

SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- PER FEMA FIRM MAP 08035C0167G, THE SITE IS WITHIN ZONE X WHICH DESIGNATES AREAS OF 0.2% ANNUAL CHANCE OF FLOODING AND ARE OUTSIDE OF THE 500-YR FLOODPLAIN. WETLANDS DO EXIST ON SITE AND WILL BE REMOVED AND OR MITIGATED IN ACCORDANCE WITH TOWN OF CASTLE ROCK, DOUGLAS COUNTY, AND ACEC REQUIREMENTS BY THE MASTER DEVELOPER.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT. [MODIFY AS APPROPRIATE.]
- THIS SITE IS ZONED PROMENADE AT CASTLE ROCK PLANNED DEVELOPMENT.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

FIRE NOTES

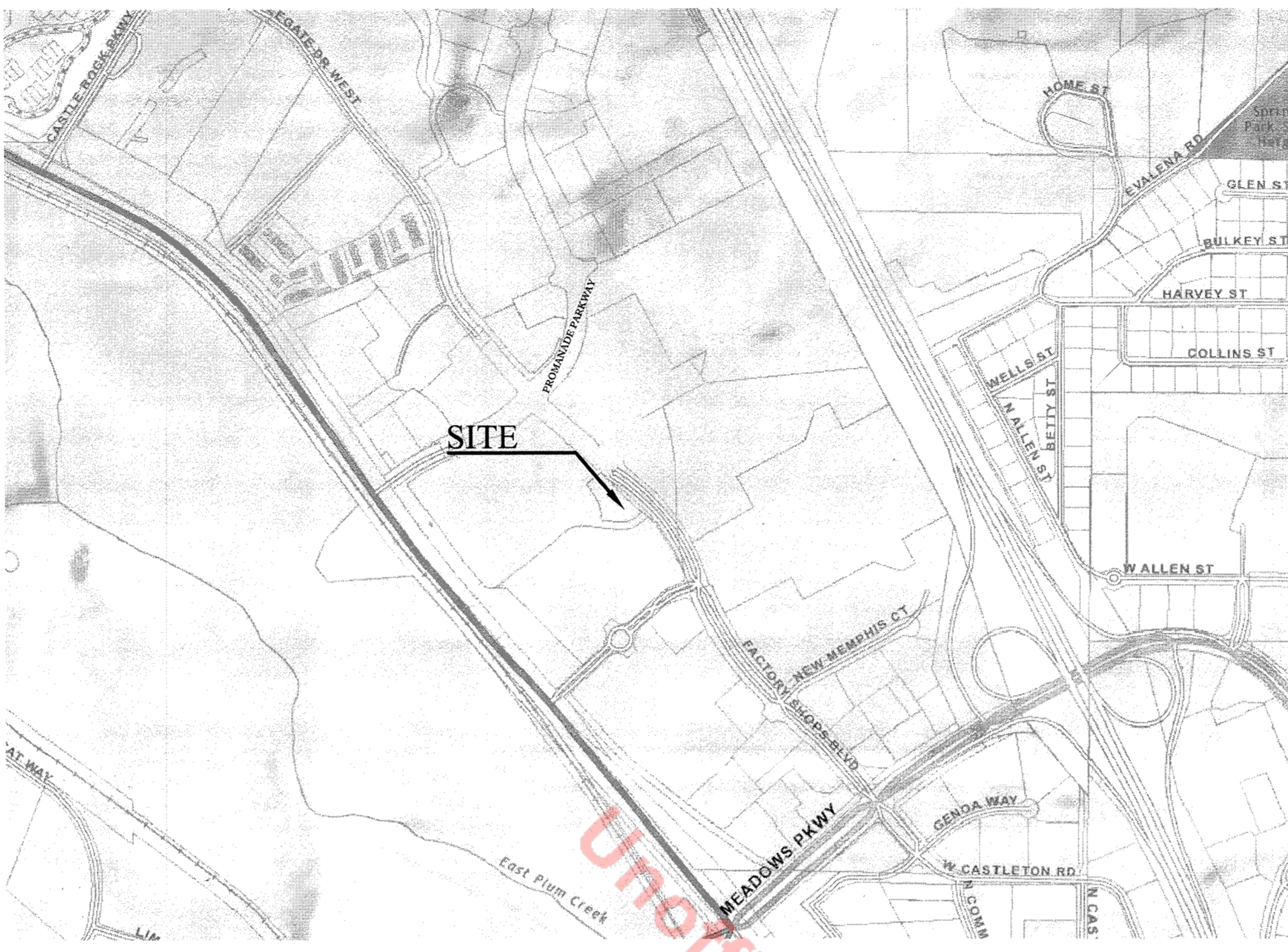
- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

PROPERTY DESCRIPTION:

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No 1 AMENDMENT NO.6, ACCORDING TO THE RECORDED PLAT THEREOF.

SITE DEVELOPMENT PLAN

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No 1
AMENDMENT NO. 6
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



VICINITY MAP NORTH
SCALE 1:600

PROJECT DATA

PROJECT NAME: BANK OF AMERICA - CASTLE ROCK BRANCH
 USE: OFFICE - FINANCIAL INSTITUTION
 NUMBER OF STORIES: 1 STORY 3,820 S.F. (TOTAL A/C AREA)
 BUILDING SQUARE FOOTAGE:
 ZONING: PROMENADE AT CASTLE ROCK PLANNED DEVELOPMENT.

| DEVELOPMENT STANDARDS | | REQUIRED | PROVIDED |
|------------------------------|------------|---|----------------------------------|
| PARCEL AREA AND LOT WIDTH | | NO MINIMUM AREA REQUIRED | |
| BUILDING HEIGHT MAX | | 50 FEET | 35 FEET |
| MINIMUM BUILDING SETBACKS | FRONT (NE) | 0' | 43.7' |
| | REAR (SW) | 0' | 49.4' |
| | SIDES (NW) | 0' | 148.5' |
| | SIDES (SW) | 0' | 51.4' |
| PARKING RATIOS | | 3.5 SPACE /1000SF. OF FLOOR AREA =14 1 SPACE FOR EACH EMPLOYEE = 7 | STANDARDS 90' (9'X18') 33 SPACES |
| ADA PARKING | | 3 STACKING SPACES PER DRIVE UP WINDOW=6 | 6 SPACES |
| BICYCLE PARKING | | 1 PER /25 SPACES =2 SPACES | HANDICAP 90' (9'X18') 2 SPACES |
| | | 5% OF PARKING SPACES = 2 | 4 |
| LAND COVERAGE SUMMARY | | REQUIRED | PROVIDED |
| TOTAL LOT | | SF. | % AC. |
| | | 45,792 | 100 1.05 |
| BUILDING | 25% | 3,820 | 9 0.09 |
| LANDSCAPE AREA (PARKING LOT) | | 4,454 | 10 0.10 |
| LANDSCAPE AREA | 10% MIN. | 13,940 | 30 0.32 |
| PARKING LOT PAVED AREA | | 23,578 | 51 0.54 |

OWNER:
PINYON PINE, LLC
5750 DTC PARKWAY SUITE 210
GREENWOOD VILLAGE, CO 80111
ATTN: PETER M. CUDLIP, PRINCIPAL
PH: 303-771-4004

DEVELOPER:
BANK OF AMERICA, N.A., A NATIONAL BANKING ASSOCIATION.
ADDRESS: 1001 N TRYON ST. CHARLOTTE, NC
ATTN: NELDA MOLINI
PH: (407)629.1188

SURVEYOR
CHAMBERS CONSULTING, INC.
P.O. BOX 339
MORRISON, CO 80465
JAMEE AND GUS CHAMBERS
303-697-0650

CIVIL ENGINEER
H & T CONSULTANTS, INC.
9310 OLD KINGS ROAD SOUTH, SUITE 1001
JACKSONVILLE, FLORIDA 32257
STANLEY HILL, PE
PH: 904-419-1001 FAX: 904-419-1004

LANDSCAPE ARCHITECT
A & K LAND PLANNING & DESIGN, INC.
2621 SUNRISE RIDGE LANE,
JACKSONVILLE, FLORIDA 32211
KRIS REED, RLA
904-476-9692

ABBREVIATION LIST
PROP = PROPOSED
F.F.E.= FINISHED FLOOR ELEVATION
R.O.W.=RIGHT OF WAY
W/=WITH
T.O.W= TOP OF WALL
B.O.W= BOTTOM OF WALL
U.E.=UTILITY EASEMENT

LIENHOLDER SUBORDINATION CERTIFICATE
THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED OCTOBER 28, 2016 AT REC. NO. 2016077568, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.
SIGNED THIS 13th DAY OF January, 2017
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 13rd DAY OF January, 2017 BY Jane Kachadourian AS Managing Director OF THE PRIVATE BANK AND TRUST COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL
Kathleen Wood
NOTARY PUBLIC
MY COMMISSION EXPIRES: 6/30/2019

OWNERSHIP CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.
SIGNED THIS 17th DAY OF January, 2017
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 17th DAY OF January, 2017 BY Donald G. Provost
WITNESS MY HAND AND OFFICIAL SEAL
Kathleen Wood
NOTARY PUBLIC
MY COMMISSION EXPIRES: 6/30/2019

TITLE CERTIFICATION
William Proehmel AN AUTHORIZED REPRESENTATIVE OF Land Title Co. HAS MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATES THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER.
SIGNED THIS 15th DAY OF January, 2017

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 25th DAY OF JAN. 2017 BY William Proehmel AS Land Title
WITNESS MY HAND AND OFFICIAL SEAL
Kathleen Wood
NOTARY PUBLIC
MY COMMISSION EXPIRES: 9/22/2020

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 1:37 PM ON THE 24th DAY OF FEBRUARY, 2017 AT RECEPTION NO. 2017009018.
DOUGLAS COUNTY CLERK AND RECORDER
Gambiano

WATER RIGHTS DEDICATION AGREEMENT
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE PROMENADE AT CASTLE ROCK DEVELOPMENT AGREEMENT, RECORDED ON THE 22ND DAY OF JULY, 2015 AT RECEPTION NO. 2015054692 AND ACCORDINGLY, SFE ARE DEBITED FROM THE WATER BANK.

SURVEYOR'S CERTIFICATE
I, Christopher Pulman, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE SURVEY AND LINES DESCRIBED AND REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION. THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE IS ACCURATELY REPRESENTED BY THIS SURVEY.
SIGNED THIS 12th DAY OF FEBRUARY, 2017
REGISTERED LAND SURVEYOR DATE

CIVIL ENGINEER'S STATEMENT
I, Stanley Hill, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS AND UTILITY STANDARDS.
SIGNED THIS 1/20/17
REGISTERED PROFESSIONAL ENGINEER DATE

STANDARD SIGNATURE BLOCKS
STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 16th DAY OF FEBRUARY, 2017.
A.S.T. David A. ...
DIRECTOR OF DEVELOPMENT SERVICES

PLAN LIST

- C-1 COVER SHEET
- C-2 SITE AND GEOMETRY PLAN
- C-3 GRADING PLAN
- C-4 UTILITY PLAN
- C-5 AUTO-TURN EXHIBIT
- A09.11A BUILDING ELEVATIONS
- A09.11B BUILDING ELEVATIONS
- A00.50 ARCHITECTURAL SITE PLAN
- A00.51 RETAINING WALL DETAILS
- A00.52 EXTERIOR SITE DETAILS
- S01.04 RETAINING WALL PLAN & DETAILS
- S01.05 RETAINING WALL DETAILS
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE DETAILS
- E-0.0 LIGHTING SITE PLANS
- E-0.1 LIGHT FIXTURES AND POLES
- E-0.2 LIGHT FIXTURES
- E-0.3 FLAG POLE AND LIGHT FIXTURE

BANK OF AMERICA
CASTLE ROCK BRANCH
CASTLE ROCK, CO
COVER SHEET
Bank of America
H & T CONSULTANTS, INC.
PLANNING - ENGINEERING
9310 OLD KINGS ROAD SOUTH, SUITE 1001
JACKSONVILLE, FLORIDA 32257
PHONE: 904-419-1001 FAX: 904-419-1004
H & T
JOB NO:
DRAWN: GT
CHECK: SG
DATE: JUNE 2016
PLATE
C-1
PROJECT NUMBER: SDP16-0030
SITE DEVELOPMENT PLAN
LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1
AMENDMENT No. 6
SHEET 1 OF 18

SITE DEVELOPMENT PLAN

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No 1
AMENDMENT No. 6
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

LEGEND

- 1 PROPOSED 5' WIDE X 6' LG. STD CONC. RAMP. DO NOT EXCEED 1:12 MAX RUN SLOPE & 2% MAX. CROSS SLOPE.
- 2 PROPOSED CONC. RAMP 5.3' WIDE X 12.8' LG. DO NOT EXCEED 1:12 MAX RUN SLOPE & 2% MAX. CROSS SLOPE. HANDRAILS AT BOTH SIDES OF RAMP W/12" EXTENSIONS TOP & BOTTOM W/EDGE PROTECTION. SEE ARCHITECTURAL DWG FOR HANDRAIL DETAILS.
- 3 PROPOSED CONC. LANDING AT LEAST AS WIDE AS RAMP /SIDEWALK, AND 5' MIN. LONG. DO NOT EXCEED 2% MAX SLOPE IN ANY DIRECTION. CONSTRUCT PER ADA REQUIREMENTS.
- 4 PROPOSED CONC. SIDEWALK, 5% MAX RUN SLOPE & 2% MAX. CROSS SLOPE.
- 5 PROPOSED GUARD RAIL. SEE ARCHITECTURAL DWG. A00.52 FOR DETAILS.
- 6 CONSTRUCT 18" CURB & GUTTER PER TOWN OF CASTLE ROCK STANDARDS AND REQUIREMENTS.
- 7 PROPOSED VAN ACCESSIBLE HANDICAP PARKING SIGN ON BOLLARD (IN SIDEWALK AT EDGE). CONSTRUCT PER ADA & BANK OF AMERICA STANDARDS AND REQUIREMENTS.
- 8 PROPOSED BIKE RACKS. SEE ARCHITECTURAL DWG. FOR DETAILS
- 9 PROPOSED WHEEL STOP, TYP.

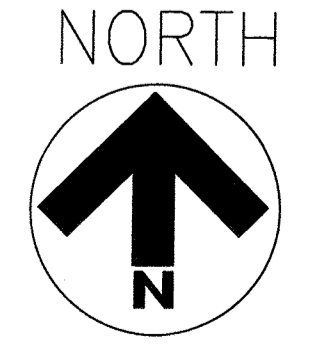
NOTE:
CONSTRUCT TURN DOWN SIDEWALK WHEN ADJACENT TO PAVEMENT AND PARKING.

ZONING:
CASTLE PINES COMMERCIAL
LOT 2, BLOCK 1

| SITE DATA TABLE | | |
|--|---|----------|
| PROJECT DATA LOT 6 BLOCK 1 (1.348 ACRES) | | |
| OWNER: | ALBERTA DEVELOPMENT PARTNERS GREENWOOD VILLAGE, CO 80111 CONTACT: PETER CUDLIP TEL. (303) 771-4004 | |
| AGENT: | H & T CONSULTANTS, INC. 9310 OLD KINGS ROAD SOUTH, SUITE 1001 JACKSONVILLE, FLORIDA 32257 PHONE (904) 419-1001 | |
| PROJECT NAME: BOFA - CASTLE ROCK USE: BANK WITH DRIVE-UP ATMs NUMBER OF STORIES: 1 STORY BUILDING: 50' MAXIMUM ALLOWED HEIGHT SQUARE FOOTAGE: 3,690 S.F. (TOTAL A/C AREA) | | |
| LAND USE DESIGNATION: COMMERCIAL | | |
| ZONING: PD PLANNED DEVELOPMENT | | |
| SETBACK | REQUIRED | PROVIDED |
| FRONT (NE) | 0' | 43.7' |
| REAR (SW) | 0' | 49.4' |
| SIDES (NW) | 0' | 148.5' |
| SIDES (SW) | 0' | 51.4' |
| PARKING DATA: | | |
| USE | REQUIRED | PROVIDED |
| BANK ONLY | 1 SPACE/350 SF+1PER/EMPLOYEE=21 | 33 |
| H.C. | 1 PER /25 SPACES = 2 | 2 |
| STACKING | 3 SPACES PER DRIVE UP WINDOW=6 | 6 |
| TOTAL | | 27 41 |
| LANDSCAPING/OPEN SPACE | | 38% |

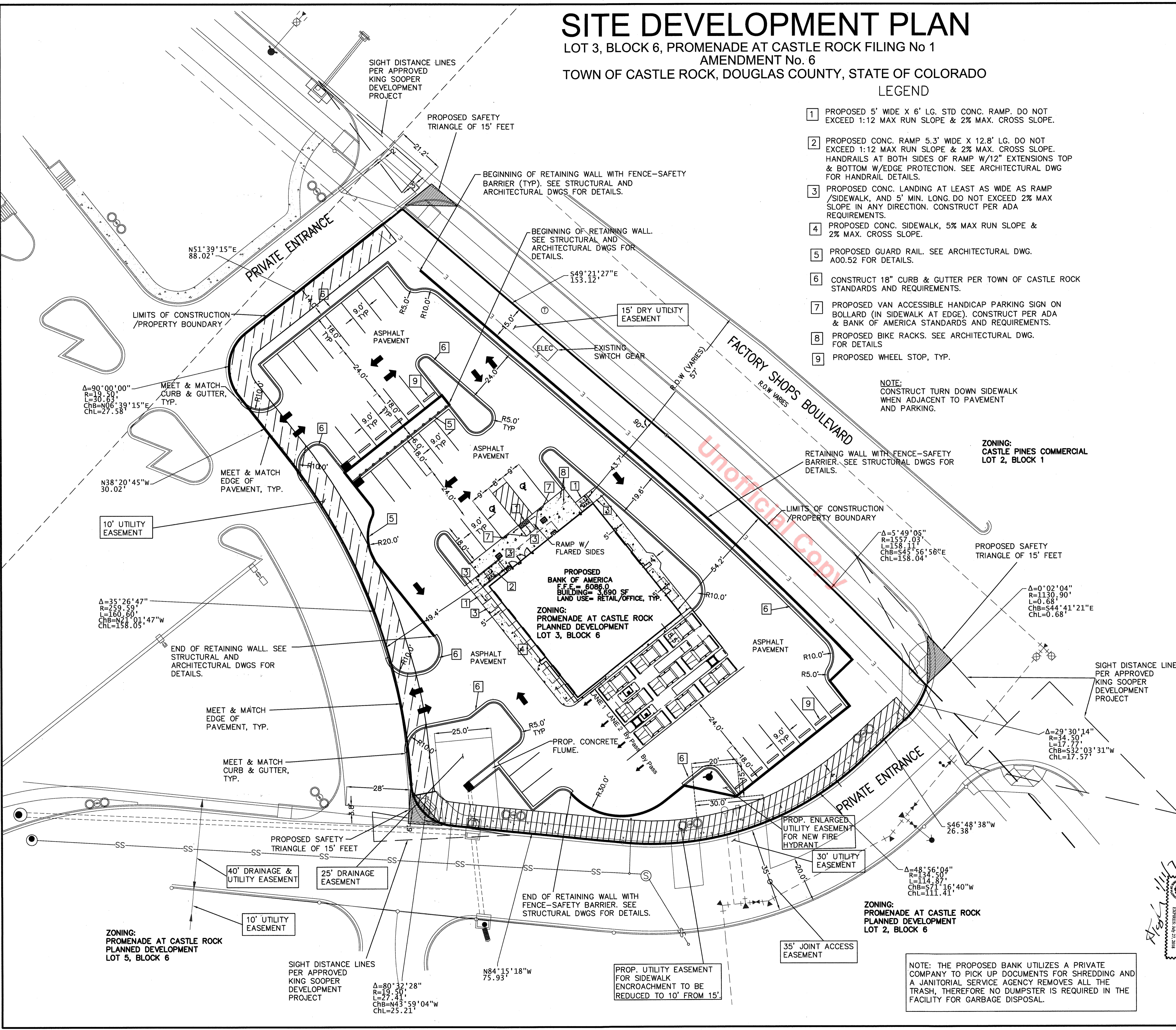
LEGEND

- FIRE HYDRANT
- ELECTRIC POLE
- WATER VALVE
- SANITARY SEWER MANHOLE
- STORM MANHOLE
- TELEPHONE MANHOLE
- ELECTRICAL BOX
- PROPERTY LINE
- CONCRETE SIDEWALK
- EXISTING 10' SIDEWALK ENCROACHMENT EASEMENT
- EXISTING 10' UTILITY EASEMENT
- PROP. BUILDING
- PROP. BUILDING CANOPY
- PROP. 18" CURB & GUTTER
- STORM WATER LINE
- SANITARY SEWER
- WATER LINE
- CATCH BASIN
- EXISTING/CONSTRUCTED EXTERIOR SITE LIGHTING PER APPROVED MASTER PLAN



SCALE: 1"=20'

PROJECT NUMBER: SDPT16-0030
SITE DEVELOPMENT PLAN
LOT 3, BLOCK 6,
PROMENADE AT CASTLE
ROCK FILING No. 1
AMENDMENT No. 6



BANK OF AMERICA
CASTLE ROCK BRANCH
CASTLE ROCK, CO

Bank of America

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PLANNING - ENGINEERING
9310 OLD KINGS ROAD SOUTH, SUITE 1001
JACKSONVILLE, FLORIDA 32257
PHONE: 904-419-1001 FAX: 904-419-1004

H & T

JOB NO:
DRAWN: GT
CHECK: SG
DATE: JUNE 2016
PLATE
C-2
SHEET 2 OF 18

DATE

SITE & GEOMETRY PLAN

SITE DEVELOPMENT PLAN

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1
 AMENDMENT NO. 6
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

LEGEND

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- 8 PROPOSED BIKE RACKS. SEE ARCHITECTURAL DWG. FOR DETAILS

| DRAINAGE STRUCTURE TABLE | | | | | |
|--------------------------|-----------------------------|---------------------|-----------------------|------|---------|
| STRUCTURE | TYPE | GRATE/RIM ELEVATION | PIPE INVERT ELEVATION | | |
| | | | NORTH | EAST | WEST |
| S-1 | CDOT-DENVER 13 VALLEY GRATE | 6078.8 | - | - | 6076.0 |
| DOUBLE S-2 | CDOT-DENVER 13 COMBINATION | 6083.8 | 6075.87 | - | 6075.87 |
| S-3 | CDOT TYPE C GRATE | 6082.0 | 6073.09 | - | 6073.09 |

STORM PIPE TABLE

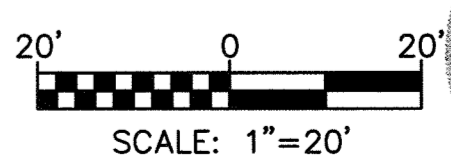
P-1 CONST. 6 L.F. ~ 18" RCP STORM PIPE @ S = 2.0%
 P-2 CONST. 139 L.F. ~ 18" RCP STORM PIPE @ S = 2.0%

GRADING NOTE

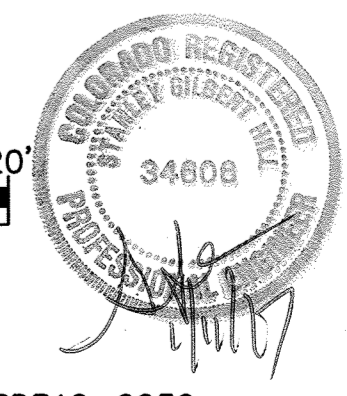
ADD 6000 FEET TO ALL SPOT ELEVATIONS

ROOF & YARD DRAIN CONNECTION NOTES:

- (A) CONST. 12" PVC ROOF DRAIN PIPE AT SLOPE 1.0% MINIMUM AND CONNECT TO "ADS" N-12 STORM LINE OR PROPOSED INLET AS SHOWN ON THE PLAN. PROVIDE CONNECTIONS AS SHOWN. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS.
- (B) CONST. 6" PVC ROOF DRAIN PIPE AT SLOPE 1.0% MINIMUM AND CONNECT TO "ADS" N-12 STORM LINE AS SHOWN ON THE PLAN. PROVIDE PIPE TURN UPS AT DOWNSPOUTS AS SHOWN. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS.
- (C) CONSTRUCT 6" PVC CLEANOUT WITH TRAFFIC BEARING TOP TYPICAL. SEE DETAIL ON THIS SHEET.



