

# LOS DOS POTRILLOS CASTLE ROCK SITE DEVELOPMENT PLAN, AMENDMENT NO. 10

LOT 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK, FILING NO. 1, AMENDMENT 24, LOCATED IN THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
SDP22-0040

### LEGAL:

LOT 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING 1, AMENDMENT 24, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE WEST LINE OF SAID SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE.

### BENCHMARK:

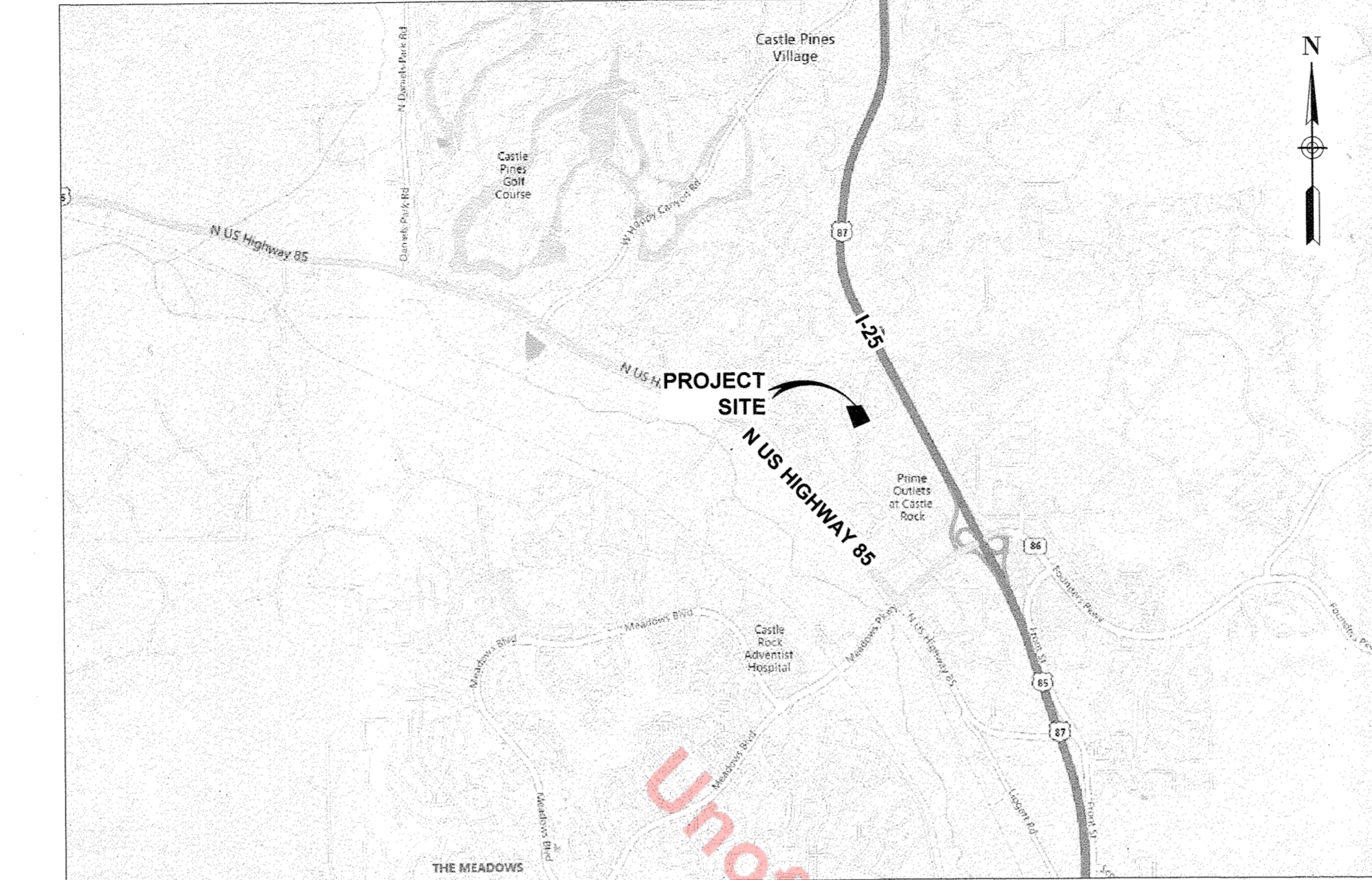
NGS CONTROL POINT NUMBER K 23 BEING A 3" BRASS CAP SET IN CONCRETE STAMPED "K 23 1929" LOCATED ON THE SOUTH SIDE OF SANTA FE DRIVE, 1,500 FEET NORTHWEST OF THE INTERSECTION OF SANTA FE DRIVE AND HAPPY CANYON ROAD, AND 48 FEET NORTH OF THE NORTH RAIL OF UNION PACIFIC RAILROAD TRACKS AND NEXT TO A CDOT CARSONITE POST. ELEVATION = 5984.85' (NAVDS88)

### FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION, THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

### SITE DEVELOPMENT PLAN GENERAL NOTES:

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3 AND 8.2.5 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0167G DATED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- REVISED: 11/5/2019
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THE ZONING RECORDATION INFORMATION, INCLUDING DATE AND RECEPTION NUMBER OR THIS SITE IS ZONED THE PROMENADE AT CASTLE ROCK PD.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.



VICINITY MAP  
SCALE 1" = 2000'

### SUMMARY TABLE

ZONING: PROMENADE AT CASTLE ROCK PDP				
NEIGHBORHOOD USE AREA: NA				
ZONE LOT SIZE (GROSS PROJECT AREA)	1.674 ACRES			
GROSS FLOOR AREA	6867 SF			
PROPOSED USE	RESTAURANT			
BUILDING SETBACKS				
	REQ'D PER PD	PROVIDED		
NORTH (FRONT)	TBD	159'		
EAST (SIDE)	TBD	77'		
SOUTH (BACK)	TBD	32'		
WEST (SIDE)	TBD	52'		
HEIGHT OF BUILDING				
	MAX 50'	28.5'		
GROUND COVERAGE				
	EXISTING	PROPOSED	TOTAL	
BUILDING	0	7469 SF (0.17 AC)	7469 SF (0.17 AC)	
PARKING	41487 SF (0.95 AC)	0	41487 SF (0.95 AC)	
SIDEWALK	0	3128 SF (0.07 AC)	3128 SF (0.07 AC)	
PATIO	0	2070 SF (0.05 AC)	2070 SF (0.05 AC)	
LANDSCAPE	15524 SF (0.36 AC)	3241 SF (0.07 AC)	18765 SF (0.43 AC)	
<b>TOTAL</b>	<b>57011 (1.31 AC)</b>	<b>15908 (0.37 AC)</b>	<b>72919 SF (1.67 AC)</b>	
SINGLE FAMILY EQUIVALENTS				
	WATER	WASTEWATER		
	51.5	51.5		
PARKING				
	REQ'D PER CODE	EXISTING	PROPOSED	TOTAL
ONSITE	111	111	0	111
ADA	2	5	0	5
VAN	1	1	0	1
BICYCLE	5% OF SPACES	6	0	6
PARKING CALCULATIONS:				
1 space for each 3 fixed seats (Indoor and outdoor)		331 seats / 3 = 111 spaces		
12 spaces per 1,000 sq. ft. of GFA		8243 sq. ft.		
therefore 8243 sf/1000 = 8.243 @ 8.243*12= 99 spaces				

### SHEET INDEX:

- COVER SHEET
- SITE PLAN
- GRADING PLAN
- OVERALL UTILITY PLAN
- LANDSCAPE DETAILS
- LANDSCAPE PLAN
- BUILDING ELEVATIONS (SHEET 1 OF 2)
- BUILDING ELEVATIONS (SHEET 2 OF 2)
- LIGHTING PLAN
- LIGHTING DETAILS

### LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED 10/25/2022 AT RECEPTION NO. 202209025 DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

SIGNED THIS 14<sup>th</sup> DAY OF June 20 23  
 NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 14<sup>th</sup> DAY OF June 20 23 BY Ruben

WITNESS MY HAND AND OFFICIAL SEAL.  
 BENJAMIN LELAND HALYAMAN CASEY  
 NOTARY PUBLIC  
 STATE OF COLORADO  
 NOTARY ID 202240468950  
 MY COMMISSION EXPIRES 12/13/26

### CIVIL ENGINEER:

KURT A. LANG  
**ROTH LANG**  
 ENGINEERING GROUP, LLC  
 6855 S. HAVANA STREET, SUITE 600  
 CENTENNIAL, CO 80112  
 PHONE: 303-841-9365

### ARCHITECT:

RUSSELL ELY  
 ELY ARCHITECTURE  
 4920 PENNELL ROAD, #303  
 ASTON, PA 19014  
 303-818-8586  
 RUSSELL@ELYARCHITECTURE.COM

### OWNER:

LOS DOS POTRILLOS CASTLE ROCK  
 7950 S LINCOLN STREET  
 LITTLETON, CO 80122  
 303-523-2254

### LANDSCAPE ARCHITECT:

BROOKE ALEXANDER  
 OUTDOOR DESIGN GROUP  
 BALEXANDER@ODDESIGN.COM  
 303-993-4811

### PHOTOMETRICS:

KAZIN AND ASSOCIATES  
 9364 TEDDY LANE, SUITE 101  
 LONE TREE, CO 80124  
 O 720-488-1607

### SURVEYOR:

TONY PEALL  
 AZTEC CONSULTANTS, INC  
 TPEALL@AZTECCONSULTANTS.COM  
 303-713-1898

### OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

LOS DOS POTRILLOS CASTLE ROCK REAL ESTATE LLC  
 SIGNED THIS 14<sup>th</sup> DAY OF June 20 23

NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 14<sup>th</sup> DAY OF June 20 23  
 BY Rosa Luis Ramirez AS OF OWNER

