

Ownership Certificate

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE PROPERTY DESCRIBED HEREON
 SCILEPPI PROPERTIES, LLC, A COLORADO LIMITED LIABILITY COMPANY
 SIGNED THIS 30th DAY OF July, 2025

NOTARY BLOCK
 SUBSCRIBED AND SIGNED TO BEFORE ME THIS 30th DAY OF July, 2025
 BY Louis Scileppi, Member of Scileppi Properties, LLC
 WITNESS MY HAND AND OFFICIAL SEAL:
 NOTARY PUBLIC
 MY COMMISSION EXPIRES June 21, 2026

SHAYLA L. WILLIAMS
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID 20064019602
 MY COMMISSION EXPIRES JUNE 21, 2026

Title Certification

I, Mariann Ingermann, an AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Co., an INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIEN HOLDERS SUBORDINATION CERTIFICATE # AND THE SIGNATORIES IN THE LIENHOLDER SUBORDINATION CERTIFICATE HAVE BEEN VERIFIED.
 AUTHORIZED REPRESENTATIVE
 MARIANN INGERMANN
 LAND TITLE GUARANTEE COMPANY
 TITLE INSURANCE COMPANY

SIGNED THIS 31st DAY OF July, 2025
 NOTARY BLOCK
 SUBSCRIBED AND SIGNED TO BEFORE ME THIS 31st DAY OF July, 2025
 BY Mariann Ingermann, AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company
 WITNESS MY HAND AND OFFICIAL SEAL:
 NOTARY PUBLIC
 MY COMMISSION EXPIRES 4-4-2026

CAROLYN MANNING
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID 20224013264
 MY COMMISSION EXPIRES 04/04/2026

Lienholder Subordination Certificate

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED JULY 21, 2022, AT RECEPTION NO. 2022050280, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.
 Matthew Hoppal

SIGNED THIS 30th DAY OF July, 2025
 NOTARY BLOCK
 SUBSCRIBED AND SIGNED TO BEFORE ME THIS 30th DAY OF July, 2025
 BY Matthew Hoppal
 WITNESS MY HAND AND OFFICIAL SEAL:
 NOTARY PUBLIC
 MY COMMISSION EXPIRES June 21, 2026

SHAYLA L. WILLIAMS
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID 20064019602
 MY COMMISSION EXPIRES JUNE 21, 2026

Design Review Board Approval

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DESIGN REVIEW BOARD OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 23rd DAY OF July, 2025

CHAIR ATTEST: [Signature] DATE: 8/15/25
 DIRECTOR OF DEVELOPMENT SERVICES: [Signature] DATE: 8/15/25