ASHLEY TAYLOR
 MY COMMISSION # 1714566
 EXPIRES: JULY 27, 2018



PROJECT NO. SDP16-0030
 SITE DEVELOPMENT PLAN
 LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No.1
 AMENDMENT NO.6

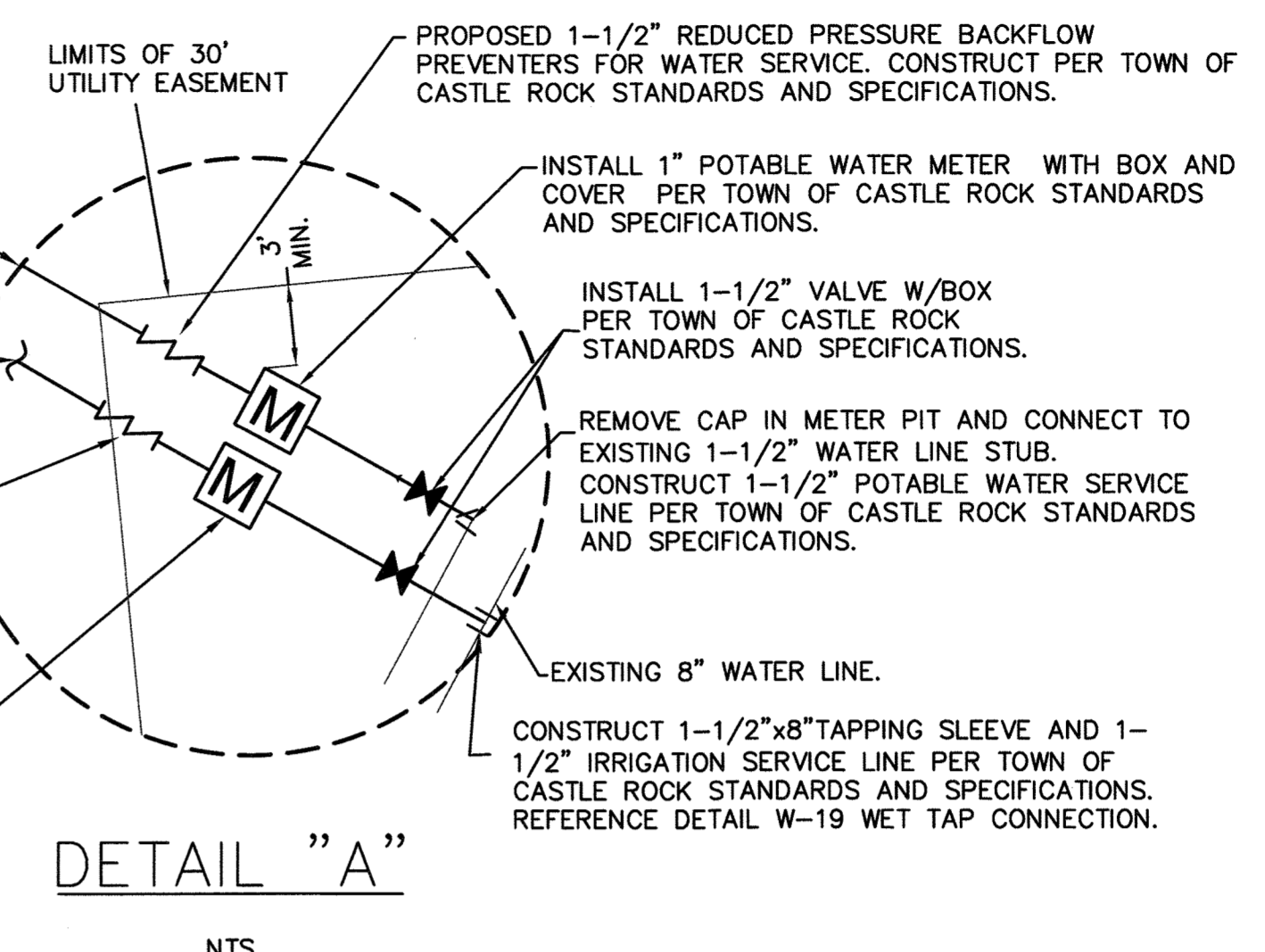
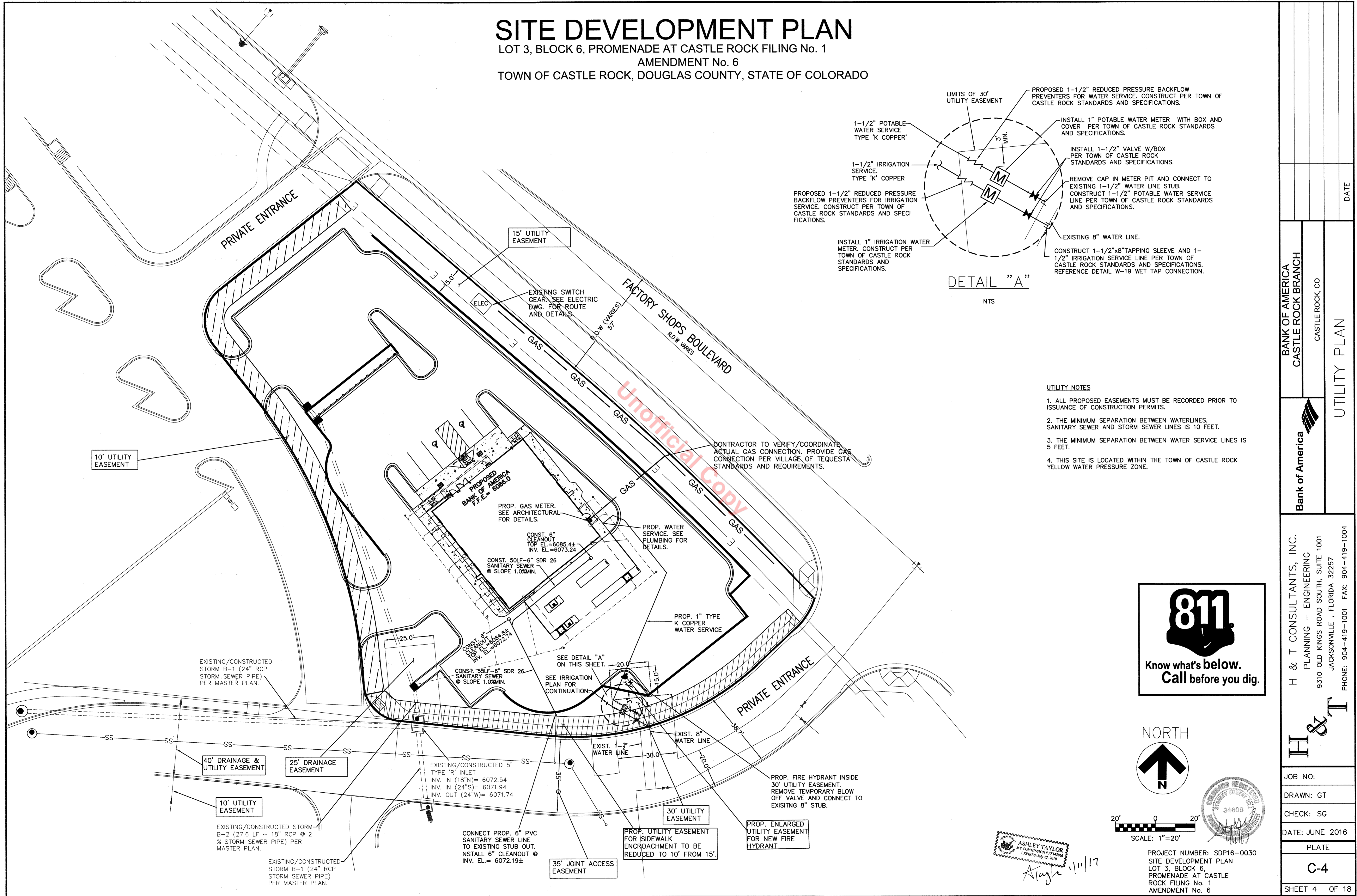
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|--|-----------------|--------------|-----------------|---------------|
| | | | | |
| BANK OF AMERICA CASTLE ROCK BRANCH CASTLE ROCK, CO | Bank of America | GRADING PLAN | | |
| H & T CONSULTANTS, INC. PLANNING - ENGINEERING 9310 OLD KINGS ROAD SOUTH, SUITE 1001 JACKSONVILLE, FLORIDA 32257 PHONE: 904-419-1001 FAX: 904-419-1004 | | | | |
| JOB NO: | DRAWN: GT | CHECK: SG | DATE: JUNE 2016 | PLATE |
| | | | | C-3 |
| | | | | SHEET 3 OF 18 |

SITE DEVELOPMENT PLAN

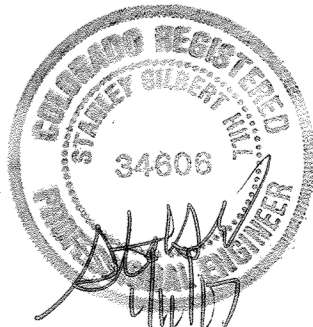
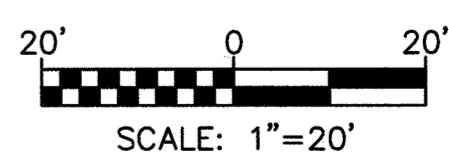
LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1

AMENDMENT No. 6

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



- UTILITY NOTES**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.



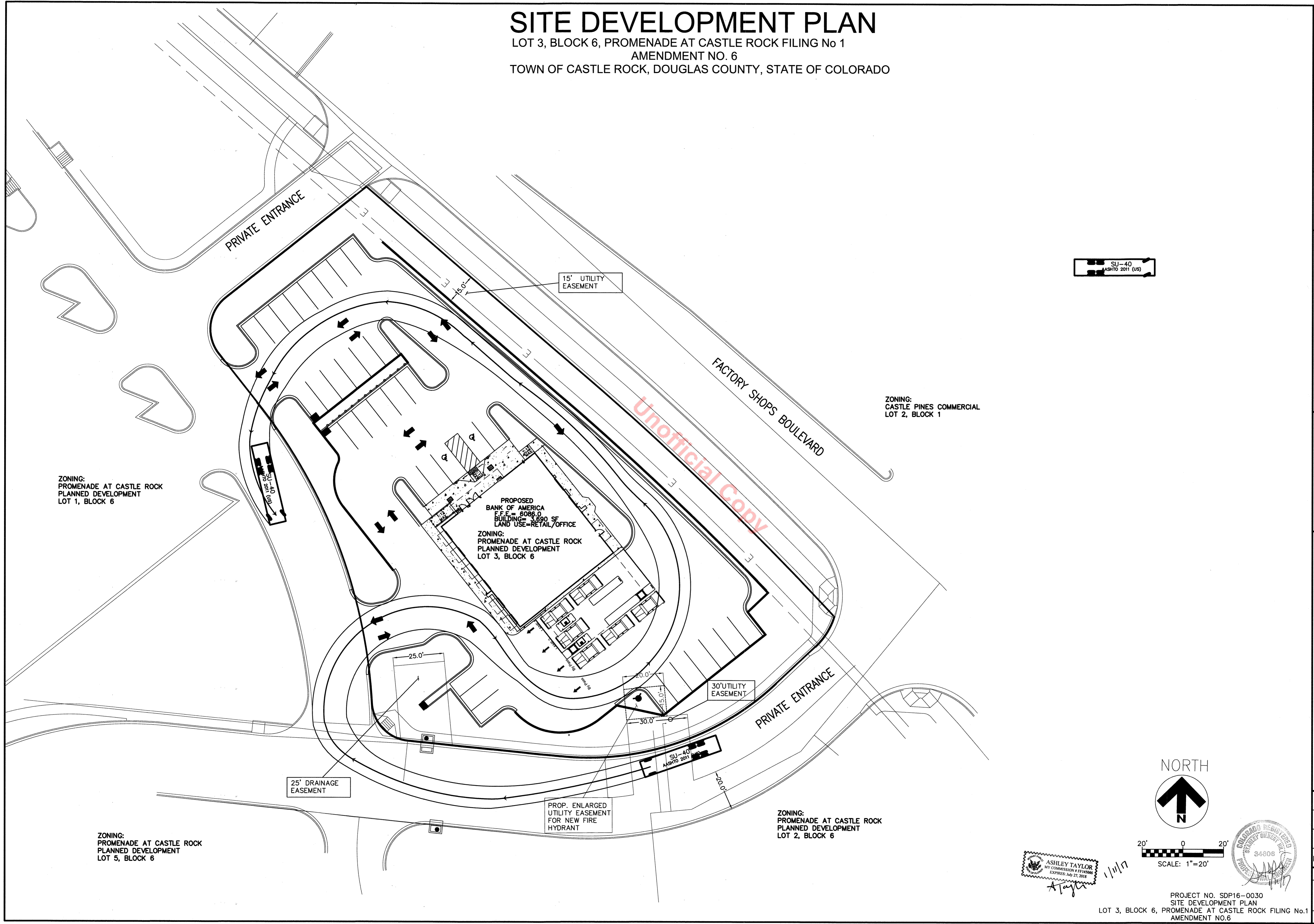
ASHLEY TAYLOR
 CIVIL ENGINEER
 No. 34806
 EXPIRES: July 27, 2018
Atyler 11/17

PROJECT NUMBER: SDP16-0030
 SITE DEVELOPMENT PLAN
 LOT 3, BLOCK 6,
 PROMENADE AT CASTLE
 ROCK FILING No. 1
 AMENDMENT No. 6

| | | |
|--|--------------|------|
| BANK OF AMERICA CASTLE ROCK BRANCH CASTLE ROCK, CO | | DATE |
| Bank of America | UTILITY PLAN | |
| H & T CONSULTANTS, INC. PLANNING - ENGINEERING 9310 OLD KINGS ROAD SOUTH, SUITE 1001 JACKSONVILLE, FLORIDA 32257 PHONE: 904-419-1001 FAX: 904-419-1004 | | |
| JOB NO: | | |
| DRAWN: GT | | |
| CHECK: SG | | |
| DATE: JUNE 2016 | | |
| PLATE | | |
| C-4 | | |
| SHEET 4 | OF 18 | |

SITE DEVELOPMENT PLAN

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No 1
 AMENDMENT NO. 6
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



| | | | |
|--|--|-------------------|-------|
| BANK OF AMERICA CASTLE ROCK BRANCH CASTLE ROCK, CO | | AUTO-TURN EXHIBIT | DATE |
| Bank of America | | | |
| H & T CONSULTANTS, INC. PLANNING - ENGINEERING 9310 OLD KINGS ROAD SOUTH, SUITE 1001 JACKSONVILLE, FLORIDA 32257 PHONE: 904-419-1001 FAX: 904-419-1004 | | JOB NO: | |
| | | DRAWN: GT | |
| | | CHECK: SG | |
| | | DATE: JUNE 2016 | |
| | | PLATE | |
| | | C-5 | |
| PROJECT NO. SDP16-0030 SITE DEVELOPMENT PLAN LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No.1 AMENDMENT NO.6 | | SHEET 5 | OF 18 |

SITE DEVELOPMENT PLAN

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1
AMENDMENT NO. 6
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

EXTERIOR FINISH SCHEDULE

EXTERIOR STONE
STN-1 : PC-4 PACIFIC CAST STONE T-9702R
STN-2 : ST-4 ASH STONE
STN-3 : ST-6 RENAISSANCE NUTMEG

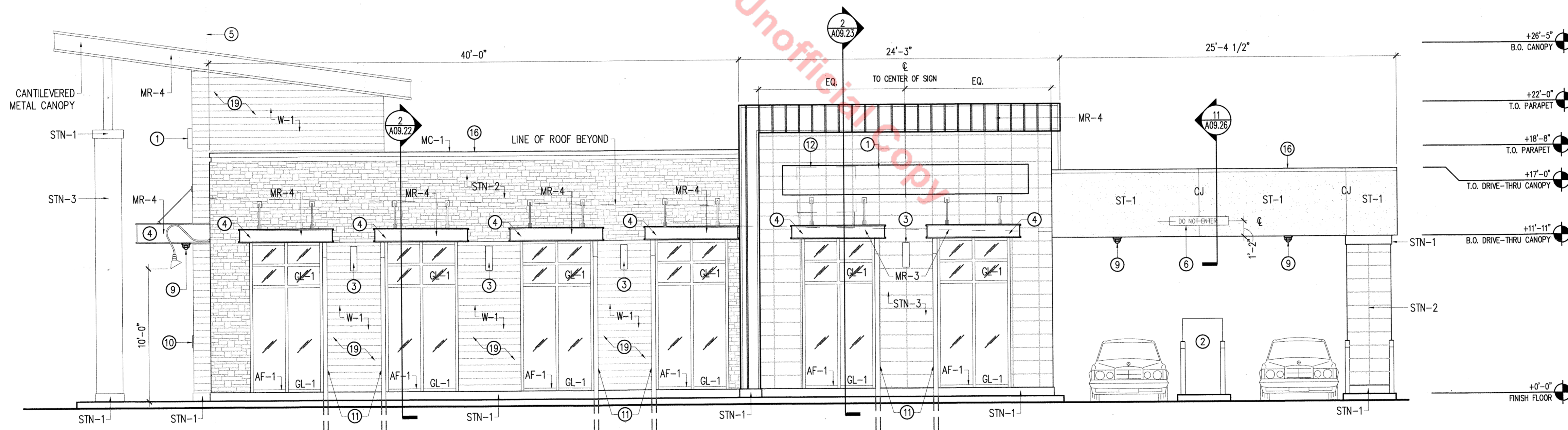
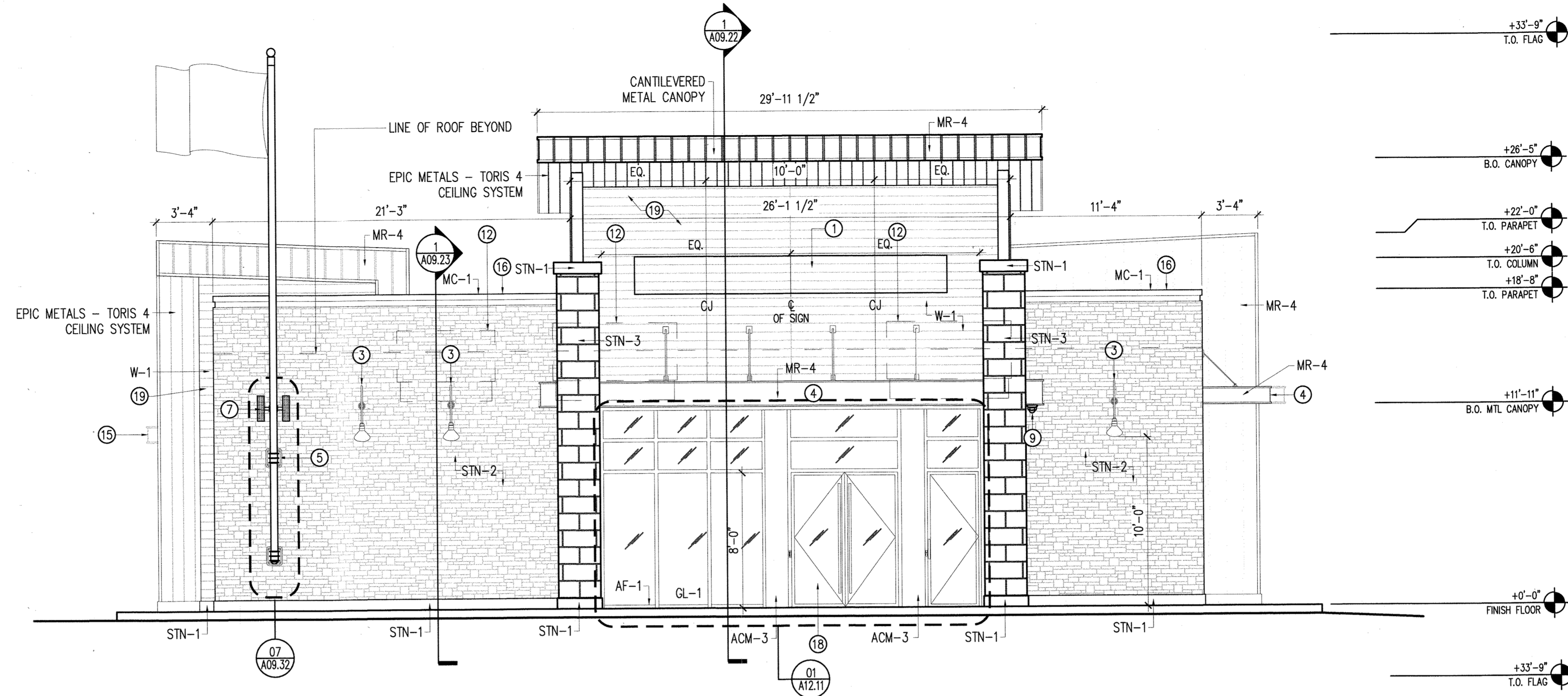
EXTERIOR STUCCO
ST-1 : E-2 DRYVIT # 104
CJ - CONTROL JOINT

EXTERIOR WOOD
W-1 NICHHA ROUGHSAWN -CEMENT CLADDING SYSTEM, 18" X 220", COLOR: TOBACCO
INSTALLATION:
LAP SIDING; GC TO REFERENCE NICHHA ARCHITECTURAL WALL PANELS INSTALLATION GUIDE: AMP-3030-HORIZONTAL AND FOLLOW SECTION 07 46 46 OF THE SPECIFICATIONS.

METAL ROOF/CANOPY
MR-4 ZINC GRAY

STOREFRONT
AF-1 : CLEAR ANODIZED FINISH
METAL COPING
MC-1 MF-4 ZINC GRAY

01 NORTH ELEVATION
1/4" = 1'-0"



02 WEST ELEVATION
1/4" = 1'-0"

KEY NOTES

- 1 BANK OF AMERICA SIGN BY OWNER
- 2 DRIVE THROUGH ATM
- 3 LIGHTING FIXTURE TO MATCH DEVELOPER DESIGN INTENT
- 4 PREFAB METAL CANOPY. COLOR TO MATCH DEVELOPMENT MF-4 ZINC GRAY
- 5 FLAG POLE, WALL MOUNTED, PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 6 S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- 7 TUNNEL LIGHT FIXTURE MOUNTED ON OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE.
- 9 EXTERIOR SECURITY CAMERA
- 10 COORDINATE WITH FIRE OFFICIAL THE MOUNTING HEIGHT AND LOCATION PRIOR TO INSTALLATION.
- 11 DOWNSPOUTS TO STORM - VERIFY WITH CANOPY MANUF. FOR CONNECTIONS. PAINT TO MF-4 ZINC GREY.
- 12 PROFILE OF ROOF TOP UNITS TYPICAL FOR REFERENCE
- 13 NOT USED
- 14 NOT USED
- 15 CANOPY AT REAR ENTRY DOOR
- 16 METAL COPING
- 17 DOOR BEYOND
- 18 DOOR MOUNTED SIGNAGE BEYOND. READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER.
- 19 W-1 NICHHA ROUGHSAWN -CEMENT CLADDING SYSTEM, 18" X 220", COLOR: TOBACCO
INSTALLATION:
LAP SIDING; GC TO REFERENCE NICHHA ARCHITECTURAL WALL PANELS INSTALLATION GUIDE: AMP-3030-HORIZONTAL AND FOLLOW SECTION 07 46 46 OF THE SPECIFICATIONS.

GENERAL NOTE:
BUILDING ELEVATIONS, INCLUDING SIGNAGE, MATERIALS, COLORS, AND MATERIAL CONFIGURATION SUBJECT TO PROMENADE AT CASTLE ROCK ARCHITECTURAL DESIGN GUIDELINES AND STANDARDS AUTHORITY HAVING JURISDICTIONAL(AHJ) APPROVAL.