WITNESS MY HAND AND OFFICIAL SEAL.  
 KAREN E KJESETH  
 NOTARY PUBLIC  
 STATE OF COLORADO  
 NOTARY ID 20174047933  
 MY COMMISSION EXPIRES 11/28/2026

### TITLE CERTIFICATION

I, Robert Hayes, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE CO., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE  
 LAND TITLE GUARANTEE CO.  
 TITLE COMPANY  
 SIGNED THIS 19<sup>th</sup> DAY OF May 20 23

NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 19<sup>th</sup> DAY OF May 20 23 BY Robert Hayes AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company

WITNESS MY HAND AND OFFICIAL SEAL.  
 ANDY JOHN STENMAN  
 NOTARY PUBLIC  
 STATE OF COLORADO  
 NOTARY ID 20214018515  
 My Commission Expires February 10, 2024

### CIVIL ENGINEER'S STATEMENT

I, KURT LANG, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HAVE TESTIFIED THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED IN THE SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH THE CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER NO. 32249

### DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 4:22 PM ON THE 20th DAY OF June 20 23 AT RECEPTION NO. 2023026169

DOUGLAS COUNTY CLERK AND RECORDER  
 BY: Deputy

### SURVEYOR'S CERTIFICATION

I, TONY PEALL, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY FOR THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAN ACCURATELY AND PROPERLY SHOWS SAID SURVEY.

TONY PEALL PLS #38636

### STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICE APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 20 DAY OF June 20 23.

DIRECTOR OF DEVELOPMENT SERVICES

### WATER RIGHT DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE PROMENADE AT CASTLE ROCK DEVELOPMENT AGREEMENT, RECORDED ON THE 22ND DAY OF JULY 2015 AT RECEPTION NO. 2015051492 AND ACCORDINGLY 4.33 SFE ARE DEBITED FROM THE WATER BANK.

### WATER METER SIZING

DOMESTIC = 1.5" = 3.33 SFE  
 IRRIGATION = 0.75" = 1 SFE

### COVER SHEET

SHEET NUMBER:  
 1  
 1 of 10



# LOS DOS POTRILLOS CASTLE ROCK

## SITE DEVELOPMENT PLAN, AMENDMENT NO. 10

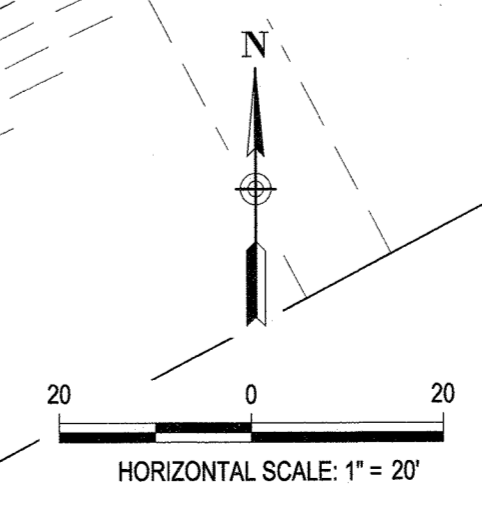
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 PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK,  
 COUNTY OF DOUGLAS, STATE OF COLORADO  
 SDP22-0040



PROPOSED		EXISTING
	CONTOUR - MAJOR	
	CONTOUR - MINOR	
	ELECTRIC - UNDERGROUND	
	EXPOSED FOUNDATION	
	FIBER OPTIC LINE	
	FIRE SERVICE	
	GAS LINE	
	GUARDRAIL	
	HANDRAIL	
	IRRIGATION	
	RETAINING WALL	
	SANITARY SEWER	
	STEM WALL	
	STORM SEWER	
	TELEPHONE	
	WATER LINE	

SYMBOLS LEGEND		
	CROSSWALK	
	DOOR	
	ELECTRIC METER	
	FIRE DEPARTMENT CONNECTION	
	FIRE HYDRANT	
	GAS METER	
	GATE VALVE	
	LIGHT POLE	
	ROOF DRAIN	
	SANITARY MANHOLE	
	SLOPE	
	SPOT ELEVATION	
	STORM INLET	
	STORM MANHOLE	
	TRANSFORMER	
	UTILITY POLE	
	WATER METER	

HATCHING LEGEND	
	ADA RAMP
	CONCRETE PAVING
	SIDEWALK CHASE
	TRUNCATED DOMES

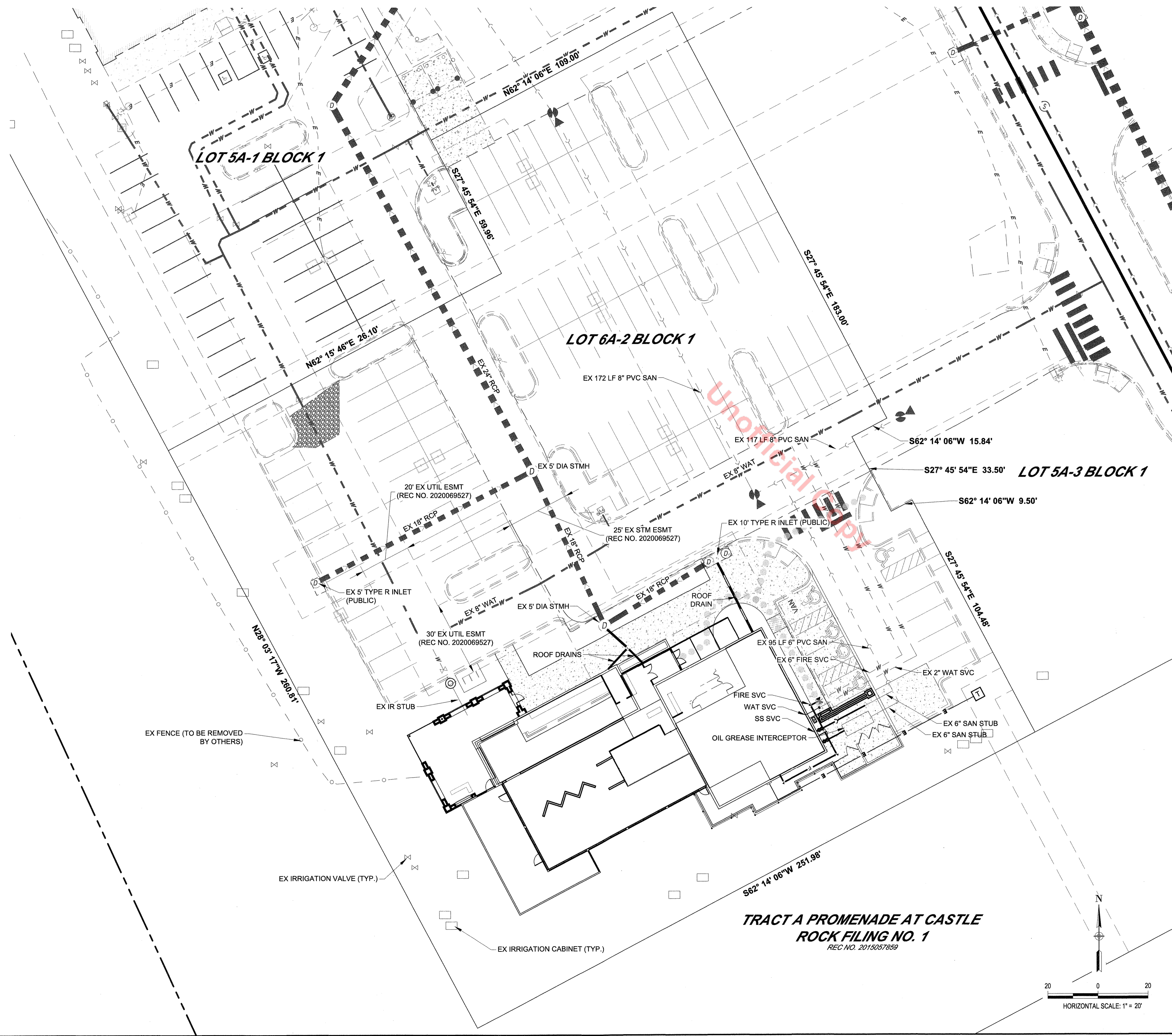


**GRADING PLAN**  
 SHEET NUMBER:  
**3**  
 3 of 10

# LOS DOS POTRILLOS CASTLE ROCK

## SITE DEVELOPMENT PLAN, AMENDMENT NO. 10

LOT 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK,  
 FILING NO. 1, AMENDMENT 24, LOCATED IN THE  
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 SDP22-0040



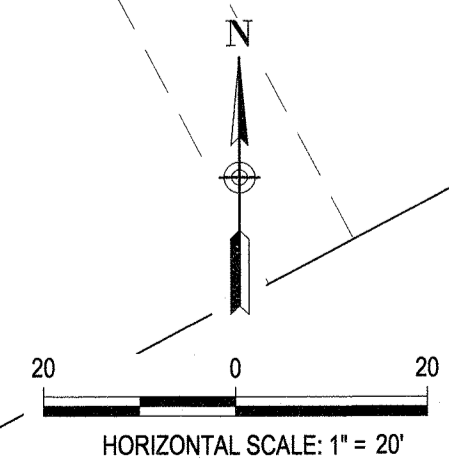
PROPOSED		EXISTING	
	CONTOUR - MAJOR		CONTOUR - MAJOR
	CONTOUR - MINOR		CONTOUR - MINOR
	ELECTRIC - UNDERGROUND		ELECTRIC - UNDERGROUND
	EXPOSED FOUNDATION		EXPOSED FOUNDATION
	FIBER OPTIC LINE		FIBER OPTIC LINE
	FIRE SERVICE		FIRE SERVICE
	GAS LINE		GAS LINE
	GUARDRAIL		GUARDRAIL
	HANDRAIL		HANDRAIL
	IRRIGATION		IRRIGATION
	RETAINING WALL		RETAINING WALL
	SANITARY SEWER		SANITARY SEWER
	STEM WALL		STEM WALL
	STORM SEWER		STORM SEWER
	TELEPHONE		TELEPHONE
	WATER LINE		WATER LINE

SYMBOLS LEGEND	
	CROSSWALK
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	LIGHT POLE
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	TRANSFORMER
	UTILITY POLE
	WATER METER

HATCHING LEGEND	
	ADA RAMP
	CONCRETE PAVING
	SIDEWALK CHASE
	TRUNCATED DOMES

- UTILITY NOTES:**
- All proposed easements must be recorded prior to issuance of construction permits.
  - Revised: 11/5/2019
  - The minimum separation between waterlines, sanitary and storm sewer lines is 10 feet.
  - The minimum separation between water service lines is 5 feet.
  - This site is located within the Town of Castle Rock YELLOW water pressure zone.

