0-L6-NM-5X (EXISTING TO REMAIN)	N/A	UNV	N/A	24	CANOPY	1	LED	96.31	12468	5000K/70	N/A	N/A	N/A

OSQ Series
 OSQ™ LED Street Luminaires featuring One TrueBeam™ Technology - Medium & Large

Product Description
 The OSQ Series is a family of LED street luminaires that are designed to provide uniform, glare-free illumination for a wide range of applications. The lights are available in a variety of sizes and finishes, and are designed to be easy to install and maintain.

Performance Summary
 The OSQ Series is designed to provide uniform, glare-free illumination for a wide range of applications. The lights are available in a variety of sizes and finishes, and are designed to be easy to install and maintain.

Ordering Information

Part No.	Part Name	Material	Finish	Mounting	Height	Weight	Notes
OSQ-100	OSQ Series LED Street Luminaire	Aluminum	White	Flush	100mm	0.5kg	
OSQ-150	OSQ Series LED Street Luminaire	Aluminum	White	Flush	150mm	0.8kg	
OSQ-200	OSQ Series LED Street Luminaire	Aluminum	White	Flush	200mm	1.2kg	
OSQ-300	OSQ Series LED Street Luminaire	Aluminum	White	Flush	300mm	2.0kg	
OSQ-400	OSQ Series LED Street Luminaire	Aluminum	White	Flush	400mm	3.0kg	
OSQ-500	OSQ Series LED Street Luminaire	Aluminum	White	Flush	500mm	4.0kg	

LRX Series
 LRX™ LED Street Luminaires featuring One TrueBeam™ Technology - Medium & Large

Product Description
 The LRX Series is a family of LED street luminaires that are designed to provide uniform, glare-free illumination for a wide range of applications. The lights are available in a variety of sizes and finishes, and are designed to be easy to install and maintain.

Performance Summary
 The LRX Series is designed to provide uniform, glare-free illumination for a wide range of applications. The lights are available in a variety of sizes and finishes, and are designed to be easy to install and maintain.

Ordering Information

Part No.	Part Name	Material	Finish	Mounting	Height	Weight	Notes
LRX-100	LRX Series LED Street Luminaire	Aluminum	White	Flush	100mm	0.5kg	
LRX-150	LRX Series LED Street Luminaire	Aluminum	White	Flush	150mm	0.8kg	
LRX-200	LRX Series LED Street Luminaire	Aluminum	White	Flush	200mm	1.2kg	
LRX-300	LRX Series LED Street Luminaire	Aluminum	White	Flush	300mm	2.0kg	
LRX-400	LRX Series LED Street Luminaire	Aluminum	White	Flush	400mm	3.0kg	
LRX-500	LRX Series LED Street Luminaire	Aluminum	White	Flush	500mm	4.0kg	

XSP Series
 XSP™ LED Street Luminaires featuring One TrueBeam™ Technology

Product Description
 The XSP Series is a family of LED street luminaires that are designed to provide uniform, glare-free illumination for a wide range of applications. The lights are available in a variety of sizes and finishes, and are designed to be easy to install and maintain.

Performance Summary
 The XSP Series is designed to provide uniform, glare-free illumination for a wide range of applications. The lights are available in a variety of sizes and finishes, and are designed to be easy to install and maintain.

Ordering Information

Part No.	Part Name	Material	Finish	Mounting	Height	Weight	Notes
XSP-100	XSP Series LED Street Luminaire	Aluminum	White	Flush	100mm	0.5kg	
XSP-150	XSP Series LED Street Luminaire	Aluminum	White	Flush	150mm	0.8kg	
XSP-200	XSP Series LED Street Luminaire	Aluminum	White	Flush	200mm	1.2kg	
XSP-300	XSP Series LED Street Luminaire	Aluminum	White	Flush	300mm	2.0kg	
XSP-400	XSP Series LED Street Luminaire	Aluminum	White	Flush	400mm	3.0kg	
XSP-500	XSP Series LED Street Luminaire	Aluminum	White	Flush	500mm	4.0kg	

Professional Seal

 PROJECT MANAGER
 QUALITY CONTROL
 DRAWN BY
 CHECKED BY
 DATE

PROFESSIONAL IN CHARGE

 PROJECT MANAGER
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 DRAWN BY
 CHECKED BY
 DATE

PROJECT NAME
CIRCLE K STORES INC.
CASTLE ROCK
COLORADO
WILCOX & PLUM CREEK
CASTLE ROCK, CO

PROJECT NUMBER
 2024076

SHEET TITLE
LIGHTING SCHEDULE AND FIXTURE CUT SHEETS

SHEET NUMBER
13 OF 13