SHEET NOTES

- A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.
- D. REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM
- E. NOT USED
- F. REFER TO DETAIL 1/A09.32 FOR TYP. WINDOW FLASHING DETAILS

PROJECT NO. SDP16-0030
SITE DEVELOPMENT PLAN
LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No.1
AMENDMENT NO.6

Bank of America Castle Rock New Store - Signature

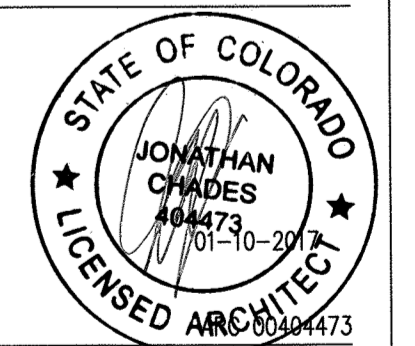
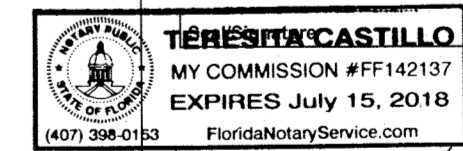
Lot 3, block 6A
Castle Rock, CO 80108

SERIAL NUMBER: COW-094
NRSP VERSION: 2.0
BULLETIN: 03 - 09. 26.2016

ARCHITECTURAL DESIGN COLLABORATIVE
945 North Pennsylvania Avenue
Winter Park, Florida 32789
(407) 629-1188
(407) 388-1220

| Issue | Client Date & Issue Description | By | Check |
|-------|---------------------------------|-------|--------|
| 01 | 08/29/16 | MF | JFP/NM |
| | SCHEMATIC DESIGN REVIEW | | |
| 02 | 09/28/16 | MF/PG | JFP/NM |
| | DESIGN DEVELOPMENT REVIEW | | |
| 03 | 10/28/16 | MF/PG | JFP/NM |
| | CONSTRUCTION DOCUMENT REVIEW | | |

| Issue | Jurisdiction Date & Issue Description | By | Check |
|-------|---------------------------------------|-------|-------|
| 01 | 11/01/2016 | PG | NM |
| | PERMIT ISSUE SET | | |
| 1 | 09/14/16 | YM | NM |
| | LANDLORD SUBMITTAL | | |
| 1 | 09/30/16 | YM | NM |
| | SITE PLAN SUBMITTAL | | |
| 02 | 11/14/16 | PG/YM | NM |
| | SITE PLAN RE-SUBMITTAL REV. 2 | | |
| 03 | 12/19/16 | PG/YM | NM |
| | SITE PLAN RE-SUBMITTAL REV. 3 | | |



JONATHAN CHADES
STATE OF COLORADO
PROJECT NAME
Castle Rock
Prototype Layout
New Store
Project Number
16152
CAD File Name
X:\dwp\16152 Castle Rock\CAD\SHEETS\A09-11A City of Castle Rock.dwg
Description
EXTERIOR ELEVATIONS

Scale

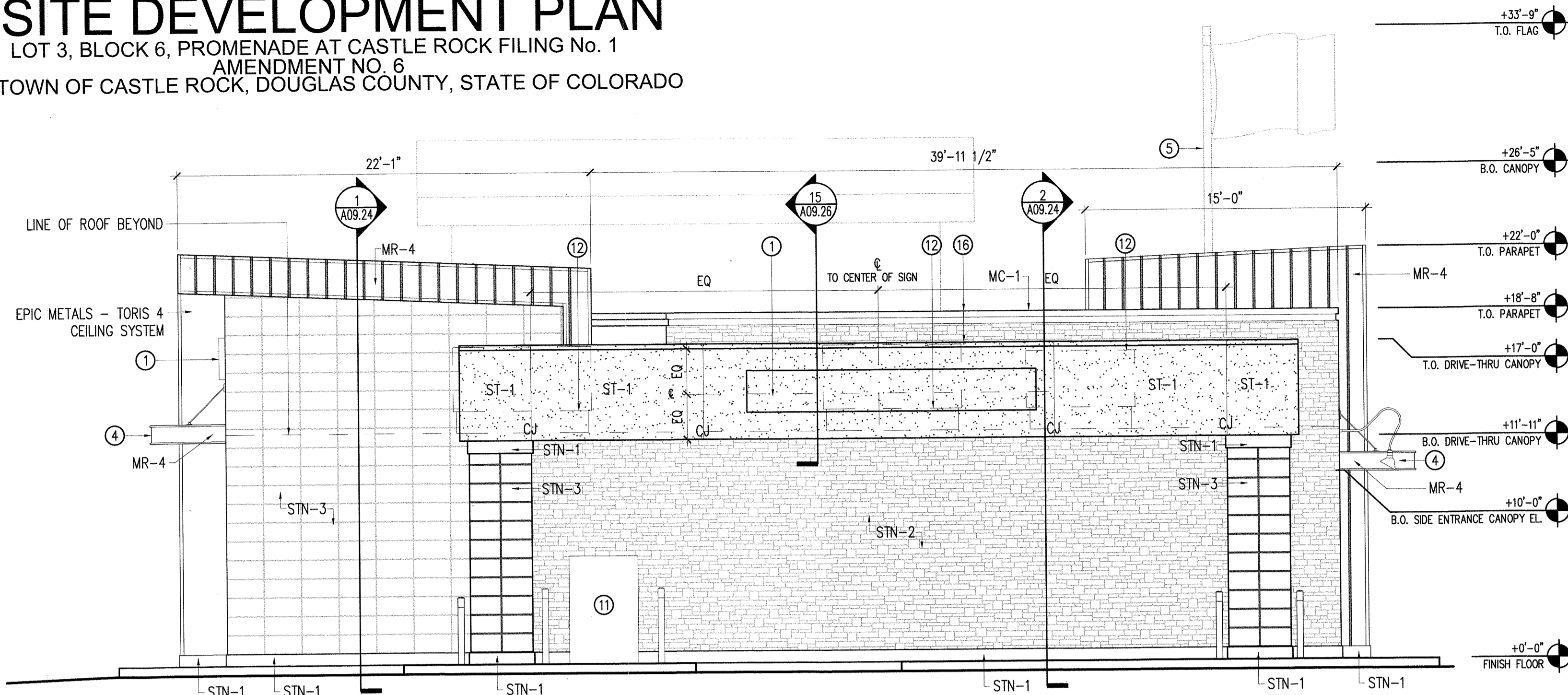
A09.11A

SITE DEVELOPMENT PLAN

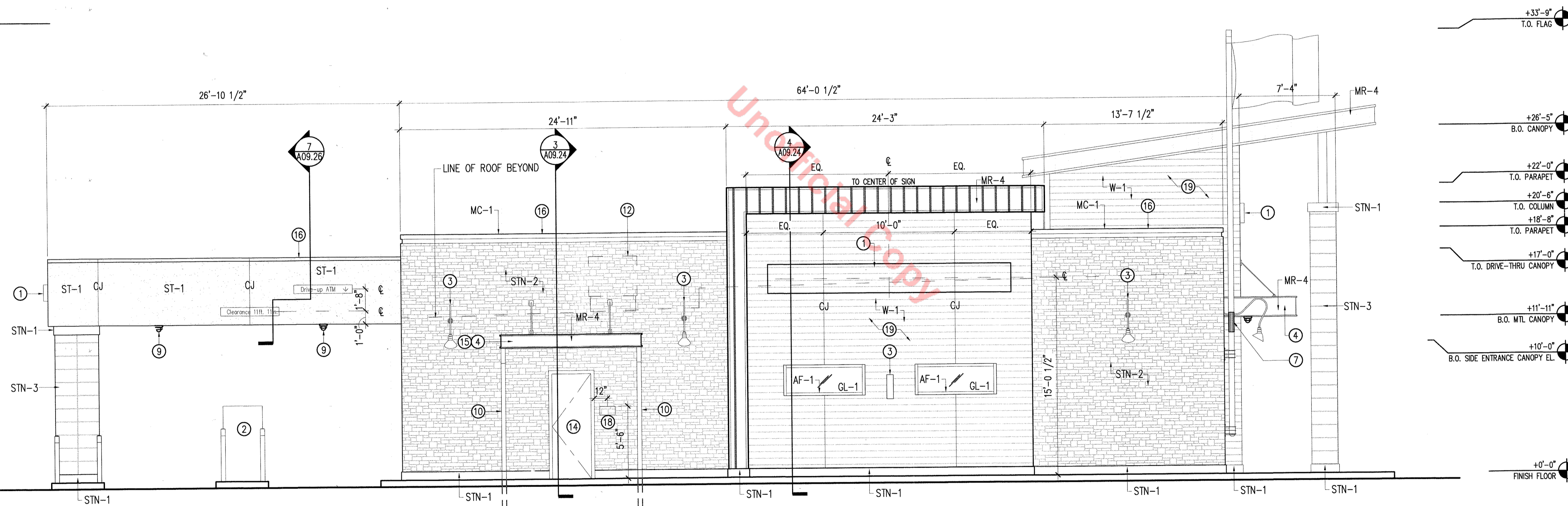
LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1
AMENDMENT NO. 6
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

EXTERIOR FINISH SCHEDULE

- EXTERIOR STONE**
 STN-1 : PC-4 PACIFIC CAST STONE T-9702R
 STN-2 : ST-4 ASH STONE
 STN-3 : ST-6 RENAISSANCE NUTMEG
- EXTERIOR STUCCO**
 ST-1 : E-2 DRYWIT # 104
 CJ - STUCCO CONTROL JOINT
- EXTERIOR WOOD**
 W-1 NICHHA ROUGHSAWN -CEMENT CLADDING SYSTEM, 18" X 220", COLOR: TOBACCO
INSTALLATION:
 LAP SIDING; GC TO REFERENCE NICHHA ARCHITECTURAL WALL PANELS INSTALLATION GUIDE: AWP-3030-HORIZONTAL AND FOLLOW SECTION 07 46 46 OF THE SPECIFICATIONS.
- METAL CANOPY**
 MR-4 ZINC GRAY
- STOREFRONT**
 AF-1 : CLEAR ANODIZED FINISH
- METAL COPING**
 MC-1 MF-4 ZINC GRAY



01 SOUTH ELEVATION
1/4" = 1'-0"



02 EAST ELEVATION
1/4" = 1'-0"

**Bank of America
Castle Rock
New Store - Signature**

Lot 3, block 6A
Castle Rock, CO 80108

SERIAL NUMBER: COW-094
 NRSP VERSION: 2.0
 BULLETIN: 03 - 09. 26.2016

ARCHITECTURAL DESIGN COLLABORATIVE
 945 North Pennsylvania Avenue
 Winter Park, Florida 32789
 (407) 629-1188
 (407) 388-1220

| Issue | Client Date & Issue Description | By | Check |
|-------|---------------------------------|-------|--------|
| 01 | 08/29/16 | MF | JFP/NM |
| 02 | 09/28/16 | MF/PG | JFP/NM |
| 03 | 10/28/16 | MF/PG | JFP/NM |

| Issue | Jurisdiction Date & Issue Description | By | Check |
|-------|---------------------------------------|-------|-------|
| 01 | 11/01/2016 | PG | NM |
| 1 | 09/14/16 | YM | NM |
| 1 | 09/30/16 | YM | NM |
| 02 | 11/14/16 | PG/YM | NM |
| 03 | 12/19/16 | PG/YM | NM |

KEY NOTES

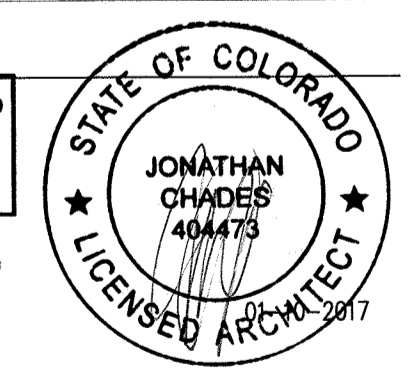
- 1 BANK OF AMERICA BY OWNER
- 2 DRIVE THROUGH ATM
- 3 LIGHTING FIXTURE TO MATCH DEVELOPER DESIGN INTENT
- 4 PREFAB METAL CANOPY. COLOR TO MATCH DEVELOPMENT MF-4 ZINC GRAY
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- 9 EXTERIOR SECURITY CAMERA
- 10 DOWNSPOUTS TO STORM - VERIFY WITH MANUF. FOR CONNECTIONS. PAINT TO MF-4 ZINC GRAY.
- 11 FUTURE DRIVE UP ATM
- 12 PROFILE OF ROOF TOP UNITS TYPICAL FOR REFERENCE
- 13 NOT USED
- 14 DOORS PAINTED TO MATCH MF-4 ZINC GRAY
- 15 CANOPY AT SIDE ENTRY DOOR
- 16 PREFINISHED METAL COPING
- 17 NOT USED
- 18 WALL MOUNTED SIGNAGE BEYOND. READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER.
- 19 W-1 NICHHA ROUGHSAWN -CEMENT CLADDING SYSTEM, 18" X 220", COLOR: TOBACCO
INSTALLATION:
 LAP SIDING; GC TO REFERENCE NICHHA ARCHITECTURAL WALL PANELS INSTALLATION GUIDE: AWP-3030-HORIZONTAL AND FOLLOW SECTION 07 46 46 OF THE SPECIFICATIONS.

GENERAL NOTE:
 BUILDING ELEVATIONS, INCLUDING SIGNAGE, MATERIALS, COLORS, AND MATERIAL CONFIGURATION SUBJECT TO PROMENADE AT CASTLE ROCK ARCHITECTURAL DESIGN GUIDELINES AND STANDARDS AUTHORITY HAVING JURISDICTIONAL(AHJ) APPROVAL.

SHEET NOTES

- A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.
- D. REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM
- E. NOT USED
- F. REFER TO DETAIL 1/A09.32 FOR TYP. WINDOW FLASHING DETAILS

Seal/Signature
TERESITA CASTILLO
 MY COMMISSION #FF142137
 EXPIRES July 15, 2018
 FloridaNotaryService.com



JONATHAN CHADES, R.A.
 STATE OF COLORADO
 Project Name: ARC 00404473

Castle Rock
 Prototype Layout

New Store
 Project Number

16152
 CAD File Name

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Description
 EXTERIOR ELEVATIONS

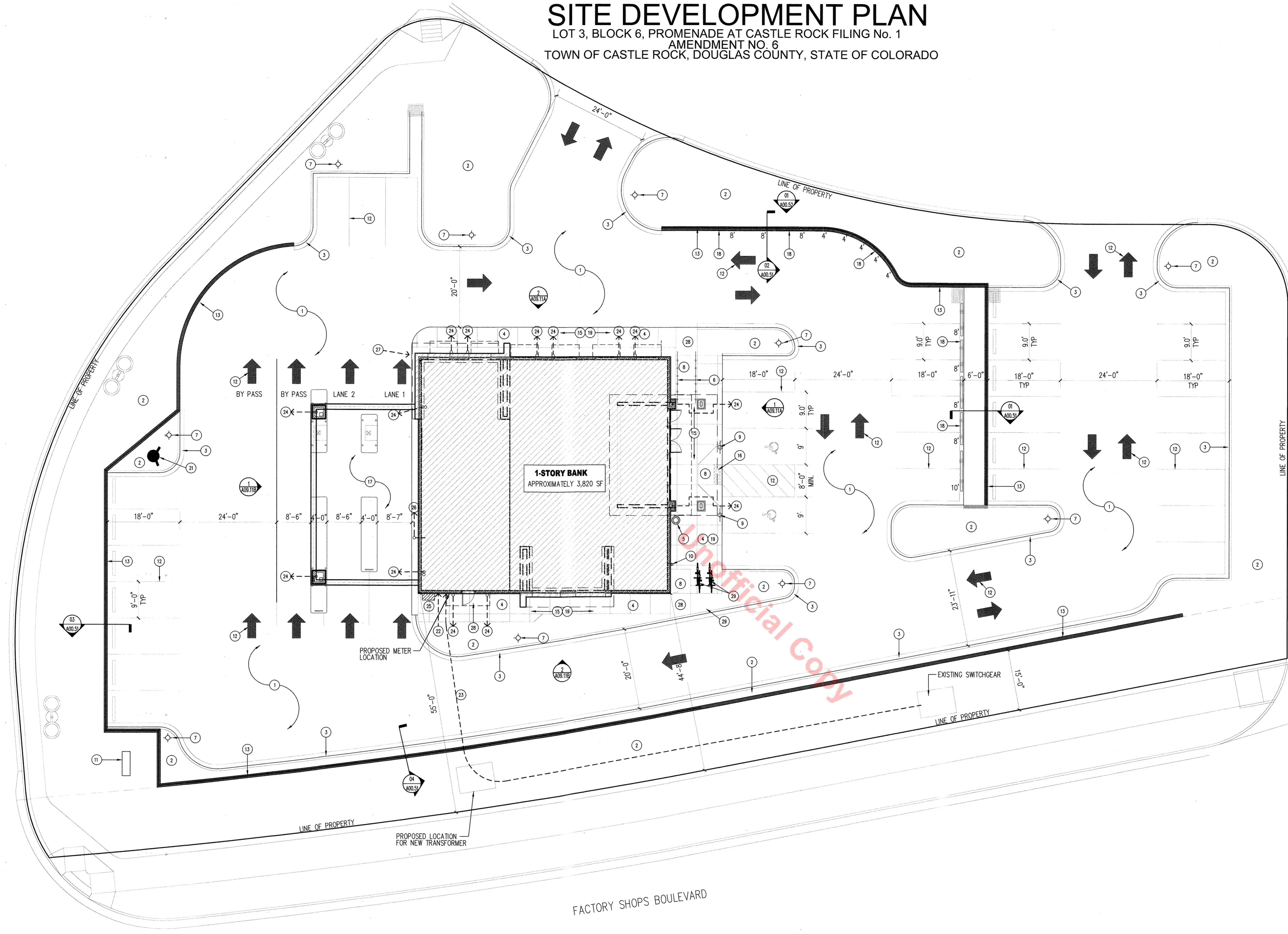
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PROJECT NO. SDP16-0030
 SITE DEVELOPMENT PLAN
 LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No.1
 AMENDMENT NO.6

A09.11B

SITE DEVELOPMENT PLAN

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1
 AMENDMENT NO. 6
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



Bank of America Castle Rock New Store - Signature

Lot 3, block 6A
 Castle Rock, CO 80108

SERIAL NUMBER: COW-094
 NRSP VERSION: 2.0
 BULLETIN: 03 - 09. 26.2016

ARCHITECTURAL DESIGN COLLABORATIVE
 945 North Pennsylvania Avenue
 Winter Park, Florida 32789
 (407) 629-1188
 (407) 388-1220

| Issue | Client Date & Issue Description | By | Check |
|-------|---------------------------------------|-------|--------|
| 01 | 08/29/16 SCHEMATIC DESIGN REVIEW | MF | JFP/NM |
| 02 | 09/28/16 DESIGN DEVELOPMENT REVIEW | MF/PG | JFP/NM |
| 03 | 10/28/16 CONSTRUCTION DOCUMENT REVIEW | MF/PG | JFP/NM |

| Issue | Jurisdiction Date & Issue Description | By | Check |
|-------|--|-------|-------|
| 01 | 11/01/2016 PERMIT ISSUE SET | PG | NM |
| 02 | 11/14/16 SITE PLAN RE-SUBMITTAL REV. 2 | PG/YM | NM |
| 03 | 12/19/16 SITE PLAN RE-SUBMITTAL REV. 3 | PG/YM | NM |

KEY NOTES

- 1 ASPHALT PAVING - REFER TO CIVIL.
- 2 LANDSCAPING - SEE LANDSCAPE PLAN
- 3 18" CONCRETE CURB AND GUTTER - SEE CIVIL DRAWINGS.
- 4 CONCRETE SIDEWALK - CJ @ 5'-0" O.C., TYPICAL
- 5 ASH URN PER SPECIFICATION. INSTALL PER MANUFACTURER RECOMMENDATION
- 6 PROPOSED ADA COMPLIANT HANDRAILS AT BOTH SIDES OF RAMP W/12" EXTENSIONS TOP & BOTTOM W/EDGE PROTECTION.
- 7 SITE LIGHT POLE - SEE ELEC. CONTRACTOR TO CONFIRM SITE LIGHTING FIXTURES WITH THOSE ORDERED AND INSTALLED FOR THE DEVELOPMENT WHEN REQUIRED TO MATCH DEVELOPMENT STANDARD
- 8 ACCESSIBLE RAMP - SEE CIVIL DRAWINGS.
- 9 ACCESSIBLE PARKING SIGN PER ADA GUIDELINES
- 10 FLAG POLE - ATTACH TO BUILDING. REFER TO ELEVATION ON SHEET A09.11A
- 11 PYLON AND MONUMENT SIGN PROVIDED BY OWNER SIGN VENDOR. CONTRACTOR TO COORDINATE ELECTRICAL TO SIGN. REFER TO ELEC. DRAWINGS.
- 12 9'x18' PARKING SPACES - 4" WIDE STRIPE, WHITE TRAFFIC DIRECTIONAL ARROWS - WHITE ACCESSIBLE ACCESS AISLE - WHITE ENTER/EXIT LANE DIVIDER - 4" WIDE STRIPE, WHITE
- 13 RETAINING WALL AND GUARD FENCE. REFER TO A00.51, CIVIL AND STRUCTURAL DRAWINGS FOR DETAILS
- 14 ELECTRICAL PANEL FOR DRIVE-THRU, SEE ELEC. DRAWINGS
- 15 ALL SIDEWALK SLOPES TO BE 2% MAX (1.5% RECOMMENDED). REFER TO CIVIL FOR MORE INFORMATION.
- 16 PROPOSED ADA DETECTABLE SURFACE, PER TOWN OF CASTLE ROCK & ADA GUIDELINES.
- 17 CONCRETE PAVING, 6" CONCRETE SLAB ON GRADE REFER TO STRUCTURAL DRAWING.
- 18 HEAVY DUTY STEEL GUARDRAIL BY IDEAL SHIELD. REFER TO A00.51 AND STRUCTURAL DRAWINGS FOR DETAILS.
- 19 ALL WALKWAY CAULKING TO BE GREY
- 20 DIRECTIONAL SIGNAGE - (BY OWNER) DRIVE-THRU BANK PARKING NO-NOT-ENTER
- 21 FIRE HYDRANT
- 22 INCOMING TELCO CABLE
- 23 UNDERGROUND CONDUIT FROM TRANSFORMER TO MAIN ELEC. BREAKER RE: ELEC AND CIVIL
- 24 DOWNSPOUT - DRAIN TO STORM LINE RE: PLUMBING AND CIVIL
- 25 GAS METER (WHEN APPLICABLE) RE: PLUMBING & CIVIL
- 26 SANITARY LINE AND C.O. RE: PLUMBING AND CIVIL
- 27 WATER SUPPLY LINE RE: PLUMBING AND CIVIL
- 28 2% MAX SLOPE (CROSS & RUNNING) AT CONCRETE LANDING PER ADA REQUIREMENTS.
- 29 BICYCLE RACK - SEE CIVIL FOR DETAIL

SHEET NOTES

- A. ALL SIGNAGE SHOWN ON DRAWINGS IS FOR REFERENCE ONLY. SIGNAGE VENDOR TO APPLY FOR SEPARATE SIGNAGE PERMIT.
- B. SITE PLAN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- C. REFER TO SITE LIGHTING SHEET FOR SITE LIGHTING POLE LOCATIONS AND SPECIFICATIONS.
- D. CIVIL DRAWINGS TAKE PRECEDENCE OVER ARCHITECTURAL SITE PLANS. REFER TO SITE CIVIL DRAWINGS FOR FINAL SITE DESIGN AND ENGINEERING.

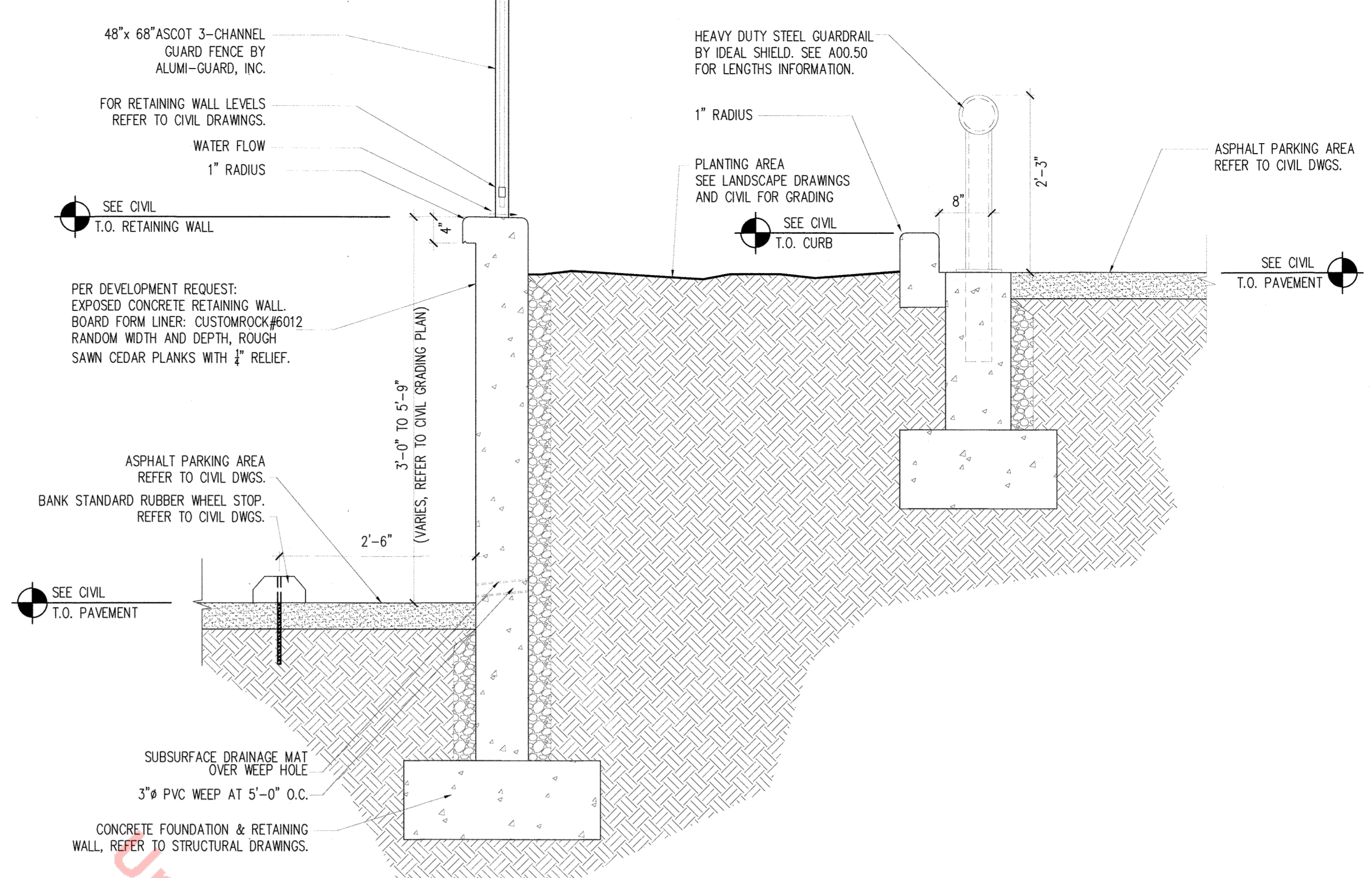
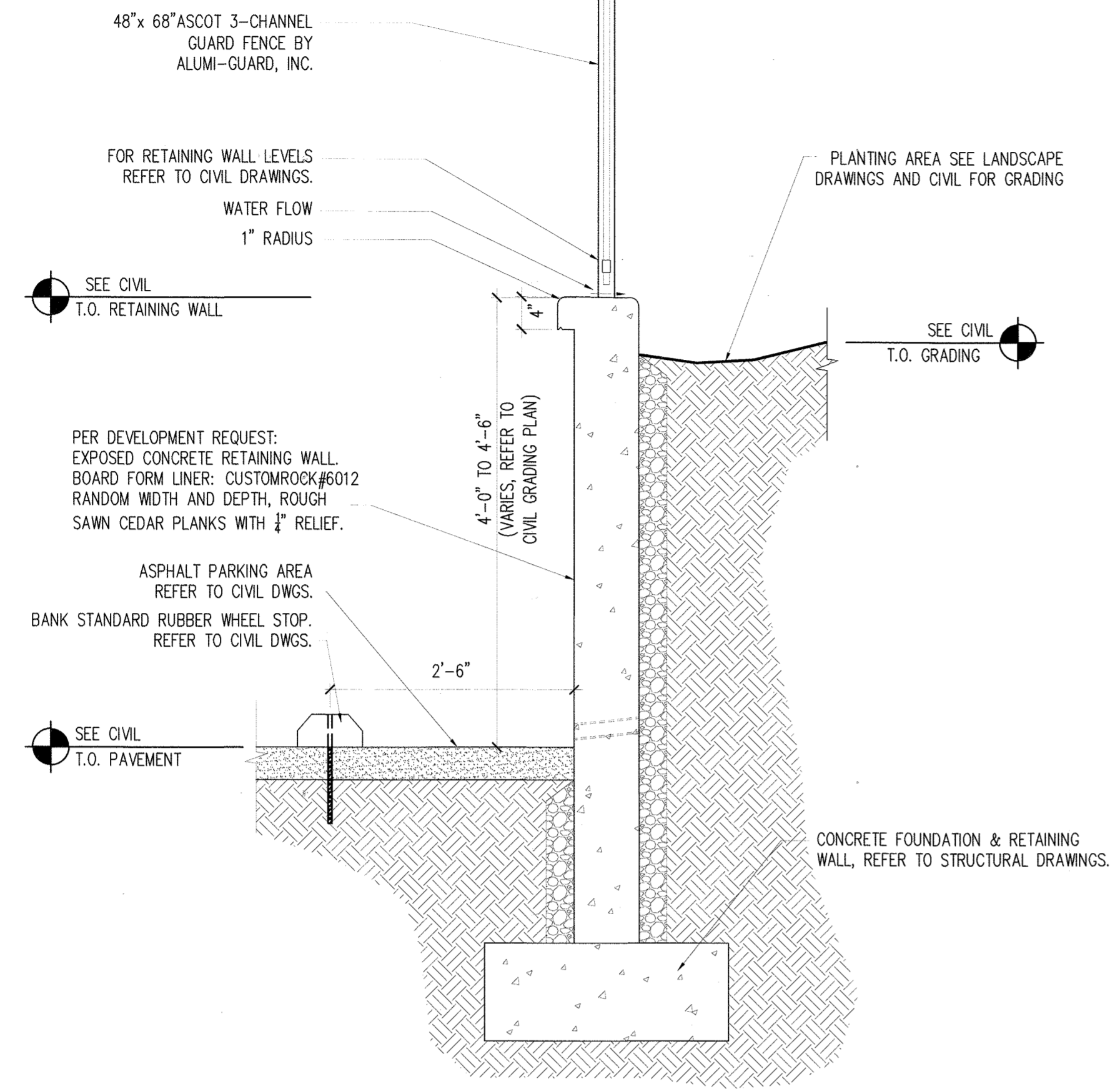
PROJECT NO. SDP16-0030
 SITE DEVELOPMENT PLAN
 LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No.1
 AMENDMENT NO.6