**TRACT A PROMENADE AT CASTLE ROCK FILING NO. 1**  
 REC. NO. 2015057859



**OVERALL UTILITY PLAN**

SHEET NUMBER:  
4  
 4 of 10

# LOS DOS POTRILLOS CASTLE ROCK SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
CITY OF CASTLE ROCK, COUNTY OF DOUGLAS,  
STATE OF COLORADO

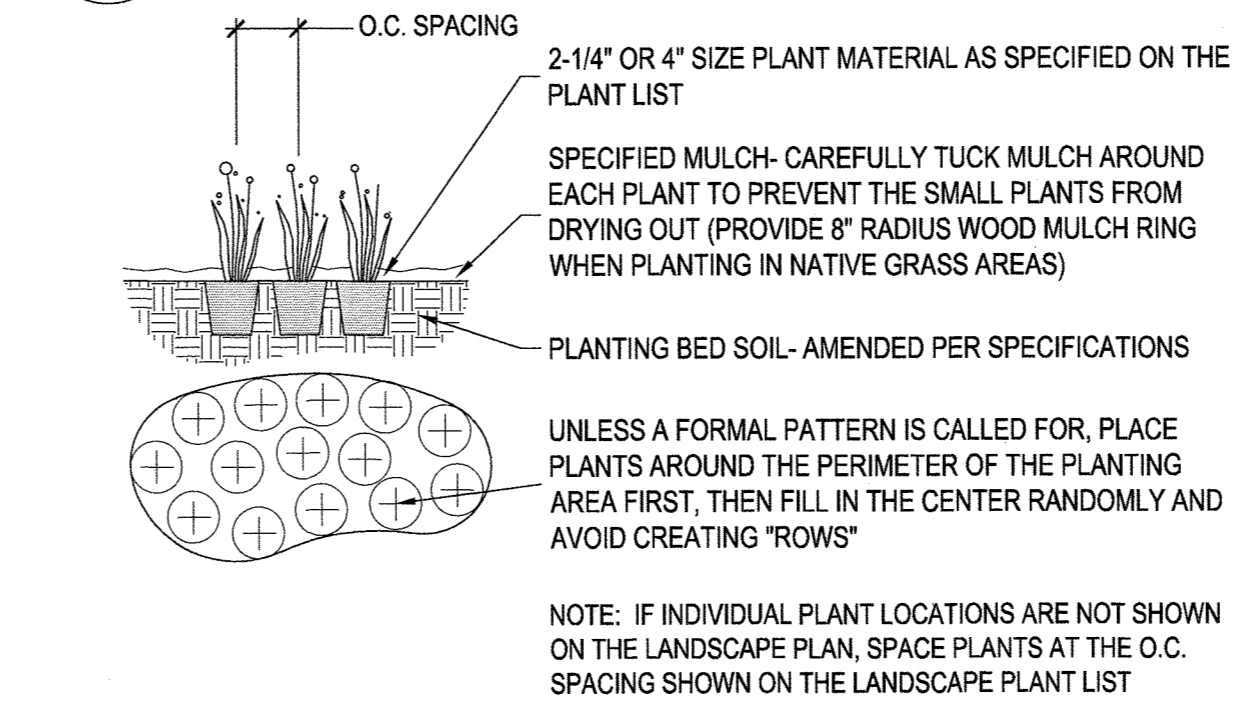
## GENERAL LANDSCAPE NOTES

- ALL LOW PERENNIAL AND GROUND COVER PLANTING AREAS SHALL BE MULCHED WITH SHREDDED WESTERN RED CEDAR WOOD MULCH, AT A DEPTH OF 4". WEED BARRIER FABRIC IS NOT REQUIRED UNDER WOOD MULCH.
- ALL OTHER PLANTING BED AREAS SHALL BE MULCHED WITH 1-1/2" GRAY ROSE MULTI-COLORED RIVER ROCK, AT A DEPTH OF 3", INSTALLED OVER PERMEABLE WEED BARRIER FABRIC. DO NOT INSTALL EDGING BETWEEN WOOD MULCH AND ROCK MULCH AREAS.
- SOD EDGER SHALL BE 14 GAUGE ROLLED TOP STEEL EDGING (DARK GREEN COLOR) IN THE LOCATIONS SHOWN ON THE PLANS. EDGER IS NOT REQUIRED WHERE SOD ABUTS CONCRETE.
- ALL AREAS TO BE LANDSCAPED SHALL HAVE ORGANIC AMENDMENTS THOROUGHLY INCORPORATED INTO THE SOIL AT A RATE OF 5 CUBIC YARDS PER 1,000 SQUARE FEET, AND TILLED TO A DEPTH OF 6 INCHES.
- ALL AREAS, BED AREAS, AND LANDSCAPE AREAS SHALL BE FINE GRADED PRIOR TO INSTALLATION OF NEW PLANT MATERIAL. ROCKS, WOOD, AND ANY MATERIAL LARGER THAN 1" IN DIAMETER SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO SODDING AND PLANTING NEW MATERIALS.
- EXISTING TURF, SHRUBS, TREES, AND PLANT MATERIAL TO BE REMOVED SHALL BE FULLY REMOVED FROM THE SITE, INCLUDING ALL ROOTS.
- ALL LANDSCAPED AREAS SHALL BE WATERED BY A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- SOD AREAS SHALL BE ZONED SEPARATELY THAN BEDS, AND SHALL BE IRRIGATED VIA POP-UP SPRAY HEADS PROVIDING FULL (HEAD TO HEAD) COVERAGE. HEADS SHALL BE COMMERCIAL GRADE WITH REPLACEABLE NOZZLES, PRESSURE REGULATORS, AND CHECK VALVES.
- BED AREAS SHALL BE ZONED SEPARATELY THAN SOD AREAS, AND SHALL BE IRRIGATED BY INDIVIDUAL DRIP EMITTERS TO EACH PLANT. DRIP COMPONENTS SHALL BE COMMERCIAL GRADE RAIN-BIRD OR EQUAL POINT SOURCE EMITTERS, WITH ALL PLANTS RECEIVING IRRIGATION.