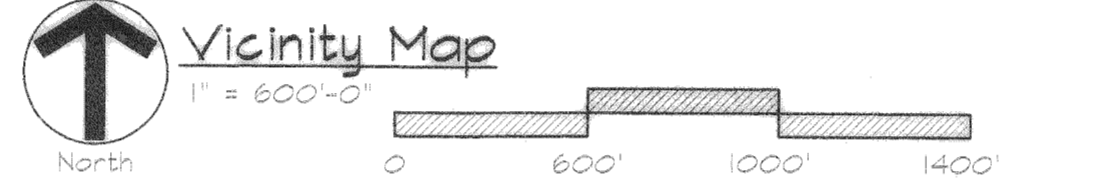
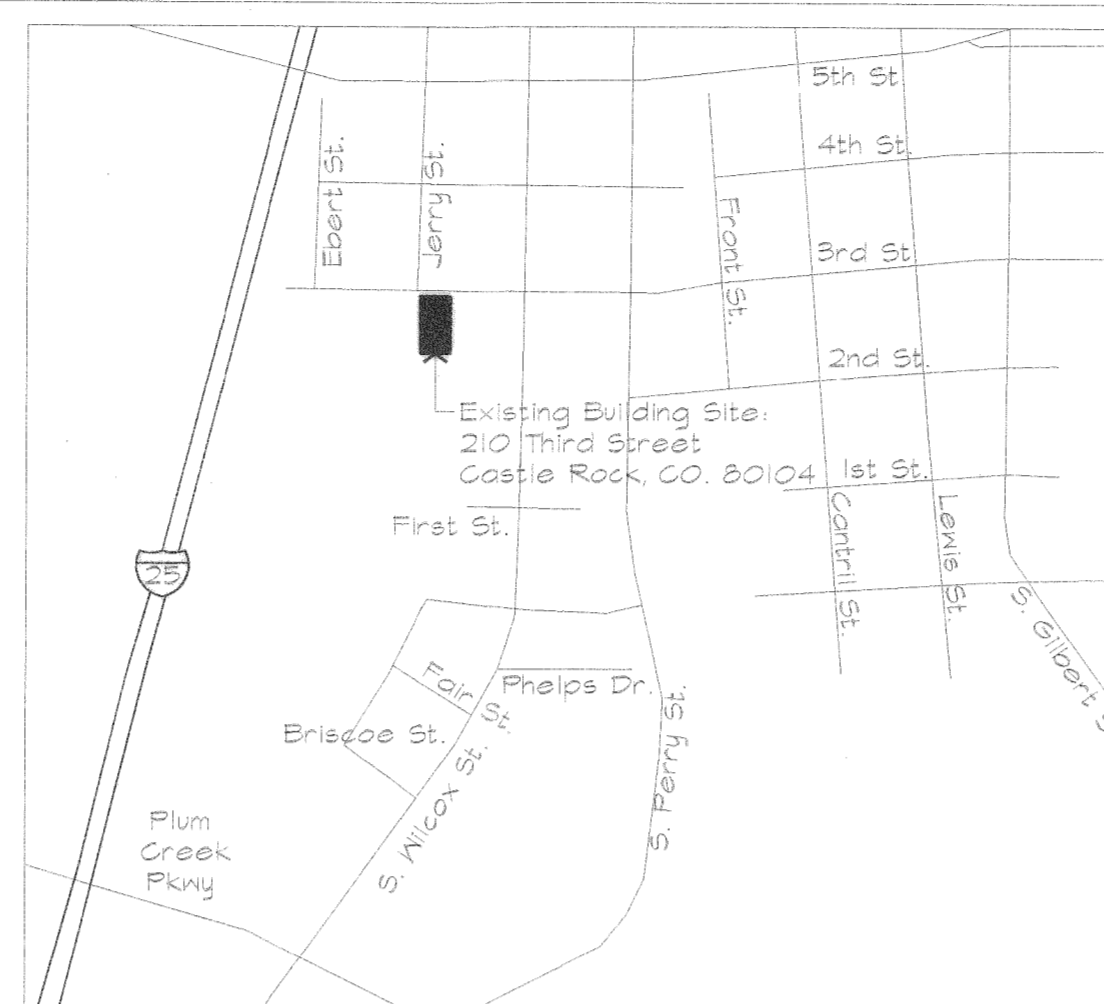
Site Development Plan

General Notes:

- Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval. There may be subsequent amendments.
- This site is zoned B - Business Commercial.
- Retaining walls in common areas or that span multiple lots regardless of size/height must be located in a tract. The retaining walls must be maintained by the HOA or Metro District.
- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to ensure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assignees shall be responsible for the maintenance of all drainage facilities including but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on the property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.
- Pursuant to the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
- Final landscape area, coverage and plant quantities shall meet or exceed quantities represented in this Site Development Plan. Any changes to the approved landscape plans shall require an SDP amendment.
- The number of parking spaces are based on the proposed uses on this Site Development Plan. A change of use to a more parking intensive use as identified in Chapter 11B4 of the Castle Rock Municipal Code or applicable Planned Development Zoning will require an amendment to this Site Development Plan.
- A sign permit for each sign must be obtained from the Town of Castle Rock Zoning Division prior to placing any sign on the property. All signs must comply with the provisions of Title 14 (Sign Code Regulations) of the Municipal Code or applicable Planned Development Zoning regulations.
- Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
- The Developer shall conform to the Town of Castle Rock Water Use Management's Program Implementation Policy, as amended from time to time, for this project.
- No solid objects (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flow line elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.
- All proposed Utility Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan are conceptual and shall be established with a plot or separate document.
- Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to, street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, water meters, fire hydrants and curb boxes as well as perpetual rights for ingress and egress for installation, maintenance and replacement of such lines. Any variation from this requires an approved Technical Criteria Variance.
- All subdivisions shall include adequate easements to accommodate the construction, maintenance and repair of all public access, sidewalks, trails, water supply system, waste water systems, storm water management system and erosion control facilities, telecommunications and other utilities required to provide each utility to each occupied structure in the subdivision.
- No structure shall be constructed over any portions of a reserved Town easement unless a revocable license is approved by the Town and the structure will not interfere with the intended use of the easement.
- Any structures placed in the easement including but not limited to paving, fencing, retaining walls and landscaping shall be removed and replaced by the owner upon the request of the utilities department or private utility company so that maintenance may be performed. The owner of the land shall agree to hold the Town and/or private utility company harmless for any loss of property or landscaping and irrigation removed from the easement or damaged due to maintenance activities and all associated costs.