Seal/Signature

JONATHAN CHADES, R.A.
 STATE OF COLORADO
 Project Name: Castle Rock
 Prototype Layout
 New Store
 Project Number: 16152
 CAD File Name: X:\cadd\16152 Castle Rock\CAD\SHEET\SDP16-0030 City of Castle Rock.dwg
 Description: SITE PLAN
 Scale: 3/32" = 1'-0"

SITE DEVELOPMENT PLAN

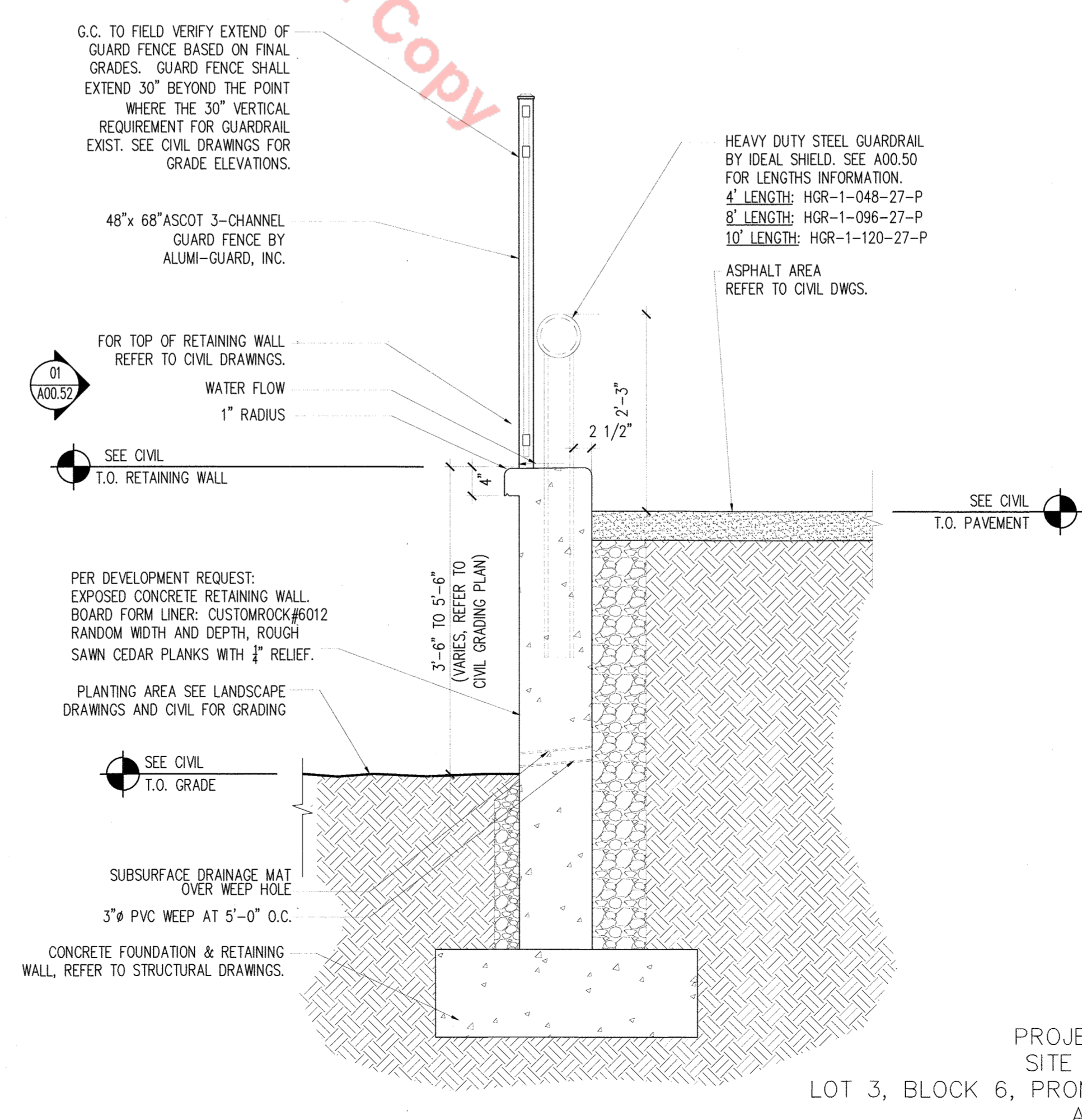
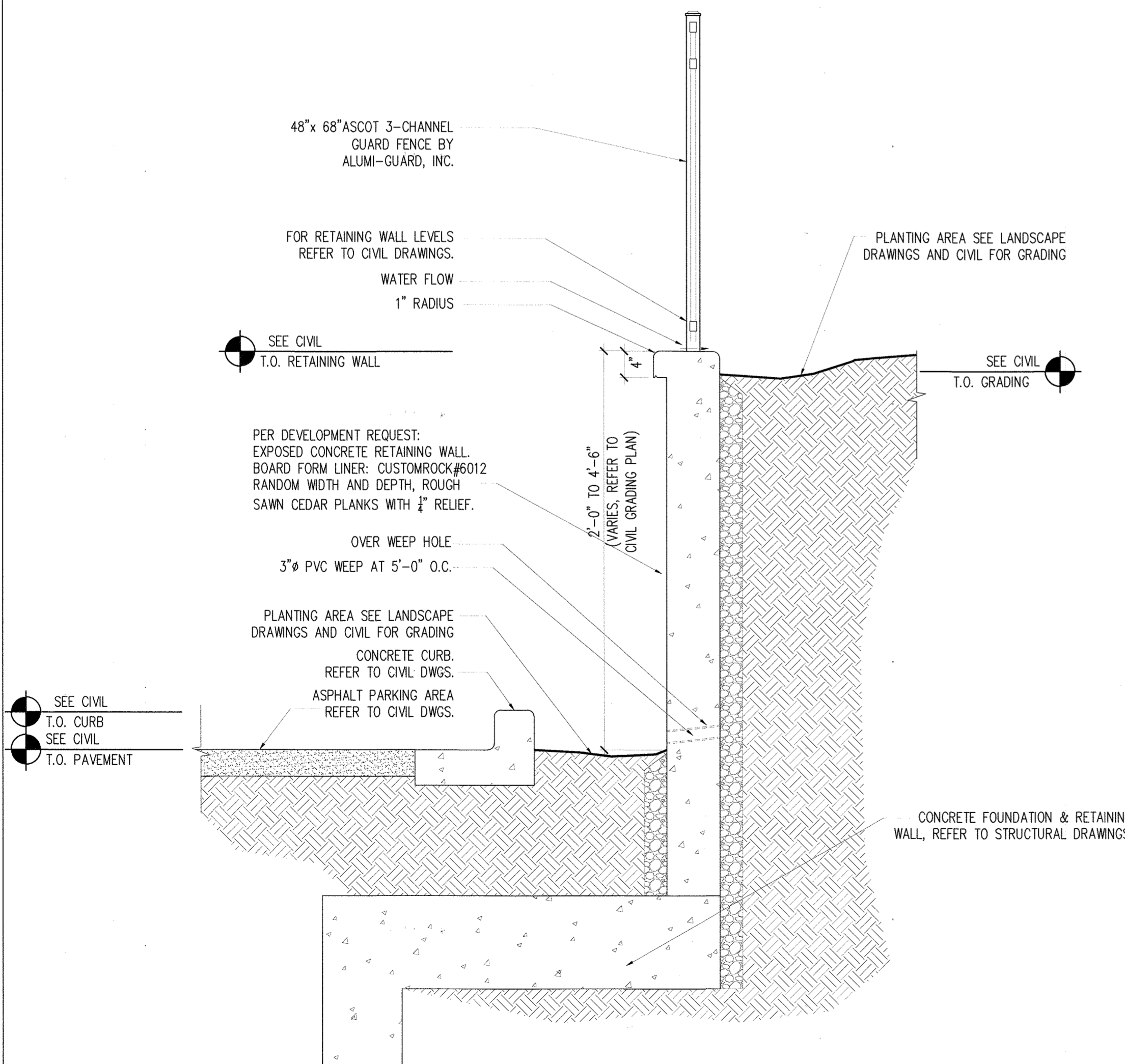
LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1
 AMENDMENT NO. 6
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



03 RETAINING WALL SECTION
SCALE: 1"=1'-0"

03 RETAINING WALL SECTION
SCALE: 1"=1'-0"

01



04 RETAINING WALL SECTION
SCALE: 1"=1'-0"

04 RETAINING WALL SECTION
SCALE: 1"=1'-0"

02

PROJECT NO. SDP16-0030
 SITE DEVELOPMENT PLAN
 LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No.1
 AMENDMENT NO.6

**Bank of America
 Castle Rock
 New Store - Signature**

Lot 3, block 6A
 Castle Rock, CO 80108

SERIAL NUMBER: COW-094
 NRSP VERSION: 02
 BULLETIN: 03 - 09. 26.2016

ARCHITECTURAL DESIGN COLLABORATIVE
 945 North Pennsylvania Avenue
 Winter Park, Florida 32789
 (407) 629-1188
 (407) 388-1220

| Issue | Client Date & Issue Description | By | Check |
|-------|---------------------------------|-------|--------|
| 01 | 08/29/16 | MF | JFP/NM |
| | SCHEMATIC DESIGN REVIEW | | |
| 02 | 09/28/16 | MF/PG | JFP/NM |
| | DESIGN DEVELOPMENT REVIEW | | |
| 03 | 10/28/16 | MF/PG | JFP/NM |
| | CONSTRUCTION DOCUMENT REVIEW | | |

| Issue | Jurisdiction Date & Issue Description | By | Check |
|-------|---------------------------------------|-------|-------|
| 01 | 11/01/2016 | PG | NM |
| | PERMIT ISSUE SET | | |
| 02 | 11/14/16 | PG/NM | NM |
| | SITE PLAN RE-SUBMITTAL REV. 2 | | |
| 03 | 12/19/16 | PG/NM | NM |
| | SITE PLAN RE-SUBMITTAL REV. 3 | | |

Seal/Signature

TERESITA CASTILLO
 MY COMMISSION #FF142137
 EXPIRES July 15, 2018
 FloridaSurveyor.com

STATE OF COLORADO

JONATHAN CHADES
 404473

LICENSED ARCHITECT

JONATHAN CHADES, R.A.
 STATE OF COLORADO
 Project Name: _____ ARC 00404473
 Castle Rock
 Prototype Layout
 New Store - Signature
 Project Number: _____
 16152
 CAD File Name: _____
 Description: RETAINING WALL DETAILS

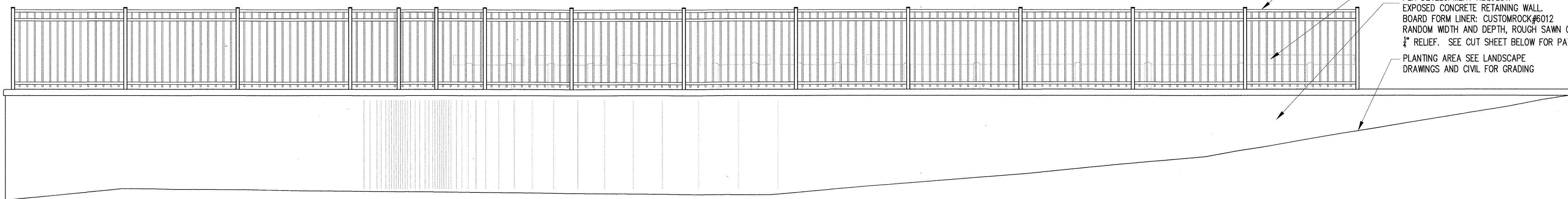
Scale: 1" = 1'-0"

A00.51

SITE DEVELOPMENT PLAN

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1
 AMENDMENT NO. 6
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

48" x 68" ASCOT 3-CHANNEL GUARD FENCE BY ALUM-GUARD, INC. GC TO FIELD VERIFY EXTEND OF GUARD FENCE BASED ON FINAL GRADES. GUARD FENCE SHALL EXTEND 30" BEYOND THE POINT WHERE THE 30" VERTICAL REQUIREMENT FOR GUARDRAIL EXIST. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS.
 HEAVY DUTY GUARD RAIL BY IDEAL SHIELD.
 PER DEVELOPMENT REQUEST:
 EXPOSED CONCRETE RETAINING WALL
 BOARD FORM LINER: CUSTOMROCK#6012
 RANDOM WIDTH AND DEPTH, ROUGH SAWN CEDAR PLANKS WITH 1" RELIEF. SEE CUT SHEET BELOW FOR PATTERN DETAIL.
 PLANTING AREA SEE LANDSCAPE DRAWINGS AND CIVIL FOR GRADING



RETAINING WALL ELEVATION

SCALE: 3/8"=1'-0"

01

Bank of America Castle Rock New Store - Signature

Lot 3, block 6A
 Castle Rock, CO 80108

SERIAL NUMBER: COW-094
 NRSP VERSION: 02
 BULLETIN: 03 - 09. 26.2016

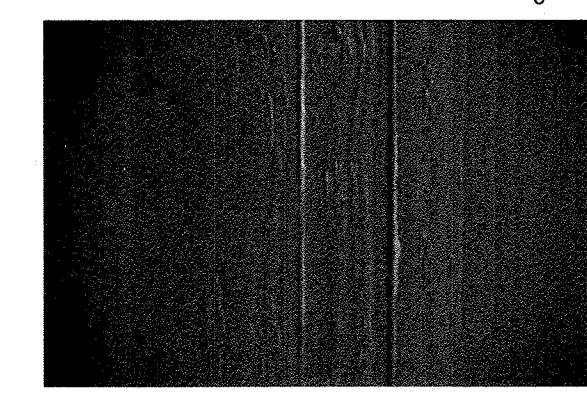
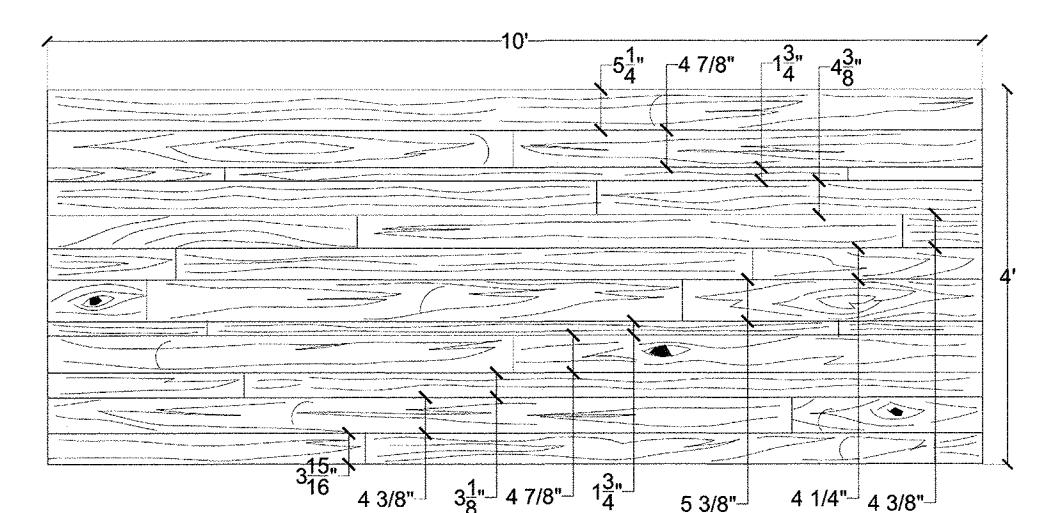
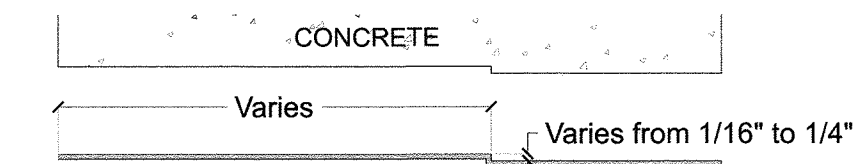
ARCHITECTURAL DESIGN COLLABORATIVE
 945 North Pennsylvania Avenue
 Winter Park, Florida 32789
 (407) 629-1188
 (407) 388-1220

| Issue | Client Date & Issue Description | By | Check |
|------------------------------|---------------------------------|-------|--------|
| 01 | 08/29/16 | MF | JFP/NM |
| SCHEMATIC DESIGN REVIEW | | | |
| 02 | 09/28/16 | MF/PG | JFP/NM |
| DESIGN DEVELOPMENT REVIEW | | | |
| 03 | 10/28/16 | MF/PG | JFP/NM |
| CONSTRUCTION DOCUMENT REVIEW | | | |

| Issue | Jurisdiction Date & Issue Description | By | Check |
|-------------------------------|---------------------------------------|-------|-------|
| 01 | 11/01/2016 | PG | NM |
| PERMIT ISSUE SET | | | |
| 02 | 11/14/16 | PG/YM | NM |
| SITE PLAN RE-SUBMITTAL REV. 2 | | | |
| 03 | 12/19/16 | PG/YM | NM |
| SITE PLAN RE-SUBMITTAL REV. 3 | | | |

Pattern# 6012 customrock Random Width and Depth Rough Sawn Cedar Planks FORMLINER

General Information:
 Thermofomed ABS and Styrene plastic formliners are an inexpensive alternative for providing architectural concrete. The Styrene single use liner is the least expensive liner option. The ABS plastic formliner properties allows for an up to ten reuse factor depending on the design and handling.



Thermal Deformation:
 • Do not expose to temperatures >140°F (60°C)
 Care and Handling:
 • Keep out of the sunlight and covered when not in use
 • Keep away from steam, acids, and certain fuels
 • For further instructions refer to the application guide
 Thermal expansion:
 • +/- 1/8" @ 70°F
 Note:
 Pattern may require additional backing. We recommend a mockup pour simulating job conditions.

| Material | Product Code | # of Reuses | Std. Dims. | Color |
|----------|--------------|-------------|------------|-------|
| Styrene | 6012-STY | 1 | 4'x10' | White |
| ABS | 6012-ABS | Up to 10 | 4'x10' | Gray |

Custom Rock Formliner • 2020 West 7th Street • St. Paul, MN 55116 • (800) 637-2447
www.customrock.com

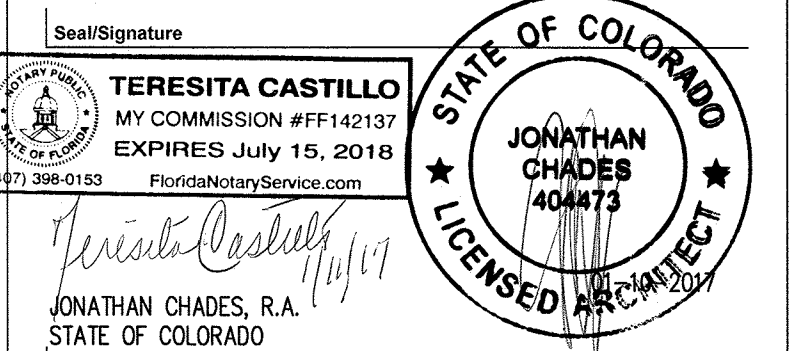
Unofficial Copy

RETAINING WALL-FORM LINER

SCALE: NOT TO SCALE

02

Seal/Signature



TERESITA CASTILLO
 MY COMMISSION #FF442197
 EXPIRES July 15, 2018
 FloridaNotaryService.com
 (407) 396-0133

JONATHAN CHADES, R.A.
 STATE OF COLORADO
 Project Name: ARC 00404473
 Castle Rock
 Prototype Layout
 New Store - Signature
 Project Number:
 16152
 CAD File Name:
 X:\wps\16152 Castle Rock\CAD\SHEETS\A00-52 City of Castle Rock.dwg
 Description:
 EXTERIOR SITE DETAILS
 Scale:

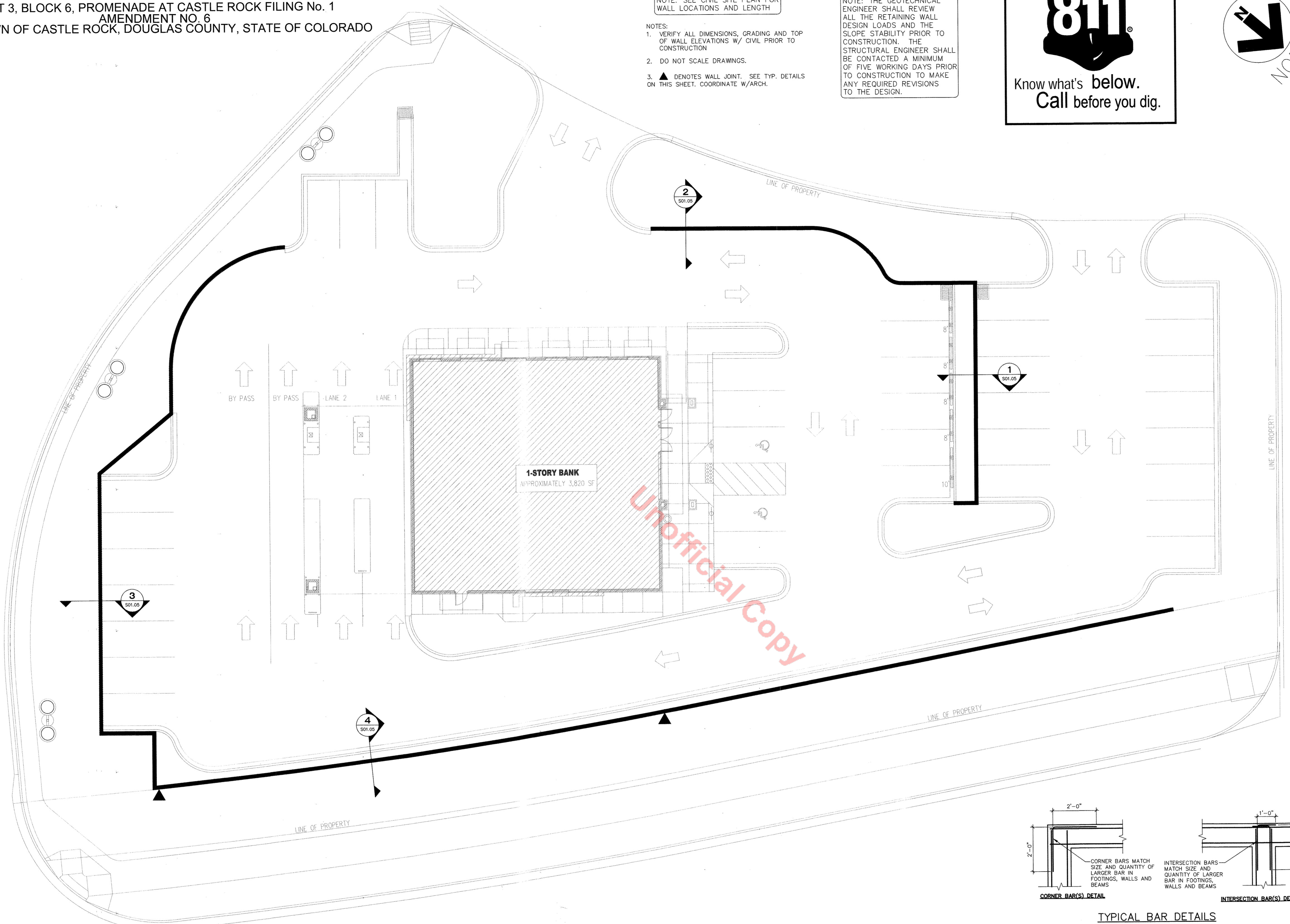
SITE DEVELOPMENT PLAN

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1
AMENDMENT NO. 6
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

NOTE: SEE CIVIL SITE PLAN FOR WALL LOCATIONS AND LENGTH

- NOTES:
1. VERIFY ALL DIMENSIONS, GRADING AND TOP OF WALL ELEVATIONS W/ CIVIL PRIOR TO CONSTRUCTION
 2. DO NOT SCALE DRAWINGS.
 3. ▲ DENOTES WALL JOINT, SEE TYP. DETAILS ON THIS SHEET, COORDINATE W/ARCH.