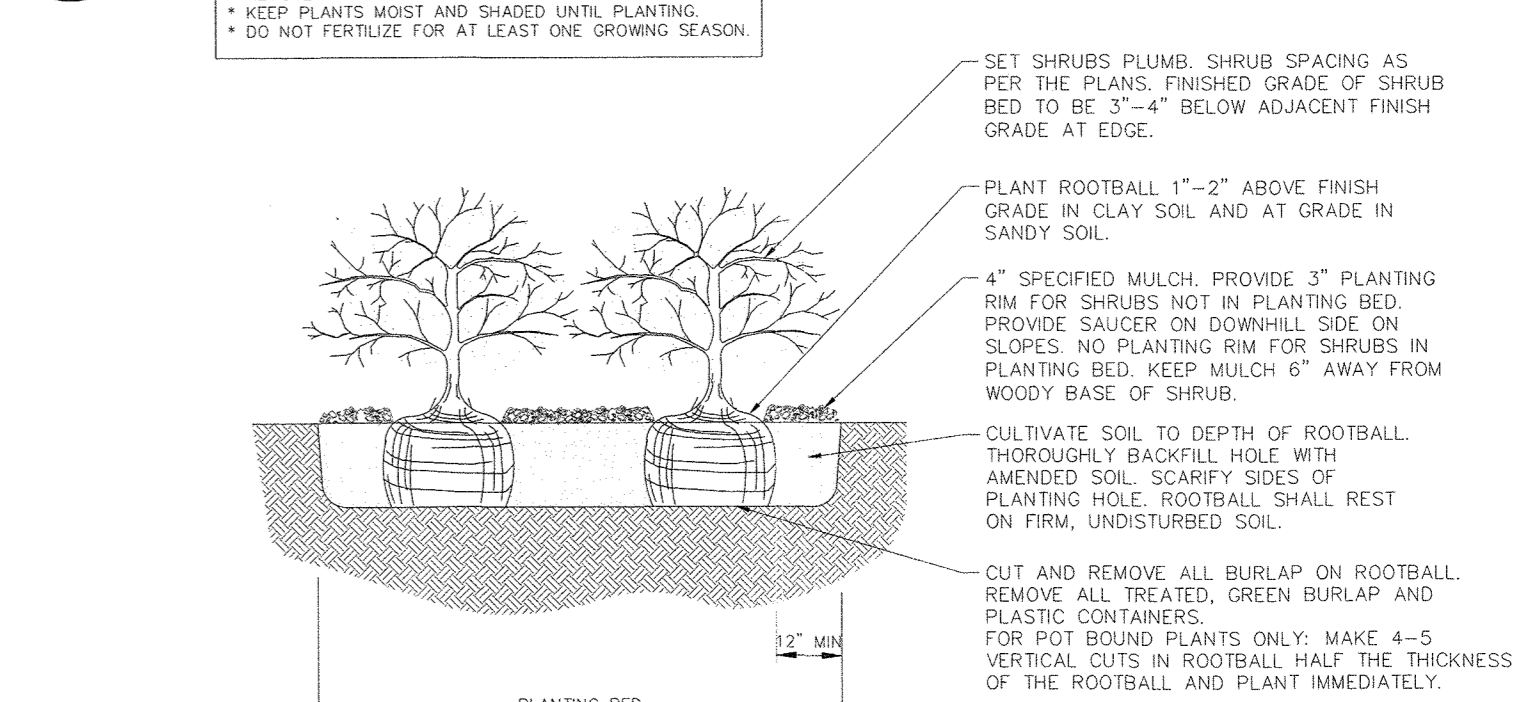
## LANDSCAPE PLANT LIST

	DECIDUOUS SHADE TREES	3
	ORNAMENTAL TREES	3
	DECIDUOUS SHRUBS	59
	EVERGREEN SHRUBS	25
	PERENNIALS	45
	NATIVE SEEDING - DRYLAND MIX Pawnee Buttes Seed Mixes (www.pawneebutteseed.com); PBSI Low Grow Mix Application Rate: 5 LBS/1,000 SF	

## A PLANTING DETAIL FOR PERENNIALS, ANNUALS, & ALL CONTAINER PLANTS 1 GALLON OR SMALLER



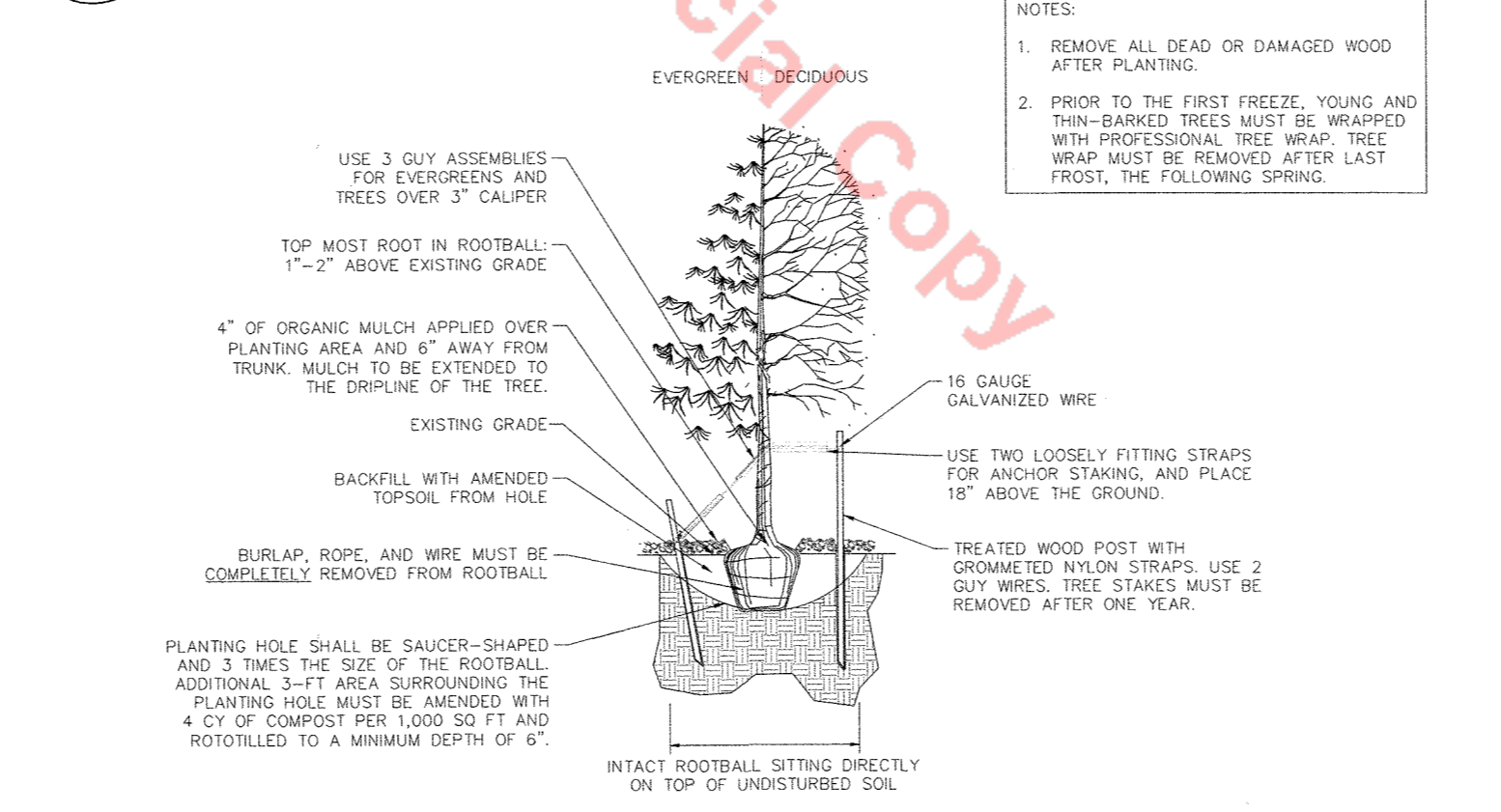
## B PLANTING DETAIL FOR SHRUBS, AND ALL CONTAINER PLANTS LARGER THAN 1 GALLON



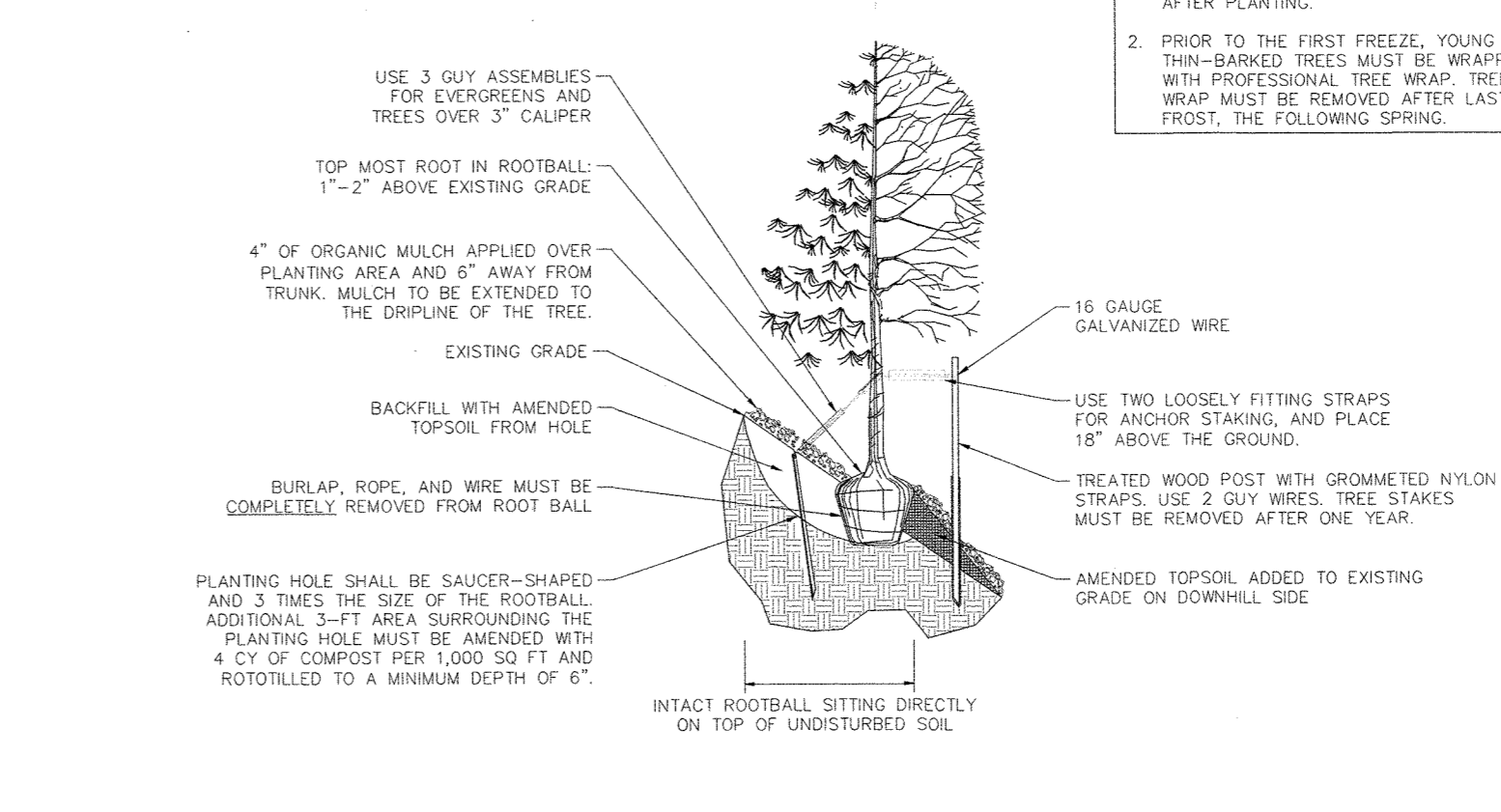
## TOWN OF CASTLE ROCK LANDSCAPE NOTES

- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE(45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