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 1, BLOCK 23, TOWN OF CASTLE ROCK, AMENDMENT 35
 AMENDING THE SITE DEVELOPMENT PLAN FOR
 LOTS 11 AND 12, BLOCK 23, TOGETHER WITH THE ADJACENT 5 FEET X 140 FEET OF VACATED JERRY STREET
 RIGHT-OF-WAY
 AND LOT 10A, BLOCK 23, TOWN OF CASTLE ROCK
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Zoning Comparison And Development Standards

Zoning:	B - Business Commercial		
Overlay District:	DOD - Downtown Overlay District		
DOD Area:	Core		
Downtown Parking Area	North Non-Residential		
	Requirement	Provided SDP22-0044	Provided This SDP
Minimum Lot Size S.F./Acres	N/A	N/A	N/A
Permitted Uses	Restaurant and Others	Restaurant	Restaurant
Use By S.F.	N/A	Restaurant	Restaurant
Building Ground Coverage	Max 100%	54%	59%
Maximum Lot Coverage	Max 100%	100%	100%
Minimum Front Yard Setback	20-FT	46.7% (16.3 FT EXG)	46.7% (16.3 FT EXG)
Minimum Rear Yard Setback	0-FT	59% (20 FT EXG)	59% (20 FT EXG)
Minimum Side Yard Setback	0-FT	46.7% (16.3 FT EXG)	46.7% (16.3 FT EXG)
Minimum Side Yard to Street Setback	0-FT	43.1% (16 FT EXG)	43.1% (16 FT EXG)
Maximum Building Setback to Roadway	20-Feet - A Minimum of 25% of a Building's Linear Footage Facing a Public Roadway Must Have a Setback of 0 to 20 Feet With a Direct Pedestrian Connection	46.7% (43.3 Linear Footage)	46.7% (43.3 Linear Footage)
Maximum Stories	4-Stories	1-Story	1-Story
Maximum Building Height	60-FT	Approximately 31'-0" to T.O. Existing Chimney @ Church	Approximately 31'-0" to T.O. Existing Chimney @ Church
Minimum Parking	For the North Non-Residential Downtown Parking Area, 1 Parking Space Per 500 Sq. Ft. of New Construction. The First 2,000 Sq. Ft. of New Non-Residential Construction Shall be Exempt From Parking Requirements. Demolished Square Footage Shall Be Deducted From The New Building Square Footage for Parking Calculations.	See Parking Table	See Parking Table
Minimum ADA Parking	1-25 Spaces in Lot Requires 1 ADA Parking Spaces	See Parking Table	See Parking Table
Minimum Bicycle Parking	5% of Total Parking Spaces Provided	See Parking Table	See Parking Table

Site Utilization Table (Show SF/Acreage and %)

Category	Provided SDP22-0044 SF/Acreage	Provided This SDP SF/Acreage	% of Total
Gross Site S.F.	12,087 S.F.	12,087 S.F.	100 %
Building Coverage	6,451 S.F.	6,399 S.F.	53 %
Parking Coverage	1,146 S.F.	1,146 S.F.	9 %
Street Coverage	0 S.F.	0 S.F.	0 %
Landscape Open Space Coverage	1,900 S.F.	1,952 S.F.	17 %
Other Coverage	2,467 S.F.	2,467 S.F.	21 %
TOTAL	12,087 S.F.	12,087 S.F.	100 %

Building Size Table

Description	Square Footage	Square Footage
Basement Existing to Remain	447 S.F.	3,662 S.F.
Main Level Existing	3,042 S.F.	6,451 S.F.
Basement New	2,665 S.F.	No Change
Main Floor New	3,359 S.F.	-52 S.F. (Reduction)
Main Level Existing + New	6,451 S.F.	6,399 S.F.
Basement Existing + New	3,362 S.F.	No Change
Total Existing + New	10,113 S.F.	10,061 S.F.