NOTE: THE GEOTECHNICAL ENGINEER SHALL REVIEW ALL THE RETAINING WALL DESIGN LOADS AND THE SLOPE STABILITY PRIOR TO CONSTRUCTION. THE STRUCTURAL ENGINEER SHALL BE CONTACTED A MINIMUM OF FIVE WORKING DAYS PRIOR TO CONSTRUCTION TO MAKE ANY REQUIRED REVISIONS TO THE DESIGN.



Unofficial Copy

**Bank of America
Castle Rock
New Store - Signature**

Lot 3, block 6A
Castle Rock, CO 80108

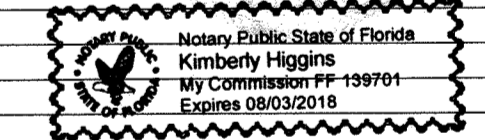
SERIAL NUMBER: COW-094
NRSP VERSION: 02
BULLETIN: 03 - 09.26.2016

ARCHITECTURAL DESIGN COLLABORATIVE
945 North Pennsylvania Avenue
Winter Park, Florida 32789
(407) 629-1188
(407) 388-1220

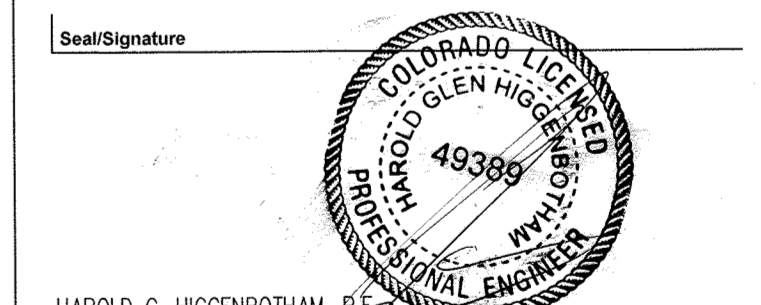
HAROLD G. HIGGENBOTHAM, P.E.
COLORADO LIC. NO. PE 0049389
3222 CORRIE DR. STE. F
ORLANDO, FLORIDA 32803
PHONE 407 286 1787
FAX 407 286 2281

| Issue | Client Date & Issue Description | By | Check |
|-------|---------------------------------------|-------|--------|
| 01 | 08/29/16 SCHEMATIC DESIGN REVIEW | MF | JFP/NM |
| 02 | 09/28/16 DESIGN DEVELOPMENT REVIEW | ME/PG | JFP/NM |
| 03 | 10/28/16 CONSTRUCTION DOCUMENT REVIEW | ME/PG | JFP/NM |

| Issue | Jurisdiction Date & Issue Description | By | Check |
|-------|---------------------------------------|----|-------|
| 01 | 11/01/2016 PERMIT ISSUE SET | PG | NM |



Kimberly Higgins 1-9-17



HAROLD G. HIGGENBOTHAM, P.E.
STATE OF COLORADO
Project Name: Castle Rock
Prototype Layout
Project Number: 16152
CAD File Name: RETAINING WALL PLAN AND DETAILS

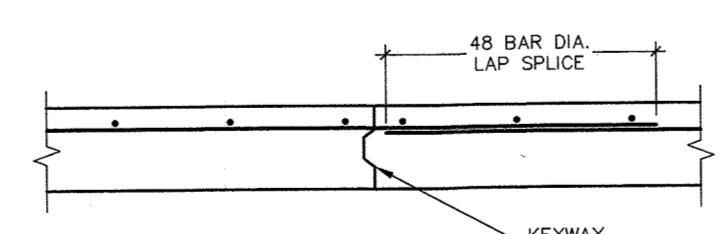
NOTE: THE GEOTECHNICAL ENGINEER SHALL REVIEW ALL THE RETAINING WALL DESIGN LOADS AND THE SLOPE STABILITY PRIOR TO CONSTRUCTION. THE STRUCTURAL ENGINEER SHALL BE CONTACTED A MINIMUM OF FIVE WORKING DAYS PRIOR TO CONSTRUCTION TO MAKE ANY REQUIRED REVISIONS TO THE DESIGN.

NOTE: DO NOT BACKFILL AGAINST THE WALLS WITH CLAYEY SOILS. ONLY BACKFILL WITH WELL GRADED, CLEAN GRAVEL-SAND MIXES.

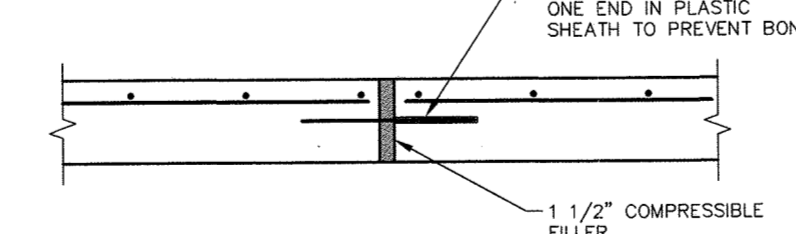
NOTE: SEE CIVIL SITE PLAN FOR RETAINING WALL LOCATION. VERIFY RETAINING WALL HEIGHTS WITH CIVIL GRADING PLAN PRIOR TO FABRICATION AND CONSTRUCTION.

NOTE: SEE CIVIL SITE PLAN FOR RETAINING WALL LOCATION AND QUANTITY. VERIFY RETAINING WALL HEIGHTS WITH CIVIL GRADING AND CONSTRUCTION.

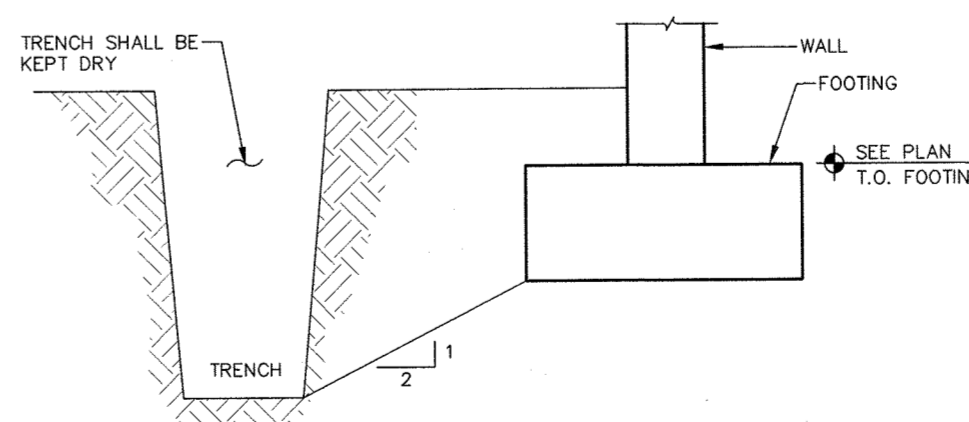
DESIGN LOADS:
ACTIVE EARTH PRESSURE = 35 PCF (WELL GRADED, CLEAN GRAVEL-SAND MIXES)
SURCHARGE = 250 PSF
NO HYDROSTATIC PRESSURE, DRAINED CONDITION.



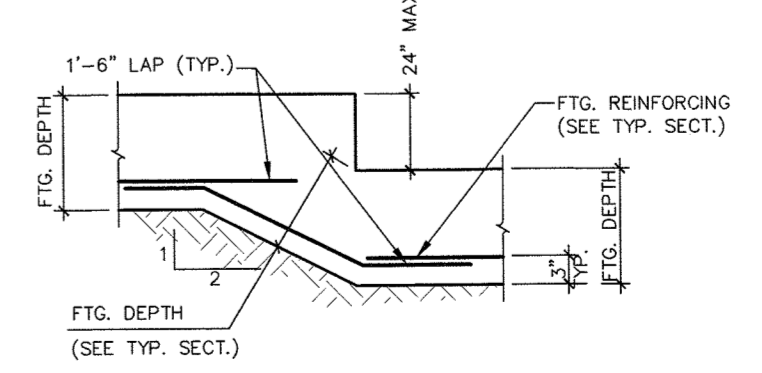
TYPICAL CONCRETE WALL CONSTRUCTION JOINT



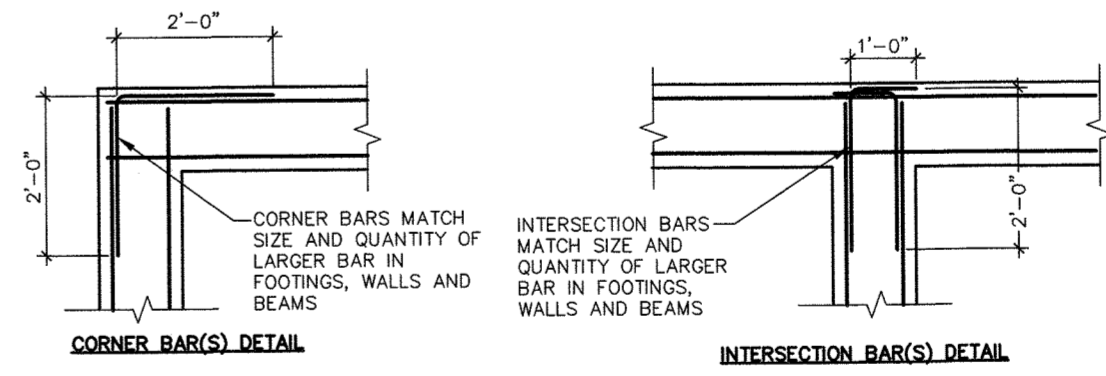
TYPICAL CONCRETE WALL EXPANSION JOINT



TYP. FTG. ADJACENT TO TRENCH



TYP. STEPPED FTG.



TYPICAL BAR DETAILS

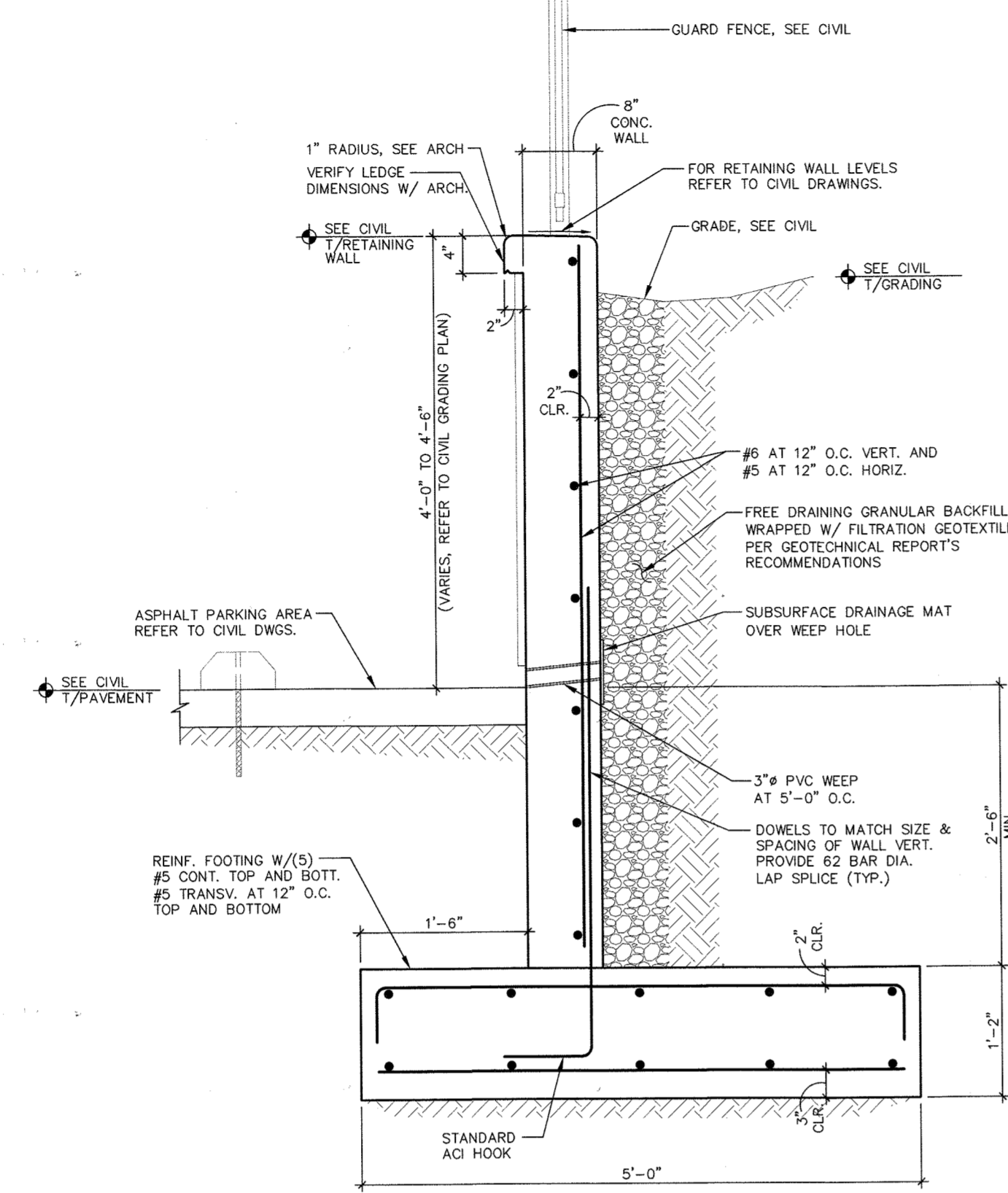
PROJECT NO. SDP16-0030
SITE DEVELOPMENT PLAN
OT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No.1
AMFNDFMNT NO 6

S01.04



SITE DEVELOPMENT PLAN

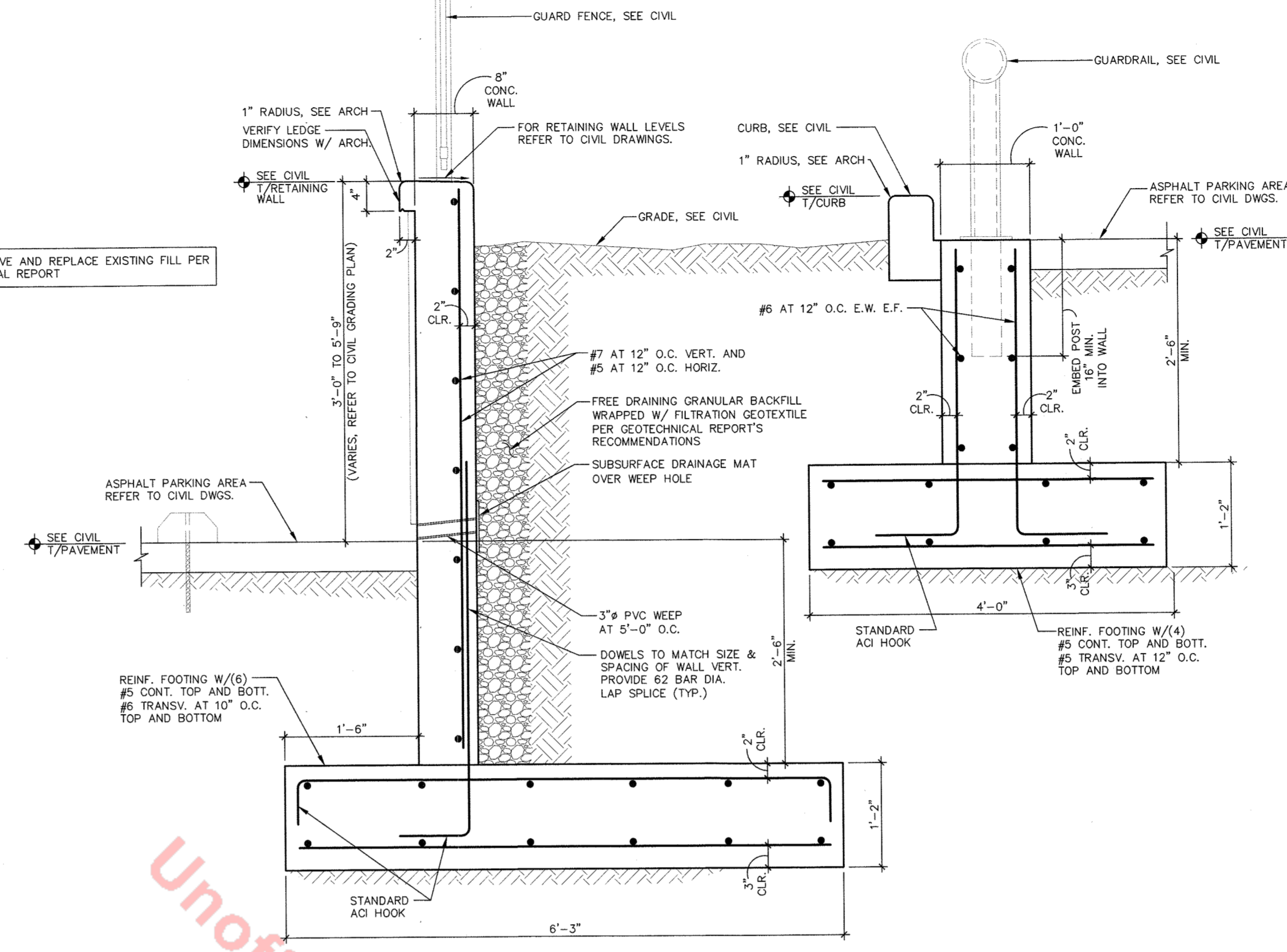
LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1
AMENDMENT NO. 6
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



RETAINING WALL SECTION
SCALE: 1"=1'-0"

03

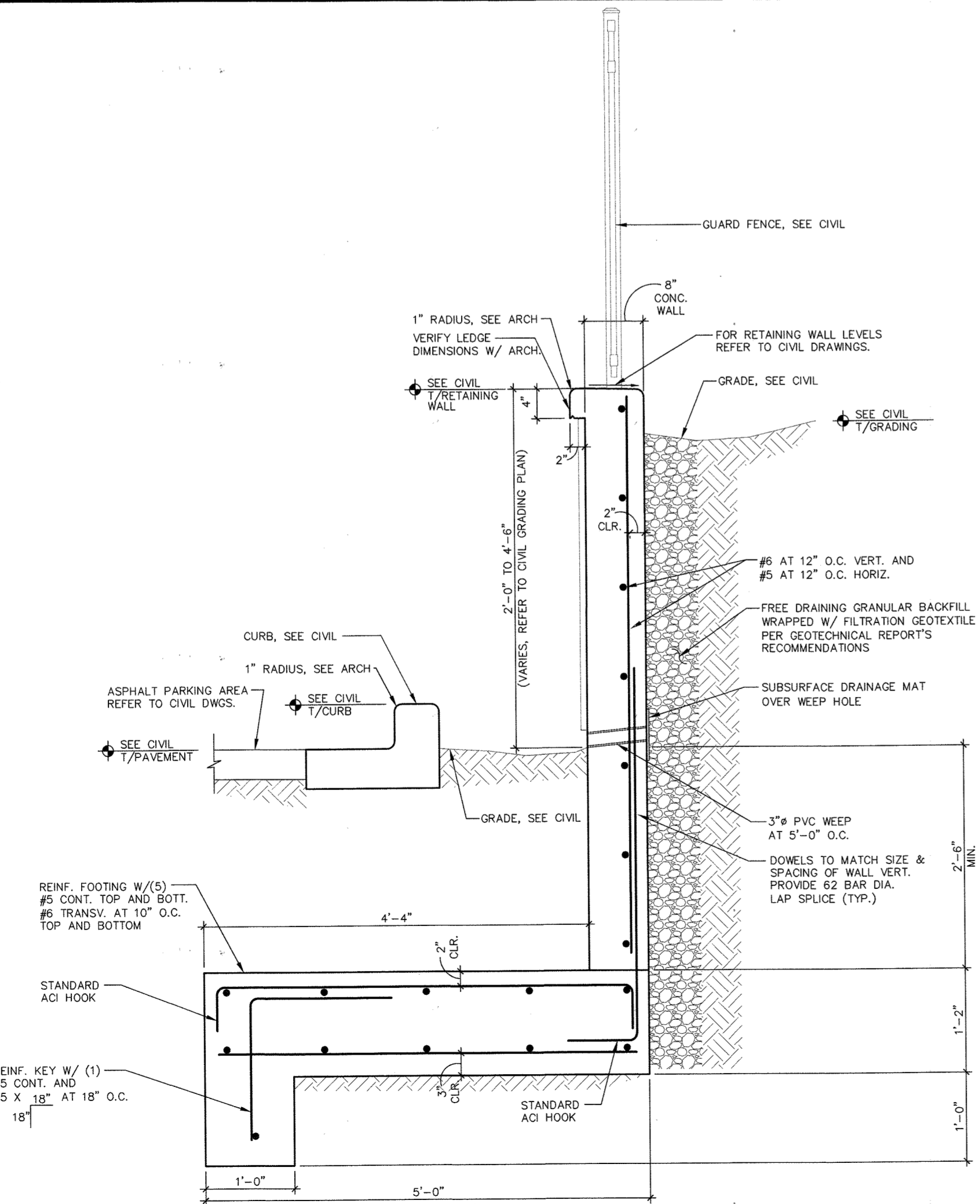
NOTE: REMOVE AND REPLACE EXISTING FILL PER GEOTECHNICAL REPORT



RETAINING WALL SECTION
SCALE: 1"=1'-0"

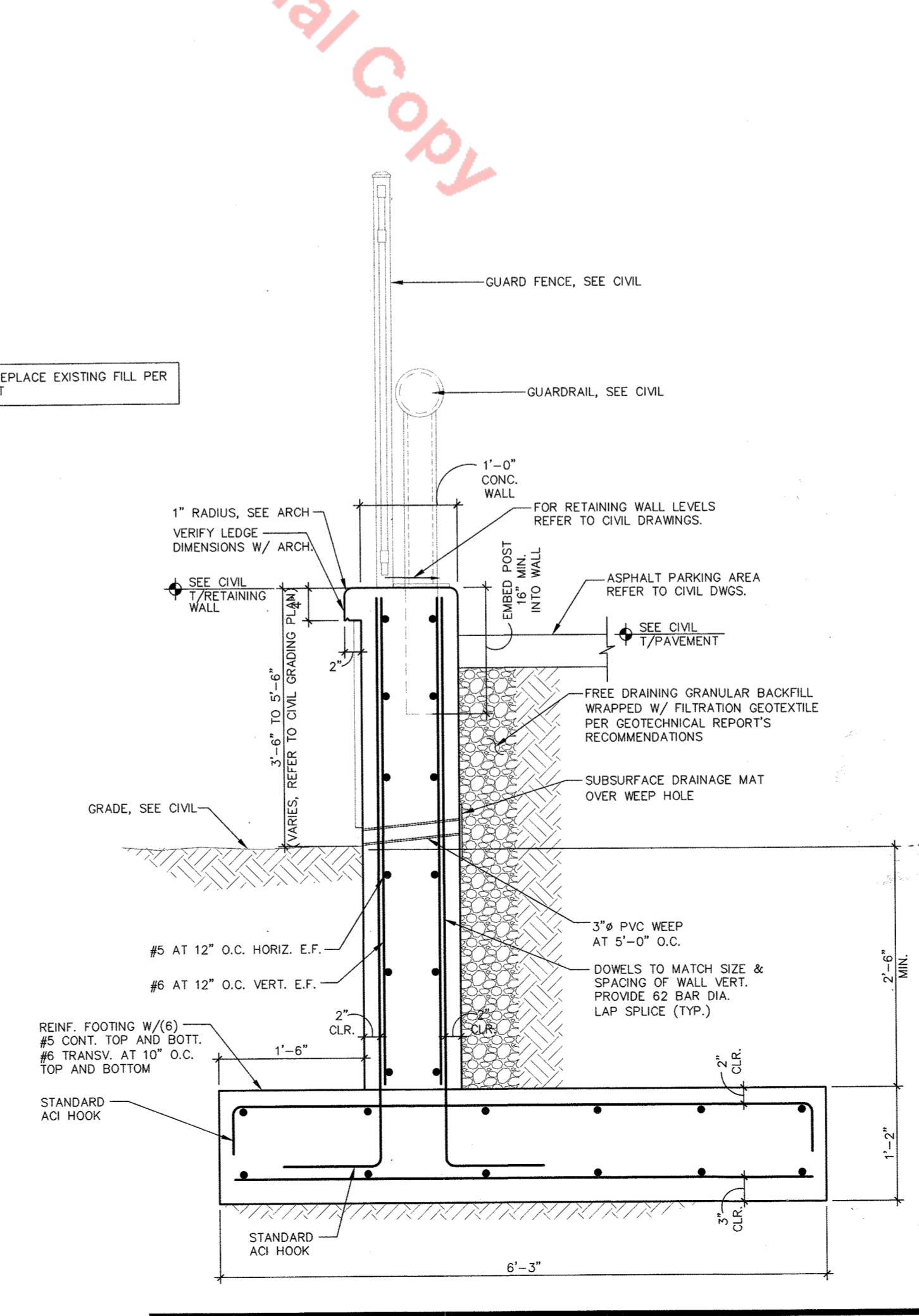
04

Unofficial Copy



RETAINING WALL SECTION
SCALE: 1"=1'-0"