## C PLANTING DETAIL FOR ALL TREES & B&B SHRUBS



## D PLANTING DETAIL FOR ALL TREES & B&B SHRUBS ON A SLOPE



## CLWUR CHART FOR THE TOWN OF CASTLE ROCK

Irrig. Zone	Plant Name	App. Rate (inches/month)	Zone (VL, L, Mod, HW)	% of total Area	IA (Irrigated area in sq. ft. for each zone)	LWUR (Landscape Water Use Rating)	TA (Total area of all irrigated landscape Zones)	CLWUR (LWUR x IA/TA)
Drip	All plants are Low	2	Low	100%	3,241	2.5	3,241	2.5

## COMMERCIAL LANDSCAPE SITE INVENTORY

Gross Site Area sq.ft	Required Landscape Area in Sq. Ft.	Turfgrass List Species (Area in Sq. Ft.)	Irrigated Low Grow Seed (Area in Sq. Ft.)	Nonliving Ornamental (Area in Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Proposed	Soil Prep Amounts (in cu.yds per 1000 sq.ft.)	Separate Irrigation Service Connections
72,919	7,292 (18,765 Provided)	0	0	0	15	Shade: 19 Ornamental: 3	30	228	5	Yes ___ No <u>X</u>
Parking Lot (Area in Sq. Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	-	Nonliving Ornamental (Area in Sq. Ft.)	No. of Interior Landscape Islands	Min. Width of Interior Landscape Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
34,871	3,487 (Provided 3,706.8)	111	0	0	9	8'	9	16	36	104

Sheet Revisions	Town of Castle Rock	SHRUB PLANTING	DETAIL PLAN NO.
001	STAFF CHANGES		LS-3
Town of Castle Rock 100 N. Main St. Castle Rock, CO 80104 Phone: (303) 751-2000 Fax: (303) 751-2100		Issued By: Town of Castle Rock, Development Services March 31, 2021	Sheet 1 of 1

Sheet Revisions	Town of Castle Rock	TREE PLANTING	DETAIL PLAN NO.
001	STAFF CHANGES		LS-1
Town of Castle Rock 100 N. Main St. Castle Rock, CO 80104 Phone: (303) 751-2000 Fax: (303) 751-2100		Issued By: Town of Castle Rock, Development Services March 31, 2021	Sheet 1 of 2

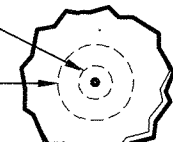
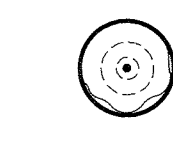



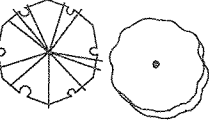

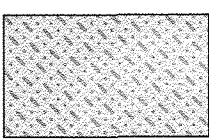
Sheet Revisions	Town of Castle Rock	TREE PLANTING SLOPES	DETAIL PLAN NO.
001	STAFF CHANGES		LS-2
Town of Castle Rock 100 N. Main St. Castle Rock, CO 80104 Phone: (303) 751-2000 Fax: (303) 751-2100		Issued By: Town of Castle Rock, Development Services March 31, 2021	Sheet 2 of 2

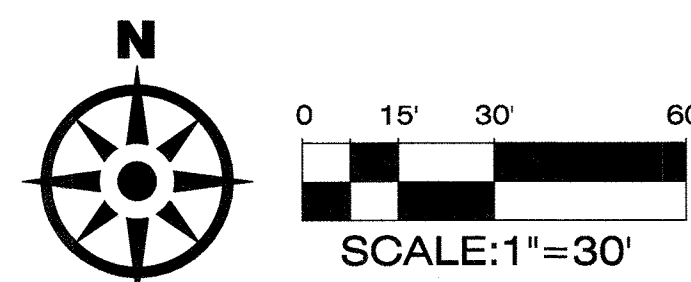
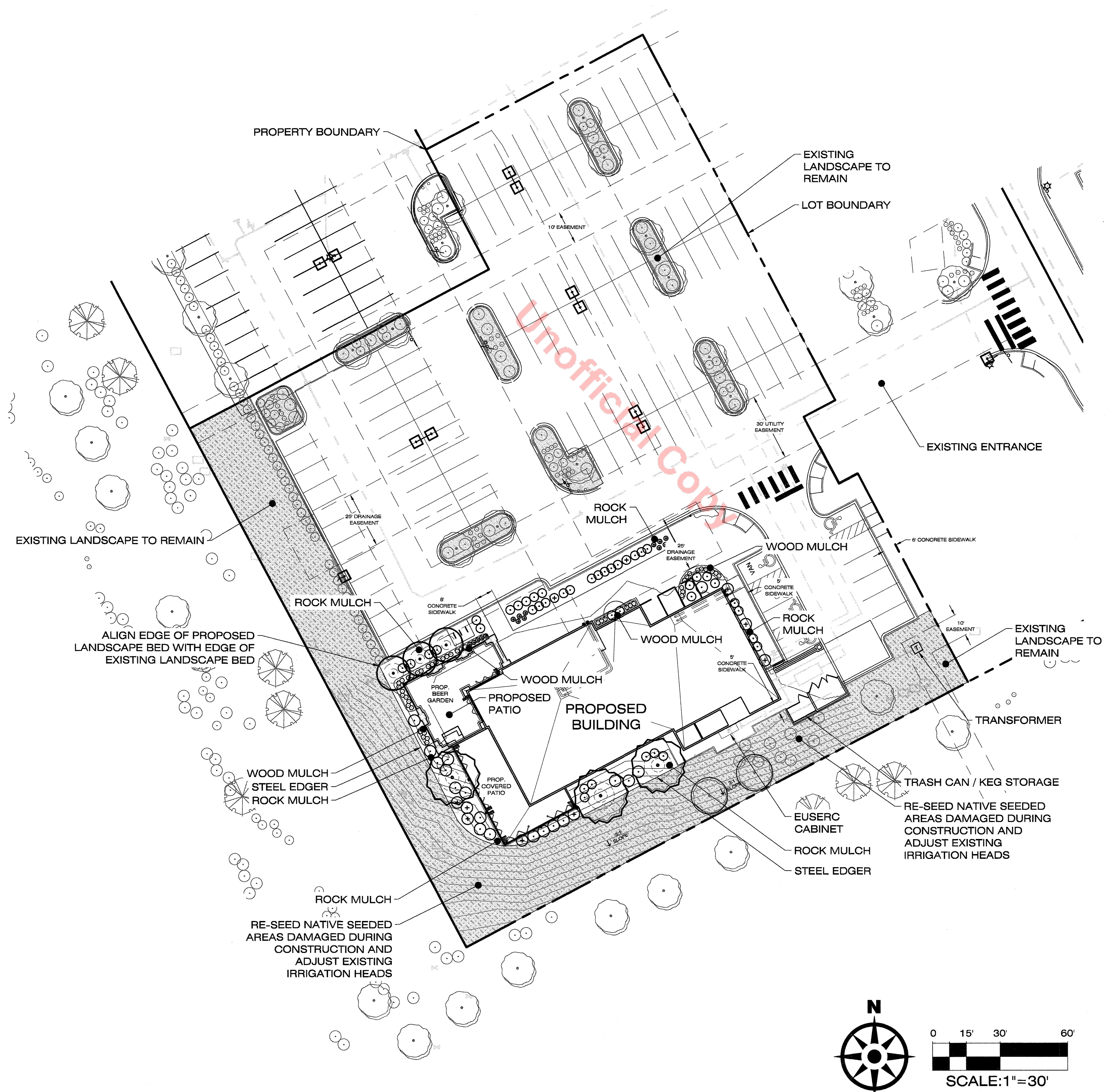
# LOS DOS POTRILLOS CASTLE ROCK SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
CITY OF CASTLE ROCK, COUNTY OF DOUGLAS,  
STATE OF COLORADO

## LANDSCAPE PLAN

## LANDSCAPE LEGEND (SEE SHEET L1 FOR FULL PLANT LIST)

- TREE SIZE AT PLANTING  DECIDUOUS SHADE TREES
- TREE SIZE AT 5-7 YEARS  ORNAMENTAL TREES
-  DECIDUOUS SHRUBS
-  EVERGREEN SHRUBS
-  PERENNIALS
-  EXISTING TREES TO REMAIN (BY OTHERS)
-  EXISTING SHRUBS TO REMAIN (BY OTHERS)
-  EXISTING LANDSCAPE & IRRIGATION TO REMAIN (BY OTHERS)