Name & Addresses

- Owner: Scileppi Properties LLC
 200 Front Street
 Contact: Lou Scileppi
 PH: 303-619-2886
- Plan Preparer: DLH Architecture, LLC
 200 Front Street
 Castle Rock, Colorado 80104
 Contact: Dave Hieronymus
 PH: 303-688-5275
 Email: naibers@dhlarchitecture.com
- Black Hills Energy:
 5496 US-95
 Sedalia, CO 80155
 PH: 303-688-3100
- Town of Castle Rock Public Works:
 4175 N. Castleton Court
 Castle Rock, Colorado 80104
 PH: 720-755-2462
- Castle Rock Water:
 175 Kellogg Court
 Castle Rock, Colorado 80104
 PH: 720-755-6000

Sheet Index

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Legal Description

LOT 1, BLOCK 23, TOWN OF CASTLE ROCK, AND B5

Sheet Index

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A1.0	Existing Site Plan	3	of	4
A2.0	Relief Plan	4	of	4
A3.0	Exterior Elevations	4	of	4

Building Location Summary

Location: 210 Third Street, Castle Rock, CO 80104
 County: Douglas County
 Fire District: Town of Castle Rock Fire Department

Approved Variances

N/A

Purpose Statement

The Recent Addition to the East Side of the Old Stone Church Provided a New Kitchen Area and Dining. This Will Allow for the Existing Kitchen, Bathrooms & Dining Area to be Renovated into a New Dining Area & Bathroom. The Only Impact to the Exterior Elevations the Footprint of the Building is Not Changing. The Existing Patio Will Also Be Renovated. No Grade Changes, Utilities, or Drainage Will Be Changed.

Required Parking

Required Parking Per SDP22-0044	7 Parking Spaces
Total Commercial (Gross S.F.) Per SDP22-0044 Addition	5,704 S.F.
Total Demolished (Gross S.F.)	-52 S.F.
Total Reduced Commercial S.F.	5,652 S.F.
Additional Parking Required With This SDP	0 Parking Spaces
Parking Code	1 Space required for each 500 square feet of net new commercial square footage over 2,000 square feet.