01



RETAINING WALL SECTION
SCALE: 1"=1'-0"

02

PROJECT NO. SDP16-0030
SITE DEVELOPMENT PLAN
LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No.1
AMFNDMNT NO 6

Bank of America Castle Rock New Store - Signature

Lot 3, block 6A
Castle Rock, CO 80108

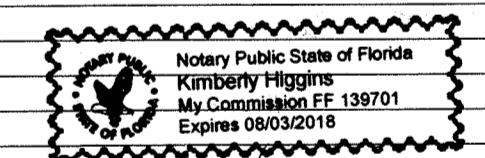
SERIAL NUMBER: COW-094
NRSP VERSION: 02
BULLETIN: 03 - 09.26.2016

ARCHITECTURAL DESIGN COLLABORATIVE
945 North Pennsylvania Avenue
Winter Park, Florida 32789
(407) 629-1188
(407) 388-1220

HAROLD G. HIGGENBOTHAM, P.E.
COLORADO LIC. NO. PE 0049389
3222 CORNINE DR. STE. F
ORLANDO, FLORIDA 32803
PHONE 407 286 1787
FAX 407 286 2281

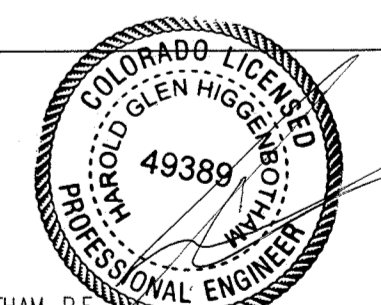
| Issue | Client Date & Issue Description | By | Check |
|-------|---------------------------------------|-------|--------|
| 01 | 08/29/16 SCHEMATIC DESIGN REVIEW | MF | JFP/NM |
| 02 | 09/28/16 DESIGN DEVELOPMENT REVIEW | MF/PC | JFP/NM |
| 03 | 10/28/16 CONSTRUCTION DOCUMENT REVIEW | MF/PC | JFP/NM |

| Issue | Jurisdiction Date & Issue Description | By | Check |
|-------|---------------------------------------|----|-------|
| 01 | 11/01/2016 PERMIT ISSUE SET | PG | NM |



Handwritten signature and date: 1-9-17

Seal/Signature



HAROLD G. HIGGENBOTHAM, P.E.
STATE OF COLORADO
Project Name: Castle Rock
Prototype Layout

New Store
Project Number: 16152
CAD File Name: [Redacted]

Description: RETAINING WALL DETAILS

Scale: 1" = 1'-0"

S01.05

SITE DEVELOPMENT PLAN

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No 1
 AMENDMENT NO. 6
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

NO PROPOSED SLOPES TO BE GREATER THAN 3:1

| PLANT SCHEDULE | | | | | | | Xeriscape |
|---------------------------|----------|------------------------------|---|----------|---|--|-----------|
| SYMBOL | QUANTITY | COMMON NAME | LATIN NAME | SPACING | SPECIFICATIONS | | |
| DECIDUOUS TREES | | | | | | | |
| AF | 9 | Autumn Blaze Maple | <i>Acer x freemanii</i> 'Autumn Blaze' | AS SHOWN | 2" Caliper, Full Crown, BxB, Staked, Single Trunk, Specimen Quality | | No |
| CO | 5 | Western Honeysuckle | <i>Celtis occidentalis</i> | AS SHOWN | 2" Caliper, Full Crown, BxB, Staked, Single Trunk, Specimen Quality | | Yes |
| GT | 9 | Imperial Honeysuckle | <i>Gleditsia tria. inermis</i> 'Imperial' | AS SHOWN | 2" Caliper, Full Crown, BxB, Staked, Single Trunk, Specimen Quality | | Yes |
| SJ | 8 | Japanese Pagoda Tree | <i>Sophora japonica</i> | AS SHOWN | 2" Caliper, Full Crown, BxB, Staked, Single Trunk, Specimen Quality | | Yes |
| DECIDUOUS SHRUBS | | | | | | | |
| RA | 174 | Gro-Low Sumac | <i>Rhus aromatica</i> 'Gro-Low' | 2' o.c. | 5 gal., 18" - 24" Ht., Full | | No |
| EVERGREEN SHRUBS | | | | | | | |
| ACC | 18 | Chieftain manzanita | <i>Arctostaphylos coloradoensis</i> 'Chieftain' | 3' o.c. | 5 gal., 18" Ht. | | Yes |
| ACP | 133 | Fanchito manzanita | <i>Arctostaphylos coloradoensis</i> 'Fanchito' | 3' o.c. | 5 gal., 12" - 18" Ht. | | Yes |
| JH | 525 | Blue Chip Juniper | <i>Juniperus horizontalis</i> 'Blue Chip' | 2' o.c. | 5 gal., 8" - 12" Ht. | | Yes |
| FG | 304 | St. Mary's Broom Blue Spruce | <i>Firca pungens glauca</i> 'St. Mary's Broom' | 3' o.c. | 5 gal., 9" - 12" Ht., 5 canes minimum | | Yes |
| ORNAMENTAL GRASSES | | | | | | | |
| HSS | 200 | Blue Avena Grass | <i>Helictotrichon sempervirens</i> | 2' o.c. | 1 gal., established | | Yes |
| FV | 214 | Shenandoah Switch Grass | <i>Panicum virgatum</i> 'Shenandoah' | 2' o.c. | 1 gal., established | | Yes |
| Perennial Flowers | | | | | | | |
| NS | 312 | Stella De Oro Daylily | <i>Hemerocallis</i> 'Stella De Oro' | 2' o.c. | 1 gal., established | | Yes |
| SS | 298 | Autumn Joy Stonecrop | <i>Sedum spectabile</i> 'Autumn Joy' | 2' o.c. | 1 gal., established | | Yes |

- NOTES:
- MULCH ALL PLANTING BEDS WITH 4" ORGANIC MULCH.
 - ALL DISTURBED AREAS NOT OTHERWISE LANDSCAPED SHALL BE SEEDED WITH VARIETY CONSISTANT TO SURROUNDING DEVELOPMENT.
 - ALL PLANT MATERIAL TO BE NO. 1 QUALITY OR BETTER.
 - NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
 - ALL TREES AND PLANTS SHALL MEET MINIMUM SPECIFIED SIZES IN INCHES AND FEET, REGARDLESS OF CONTAINER SIZE INDICATED. WHERE DIFFERENCES OCCUR, THE LARGER SPECIFICATION SHALL PREVAIL.
 - ALL CALIPER SIZES MEASURED 12" ABOVE GROUND MUST BE MET
 - RIVER ROCK TO BE NORTHEAST RIVER JACKS 3/4" - 3" SIZE. PROVIDE SAMPLE TO OWNER FOR APPROVAL
 - CONTRACTOR TO VERIFY ALL QUANTITIES

LANDSCAPE CALCULATIONS:

| | |
|-----------------------------|------------|
| TOTAL AREAS: | COMMERCIAL |
| TOTAL AREA: | 2,461 SF. |
| VIA PUBLIC AREA: | 2,461 SF. |
| 10% VIA REQ. LANDSCAPE AREA | 246 SF. |
| LANDSCAPE AREA PROVIDED: | 3,484 SF. |

| | |
|---------------------------|------------|
| 10% LANDSCAPE REQUIREMENT | 45,822 SF. |
| TOTAL AREA: | 45,822 SF. |
| 10% AREA REQUIRED | 4,582 SF. |
| 10% AREA PROVIDED | 13,940 SF. |

PERIMETER AND INTERIOR TREE REQUIREMENT BREAKDOWN

| | |
|---|----|
| VIA PUBLIC AREA: | |
| INTERNAL LANDSCAPE: | |
| 2 CANOPY TREES + 4 SHRUBS / 1,000 SF. = 2,461 SF. / 1,000 SF. | |
| TREES REQUIRED (2.46 x 2): | 5 |
| TREES PROVIDED: | 6 |
| SHRUBS REQUIRED (5 x 4): | 20 |
| SHRUBS PROVIDED: | 40 |

PERIMETER AND INTERIOR TREE REQUIREMENT BREAKDOWN

| | |
|--|-------|
| TOTAL SITE AREA: | |
| 2 CANOPY TREES + 4 SHRUBS / 1,000 SF. = 13,940 SF. / 1,000 SF. | |
| TREES REQUIRED (13.94 x 2): | 28 |
| TREES PROVIDED: | 28 |
| SHRUBS REQUIRED (28 x 4): | 112 |
| SHRUBS PROVIDED: | 1,145 |

PERIMETER TREES NORTH SIDE: 100 LF.

| | |
|-----------------|---|
| 1 TREE / 40 LF. | |
| TREES REQUIRED: | 3 |
| TREES PROVIDED: | 3 |

PERIMETER TREES SOUTH SIDE: 221 LF.

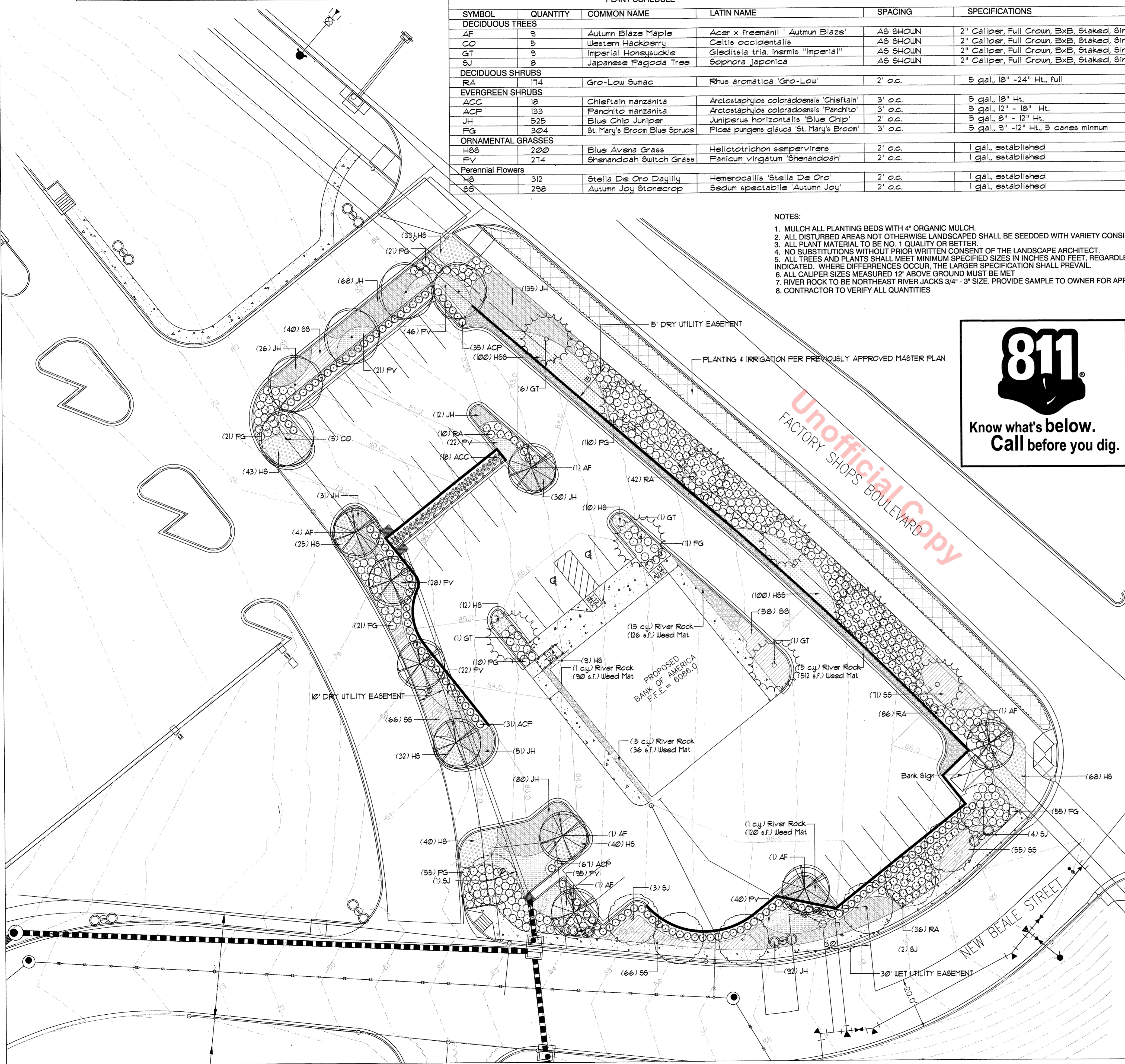
| | |
|-----------------|---|
| 1 TREE / 40 LF. | |
| TREES REQUIRED: | 6 |
| TREES PROVIDED: | 6 |

PERIMETER TREES EAST SIDE: 281 LF.

| | |
|-----------------|---|
| 1 TREE / 40 LF. | |
| TREES REQUIRED: | 4 |
| TREES PROVIDED: | 4 |

PERIMETER TREES WEST SIDE: 130 LF.

| | |
|-----------------|---|
| 1 TREE / 40 LF. | |
| TREES REQUIRED: | 4 |
| TREES PROVIDED: | 4 |



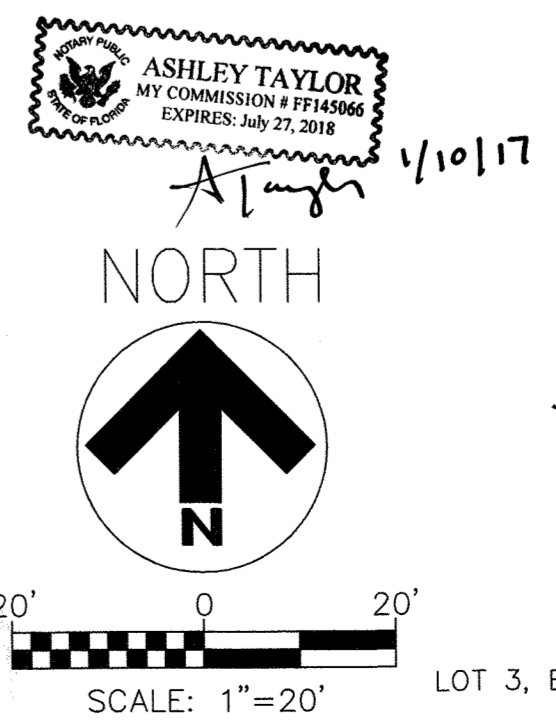
Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional: KRISTOFFER REED, RLA
 State of Colorado License Landscape Architect #: 0001328

Company Name: A&K LAND PLANNING & DESIGN
 Address: 2621 SUNRISE RIDGE LANE, JACKSONVILLE, FL 32211
 Phone: 904-416-9692
 Email: AKLANDPLANNING@COMCASTNET
 Date: NOVEMBER 11, 2016

PROJECT NAME: CASTLE ROCK BANK OF AMERICA

| Gross Site Area | Landscape Area in Sq.Ft. | Turfgrass List Species (Area in Sq.Ft.) | Nonliving Ornamental (Area in Sq.Ft.) | No. of Trees Required | No. of Trees Provided | No. of Shrubs Required | No. of Shrubs Provided | Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.) | Separate Irrigation Service Connections |
|------------------------------|--------------------------------------|---|---------------------------------------|-----------------------------------|--|------------------------|------------------------|--|---|
| 45,182 SF. | 13,940 SF. | 0 SF. | 884 SF. | 28 | 31 | 112 | 1,145 | 4 C.Y. | Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| Parking Lot (Area in Sq.Ft.) | Parking Lot Landscape Area (Sq. Ft.) | No. of Parking Spaces | Nonliving Ornamental (Area in Sq.Ft.) | No. of Interior Landscape Islands | Minimum Width of Interior Landscaped Islands | No. of Trees Required | No. of Trees Provided | No. of Shrubs Required | No. of Shrubs Provided |
| 23,578 SF. | 3,484 SF. | 35 SPACES | 884 SF. | 1 | 6 LF. | 5 | 5 | 20 | 40 |



BANK OF AMERICA
 CASTLE ROCK BRANCH
 CASTLE ROCK, CO

Bank of America

H & T CONSULTANTS, INC.
 PLANNING - ENGINEERING
 9310 OLD KINGS ROAD SOUTH, SUITE 1001
 JACKSONVILLE, FLORIDA 32257
 PHONE: 904-419-1001 FAX: 904-419-1004

JOB NO: 2016.134
 DRAWN: KSR
 CHECK: SG
 DATE: JULY 2016
 PLATE

L-1

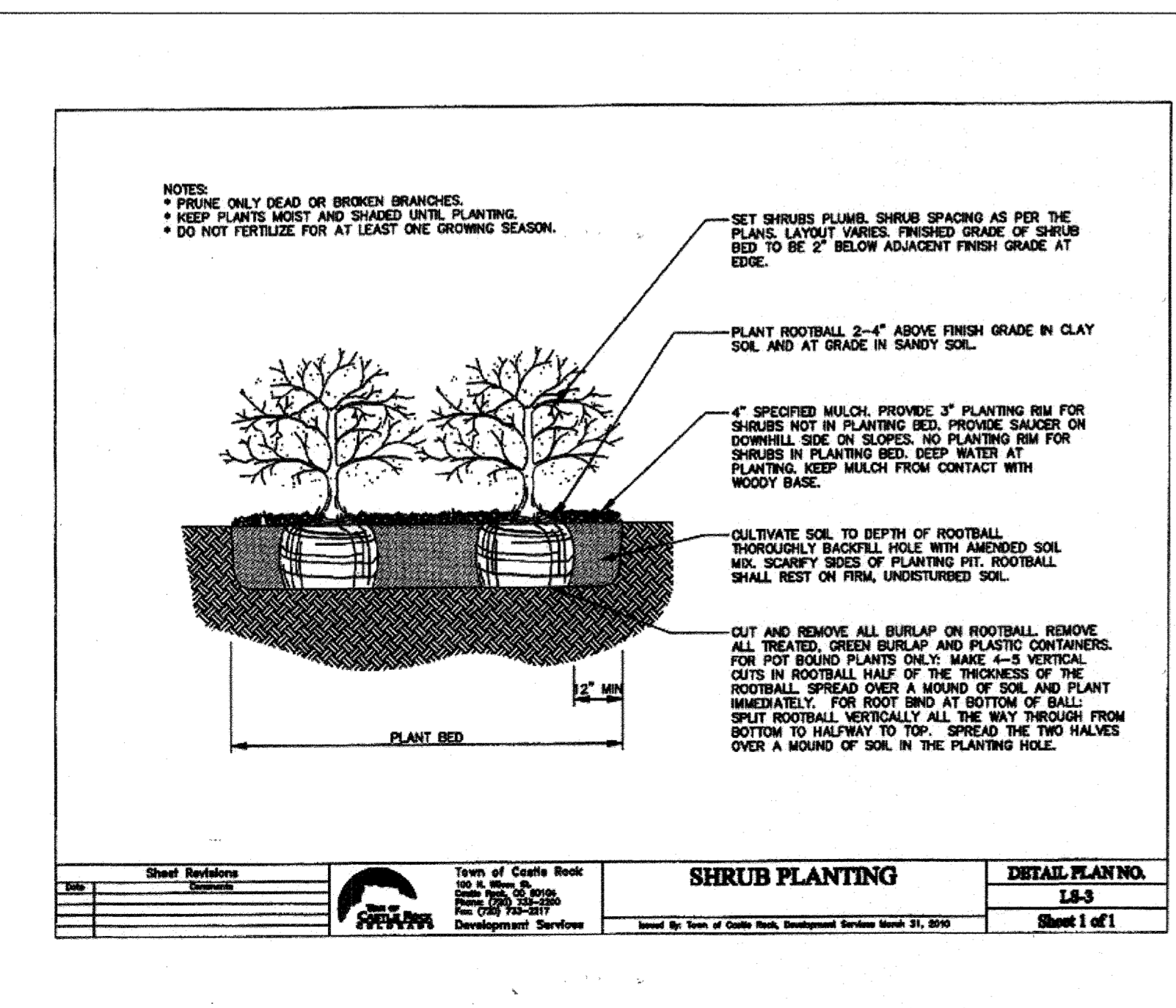
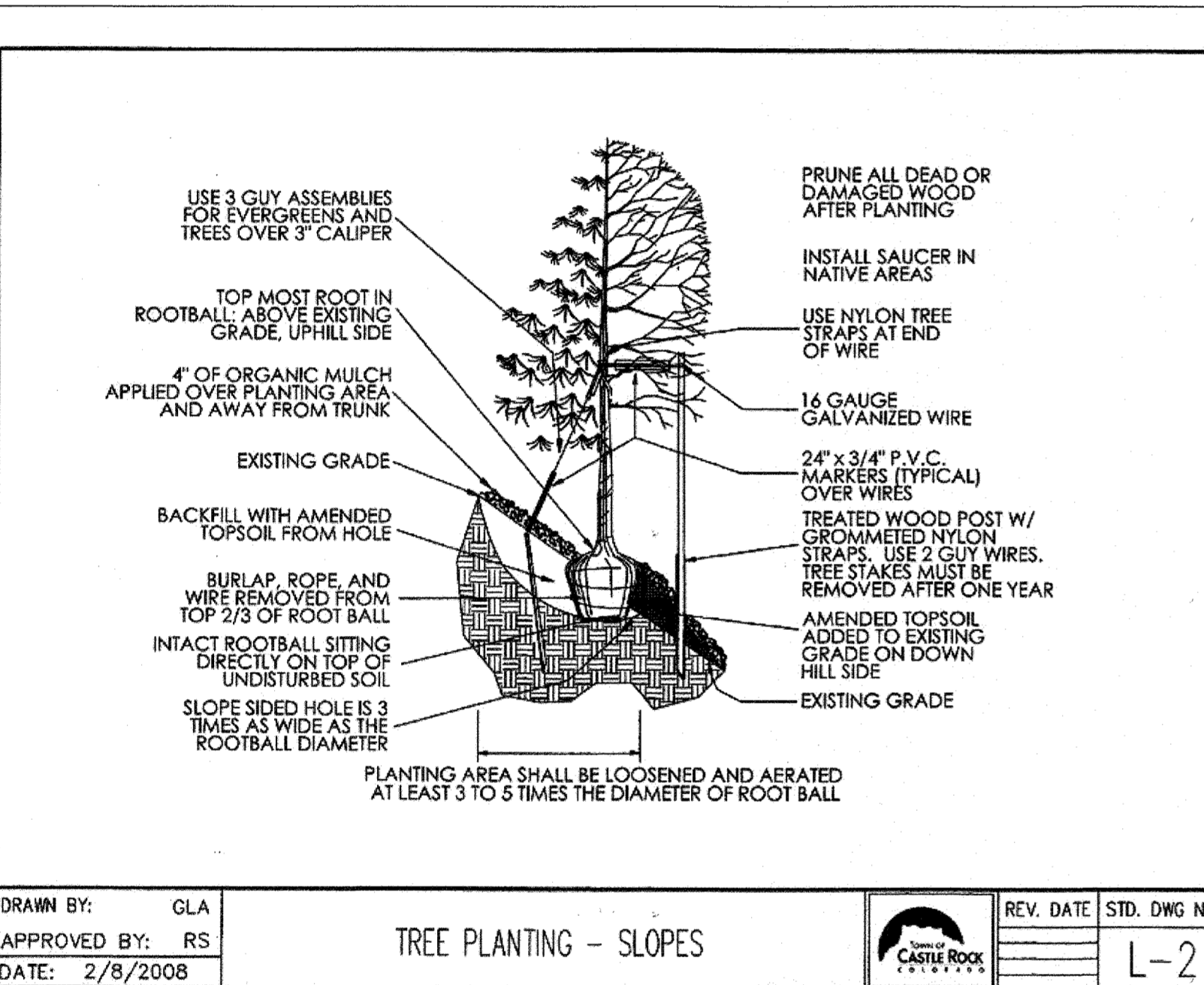
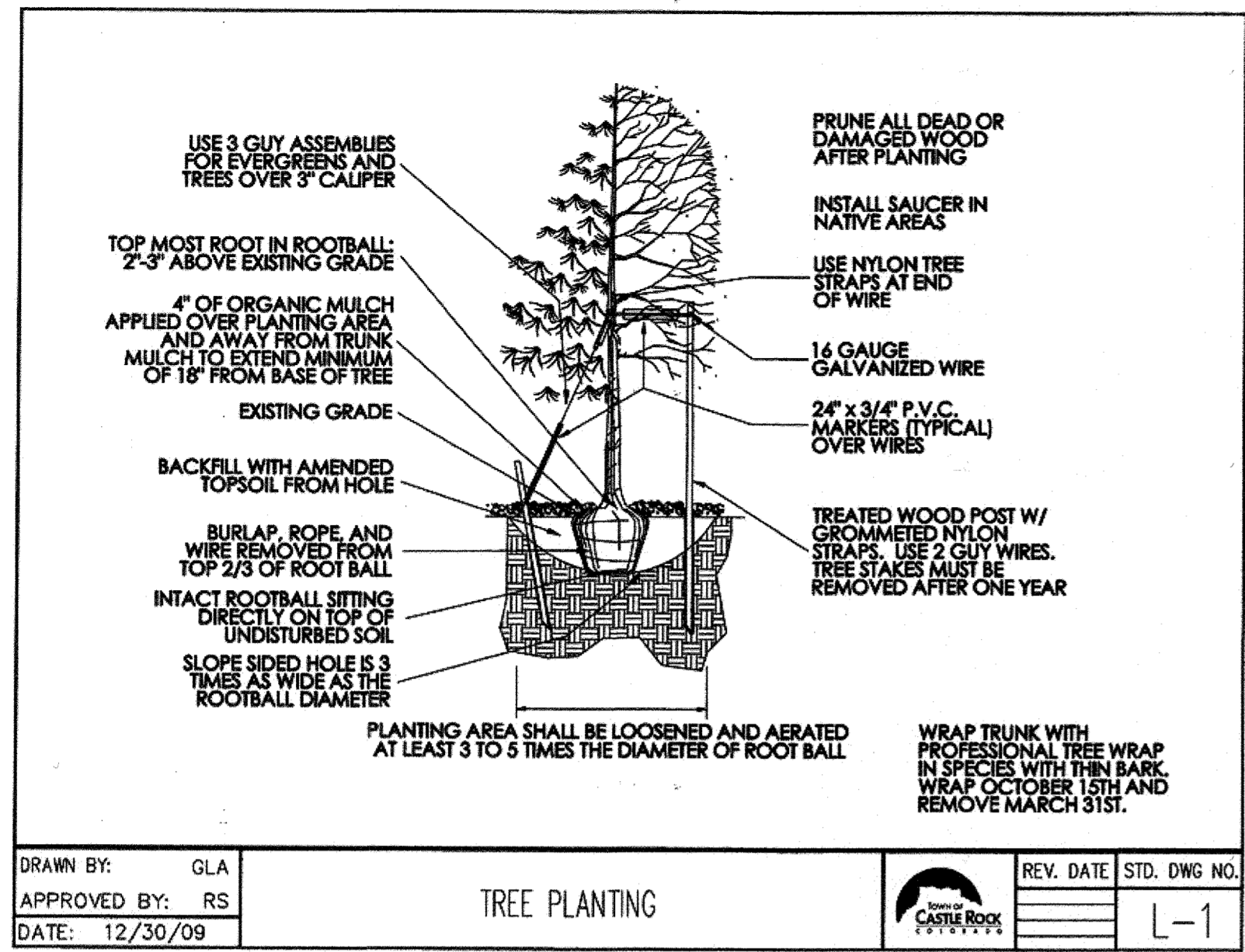
SHEET 13 OF 18