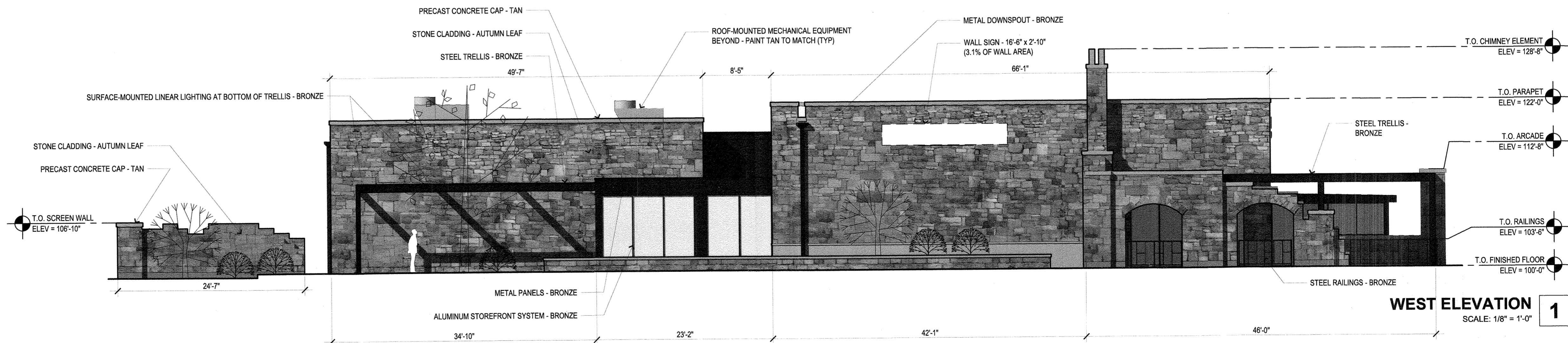
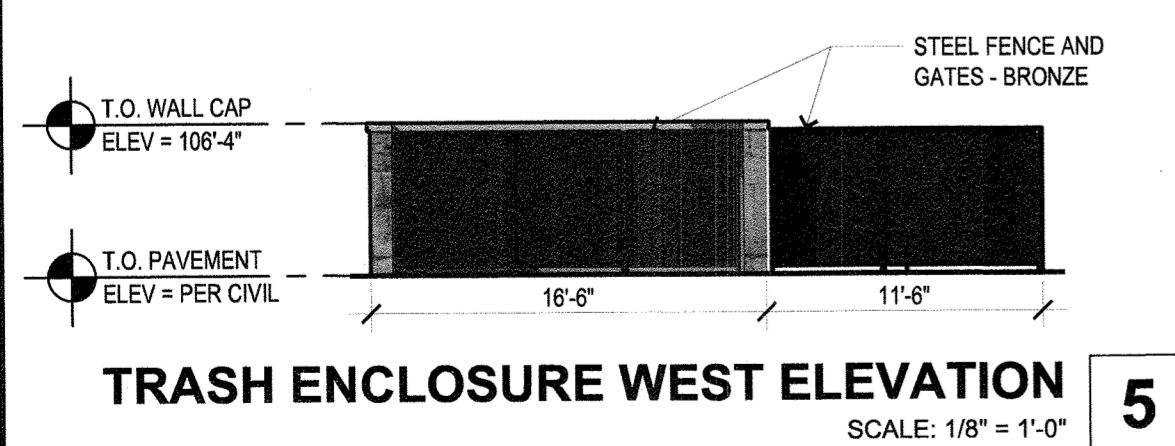
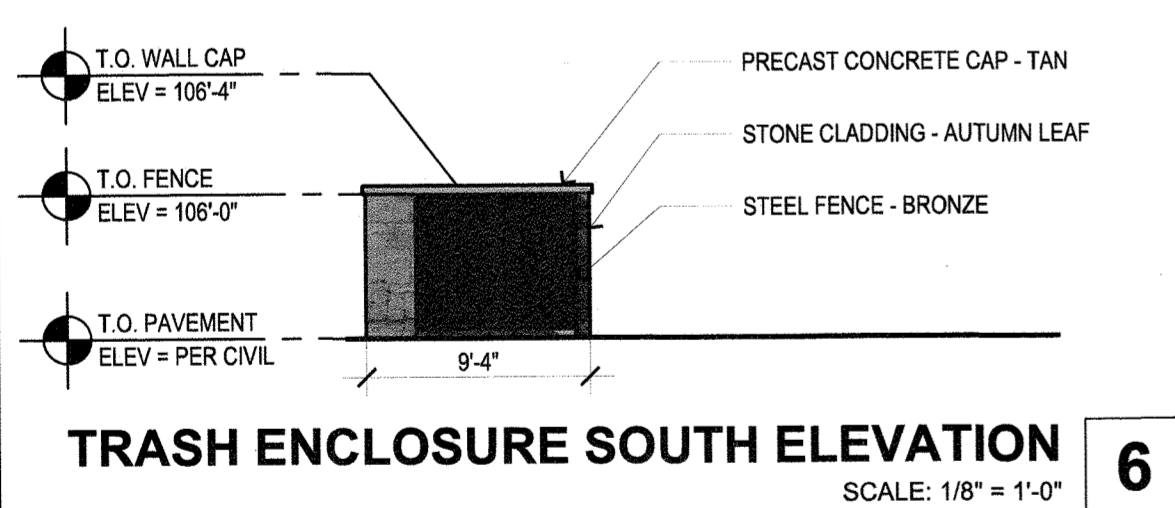
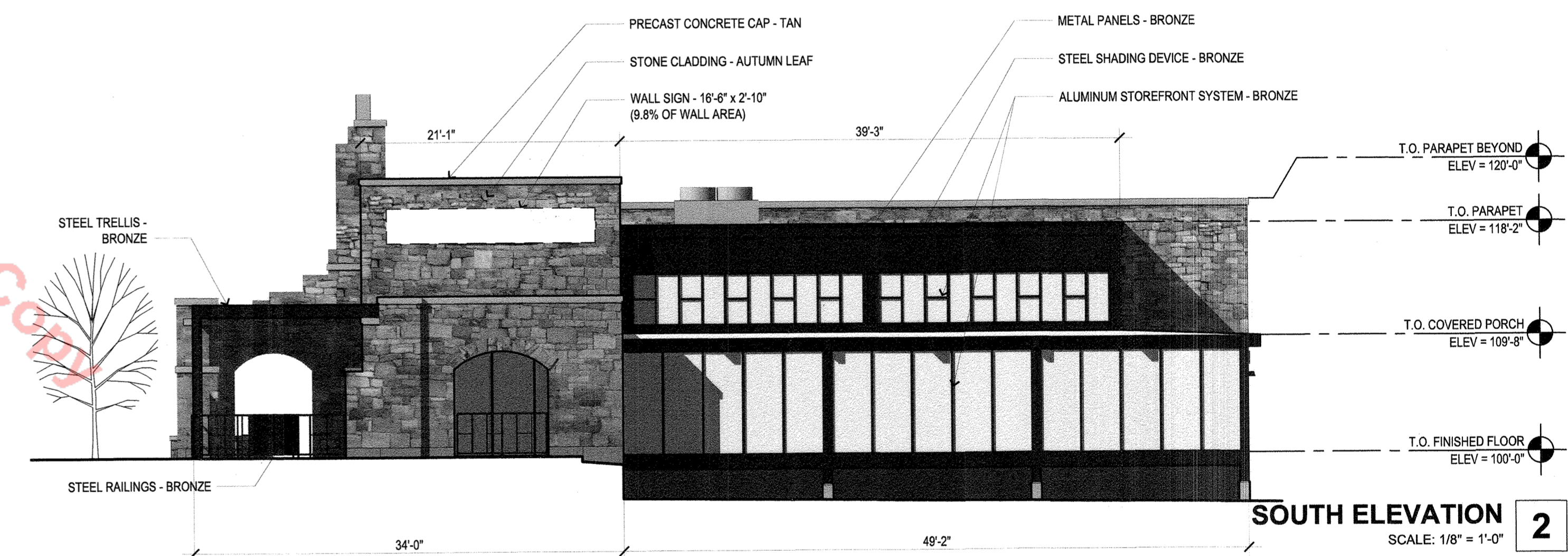
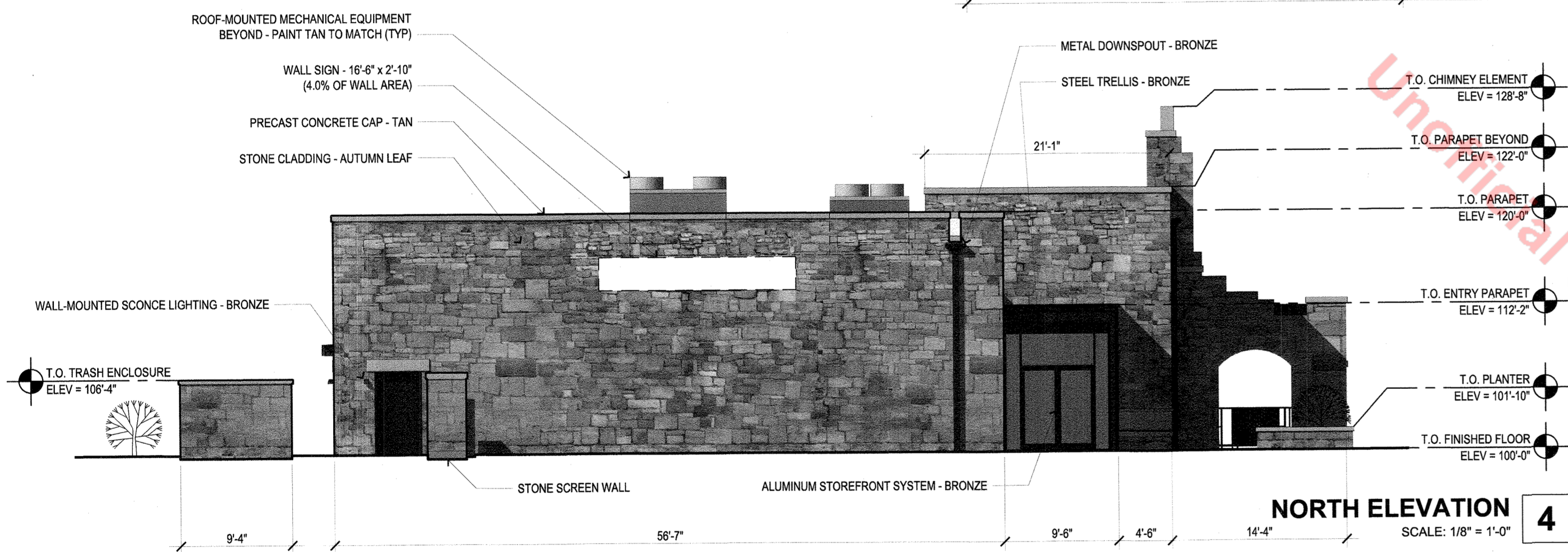
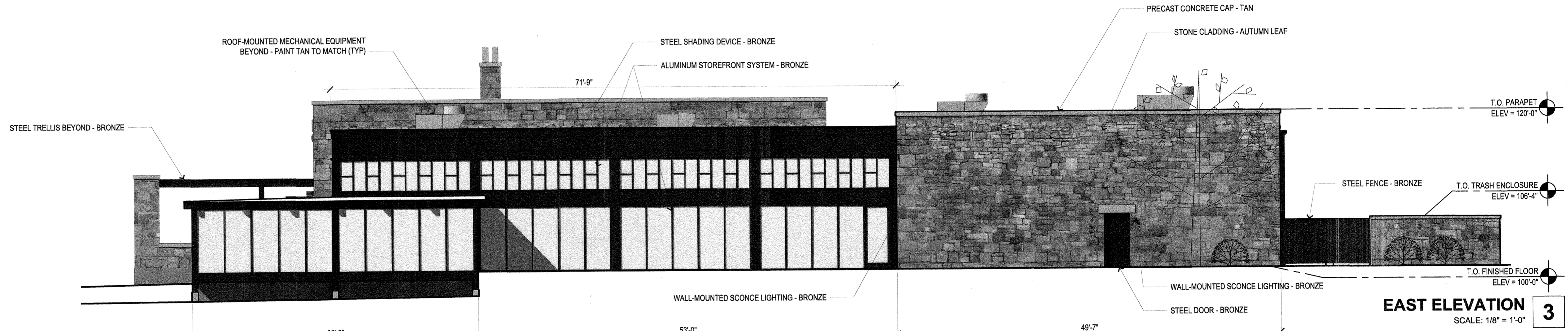
# LOS DOS POTRILLOS CASTLE ROCK

## SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
CITY OF CASTLE ROCK, COUNTY OF DOUGLAS,  
STATE OF COLORADO

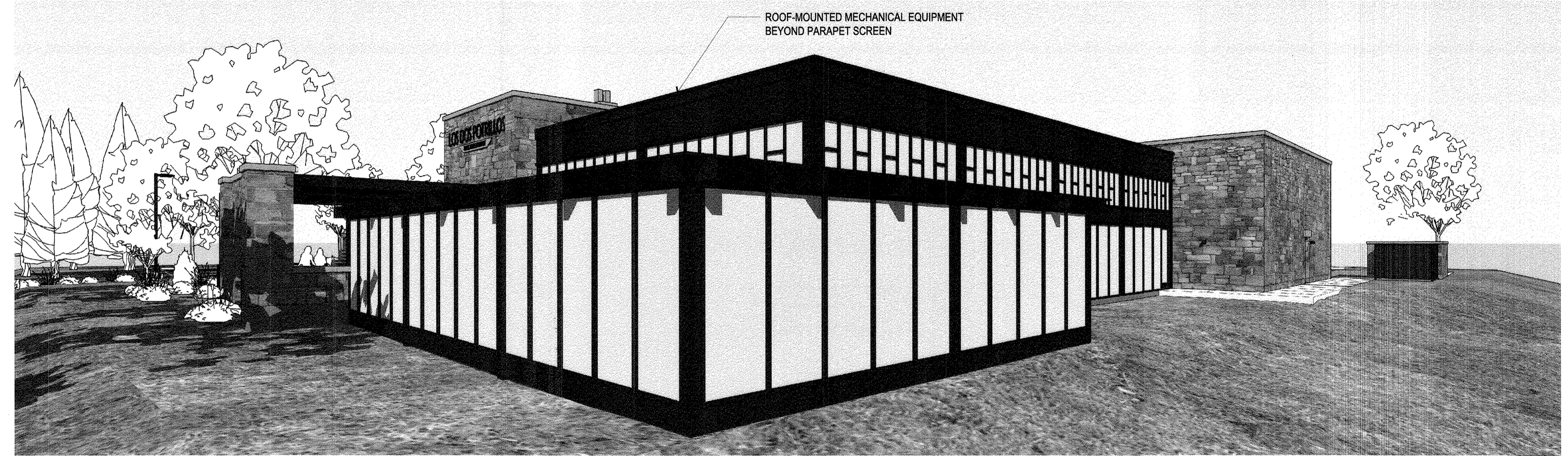
EXTERIOR MATERIALS LEGEND	
STONE CLADDING	ELDORADO STONE - ROUGH CUT, AUTUMN LEAF
STEEL & ALUMINUM ELEMENTS	DARK BRONZE PAINT/ANODIZED FINISH
CEMENT STUCCO	OMEGA, 9211-QUAKE

BUILDING SIGN COMPARISON TABLE			
	LINEAR BUILDING FRONTAGE	SIGNAGE ALLOWED (2-1/2 S.F./LN.FT.)	SIGNAGE PROPOSED
SOUTH ELEVATION	139'-3"	348.33 s.f.	NONE
NORTH ELEVATION	56'-7"	141.45 s.f.	47 s.f.
SOUTH ELEVATION	70'-3"	175.63 s.f.	47 s.f.
WEST ELEVATION	124'-1"	310.2 s.f.	47 s.f.

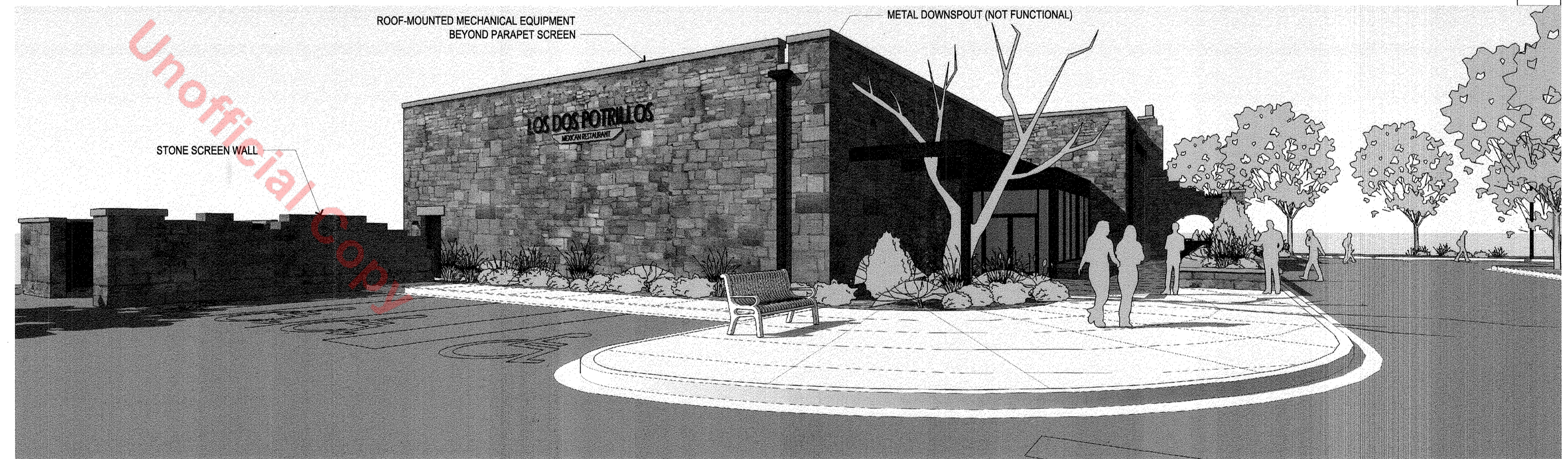


# LOS DOS POTRILLOS CASTLE ROCK SITE DEVELOPMENT PLAN

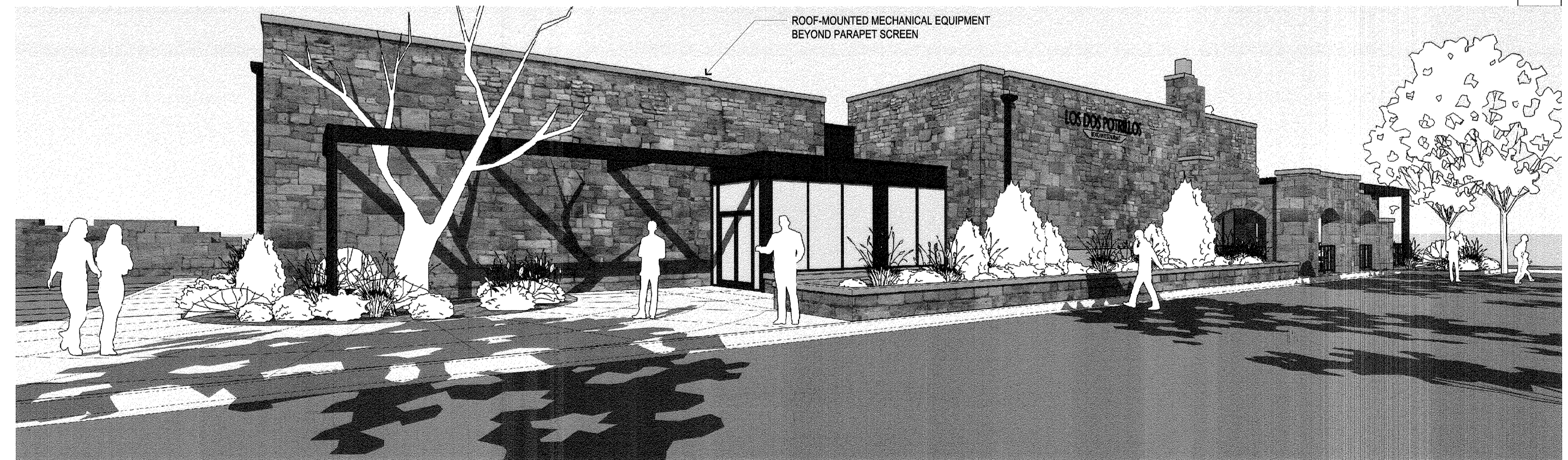
LOCATED IN THE NORTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
CITY OF CASTLE ROCK, COUNTY OF DOUGLAS,  
STATE OF COLORADO