Scileppi's Exterior Renovation
 210 Third Street
 Castle Rock, CO 80104

Project #: 2426
 Date: 6/29/25
 Drawn By: R6B
 Checked By: NNA
 Scale: as noted

Sheet 1 of 4

Cover Sheet
 G1.0

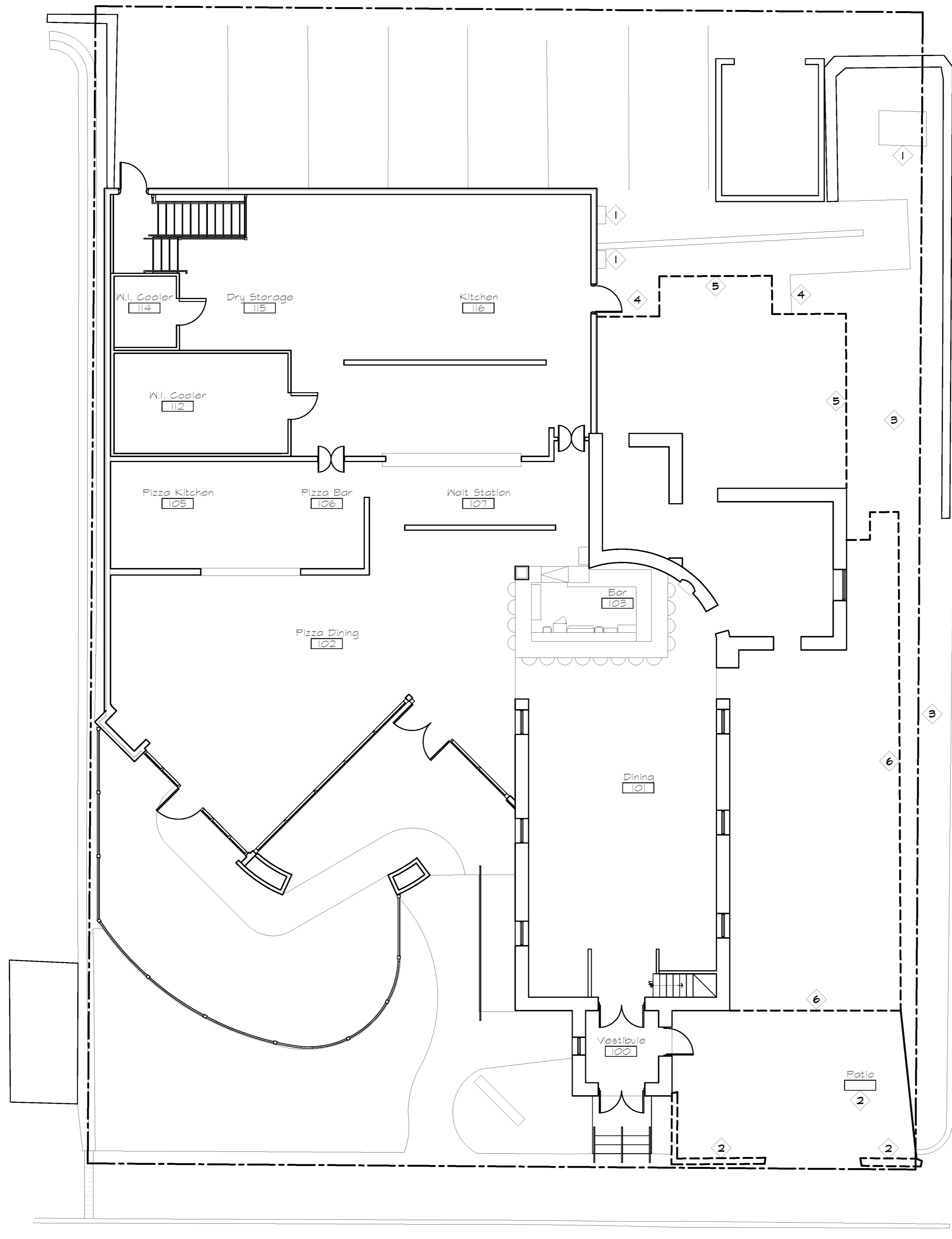
SITE DEVELOPMENT PLAN
 AMENDMENT NO. 1 LOT 1, BLOCK
 23 TOWN OF CASTLE ROCK
 TOWN OF CASTLE ROCK
 PROJECT NO. SDP25-0011

DLH Architecture
 DLH Architecture is a Limited Liability Corporation Established in 1992
 200 Front Street, Castle Rock, CO 80104
 Phone (303) 688-5275

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 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

- #### Key Notes
- ① Existing Transformer, Fused Disconnect, and Electrical Meter Protect To Remain.
 - ② Demo Existing Concrete Patio.
 - ③ Existing Landscaping Gravel to Be Removed and Stored For Reinstallation After Footer Construction.
 - ④ Existing Concrete Sidewalk Demo To Build Foundation to Be Restored After Construction.
 - ⑤ Demo Existing Kitchen Structure.
 - ⑥ Demo Existing Dining Structure.



Rev. #	Description	Date
1	1st Submittal Response	5/3/25
2	2nd Submittal Response	6/29/25
3		
4		
5		
6		