SITE DEVELOPMENT PLAN


LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No 1
 AMENDMENT NO. 6
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK CONSTRUCTION DOCUMENT NOTES:

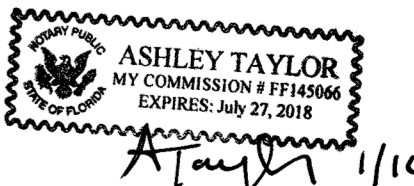
1. Installing contractor shall contact the Town of Castle Rock utilities department at 720.733.6045 to schedule a pre-construction meeting before beginning the installation of the landscaping.
2. Landscape and irrigation shall be installed by a Town of Castle Rock registered landscape contract professional.
3. Soil inspection is required before plant installation and scheduling soil inspection should be discussed at the landscape preconstruction meeting.
4. Installing Contractor is to provide submittal from suppliers for sod and native seed mix at time of landscape inspection.
5. Soil amendment shall be a minimum of four (4) cubic yards of organic matter per one-thousand square feet. This soil amendment shall be rototilled to a depth of six (6) inches. Class I or Class II compost is required.
6. Trees, large shrubs and permanent objects are not permitted in water, sanitary and storm sewer utility easements.
7. All landscape is to be installed by Town of Castle Rock planting details.
8. Plant species and location should follow the approved plan, if site conditions or plant availability require changes to the plan, the contractor must obtain approval from the Town of Castle Rock and the owner's representative.
9. Trees are to be located out of wet utility easements or at least 10' of all wet utility lines such as storm water, sanitary and water.
10. Town of Castle Rock is not responsible for replacing landscape removed in utility easements due to utility line maintenance or repair (PWR 14.3.13)
11. Construction permit and Town approved landscape plans are required on site during installation of the landscape and irrigation.
12. Town inspectors will not approve landscape and irrigation on slopes steeper than 3:1 or overhead irrigation in areas less than 10'



1. THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, IRRIGATION, ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS TO FORM COMPLETE INFORMATION REGARDING THIS SITE
2. LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.
3. ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR 2 YEARS FROM DATE OF FINAL ACCEPTANCE.
4. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
5. BEFORE COMMENCING WORK, CONTACT THE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH THE GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, ETC..
6. ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULE
7. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL SHAPED HEADS, ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND. PLANTING PROCEDURES SHALL CONFORM TO TOWN OF CASTLE ROCK DETAILS.
8. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
9. ROCK MULCH: INSTALL 3-INCHES OF 2"-4", LOCALLY AVAILABLE RIVER COBBLE MULCH IN BEDS - OVER TYPAR 3301 WEED MAT OR APPROVED EQUAL AFTER APPLYING PRE-EMERGENT HERBICIDE.
10. FIBER MULCH: INSTALL SHREDDED CEDAR BARK MULCH 4-INCHES DEEP IN ALL TREE RINGS. FOLLOWING THE APPLICATION OF PRE-EMERGENT HERBICIDE PER MANUFACTURER'S RECOMMENDATIONS.
11. ALL BxB PLANT MATERIAL SHALL HAVE ALL WIRE, TWINE OR OTHER CONTAINMENT MATERIAL, INCLUDING THE BURLAP, REMOVED FROM THE TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING
12. DISTRIBUTE IMPORTED TOPSOIL OVER AREAS TO BE GRASSED TO A MINIMUM DEPTH OF 4" INCHES AND TO A DEPTH OF 10" INCHES IN SHRUB AND PERENNIAL BEDS. TOPSOIL TO BE NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL FREE FROM WEEDS, LITER, GRASS, STONES LARGER THAN 1", ROOTS OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH.
13. SOIL PREPARATION: MIX THE FOLLOWING SOIL AMENDMENTS AND APPLY TO SOD AND SHRUB AREAS. AMENDMENTS AND SUPPLIER SHALL BE SAME AS REMAINDER OF THE DEVELOPMENT.
 - A. ASPEN RICH COMPOST - 4 CUBIC YARDS PER 1,000 S.F.
 - B. COMMERCIAL FERTILIZER (20-10-5): 10 LBS PER 1,000 S.F. C. SUPERPHOSPHATE: 10 LBS PER 1,000 S.F.
14. BACKFILL FOR TREES AND SHRUBS: SHALL CONSIST OF 1/3 ASPEN RICH COMPOST AND 2/3 SITE SOIL. FERTILIZE WITH AGRI-FORM TABLETS AT MANUFACTURER'S RECOMMENDED RATES.
15. EDGING: MUST BE ROLLED AND CAPPED. INSTALL 14 GAUGE 'PRO STEEL' EDGING WITH PINS FLUSH WITH FINISHED GRADE - DETAIL E - ON EXPOSED SHRUB BED PERIMETERS, TREE RINGS, AND BETWEEN CHANGES IN GROUNDCOVER, REFER TO PLAN.
16. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADES IN LANDSCAPE AREAS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL AS NECESSARY BY THIS WORK.
18. CONTRACTOR SHALL REPAIR ALL DAMAGE DUE TO HIS CONSTRUCTION AND KEEP PROJECT AREAS CLEAN AND ORDERLY DURING AND UPON COMPLETION OF HIS WORK.
19. CONTRACTOR IS TO CHECK THE SITE WEEKLY TO INSURE ALL PLANT MATERIAL IS HEALTHY AND WELL WATERED.



A & K LAND PLANNING & DESIGN
 Inc.
 PHONE (904) 476-9692
 2621 SUNRISE RIDGE LANE JACKSONVILLE, FLORIDA 32211
 E-MAIL: SUE.KRUEFFER@A&KLANDPLANNING.COM/CAST.NET
 Kristoffer Reed RLA
 000118



PROJECT NUMBER: SDP16-0030
 SITE DEVELOPMENT PLAN
 LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. AMENDMENT No. 6

| | |
|--|---|
| BANK OF AMERICA CASTLE ROCK BRANCH CASTLE ROCK, CO | LANDSCAPE DETAILS DATE |
| Bank of America | LANDSCAPE DETAILS |
| H & T CONSULTANTS, INC. PLANNING - ENGINEERING 9310 OLD KINGS ROAD SOUTH, SUITE 1001 JACKSONVILLE, FLORIDA 32257 PHONE: 904-419-1001 FAX: 904-419-1004 | JOB NO: 2016.34 DRAWN: KSR CHECK: SG DATE: JULY 2016 PLATE L-2 SHEET 14 OF 18 |

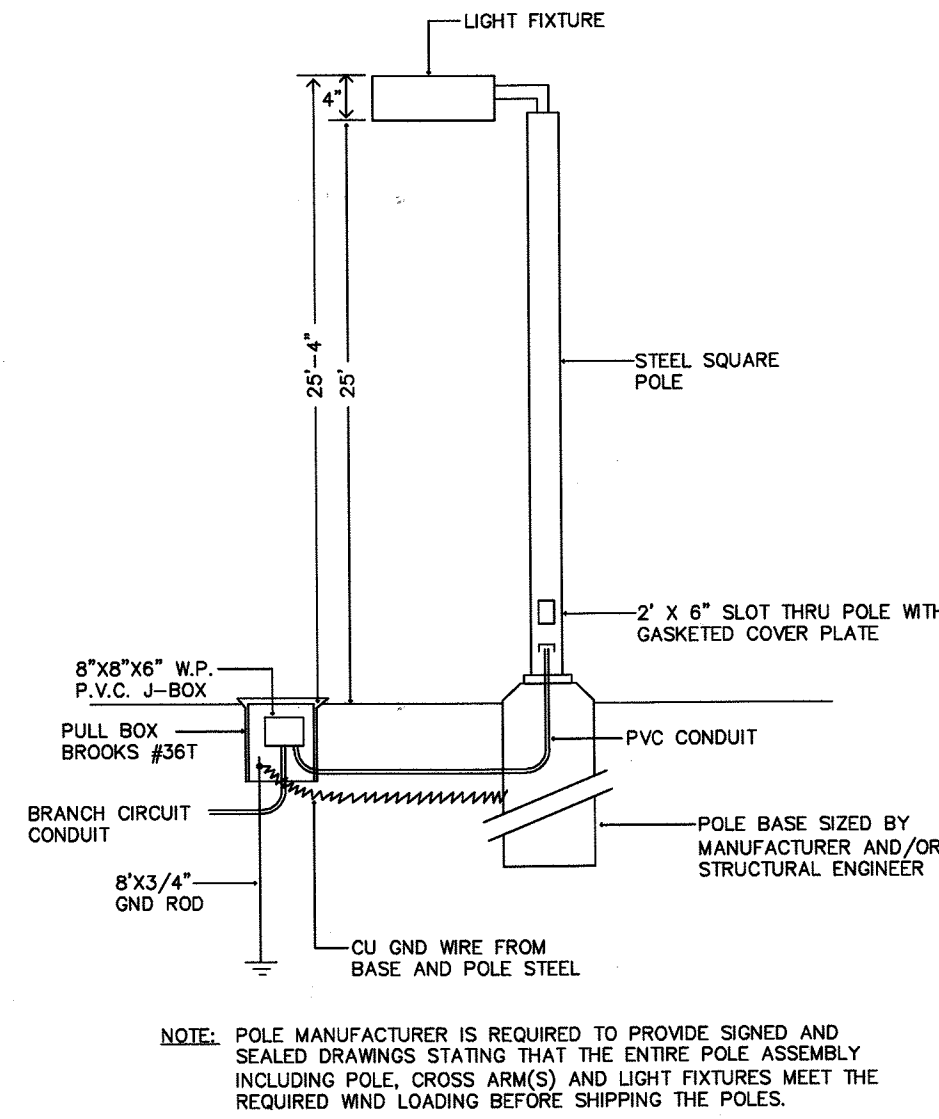
SITE DEVELOPMENT PLAN

LOT 3, BLOCK 6, PROMENADE AT CASTLE ROCK FILING No. 1 AMMENDMENT No. 6
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

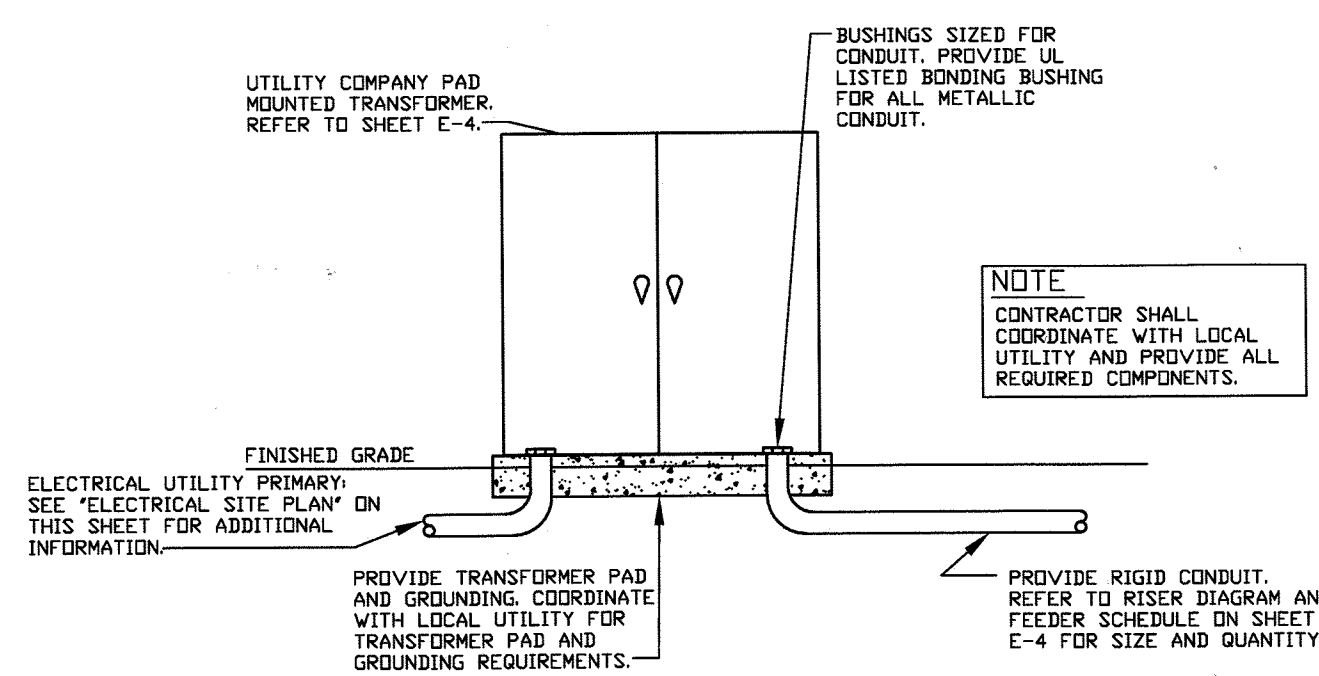
| Luminaire | Qty | Label | Arrangement | Lumens/Lamp | LLF | Total Watts | Description | Mount Height |
|-----------|-----|--------|-------------|-------------|-------|-------------|-------------------------------------|--------------|
| ● | 4 | 2M-4 | SINGLE | 5886 | 1.000 | 140 | ARE-EDG-2M-DA-04-E-UL-BZ-525-40K | 25' |
| ● | 1 | 3M-4 | SINGLE | 5676 | 1.000 | 210 | ARE-EDG-3M-DA-04-E-UL-BZ-525-40K | 25' |
| ● | 2 | 3M-8 | SINGLE | 11220 | 1.000 | 286 | ARE-EDG-3M-DA-08-E-UL-BZ-525-40K | 25' |
| ● | 11 | SS-4 | SINGLE | 6997 | 1.000 | 70 | ARE-EDG-SS-DA-04-E-UL-BZ-525-40K | 25' |
| ● | 2 | SS-8 | SINGLE | 13833 | 1.000 | 286 | ARE-EDG-SS-DA-08-E-UL-BZ-525-40K | 25' |
| ● | 6 | SSR | SINGLE | 4768 | 1.000 | 276 | INT-304-SS-RM-04-E-UL-WH-350-40K | 11'-6" |
| ○ | 17 | KR6 | SINGLE | 1700 | 1.000 | 510 | KR6-20L-40K-120V-10V + KRRT-SSGC-FF | 12' |
| ○ | 6 | K | SINGLE | 900 | 1.000 | 11 | AD 150 CW LED 120 GWT | 10' |
| ○ | 5 | K1 | SINGLE | 750 | 1.000 | 39 | WX 260259 | 10' |
| ○ | 1 | TUNNEL | SINGLE | 50 | 1.000 | 20 | TUNNEL LIGHT | 12' |
| ○ | 2 | S | SINGLE | 400 | 1.000 | 54 | 4348-22815-DB | 1'-6" |

Pole Schedule
(10) PS4S22C1BZ (22" X 4" X 126" STEEL SQUARE POLE)
Proposed poles meet 130 MPH sustained winds.

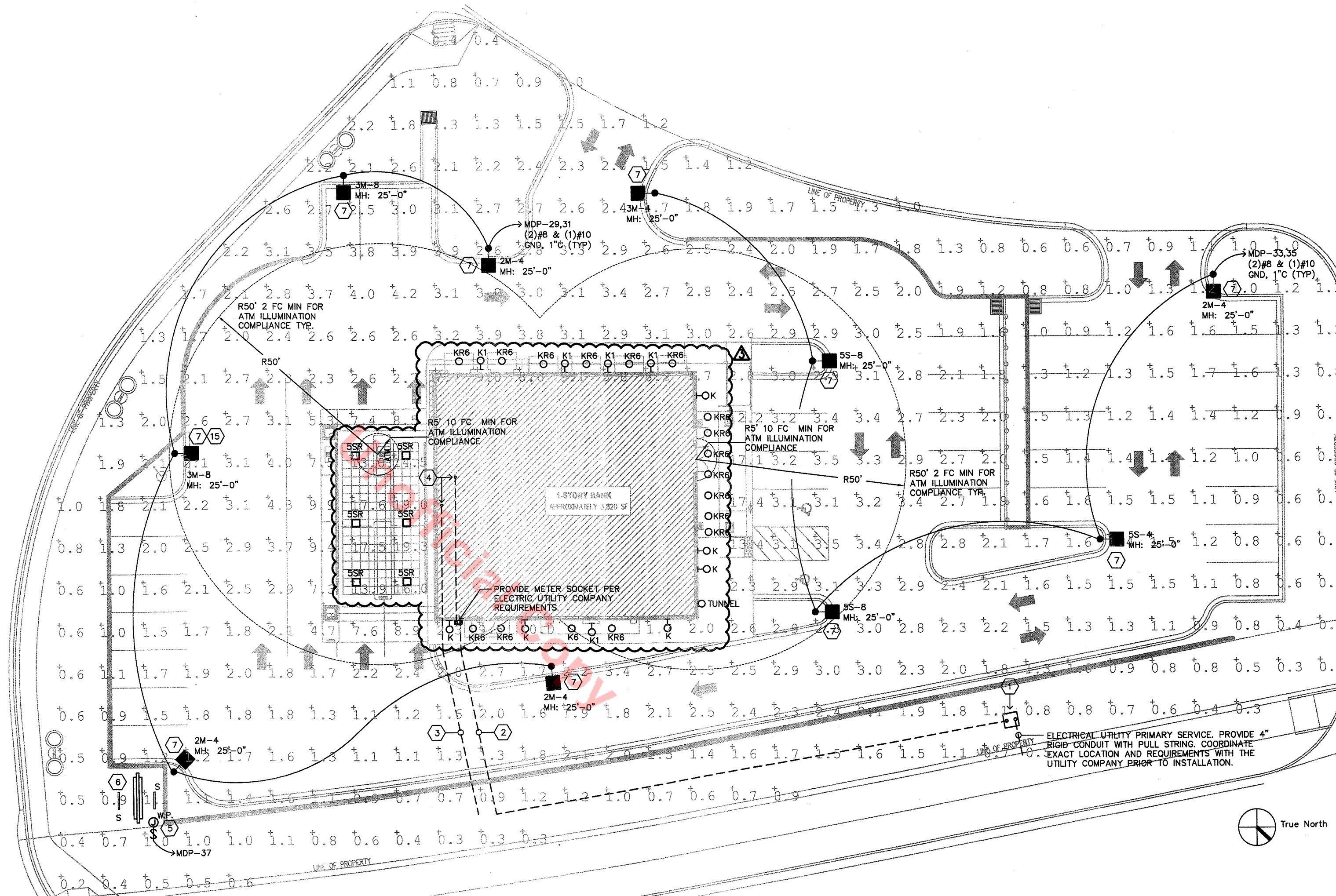
| Label | Avg | Max | Min | Avg/Min | Max/Min |
|-----------------------|-------|------|------|---------|---------|
| ENTRANCE SITE | 2.60 | 17.5 | 0.1 | 26.00 | 175.00 |
| PAVED SURFACE | 3.45 | 13.2 | 0.7 | 5.11 | 18.85 |
| 5' RADIUS ATM | 14.45 | 14.5 | 14.4 | 1.00 | 1.01 |
| 60' RADIUS DRIVE THRU | 6.30 | 19.3 | 2.0 | 3.15 | 9.65 |
| 60' RADIUS ENTRANCE | 4.38 | 17.5 | 2.3 | 1.90 | 7.61 |



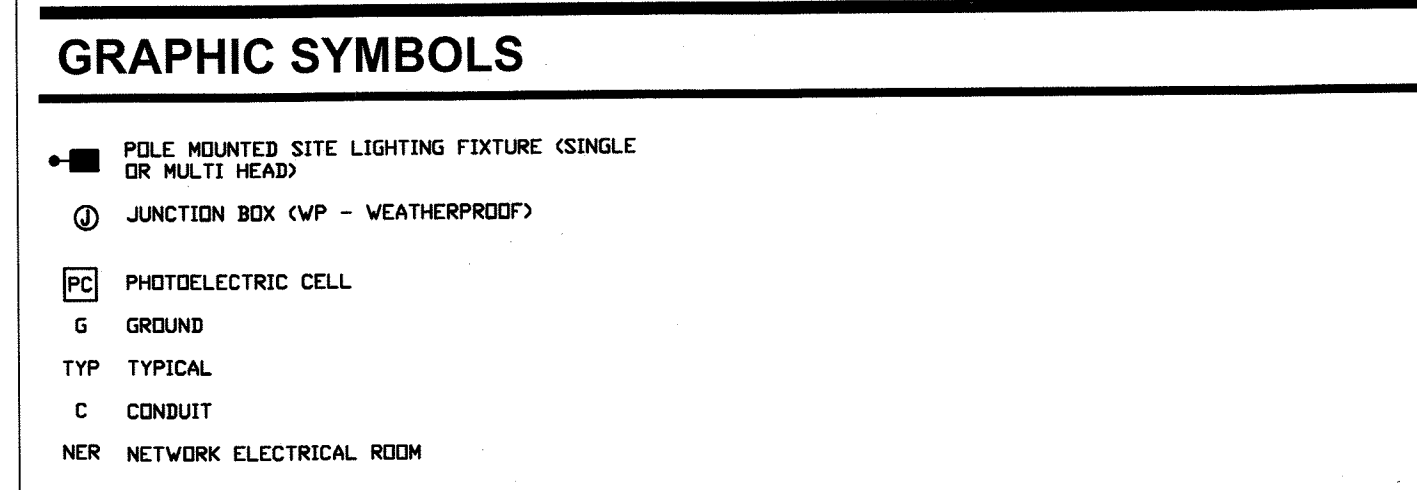
3
SITE LUMINAIRE & POLE DETAIL
NOT TO SCALE



2
PAD MOUNTED TRANSFORMER DETAIL
NOT TO SCALE



1
ELECTRICAL SITE PLAN
1/16"=1'-0"



- KEY NOTES**
- REFER TO CIVIL PLANS FOR LOCATION OF UTILITY COMPANY'S PAD MOUNTED TRANSFORMER. PROVIDE CONCRETE PAD FOR UTILITY TRANSFORMER. FIELD VERIFY EXACT LOCATION OF EQUIPMENT WITH UTILITY COMPANY. FIELD COORDINATE ALL ASPECTS OF SERVICE ENTRANCE WITH UTILITY COMPANY. REFER TO PAD MOUNTED TRANSFORMER DETAIL ON THIS SHEET FOR ADDITIONAL INFORMATION.
 - INCOMING UNDERGROUND SECONDARY ELECTRICAL SERVICE. REFER TO ELECTRICAL RISER DIAGRAM FOR ADDITIONAL INFORMATION. INSTALL ADDITIONAL HANDHOLES AS REQUIRED.
 - TELEPHONE UTILITY SERVICE CONDUIT. PROVIDE (2) 4" CONDUITS FROM TELEPHONE EQUIPMENT BACKBOARD TO PROPERTY LINE. FIELD VERIFY EXACT LOCATION OF TERMINATION WITH TELEPHONE COMPANY REPRESENTATIVE. FIELD COORDINATE ALL ASPECTS OF SERVICE ENTRANCE WITH UTILITY COMPANY. PROVIDE NYLON FULL STRING.
 - REFER TO DRAWING E-1 FOR EXACT LOCATION OF CONDUIT STUB-UPS IN BUILDING.
 - EXTEND CIRCUITS INDICATED THRU EXTERIOR LIGHTING CONTROLLER. REFER TO DRAWINGS E-5 FOR CONTACTOR DETAIL.
 - FIELD COORDINATE EXACT LOCATION OF SIGNAGE STUB-UP. COORDINATE WITH ARCHITECT BANK SIGNAGE. PROVIDE FINAL ELECTRICAL CONNECTION. PROVIDE WATER TIGHT JUNCTION BOX AND DISCONNECT SWITCH FOR MONUMENT SIGN. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS.
 - REFER TO POLE BASE DETAIL (1) ON THIS SHEET.