PERSPECTIVE SKETCH AT SOUTH ELEVATION 3  
SCALE: NTS



PERSPECTIVE SKETCH AT EAST ELEVATION 2  
SCALE: NTS

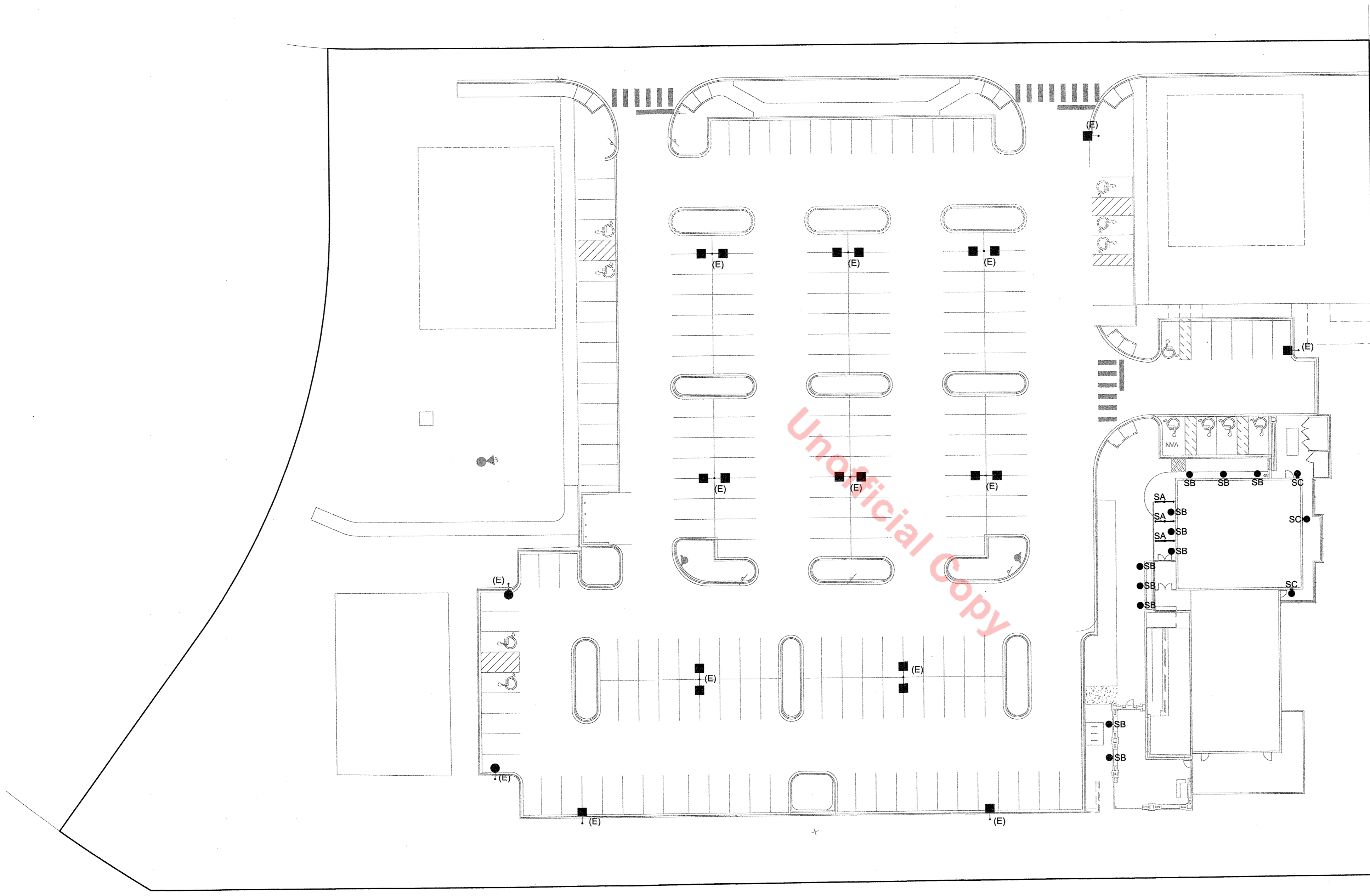


PERSPECTIVE SKETCH AT NORTH ELEVATION 1  
SCALE: NTS

Unofficial Copy

# LOS DOS POTRILLOS CASTLE ROCK SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 27,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
CITY OF CASTLE ROCK, COUNTY OF DOUGLAS,  
STATE OF COLORADO



LEGEND	
(E)	EXISTING
●	LIGHT FIXTURE - PER SCHEDULE
⊙	WALL-MOUNTED LIGHT FIXTURE
—○—	LINEAR LIGHT FIXTURE
■	POLE MOUNTED AREA LIGHT, 1 HEAD
■	POLE MOUNTED AREA LIGHT, 2 HEADS
●	POLE-MOUNTED AREA LIGHT, 1 HEAD, ROUND

**1 PHOTOMETRIC PLAN**  
SCALE: 1" = 30'-0"

POLE LIGHTING MARKED WITH (E) ARE EXISTING FIXTURES BEING INSTALLED WITH THE SITE DEVELOPMENT BY OTHERS. THE SUBMITTAL FOR THE SITE DEVELOPMENT IS SDP 22-0008.

**SITE ILLUMINANCE STATISTICS**  
AVERAGE = 1.46  
MAXIMUM = 7.5  
MINIMUM = 0.0  
MAX/AVG RATIO = 5.14

**BUILDING PERIMETER LIGHTING CONTROLS:**  
ASTRONOMICAL TIME SWITCH: ON-DUSK, OFF-DAWN

**GENERAL LIGHTING PLAN STANDARD NOTES:**

1. OBJECTIVES FOR LIGHTING IN DIFFERENT AREAS OF THE SITE:  
BUILDING PERIMETER: DECORATIVE FACADE LIGHTING  
PATHWAY LIGHTING UNDER ENTRANCE AWNING  
SCONCES ADJACENT TO EGRESS DOORS
  2. HOURS OF LIGHT OPERATION: 9 AM - 10 PM
  3. MITIGATION TO NEIGHBORHOODS/ADJACENT PROPERTIES:  
BUILDING PERIMETER FIXTURE ARE ALL UNDER 2000 LUMENS
  4. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.
- NO PROHIBITED FIXTURES ARE INCLUDED IN THIS PROJECT

POLE LIGHTING MARKED WITH (E) ARE EXISTING FIXTURES BEING INSTALLED WITH THE SITE DEVELOPMENT BY OTHERS. THE SUBMITTAL FOR THE SITE DEVELOPMENT IS SDP 22-0008.

LIGHTING FIXTURE SCHEDULE											
KAZIN & ASSOCIATES, INC											
DESCRIPTION OF LUMINAIRE					BASIS OF DESIGN						
ID	QUANTITY	DESCRIPTION	CLASSIFICATION	FINISH	MOUNTING INFORMATION	MANUFACTURER	MODEL NUMBER OR SERIES	DESIGN LOAD (VA)	LUMENS	LIGHT LOSS FACTOR	VOLTAGE
SA	3	LINEAR LED BUG RATING: B1-U0-G1	UPLIGHT OF 0, EQUIVALENT TO FULL-CUTOFF	DARK BRONZE	SURFACE @ ~11' AFF	LUMENWERX OR EQUAL	VIAWETS-TMG-HLO-LED-80-250-30-8'-UNV-D1-1-GSM-DARK BRONZE	22.0	2,000	1	120
SB	11	LED WELL LIGHT BUG RATING: B1-U4-G0	LESS THAN 2000LUMENS, COMPLIES WITH 17.58.50	BRONZE	RECESSED	LUMIERE OR EQUAL	3002A-RD-18LED3000-MFL-NSL-UNV-BZ	16.6	967	1	120
SC	3	WALL SCONCE BUG RATING: B1-U0-G0	UPLIGHT OF 0, EQUIVALENT TO FULL-CUTOFF	BRONZE	WALL @ ~7' AFF	TECH LIGHTING OR EQUAL	700WSBOW-4-2-LED830	17.8	697	1	120
(E)	14	POLE LIGHTING MARKED WITH (E) ARE EXISTING FIXTURES BEING INSTALLED WITH THE SITE DEVELOPMENT BY OTHERS. THE SUBMITTAL FOR THE SITE DEVELOPMENT IS SDP 22-0008.	PER SDP 22-0008	BLACK	POLE	VISIONAIRE LIGHTING	AMERICAN LED SERIES	PER SDP 22-0008	PER SDP 22-0008	1	PER SITE ELEC PLANS

**KAZIN & ASSOCIATES**  
CONSULTING ELECTRICAL ENGINEERS  
9364 TEDDY LANE, SUITE 101  
LONE TREE, CO 80124  
(720) 489-1609  
© 2020 PROJECT #: 22188

**TOWN APPROVAL BLOCK**

TOWN OF CASTLE ROCK APPROVAL PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM DATE OF DEVELOPMENT SERVICES APPROVAL

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

DEVELOPMENT SERVICES

REVISIONS		
NO.	DESCRIPTION	DATE

SHEET NUMBER:  
9  
9 of 10