Scileppi's Exterior Renovation
 210 Third Street
 Castle Rock, CO 80104

Project #: 2426
 Date: 6/29/25
 Drawn By: RGB
 Checked By: NWA
 Scale: as noted

Sheet 2 of 4
 Site Demo Plan
 A1.0

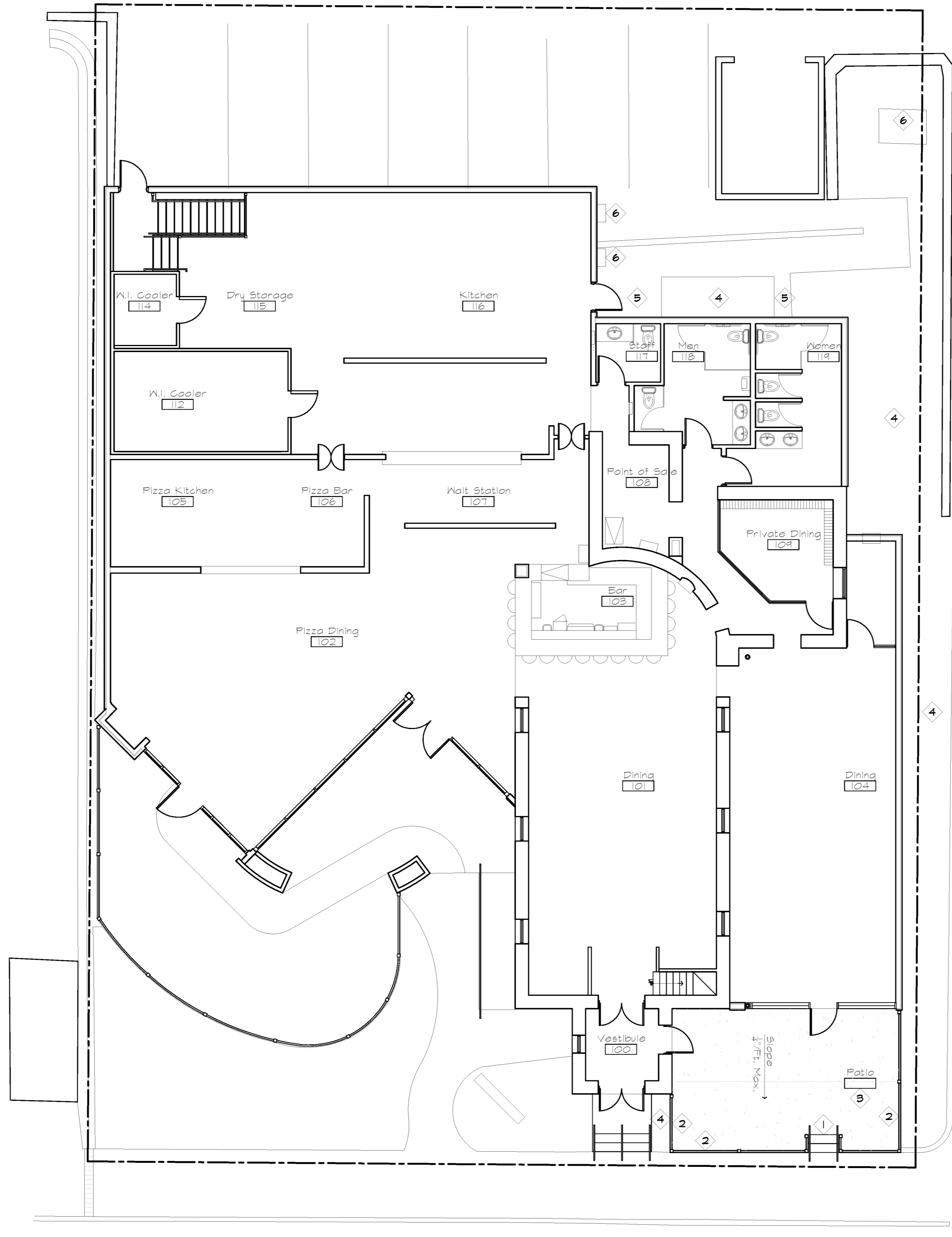
SITE DEVELOPMENT PLAN
 AMENDMENT NO. 1 LOT 1 BLOCK
 23 TOWN OF CASTLE ROCK
 TOWN OF CASTLE ROCK
 PROJECT NO. SDP25-0011

DLFH Architecture
 Planning, Architecture, Consulting and Construction
 200 Pratt Street, Castle Rock, CO 80104
 Phone (303) 688-8273
 DLFH Architecture is a Limited Liability Corporation Established in 1992

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

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 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

- #### Key Notes
- 1 Provide New Concrete Stair and Handrail.
 - 2 Provide New Patio Railing System Match Existing on East Side.
 - 3 Provide New Concrete Patio.
 - 4 Existing Landscaping Gravel to Be Restored After Construction.
 - 5 Existing Concrete Sidewalk to Be Restored After Construction.
 - 6 Existing Transformer, Fused Disconnect, and Electrical Meter Protect To Remain.



Rev. #	Description	Date
1	1st Submittal Response	5/3/25
2	2nd Submittal Response	6/29/25
3		
4		
5		
6		

Scileppi's Exterior Renovation
 210 Third Street
 Castle Rock, CO 80104

Project #: 2426
 Date: 6/29/25
 Drawn By: RGB
 Checked By: NWA
 Scale: as noted

Sheet 3 of 4

**Patio
 A2.0**

SITE DEVELOPMENT PLAN
 AMENDMENT NO. 1 LOT 1 BLOCK
 23 TOWN OF CASTLE ROCK
 TOWN OF CASTLE ROCK
 PROJECT NO. SDP25-0011