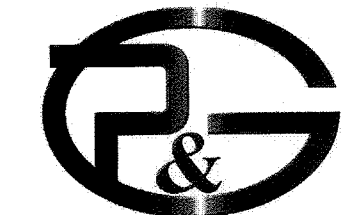
- GENERAL NOTES**
- CONTRACTOR PROPOSING TO UNDERTAKE WORK UNDER THIS DIVISION SHALL VISIT THE SITE OF THE WORK AND FULLY INFORM THEMSELVES OF ALL CONDITIONS THAT AFFECT THE WORK AND COST THEREOF, AND EXAMINE THE DRAWINGS AND SPECIFICATIONS AS RELATED TO THE SITE CONDITIONS.
 - CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS OF THE AMOUNT OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS AND CONDITIONS INDICATED ON THE DRAWINGS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS OR BE IN DOUBT AS TO THE INTENT THEREOF, HE SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ENGINEER AND/OR OWNER'S REPRESENTATIVE PRIOR TO SUBMITTING HIS PROPOSAL FOR WORK.
 - FIELD VERIFY EXACT NAMEPLATE DATA ON ALL EQUIPMENT FURNISHED UNDER OTHER DIVISIONS AND/OR BY THE TENANT (E. G. HVAC EQUIPMENT, KITCHEN EQUIPMENT, ETC.) PRIOR TO THE INSTALLATION OF ELECTRICAL WORK AND MAKE ANY ADJUSTMENTS TO OUTLETS, CONDUITS, WIRE AND/OR CIRCUIT BREAKER AS REQUESTED TO MATCH EQUIPMENT ACTUALLY FURNISHED.
 - REFER TO ELECTRICAL RISER DIAGRAM ON SHEET E-4 FOR MORE INFORMATION.
 - REFER TO PANEL SCHEDULES ON SHEET E-4 FOR SITE LIGHTING CIRCUITING.
 - REFER TO PANEL SCHEDULES ON SHEET E-4 FOR SITE LIGHTING CIRCUITING.
 - REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E-5 FOR MORE INFORMATION.
 - ALL UNDERGROUND WIRING SHALL BE LOCATED WITHIN 12" OF BACK OF CURB IN ALL LOCATIONS.
 - FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF POLE BASES AND UNDERGROUND CONDUIT.
 - POLE BASES SHALL BE INSTALLED 4'-0" BEHIND BACK OF CURB TO CENTER OF POLE BASE.
 - PANEL 'W' IS LOCATED IN THE 'NEE' ROOM - SEE SHEET E-1 FOR EXACT LOCATION.
 - ABOVE CONDUITORS SHALL BE COPPER. CONDUCTORS FOR ALL ABOVE GROUND SERVICE SHALL BE THIN-TWALL CONDUCTORS FOR BELOW GRADE SERVICE SHALL BE THW OR XHHW. CONDUCTORS #10 AND SMALLER SHALL BE SOLID. CONDUCTORS #8 AND LARGER SHALL BE STRANDED.
 - THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT THE BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.
 - ALL EXTERIOR LIGHT FIXTURES CIRCUITS ARE CONTROLLED BY EXTERIOR LIGHTING CONTRACTORS AND PHOTOCCELL.
 - COORDINATE POLE BASE AND LOCATION WITH FIRE HYDRANT.

Bank of America Castle Rock New Store

Lot 3, block 6A
Castle Rock, CO 80108

SERIAL NUMBER: COW-094
NRSP VERSION: 2.0
BULLETIN: 03 - 09. 26.2016

ARCHITECTURAL DESIGN COLLABORATIVE
945 North Pennsylvania Avenue
Winter Park, Florida 32789
(407) 629-1188
(407) 388-1220



P&G ENGINEERING DESIGN GROUP CORP.
21 SW 105th St., Miami, FL 33174
Office: 786.474-8018
Cell: 786.863.7091

| Issue | Client Date & Issue Description | By | Check |
|------------------------------|---------------------------------|-------|--------|
| 01 | 08/28/16 | MF | JFP/NM |
| SCHEMATIC DESIGN REVIEW | | | |
| 02 | 09/28/16 | ME/PG | JFP/NM |
| DESIGN DEVELOPMENT REVIEW | | | |
| 03 | 10/28/16 | ME/PG | JFP/NM |
| CONSTRUCTION DOCUMENT REVIEW | | | |

| Issue | Jurisdiction Date & Issue Description | By | Check |
|------------------------------|---------------------------------------|----|-------|
| 01 | 11/01/2016 | PG | NM |
| PERMIT ISSUE SET | | | |
| 02 | 11/14/2016 | PG | NM |
| SITE PLAN RE-SUBMITTAL | | | |
| 03 | 12/19/2016 | JG | LOP |
| BUILDING DEPARTMENT COMMENTS | | | |

Seal/Signature


LUIS O. REYES
STATE OF COLORADO
Project Name: Castle Rock
Prototype Layout: New Store
Project Number: 16152
CAD File Name: C:\P&G\Projects\2016\ADC\16-152 BoFA Castle Rock
Description: P&G\Projects\2016\ADC\16-152 BoFA Castle Rock
SITE PLAN

Scale 1/16" = 1'-0"

E-0.0

SHEET 15 OF 18

PROJECT NUMBER: SDP16-0030
SITE DEVELOPMENT PLAN
LOT 3, BLOCK 6, PROMENADE
AT CASTLE ROCK FILING No. 1
AMMENDMENT No. 6



Sign / Wall Lighter 4300 Series
120 Volt Extruded Aluminum, T-5 / T-8 Fluorescent
revision 2/19/09 • 4300.pdf

Type: S
Job: BoFA Castlr Rock
Fixture Catalog number:

4348 / 22875 / DB
Finish: White / Lamp(s): DB / DB
Date: Page: 1 of 5

Fixture Options:
Ordered Separately from Fixture
See page 2

Mounting Options:
SM18/DB
Ordered Separately from Fixture
See page 3,5

Approvals:

Specifications

Housing: One-piece extruded aluminum with die-cast aluminum ends.

Swivels: Two, die-cast aluminum, with locking teeth and 1/2" solid brass NPT mount. Swivel locked by 1/2-20 stainless set screw. Clear anodized prior to powder coating for added corrosion resistance.

Reflector: Specular Alzak®.

Lens: Clear flat acrylic, fully gasketed, retained by a concealed extruded aluminum rail with recessed captive allen-head fasteners.

Socket: Medium bipin mounted on reflector.

Wiring: Factory prewired with No. 18AWM rated 105°C, leads extended from swivel base.

Ballast: Electronic ballast 0°F starting. Variable voltage 120 through 277.

Finish: Super TGIC thermoset polyester powder coat paint, 2.5 mil nominal thickness, applied over a titanium zirconium conversion coating; 2500 hour salt spray test endurance rating. Standard colors are Black (BL), Dark Bronze (DB), and Verde Green (GR).

Certification: UL Listed to U.S. and Canadian safety standards for wet locations.

ORDERING INFORMATION

Fixture Length

| | | | |
|-----------------------------------|-----|--------------------------|--------------------------|
| <input type="checkbox"/> 4324 | 25" | Lamp(s) | Wattage / Lamp(s) |
| <input type="checkbox"/> 11475 | | (1) 14 watt T-5 lamp | |
| <input type="checkbox"/> 21475 | | (2) 14 watt T-5 lamps | |
| <input type="checkbox"/> 12475-HO | | (1) 24 watt T-5-HO lamp | |
| <input type="checkbox"/> 22475-HO | | (2) 24 watt T-5-HO lamps | |
| <input type="checkbox"/> 11778 | | (1) 17 watt T-8 lamp | |

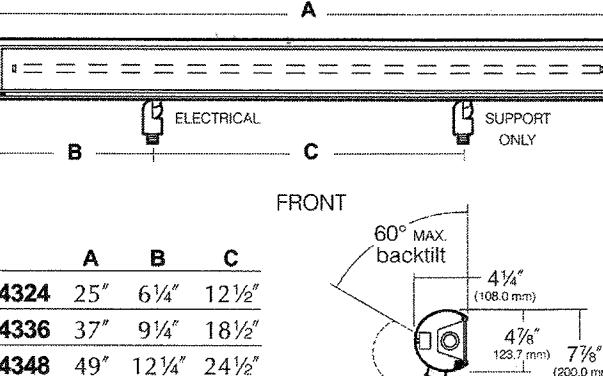
Fixture Length

| | | | |
|-----------------------------------|-----|--------------------------|--------------------------|
| <input type="checkbox"/> 4336 | 37" | Lamp(s) | Wattage / Lamp(s) |
| <input type="checkbox"/> 12175 | | (1) 21 watt T-5 lamp | |
| <input type="checkbox"/> 22175 | | (2) 21 watt T-5 lamps | |
| <input type="checkbox"/> 13975-HO | | (1) 39 watt T-5-HO lamp | |
| <input type="checkbox"/> 23975-HO | | (2) 39 watt T-5-HO lamps | |
| <input type="checkbox"/> 12578 | | (1) 25 watt T-8 lamp | |

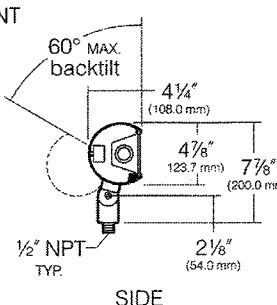
Fixture Length

| | | | |
|---|--|--------------------------|--|
| <input type="checkbox"/> 12875 | | (1) 28 watt T-5 lamp | |
| <input checked="" type="checkbox"/> 22875 | | (2) 28 watt T-5 lamps | |
| <input type="checkbox"/> 15475-HO | | (1) 54 watt T-5-HO lamp | |
| <input type="checkbox"/> 25475-HO | | (2) 54 watt T-5-HO lamps | |
| <input type="checkbox"/> 13278 | | (1) 32 watt T-8 lamp | |

NOTE: Electronic Ballast operates 120 through 277 volts (50-60 Hz). Electronic Ballast minimum starting temperature -20°F (0°C).




FRONT



SIDE

ITEM # LBS
380190 33

S - KIM LIGHT (MONUMENT SIGN)



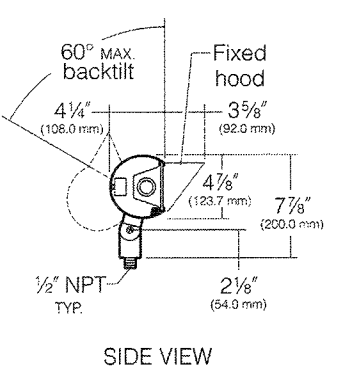
Sign / Wall Lighter 4300 Series
120 Volt Extruded Aluminum, T-5 / T-8 Fluorescent
revision 2/19/09 • 4300.pdf

Type: S
Job: BoFA Castlr Rock
Page: 2 of 5

Fixture Options
Ordered Separately from Fixture


Optional Fixed Hood
Cat. No.
 FH24 (for 4324)
 FH36 (for 4336)
 FH48 (for 4348)
 No Option

Formed 1/8" thick aluminum. Mounts to the face of the fixture to shield lamp and lens from view. Mounts to predrilled holes in the fixture housing.



NOTE: Electronic Ballast operates 120 through 277 volts (50-60 Hz). Electronic Ballast minimum starting temperature -20°F (0°C).

S - KIM LIGHT (MONUMENT SIGN SHIELD)



Sign / Wall Lighter 4300 Series
120 Volt Extruded Aluminum, T-5 / T-8 Fluorescent
revision 2/19/09 • 4300.pdf

Type: S
Job: BoFA Castlr Rock
Page: 5 of 5

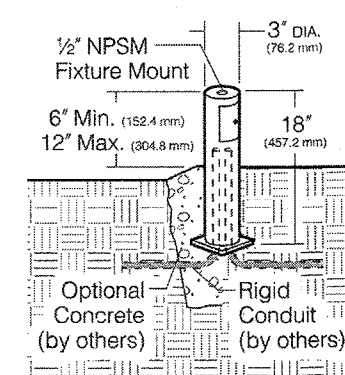
Mounting Options
Ordered Separately from Fixture

Stanchion Mount (two required)

Cat. No. Finish
 SM18/BL Black
 SM18/DB Dark Bronze
 SM18/GR Verde Green
 No Option

3" O.D. by .188" wall cast aluminum with 1/2" NPSM fixture mount and hand hole with flush cover. Internal set screw fixture lock accessible through hand hole. Internal ground lug supplied with installed lead. Super TGIC powder coat paint over clear anodizing and titanium zirconium conversion coating.

NOTE: May also be used to hard mount low voltage fixtures.



S - KIM LIGHT (MONUMENT SIGN MOUNTING)

FLAGPOLE LIGHTING

TUNNEL LIGHTS

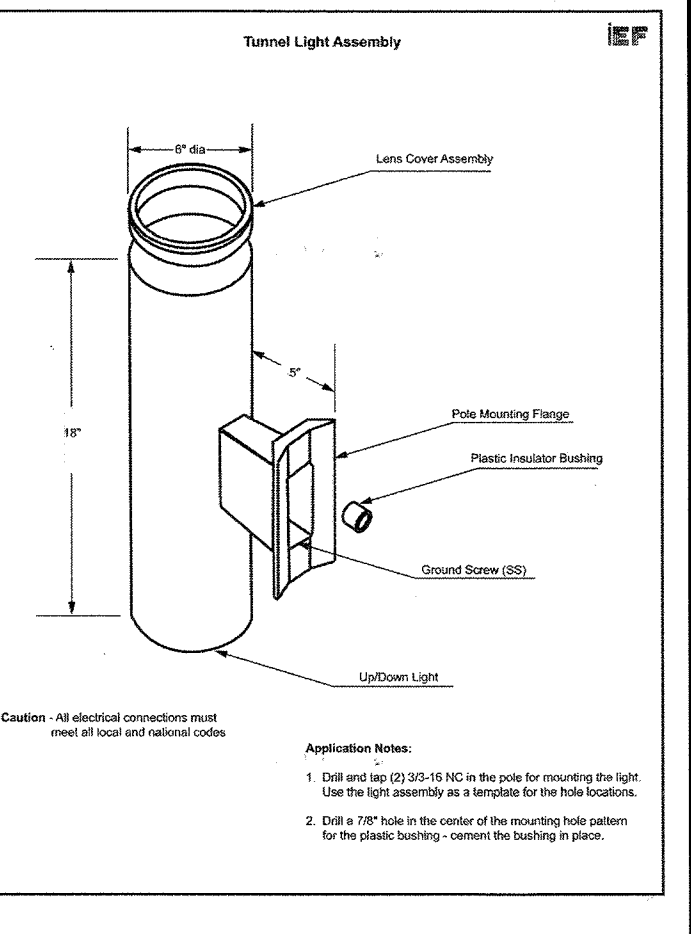
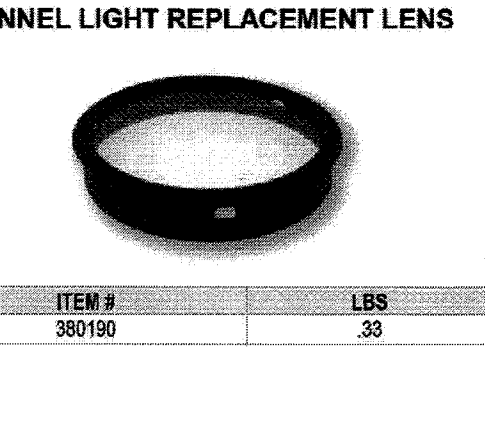
Sold in sets only - 18" long by 6" diameter aluminum cylinders. Fixtures 10 watt LED flood lamps for up lighting only (lamps & wiring not included in weight).

NOTE: Electrical access doors can only be supplied on 6" and larger diameter poles. Minimum wall thickness: 1/8".

| FOR POLE DIA. | LBS |
|---------------|-----|
| 6" | 18 |
| 7" | 18 |
| 8" | 19 |
| 10" | 19 |
| 12" | 18 |

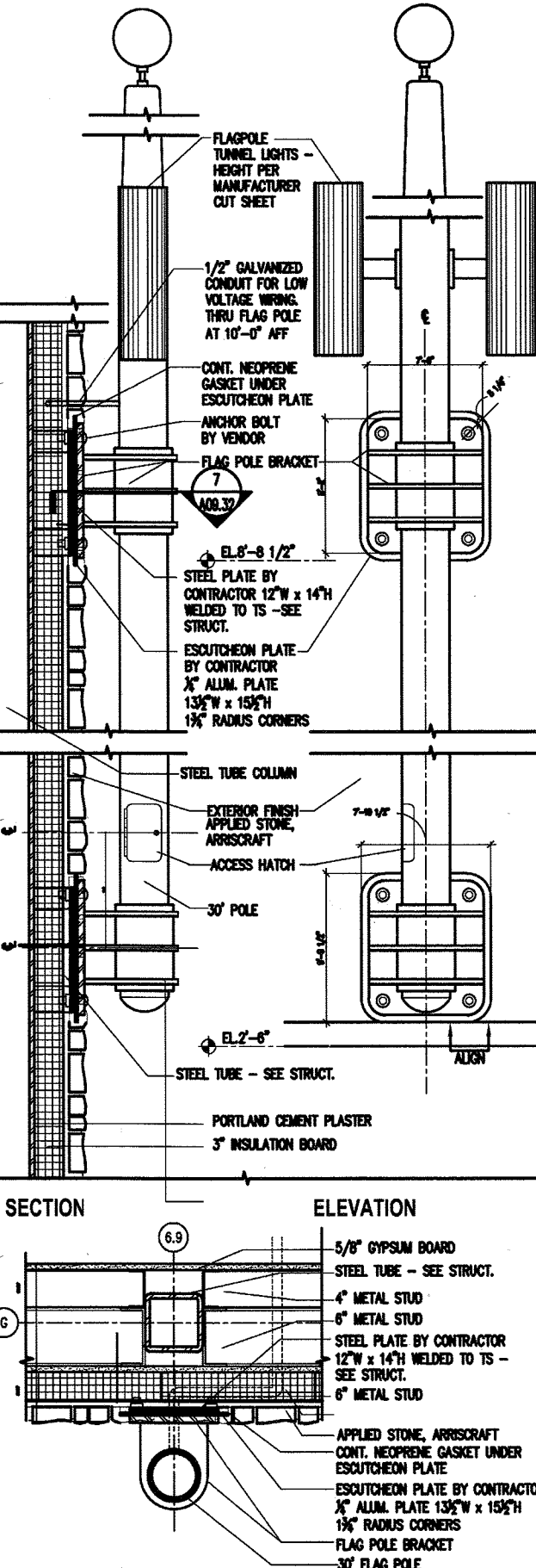
TUNNEL LIGHT LOCATION CHART

| SHAFT LENGTH | LIGHT HEIGHT ABOVE GRADE | HEIGHT FROM POLE BOTTOM | EXTRA IN CABLE | OVERALL |
|--------------|--------------------------|-------------------------|----------------|---------|
| 20' | 0' | 12' | 4' | 23' |
| 25' | 0' | 12' | 4' | 27' |
| 30' | 11' | 14' | 6' | 33' |
| 35' | 13' | 15-1/2' | 8' | 38-1/2' |
| 40' | 14' | 16' | 9' | 44' |
| 45' | 17' | 22-1/2' | 12' | 49-1/2' |
| 50' | 19' | 24' | 14' | 55' |
| 60' | 23' | 28' | 16' | 66' |
| 70' | 26' | 33' | 21' | 77' |
| 80' | 29' | 37' | 24' | 88' |

TUNNEL - FLAG POLE LIGHT

Unofficial Copy



SECTION

ELEVATION

TUNNEL - FLAG POLE DETAIL

Cree Edge™ Series

LED Area/Flood Luminaire

Product Description
The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a lead/fabric guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways.

Patented NanoOptic® Product Technology
Made in the U.S.A. of U.S. and imported parts

CR1: 6000K (uv-300K), 5700K (uv-500K) standard
CR2: 4000K (uv-300K), 5700K (uv-500K) standard
Limited Warranty: 10 years on luminaires/5 years on ColorCast Distalight® Flood

Accessories

| LED Count (4000) | Dim. "A" | Weight |
|------------------|---------------|-----------------|
| 02 | 12.1" (306mm) | 21 lbs. (9.5kg) |
| 04 | 12.1" (306mm) | 24 lbs. (11kg) |
| 08 | 14.1" (357mm) | 27 lbs. (12kg) |
| 08 | 16.1" (409mm) | 28 lbs. (12kg) |
| 10 | 16.1" (409mm) | 32 lbs. (15kg) |
| 12 | 20.1" (511mm) | 34 lbs. (15kg) |
| 14 | 22.1" (562mm) | 37 lbs. (17kg) |
| 16 | 24.1" (613mm) | 41 lbs. (19kg) |

Ordering Information
Example: ARE-EGD-3M-AA-12-UL-5V-350

| Product | Optic | Mounting* | LED Count (4000) | Series | Voltage | Color Options | Dim. "A" | Options |
|---------|-------|-----------|------------------|--------|---------|---------------|----------|---------|
| ARE-3M | SM | SM | 02 | AA | 02 | E | 12.1" | None |
| ARE-3M | SM | SM | 04 | AA | 04 | E | 12.1" | None |
| ARE-3M | SM | SM | 08 | AA | 08 | E | 14.1" | None |
| ARE-3M | SM | SM | 08 | AA | 16 | E | 16.1" | None |
| ARE-3M | SM | SM | 12 | AA | 12 | E | 20.1" | None |
| ARE-3M | SM | SM | 14 | AA | 14 | E | 22.1" | None |
| ARE-3M | SM | SM | 16 | AA | 16 | E | 24.1" | None |
| ARE-3M | SM | SM | 02 | AA | 02 | E | 12.1" | None |
| ARE-3M | SM | SM | 04 | AA | 04 | E | 12.1" | None |
| ARE-3M | SM | SM | 08 | AA | 08 | E | 14.1" | None |
| ARE-3M | SM | SM | 08 | AA | 16 | E | 16.1" | None |
| ARE-3M | SM | SM | 12 | AA | 12 | E | 20.1" | None |
| ARE-3M | SM | SM | 14 | AA | 14 | E | 22.1" | None |
| ARE-3M | SM | SM | 16 | AA | 16 | E | 24.1" | None |

ARE EGD 3M-8

Rev. Date: 06/02/2016

USA: 800.950.0000 • Canada: 905.885.8800

PROJECT NUMBER: SDP16-0030
SITE DEVELOPMENT PLAN
LOT 3, BLOCK 6, PROMENADE
AT CASTLE ROCK FILING No. 1
AMENDMENT No. 6

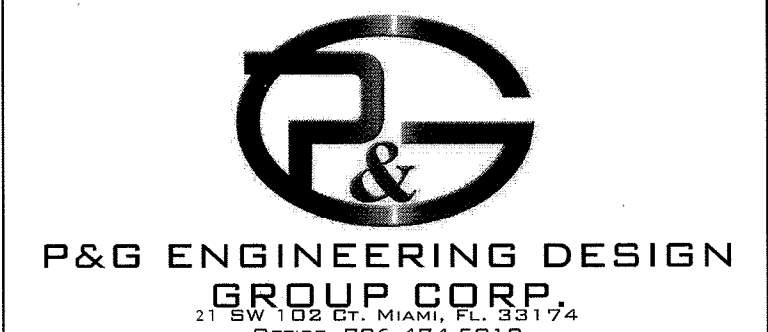
SHEET 18 OF 18

Bank of America Castle Rock New Store

Lot 3, block 6A
Castle Rock, CO 80108

SERIAL NUMBER: COW-094
NRSP VERSION: 2.0
BULLETIN: 03 - 09. 26.2016

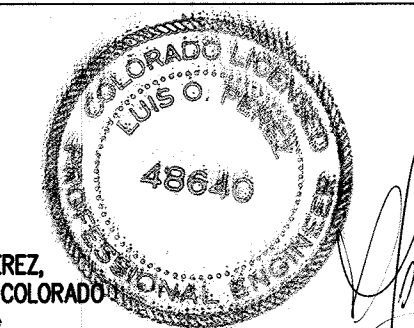
ARCHITECTURAL DESIGN COLLABORATIVE
945 North Pennsylvania Avenue
Winter Park, Florida 32789
(407) 629-1188
(407) 888-1220



| Issue | Client Date & Issue Description | By | Check |
|------------------------------|---------------------------------|---------|---------|
| 01 | 08/29/16 | MF /JFP | NM |
| SCHEMATIC DESIGN REVIEW | | | |
| 02 | 09/28/16 | MF /PG | JFP /NM |
| DESIGN DEVELOPMENT REVIEW | | | |
| 03 | 10/28/16 | MF /PG | JFP /NM |
| CONSTRUCTION DOCUMENT REVIEW | | | |

| Issue | Jurisdiction Date & Issue Description | By | Check |
|------------------------|---------------------------------------|----|-------|
| 01 | 11/01/2016 | PG | NM |
| PERMIT ISSUE SET | | | |
| 02 | 11/14/2016 | PG | NM |
| SITE PLAN RE-SUBMITTAL | | | |

Seal/Signature



LUIS O. PEREZ
STATE OF COLORADO PROFESSIONAL ENGINEER
48840

Project Name
Castle Rock
New Store

Project Number
16152

CAD File Name
C:\P&G\Projects\2016\ADC\16-152 BoFA Castle Rock

Description
FLAG POLE AND LIGHT FIXTURES

Scale: 0" 1" 2" 4" 8" True North